

PLANNING COMMISSION RESOLUTION PC-2019-07

RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF ROCKLIN APPROVING A DESIGN REVIEW

(Rocklin West Pad I / DR2018-0012)

The Planning Commission of the City of Rocklin does resolve as follows:

Section 1. The Planning Commission of the City of Rocklin finds and determines that:

A. Design Review (DR2018-0012) allows the construction of an approximately 6,114 square foot retail building with an approximately 1,235 square foot outdoor seating area, drive-through, and associated parking lot modifications including an entry-only driveway, hardscape, landscaping, and trash enclosure in an existing shopping center. APN 365-020-048.

B. The development of the project site was analyzed as required by the California Environmental Quality Act (CEQA) as a part of the Sunset West Lot 19 Shopping Center Initial Study/Mitigated Negative Declaration of Environmental Impacts (MND), approved and certified by Planning Commission Resolution No. PC-2002-53. Pursuant to Section 15162 of the CEQA Guidelines, no further environmental review of the Sunset West Lot 19 Shopping Center project is required, nor should be conducted, since the project is within the scope of Sunset West Lot 19 Shopping Center (a.k.a. Rocklin West and Blue Oaks Marketplace) MND which adequately describes these activities for purposes of CEQA for the following reasons:

1. No new significant environmental impacts nor any substantial increase in the severity of previously identified significant impacts will occur from the Sunset West Lot 19 Shopping Center project;
2. No substantial changes occur with respect to the circumstances under which the project will be undertaken which will require major revisions of the previous MND due to the involvement of new significant environmental impacts or a substantial increase in the severity of previously identified significant impacts.
3. No new information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous MND was certified as complete shows any of the following:
 - a. That the project will have one or more significant effects not discussed in the previous MND;
 - b. That significant effects previously examined will be substantially more severe than shown in the previous MND;

- c. That mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative.
 - d. That mitigation measures or alternatives which are considerably different from those analyzed in the previous MND would substantially reduce one or more significant effects of the environment, but the project proponents declined to adopt the mitigation measure or alternative.
- C. The design of the site is compatible with surrounding development, natural features and constraints.
- D. The height, bulk, area, color scheme and materials of the buildings and structures are compatible with surrounding development.
- E. The buildings and structures have been oriented with consideration given to minimizing energy consumption and maximizing use of natural lighting.
- F. Adverse light and glare impacts upon adjoining properties have been eliminated or reduced to a less than significant level by consideration and / or modification of the location and height of light standards, orientation of exterior lighting fixtures, and conditioning the project to use light fixtures that will direct light downward.
- G. The landscaping design is compatible with surrounding development and has been designed with provisions for minimizing water usage and maintenance needs.
- H. The parking design, including ingress and egress traffic patterns, is compatible with the surrounding development and the existing street patterns.
- I. The design of the site and buildings or structures is consistent with the goals, policies, and land use designations in the General Plan and with all zoning standards, regulations, and restrictions applicable to the property.

Section 2. The Design Review for Rocklin West Pad I (DR2018-0012) as depicted in Exhibit A, attached hereto and by this reference incorporated herein, is hereby approved subject to the conditions listed below. The approved Exhibit A shall govern the design and construction of the project. Any condition directly addressing an element incorporated into Exhibit A shall be controlling and shall modify Exhibit A. All other plans, specifications, details, and information contained within Exhibit A shall be specifically applicable to the project and shall be construed as if directly stated within the conditions for approval. Unless otherwise expressly stated, the applicant / developer shall be solely responsible for satisfying each condition prior a final Building Permit Inspection or Issuance of a Certificate of Occupancy as

applicable. The agency and / or City department(s) responsible for ensuring implementation of each condition is indicated in parenthesis with each condition.

A. Notice to Applicant of Fees & Exaction Appeal Period

The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code §66020(d), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations, and other exactions.

The applicant is hereby notified that the 90-day protest period, commencing from the date of approval of the project, has begun. If the applicant fails to file a protest regarding any of the fees, dedication requirements, reservation requirements or other exaction contained in this notice, complying with all the requirements of Government Code §66020, the applicant will be legally barred from later challenging such exactions.

B. Conditions

1. Utilities

- a. All utilities, including but not limited to water, sewer, telephone, gas, electricity, and conduit for cable television shall be provided to the project in compliance with all applicable standards and requirements of the applicable provider. (APPLICABLE UTILITY)
- b. Solid Waste Disposal – The applicant shall install an unpainted, split-face CMU masonry trash enclosure with solid metal gates, to match the existing trash enclosures in the center, to the satisfaction of the Community Development Director. The location and design of the trash enclosure shall provide for a minimum clear width and gate opening of 11 feet, a minimum interior depth of 14 feet (to accommodate two trash bins), and gates designed to clear adjacent curbing to the satisfaction of Recology Auburn Placer. (RECOLOGY AUBURN PLACER, ENGINEERING, BUILDING, PLANNING)

2. Schools

At the time of issuance of a Building Permit, the developer shall pay to the Rocklin Unified School District all fees required under Education Code section 17620 and Government Code Section 65995. (ROCKLIN UNIFIED SCHOOL DISTRICT, BUILDING)

3. Improvements / Improvement Plans

Improvement plans shall be valid for a period of two years from date of approval by the City Engineer. If substantial work has not been commenced within that time, or if the

work is not diligently pursued to completion thereafter, the City Engineer may require the improvement plans to be resubmitted and/or modified to reflect changes in the standard specifications or other circumstances.

Prior to any grading, site improvements, or other construction activities associated with this project improvement plans shall be prepared consistent with the exhibits and conditions incorporated as a part of this entitlement, and in compliance with all applicable city standards, for the review and approval of the City Engineer and the Community Development Director.

The project improvement plans shall include the following:
(ENGINEERING, PLANNING)

- a. A detailed grading and drainage plan prepared by a registered civil engineer, in substantial compliance with the approved project exhibit(s). The grading and drainage plan shall include the following:
 - i) Stormwater Management
 - 1) Prior to issuance of improvement plans, to ensure compliance with the National Pollutant Discharge Elimination System MS4s General Permit and the regulations and orders of the State Water Resources Control Board, the applicant shall prepare and implement a Stormwater Management Facility Operation and Maintenance Plan for the on-site treatment systems and hydromodification controls (if any, or acceptable alternative to the satisfaction of the City Engineer). All specified treatment systems and hydromodification controls shall be privately owned and maintained. (BUILDING, PUBLIC SERVICES)
 - 2) Prior to issuance of improvement plans, unless waived by the City Engineer, the developer shall grant a Stormwater Management Compliance Easement over the project site to the City of Rocklin, in a form acceptable to the City Attorney. The Stormwater Management Compliance Easement shall be recorded with the County Clerk's office and a copy of the recorded document shall be provided to the Environmental Services division. Said easement shall provide for the following:
(CITY ATTORNEY, BUILDING, PUBLIC SERVICES)
 - a) Grant site access to City employees for the purpose of performing operations and maintenance inspections of the installed treatment system(s) and hydromodification control(s) (if any).

- b) Grant site access to City employees for the purpose of performing operations and maintenance work on the installed treatment system(s) and hydromodification control(s) (if any) in the event that the Director of Public Services determines, based upon the inspection results, that said work is not being performed adequately and has or will compromise the system's ability to function as required.
 - c) A statement that the City may, at its option, cause the operational and maintenance responsibilities set forth in the Stormwater Management Facility Operation and Maintenance Plan to be performed and place a special assessment against the project site to recover the costs to the City in the event the project is not operated and maintained in accord with the approved Stormwater Management Facility Operation and Maintenance Plan. (RMC §8.30.150).
- 3) All storm drainage inlets shall be stamped with City Engineer approved wording indicating that dumping of waste is prohibited and identifying that the inlets drain into the creek system.
- 4) Site design measures for detaining run off at pre-development levels, including location and specifications of on-site or off-site detention basins, if any.
- 5) Individual lot drainage management areas including individual drainage features, such as lined drainage swales.
- iv) The developer shall prepare a Storm Water Pollutant Protection Plan (SWPPP) for review and approval by the State Regional Water Quality Control Board as part of the project's drainage improvement plans.
- v) Prior to the commencement of grading operations, and if the project site will not balance with respect to grading, the contractor shall identify the site where any excess earthen material shall be deposited. If the deposit site is within the City of Rocklin, the contractor shall submit a report issued by a technical engineer to verify that the exported materials are suitable for the intended fill and show proof of all approved grading plans. Haul routes to be used shall be specified. If the site requires importing of earthen material, then prior to the commencement of grading operations, the contractor shall identify the site where the

imported earthen material is coming from and the contractor shall submit a report issued by a technical engineer to verify that the imported materials are suitable for the intended fill and show proof of all approved grading plans. Haul routes to be used shall be specified.

- b. All on-site standard improvements, including but not limited to:
 - i) Paving, curbs (including concrete curbs to contain all landscape areas adjacent to vehicle parking areas or travel lanes), gutters, sidewalks, drainage improvements, irrigation improvements (main lines and distribution where located under paved areas), utility improvements, parking lot lights, fire hydrants (where necessary), retaining walls, fences, pilasters, enhanced pavement treatments, trash enclosures, etc.
 - ii) All necessary easements for drainage, access, utilities, etc. shall be shown and offered for dedication (or Irrevocable Offer of Dedication provided) with the improvement plans.
 - iii) To the extent possible underground facilities such as but not limited to electrical, gas, water, drainage, and irrigation lines shall be located outside of or to the edge of areas designated for landscaping so as to minimize impacts to the viability of these areas.
- c. A detailed parking lot signage and striping plan designed per City standards that indicates all parking spaces, aisles, entrances, and exits, including on-site signage and any required offsite signage in the public right-of-way.
- d. The following on-site and off-site special improvements:
 - i) Stamped and/or colored concrete at the new entry driveway, or approved equivalent, consistent with the decorative pavement treatment at the existing driveways.
 - ii) If required by the City Engineer, the project shall repair, modify, or install, or reimburse the City for the costs of, the sidewalks if impacted by the construction of the project.
- e. Improvement plans shall include landscape and irrigation plans for new landscaping and modifications to existing landscaping in the public rights-of-way (back of sidewalk) along Blue Oaks Boulevard. (PUBLIC SERVICES, PLANNING, ENGINEERING)
 - i) The right-of-way landscape plans shall conform to the requirements of Condition 5, below, to the satisfaction of the Director of Public Services.

- ii) Right-of-way landscaping shall conform to Exhibit A, to the satisfaction of the Director of Public Services. The existing trees and understory plantings shall be retained and protected during construction to the extent feasible. Trees removed for improvements (e.g. driveway cuts) shall be replaced one-for-one, same species or approved equal, elsewhere within the corresponding right-of-way as space allows. Existing understory plantings shall be replaced and additional plants added to restore the right-of-way landscaping.
 - iii) Granite or moss rock boulders along the planting strips consistent with existing features in the right-of-way.
 - iv) In all landscape areas, add Walk-on Bark to existing and new landscape for a uniform look and to help refresh the frontage landscaping.
 - v) Protect and modify existing City irrigation systems, including upgrading meters, as needed. Prior to construction of the project driveway, City mainline, laterals and irrigation wires shall be placed in sleeves and all affected irrigation zones shall be brought back to working order when the project is complete.
- f. Prior to any grading or construction activities including issuance of improvement plans, the developer shall submit a design-level soil investigation for the review and approval of the City Engineer and Chief Building Official that evaluates soil and rock conditions, particularly the potential for expansive soils. The professional engineer that prepared the soil investigation shall recommend appropriate roadway construction and foundation techniques and other best practices that are to be implemented by the project during construction. These techniques and practices shall address expansive soils or other geological concerns requiring remediation, including but not limited to:
 - Recommendations for building pad and footing construction;
 - Use of soil stabilizers or other additives; and
 - Recommendations for surface drainage.
- g. Provisions for dust control, re-vegetation of disturbed areas, and erosion control, in conformance with the requirements of the City of Rocklin, including but not limited to the following (which shall be included in the project notes on the improvement plans):
 - i) The prime contractor shall submit to the District a comprehensive inventory (e.g., make, model, year, emission rating) of all the heavy-duty off-road equipment (50 horsepower or greater) that will be used in

aggregate of 40 or more hours for the construction project. If any new equipment is added after submission of the inventory, the prime contractor shall contact the District prior to the new equipment being utilized. At least three business days prior to the use of subject heavy-duty off-road equipment, the project representative shall provide the District with the anticipated construction timeline including start date, name, and phone number of the property owner, project manager, and on-site foreman.

- ii) During construction the contractor shall utilize existing power sources (e.g., power poles) or clean fuel (e.g., gasoline, biodiesel, natural gas) generators to minimize the use of temporary diesel power generators.
- iii) During construction, the contractor shall minimize idling time to a maximum of five minutes for all diesel powered equipment.
- iv) Traffic speeds on all unpaved road surfaces shall be posted at 15 mph or less.
- v) All grading operations shall be suspended when fugitive dust emissions exceed District Rule 228-Fugitive Dust limitations. The prime contractor shall be responsible for having an individual who is CARB-certified to perform Visible Emissions Evaluations (VEE). This individual shall evaluate compliance with Rule 228 on a weekly basis.
- vi) Fugitive dust emissions shall not exceed 40% opacity and shall not go beyond the property boundary at any time. If lime or other drying agents are utilized to dry out wet grading areas, the developer shall ensure such agents are controlled so as not to exceed District Rule 228-Fugitive Dust limitations.
- vii) The prime contractor shall be responsible for keeping adjacent public thoroughfares clean of silt, dirt, mud, and debris, and shall “wet broom” the streets (or use another method to control dust as approved by the individual jurisdiction) if silt, dirt mud or debris is carried over to adjacent public thoroughfares.
- viii) The prime contractor shall suspend all grading operations when wind speeds (including instantaneous gusts) are excessive and dust is impacting adjacent properties.
- ix) The contractor shall apply water or use other method to control dust impacts offsite. Construction vehicles leaving the site shall be cleaned to prevent dust, silt, mud, and dirt from being released or tracked off-site.

- x) All construction equipment shall be maintained in clean condition.
 - xi) Chemical soil stabilizers, vegetative mats, or other appropriate best management practices, in accordance with manufacturers' specifications, shall be applied to all-inactive construction areas (previously graded areas which remain inactive for 96 hours).
 - xii) All exposed surfaces shall be re-vegetated as quickly as feasible.
 - xiii) If fill dirt is brought to or exported from the construction site, tarps or soil stabilizers shall be placed on the dirt piles to minimize dust problems.
 - xiv) Water shall be applied to control fugitive dust, as needed, to prevent impacts offsite. Operational water trucks shall be onsite to control fugitive dust. Construction vehicles leaving the site shall be cleaned to prevent dust, silt, mud, and dirt from being released or tracked off-site.
 - xv) Processes that discharge two pounds per day or more of air contaminants, as defined by California State Health and Safety Code Section 39013, to the atmosphere may require a permit. Developers / Contractors should contact the PCAPCD prior to construction or use of equipment and obtain any necessary permits.
 - xvi) In order to minimize wind driven dust during construction, the prime contractor shall apply methods such as surface stabilization, establishment of a vegetative cover, paving, (or use another method to control dust as approved by the City).
 - xvii) Construction equipment exhaust emissions shall not exceed Placer County APCD Rule 202 Visible Emission limitations. Operators of vehicles and equipment found to exceed opacity limits are to be immediately notified by APCD to cease operations and the equipment must be repaired within 72 hours.
 - xviii) Open burning of any kind shall be prohibited. All removed vegetative material shall be either chipped on site or taken to an appropriate recycling site, or if a site is not available, a licensed disposal site.
 - xix) Any diesel powered equipment used during project construction shall be Air Resources Board (ARB) certified.
- h. The developer shall comply with the following, which shall be included as project notes on the improvement plans: (ENGINEERING, PUBLIC SERVICES)

- i) If an inadvertent discovery of cultural materials (e.g., unusual amounts of shell, charcoal, animal bone, bottle glass, ceramics, burned soil, structure/building remains) is made during project-related construction activities, ground disturbances in the area of the find shall be halted and a qualified professional archaeologist, the Environmental Services Manager and the Native American Heritage Commission shall be notified regarding the discovery. The archaeologist shall determine whether the resource is potentially significant as per CEQA (i.e., whether it is a historical resource, a unique archaeological resource, or a unique paleontological resource) and shall develop specific measures to ensure preservation of the resource or to mitigate impacts to the resource if it cannot feasibly be preserved in light of costs, logistics, technological considerations, the location of the find, and the extent to which avoidance and/or preservation of the find is consistent or inconsistent with the design and objectives of the project. Specific measures for significant or potentially significant resources would include, but are not necessarily limited to, preservation in place, in-field documentation, archival research, subsurface testing, and excavation. The specific type of measure necessary would be determined according to evidence indicating degrees of resource integrity, spatial and temporal extent, and cultural associations, and would be developed in a manner consistent with CEQA guidelines for preserving or otherwise mitigating impacts to archaeological and cultural artifacts.

In the event of the accidental discovery or recognition of any human remains, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains, until compliance with the provisions of Sections 15064.5 (e)(1) and (2) of the CEQA Guidelines, as well as Public Resources Code Section 5097.98, has occurred. If any human remains are discovered, all work shall stop in the immediate vicinity of the find and the County Coroner shall be notified, according to Section 7050.5 of the California Health and Safety Code. The City's Environmental Services Manager shall also be notified. If the remains are Native American, the Coroner will notify the Native American Heritage Commission, which in turn will inform a most likely descendant. The descendant will then recommend to the landowner appropriate disposition of the remains and any grave goods, and the landowner shall comply with the requirements of AB2641 (2006).

- ii) The applicant shall attempt to time the removal of potential nesting habitat for raptors and migratory birds to avoid the nesting season (February 1 – September 15).

If vegetation removal and/or project grading or construction activities occur during the nesting season for raptors and migratory birds (February-August), the applicant shall hire a qualified biologist approved by the City to conduct pre-construction surveys no more than 14 days prior to initiation of development activities. The survey shall cover all areas of suitable nesting habitat within 500 feet of project activity and shall be valid for one construction season. Prior to the start of grading or construction activities, documentation of the survey shall be provided to the City of Rocklin Public Services Department and if the survey results are negative, no further mitigation is required and necessary tree removal may proceed. If there is a break in construction activities of more than 14 days, then subsequent surveys shall be conducted.

If the survey results are positive (active nests are found), impacts shall be avoided by the establishment of appropriate buffers. The biologist shall consult with the California Department of Fish and Wildlife (CDFW) and the City to determine the size of an appropriate buffer area (CDFW guidelines recommend implementation of 500-foot buffers). Monitoring of the nest by a qualified biologist may be required if the activity has the potential to adversely affect an active nest.

If construction activities are scheduled to occur during the non-breeding season (September 16 - January), a survey is not required and no further studies are necessary.

- i. The following shall be included in the project notes on the improvement plans:
 - i) The discharge of fuels, oils, or other petroleum products, chemicals, detergents, cleaners, or similar chemicals to the surface of the ground or to drainage ways on, or adjacent to, the site is prohibited. (ENGINEERING, PUBLIC SERVICES, PLACER COUNTY ENVIRONMENTAL HEALTH)
 - ii) If Best Management Practices are required for control of urban runoff pollutants, then any hazardous materials collected shall be disposed of in accordance with all applicable hazardous materials laws and regulations. (ENGINEERING, PUBLIC SERVICES, PLACER COUNTY ENVIRONMENTAL HEALTH)

4. Improvements in the Public Right-of-Way

The applicant shall obtain an encroachment permit for all improvements within the public right-of-way. Applicant shall post a performance bond and labor and materials payment bond (or other equivalent financial security) in the amount of 100% of the cost of the improvements to be constructed in the public right-of-way as improvement

security to ensure the faithful performance of all duties and obligations required of applicant in the construction of the improvements. Such improvement security shall be in a form acceptable to the City Attorney. Such security shall be either a corporate surety bond, a letter of credit, or other instrument of credit issued by a banking institution subject to regulation by the State or Federal government and pledging that the funds necessary to carry out this Agreement are on deposit and guaranteed for payment, or a cash deposit made either directly with the City or deposited with a recognized escrow agent for the benefit of the City. (PUBLIC SERVICES)

5. Landscaping

- a. Final landscape plans for the on-site landscaping shall be provided by the developer and approved by the Community Development Director. The landscape plans shall comply with the following requirements: (PLANNING)
 - i) The landscaping plan shall be prepared by a landscape architect and shall include:
 - (1) A legend of the common and botanical names of specific plant materials to be used. The legend should indicate the size of plant materials.

Shrubs shall be a minimum of 5 gallon and trees a minimum of 15 gallon and meet the minimum height specified by the American Standards for Nursery Stock.
 - (2) A section diagram of proposed tree staking.
 - (3) An irrigation plan including an automatic irrigation system. The plan shall include drip irrigation wherever possible.
 - ii) Provision for the shading of the parking lot, including parking spaces, maneuvering areas, driveways, drive-through lanes, and drive aisles, by shade trees of appropriate size(s) and characteristic(s) in locations to achieve 50% shading at maturity (15 years from planting). Include a calculation demonstrating compliance with this condition on the plan.
 - iii) Additional granite or moss rock boulders along the planting strips, consistent with the existing center.
 - iv) The planter boxes around the outdoor patio shall have an appropriate automatic irrigation system. The planter boxes shall be planted with a minimum of three plant types (tall/spikey, medium/filler, and low/trailing) to provide a varied mix of plant materials to achieve a layered and attractive appearance.
 - v) The plan shall be certified by the landscape architect that the landscape plan meets the requirements of the Water Conservation in Landscaping Act. Government Code §65591, et seq.
- b. The existing trees in the landscaping between the fountain plaza and Building J shall be retained. The proposed sidewalk from the fountain to Building J shall be moved or eliminated so that no trees are removed.

- c. The parking lot lighting plan shall be designed to accommodate shade trees and provide for illumination of the parking areas. Light standards and underground utilities shall be located such that required parking lot shade trees can still be planted. (ENGINEERING, BUILDING, PLANNING)
- d. All landscaping shall be installed and the landscape architect shall certify, in writing, that the landscaping and irrigation system have been installed in full compliance with the approved plans prior to issuance of a Certificate of Occupancy. (PLANNING)
- e. Prior to building permit issuance, the applicant shall meet with the City of Rocklin Public Services, Landscape Maintenance Division to review the final on-site landscape plans to eliminate any conflicts between the final landscape plans and the existing City landscaping along Blue Oaks Boulevard. (PLANNING, BUILDING, PUBLIC SERVICES)

6. Landscaping Maintenance Agreement

Prior to issuance of the Certificate of Occupancy, the property owner shall enter into an agreement with the City of Rocklin providing for the maintenance of landscaping within the public rights-of-way along Blue Oaks Boulevard. The agreement shall stipulate that the City of Rocklin shall maintain the irrigation system and the property owner shall maintain all plant materials. The agreement shall also indemnify the City against claims arising from developer's activities and shall be recorded and binding on successors in interest of the developer. (ENGINEERING, PUBLIC SERVICES)

7. Lighting

The lighting design plan shall comply with the following and be approved by the Community Development Director. (PLANNING)

- a. All exterior lighting shall be designed and installed to avoid adverse glare on adjacent properties. Cut-off decorative lighting fixtures to match those in the existing in the center shall be used and mounted such that all light is projected directly toward the ground.
- b. Light poles shall be a maximum of 20 feet in height as measured from grade to the top of the light.
- c. Building-mounted lighting shall match the fixtures used in the existing center, be down-lit, decorative, and to the satisfaction of the Community Development Director.

8. Signs

All signs shall conform to the Sign Ordinance of the City of Rocklin, the Citywide Design Review Guidelines, the approved sign program for the center, and the sign design(s) and/or location(s) as shown on Exhibit A, except as modified herein. (PLANNING)

- a. All building mounted signage shall consist of individual internally illuminated or halo illuminated letters and logos.

9. Screening of Mechanical Equipment

- a. All mechanical equipment, whether ground or roof mounted shall be screened from view from all public rights of way to the satisfaction of the Community Development Director. The design of the screening shall be in harmony with the architectural design of the building. (PLANNING)
- b. The appearance of large utility features such as double detector check valves shall be minimized through the use of utility blankets or other acceptable screening methods. The developer shall also demonstrate that these facilities have been moved as far as possible from the public right-of-way. (PLANNING)

10. Special

- a. The drive-through ordering canopy shall be constructed of materials and colors consistent with the architecture and colors of the building. (PLANNING)
- b. The trim on the drive-through screen wall shall be painted a contrasting color from the main wall color, chosen from the building accent colors. (PLANNING)
- c. Prior to issuance of improvement plans, the seven parking spaces located west of Building H, as indicated on Exhibit A, shall be modified to construct 45° or 60° angled spaces consistent with the City's standard drawing for off-street parking instead of the perpendicular spaces shown on the Exhibit. If necessary, the loss of one or two of these parking spaces to facilitate the modification is acceptable. Adjacent hardscape (e.g. curbs and sidewalk) and landscaping shall be modified as needed to accommodate the angled spaces. (PLANNING, ENGINEERING, BUILDING)

11. Outdoor Storage

All incidental and miscellaneous outdoor storage areas shall be completely screened from public view by a decorative masonry or concrete wall or approved equal. All gates shall be solid and view obstructing, constructed of metal or other durable and sturdy materials acceptable to the Community Development Director. (PLANNING)

12. Air Quality

- a. Electrical receptacles shall be installed in the exterior walls of the building(s) in this project to promote the use of electrical landscaping equipment. (BUILDING, PLANNING)
- b. Low nitrous oxide (NO_x) natural gas hot water heaters shall be installed if gas hot water heaters are to be used in this project. (BUILDING, PLANNING)

13. Noise

- a. All “self-powered” construction equipment and stationary noise sources (i.e. pumps, electrical generators, etc.) shall be equipped with noise control devices (e.g., mufflers). (ENGINEERING, BUILDING)
- b. Equipment “warm-up” areas, water storage tanks, equipment storage areas, and stationary noise-generating machinery (i.e. pumps, electrical generators, etc.) shall be located away from existing residences and other sensitive noise receptors to the extent feasible. (ENGINEERING, BUILDING)
- c. All phases of project development shall be subject to the City of Rocklin Construction Noise Guidelines, including restricting construction-related noise generating activities within or near residential areas to between 7:00 a.m. and 7:00 p.m. on weekdays, and between 8:00 a.m. and 7:00 p.m. on weekends. The Community Development Director may grant exceptions to the Construction Noise Guidelines if, in the opinion of the Community Development Director, special and unusual circumstances exist that make strict adherence to the Construction Noise Guidelines infeasible. (ENGINEERING, BUILDING)
- d. Use of a public address system that can be heard outside of the building is prohibited. (PLANNING)
- e. Use of an amplified sound system to provide music for the outdoor seating area is permissible however such music is intended to be a muted background noise and should not be audible from a distance of 100 feet from the building. (PLANNING)

14. Maintenance

- a. The property owner shall remove within 72 hours all graffiti placed on any fence, wall, existing building, paved area or structure on the property consistent with the provisions of Rocklin Municipal Code Section 9.32. Prior to removal of said

graffiti, the property owner shall report the graffiti vandalism to the Rocklin Police Department. (PLANNING, POLICE)

- b. The project, including but not limited to paving, landscaping, structures, and improvements shall be maintained by the property owners, to the standard of similarly situated properties in equivalent use zones, to the satisfaction of the Community Development Director. (PLANNING)
- c. The outdoor seating area shall be maintained free of trash and any other debris to the satisfaction of the Community Development Director. (PLANNING)

15. Outdoor Seating

- a. Prior to enlarging or modifying the outdoor seating area, the property owner shall present a detailed dimensioned plan of the outdoor seating area, including the number of chairs and tables, provisions for access, fencing, screening, and providing shade for patrons to the Community Development Director for review and approval. (PLANNING)
- b. Decorative fencing and/or container plantings consistent with Exhibit A shall be required to delineate the outdoor seating area to the satisfaction of the Community Development Director. (PLANNING)
- c. Decorative and sturdy metal outdoor furniture which compliments the building and environment created for the area shall be used in the outdoor seating area to the satisfaction of the Community Development Director. No plastic furniture shall be permitted. (PLANNING)

16. Security

- a. Prior to building permit issuance, the applicant shall update the shopping center's security plan for review by the Rocklin Police Department, and shall provide the Rocklin Police Department with the name(s) and telephone number(s) of a responsible party to contact. (POLICE, PLANNING)
- b. Prior to building / unit occupancy the property owner, or each tenant, shall obtain and maintain at all times, an Alarm System Permit for each security system installed and operated in the building, if any, in accord with the requirements of Chapter 9.44 of the Rocklin Municipal Code. (POLICE)

17. Indemnification and Duty to Defend

Within 30 days of approval of this entitlement by the City, the developer shall execute an Indemnity Agreement, approved by the City Attorney's Office, to indemnify, defend,

reimburse, and hold harmless the City of Rocklin and its agents, officers and employees from any claim, action, or proceeding against the City of Rocklin to set aside, void or annul an approval of the entitlement by the City's Planning Commission or City Council, which action is brought within the time period provided for in Section 66499.37 of the Government Code. The City will promptly notify the applicant of any such claim, action or proceeding, and the City will cooperate in the defense of the claim, action or proceeding. Unless waived by the City, no further processing, permitting, implementation, plan checking or inspections related to the entitlement shall be performed by the City if the Indemnity Agreement has not been fully executed within 30 days. (CITY ATTORNEY)

18. Validity

This entitlement shall expire two years from the date of approval unless prior to that date a building permit has been issued or a time extension has been granted. (PLANNING)

PASSED AND ADOPTED this 2nd day of April, 2019, by the following roll call vote:

AYES: Commissioners: Barron, Alatorre, McKenzie, Vass

NOES: Commissioners: None

ABSENT: Commissioners: Whitmore

ABSTAIN: Commissioners: None



Michele Vass, Vice-Chairperson

ATTEST:

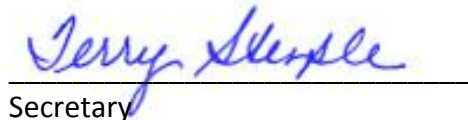

Secretary

EXHIBIT A

Rocklin West Pad I Design Review DR2018-0012

Available at the Community Development Department, Planning Division



VICINITY MAP



PROJECT DATA

ACCESSOR'S PARCEL NUMBER:	365-020-048-000
ZONING:	PD-COMM
GENERAL PLAN:	R-C
OVERALL PARCEL AREA:	+/- 12.5 AC
SUBJECT PARCEL AREA:	38,986.74 SF / 0.895 AC
GROSS FLOOR AREA:	
(N) BUILDING I:	6,114 SQ.FT.
(N) PATIO:	1,235 SQ.FT.

OWNER / CONSULTANT INDEX

OWNER / DEVELOPER SOMA CAPITAL PARTNERS 55 NEW MONTGOMERY STREET, STE.615 SAN FRANCISCO, CA 94705 JORDAN CASPARI (415) 233-9975 JCASPARI@SOMA-CAPITAL.COM	CIVIL ENGINEER TSD ENGINEERING, INC. 785 ORCHARD DR, STE 110 FOLSOM, CA 95630 CASEY S. FEICKERT (916) 608-0707 ext 103 CFEICKERT@TSDENG.COM
---	--

ARCHITECT BORGES ARCHITECTURAL GROUP 1478 STONE POINT DR., STE. 350 ROSEVILLE, CA 95661 ROCELYN BAJAO (916)782-7200 ROCELYN@BORGESARCH.COM	LANDSCAPE ARCHITECTS SIERRA DESIGN GROUP 5320 BARTON ROAD LOOMIS, CA 95650 DARYL F. MARTIN (916) 660-9022 DARYL-SDG@FASTKAT.COM
---	--

SERVICE PROVIDER:
GAS & ELECTRICITY: PACIFIC GAS & ELECTRIC (PG&E)
WATER: PLACER COUNTY WATER AGENCY
GARBAGE: RECOLOGY AUBURN PLACER
SEWER: SOUTH PLACER MUNICIPAL UTILITY DISTRICT (SPMUD)

PARKING CALCULATION

BLDG	GROSS FLOOR AREA	PERCENTAGE TYPE	NET FLOOR AREA RV LOTS	RATIO	PARKING PROVIDED	PARKING EXISTING PER SITE	PARKING PROVIDED	Number of Compact Stalls	Compact Percentage (30% Allowed)
(E)A	10,504	100	10,504	1 200	53		38	2	
(E)B	12,670	100	12,670	1 200	63		38		
(E)C	7,600	100	7,600	1 200	38				
(E)D	11,869	100	11,869	1 200	59	304	319	20	
(E)E	21,139	100	21,139	1 200	106				
(E)F	7,586	100	7,586	1 200	38				
(E)G	6,610	100	6,610	1 200	33		24	0	
(E)H	5,415	100	5,415	1 200	27		66	8	
I	6,698	100	6,698	1 200	33		9	1	0
Patio - Pal I	750	100	750	1 200	4			5	0
(E)J	4,500	100	4,500	1 200	23		25	24	2
(E)K	5,430	100	5,430	1 200	27		45	45	2
	100,771		100,771		504		522	518	6.56%

TOTAL PARKING PROVIDED:	
STANDARD STALLS:	460
COMPACT STALLS:	34
ACCESSIBLE STALLS:	19
MOTORCYCLE STALLS:	5
TOTAL STALLS PROVIDED:	518

INDEX DRAWING

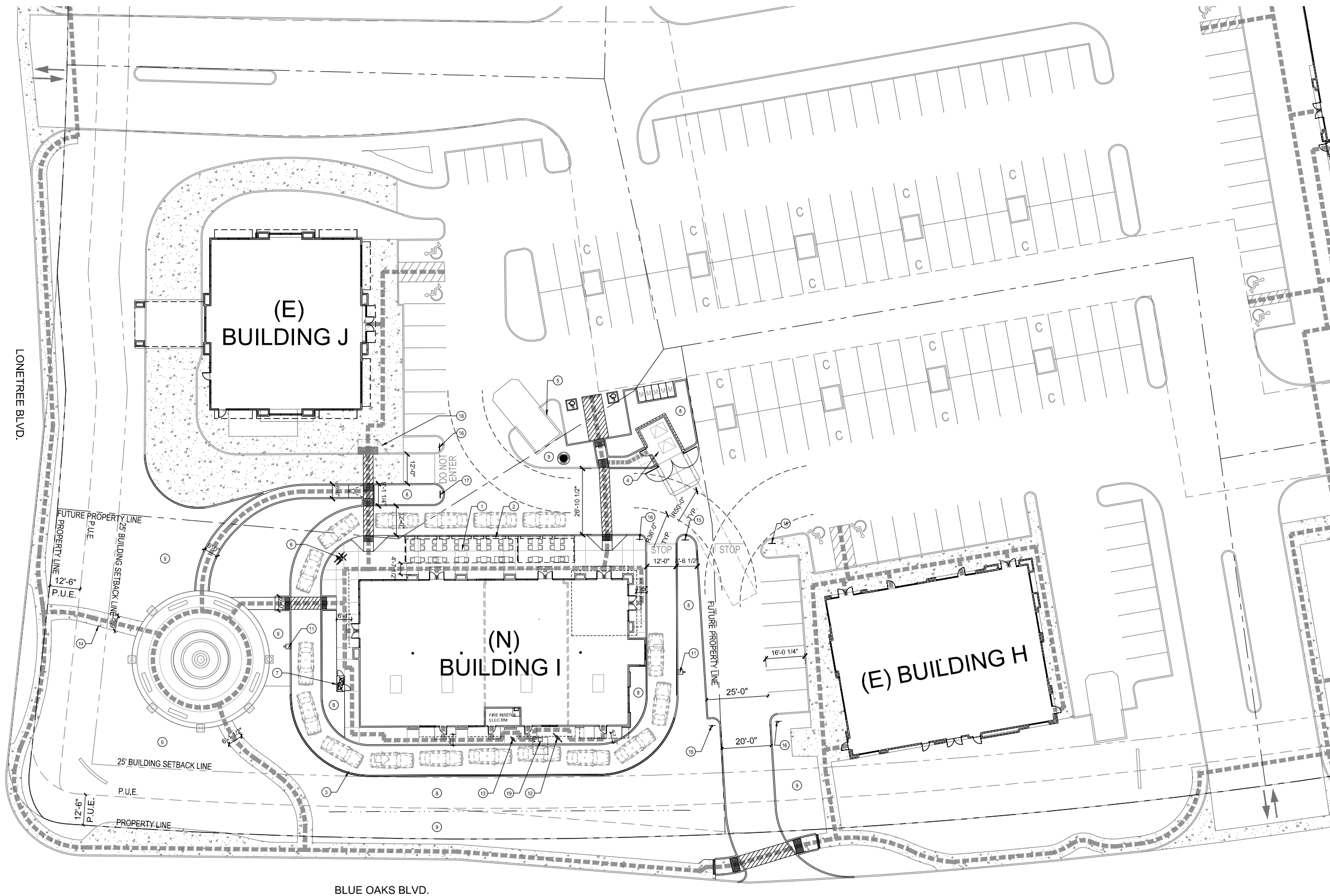
G-001	COVER SHEET & ARCHITECTURAL SITE PLAN
G-002	DEMOLITION PLAN
G-003	ENLARGED SITE PLAN
G-004	ACCESSIBILITY SITE PLAN
G-005	SITE DETAILS
G-006	SITE DETAILS
1/3	PRELIMINARY SITE PLAN (CIVIL)
2/3	PRELIMINARY UTILITY PLAN (CIVIL)
3/3	PRELIMINARY GRADING PLAN (CIVIL)
L-1	PRELIMINARY LANDSCAPE PLAN L-1
L-2	PRELIMINARY LANDSCAPE PLAN L-2
L-3	PRELIMINARY LANDSCAPE PLAN L-3
A-101	FLOOR PLAN AND ROOF PLAN
A-201	ARCHITECTURAL BUILDING ELEVATIONS
A-301	ARCHITECTURAL BUILDING SECTIONS
A-101	ARCHITECTURAL FLOOR PLAN & ROOF PLAN
A-201	COLOR BUILDING ELEVATIONS
A-901	COLOR RENDERING
LC-1	COLOR LANDSCAPE PLANS L-1
LC-2	COLOR LANDSCAPE PLANS L-2
LC-3	COLOR LANDSCAPE PLANS L-3

EXHIBIT A
DR2018-0012

APPROVED BY PLANNING COMMISSION ON April 2, 2019

David Mohlenbrok
David Mohlenbrok, Community Development Director

ROCKLIN WEST - PAD 'I' COVER SHEET & SITE PLAN



SITE PLAN KEYNOTE

- 1 PATIO AREA
- 2 PLANTER BOXES & FENCE
- 3 RETAINING WALL
- 4 TRASH ENCLOSURE
- 5 (E) TRASH ENCLOSURE
- 6 BIKE RACK
- 7 BIKE LOCKER
- 8 PLANTER AREA
- 9 (E) PLANTER AREA
- 10 WALL SCONCE
- 11 PARKING LOT LIGHTING
- 12 MENU BOARD
- 13 PRE-MENU BOARD
- 14 (E) SIDEWALK
- 15 'STOP' DIRECTIONAL SIGN
- 16 'DO NOT ENTER' DIRECTIONAL SIGN
- 17 DIRECTIONAL SIGN
- 18 (E) CURB CUT
- 19 ORDER CANOPY W/ ORDER CONFIRMATION DISPLAY DETAIL
- 20 CONCRETE FILLED STEEL BOLLARD

ACCESSIBLE PATH OF TRAVEL

SCALE 1"= 20'-0"
20' 10' 0 20' 40'



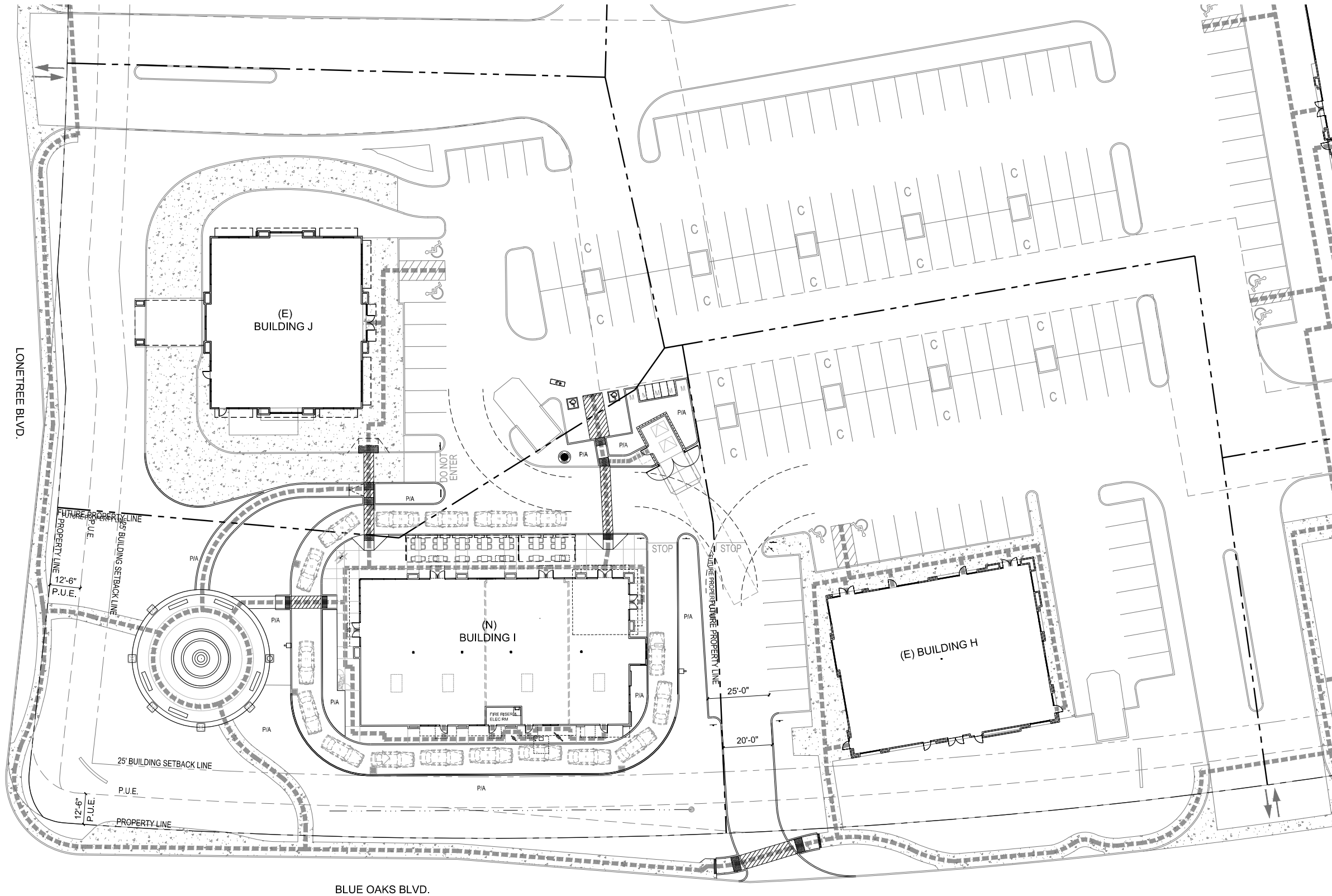
ROCKLIN WEST - PAD 'I' ENLARGED ARCHITECTURAL SITE PLAN

G-003
ARCHITECTURAL GROUP
Borges

ROCKLIN, CALIFORNIA

18003 3/5/19

1478 STONE POINT DRIVE SUITE 350 ROSEVILLE, CA 95661 T | 916 782 7200 borgesarch.com



ACCESSIBILITY KEYNOTE

----- ACCESSIBLE PATH OF TRAVEL

SCALE 1"= 20'-0"
20' 10' 0 20' 40'



ROCKLIN WEST - PAD 'I' ACCESSIBILITY SITE PLAN

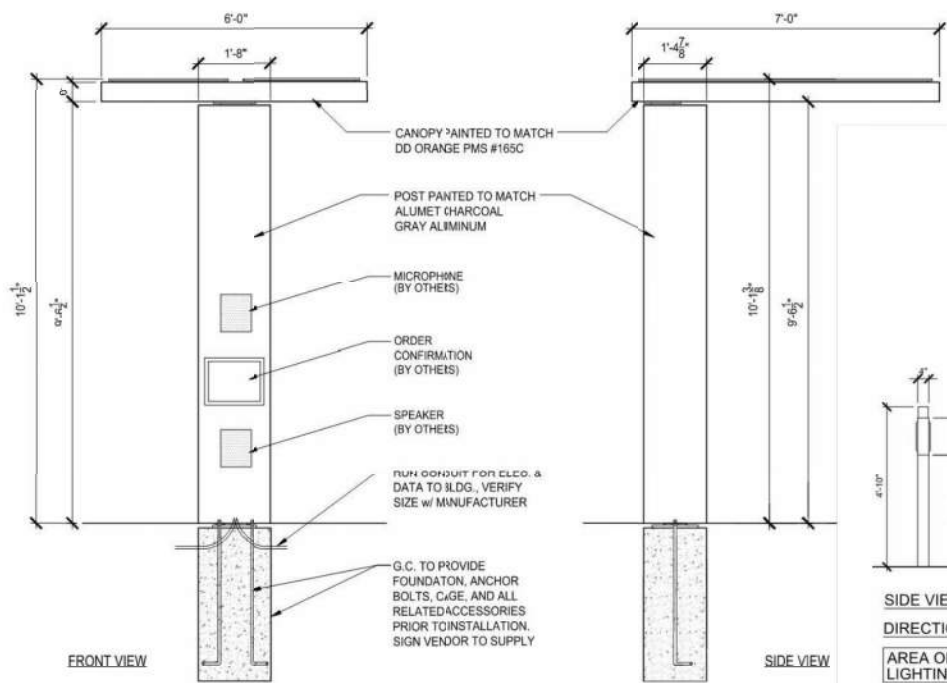
G-004

ROCKLIN, CALIFORNIA

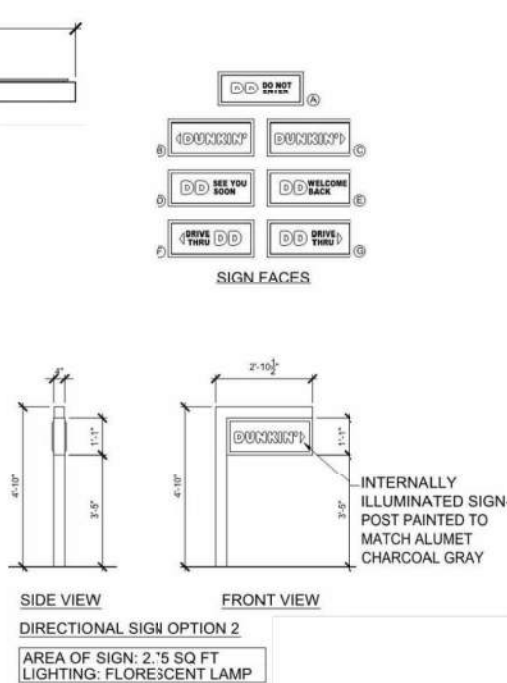
18003 3/5/19

1478 STONE POINT DRIVE SUITE 350 ROSEVILLE, CA 95661 T | 916 782 7200 borgesarch.com

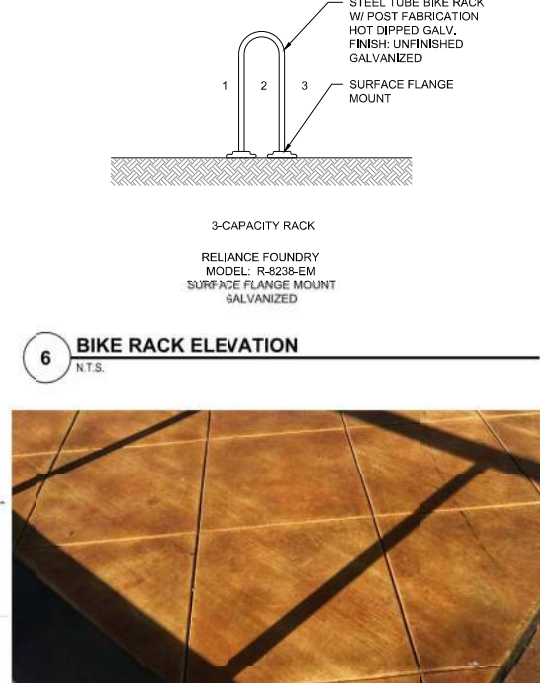




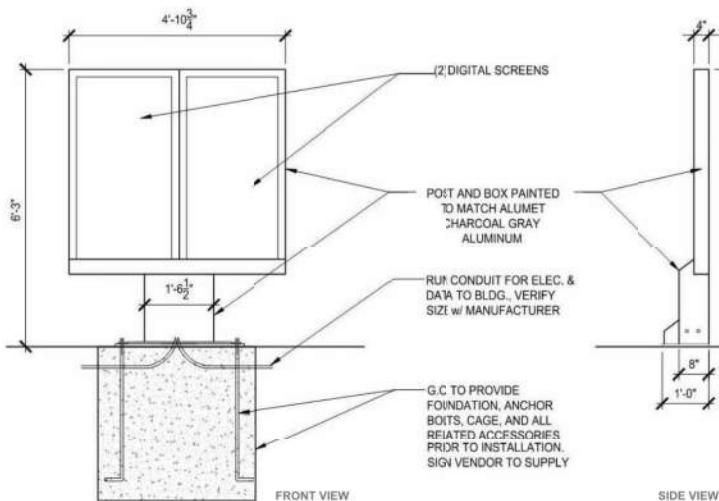
11 ORDER CANOPY W/ ORDER CONFIRMATION DISPLAY DETAIL
N.T.S.



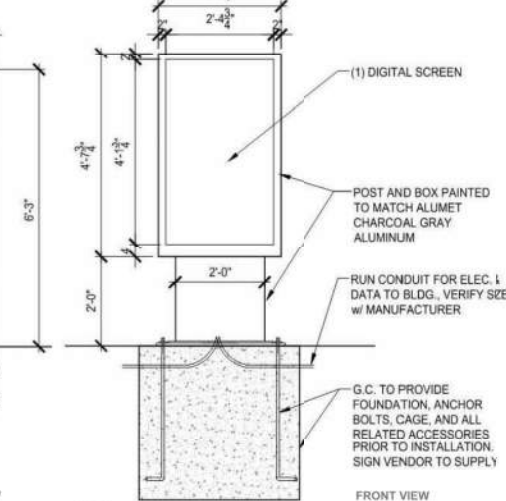
12 DIRECTIONAL SIGN DETAILS
N.T.S.



6 BIKE RACK ELEVATION
N.T.S.



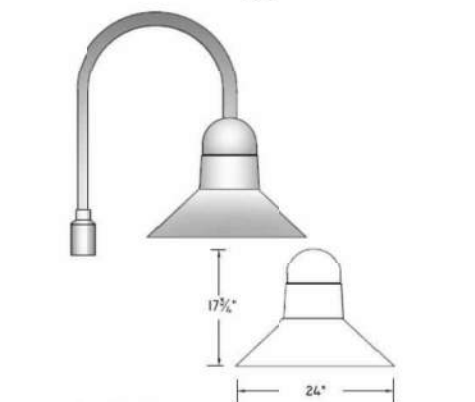
9 DIGITAL MENU BOARDS DETAILS
N.T.S.



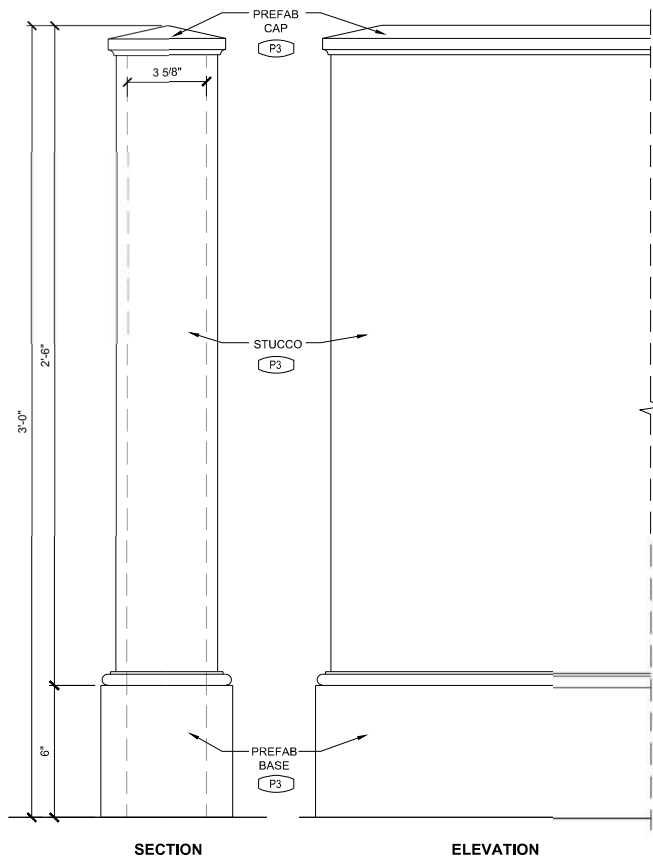
10 DIGITAL PREVIEW BOARD
N.T.S.



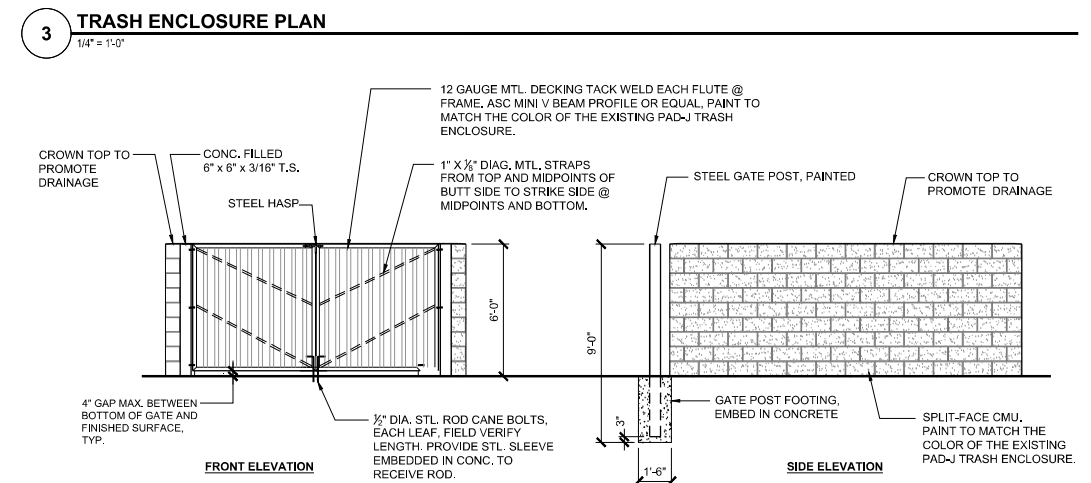
7 WALL SCONCE (TO MATCH EXISTING)
ALUMILITE VK-400 LED SERIES



8 PARKING LOT LIGHT (TO MATCH EXISTING)
ALUMILITE VK-2400 LED SERIES



4 LOW SCREEN WALL SECTION & ELEVATION



3 TRASH ENCLOSURE PLAN
1/4" = 1'-0"



2 TRASH ENCLOSURE ELEVATION
1/4" = 1'-0"

1 PLANTER BOXES & FENCE PERSPECTIVE VIEW

ROCKLIN WEST - PAD 'I' SITE DETAILS

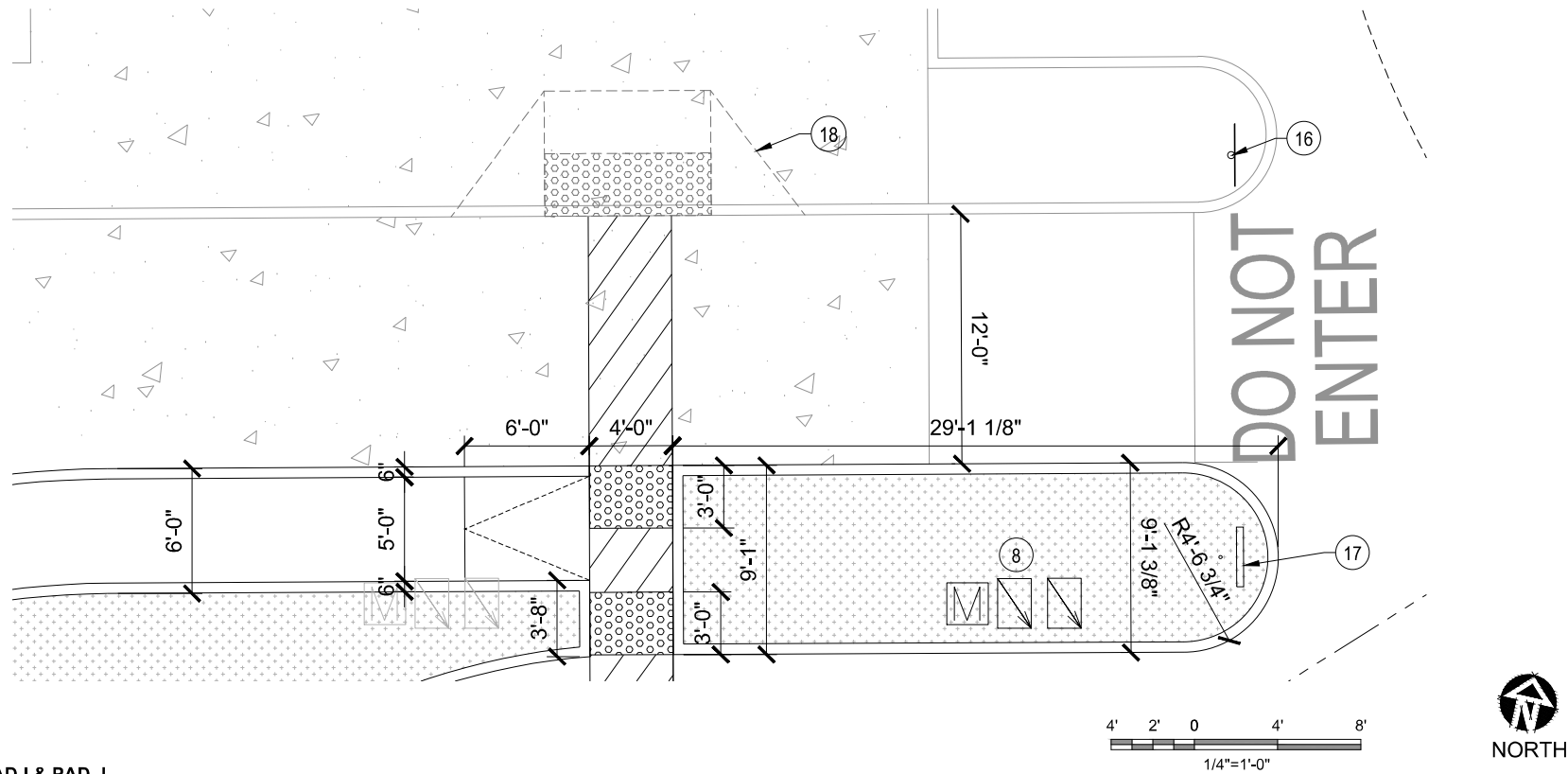
ROCKLIN, CALIFORNIA

18003 3/5/19

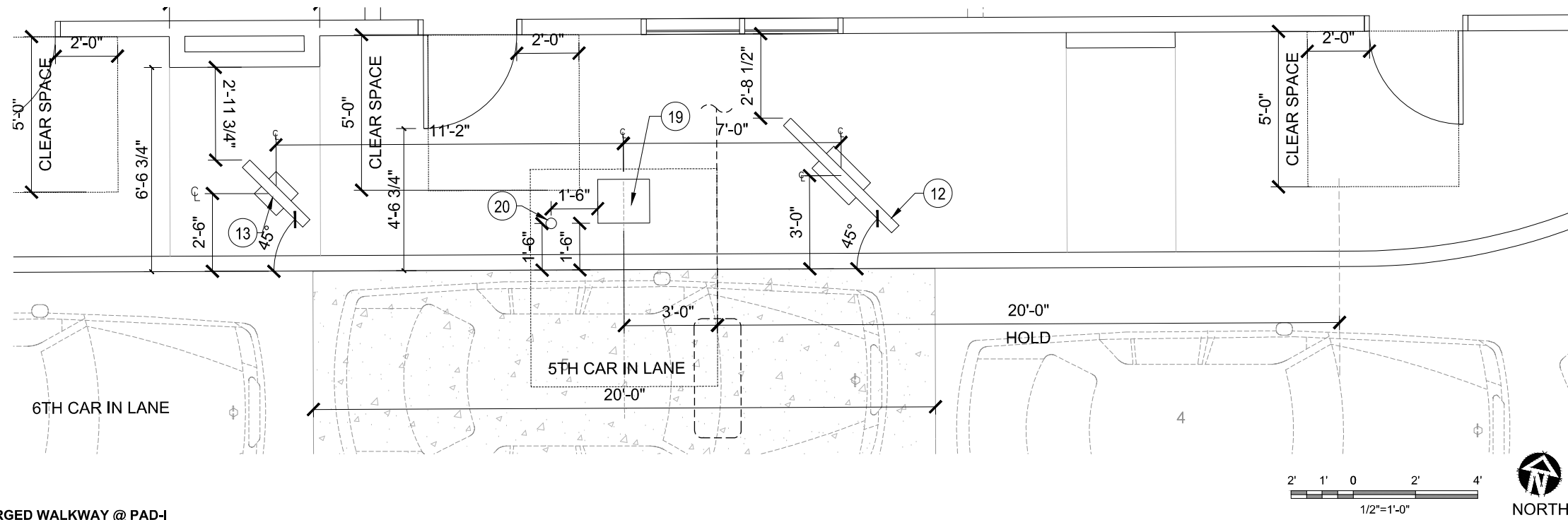
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G-005

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Borges



2 ENLARGED ISLAND BETWEEN PAD-I & PAD-J
3/8"=1'-0"



1 ENLARGED WALKWAY @ PAD-I
1/2"=1'-0"

SITE PLAN KEYNOTE

- ① PATIO AREA
- ② PLANTER BOXES & FENCE ①
G-005
- ③ RETAINING WALL
- ④ TRASH ENCLOSURE ②
G-005 ③
G-005
- ⑤ (E) TRASH ENCLOSURE
- ⑥ BIKE RACK ⑥
G-005
- ⑦ BIKE LOCKER
- ⑧ PLANTER AREA
- ⑨ (E) PLANTER AREA
- ⑩ WALL SCENCE ⑦
G-005
- ⑪ PARKING LOT LIGHTING ⑧
G-005
- ⑫ MENU BOARD ⑨
G-005
- ⑬ PRE-MENU BOARD ⑩
G-005
- ⑭ (E) SIDEWALK
- ⑮ 'STOP' DIRECTIONAL SIGN
- ⑯ 'DO NOT ENTER' DIRECTIONAL SIGN
- ⑰ DIRECTIONAL SIGN ⑫
G-005
- ⑱ (E) CURB CUT
- ⑲ ORDER CANOPY W/ ORDER CONFIRMATION DISPLAY DETAIL ⑪
G-005
- ⑳ CONCRETE FILLED STEEL BOLLARD

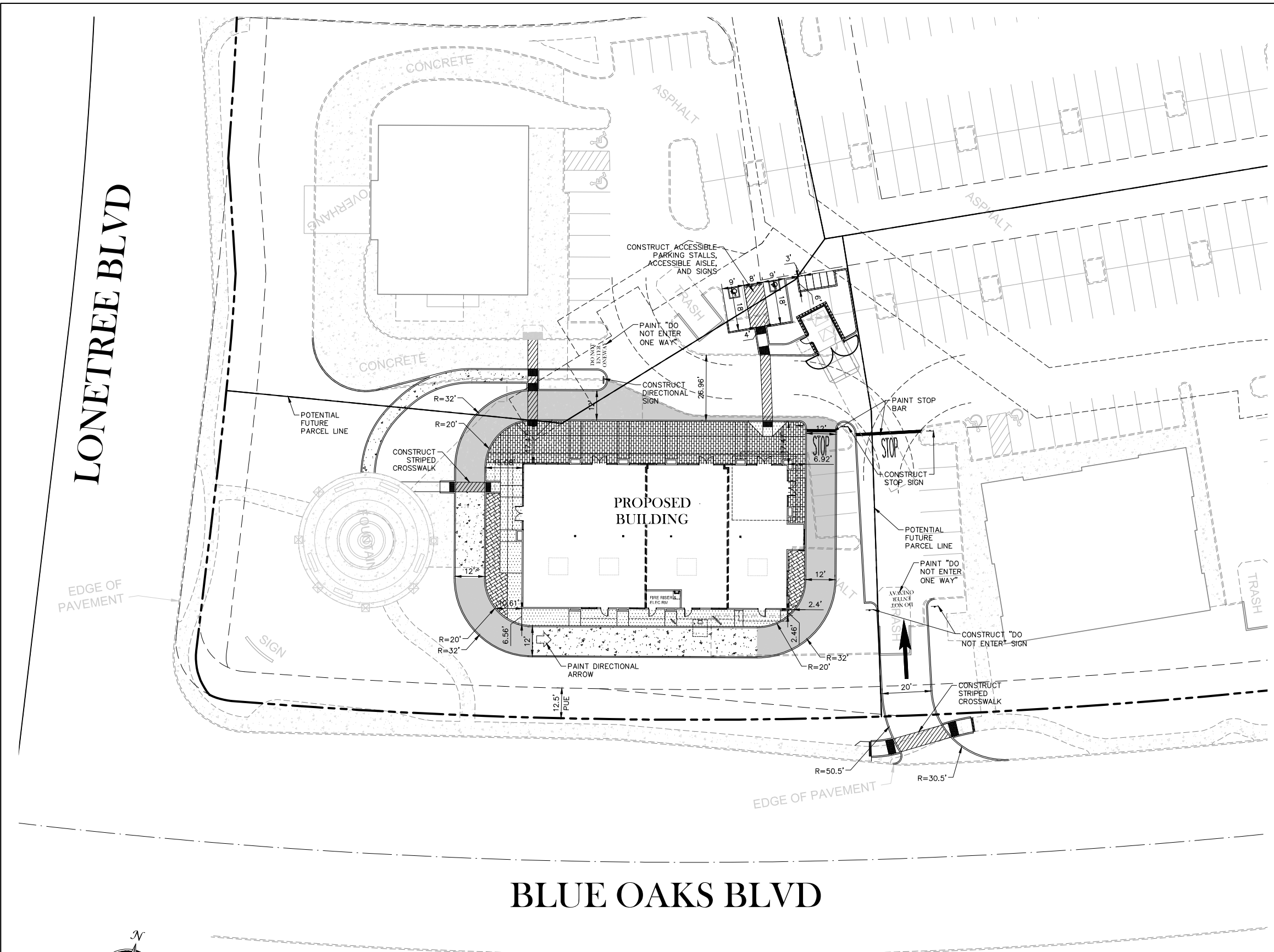
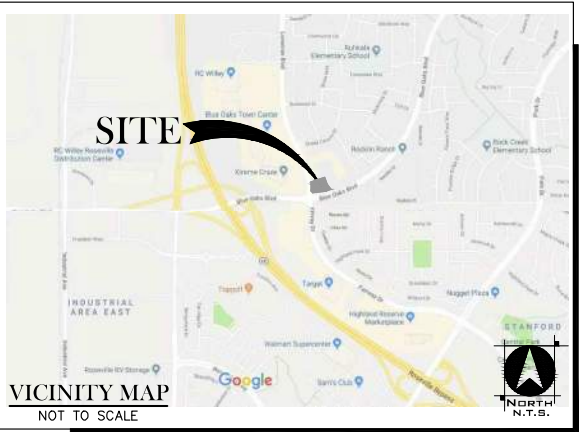
———— ACCESSIBLE PATH OF TRAVEL

ROCKLIN WEST - PAD 'I' ENLARGED ISLAND & ENLARGED WALKWAY

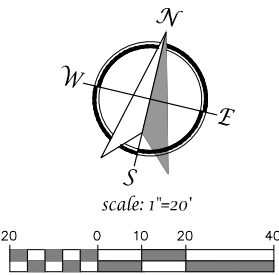
G-006

ARCHITECTURAL GROUP
Borges

PRELIMINARY SITE PLAN
ROCKLIN WEST
PAD I
ROCKLIN, CA



SITE & PAVEMENT LEGEND	
REFERENCE GEOTECHNICAL REPORT FOR ALL FILL COMPACTION AND SUBGRADE COMPACTION REQUIREMENTS.	
	3" MIN. AC ON 8" CLASS II AB, TI=6.5
	6" PCC (2500 PSI) ON 4" CLASS II AB W/ #3 REBAR 24" O.C. EACH WAY
	PERVIOUS PAVEMENT
	PAVERS
	LANDSCAPE



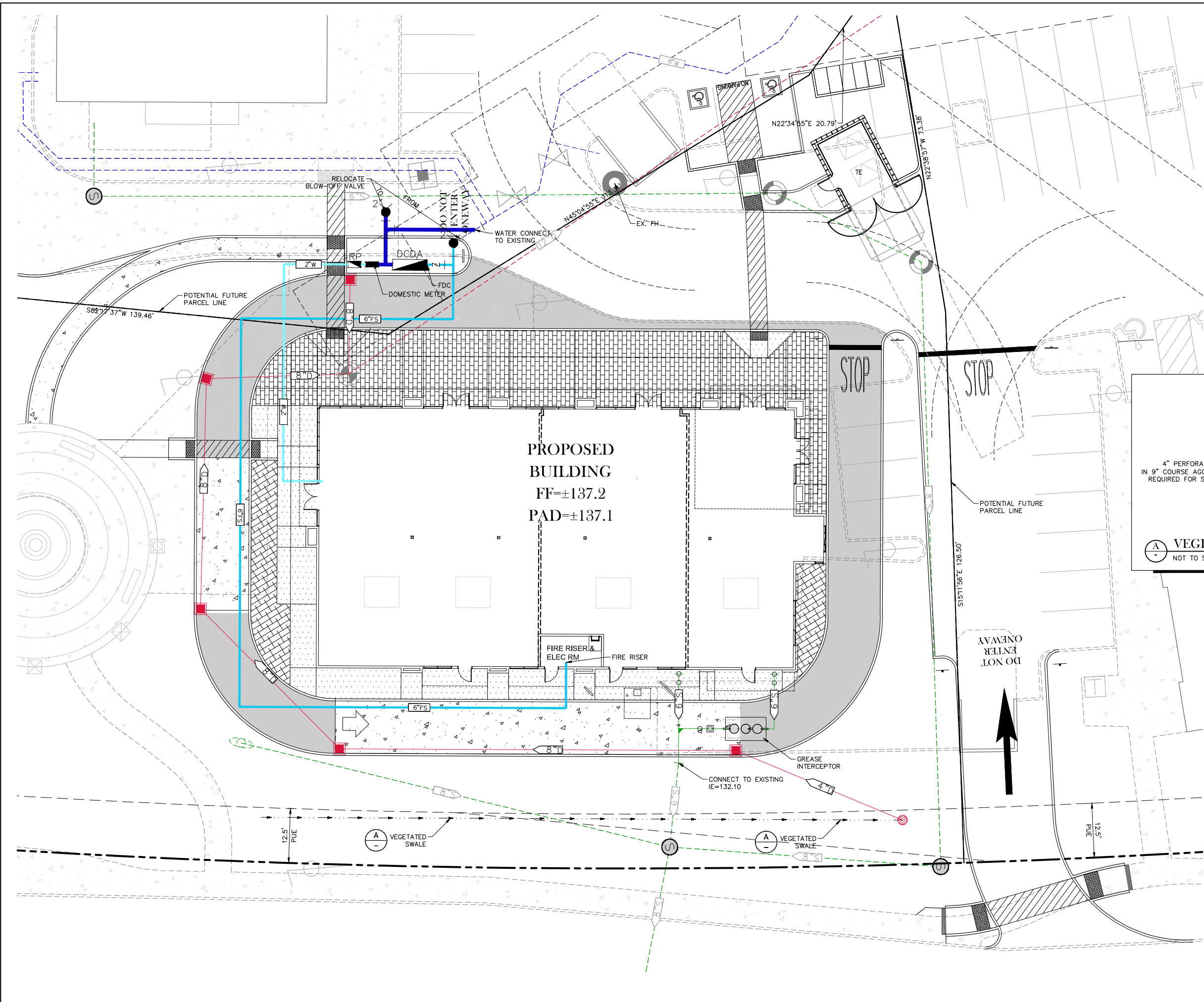
BLUE OAKS BLVD

PRELIMINARY SITE PLAN
FEBRUARY 19, 2019

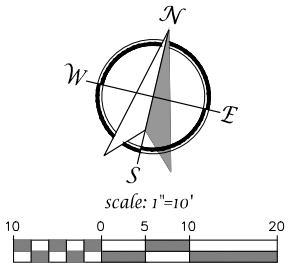
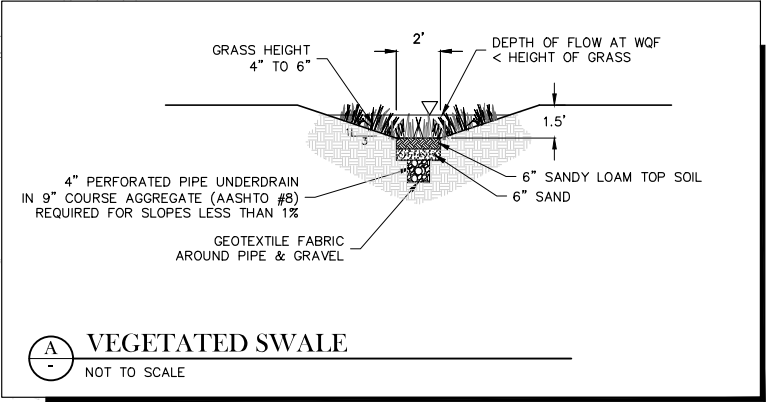


785 Orchard Drive, Suite #110
Folsom, CA 95630
Phone: (916) 608-0707
Fax: (916) 608-0701

SHEET
1/3



LEGEND		
DESCRIPTION	PROPOSED	EXISTING
DESIGN ELEVATION	130.0 FG	(98.0) FF
CONTOUR	130	130
STORM DRAIN	12" S	12" S
MANHOLE	●	●
DROP INLET	■	■
WATER QUALITY DEVICE	⊙	
GRADE BREAK	≡≡≡	
OVERLAND RELEASE	➔	
LANDSCAPE FLOW DIRECTION		➔
SWALE FLOWLINE	—	—
WATER	3" S	2" S
FIRE SERVICE	6" S	
SEWER	4" S	
SEWER MANHOLE	●	●
METER & RP	⊙	
FIRE DEPARTMENT CONNECTION	⊕	



PRELIMINARY UTILITY PLAN
FEBRUARY 19, 2019



TSD ENGINEERING, INC.
expect more.

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Folsom, CA 95630
Phone: (916) 608-0707
Fax: (916) 608-0701

PRELIMINARY WATER EFFICIENT LANDSCAPE WORKSHEET

REFERENCE EVAPOTRANSPIRATION (ETO): 52.2

HYDROZONE # PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF/IE)	LANDSCAPE AREA (SQ. FT.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU) IN GALLONS/YEAR						
REGULAR LANDSCAPE AREAS - NEW LANDSCAPE AREAS (EXCLUDES EXISTING AREAS)													
MED. W.U.	0.5	DRIP	0.81	0.62	150	93	3,010						
LOW W.U.	0.2	DRIP	0.81	0.25	4,630	1,158	37,461						
				TOTALS:	4,780	1,251							
SPECIAL LANDSCAPE AREAS													
-				1.00	0	0	0						
				TOTALS:	0	0							
ETWU TOTAL:						40,471							
MAXIMUM APPLIED WATER ALLOWANCE (MAWA):						69,615							
MAXIMUM APPLIED WATER ALLOWANCE (MAWA) WHERE MAWA = (ETo) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)] MAWA: (52.2) (0.62) [(0.45 x 4,780) + (0)] = 69,615 GALLONS PER YEAR													
ETAF CALCULATIONS REGULAR LANDSCAPE AREAS <table><tr><td>TOTAL ETAF x AREA</td><td>1,251</td></tr><tr><td>TOTAL AREA</td><td>4,780</td></tr><tr><td>AVERAGE ETAF</td><td>0.26</td></tr></table> <div>NOTE: AVERAGE ETAF FOR REGULAR LANDSCAPE AREAS IS 0.45 OR BELOW FOR NON-RESIDENTIAL AREAS.</div>								TOTAL ETAF x AREA	1,251	TOTAL AREA	4,780	AVERAGE ETAF	0.26
TOTAL ETAF x AREA	1,251												
TOTAL AREA	4,780												
AVERAGE ETAF	0.26												

NOTE: THE PLAN, AS PROPOSED, WILL COMPLY WITH THE CALIFORNIA WATER CONSERVATION IN LANDSCAPE ACT.

LANDSCAPE DESIGN NOTES

1. PROPOSED PLANT MATERIAL IS SELECTED TO MATCH OR BLEND WITH EXISTING PLANTS WHILE MEETING CURRENT WATER USE RESTRICTIONS.
2. PROPOSED PLANT MATERIAL WAS ALSO SELECTED TO PROVIDE COLOR AND TEXTURAL VARIATIONS, AND SCREENING WHERE APPROPRIATE.
3. EXISTING LANDSCAPING TO BE PRESERVED TO THE EXTENT POSSIBLE. PLANTING AND IRRIGATION SHOWN TO REMAIN THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED PER ORIGINAL WHERE POSSIBLE.
4. SEE PLAN FOR EXISTING TREES ON SITE TO REMAIN AND TO BE REMOVED. TWENTY NEW TREES ARE PROPOSED TO REPLACE THIRTEEN TREES TO BE REMOVED.
5. A THREE-FOOT HIGH WALL AND LARGE SHRUB HEDGE ARE PROPOSED TO SCREEN THE DRIVE-THRU LANE FROM BLUE OAKS BLVD. THE SCREEN WALL WILL BE FINISHED TO MATCH THE NEW BUILDING.
6. IRRIGATION AND PLANTING PLANS DESIGNED TO COMPLY WITH THE WATER EFFICIENT LANDSCAPE REQUIREMENTS SHALL BE SUBMITTED AFTER PRELIMINARY DESIGN REVIEW.
7. ALL NEW PLANTING AREAS SHALL BE IRRIGATED BY ALTERING THE EXISTING IRRIGATION SYSTEM.
8. ALL NEW AND EXISTING ADJACENT AND STREET FRONTAGE SHRUB BEDS SHALL RECEIVE A THREE-INCH LAYER OF WALK-ON BARK MULCH DRESSING.
9. SEE CIVIL ENGINEERING AND ARCHITECTURAL PLANS FOR ALL PAVING, GRADING, AND OTHER SITE STRUCTURES.

LANDSCAPE AREA


















LANDSCAPE AREA REQUIREMENT: MINIMUM OF 20% OF SITE.

AREA OF PARCEL: APPROX. 38,306 S.F.

TOTAL LANDSCAPE AREA (NEW AND EXISTING): APPROX. 17,310 S.F.

LANDSCAPE AREA AS PERCENTAGE OF PARCEL: 17,310 / 38,306 = 45%

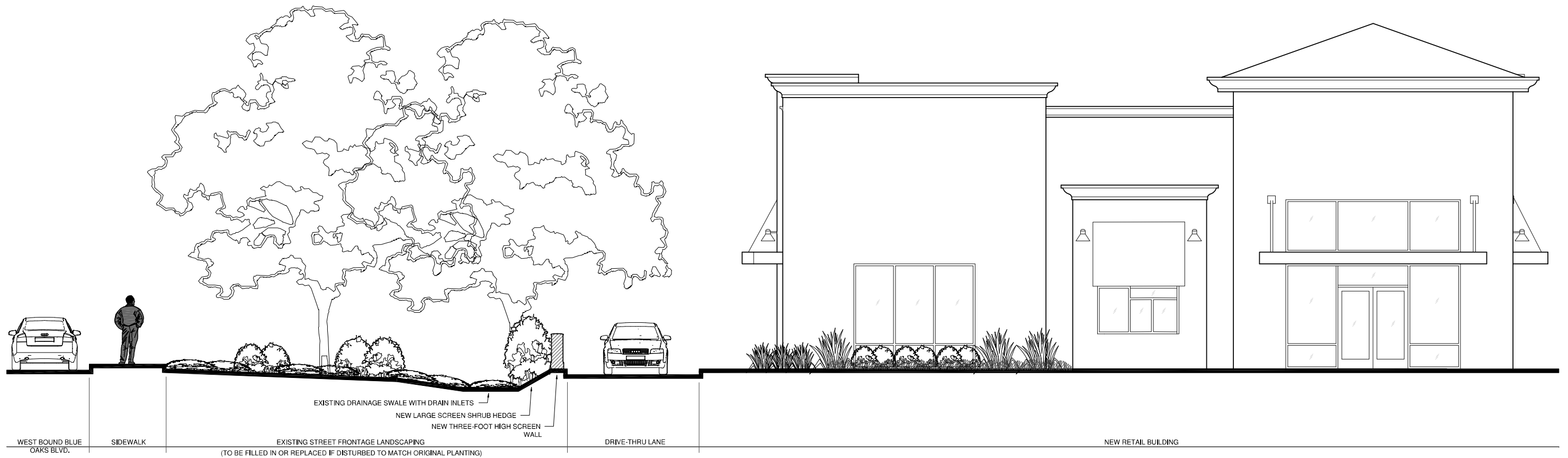
PRELIMINARY PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	PLANTED SIZE	QTY	
	<i>Pistacia chinensis</i>	Chinese Pistache	15 gal	Low	Ht:7'-8'/Sp:2'-3'	5	
	<i>Platanus x acerifolia</i> 'Bloodgood'	London Plane Tree	15 gal	Medium	Ht:7'-8'/Sp:2'-3'	2	
	<i>Prunus cerasifera</i> 'Krauter Vesuvius'	Purple Leaf Plum	15 gal	Medium	Ht:7'-8'/Sp:2'-3'	7	
	<i>Pyrus calleryana</i> 'Redspire'	Redspire Callery Pear	15 gal	Medium	Ht:7'-8'/Sp:2'-3'	6	
SHRUBS	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	PLANTED SIZE	QTY	
	<i>Dietes vegeta</i>	African Iris	5 gal	Low	Ht:12'/Sp:10'	11	
	<i>Kniphofia uvana</i> 'Flamenco'	Flamenco Red Hot Poker	5 gal	Low	Ht:14'/Sp:14'	24	
	<i>Myrtus communis</i> 'Compacta'	Dwarf Myrtle	5 gal	Low	Ht:10'/Sp:10'	16	
	<i>Nandina domestica</i> 'Fire Power'	Firepower Nandina	5 gal	Low	Ht:8'/Sp:8'	89	
	<i>Nandina domestica</i> 'Gulf Stream'	Heavenly Bamboo	5 gal	Low	Ht:10'/Sp:10'	37	
	<i>Nassella tenuissima</i>	Texas Needle Grass	5 gal	Low	Ht:6'/Sp:6'	100	
	<i>Phormium tenax</i> 'Atropurpureum Compactum'	Purple New Zealand Flax	5 gal	Low	Ht:18'/Sp:14'	3	
	<i>Phormium tenax</i> 'Firebird'	Fire Bird Flax	5 gal	Low	Ht:16'/Sp:14'	3	
	<i>Rhaphiolepis umbellata</i> 'Minor'	Yedda Hawthorn	5 gal	Low	Ht:14'/Sp:14'	56	
	<i>Xylosma congestum</i> 'Compacta'	Compact Xylosma	5 gal	Low	Ht:14'/Sp:14'	44	
VINE/ESPALIER	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	PLANTED SIZE	QTY	
	<i>Macfadyena unguis-cati</i>	Yellow Trumpet Vine	5 gal	Low	Ht:36'/Sp:12'	3	
GROUND COVERS	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	PLANTED SIZE	SPACING	QTY
	<i>Equisetum hyemale</i>	Horsetail Reed Grass	1 gal	High	Ht:18'/Sp:6"		37 sf
	<i>Festuca ovina glauca</i>	Blue Sheep Fescue	1 gal	Low	Ht:6'/Sp:6"	9" o.c.	143
	<i>Juncus patens</i>	California Gray Rush	1 gal	Medium	Ht:6'/Sp:6"	24" o.c.	6
	<i>Myoporum parvifolium</i> 'Prostratum'	Myoporum	1 gal	Low	Ht:2'/Sp:6"	72" o.c.	6
	<i>Rosmannus officinalis</i> 'Huntington Carpet'	Huntington Carpet Rosemary	1 gal	Low	Ht:4'/Sp:6"	72" o.c.	49

NOTE: PLANT WATER USE IS PER WUCOLS IV (WATER USE CLASSIFICATION OF LANDSCAPE SPECIES)

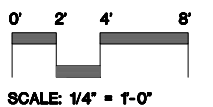
NOTE: PLANT WATER USE IS PER WUCOLS IV (WATER USE CLASSIFICATION OF LANDSCAPE SPECIES)





SECTION-ELEVATION

SCALE: 1/4"=1'-0"



ROCKLIN WEST - PAD 'I' PRELIMINARY LANDSCAPE PLAN

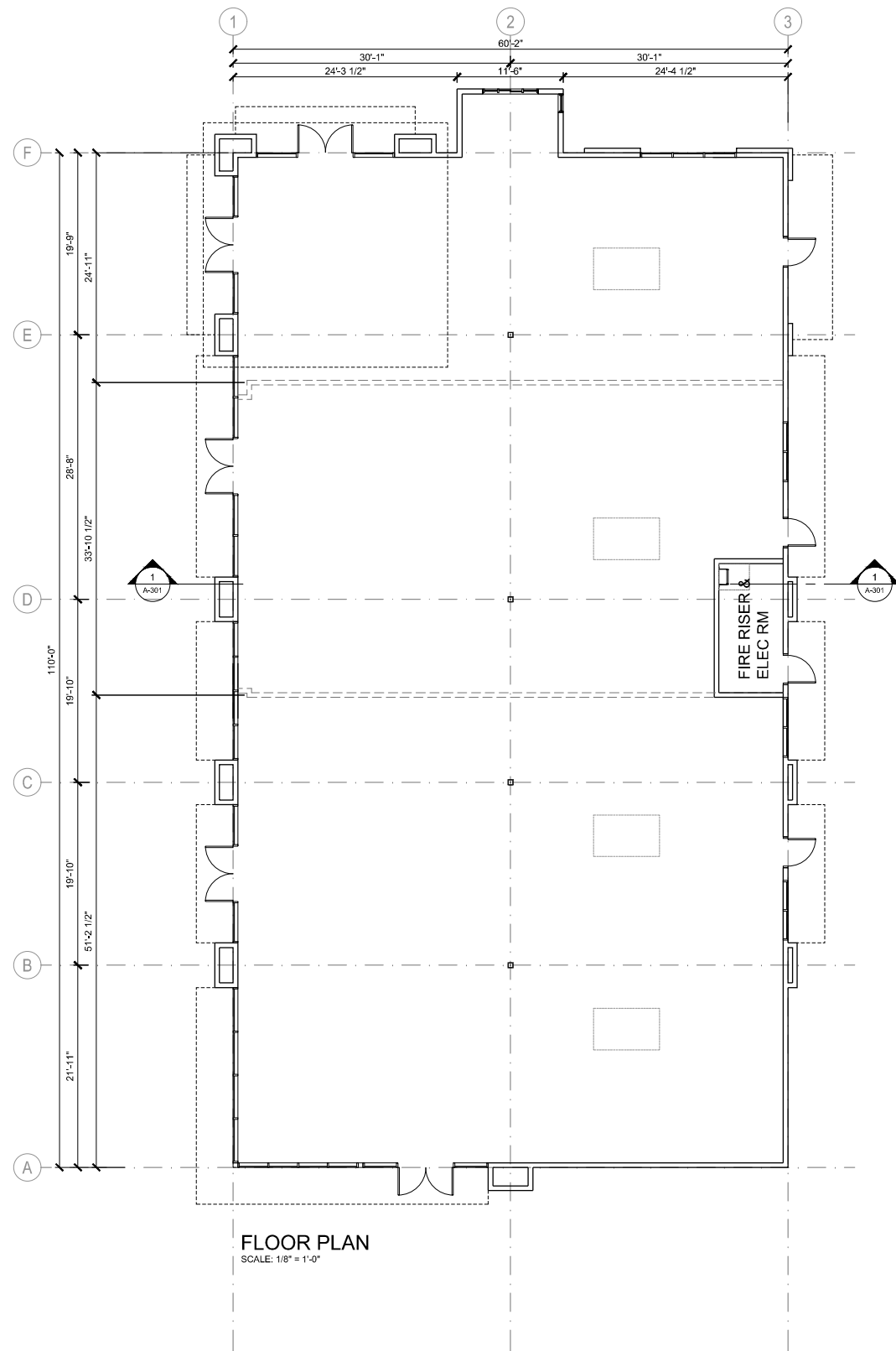
ROCKLIN, CALIFORNIA

18003 02/27/2019

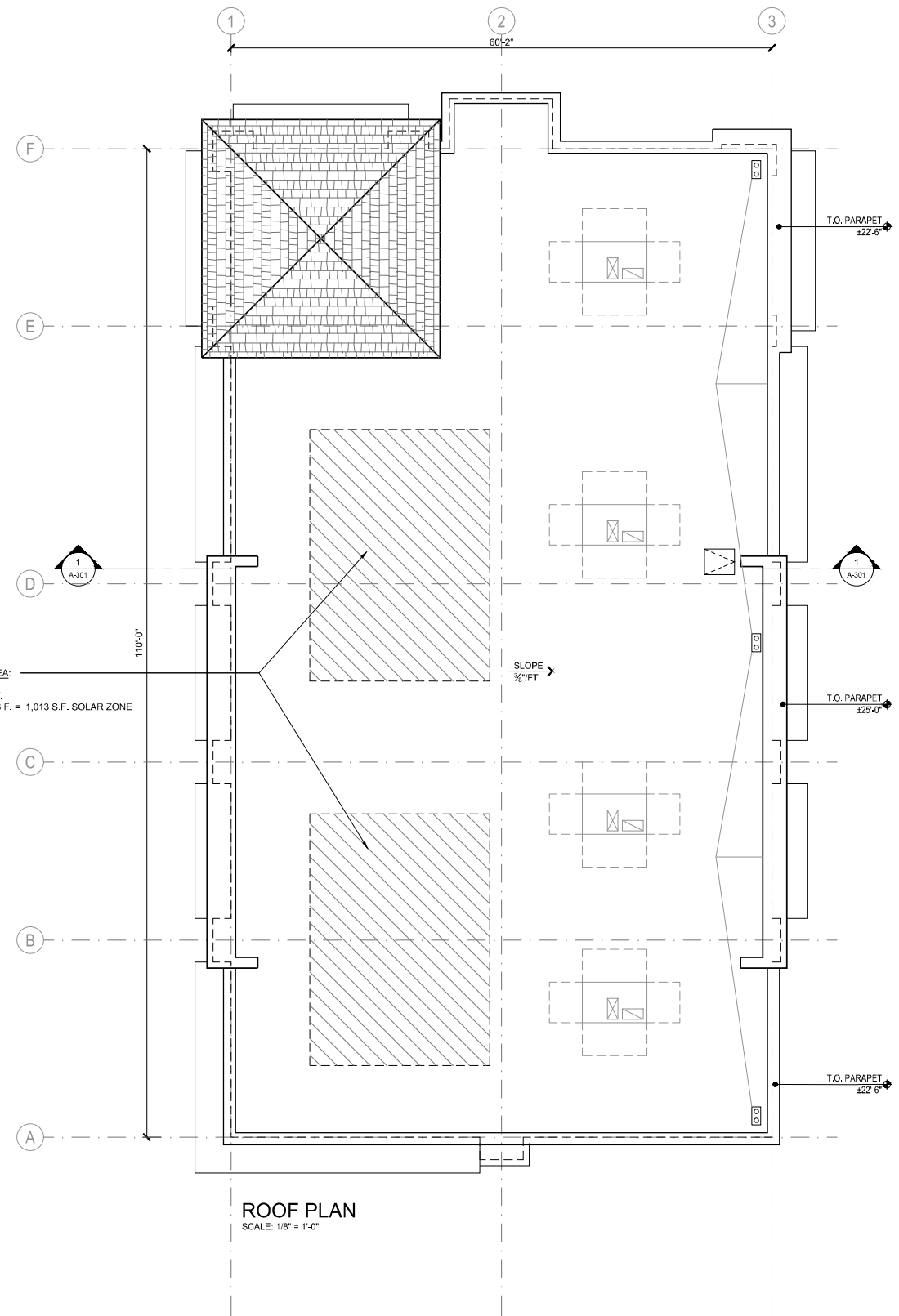
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L-3

ARCHITECTURAL GROUP
Borges



DESIGNATED FUTURE SOLAR AREA:
TOTAL ROOF AREA = +/- 6,750 S.F.
AREA REQUIRED = 15% X 6,750 S.F. = 1,013 S.F. SOLAR ZONE
AREA PROVIDED = 1,100 S.F.



ROCKLIN WEST - PAD 'I' FLOOR PLAN & ROOF PLAN



NORTH ELEVATION (FACING PARKING LOT)
SCALE: 1/8" = 1'-0"



WEST ELEVATION (FACING LONETREE BLVD.)
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION (FACING BLUE OAKS BLVD.)
SCALE: 1/8" = 1'-0"

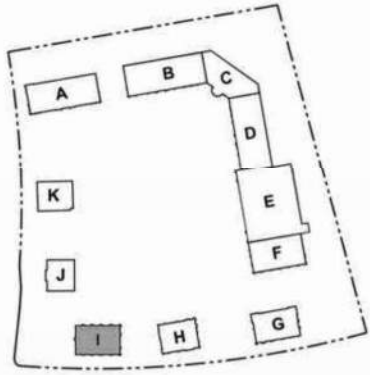


EAST ELEVATION (FACING NEW DRIVEWAY)
SCALE: 1/8" = 1'-0"

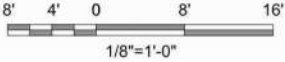


SOUTH ELEVATION (NO LOW WALL)
SCALE: 1/8" = 1'-0"

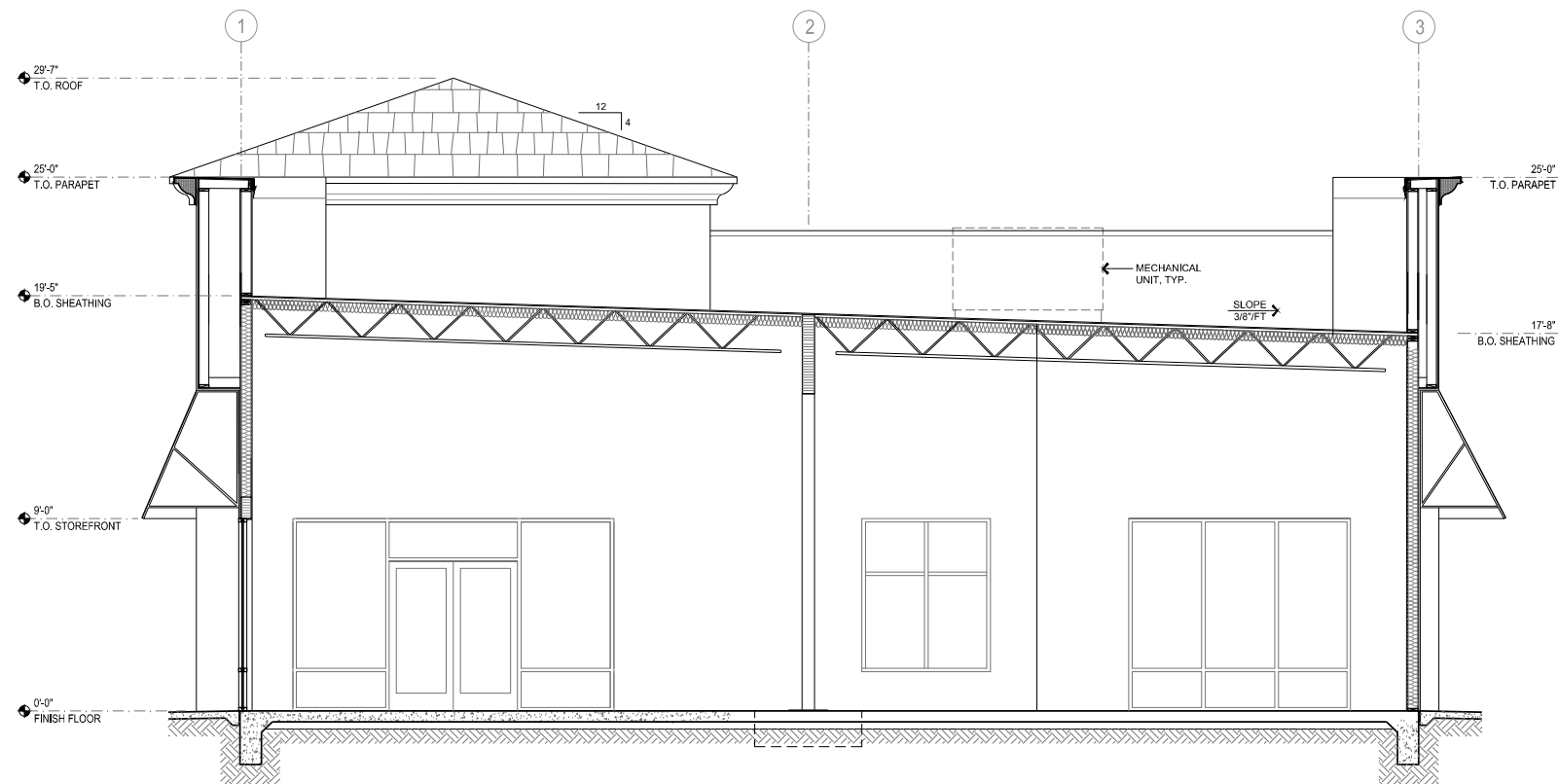
COLOR & MATERIAL SCHEDULE			
	P1 OFF WHITE		AW1 GREEN
	P2 SAGE		W1 WOOD SIDING
	P3 CREAM		S2 STONE VENEER
	P4 MEDIUM GRAY		R1 FLAT CONCRETE TILE
	P5 DARK GRAY		WS WALL SCONCE



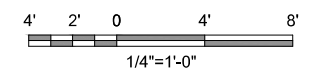
KEY PLAN



NOTE: BUILDING SIGNS ARE GOVERNED BY THE CENTER'S SIGN PROGRAM. SIZES AND LOCATIONS SHOWN ARE COORDINATED WITH A PENDING NEW SIGN PROGRAM.



BUILDING SECTION
SCALE: 1/4" = 1'-0"



ROCKLIN WEST - PAD 'I' BUILDING SECTIONS

ROCKLIN, CALIFORNIA 18003 3/5/19

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ROCKLIN WEST - PAD 'I' PERSPECTIVE RENDERING FROM BLUE OAKS

A-901

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Loomis, California 95650
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NOTE: REFER TO SHEET L-2 FOR
PRELIMINARY PLANT SCHEDULE,
LANDSCAPE DESIGN NOTES,
PRELIMINARY WATER USE
CALCULATIONS, AND PARKING
LOT SHADING CALCULATION



0' 10' 20' 40'
SCALE: 1" = 20'-0"

ROCKLIN WEST - PAD 'I' PRELIMINARY LANDSCAPE PLAN

ROCKLIN, CALIFORNIA 18003 02/27/2019

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PRELIMINARY WATER EFFICIENT LANDSCAPE WORKSHEET							
REFERENCE EVAPOTRANSPIRATION (ETO): 52.2							
HYDROZONE # PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF/IE)	LANDSCAPE AREA (SQ. FT.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU) IN GALLONS/YEAR
REGULAR LANDSCAPE AREAS - NEW LANDSCAPE AREAS (EXCLUDES EXISTING AREAS)							
MED. W.U.	0.5	DRIP	0.81	0.62	150	93	3,010
LOW W.U.	0.2	DRIP	0.81	0.25	4,630	1,158	37,461
				TOTALS:	4,780	1,251	
SPECIAL LANDSCAPE AREAS							
-				1.00	0	0	0
				TOTALS:	0	0	
ETWU TOTAL:							40,471
MAXIMUM APPLIED WATER ALLOWANCE (MAWA):							69,615
MAXIMUM ADDITIONAL WATER ALLOWANCE (MAWA)							
WHERE MAWA = (ETO) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]							
MAWA: (52.2) (0.62) [(0.45 x 4,780) + (0)] = 69,615 GALLONS PER YEAR							
ETAF CALCULATIONS							
REGULAR LANDSCAPE AREAS							
TOTAL ETAF x AREA		1,251					
TOTAL AREA		4,780					
AVERAGE ETAF		0.26					
NOTE: AVERAGE ETAF FOR REGULAR LANDSCAPE AREAS IS 0.45 OR BELOW FOR NON-RESIDENTIAL AREAS.							

NOTE: THE PLAN, AS PROPOSED, WILL COMPLY WITH THE CALIFORNIA WATER CONSERVATION IN LANDSCAPE ACT.

LANDSCAPE DESIGN NOTES

- PROPOSED PLANT MATERIAL IS SELECTED TO MATCH OR BLEND WITH EXISTING PLANTS WHILE MEETING CURRENT WATER USE RESTRICTIONS.
- PROPOSED PLANT MATERIAL WAS ALSO SELECTED TO PROVIDE COLOR AND TEXTURAL VARIATIONS, AND SCREENING WHERE APPROPRIATE.
- EXISTING LANDSCAPING TO BE PRESERVED TO THE EXTENT POSSIBLE. PLANTING AND IRRIGATION SHOWN TO REMAIN THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED PER ORIGINAL WHERE POSSIBLE.
- SEE PLAN FOR EXISTING TREES ON SITE TO REMAIN AND TO BE REMOVED. TWENTY NEW TREES ARE PROPOSED TO REPLACE THIRTEEN TREES TO BE REMOVED.
- A THREE-FOOT HIGH WALL AND LARGE SHRUB HEDGE ARE PROPOSED TO SCREEN THE DRIVE, TRAIL AND FROM RUIF OAKS BLVD. THE SCREEN WALL WILL BE FINISHED TO MATCH THE NEW BUILDING.
- IRRIGATION AND PLANTING PLANS DESIGNED TO COMPLY WITH THE WATER EFFICIENT LANDSCAPE REQUIREMENTS SHALL BE SUBMITTED AFTER PRELIMINARY DESIGN REVIEW.
- ALL NEW PLANTING AREAS SHALL BE IRRIGATED BY ALTERING THE EXISTING IRRIGATION SYSTEM.
- ALL NEW AND EXISTING ADJACENT AND STREET FRONTAGE SHRUB BEDS SHALL RECEIVE A THREE-INCH LAYER OF WALK-ON BARK MULCH DRESSING.
- SEE CIVIL ENGINEERING AND ARCHITECTURAL PLANS FOR ALL PAVING, GRADING, AND OTHER SITE STRUCTURES.

LANDSCAPE AREA





















LANDSCAPE AREA REQUIREMENT: MINIMUM OF 20% OF SITE.

AREA OF PARCEL: APPROX. 38,306 S.F.

TOTAL LANDSCAPE AREA (NEW AND EXISTING): APPROX. 17,310 S.F.

LANDSCAPE AREA AS PERCENTAGE OF PARCEL: 17,310 / 38,306 = 45%

PRELIMINARY PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	PLANTED SIZE	QTY	
	Pistacia chinensis	Chinese Pistache	15 gal	Low	Ht:7'-8'/Sp:2-3'	5	
	Platanus x acerifolia 'Bloodgood'	London Plane Tree	15 gal	Medium	Ht:7'-8'/Sp:2-3'	2	
	Prunus cerasifera 'Krauter Vesuvius'	Purple Leaf Plum	15 gal	Medium	Ht:7'-8'/Sp:2-3'	7	
	Gynis calleryana 'Kodjopis'	Kodjopis Callery Pear	15 gal	Medium	Ht:7'-8'/Sp:2-3'	6	
SHRUBS	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	PLANTED SIZE	QTY	
	Diets vegeta	African Ins	5 gal	Low	Ht:12'/Sp:10'	11	
	Kniphofia uvana 'Flamenco'	Flamenco Red Hot Poker	5 gal	Low	Ht:14'/Sp:14'	24	
	Myrtus communis 'Compacta'	Dwarf Myrtle	5 gal	Low	Ht:10'/Sp:10'	16	
	Nandina domestica 'Fire Power'	Firepower Nandina	5 gal	Low	Ht:14'/Sp:14'	39	
	Nandina domestica 'Gulf Stream'	Heavenly Bamboo	5 gal	Low	Ht:10'/Sp:10'	37	
	Nassella tenuissima	Texas Needle Grass	5 gal	Low	Ht:6'/Sp:6'	100	
	Phormium tenax 'Atropurpureum Compactum'	Purple New Zealand Flax	5 gal	Low	Ht:18'/Sp:14'	3	
	Phormium tenax 'Firebird'	Fire Bird Flax	5 gal	Low	Ht:16'/Sp:14'	3	
	Rhaptolepis umbellata 'Minor'	Yedda Hawthorn	5 gal	Low	Ht:14'/Sp:14'	56	
	Xylosma congestum 'Compacta'	Compact Xylosma	5 gal	Low	Ht:14'/Sp:14'	44	
VINE/ESPALIER	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	PLANTED SIZE	QTY	
	Macfadyena unguis-cati	Yellow Trumpet Vine	5 gal	Low	Ht:36'/Sp:12'	3	
GROUND COVERS	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	PLANTED SIZE	SPACING	QTY
	Equisetum hyemale	Horseshoe Plant Grass	1 gal	High	Ht:18'/Sp:6"		37 o.f.
	Festuca ovina glauca	Blue Sheep Fescue	1 gal	Low	Ht:6'/Sp:6"	9" o.c.	143
	Lycium pabens	California Gray Rush	1 gal	Medium	Ht:6'/Sp:6"	24" o.c.	6
	Myoporum parvifolium 'Prostratum'	Myoporum	1 gal	Low	Ht:2'/Sp:6"	72" o.c.	6
	Rosmarinus officinalis 'Huntington Carpet'	Huntington Carpet Rosemary	1 gal	Low	Ht:4'/Sp:6"	72" o.c.	49

NOTE: PLANT WATER USE IS PER WUCOLS IV (WATER USE CLASSIFICATION OF LANDSCAPE SPECIES)

PARKING LOT SHADE CALCULATION									
TREE NUMBER AND SIZE TREE NAME	QUANTITY @ FULL (100%) F		QUANTITY @ 3/4 (75%) TQ		QUANTITY @ 1/2 (50%) H		QUANTITY @ 1/4 (25%) Q		TOTAL SQ. FT.
1 - 30' PLUS SPREAD PISTACIA, PLATANUS	2 x (962) = 1,924	+	0 x (722) = 0	+	5 x (481) = 2,405	+	0 x (240) = 0	=	4,329
2 - 25' TO 30' SPREAD -	0 x (706) = 0	+	0 x (530) = 0	+	0 x (354) = 0	+	0 x (177) = 0	=	0
3 - 20' TO 25' SPREAD PYRUS	0 x (491) = 0	+	0 x (368) = 0	+	5 x (246) = 1,230	+	1 x (123) = 123	=	1,353
4 - 15' TO 20' SPREAD -	0 x (314) = 0	+	0 x (236) = 0	+	0 x (157) = 0	+	0 x (79) = 0	=	0
CALCULATED TOTAL TREE SHADE:									5,682
REQUIRED TOTAL									
AREA OF PAVING (SHADED ON PLAN)	11,157	SQ. FT. OF SHADED AREA ON PLAN							
AREA REQUIRED TO BE SHADED	11,157	SQ. FT. x 50% = 5,578.5							
CALCULATED SHADE PROVIDED	5,682	SQ. FT.							
PERCENT SHADE PROVIDED	51	%							
SEE PLAN FOR TREE SHADE CREDIT. EXAMPLE: 2H IS A 25' TO 30' PERIMETER (50%) TREE.									



ROCKLIN WEST - PAD 'I' PRELIMINARY LANDSCAPE PLAN

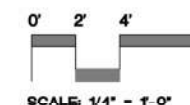
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SECTION-ELEVATION

SCALE: 1/4"=1'-0"



ROCKLIN WEST - PAD 'I' PRELIMINARY LANDSCAPE PLAN

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