



New Project Information

The City of Rocklin has begun processing the below referenced application(s) for project approval. The request is now being reviewed for compliance with the requirements and regulations of relevant City, State, and Federal agencies, and Utility providers. Once any issues have been resolved notice will be provided to alert neighbors and interested parties of the availability of project information, the opportunity to comment on a project, and of any pending review or action.

Application Received: August 24, 2018

Project Name and Requested Approvals:

QUICK QUACK CAR WASH AT SIERRA COLLEGE BLVD
DESIGN REVIEW, DR2018-0008
USE PERMIT, U2018-0006

Staff Description of Project:

This application is a request for approval of a Design Review and Use Permit to allow construction and operation of a new 3,272 square foot self-service car wash and a 238 square foot associated office building, as well as related site improvements, on the front (eastern) portion of a 0.93-acre site, directly adjacent to Sierra College Boulevard. The project would include a pay canopy, vacuum canopies, a vacuum enclosure, trash enclosure, and wash tunnel.

Location:

The subject site is located on the west side of Sierra College Boulevard at the SW intersection of Sierra College Boulevard and the future extension of Dominguez Road. APN 045-052-026.

Existing Land Use Designations:

The property is zoned Planned Development Commercial (PD-C) within the Sierra College General Development Plan.

The General Plan designation is Retail Commercial (RC).

This project **does / XX does not** require modification or change of the land use designations and regulations currently applicable to the project site.

Compliance with the California Environmental Quality Act:

A preliminary review of this project pursuant to the California Environmental Quality Act (CEQA) has tentatively identified a Mitigated Negative Declaration as the appropriate level of environmental review for this project.

Applicant & Property Owner:

The applicant is Quick Quack Developments, LLC (Efrain Corona). The property owner is Martin A. Harmon, Trustee of Crosswinds Trust.

Attached Information:

For additional detail please see the attached information from the project application form and the submitted application exhibits.

P:\PUBLIC PLANNING FILES\BVF\Special Projects\Website Posting of Referrals\Background Information & Project Description.docx



City of Rocklin

Planning Division
3970 Rocklin Road
Rocklin, California 95677
Phone (916) 625-5160 FAX (916) 625-5195

UNIVERSAL APPLICATION FORM

NAME OF PROJECT: Quick Quack Car Wash

LOCATION: Sierra College Blvd.

ASSESSOR'S PARCEL NUMBERS: 045-052-026-000

DATE OF APPLICATION (STAFF): 8/24/18

RECEIVED BY (STAFF INITIALS): MRA

FILE NUMBERS (STAFF): DR 2018-0008

U 2018-0006

FEES: \$15,845
\$6,311

RECEIPT No.: R27790, R27791

Pre-Application Meeting Requirements:

It is required that a pre-application meeting be held with a Staff Planner prior to submitting most applications for planning entitlements and permits. The purpose of the pre-application meeting is to expedite application processing by enabling staff to work with the applicant to assure that the officially submitted application materials are in the proper format and that the applicant understands the City of Rocklin's goals, policies, and ordinances that may affect the project. A copy of these and other planning provisions is available at the applicant's request.

Generally, two sets of preliminary plans and a written description of the proposed project should be brought with the applicant to the pre-application meeting. To schedule this meeting, please contact a Staff Planner at the Rocklin Community Development Department by calling (916) 625-5160.

DATE OF PRE-APPLICATION MEETING: November 9, 2017

THIS APPLICATION IS FOR THE FOLLOWING ENTITLEMENTS: (CHECK APPROPRIATE SQUARES)

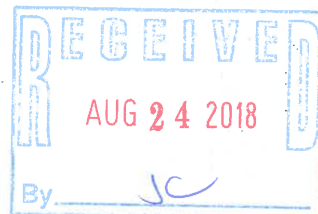
- | | | |
|---|---|---|
| <input type="checkbox"/> General Plan Amendment (GPA)
Fee: \$11,434 (< 100 Acres)
\$ 2,565 (each add'l 100 Acres) | <input type="checkbox"/> Tentative Subdivision Map (SD)
Fee: \$17,715 (1 st 50 lots)
\$2,188 (each add'l 50 lots)
\$10,337 Modification | <input checked="" type="checkbox"/> Use Permit (U)
<input type="checkbox"/> Minor (PC Approval - New Bldg) Fee: \$9,888
<input type="checkbox"/> Minor (PC Approval - Existing Bldg) Fee: \$7,496
<input type="checkbox"/> Major (CC Approval) Fee: \$13,252 |
| <input type="checkbox"/> Rezone (Reclassification) (Z)
Fee: \$9,846 < 20 acres
\$10,850 > 20 acres | <input checked="" type="checkbox"/> Tentative Parcel Map (DL)
Fee: \$9,888 | <input type="checkbox"/> Variance (V)
Fee: \$5,036 |
| <input type="checkbox"/> General Development Plan (PDG)
Fee: \$13,475 | <input checked="" type="checkbox"/> Design Review (DR)
Commercial Fee: \$9,888
Residential Fee: \$6,097
Signs Fee: \$4,233 | <input type="checkbox"/> Oak Tree Preservation Plan Permit
Planning Commission Fee: \$ 915
City Council Fee: \$1,232 |
| <input checked="" type="checkbox"/> Concurrent Application (2 or more entitlements)
Fee: \$15,845
\$2,142 (each add'l 50 lots or 100 acres) | | <input type="checkbox"/> Modification to Approved Projects
Fee: \$3,481 |

File Number

Environmental Requirements:
(STAFF)

- ☐ Exempt - \$1,277.00
☐ Negative Declaration - \$5,166.00

- ☒ Mitigated Negative Declaration - \$6,311.00
☐ EIR - See Fee Schedule



UNIVERSAL APPLICATION FORM (CONT.)

GENERAL PLAN DESIGNATION:	PROPERTY DATA:	UTILITIES:	
		EXISTING	PROPOSED
Existing: _____	Acres: <u>.93</u>	<u>N/A</u> Pub. Sewer	<u>X</u> Pub. Sewer
Proposed: _____	Square Feet: <u>40,699</u>	<u>N/A</u> Septic Sewer	_____ Septic Sewer
Zoning:	Dimensions: _____	<u>N/A</u> Pub. Water	<u>X</u> Pub. Water
Existing: <u>PDC</u>	No. of Units: <u>1</u>	<u>N/A</u> Well Water	_____ Well Water
Proposed: <u>PDC</u>	Building Size: <u>3272</u>	<u>N/A</u> Electricity	<u>X</u> Electricity
	Proposed Parking: <u>20</u>	<u>N/A</u> Gas	_____ Gas
	Required Parking: _____	<u>N/A</u> Cable	_____ Cable
	Access: _____		

PROJECT REQUEST: _____

Quick Quack Car Wash is requesting Design Review, Tentative Parcel Map and a Use Permit.

Quick Quack Car Wah is Requesting approval of a new 3,272 S.F.

Self Service Car Wash and a 238 S.F. OB Station (Transaction

Building) with 17 Vacuum Stalls, 2 ADA Compliant Parking Stalls

and 1 Parking Stall.

(Example: Request for approval of design review to construct a 10,000 square foot office building on 1.5 acres)

NOTE: Annexations, Lot Line Adjustments, and Rocklin Ranch Industrial Park Specific Plan Use Permits require special application forms and additional submittal information available from the Planning Division.

UNIVERSAL APPLICATION FORM (CONT.)

PLEASE PRINT OR TYPE:

NAME OF PROPERTY OWNER: Martin A. Harmon, Trustee of Crosswinds Trust

ADDRESS: 4020 Sierra College Blvd., Suite 200

CITY: Rocklin STATE: CA. ZIP: 95677

PHONE NUMBER: (916) 624-6200 Alt. # (916) 624-6240

EMAIL ADDRESS: Robv@westerncare.biz

FAX NUMBER: (916) 624-6266

SIGNATURE OF OWNER MARTIN HARMON  8-7-18
(Signature Authorizing Application; provide owner's signature letter if signature is other than property owner.)

NAME OF APPLICANT

(If different than owner): Quick Ouack Developments, LLC.

CONTACT: Efrain Corona

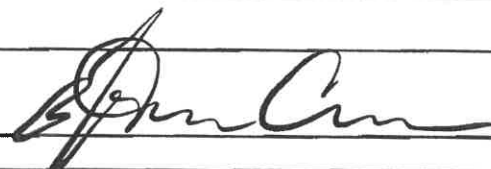
ADDRES 1380 Lead Hill Blvd. Suite 260

CITY: Roseville STATE: CA. ZIP: 95661

PHONE NUMBER: (916) 846-2100

EMAIL ADDRESS: Efrainc@dontdrivedirty.com

FAX NUMBER: _____

SIGNATURE OF APPLICANT 

AGENT AUTHORIZATION FORM

Property owners desiring to authorize individuals to represent them in conjunction with any application or matter before the City shall provide written authorization using this form. A separate form shall be used for each individual or firm authorized, and shall specifically note any restrictions upon the authorized person.

Project Name: Quick Quack Car Wash
Location: Sierra College Blvd and Dominguez
Assessors Parcel Number(s): 045-052-026-000
Entitlements for which authorization is applicable (use permit, variance, tentative map, etc.): Design Review, Tentative Parcel Map and Use Permit
Name of person and / or firm authorized to represent property owner (Please print): Efrain Corona Quick Quack Developments, LLC.
Address (Including City, State, and Zip Code): 1380 Lead Hill Blvd. Suite 260 Roseville, CA. 95661
Phone Number: (916) 846-2100
Fax Number: N/A
Email Address: Efrainc@dontdrivedirty.com
The above named person or firm is authorized as: Agent () Buyer () Lessee (X)
The above named person or firm is authorized to (check all that are applicable): (X) File any and all papers in conjunction with the aforementioned request, including signing the application (X) Speak on behalf of and represent the owner at any Staff meeting and/or public hearing. (X) Sign any and all papers in my stead, with the exception of the application form.
The duration and validity of this authorization shall be: (X) Unrestricted () Valid until:
Owners Authorization Signature & Date: MARTIN HARMON <i>Martin Harmon</i> 12-8-7-18
Owners Name (Please Print): Martin A. Harmon, Trustee of Crosswinds Trust
Owners Address (Including City, State, and Zip Code): 4020 Sierra College Blvd., Suite 200 Rocklin, CA. 95677
Phone Number: (916) 624-6200 & (916) 624-6240
Email Address:



City of Rocklin

Planning Division

3970 Rocklin Road

Rocklin, California 95677

Phone (916) 625-5160 FAX (916) 625-5195

ENVIRONMENTAL INFORMATION SHEET

(To be completed by
applicant)

LOCATION OF PROJECT (ADDRESS) Sierra College Blvd. and Dominguez Road

ASSESSORS PARCEL # 045-052-026-000

NAME OF PROJECT Quick Quack Car Wash

CONTACT/APPLICANT Efrain Corona Quick Quack Development II, LLC.

ADDRESS 1380 Lead Hill Blvd. Suite 260
Roseville, Ca. 95661

PHONE (916) 846-2100 **EMAIL** Efrainc@dontdrivedirty.com

Project Description - Describe in detail. Add separate sheet if necessary.

Construction of a fully Automated Car Wash to include Pay Canopy,
Vacuum Canopies, Vacuum Enclosure, Trash Enclosure and Wash Tunnel.

Property size:	<u>40,699</u>	<u>.93</u>
	Square Feet	Acres
Land Use:	<u>Vacant Lot</u>	<u>Self Service Car Wash</u>
	Existing	Proposed

RELATED PROJECTS: If this project is a part or portion of a larger project, describe the previous project by name, general development plan number, or other project identification. Secret Ravine Apartments (Under Separate Submittal/Design)

PREVIOUS ENVIRONMENTAL DOCUMENTS: If this project is part of a larger project for which a negative declaration or an environmental impact report has been prepared and certified, reference the document below. Include the date and SCH#, if possible: Secret Ravine Community
Environmental Documents Available if Needed

OTHER REQUIRED PERMITS OR APPROVALS:

<u>Permit or Approval</u>	<u>Agency</u>	<u>Address</u>	<u>Contact Person/Phone</u>
<u>Unknown</u>			

PREVIOUS LAND USES: Describe existing and previous land uses of the site for the last 10 years or more: Vacant Lot

SITE CHARACTERISTICS

1. What natural features (trees, rock outcroppings etc.) presently exist on the site?
It is considered a Foothill Woodland and Annual Grassland Area.

2. What are the surrounding land uses?
Planned Dev. Planned Dev. Planned Dev. Planned Dev.
East Commercial West Commercial North Commercial South Commercial

3. Is the project proposed on land which contains fill or a slope of 10% or more? No

4. Are there any existing erosion problems? No

5. Is the site on expansive soils (as defined in Table 18 of the UBC) or immediately adjoining an area subject to slides, liquefaction, slope instability or other related hazards? _____
If so, describe in detail, or refer to attached soils report.
Please See Attached Soils Report

6. Grading, excavating or filling activities - Quantity of cubic yards to be:
a. Moved within the site N/A Completed by Developer
b. Deposited on the site N/A Completed by Developer
c. Removed from the site N/A Completed by Developer
Disposal site _____
7. Are there any streams or permanent water courses on the site? No
Describe _____

8. Will the proposed project change drainage patterns or the quality of groundwater?
If so explain. If not, why not. No, not hydrologically connected to any water source.

9. Will the project affect any drainage channel, creek, pond or any other water body?
Describe below: No

10. Is any portion of the property located in a flood plain? No
If so describe _____
11. Are there any jurisdictional wetlands or vernal pools on the site? If so how will they be impacted by the project? No
12. Are there any trees or shrubs on the project site? Yes
What types? Valley Oaks, Interior Live Oak, Blue Oak, Foothill Pine
Are any to be removed or transplanted? Removed
State the location of transplant site: N/A
State the number & species to be removed: Please See Report
13. Will the project affect the habitat of any endangered, threatened, or other special status species?
No
14. Will the project result in any new noise source, or will it place new residents in an area of high traffic noise or noise from any other source? Yes
15. What type of equipment will be associated with the project during construction?
Small Back Hoe, Bulldozer, Hand Tools, Compressor, etc...
During permanent operation? Vacuum
16. Describe any air pollutants, other than vehicle exhaust, which would be generated by this project, both during and after construction. Dust particulates are considered pollutants.
None
17. Will the project produce new sources of dust, ash, smoke, fumes or objectionable odor? If yes, describe the source of the emission, methods to control emissions and means of mitigating those effects on adjacent properties: No
18. Will the project create any new light source, other than street lighting? If yes, describe below:
Building and Site Lights
19. Is this property covered by a Williamson Act contract? No
20. Has this property ever been used for agricultural purposes? No If so, for what purpose and when? _____
21. Does the project involve the use of routine transport or disposal of hazardous materials?
No
22. Are there any known mineral resources of value to the region and the residents of the state located on the site? If so, what types? No
23. How close is the nearest school? 1,210 Feet

24. PROPOSED BUILDING CHARACTERISTICS (BOTH RESIDENTIAL AND NON-RESIDENTIAL)

Size of new structure(s) or addition in gross square feet: 3510
 Building height measured from ground to highest point in feet: 29 Feet
 Number of floors/stories: 1
 Height of other appurtenances (antennas, steeples, mechanical equipment, etc.) measured from ground: N/A
 Project site coverage: Building 3510 sq.ft. 9 %
 Landscaping 8,620 sq.ft. 21 %
 Paving 28,569 sq.ft. 70 %
 Exterior building materials: Stucco & CMU
 Exterior building colors: Beige and Brown
 Wall and/or fencing material: N/A
 Total number of off-street parking spaces required: N/A Provided: 20 Total
 Total number of bicycle parking spaces: 3

25. Is there any exposed mechanical equipment associated with the project? No
 Location and screening method _____

26. RESIDENTIAL PROJECTS

Total lots N/A Total dwelling units N/A
 Density/acre N/A Total acreage N/A

	Single Family	Two Family	Multi-Family (More than 2 units)
Number of Units			
Size of lot/unit			
Studio			
1 Bedroom			
2 Bedroom			
3 Bedroom			
4+ Bedroom			

27. RETAIL, COMMERCIAL, INDUSTRIAL, INSTITUTIONAL OR OTHER PROJECT

Type of use(s): Self Service Car Wash
 Oriented to: Regional _____ City _____ Neighborhood _____
 Hours of operation: 7:00-7:00 (Winter Months) 7:00-9:00 (Summer Months)
 Total occupancy/Building capacity: _____
 Gross floor area: 3510 Number of fixed seats: 0
 Number of employees (total): 3-6 Employees per shift: 2 Number of Shifts 3
 Number of visitors/customers on site at busiest time (best estimate): 25
 Other occupants (specify): N/A

ALL PROJECTS

28. Approximately how many tons of solid waste will the project produce each year? Less than 1 ton

29. Will the proposed use involve any toxic or hazardous material? No
Is the project site within 2,000 feet of an identified hazardous/toxic site? No
Is the project site within 2,000 feet of a school or hospital? Yes
If the project involves any hazardous material, explain: N/A
30. How many new residents is the project estimated to generate? None
31. Will the project generate a demand for additional housing? No
32. What is the current and estimated number of motor vehicles to arrive at the site as a result of the project? _____
33. Could the project increase traffic hazards to motor vehicles, bicyclists or pedestrians? Yes
If yes, explain Additional Traffic
34. How close is the project to the nearest public park or recreation area? 3 miles
35. What school districts will be affected by this project? None
36. Describe energy-efficient features included in the project. Recycled Water, Drip Irrigation System and Controller and Led Lighting
37. Describe how the following services or utilities will be provided:
Power and Natural Gas N/A
Telephone Underground
Water Underground
Sewer Underground
Storm Drainage Underground
Solid Waste Trash Enclosure Waste Management
38. Will the project block any vista or view currently enjoyed by the public? No
39. Are there any known historic or significant building features on or near the site? If so, will the project result in any impact to the building? No
40. Are there any archaeological features on the site? Unknown If so, will the project result in any impact to these features? _____



PHOTO 1



PHOTO 2



PHOTO 3



PHOTO 4



PHOTO 5



PHOTO 6



PHOTO 7



PHOTO 21



PHOTO 20



PHOTO 19



PHOTO 18



PHOTO 17



PHOTO 16



PHOTO 15



PHOTO 14



PHOTO 13

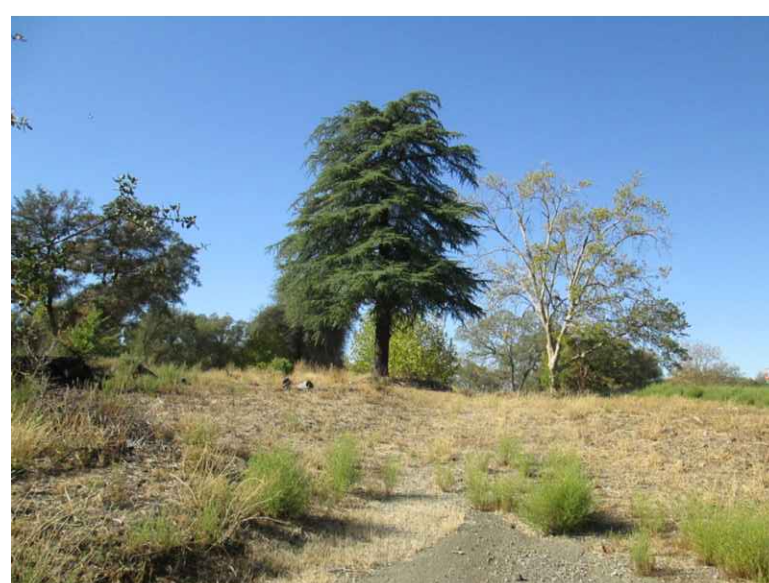


PHOTO 12



PHOTO 8



PHOTO 9



PHOTO 10



PHOTO 11

CRM Architects & Planners, Inc.
Carson River 24 Main Street and Plummer, Inc.
921 Fulton Blvd. - Sacramento, CA 95819
Phone: (916) 451-1700 Fax: (916) 451-1000



QUICK QUACK CARWASH
1380 LEAD HILL BLVD #260
ROSEVILLE CA 95661
(916) 846-2100

PROJECT NAME:
QUICK QUACK CARWASH
SIERRA COLLEGE
ROCKLIN, CA 95677
OO# 6-021

DRAWING TITLE:

SITE PHOTOS

DRAWING DATE: SEPTEMBER 29, 2017

PLANNING DOCUMENTS

DRAWING NUMBER

A1.0

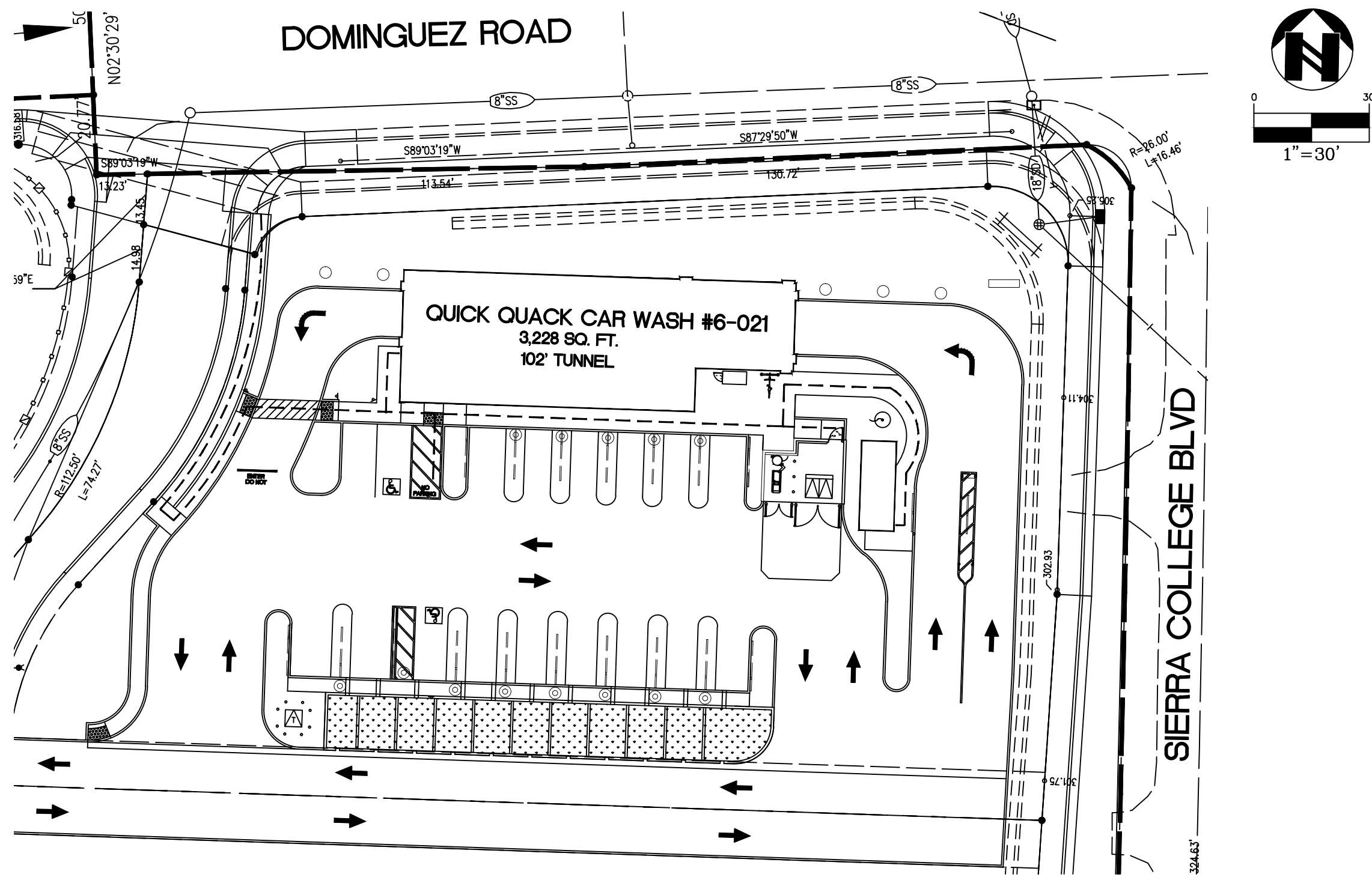
GENERAL ABBREVIATIONS AND SYMBOLS

AB	AGGREGATE BASE		CONTROLLER CABINET
AC	ASPHALT CONCRETE		GUY POLE
AD	AREA DRAIN		HANDICAP SPACE
ASB	AGGREGATE SUBBASE		MONITORING WELL
BFP	BACKFLOW PREVENTER		POWER POLE
CB	CATCH BASIN		IRON PIPE
CL	CENTERLINE		RAILROAD SPIKE
DCV	DETECTOR CHECK VALVE		STANDARD CITY MONUMENT
DE	DIRT ELEVATION		SURVEY MONUMENT
DWY	DRIVEWAY		STORM DRAIN MANHOLE
E	ELECTRICAL LINE		STREET SIGN
EB	ELECTRIC BOX		STREET LIGHT
EP	EDGE OF PAVEMENT		GATE VALVE
EX	EXISTING		TREE WITH SIZE
FDC	FIRE DEPARTMENT CONNECTION		TREE REMOVAL
FF	FINISHED FLOOR		TRANSFORMER
FL	FLOWLINE		BARBED WIRE FENCE
FS	FINISHED SURFACE/FIRE SERVICES		CHAIN-LINKED FENCE
G	GAS PIPE		WOOD FENCE
GB	GRADE BREAK		SAWCUT LINE
GM	GAS METER		WALL
GP	GUARD POST		
GR	GRATE		
HCR	HANDICAP RAMP		
INV	INVERT		
JP	JOINT POLE		
JT	JOINT TRENCH		
LF	LINEAR FEET		
MW	MONITORING WELL		
OHE	OVERHEAD ELECTRIC		
OHT	OVERHEAD TELEPHONE		
PAE	PUBLIC ACCESS EASEMENT		
PB	PULL BOX		
PCC	PORTLAND CEMENT CONCRETE		
PG&E	PACIFIC GAS & ELECTRIC		
PIV	POST INDICATOR VALVE		
PUE	PUBLIC UTILITY EASEMENT		
PVC	POLYVINYL CHLORIDE PIPE		
R	RIDGE LINE		
RCP	REINFORCED CONCRETE PIPE		
RPP	REDUCED PRESSURE PRINCIPLE BACKFLOW		
SD	STORM DRAIN PIPE		
SDCB	STORM DRAIN CATCH BASIN		
SDCO	STORM DRAIN CLEANOUT		
SDMH	STORM DRAIN MANHOLE		
SS	SANITARY SEWER PIPE		
SSCO	SANITARY SEWER CLEANOUT		
SSMH	SANITARY SEWER MANHOLE		
SW	SIDEWALK		
T	TELEPHONE LINE		
TC	TOP OF CURB		
TH	TOP OF CONCRETE HEADER		
TP	TELEPHONE POLE		
TS	TRAFFIC SIGNAL		
TSB	TRAFFIC SIGNAL BOX		
TW	TOP OF RETAINING WALL		
VG	VALLEY GUTTER		
W	WATER PIPE		
WM	WATER METER		
	EXISTING STORM DRAIN CATCH BASIN		
	EXISTING WATER METER / GAS METER		
	EXISTING SANITARY SEWER CLEANOUT		
	EXISTING FIRE HYDRANT		
	EXISTING SANITARY SEWER MANHOLE		
	STORM DRAIN MANHOLE		
	EXISTING GATE VALVE		
	EXISTING GAS VALVE		
	EXISTING CONTOUR		
	EXISTING ELEVATION		
	TC - TOP OF CURB ELEVATION		
	FS - FINISHED SURFACE		
	GR - GRATE ELEVATION		
	FL - FLOW LINE		
	HP - HIGH POINT		
	PROPOSED CONTOUR		
	SLOPE		
	PROPOSED CURB		
	PROPOSED BIOSWALE CURB		
	PROPOSED CURB AND GUTTER		
	PROPOSED FIRE LANE		
	HANDICAP RAMP		
	R - RIDGE LINE		
	PARKING LIGHT		
	PERFORATED PIPE		
	EXISTING PIPELINE WITH SIZE		
	2"G - EXISTING GAS LINE		
	8"SS - EXISTING SANITARY SEWER LINE		
	SD - EXISTING STORM DRAIN LINE		
	E - EXISTING ELECTRICAL LINE		
	TEL - EXISTING TELEPHONE LINE		
	PROPOSED STORM DRAIN CATCH BASIN		
	PROPOSED WATER METER / GAS METER		
	PROPOSED SANITARY SEWER CLEANOUT		
	PROPOSED FIRE HYDRANT		
	PROPOSED SANITARY SEWER MANHOLE		
	PROPOSED STORM DRAIN MANHOLE		
	PROPOSED WATER VALVE		
	PROPOSED GAS VALVE		
	6"FS - PROPOSED FIRE SERVICE		
	7"W - PROPOSED PIPELINE WITH SIZE		
	2"G - PROPOSED GAS LINE		
	S - PROPOSED SANITARY SEWER LINE		
	SD - PROPOSED STORM DRAIN LINE		
	E - PROPOSED ELECTRICAL LINE		
	TEL - PROPOSED TELEPHONE LINE		
	JUT - PROPOSED JOINT UTILITY TRENCH		
	OVERLAND RELEASE		

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PROJECT CONTACTS

OWNER QUICK QUACK CARWASH 1380 LEAD HILL BLVD #260 ROSEVILLE, CA 95661 PHONE: (916) 846-2100 EFRAIN CORONA	CITY OF ROCKLIN DEPARTMENT OF PLANNING DARA DUNGWORTH - ASSOCIATE PLANNER 3970 ROCKLIN ROAD ROCKLIN, CA 95677 916-625-5160 DARA.DUNGWORTH@ROCKLIN.CA.US
CIVIL ENGINEER ams associates, inc. 801 YGNACIO VALLEY ROAD, SUITE 220 WALNUT CREEK, CA 94596 PHONE: (925) 943-2777 FAX: (925) 943-2778 AL SHAGHAGHI; al@amsassociates.us	CITY OF ROCKLIN DEPARTMENT OF PUBLIC WORKS 4081 ALVIS CT. ROCKLIN, CA 95677 916-625-5500
ARCHITECT CRM ARCHITECTS & PLANNERS, INC. 5921 FOLSOM BLVD. SACRAMENTO, CA 95819 PHONE: (916)451-1500 FAX: (916)451-1600 EMAIL: markm@crmarchitects.com MARK MCIVAIN	GAS AND ELECTRICITY PACIFIC GAS & ELECTRIC (PG&E) 3301 INDUSTRIAL AVE. ROCKLIN, CA 95765 916-408-3210
	SANITARY SEWER SOUTH PLACER MUNICIPAL UTILITY DISTRICT (SPMUD) MS. CARY HUFF 5807 SPRINGVIEW DR. ROCKLIN, CA 95677
	SOLID WASTE REMOVAL RECOLOGY AUBURN PLACER 12305 SHALE RIDGE LANE AUBURN, CA 95602 530-885-3735
	WATER COMPANY PLACER COUNTY WATER AGENCY MR. JOSH LELKO 144 FERGUSON RD. AUBURN, CA 95603 530-823-4886

PROJECT DATA

A.P.N.: 045-052-026-000

BASIS OF BEARINGS:
THE BEARING OF NORTH 01°55'52" EAST TAKEN ON THE CENTERLINE OF SIERRA COLLEGE BOULEVARD AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED FOR RECORD ON AUGUST 17, 2015 IN BOOK 22 OF SURVEYS AT PAGE 139, PLACER COUNTY RECORDS WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN HEREON.

BENCHMARK:
CITY OF ROCKLIN BENCHMARK "R 3-4":
FOUND USGS BRASK DISK STAMPED "J1200 RESET" LOCATED IN A GRANITE ROCK OUTCROPPING, APPROXIMATELY 10 FEET EAST OF A CHAIN LINK FENCE ON THE NORTHERLY SIDE OF ROCKLIN ROAD, EASTERLY OF THE RAILROAD TRACKS.
ELEVATION: 259.5 FEET (VERTCON) (DATUM) NAVD 1988

FLOOD ZONE NOTE:
THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 060239 0418 F, DATED JUNE 08, 1998, AS BEING LOCATED IN FLOOD ZONE "X";

AREAS OF DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD.

INFORMATION WAS OBTAINED FROM THE FEMA WEBSITE (WWW.FEMA.GOV) ON SEPTEMBER 08, 2017.

SOILS ENGINEER

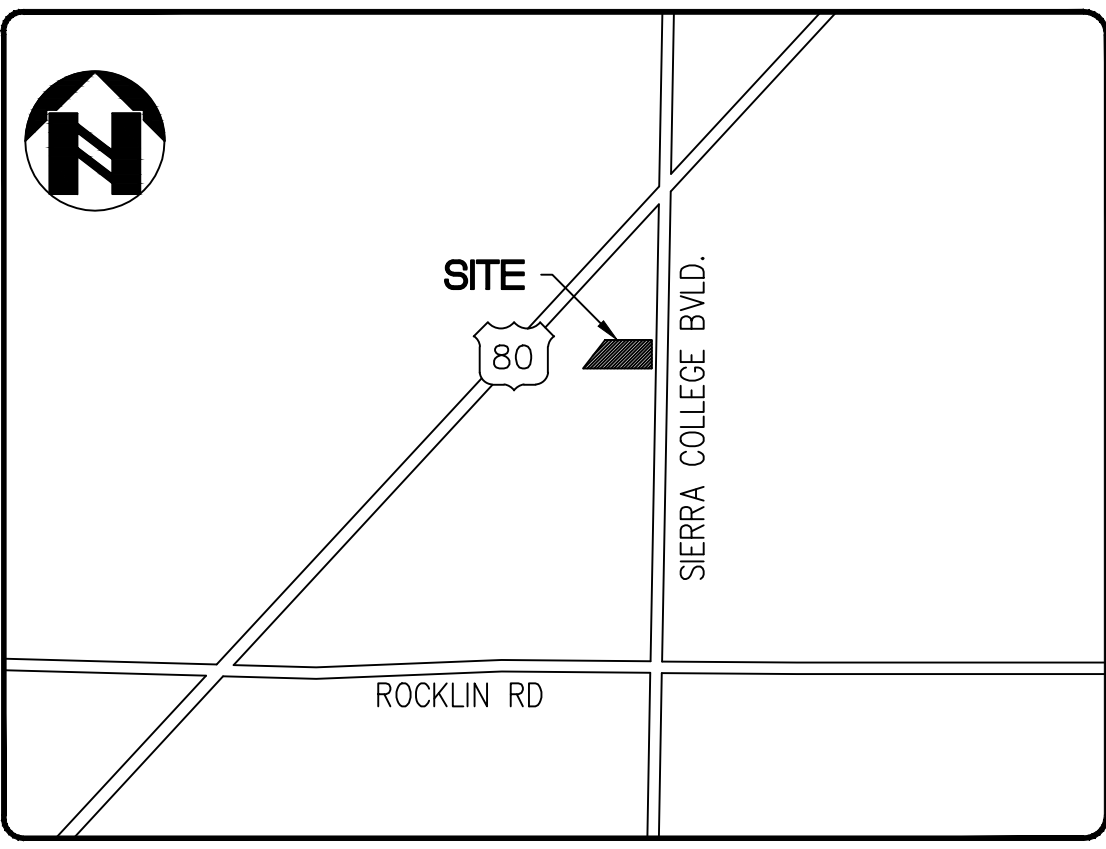
THIS GRADING PLAN HAS BEEN REVIEWED BY THE UNDERSIGNED AND FOUND TO BE IN CONFORMANCE WITH THE RECOMMENDATIONS AS OUTLINED IN THE PROJECTS SOILS REPORT DATED (FILE NO.:), THIS SOILS REPORT AND SUPPLEMENTAL LETTER SHALL BE CONSIDERED AS PART OF THIS PLAN AND ALL GRADING WORK SHALL BE IN ACCORDANCE WITH SAID SOILS REPORT AND SUPPLEMENTAL LETTER. WE MAKE NO REPRESENTATION AS TO THE ACCURACY OF DIMENSIONS, MEASUREMENTS, CALCULATIONS, OR ANY PORTION OF THE DESIGN.

FIRM: _____

BY: _____

DATE: _____

VICINITY MAP - NOT TO SCALE



SHEET INDEX

ONSITE CIVIL PLANS	
C-1.1	COVER SHEET
C-2.1	HORIZONTAL CONTROL PLAN
C-3.1	GRADING PLAN
C-4.1	UTILITY PLAN
C-5.1	STORMWATER CONTROL PLAN

CITY OF ROCKLIN ENGINEERING DEPARTMENT	
APPROVED BY: _____	DATE _____
CITY ENGINEER	
CITY OF ROCKLIN FIRE DEPARTMENT	
APPROVED BY: _____	DATE _____
FIRE CHIEF	
DEPARTMENT OF PUBLIC SERVICES	
APPROVED BY: _____	DATE _____
DIRECTOR	
SOILS REPORT	
COMPANY NAME: _____	DATE _____
JOB NUMBER	
PLACER COUNTY WATER AGENCY	
APPROVED BY: _____	DATE _____
ENGINEER	
SPMUD	
APPROVED BY: _____	DATE _____
ENGINEER	
BUILDING DEPARTMENT PERMITS	
DEFERRED SUBMITTAL REQUIRED TO BUILDING DEPARTMENT FOR: _____	

COVER SHEET

QUICK QUACK CAR WASH #6-021

ROCKLIN

PROJECT

17-2356

DATE: 11-03-17

REV #

SCALE: 1" = 20'

DESIGNED: oms

DRAWN: oms

CHECKED: oms

REOL. MGR: RB

FILE PATH:

DESCRIPTION

DATE

BY

REGISTERED PROFESSIONAL ENGINEER

PLACER COUNTY

Exp. 6-30-2018

3314

801 YGNACIO VALLEY ROAD

SUITE 220

WALNUT CREEK, CA 94596

925-943-2777

925-943-2778

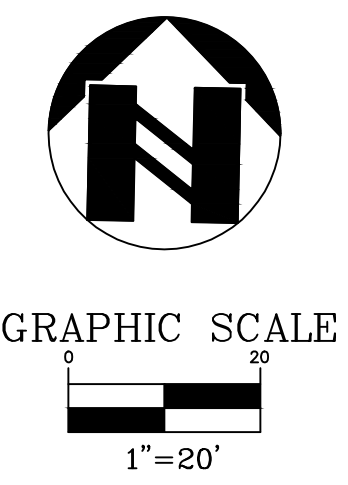
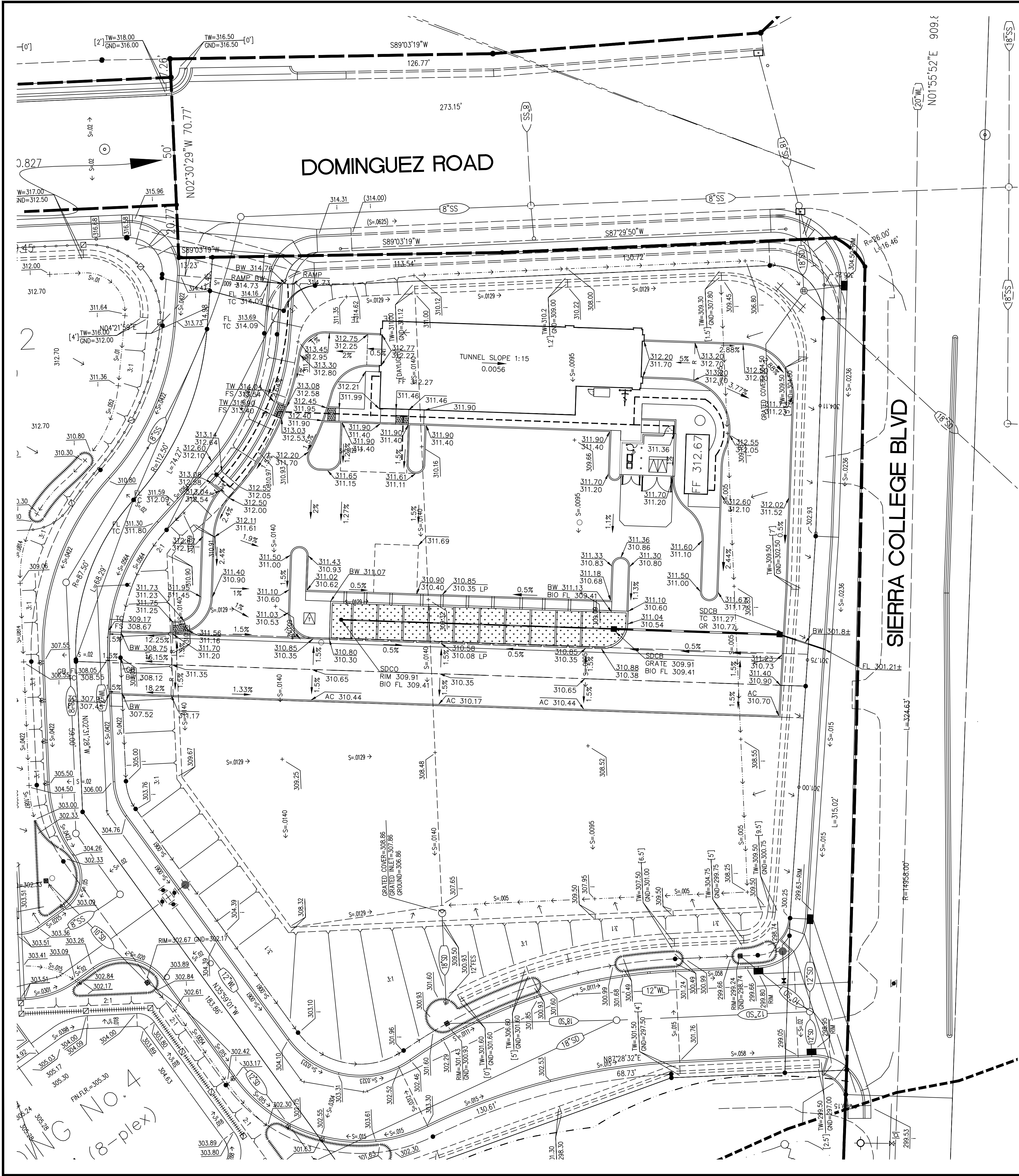
ENGINEERING

SURVEYING

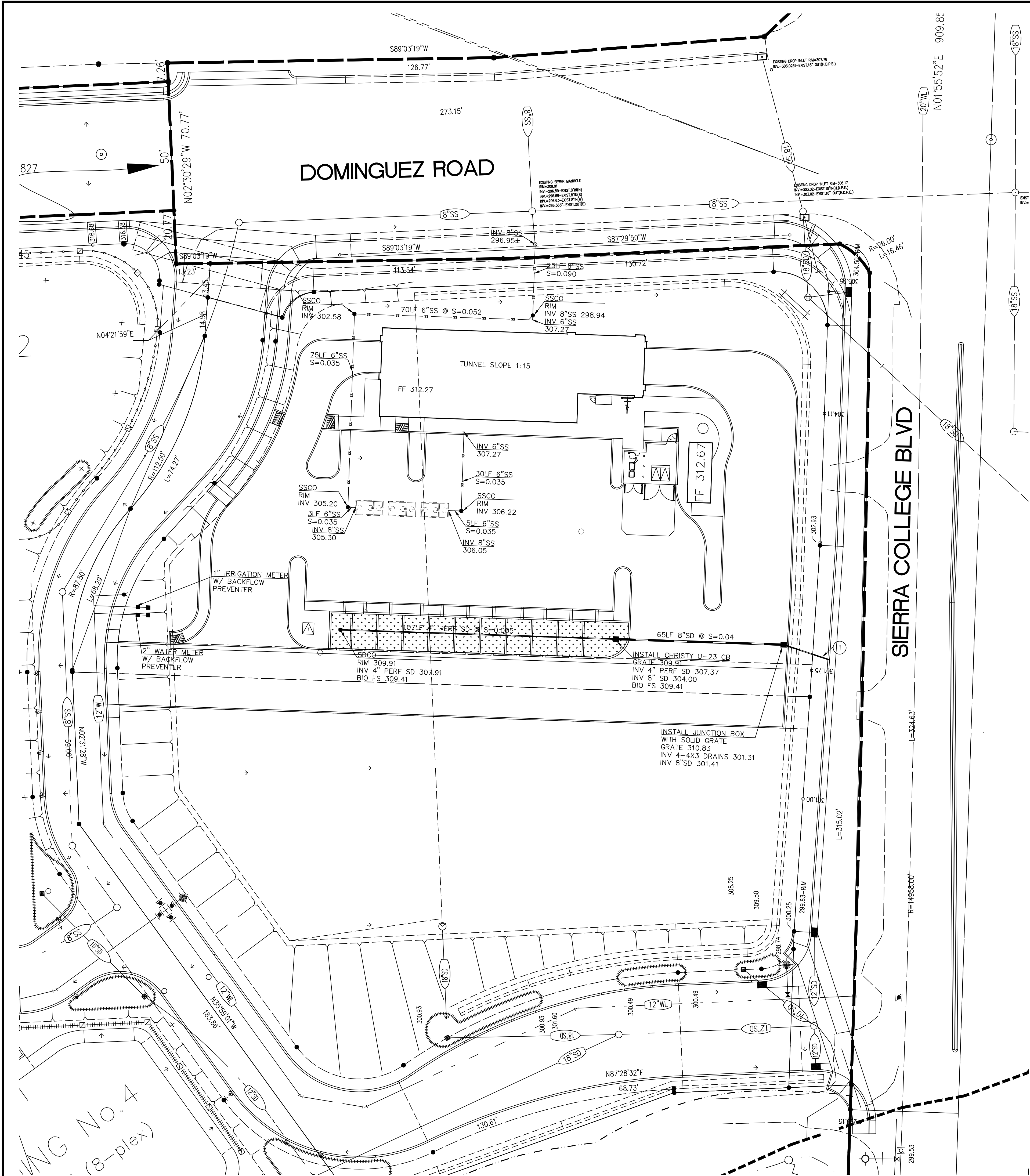
associates, inc.

CALIFORNIA

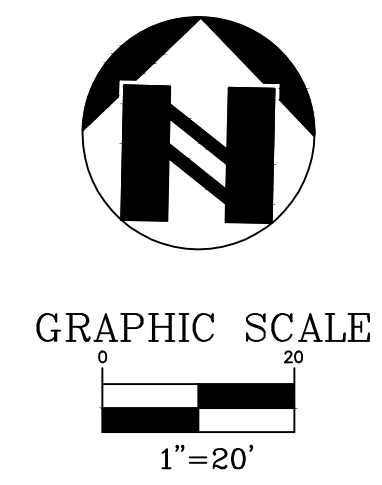




SHEET C-3.1 OF	PROJECT 17-2356		ROCKLIN PLACER COUNTY CALIFORNIA		ams associates, inc. PLANNING ENGINEERING SURVEYING			DATE: 11-03-17 SCALE: 1" = 20' DESIGNED: oms DRAWN: oms CHECKED: oms APPROV. MGR: RB FILE PATH:		DESCRIPTION	
	GRADING PLAN QUICK QUACK CAR WASH #6-021		801 YGNACIO VALLEY ROAD SUITE 220 WALNUT CREEK, CA 94596 925-943-2777 FAX 925-943-2778								

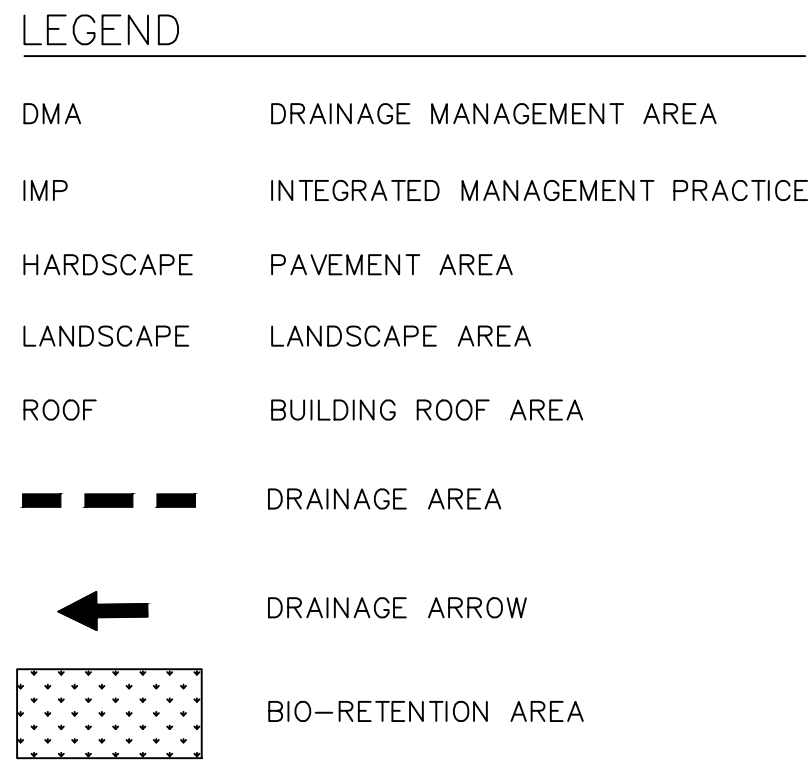
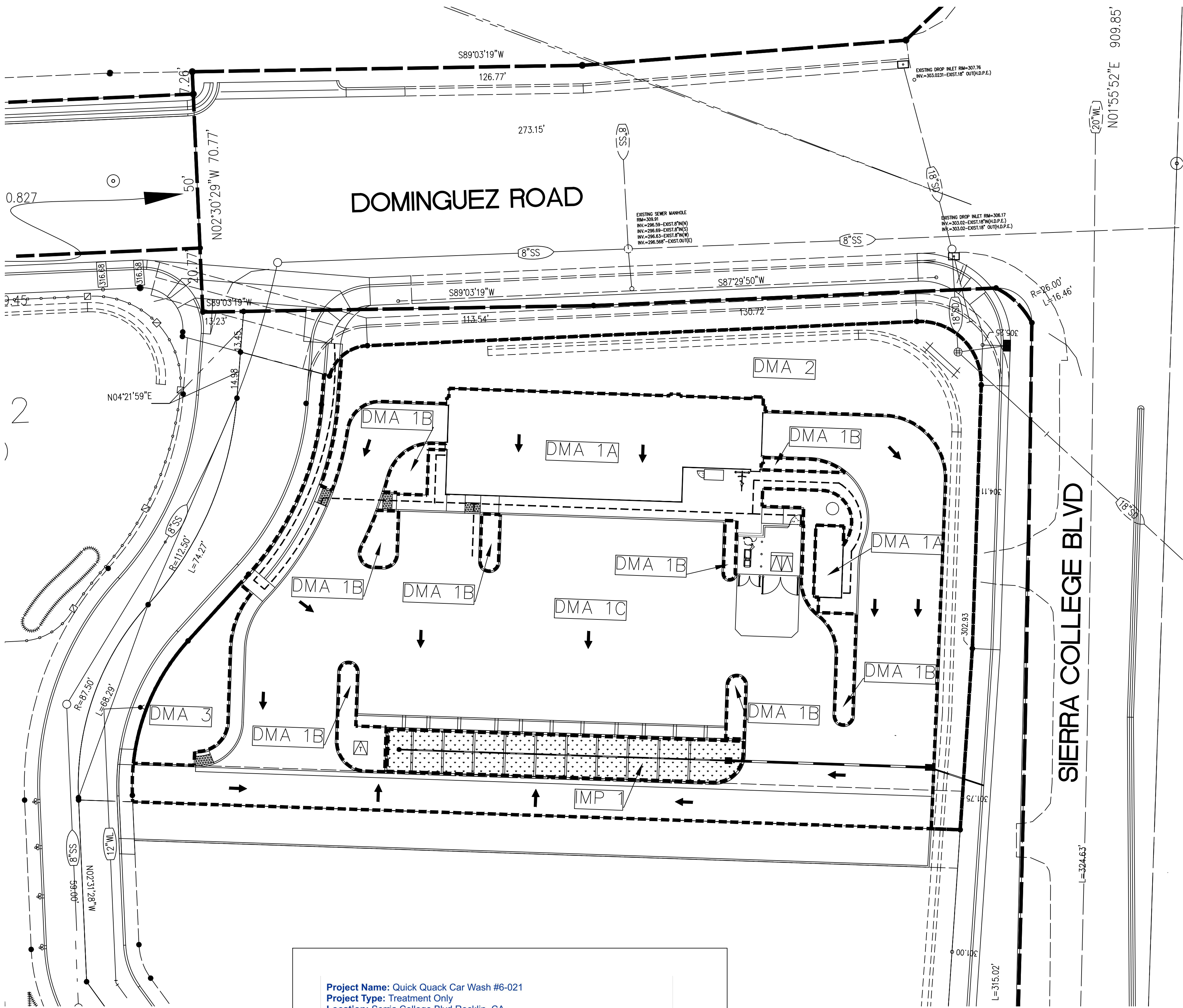


- NOTES
1. INSTALL 4-4"x3" UNDER SIDEWALK DRAIN PER CITY STD DWG #4-19.



WG No. 4
(8-plex)

SHEET C-4.1 OF	PROJECT 17-2356	UTILITY PLAN		QUICK QUACK CAR WASH #6-021		ROCKLIN		PLACER COUNTY		CALIFORNIA	
		801 YGNACIO VALLEY ROAD SUITE 220 WALNUT CREEK, CA 94596 925-943-2777 FAX 925-943-2778 ENGINEERING SURVEYING									
		ams		associates, inc.							
		REGISTERED PROFESSIONAL ENGINEER No. 3314 Exp. 6-30-2025 CIVIL STATE OF CALIFORNIA									
		DATE: 11-03-17	REV #	BY	DATE	DESCRIPTION					
		SCALE: 1" = 20'	△								
		DESIGNED: oms	△								
		DRAWN: oms	△								
		CHECKED: oms	△								
		PROJ. MGR: RB	△								
		FILE PATH:									



Project Name: Quick Quack Car Wash #6-021
Project Type: Treatment Only
Location: Sierra College Blvd Rocklin, CA
APN: 045-052-026-000
Drainage Area: 37372 sf
Mean Annual Precipitation: 24 in

I. Self-Treating Areas

DMA Name	Area (sq ft)
DMA 2	6199
DMA 3	1077

IV. Areas Draining to IMPs

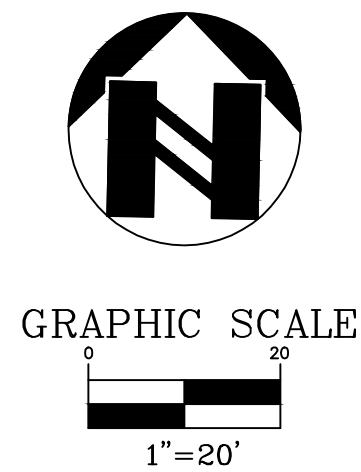
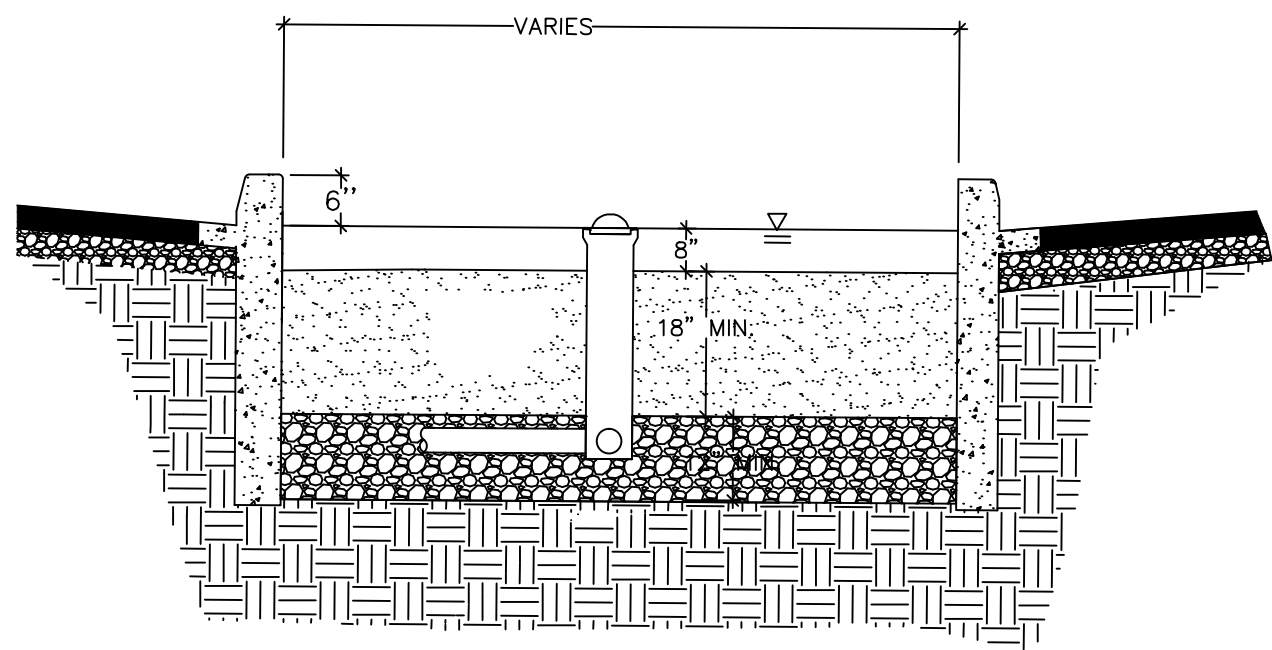
IMP Name: IMP1 (Soil Type: C)

IMP Type: Flow-Through Planter
Soil Type: C

DMA Name	DMA Area (sq ft)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing			
					IMP Sizing Factor	Rain Adjust-ment Factor	Minimum Area or Volume	Proposed Area or Volume
DMA1A	3,440	Conventional Roof	1.00	3,440				
DMA 1B	1,685	Landscape	0.10	169				
DMA 1C	23,414	Concrete or Asphalt	1.00	23,414				
Total					27,023			
					Area	0.040	1,000	1,081
								1,557

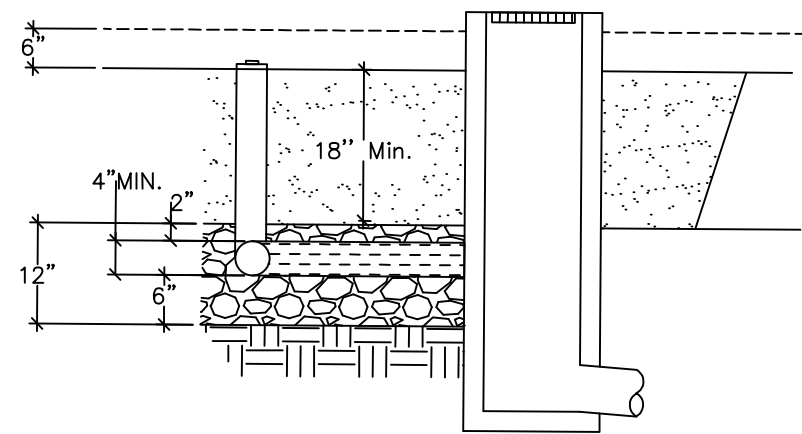
DRAINAGE MANAGEMENT AREA		
DMA #	AREA	SURFACE TYPE
1A	3,440	ROOF
1B	23,414	PAVEMENT
1C	1,685	LANDSCAPE
2	6,199	LANDSCAPE
3	1,077	LANDSCAPE

SIZING CALCULATION					
DMA #	AREA TRIBUTARY TO IMP (SF)	IMP #	TREATMENT AREA REQUIRED (SF)	TREATMENT AREA PROVIDED (SF)	SELF TREATMENT AREA (SF)
1A	3440				
1B	1685				
1C	23414				
DMA-1 TOTAL	28,539	IMP-1	1,081	1,557	
2					6199
DMA-2 TOTAL	-				6199
3					1077
DMA-3 TOTAL	-				1077



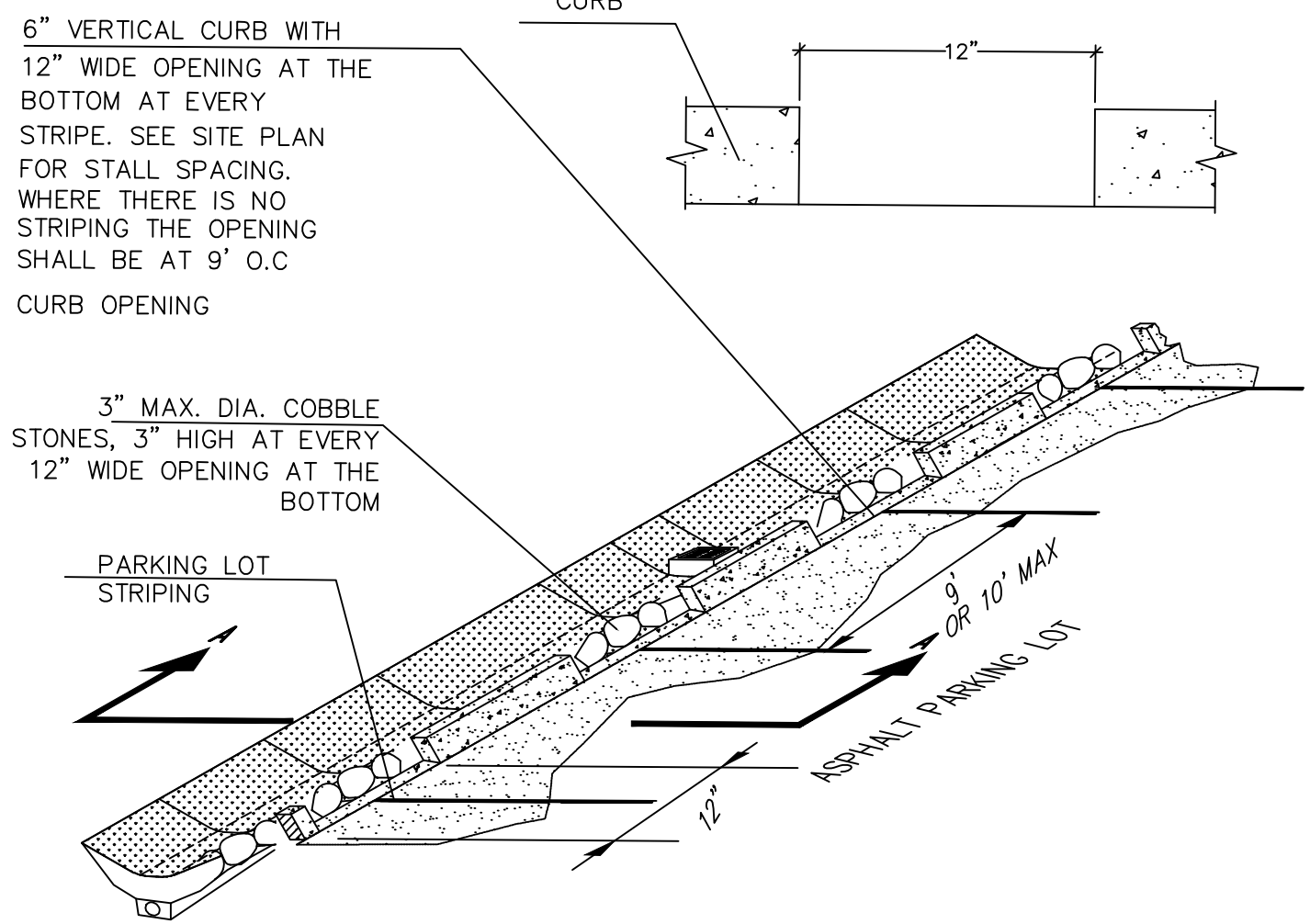
CONSTRUCTION NOTES

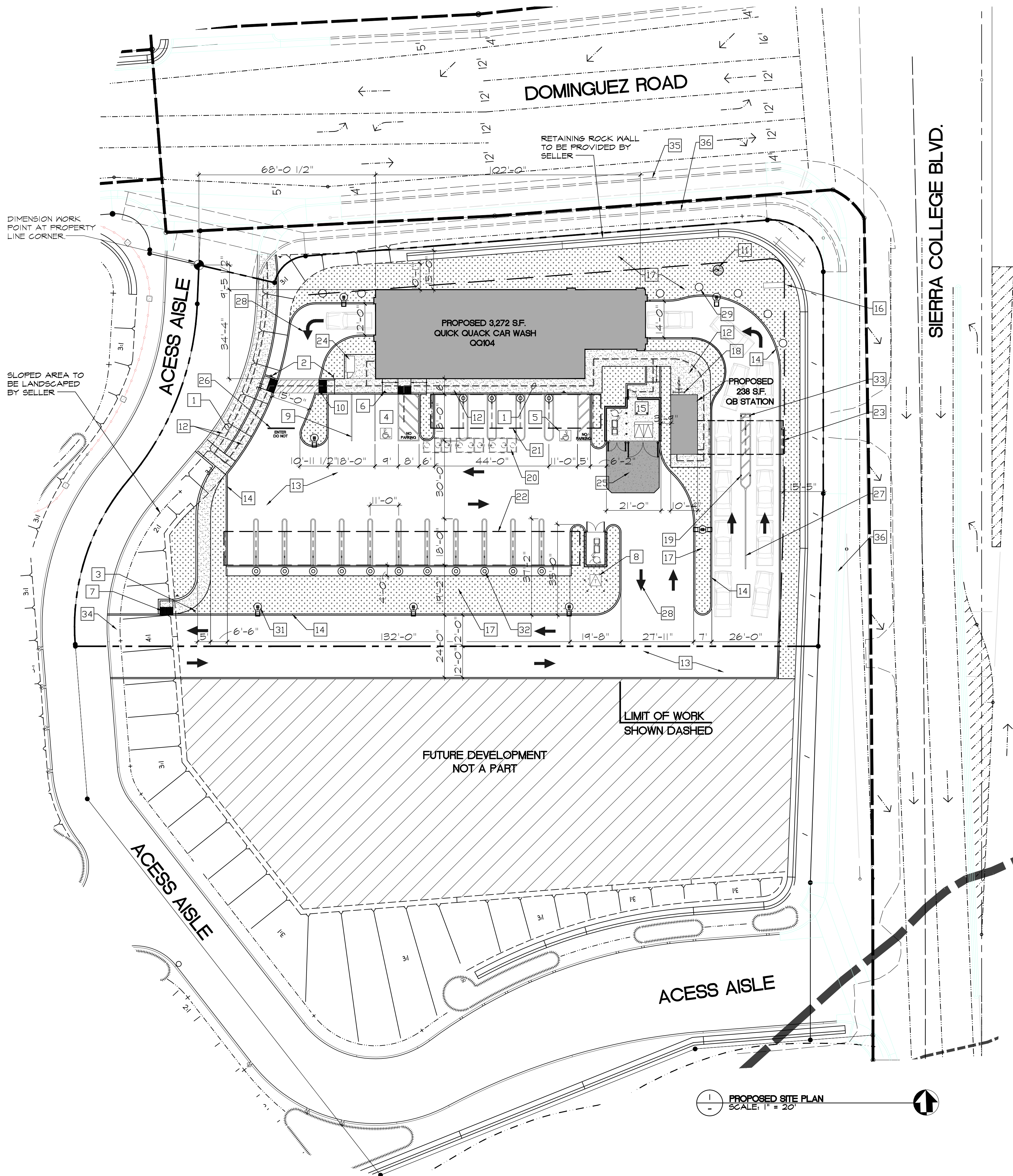
1. SCARIFY SUBGRADE BEFORE INSTALLING BIORETENTION AREA AGGREGATE AND BSM.
2. FACILITY EXCAVATION TO ALLOW FOR SPECIFIED SOIL AND MULCH DEPTHS TO ACHIEVE FINISHED ELEVATIONS ON CIVIL PLANS.
3. INSTALL UNDERDRAIN WITH HOLES FACING DOWN. UNDERDRAIN DISCHARGE ELEVATION SHALL BE NEAR TOP OF AGGREGATE LAYER. UNDERDRAIN SLOPE MAY BE FLAT.
4. DO NOT WORK WITHIN BIORETENTION AREA DURING RAIN OR UNDER WET CONDITIONS.
5. KEEP HEAVY MACHINERY OUTSIDE BIORETENTION AREA LIMITS.
6. ALL MULCH IN BIORETENTION CELLS SHOULD BE 2-3 INCHES OF COMPOSTED, NON-FLOATABLE MATERIAL IN AREAS BETWEEN PLANTINGS.



NOTES

1. NO LINER, NO FILTER FABRIC, NO LANDSCAPE CLOTH BETWEEN BSM AND AGGREGATE.
2. MAINTAIN BGL, TGL, TSL THROUGHOUT FACILITY AREA AT ELEVATIONS TO BE SPECIFIED IN PLAN.
3. CLASS 2 PERMEABLE MATERIAL LAYER MAY EXTEND BELOW AND UNDERNEATH INLET.
4. ELEVATION OF UNDERDRAIN DISCHARGE IS AT TOP OF GRAVEL LAYER.





KEYNOTES

- 1 ADA PATH OF TRAVEL SHOWN DASHED.
- 2 NEW POLE MOUNTED INTERNATIONAL SYMBOL OF ACCESSIBILITY AT ACCESSIBLE PATH OF TRAVEL. (TYPICAL 4 PLACES)
- 3 NEW TOW AWAY ACCESSIBILITY PARKING SIGN
- 4 NEW VAN ACCESSIBLE PARKING STALL - PAINT ACCESSIBLE LOADING ZONE WITH 4" WIDE STRIPING WITH TWO COATS OF HIGHWAY BLUE PAVEMENT MARKING PAINT. PAINT THE WORDS "NO PARKING" IN 12" HIGH LETTERS WITHIN THE LOADING ZONE.
- 5 NEW INTERNATIONAL SYMBOL AT PARKING STALL (TYP. 2 PLACES)
- 6 NEW ACCESSIBLE PARKING SIGN. (TYPICAL 2 PLACES)
- 7 NEW TRUNCATED DOMES (TYPICAL 4 PLACES)
- 8 NEW ELECTRICAL TRANSFORMER. EXACT LOCATION AND NUMBER OF PIPE BOLLARDS TO BE DETERMINED BY ELECTRIC COMPANY
- 9 NEW PARKING STRIPING PER CITY OF ROCKLIN STANDARDS (TYP.)
- 10 NEW FLUSH SURFACE AT TRANSITION (TYPICAL)
- 11 30 FOOT FLAG POLE. STYLE: "MEMORIAL" UNCOMMON USA, INC. INSTALL PER MANUFACTURER'S INSTALLATION GUIDELINES.
- 12 NEW 4" THICK CONCRETE WALK, MEDIUM BROOM FINISH PERPENDICULAR TO PATH OF TRAVEL. SLOPE NOT TO EXCEED 5% IN DIRECTION OF TRAVEL. CROSS SLOPE NOT TO EXCEED 2%.
- 13 NEW 5" MINIMUM THICK MINIMUM CONCRETE DRIVE SLAB WITH WITH #4 BARS AT MID SLAB 24" O.C. EACH WAY. HEAVY BROOM FINISH PERPENDICULAR TO TRAFFIC
- 14 NEW 6" CONCRETE CURB (TYPICAL)
- 15 NEW EQUIPMENT AND TRASH ENCLOSURE
- 16 NEW MONUMENT SIGN- SEE SIGN DRAWINGS
- 17 NEW LANDSCAPING - SEE LANDSCAPE DRAWINGS
- 18 NEW BICYCLE RACK
- 19 NEW 6" CONCRETE FILLED PIPE BOLLARD (TYPICAL 11 PLACES)
- 20 NEW UNDERGROUND GREASE INTERCEPTOR
- 21 NEW 13'-0" X 65'-7" VACUUM CANOPY - SEE CANOPY DRAWINGS
- 22 NEW 13'-0" X 137'-7" VACUUM CANOPY - SEE CANOPY DRAWINGS
- 23 NEW 13'-0" X 33'-7" PAY CANOPY - SEE CANOPY DRAWINGS
- 24 NEW LONG TERM BICYCLE LOCKER
- 25 NEW 8" THICK MINIMUM CONCRETE DRIVE SLAB WITH W/ #4 BARS AT MID SLAB 24" O.C. EACH WAY. HEAVY BROOM FINISH PERPENDICULAR TO TRAFFIC
- 26 NEW HIGHWAY PAINT WHITE 18" "DO NOT ENTER"
- 27 NEW HIGHWAY PAINT WHITE 4" STRIPING
- 28 NEW HIGHWAY PAINT WHITE PAVEMENT MARKINGS (TYPICAL)
- 29 NEW TOMMY BALL - SPHERICAL BOLLARD LOCATED IN PLANTER. (TYPICAL 5 PLACES)
- 30 NEW RAMP WITH HANDRAILS - SEE CIVIL DRAWINGS
- 31 NEW 20' HIGH LED SITE LIGHTS (TYPICAL 7 PLACES)
- 32 NEW TRASH RECEPTACLES (TYPICAL 13 PLACES)
- 33 NEW DISPLAY SIGN. - SEE SIGN PLANS
- 34 NEW 24'-0" WIDE DRIVEWAY PER PUBLIC WORKS REQUIREMENTS
- 35 EXISTING PUBLIC CONCRETE CURB, AND GUTTER TO REMAIN
- 36 FUTURE PUBLIC CONCRETE CURB, SIDEWALK AND GUTTER

SITE NUMBER: 6-021
BUILDING: QQ-104 SEPARATE QB STATION

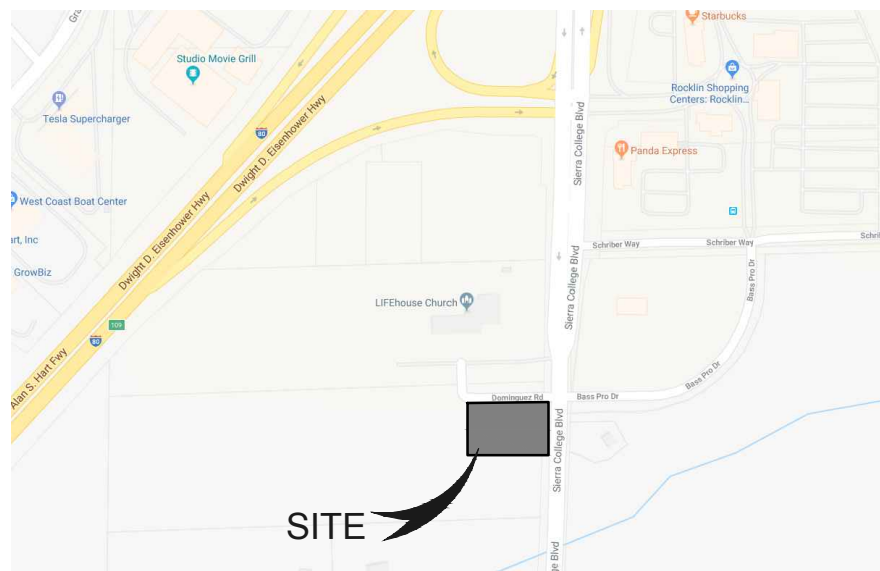
SITE AREA: .93 ACRE - 40,699 S.F.
STACKING LANES: 2 LANES
STACKING WIDTH: 13'-0"
VACUUM STALLS: 17 - 11'-0" x 18'-0"
VACUUM PRODUCER: 2 - 50HP
ADA PARKING: 1 - 9'-0" x 18'-0"
PARKING STALLS: 2 - 9'-0" x 18'-0"
BUILDING AREA: 3,310 S.F. + 237 S.F. = 3,555 S.F.
BUILDING SPRINKLED: NO
QB STATION ATTACHED: NO
BUILDING LENGTH: 104'-0"
SHOWROOM LENGTH: 102'-0"
CONVEYOR TRENCH LENGTH: 102'-0"
CONVEYOR LENGTH: 101'-2"

CONVEYOR TYPE: REAR WHEEL PUSH

SIGNATURE: _____
APPROVAL DATE: _____

PROJECT DATA

EXISTING USE:	VACANT LAND
PROPOSED USE:	CAR WASH
A.P.N.:	045-052-026
ZONING:	PD-C
DISTRICT:	COLLEGE
PROPOSED SITE AREA:	40,699 S.F.
ACRE:	.93 ACRE
LANDSCAPING AREA:	8,620 S.F.
LANDSCAPING %:	21%
PROPOSED CAR WASH AREA:	3,510 S.F.
MAXIMUM AREA ALLOWED:	5,000 S.F.
HEIGHT:	29'-0"
MAXIMUM HEIGHT ALLOWED:	40 FEET
CONSTRUCTION TYPE:	VB
OCCUPANCY:	B
SPRINKLERS	NO
STORIES:	1 STORY



VICINITY MAP
NTS



CRM Architects & Planners, Inc.
Corcoran Place, Suite 200, Rocklin, CA 95677
1015 Fulton Blvd., Sacramento, CA 95811
Phone: (916) 421-1200 Fax: (916) 421-1200

OWNER



QUICK QUACK CARWASH
1380 LEAD HILL BLVD #260
ROSEVILLE CA 95661
(916) 846-2100

PROJECT NAME:
QUICK QUACK CARWASH
SIERRA COLLEGE
ROCKLIN, CA 95677
QQ# 6-021

DRAWING TITLE:

PROPOSED
SITE PLAN

DRAWING DATE: SEPTEMBER 29, 2017

PLANNING DOCUMENTS

DRAWING NUMBER

A2.0

Luminaire Schedule / "Did you know that utility rebates can cover 25% or more of a products cost? Email rebates@cree.com to get help on your project!"							
Symbol	Qty	Label	Arrangement	Lumens/Lamp	LLF	Lum. Watts	Description
	4	F1	SINGLE	4584	1,000	66	FLD-OL-SN-D2-14-E-UL-SV-700
	5	F10	WALL MOUNT	2722	0.990	25	XSPW-A-0-3-M-G-U-x
	19	F11	SINGLE	5000	1,000	51	WS4-50L-50K-10V-FD-SSL
	18	F9	8FT	N.A.	1,000	70	LFLL-A-5-DO-UL-SV-53K-SA
	6	SF1	SINGLE	17291	1,000	130	OSQ-A-NM-4ME-K-57K-UL-xx
	1	SF2b	BACK-BACK	17291	1,000	130	OSQ-A-NM-4ME-K-57K-UL-xx
	7	T1	SINGLE	N.A.	1,000	30	RS-30WLED-DO-xx-120

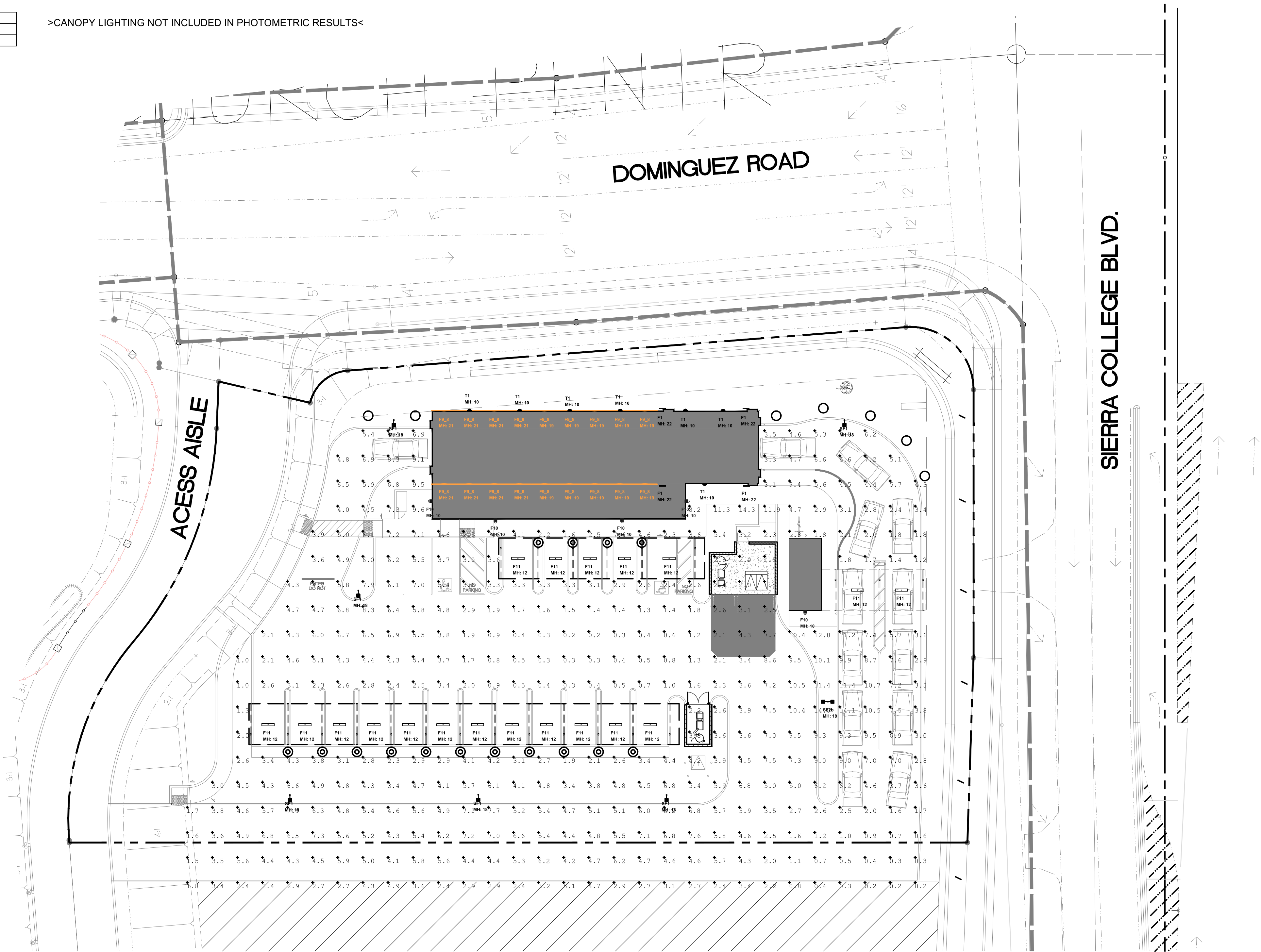
Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Pavement	Fc	4.32	14.3	0.2	21.60	71.50

FIXTURE MOUNTING HEIGHTS AS SHOWN
POLES MOUNTED ON 2' CONCRETE BASE

ADDITIONAL EQUIPMENT REQUIRED:
(7) CL-SSP-4011-18-D5-xx (16' x 4" SQUARE POLE, 3@90° MOUNT)
(8) OSQ-DAxx DIRECT ARM MOUNT
(19) WS4MBK WS4 MOUNTING BRACKET WIND LOADS
PROPOSED POLES MEET SUSTAINED WIND LOADS

***CUSTOMER TO VERIFY MOUNTING, VOLTAGE, AND COLOR
PRIOR TO PLACING ORDER

>CANOPY LIGHTING NOT INCLUDED IN PHOTOMETRIC RESULTS<



PHOTOMETRIC SITE PLAN
SCALE: 1" = 20'

CREE

1200 92nd Street - Sturtevant, WI 53177
www.cree.com - (800) 236-6800

Project Name: QUICK QUACK CAR WASH SIERRA COLLEGE - ROCKLIN, CA SR No. 26717
Date: 12/8/2017 Scale: 1"=16' Footcandles calculated at grade
Filename: QQ-171020RKCAJEER2.AGI Layout by: JACOB EDLER

Illumination results shown on this lighting design are based on project parameters provided to Cree, Inc. used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting, or energy code.

CRM Architects & Planners, Inc.
Custom River 360 Marine Architects and Planners, Inc.
901 Fulton Blvd. - Sacramento, CA 95819
Phone: (916) 451-1200 Fax: (916) 451-1000

OWNER
Quick Quack
CAR WASH
Don't Drive Dirty.com

QUICK QUACK CARWASH
1380 LEAD HILL BLVD #260
ROSEVILLE CA 95661
(916) 846-2100

PROJECT NAME:
QUICK QUACK CARWASH
SIERRA COLLEGE
ROCKLIN, CA 95677
QO# 6-021

DRAWING TITLE:
PHOTOMETRIC
SITE PLAN

DRAWING DATE: SEPTEMBER 29, 2017

PLANNING DOCUMENTS
DRAWING NUMBER

A2.1



Water Efficient Landscape Worksheet

HYDROZONE/PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIG. METHOD	IRRIG. EFFICIENCY (IE)	ETAF (PF/IE)	LANDSCAPE AREA (Sq. Ft.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)
REGULAR LANDSCAPE AREA							
LOW WATER USE PLANTS	.3	DRIP	.81	.37	7,564	2,836	111,617 GAL.
MODERATE WATER USE PLANTS	.5	DRIP	.81	.62	1,868	1,158	17,645 GAL.
TOTALS					(A) 9,532	(B) 3,994	

ETWU Total 129,262 GAL.

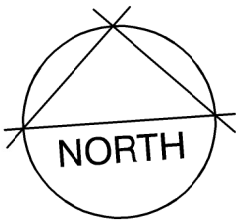
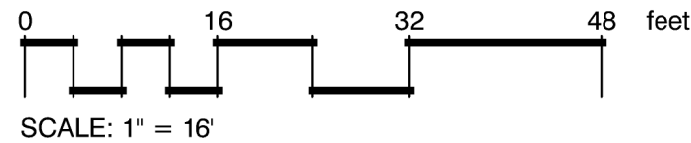
Maximum Applied Water Allowance (MAWA). $MAWA = \frac{[ETo]}{(52.2)} \left[\frac{[Conversion\ factor]}{(.62)} \left(\frac{[ETAF] [Landscape\ Area]}{(.45 \times 9,532)} \right) + \left(\frac{[(1-ETAF) \times SLA]}{(1-.45) \times 0} \right) \right] = 138,822 \text{ GALLONS}$

Estimated Total Water use (ETWU). $ETWU = \frac{[ETo]}{(52.2)} \left[\frac{[Conversion\ factor]}{(.62)} \left(\frac{[ETAF] [Area]}{(3,994)} \right) \right] = 129,262 \text{ GALLONS}$


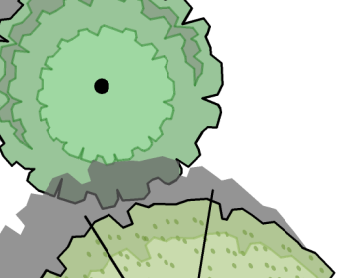
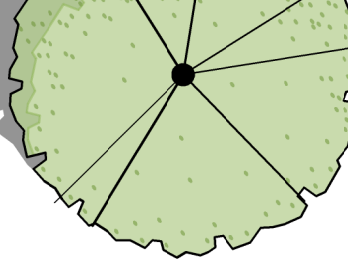











ETAF Calculations

Regular Landscape Areas	
Total ETAF x Area	(B) 3,994
Total Area	(A) 9,532
Average ETAF	(B / A) .42

Note:
1. Average ETAF for Regular Landscape Areas must be below .35 for residential areas and .45 for non-residential areas.



PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	WUCOLS
	9	Lagerstroemia indica 'Red Rocket'	Crape Myrtle	15 gal	Low
	4	Laurus nobilis 'Saratoga'	Sweet Bay	15 gal	Low
	3	Ulmus parvifolia 'Drake'	Drake Elm	24"box	Moderate
SHRUBS					
	205	Callistemon viminalis 'Little John'	Dwarf Weeping Bottlebrush	5 gal	Low
	23	Ceanothus x 'Dark Star'	California Lilac	5 gal	Low
	66	Diets x 'Orange Drop'	Orange Drop Fortnight Lily	1 gal	Low
	21	Lantana montevidensis 'Spreading Radiation'	Trailing Lantana	1 gal	Low
	13	Myrica californica 'Buxifolia'	Pacific Wax Myrtle	5 gal	Low
	32	Phormium tenax 'Allison Blackman'	New Zealand Flax	5 gal	Low
	63	Rhamnus californica 'Mound San Bruno'	California Coffeeberry	5 gal	Low
	20	Yucca x 'Bright Star'	Variiegated Spanish Dagger	5 gal	Low
VINE/ESPALIER					
	6	Magnolia grandiflora 'Little Gem' Espalier	Dwarf Southern Magnolia	5 gal	moderate
GROUND COVERS					
	304	Festuca ovina glauca 'Elijah Blue'	Blue Fescue	4"pot	Low 18" o.c.
BIO-RETENTION AREA					
	1,697 sf	Festuca rubra 'Molate'	Molate Fescue	sod	Moderate

GENERAL NOTES

- A soils fertility analysis report and recommendations by a certified soils analysis laboratory shall be completed prior to construction. Soil samples shall be collected after site rough grading has been completed.
- All landscape planting areas shall receive a minimum 3"-4" layer of organic mulch top dressing.
- All trees, shrubs and groundcover shall be irrigated with a drip system, smart controller , weather sensor, etc.and shall meet City of Rocklin Water Efficient standards/regulations.
- All new trees located within 7' of pavement or permanent structure shall have a root barrier.

ROD SCACALOSI
LANDSCAPE ARCHITECT
PO Box 2083
Petaluma, CA 94952
707-280-8990
OliveStreetLandscape.com
rscac@sbcglobal.net

CRM Architects & Planners, Inc.
Custom Built, Modern, Sustainable and Efficient
901 Fulton Blvd. - Sacramento, CA 95811
Phone: (916) 451-1200 - Fax: (916) 451-0980

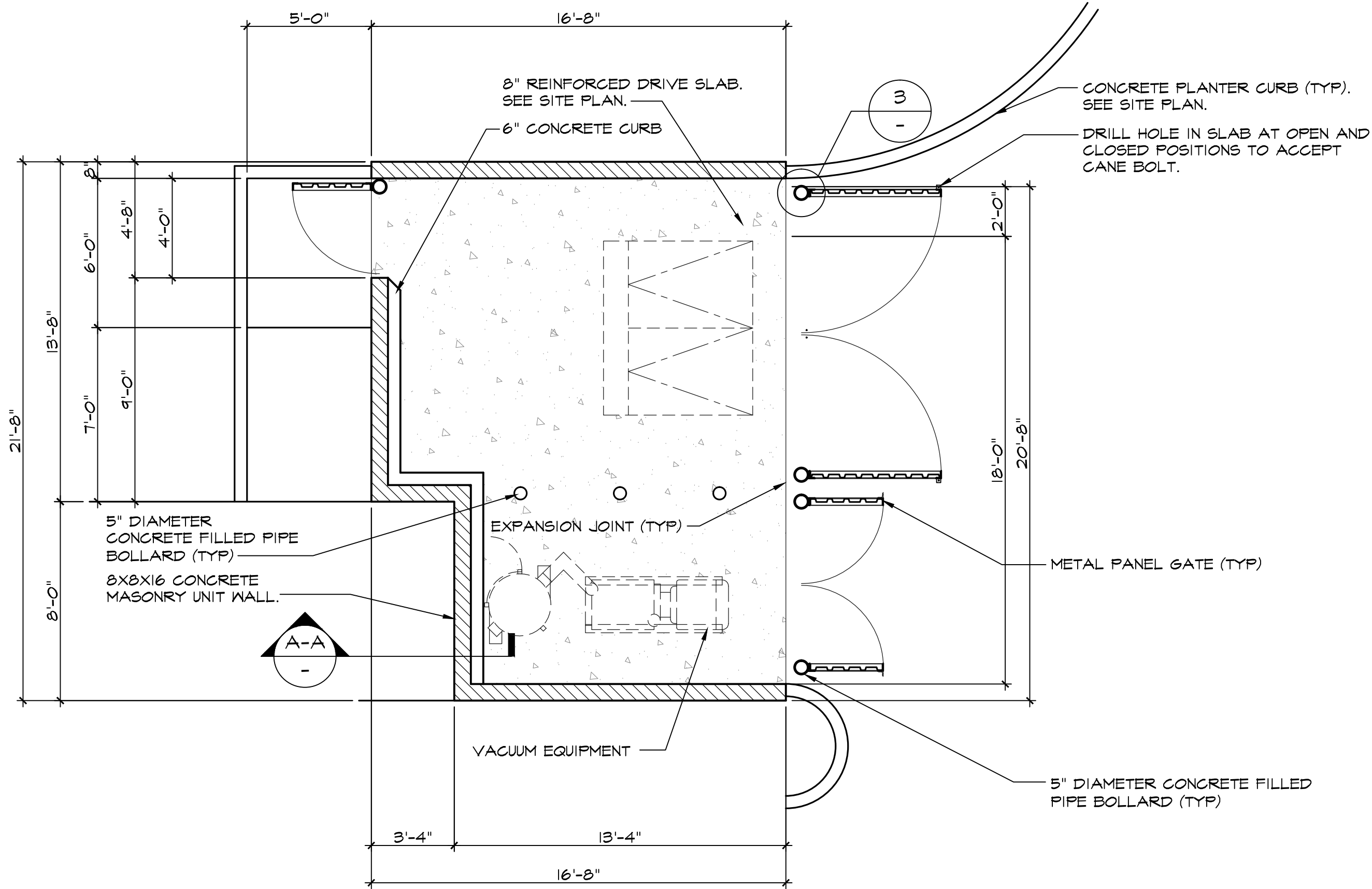
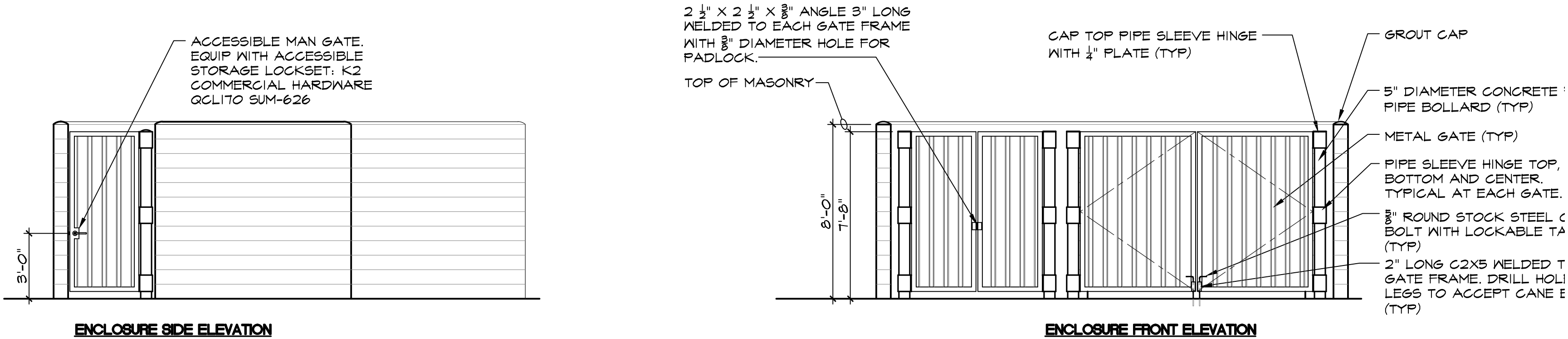
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CAR WASH
Don't Drive Dirty.com

QUICK QUACK CARWASH
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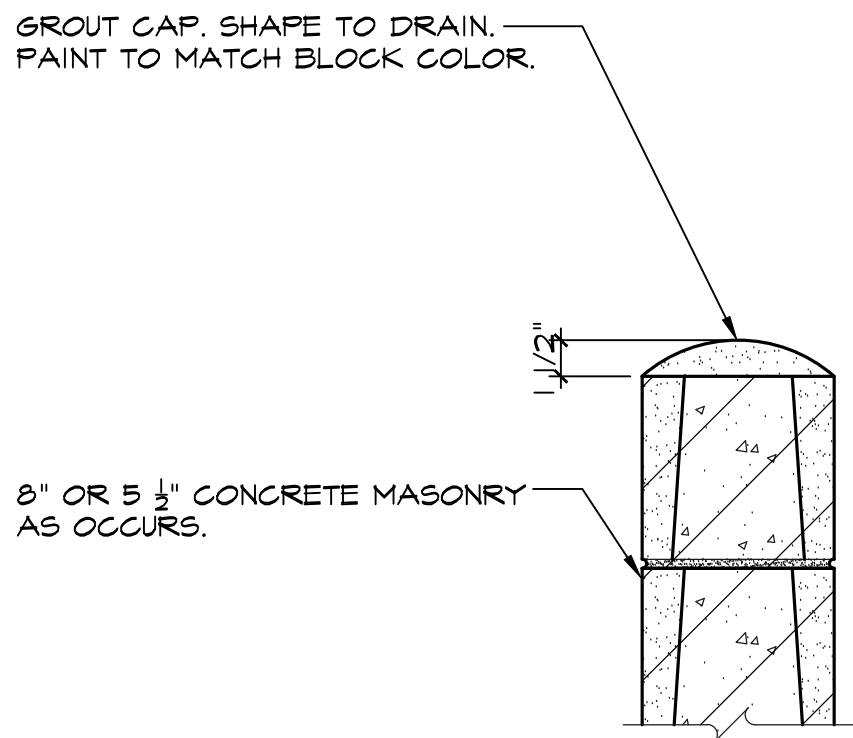
PROJECT NAME:
QUICK QUACK CARWASH
SIERRA COLLEGE
ROCKLIN, CA 95677
OO# 6-021

DRAWING TITLE:
PRELIMINARY
LANDSCAPE PLAN

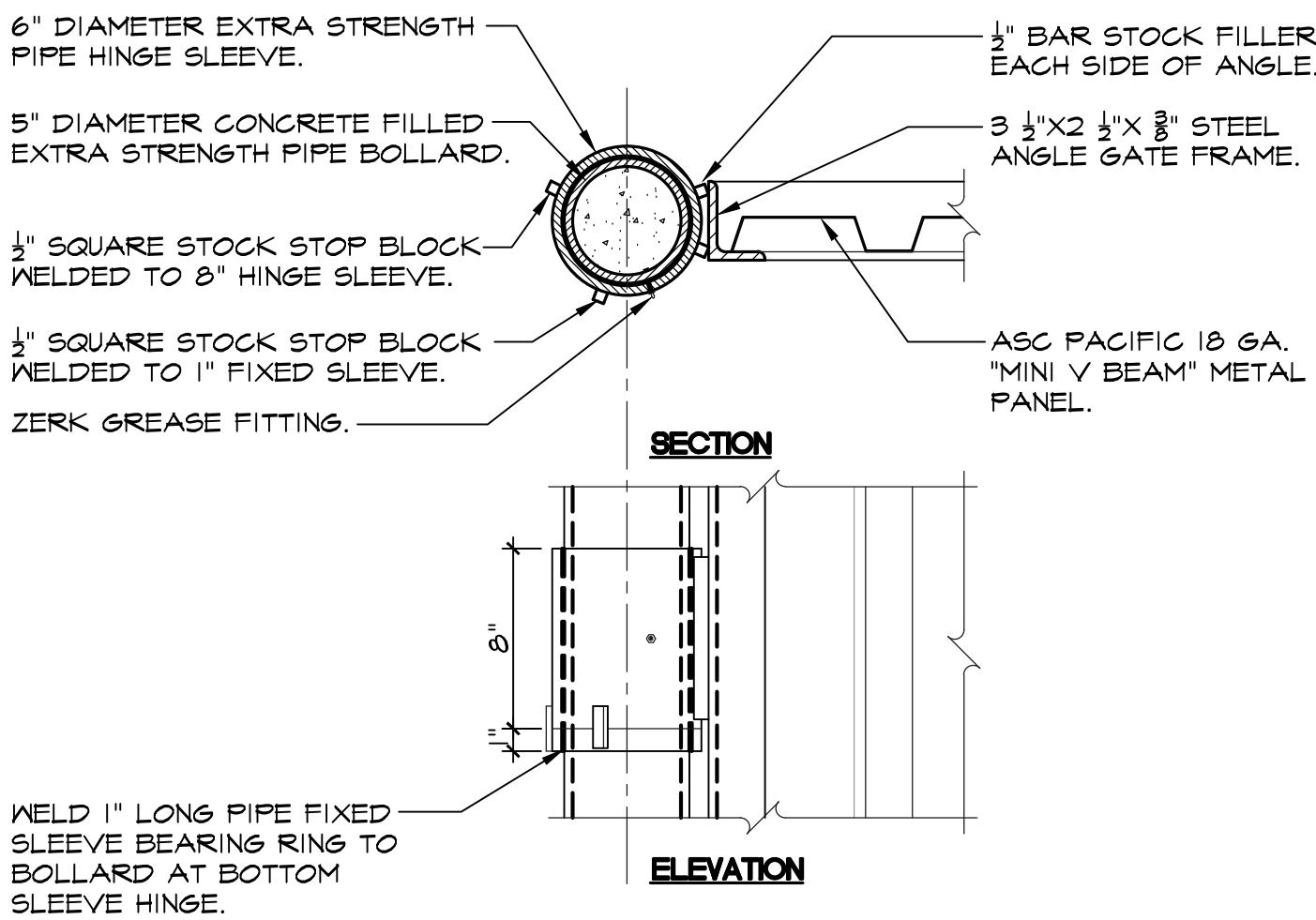
DRAWING DATE: NOVEMBER 4, 2017



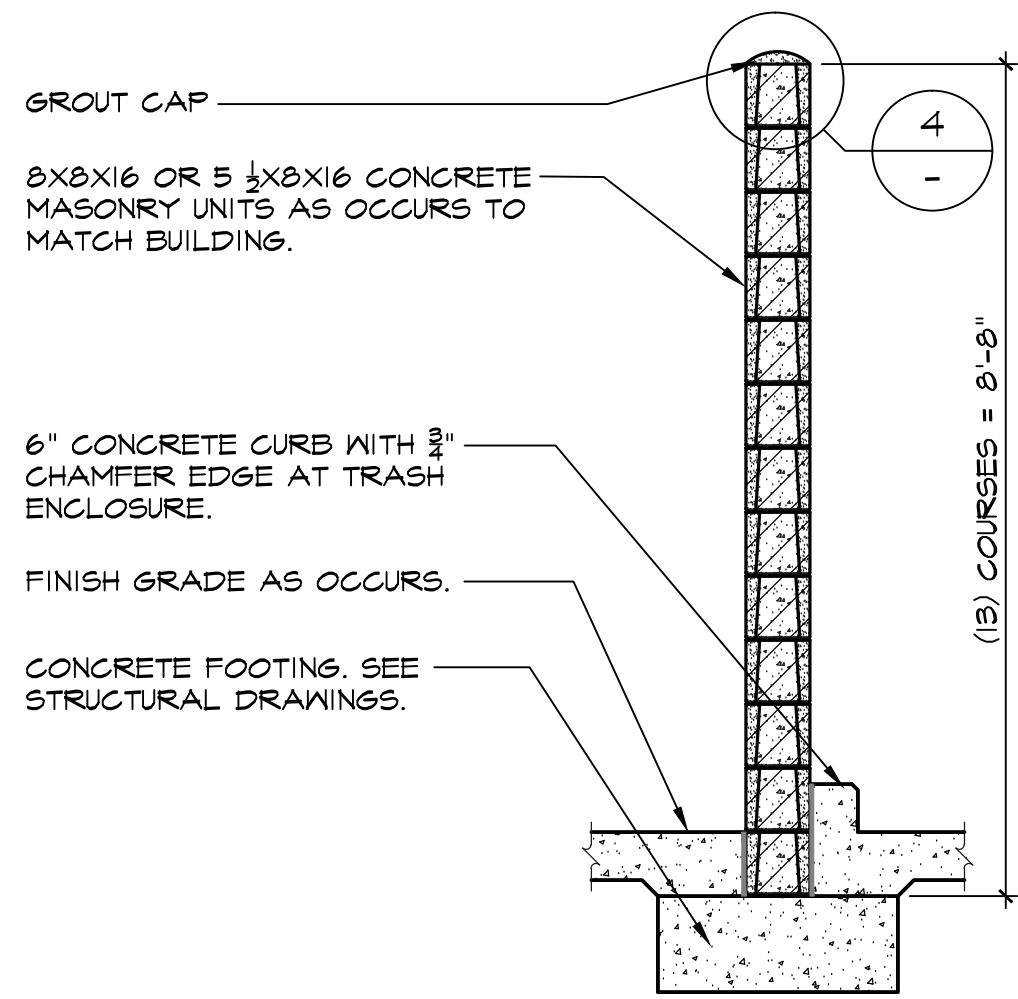
1 MASONRY TRASH/VACUUM ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"



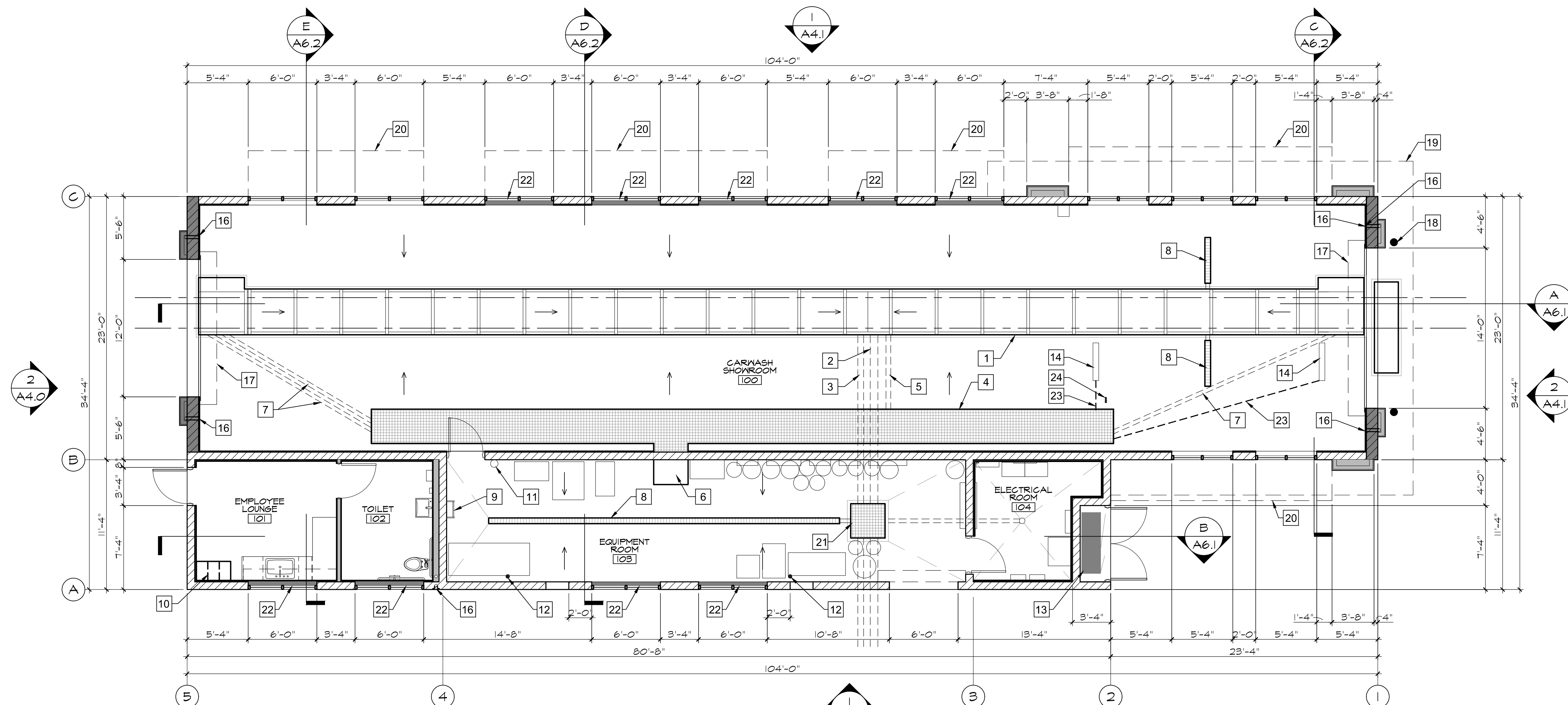
2 WALL CAP DETAIL
SCALE: 1 1/2" = 1'-0"



3 SLEEVE HINGE DETAIL
SCALE: 1 1/2" = 1'-0"

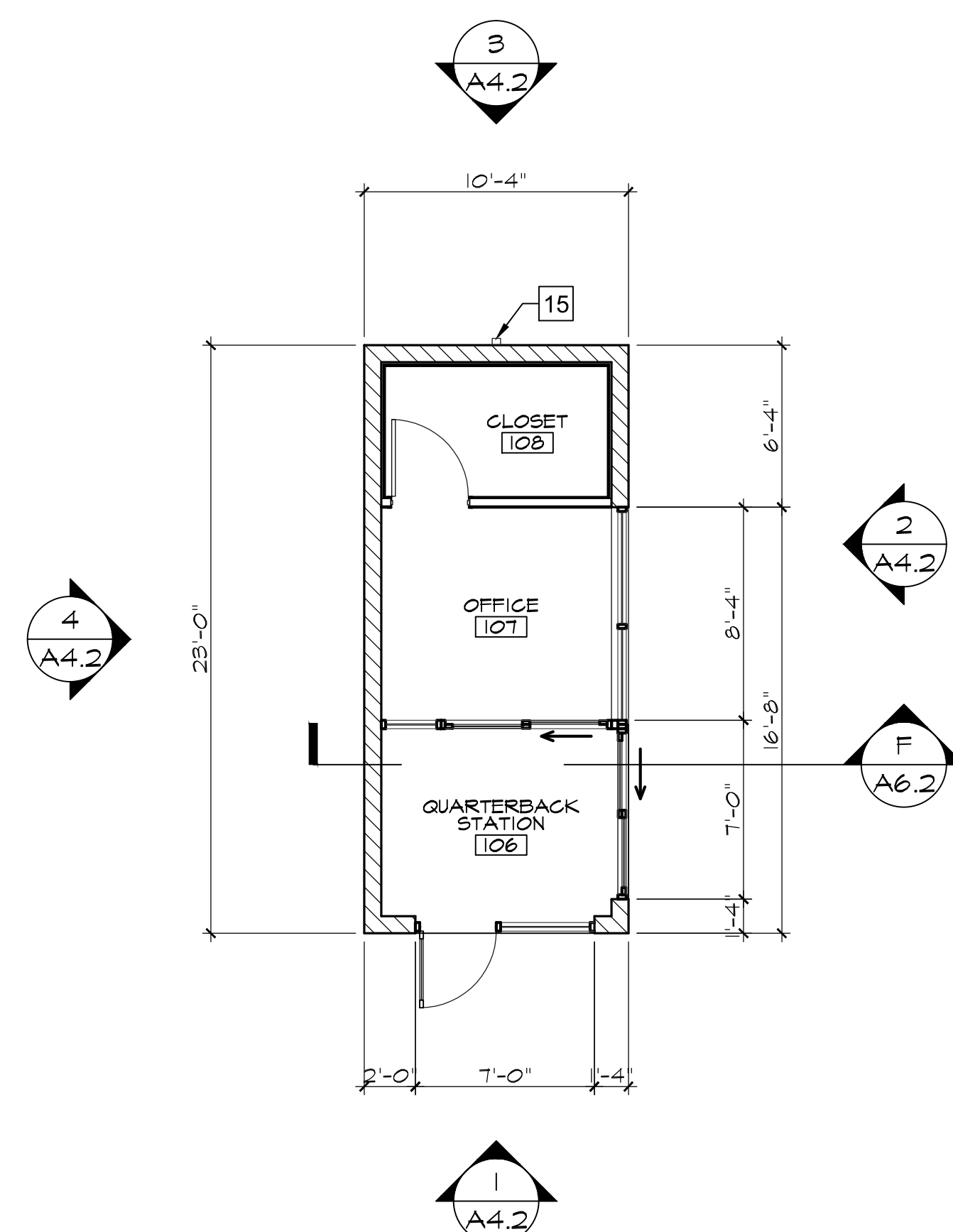


A-A WALL SECTION
SCALE: 1/2" = 1'-0"



- KEYNOTES**
- 1 CONVEYOR TRENCH. SLOPE AT $\frac{1}{4}$ " PER FOOT TO DRAIN.
 - 2 8" CONVEYOR TRENCH DRAIN PIPE.
 - 3 6" CONVEYOR TRENCH OVERFLOW.
 - 4 UTILITY TRENCH. SLOPE BOTTOM TO DRAIN.
 - 5 5" UTILITY TRENCH DRAIN PIPE. SLOPE TO CONVEYOR TRENCH.
 - 6 OPEN FOR ACCESS TO UTILITY TRENCH.
 - 7 4" PIPE CHASE FROM UTILITY TRENCH TO CONVEYOR TRENCH.
 - 8 TRENCH DRAIN.
 - 9 ROOF ACCESS LADDER.
 - 10 EMPLOYEE LOCKERS.
 - 11 WALL MOUNTED FIRE EXTINGUISHER.
 - 12 ROOF DRAIN LEADER.
 - 13 ELECTRICAL SERVICE SWITCHGEAR.
 - 14 3/4" RECESS IN SLAB FOR TIRE SENSOR SWITCH.
 - 15 DOWNSPOUT - SEE EXTERIOR ELEVATIONS
 - 16 HOSE BIB IN RECESS BOX. PROVIDE WITH LOCKABLE DOOR AT EXTERIOR LOCATIONS.
 - 17 COILING ROLL-UP DOOR.
 - 18 CONCRETE FILLED PIPE BOLLARD AT ENTRANCE.
 - 19 LINE OF ROOF ABOVE.
 - 20 WALL MOUNTED CANOPY ABOVE.
 - 21 3'-0" X 3'-0" RECLAIM CLEAN-OUT.
 - 22 FAUX WINDOW - SEE EXTERIOR ELEVATIONS
 - 23 1/2" CONDUIT TO TIRE SWITCH
 - 24 3 - 1" CONDUIT FROM CONTROLLER

PROPOSED CAR WASH FLOOR PLAN
SCALE: 3/16" = 1'-0"



PROPOSED QUARTERBACK STATION FLOOR PLAN
SCALE: 3/16" = 1'-0"

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QUICK QUACK CARWASH
1380 LEAD HILL BLVD #260
ROSEVILLE CA 95661
(916) 846-2100

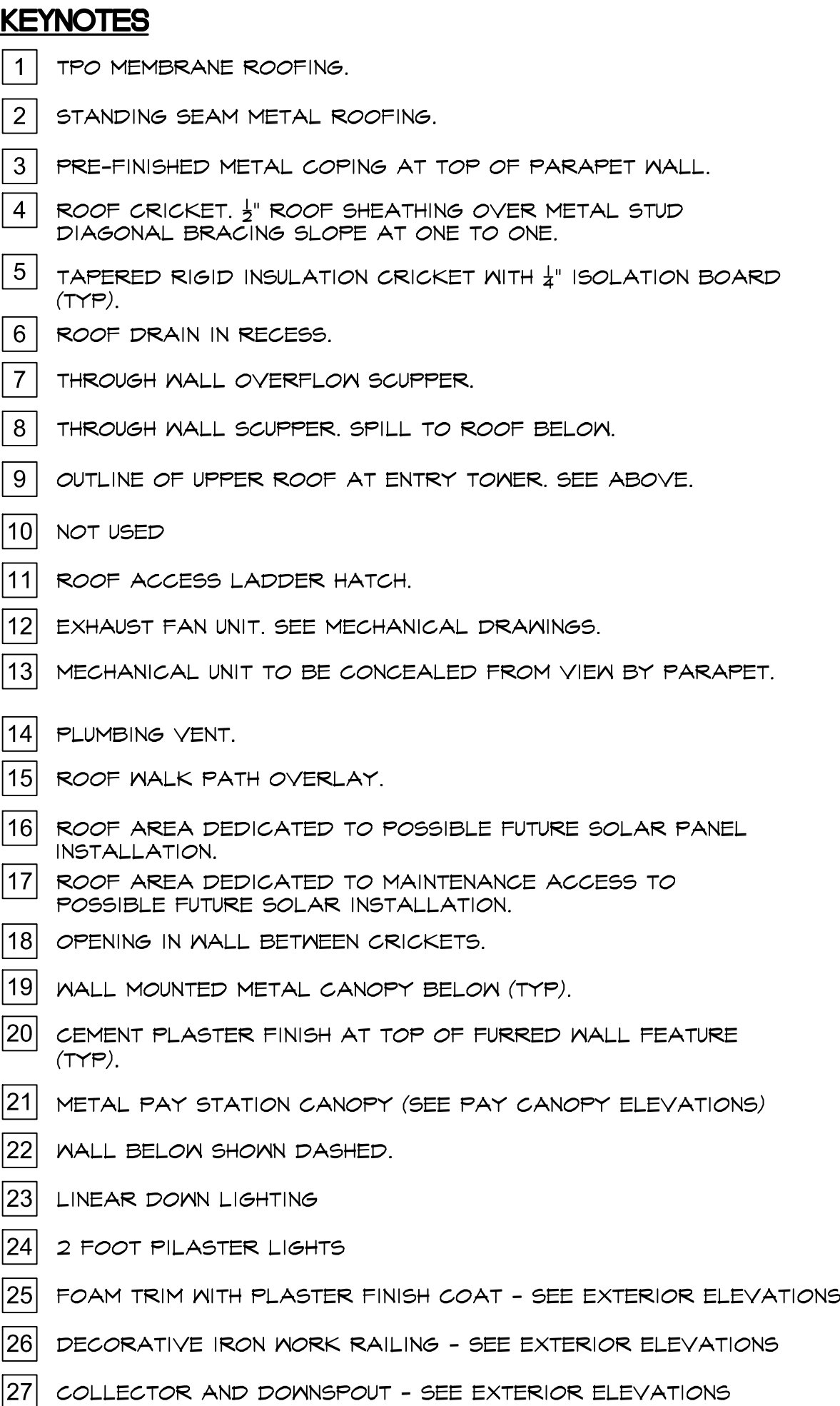
PROJECT NAME:
QUICK QUACK CARWASH
SIERRA COLLEGE
ROCKLIN, CA 95677
OO# 6-021

DRAWING TITLE:
PROPOSED FLOOR PLAN

DRAWING DATE: SEPTEMBER 29, 2017

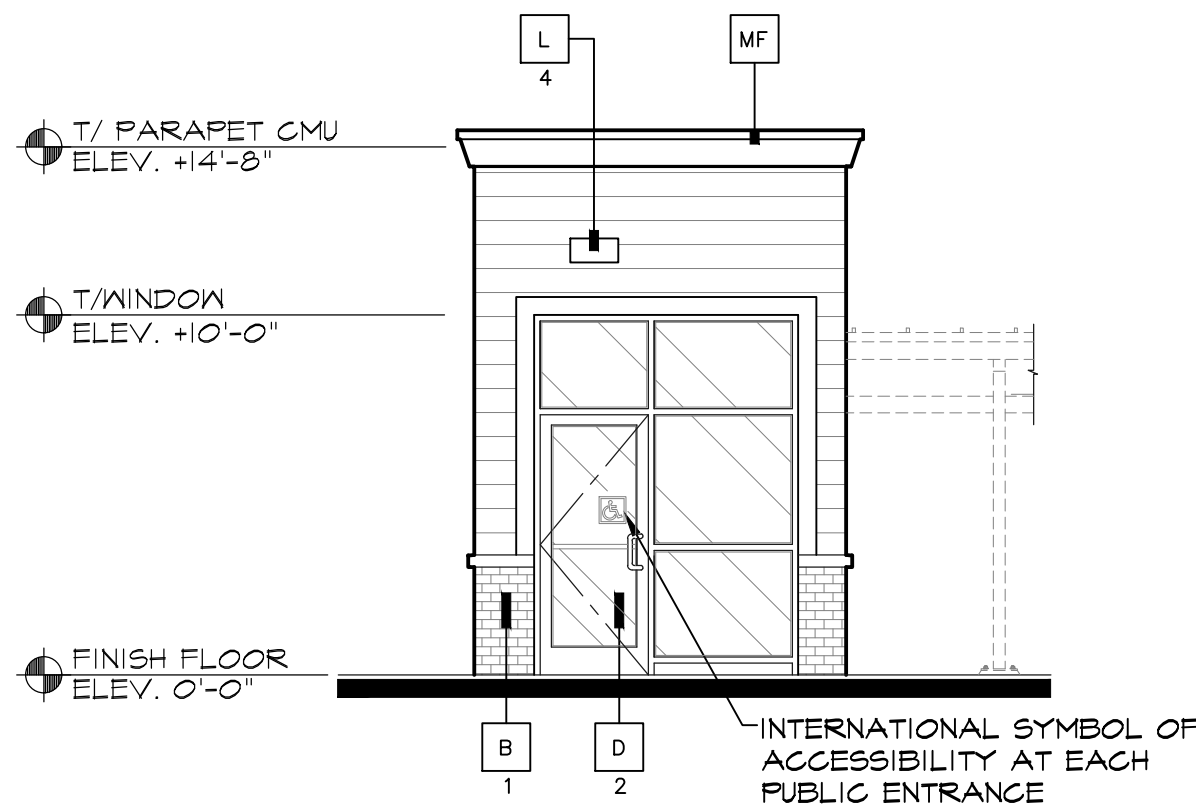
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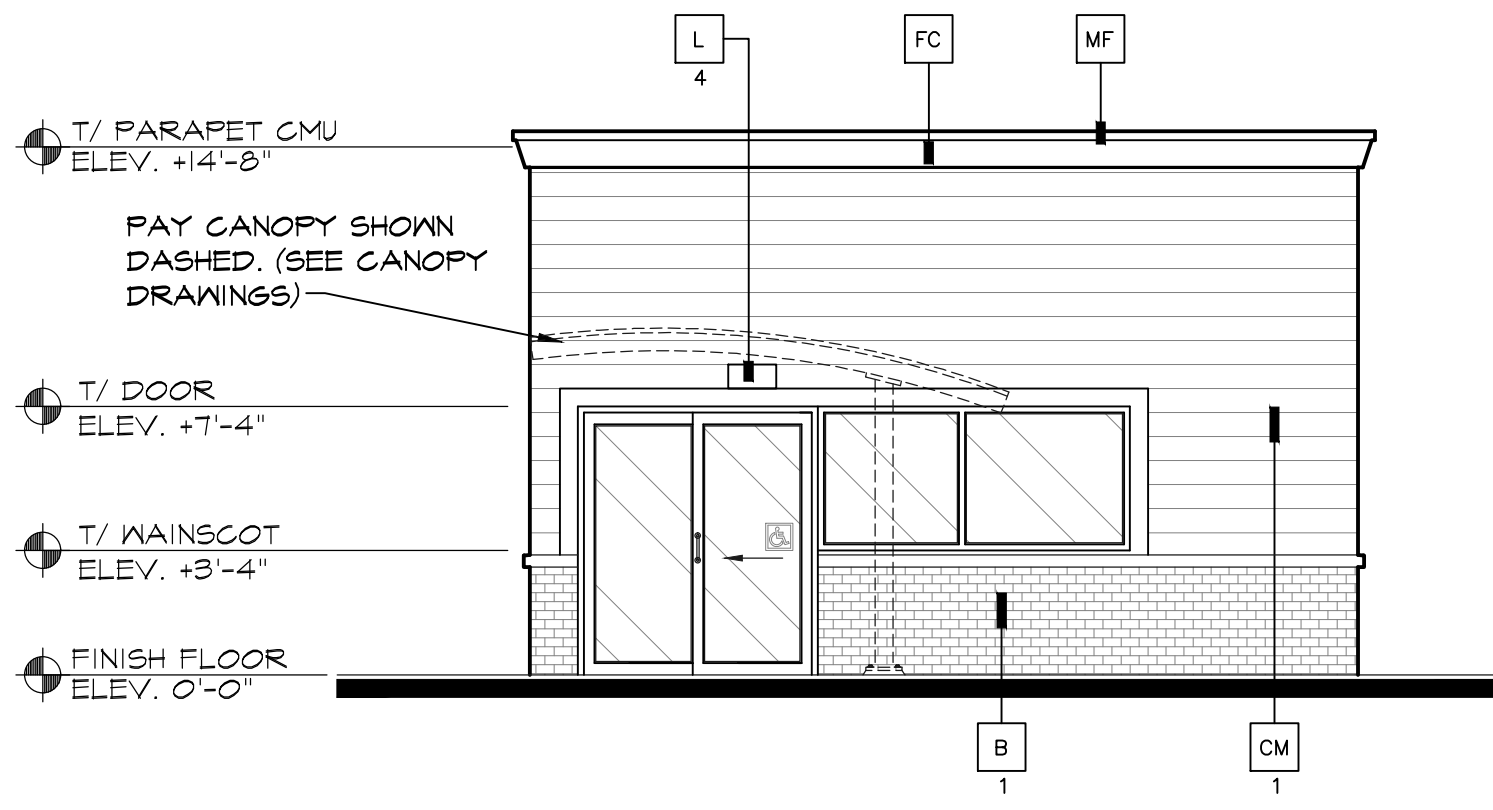




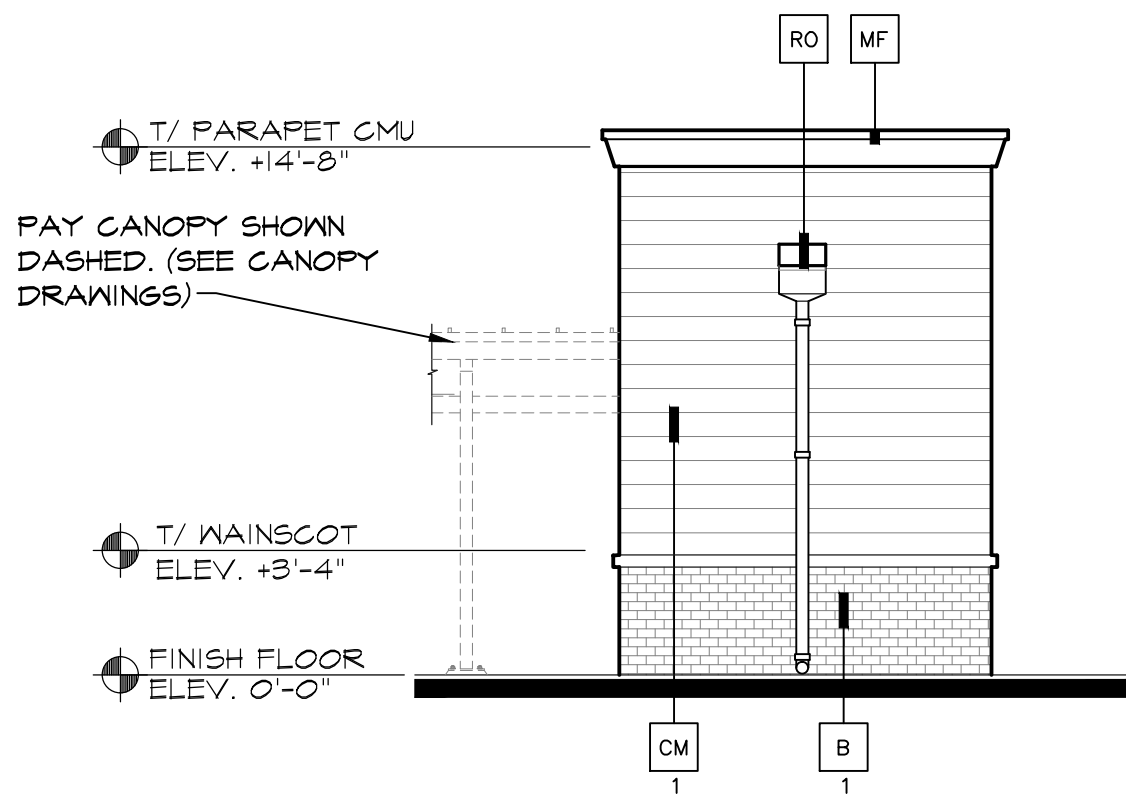
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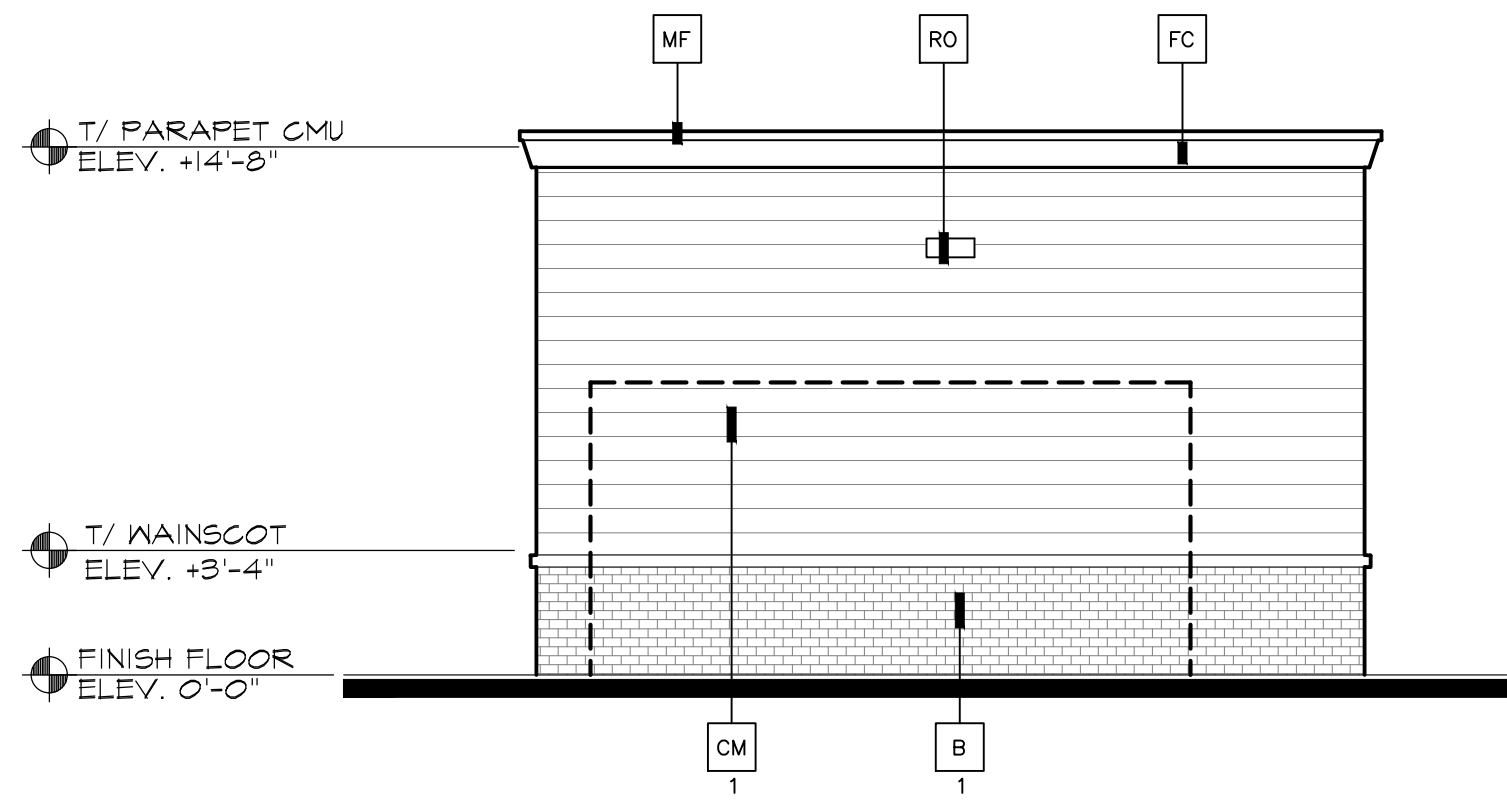
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SCALE: 3/16" = 1'-0"



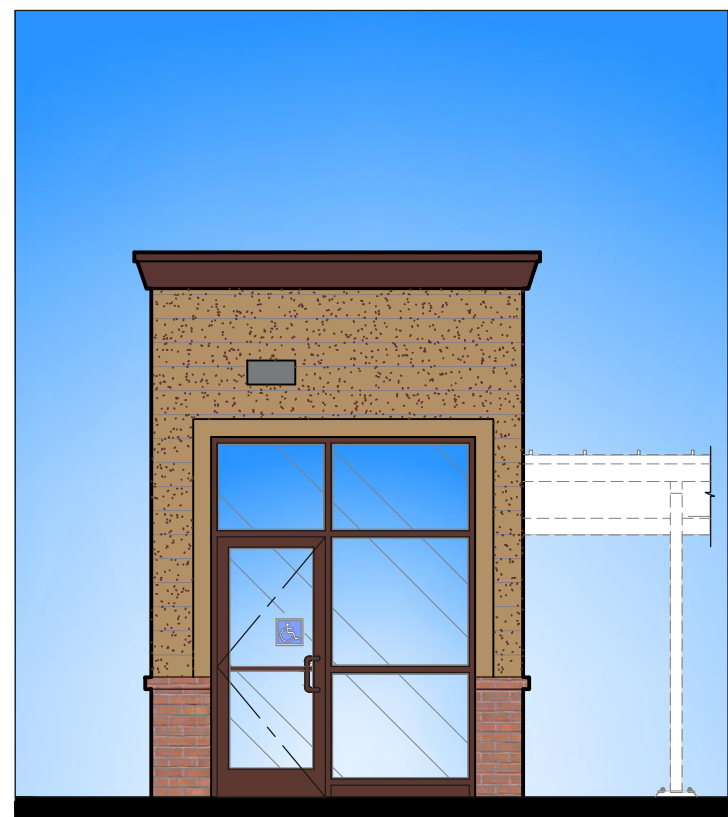
2 EAST ELEVATION
SCALE: 3/16" = 1'-0"



3 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



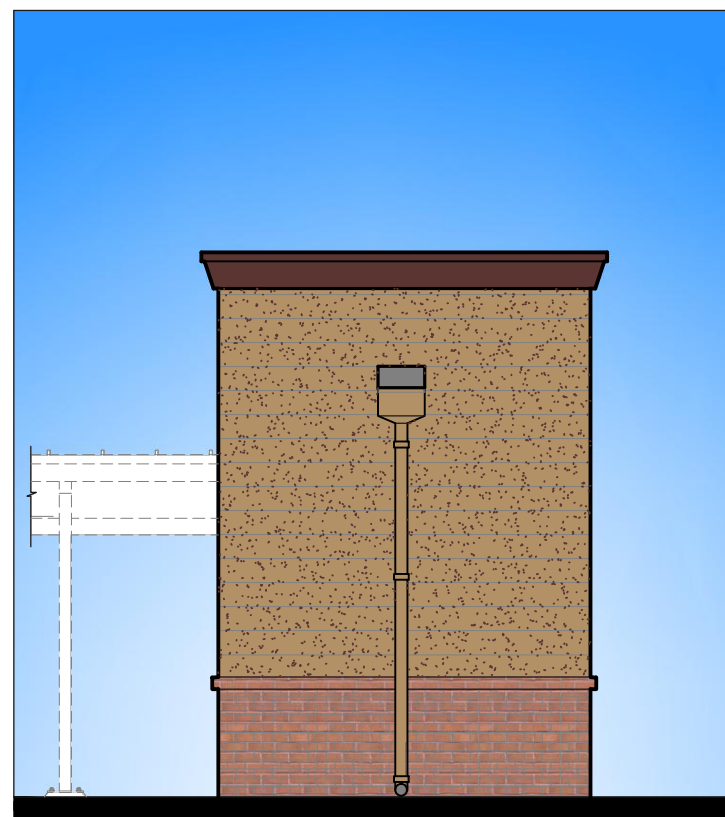
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SCALE: 3/16" = 1'-0"



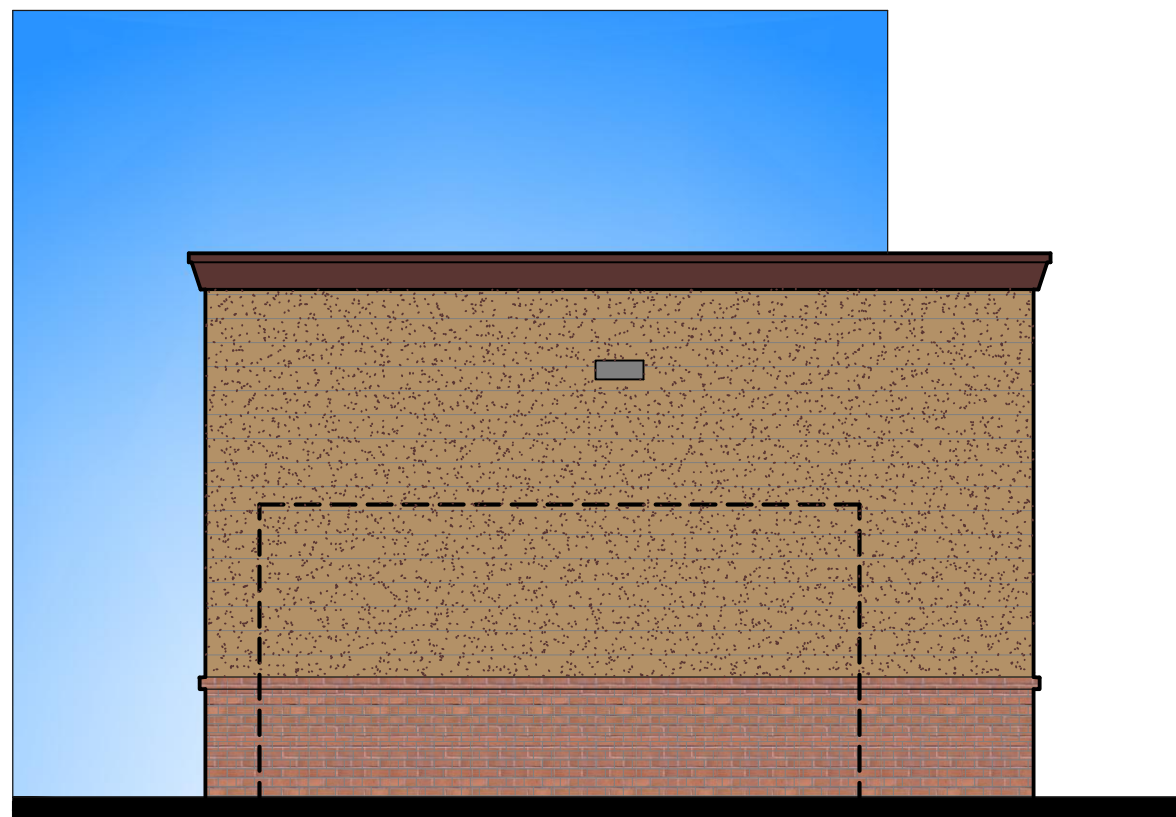
1 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



2 EAST ELEVATION
SCALE: 3/16" = 1'-0"



3 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



4 WEST ELEVATION
SCALE: 3/16" = 1'-0"

KEY NOTES:

- B1 THIN BRICK MAINSCOT, H. C. MUDDOX 1717 "SIERRA SLATE", THIN SET OVER CONCRETE MASONRY UNIT CONSTRUCTION, MORTAR COLOR MAPEI 39 "IVORY".
- B2 BRICK VENEER SILL SHAPE, H.C. MUDDOX "SIERRA SLATE", MORTAR COLOR TO MATCH BRICK.
- CM1 ANGELUS BLOCK "PLACER CREEK BURNISHED" MEDIUM WEIGHT WITH INTEGRAL FACTORY "RAINBLOC" WATER REPELLENT ADMIXTURE, MORTAR TO HAVE "RAINBLOC" FOR MORTAR ADMIXTURE, GROUT BY SPEC MIX MORTOR #244.

- CP ACRYLIC PLASTER COLOR COAT
- P COLOR DESIGNATION:
- P1 = MATCH SHERWIN WILLIAMS #6123 "BAGUETTE"
- P2 = MATCH SHERWIN WILLIAMS #6374 "TORCHLIGHT"
- P3 = MATCH SHERWIN WILLIAMS #7004 "SNOWBOUND"
- P4 = MATCH SHERWIN WILLIAMS #6120 "BELIEVABLE BUFF"
- P5 = MATCH SHERWIN WILLIAMS #6034 "ARRESTING AUBURN"
- PLASTER COLOR COAT TO BE SAND FINISH
- CT 3/4" X 1 1/4" CEMENTITIOUS TRIM WITH RUSTIC FINISH, "HARDIE BOARD" OR EQUAL, PAINT SHERWIN WILLIAMS #6034 "ARRESTING AUBURN".
- D1 HOLLOW METAL DOOR - PAINT TO TO MATCH SHERWIN WILLIAMS #6123 "BAGUETTE"
- D2 CLEAR ANODIZED ALUMINUM COMMERCIAL SLIDING GLASS DOOR

- D3 OVERHEAD METAL DOOR - PAINT TO TO MATCH SHERWIN WILLIAMS #7025 "BACKDROP"
- EJ 1/4" DEEP REVEAL EXPANSION JOINT
- FC FOAM CORNICE WITH PLASTER FINISH COAT TO MATCH SHERWIN WILLIAMS #6034 "ARRESTING AUBURN"
- IW DECORATIVE IRON WORK RAILING - SHERWIN WILLIAMS #3135P "NEW EBONY"
- L LIGHT FIXTURE
- L1 TYPE:
- L1 = LED RADIAL WALL SCONGE (DOWN ONLY)
- L2 = LINEAR FACADE WALL LIGHT (DOWN ONLY)
- L3 = 2 FOOT LED PILASTER LIGHT (DOWN ONLY)
- L4 = WALL PACK (DOWN ONLY)
- CONTACT STEVE FRIEDMAN 1.262.504.5419 WITH CREE LIGHTING FOR ORDERING LIGHTING. (NO EXCEPTIONS)

- MF METAL FASCIA - PAINT SHERWIN WILLIAMS #6034 "ARRESTING AUBURN"
- P 6" PIPE BOLLARD FILLED WITH CONCRETE - MATCH SHERWIN WILLIAMS #6374 "TORCHLIGHT".
- R 2" WIDE X 1/4" DEEP ALUMINUM PLASTER REVEAL PAINT TO MATCH #6034 "ARRESTING AUBURN"
- RF METAL ROOF FASCIA - MATCH SHERMAN WILLIAMS #6034 "ARRESTING AUBURN"
- RO ROOF OVERFLOW SCUPPER - PAINT TO MATCH ADJACENT FINISH
- S SIGNAGE BY OTHERS SHOWN DASHED- FOR REFERENCE ONLY UNDER SEPARATE PERMIT. GENERAL CONTRACTOR TO COORDINATE WITH SIGN COMPANY.
- SS STANDING SEAM METAL ROOF - FIRESTONE - UCS "BRANDY WINE".

- T1 METAL WALL CANOPY SYSTEM - COLOR TO MATCH SHERWIN WILLIAMS #6055 "FIERY BROWN"
- T2 WALL CANOPY TIE-BACK SYSTEM - COLOR SHERWIN WILLIAMS #3135P "NEW EBONY"
- V 24" WIDE X 16" HIGH VENT - PAINT TO MATCH ADJACENT FINISH
- W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS DARK BRONZE ANODIZED ALUMINUM STOREFRONT
- W2 FAUX WINDOW ASSEMBLY - TEMPERED SPANDREL GLASS DARK BRONZE ANODIZED ALUMINUM STOREFRONT

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QUICK QUACK CARWASH
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(916) 846-2100

PROJECT NAME:
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SIERRA COLLEGE
ROCKLIN, CA 95677
OO# 6-021

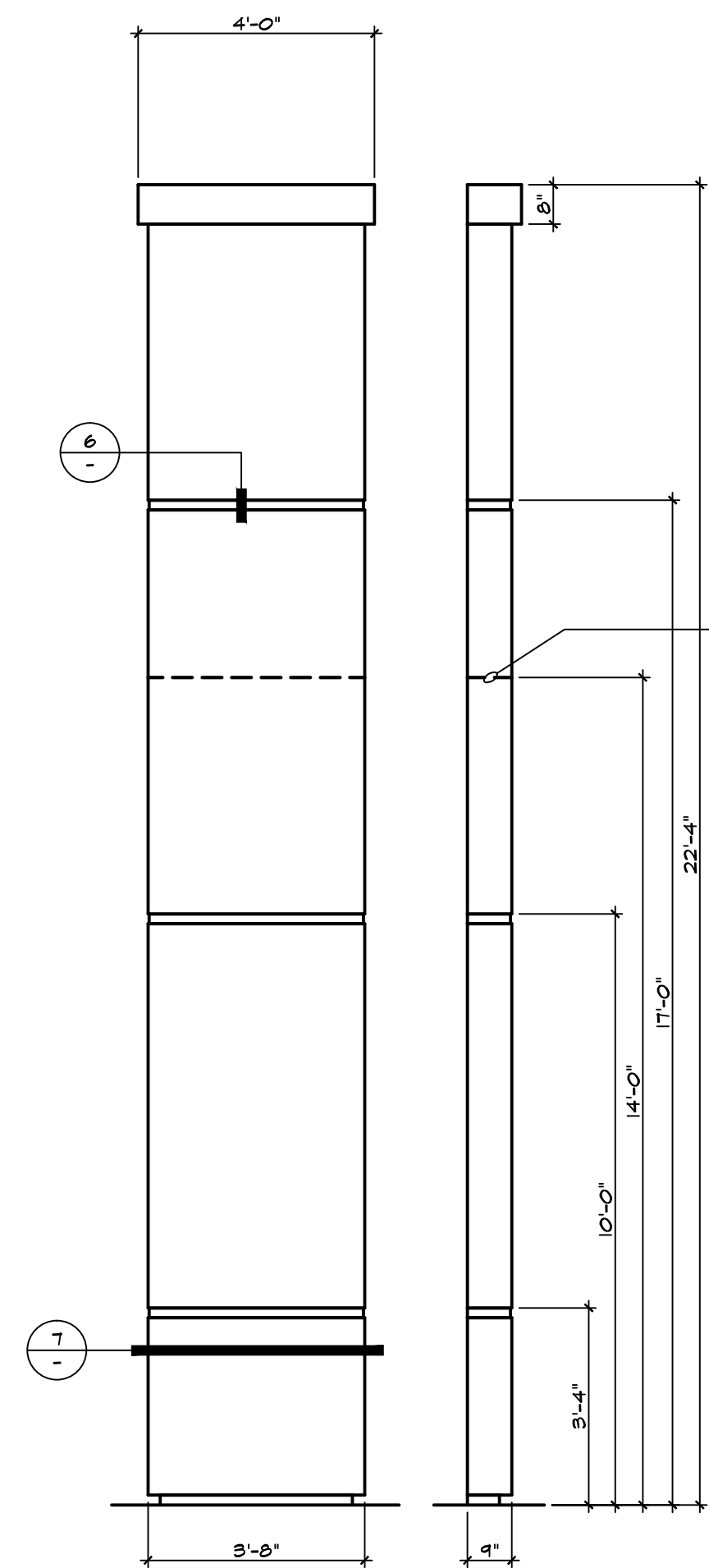
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QUARTERBACK
EXTERIOR
ELEVATIONS

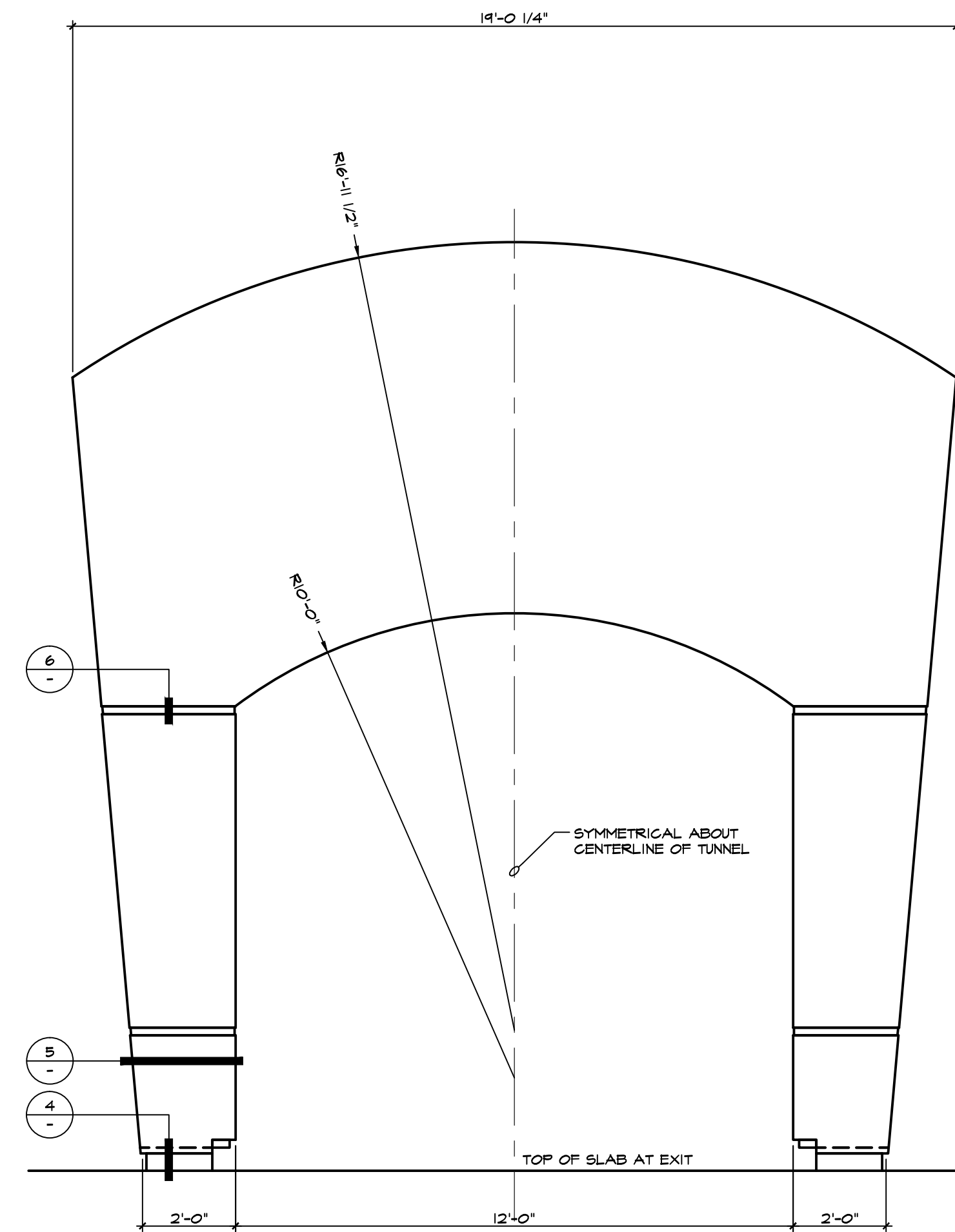
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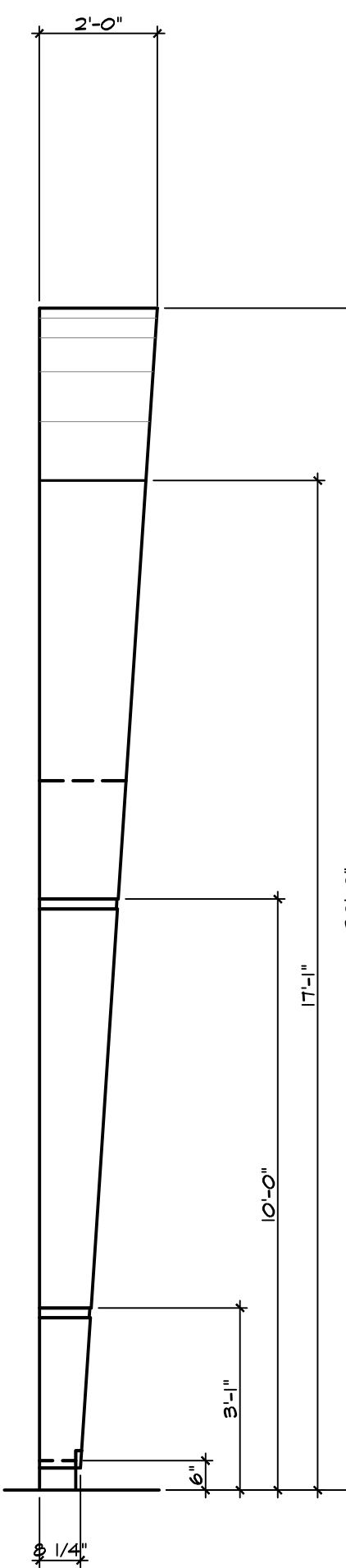
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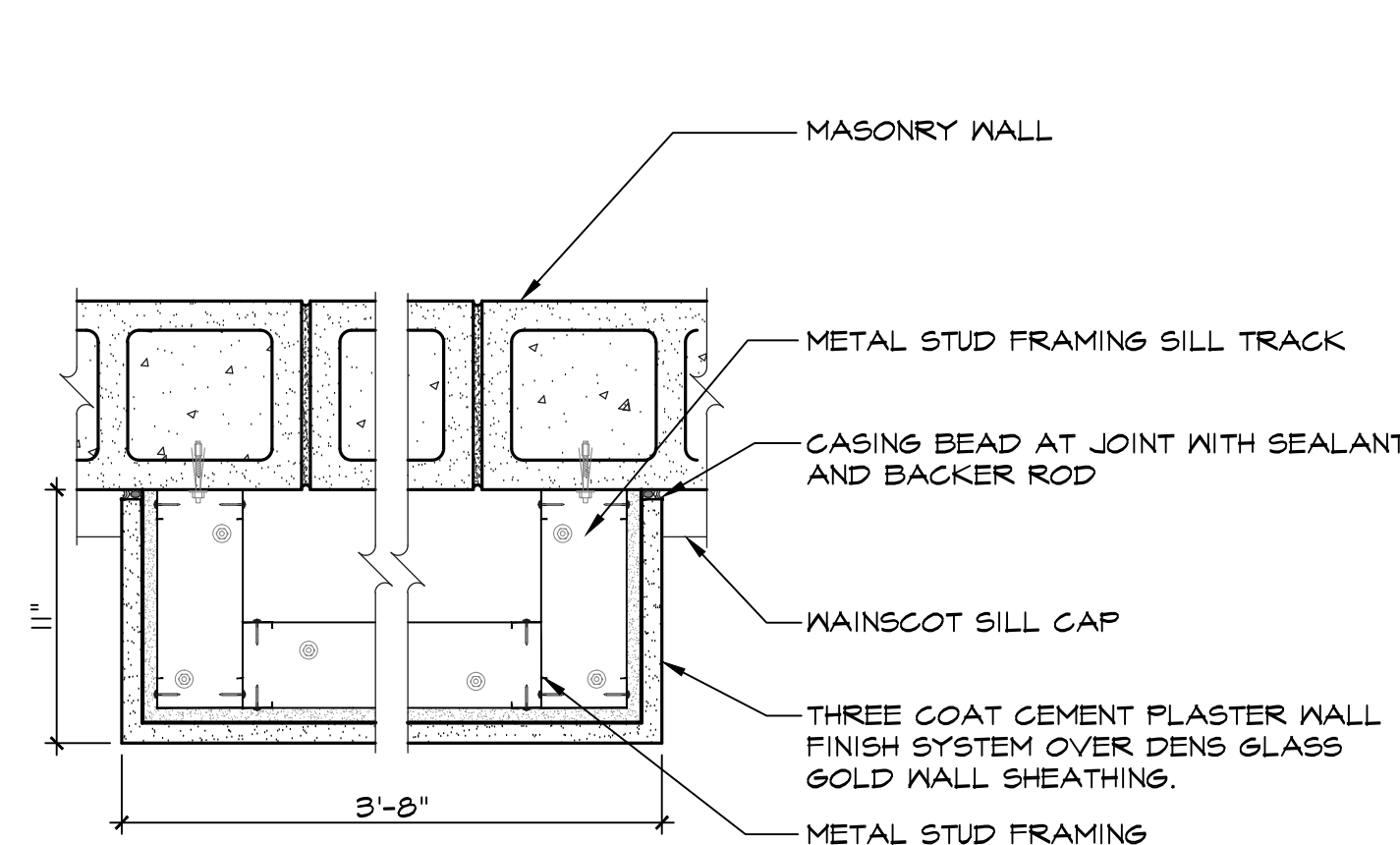
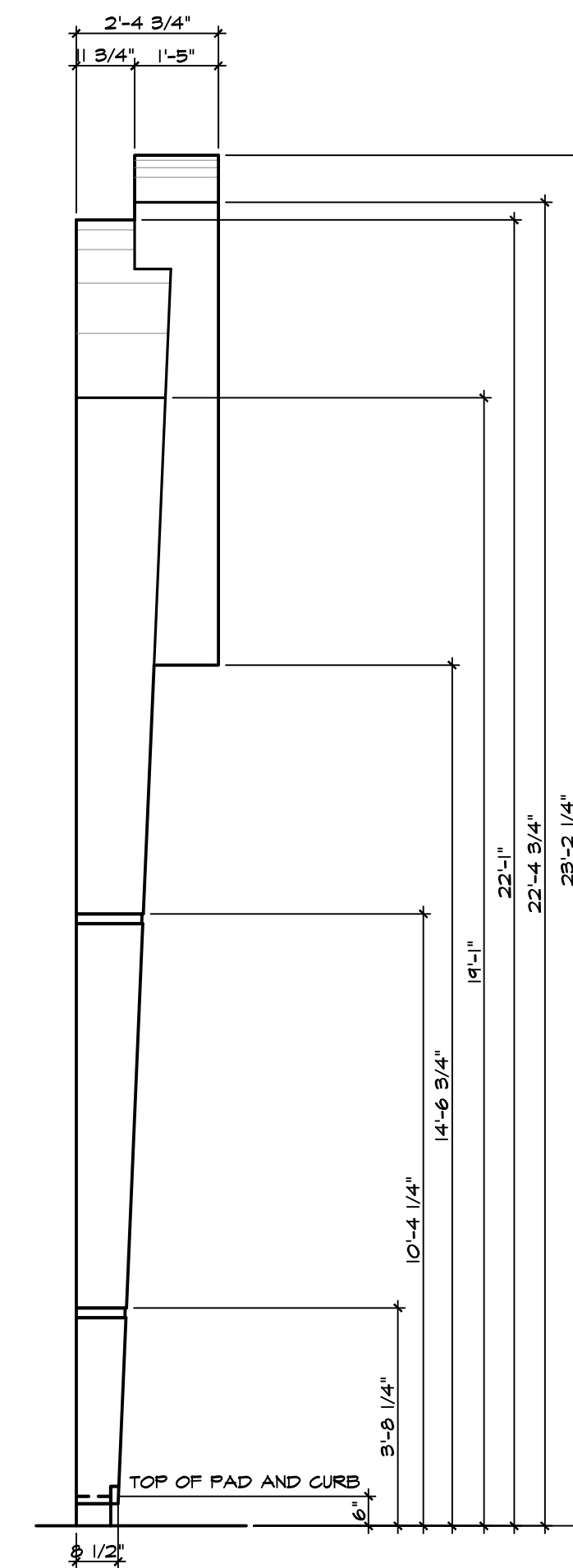
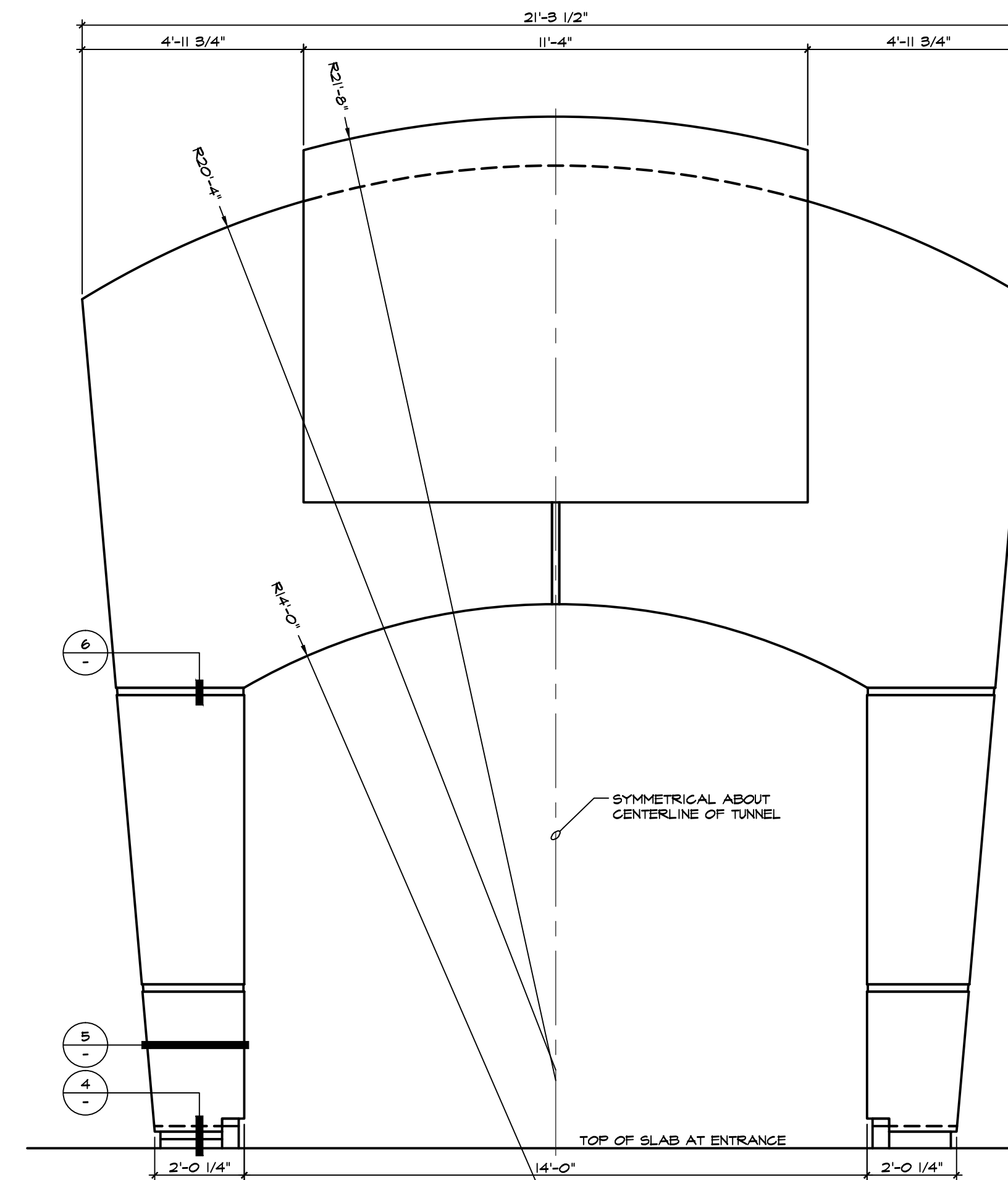
3 TYPICAL PLASTER WALL FEATURE
SCALE: 1/2" = 1'-0"



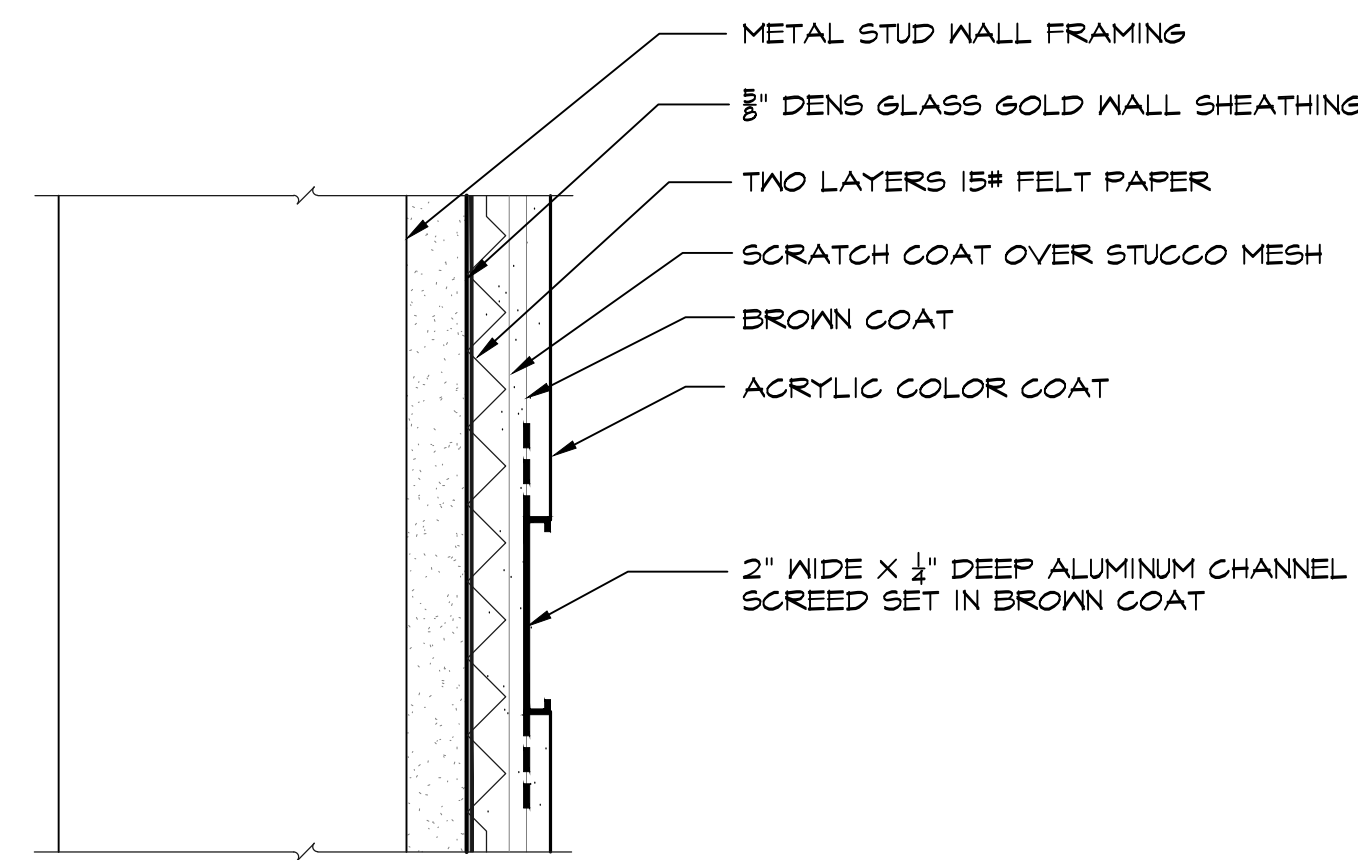
2 EXIT ARCH WALL FEATURE
SCALE: 1/2" = 1'-0"



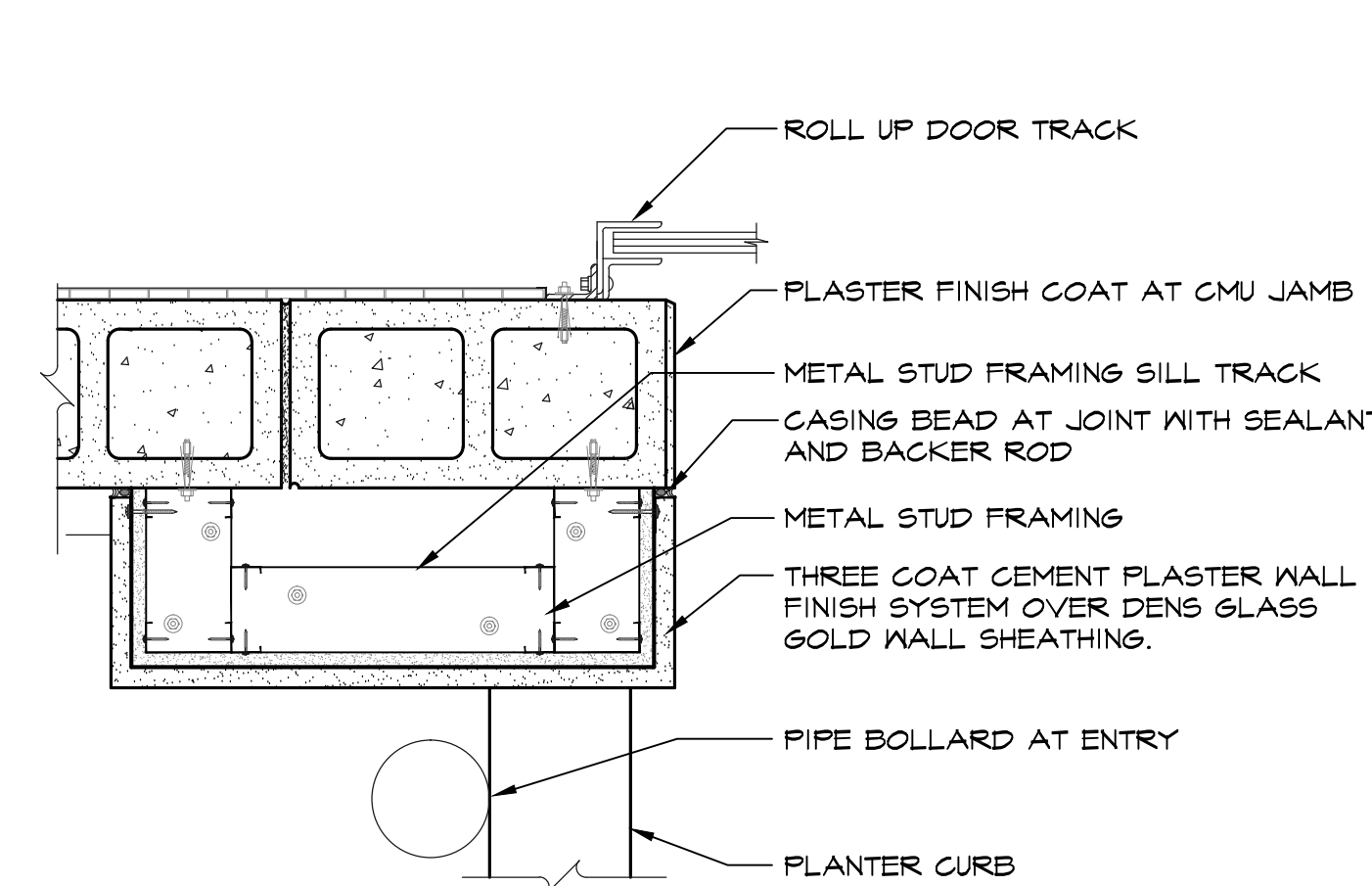
1 ENTRY ARCH WALL FEATURE
SCALE: 1/2" = 1'-0"



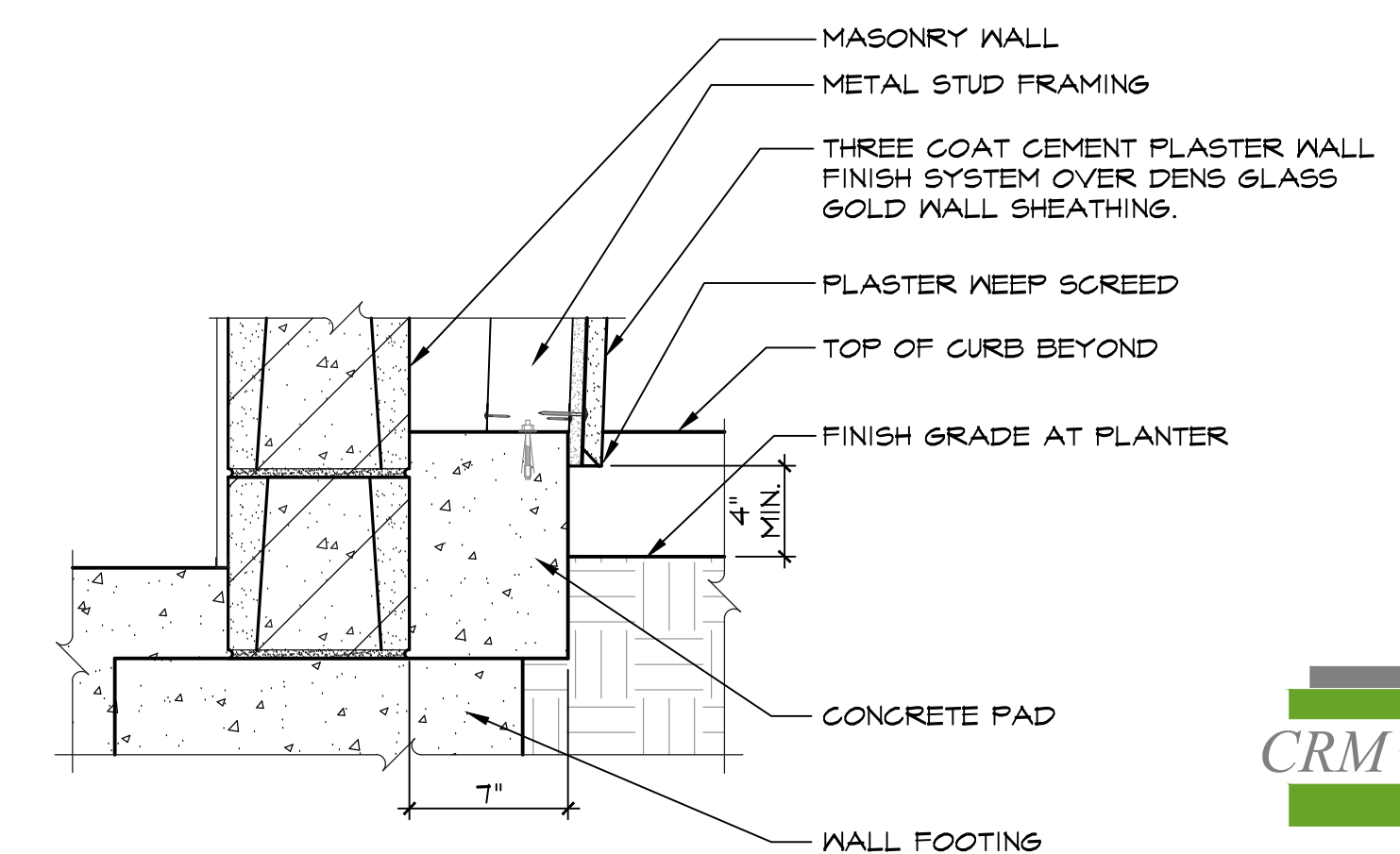
7 PLASTER WALL FEATURE PLAN
SCALE: 1 1/2" = 1'-0"



6 PLASTER CHANNEL SCREED REVEAL
HALF SCALE



5 FEATURE WALL LEG PLAN
SCALE: 1 1/2" = 1'-0"



4 FEATURE WALL SILL
SCALE: 1 1/2" = 1'-0"

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OO# 6-021

DRAWING TITLE:
WALL FEATURE
ELEVATIONS

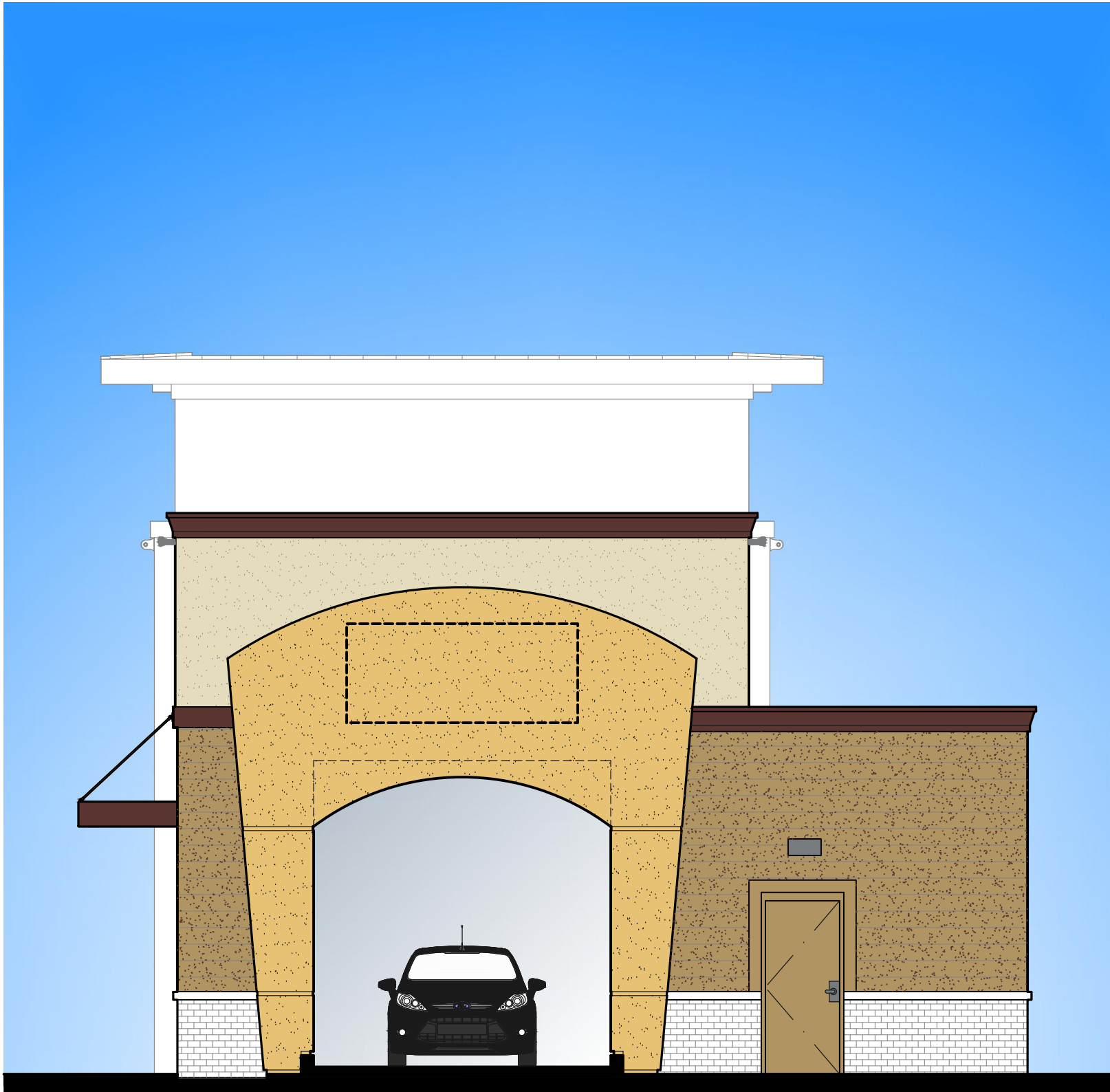
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PLANNING DOCUMENTS
DRAWING NUMBER

A4.3



1 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



2 WEST ELEVATION
SCALE: 3/16" = 1'-0"

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OO# 6-021

DRAWING TITLE:
COLOR
ELEVATIONS

DRAWING DATE: SEPTEMBER 29, 2017

PLANNING DOCUMENTS
DRAWING NUMBER

A4.4



1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



2 EAST ELEVATION
SCALE: 3/16" = 1'-0"

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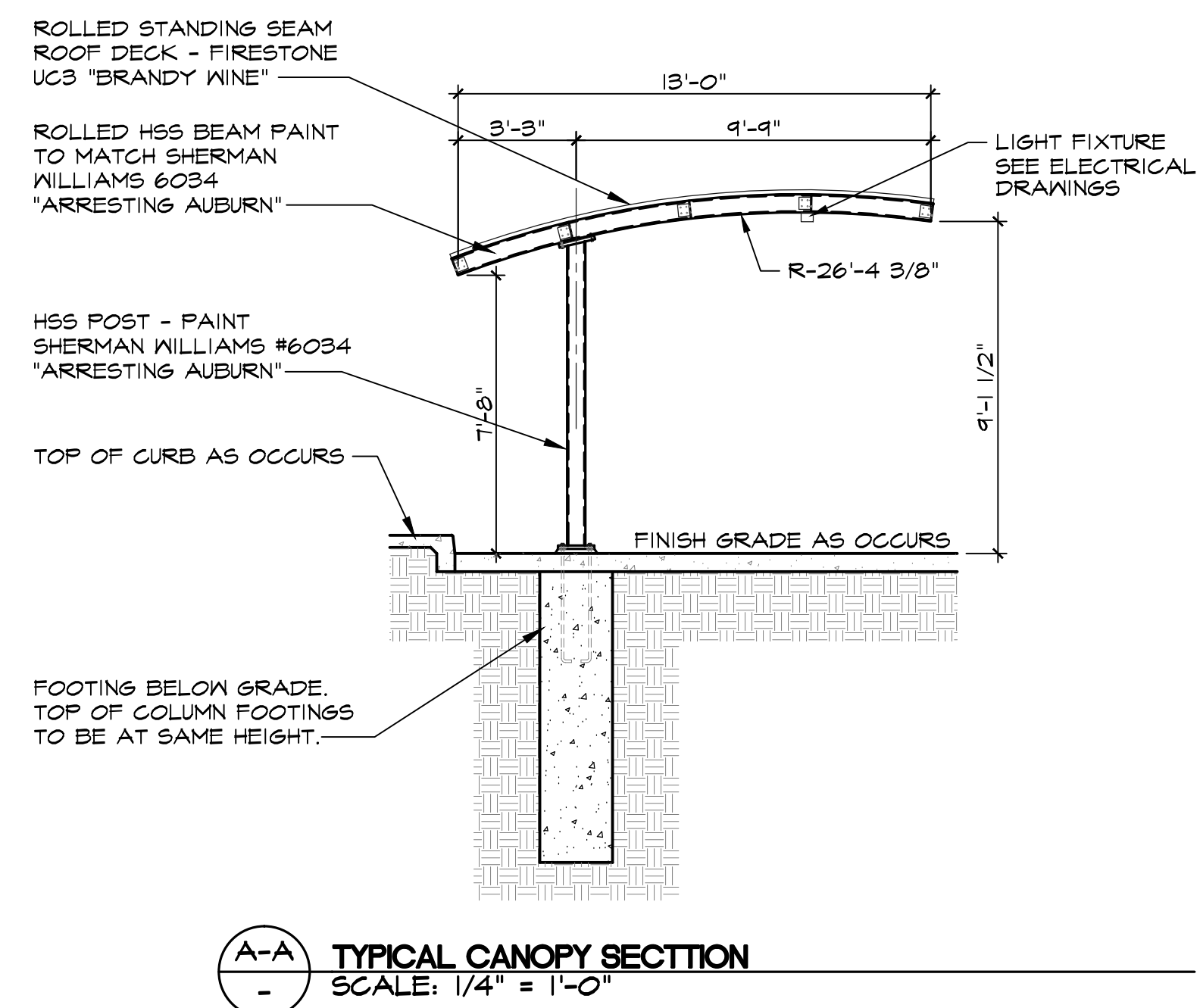
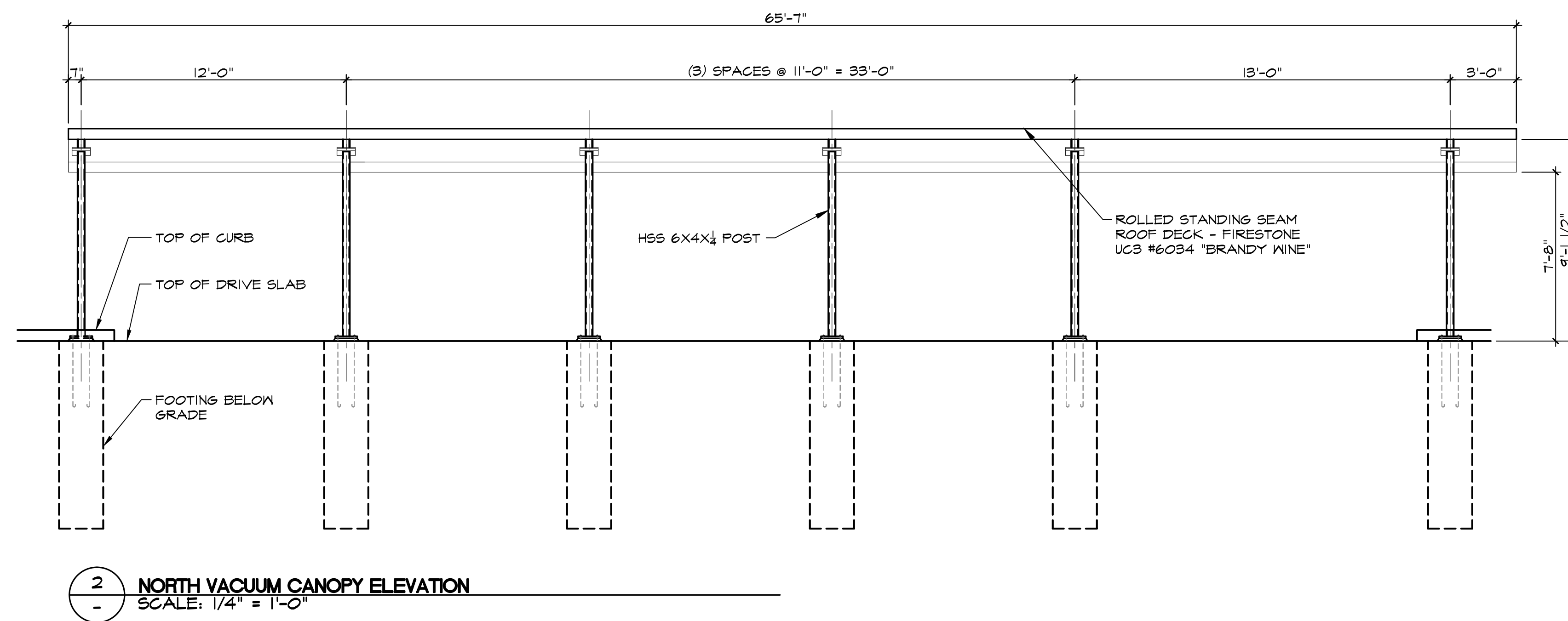
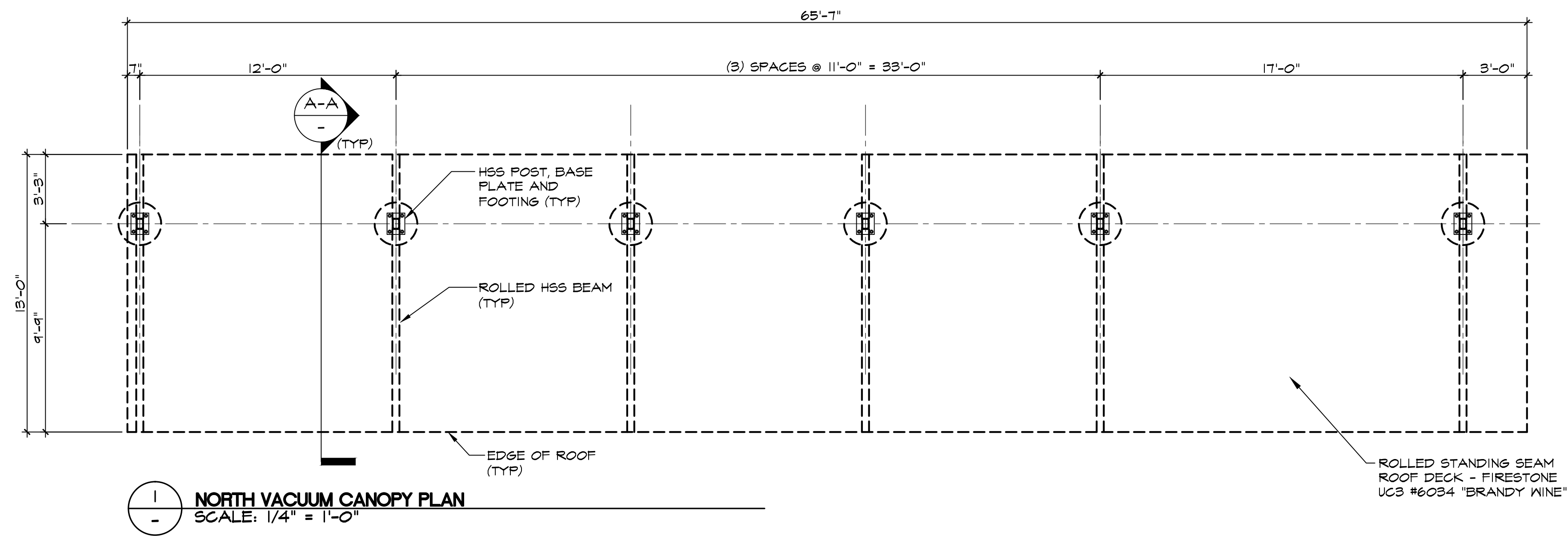
PROJECT NAME:
QUICK QUACK CARWASH
SIERRA COLLEGE
ROCKLIN, CA 95677
OO# 6-021

DRAWING TITLE:
**COLOR
ELEVATIONS**

DRAWING DATE: SEPTEMBER 29, 2017

PLANNING DOCUMENTS
DRAWING NUMBER

A4.5



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PROJECT NAME:
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 QO# 6-021

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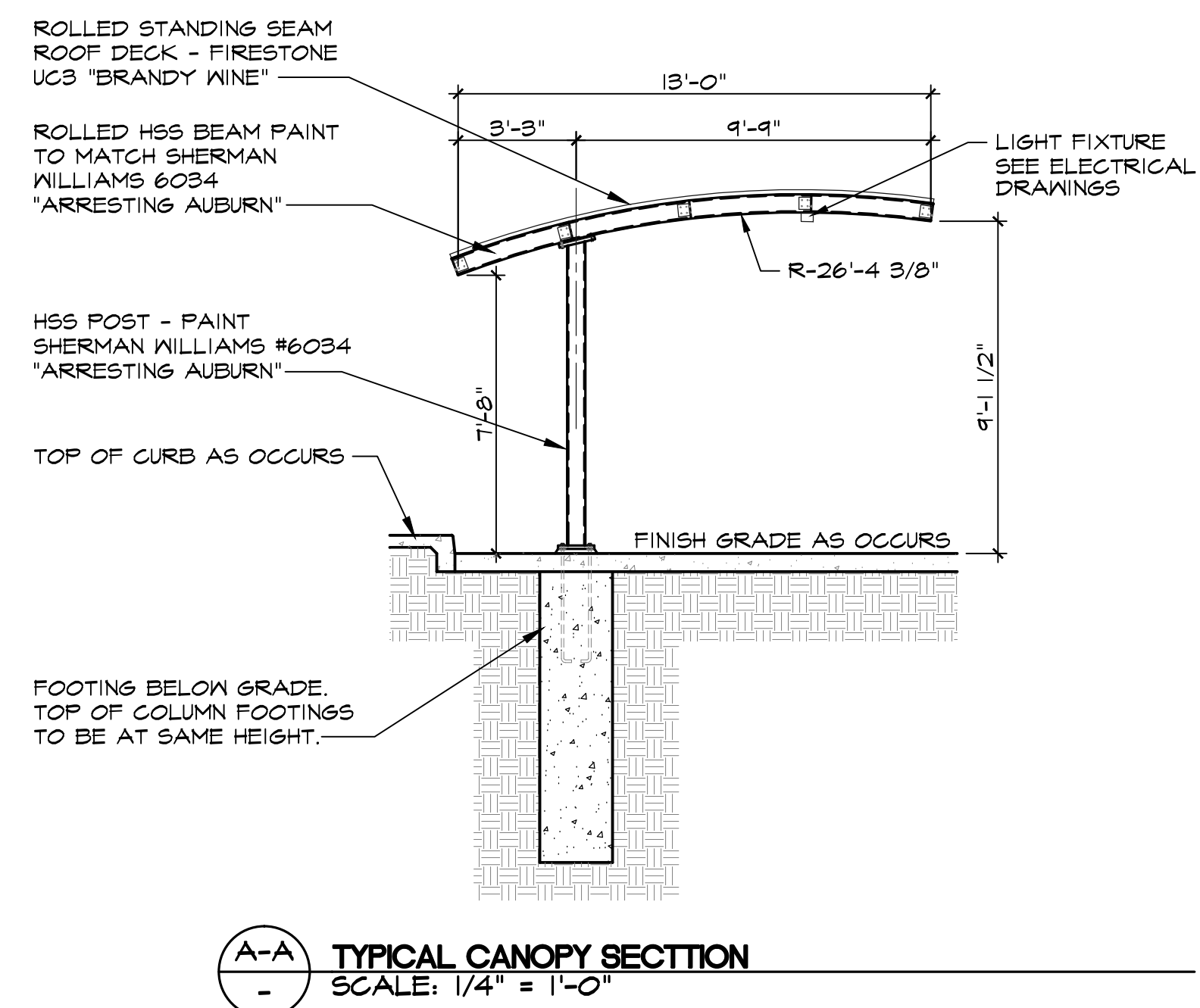
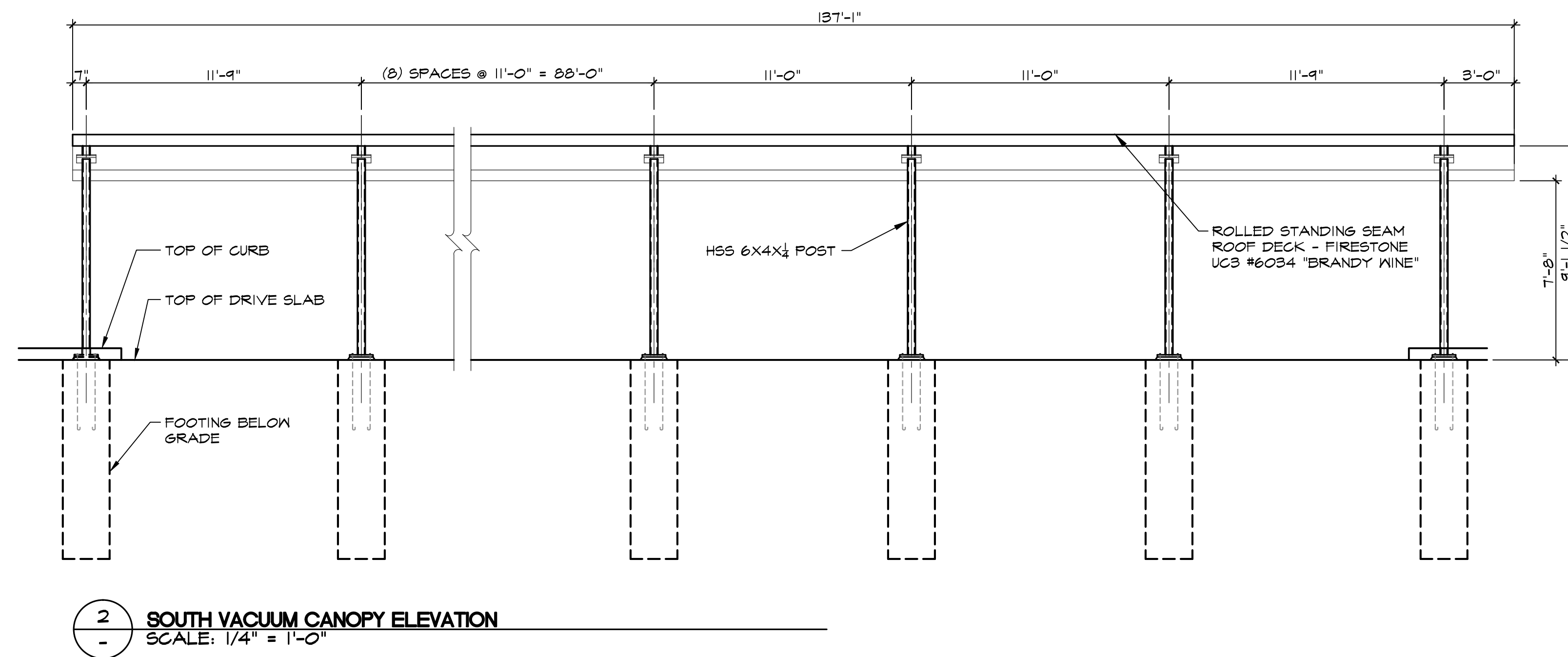
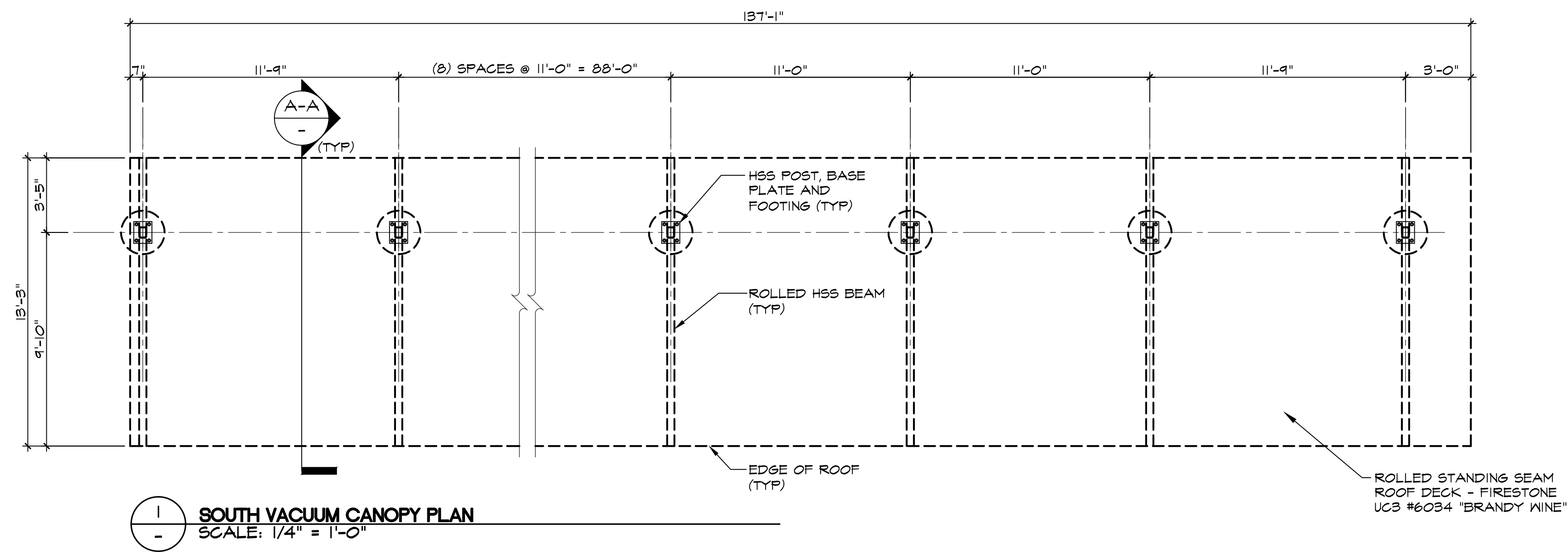
NORTH CANOPY PLAN

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PLANNING DOCUMENTS

DRAWING NUMBER

A5.0



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PROJECT NAME:
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ROCKLIN, CA 95677
OO# 6-021

DRAWING TITLE:

SOUTH CANOPY PLAN

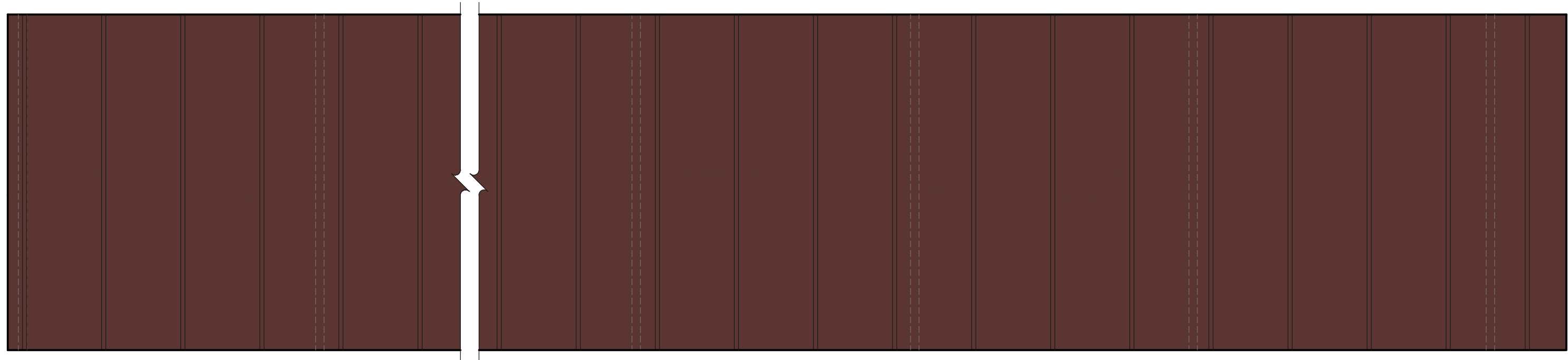
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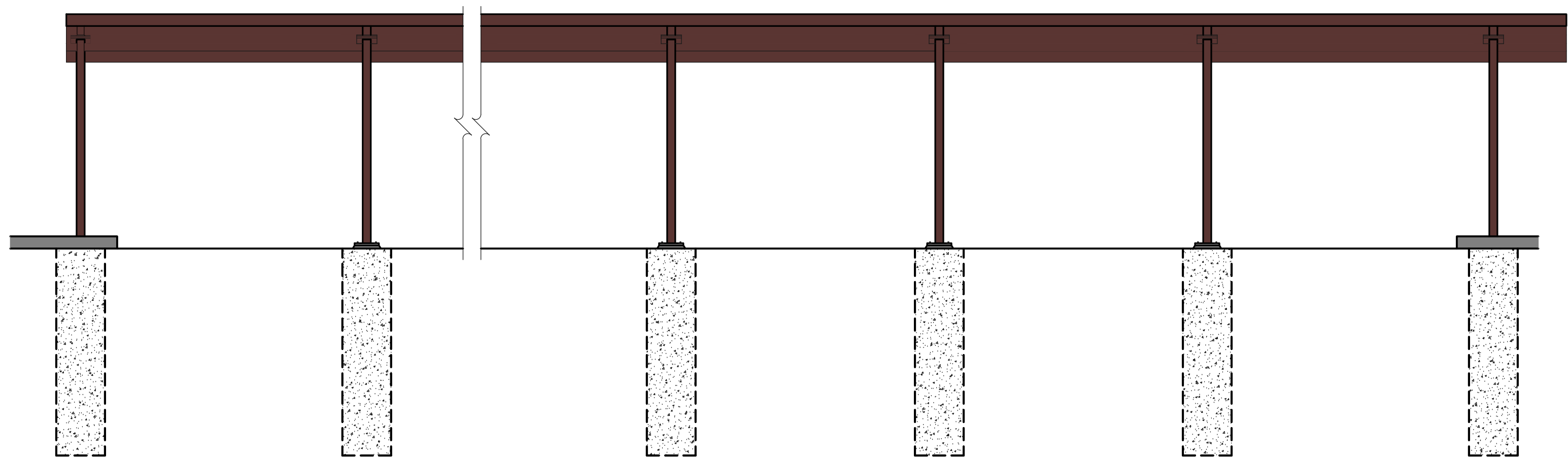
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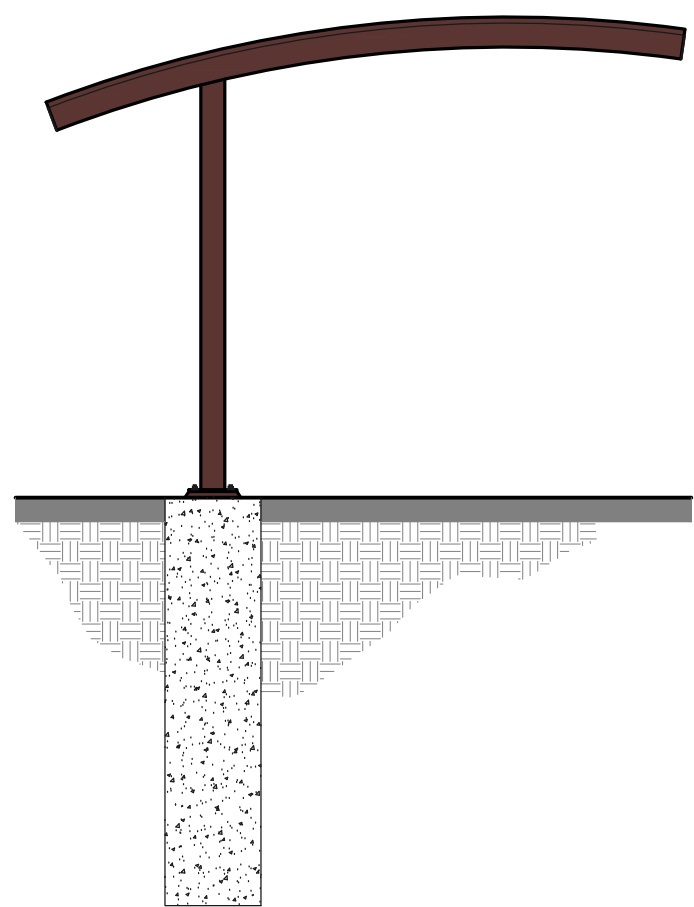




1 SOUTH VACUUM CANOPY PLAN
SCALE: 1/4" = 1'-0"



2 SOUTH VACUUM CANOPY ELEVATION
SCALE: 1/4" = 1'-0"



3 PROPOSED CANOPY SIDE ELEVATION
SCALE: 1/4" = 1'-0"

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PROJECT NAME:
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ROCKLIN, CA 95677
OO# 6-021

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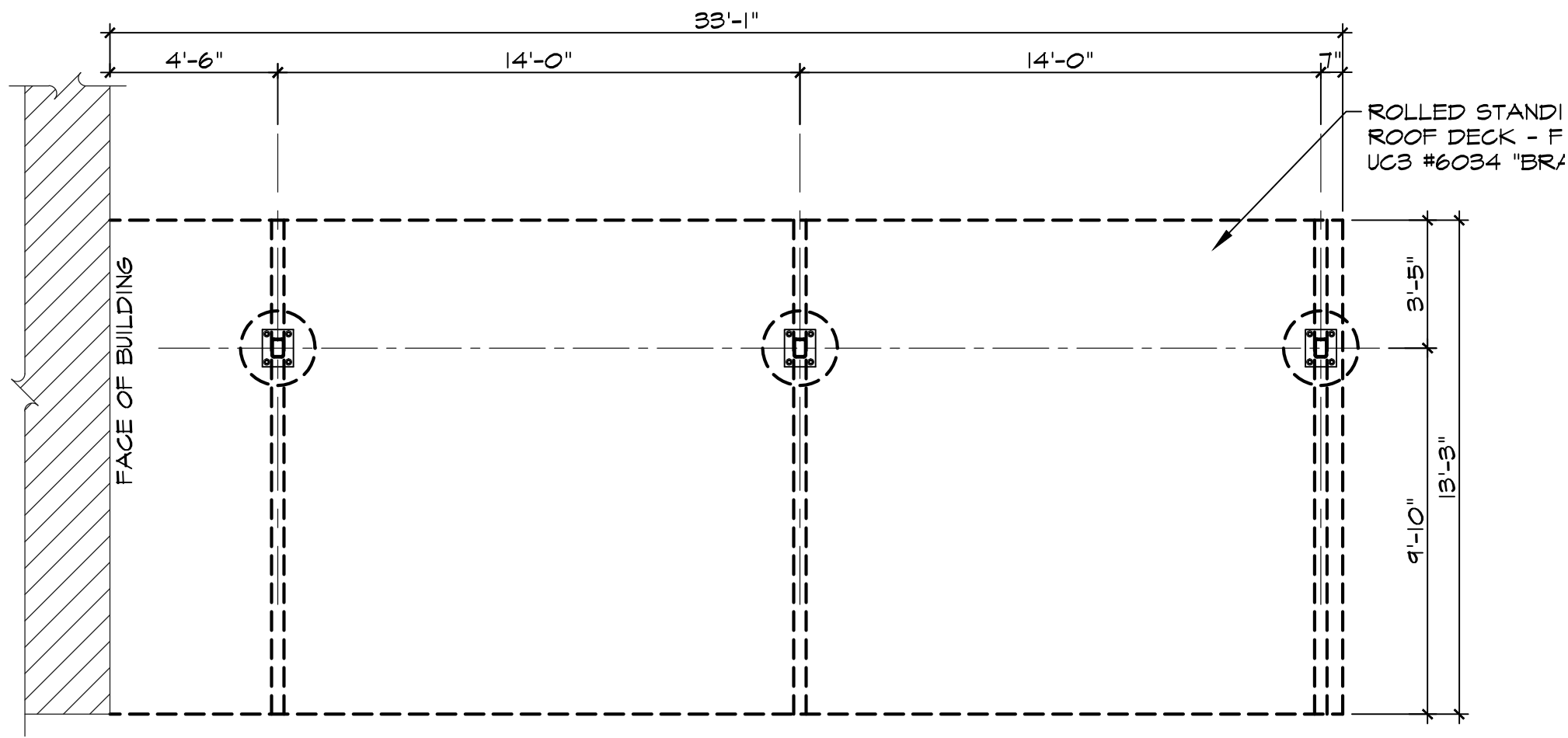
SOUTH CANOPY COLOR PLAN

DRAWING DATE: SEPTEMBER 29, 2017

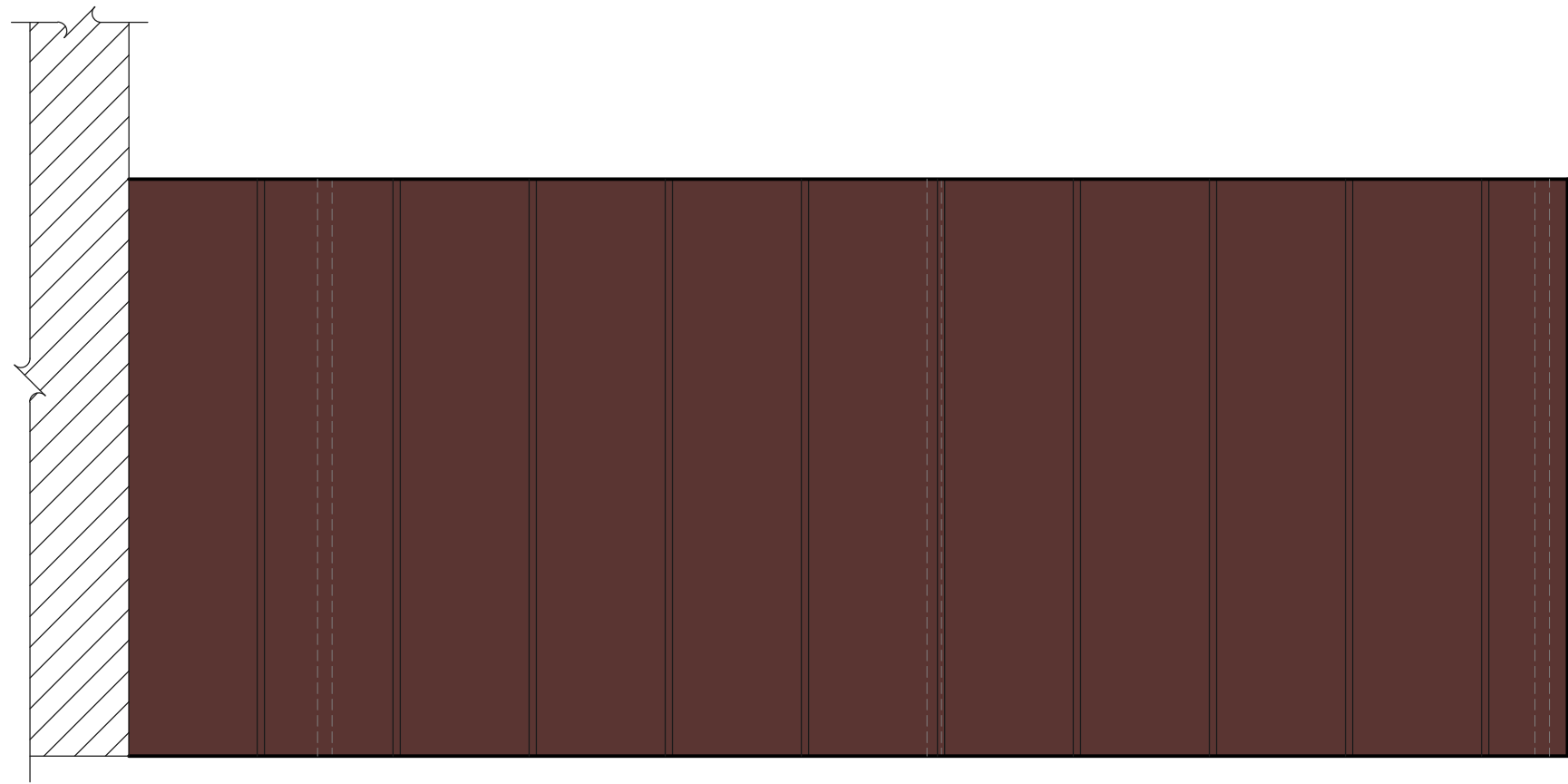
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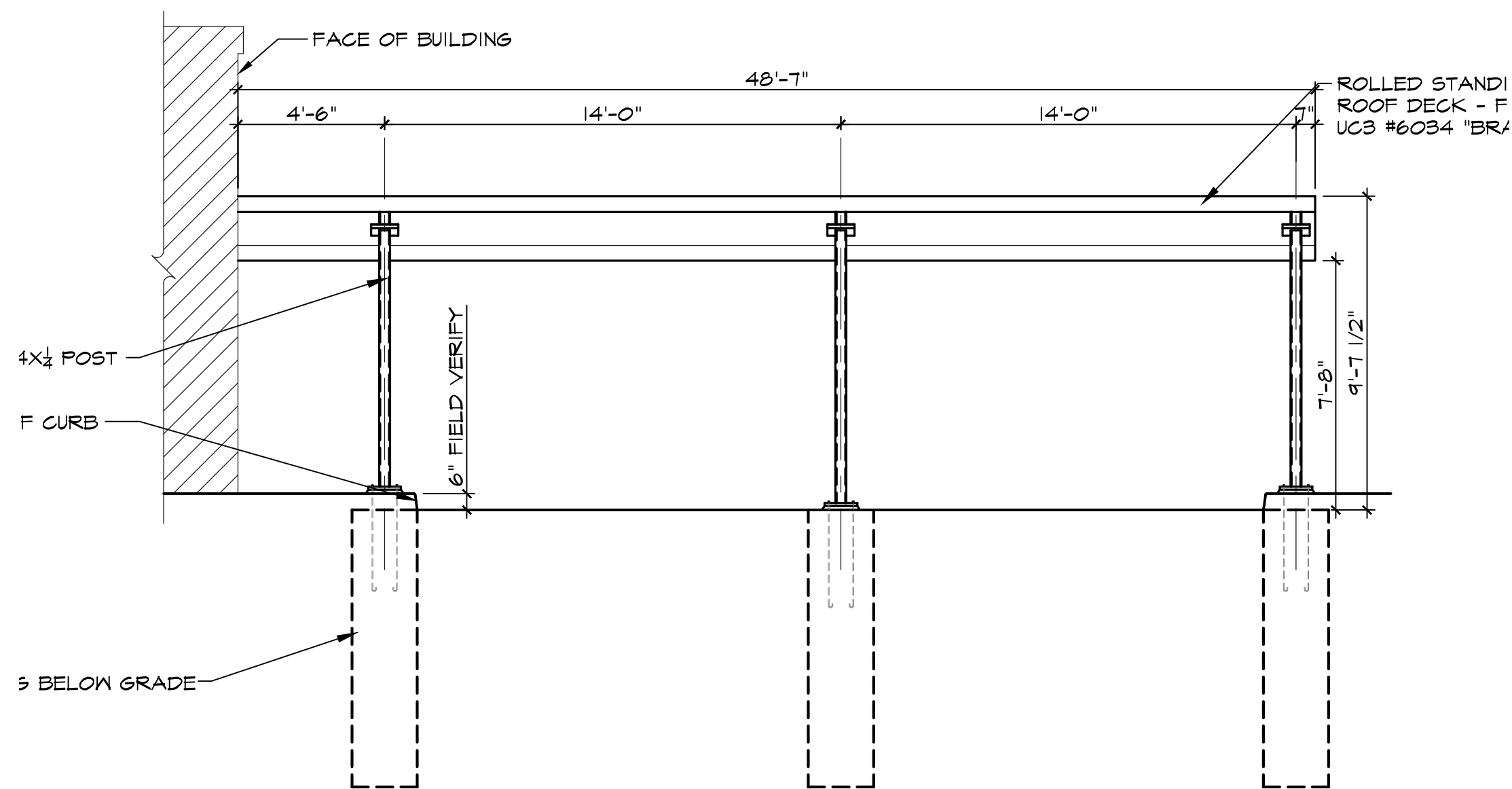
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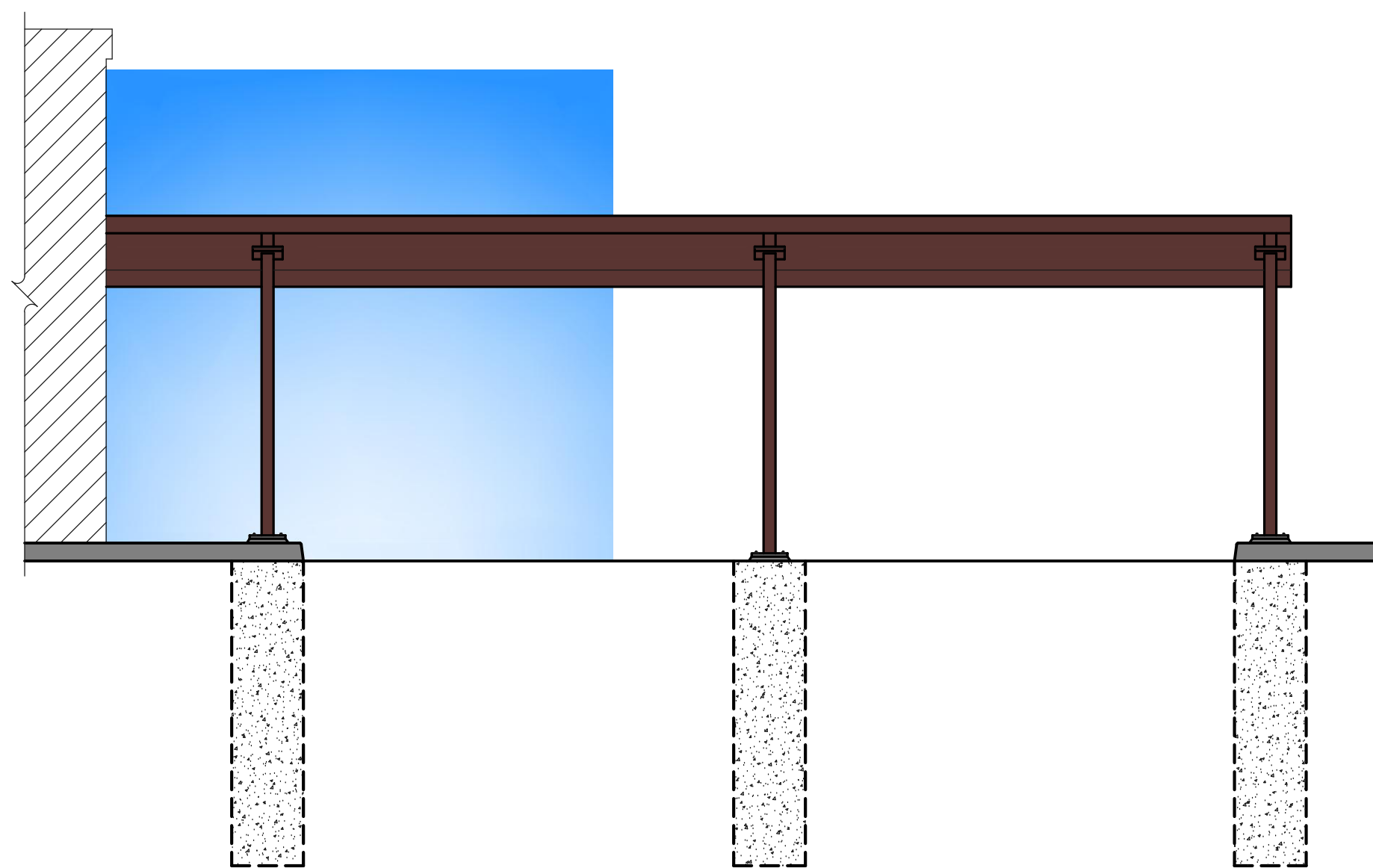
1
- PAY STATION CANOPY PLAN
SCALE: 1/4" = 1'-0"



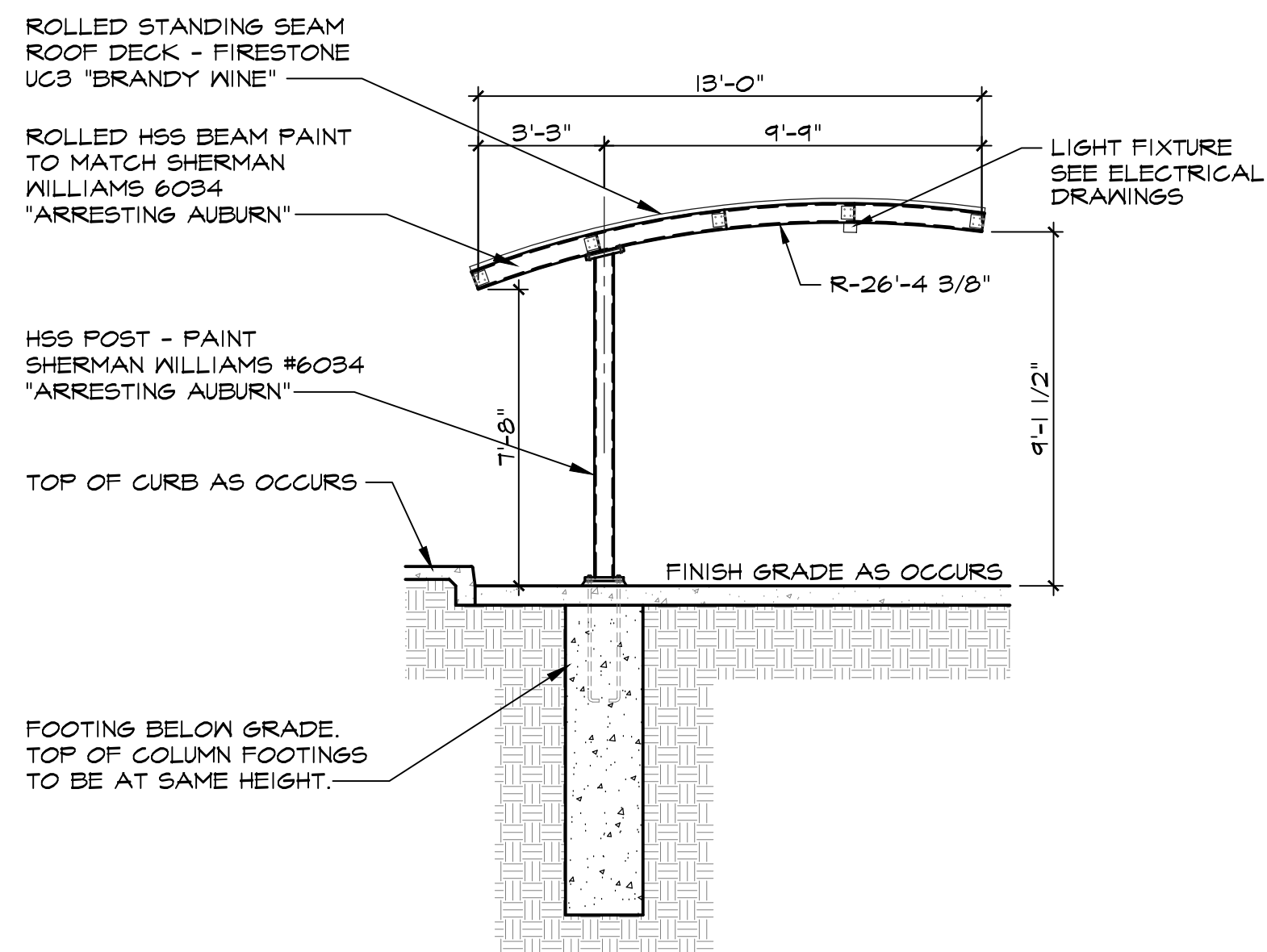
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- PAY STATION COLOR PLAN VIEW
SCALE: 1/4" = 1'-0"



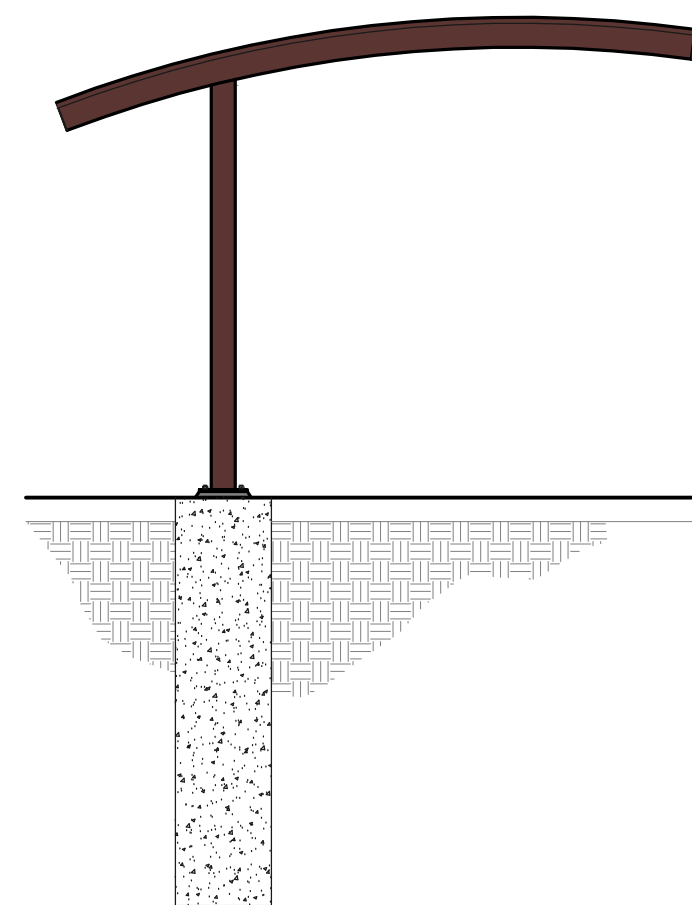
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- PAY STATION CANOPY ELEVATION
SCALE: 1/4" = 1'-0"



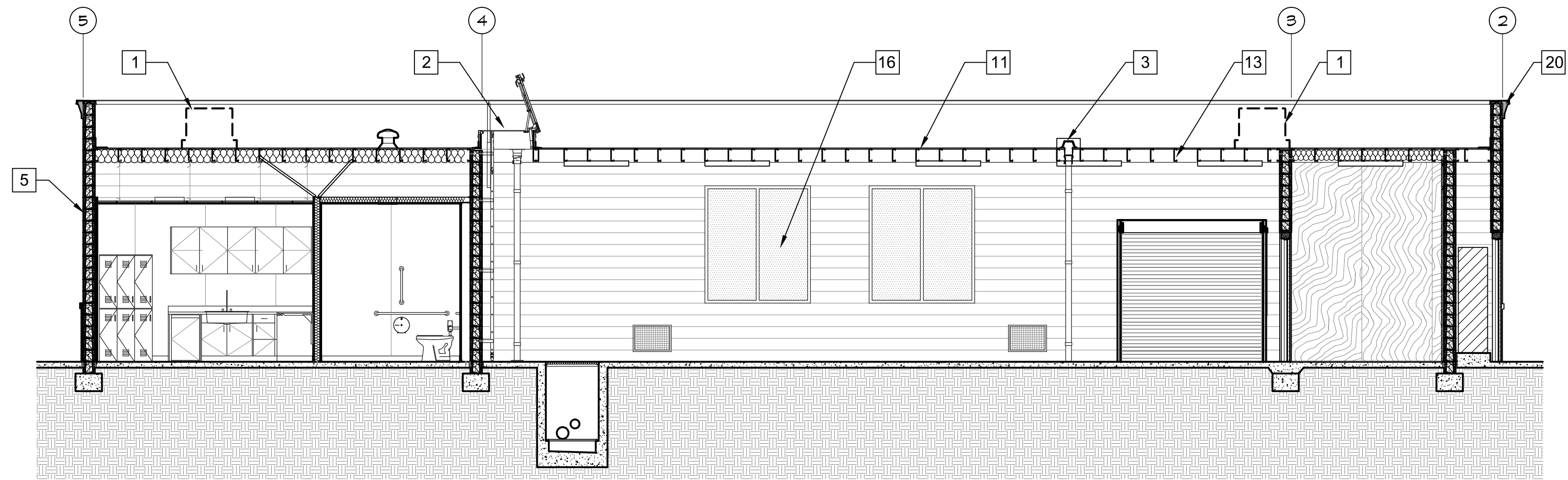
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- PAY STATION CANOPY COLOR ELEVATION
SCALE: 1/4" = 1'-0"



A-A
- TYPICAL CANOPY SECTION
SCALE: 1/4" = 1'-0"



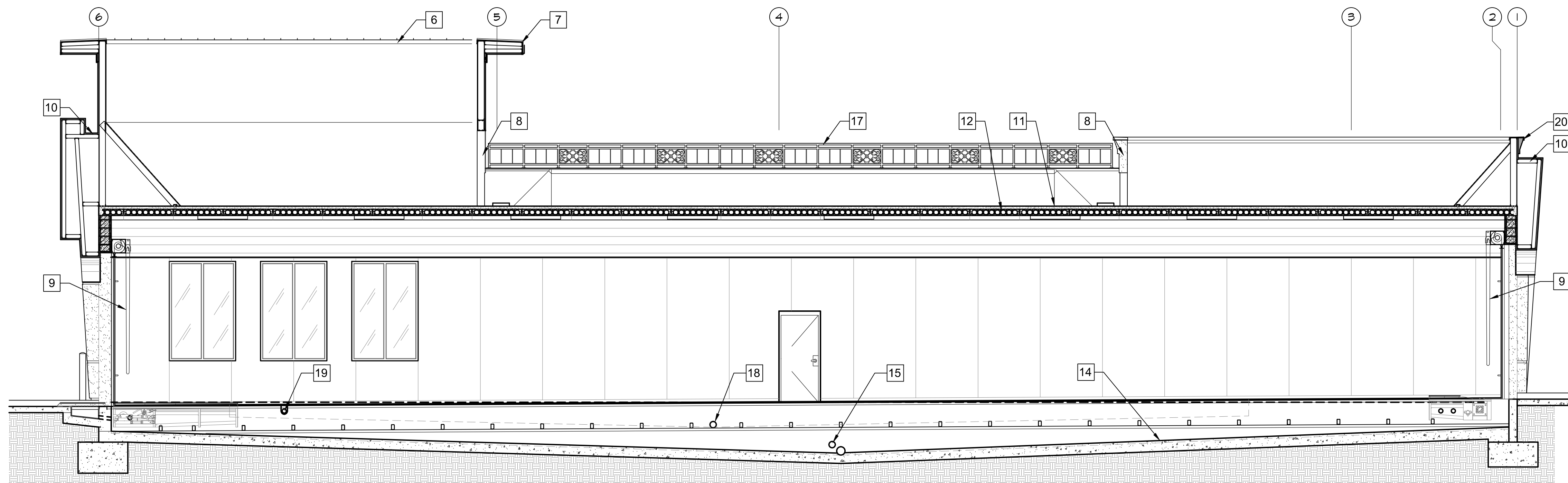
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- PROPOSED CANOPY SIDE ELEVATION
SCALE: 1/4" = 1'-0"



A
- **BUILDING SECTION**
SCALE: 3/16" = 1'-0"

KEYNOTES

- 1 ROOF TOP MECHANICAL UNIT IN FOREGROUND SHOWN DASHED. CONCEALED FROM VIEW BEHIND PARAPET WALL.
- 2 ROOF ACCESS HATCH.
- 3 ROOF DRAIN AND OVERFLOW SCUPPER.
- 4 ELECTRICAL SERVICE SWITCHGEAR ON HOUSEKEEPING PAD.
- 5 CONCRETE MASONRY UNIT WALL CONSTRUCTION.
- 6 OPEN TO ROOF BELOW.
- 7 STANDING SEAM METAL ROOFING AT PERIMETER OVERHANG.
- 8 OPENING IN WALL.
- 9 COILING ROLL-UP DOOR
- 10 METAL STUD FRAMED WALL FEATURE WITH CEMENT PLASTER WALL FINISH.
- 11 TPO MEMBRANE ROOFING.
- 12 HOLLOW CORE PRE-CAST PLANK ROOF STRUCTURE.
- 13 METAL STUD ROOF FRAMING.
- 14 CONVEYOR TRENCH. SLOPE TO DRAIN.
- 15 CONVEYOR TRENCH DRAIN AND OVERFLOW.
- 16 FAUX WINDOWS SEE WINDOW ELEVATIONS.
- 17 DECORATIVE METAL RAILING
- 18 UTILITY TRENCH DRAIN OUTLET.
- 19 PIPE CHASE FROM UTILITY TRENCH (TYP).
- 20 FOAM CORNICE



B
- **BUILDING SECTION**
SCALE: 3/16" = 1'-0"

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OWNER



QUICK QUACK CARWASH
 1380 LEAD HILL BLVD #260
 ROSEVILLE CA 95661
 (916) 846-2100

PROJECT NAME:
QUICK QUACK CARWASH
 SIERRA COLLEGE
 ROCKLIN, CA 95677
 QO# 6-021

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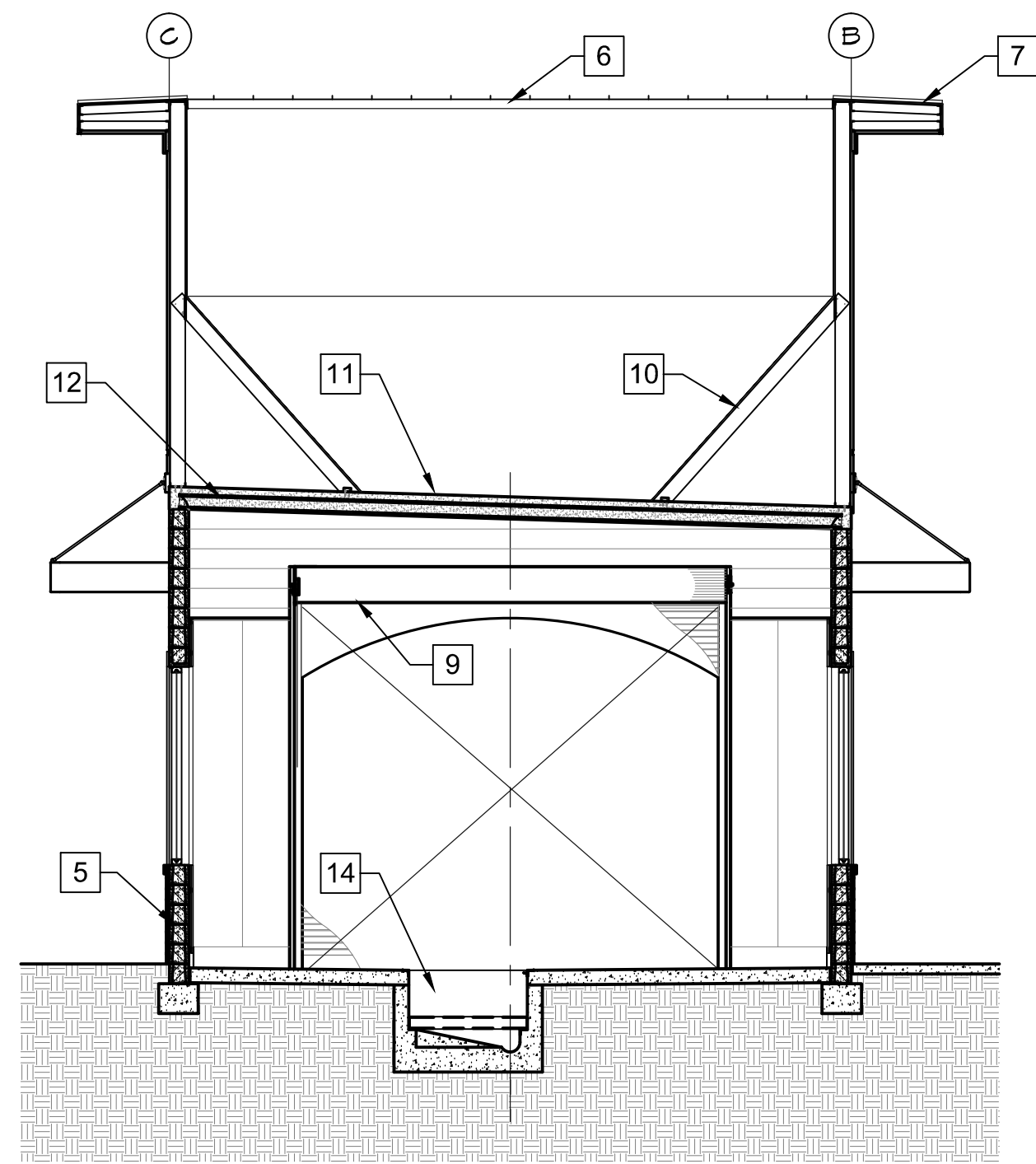
BUILDING SECTIONS

DRAWING DATE: SEPTEMBER 29, 2017

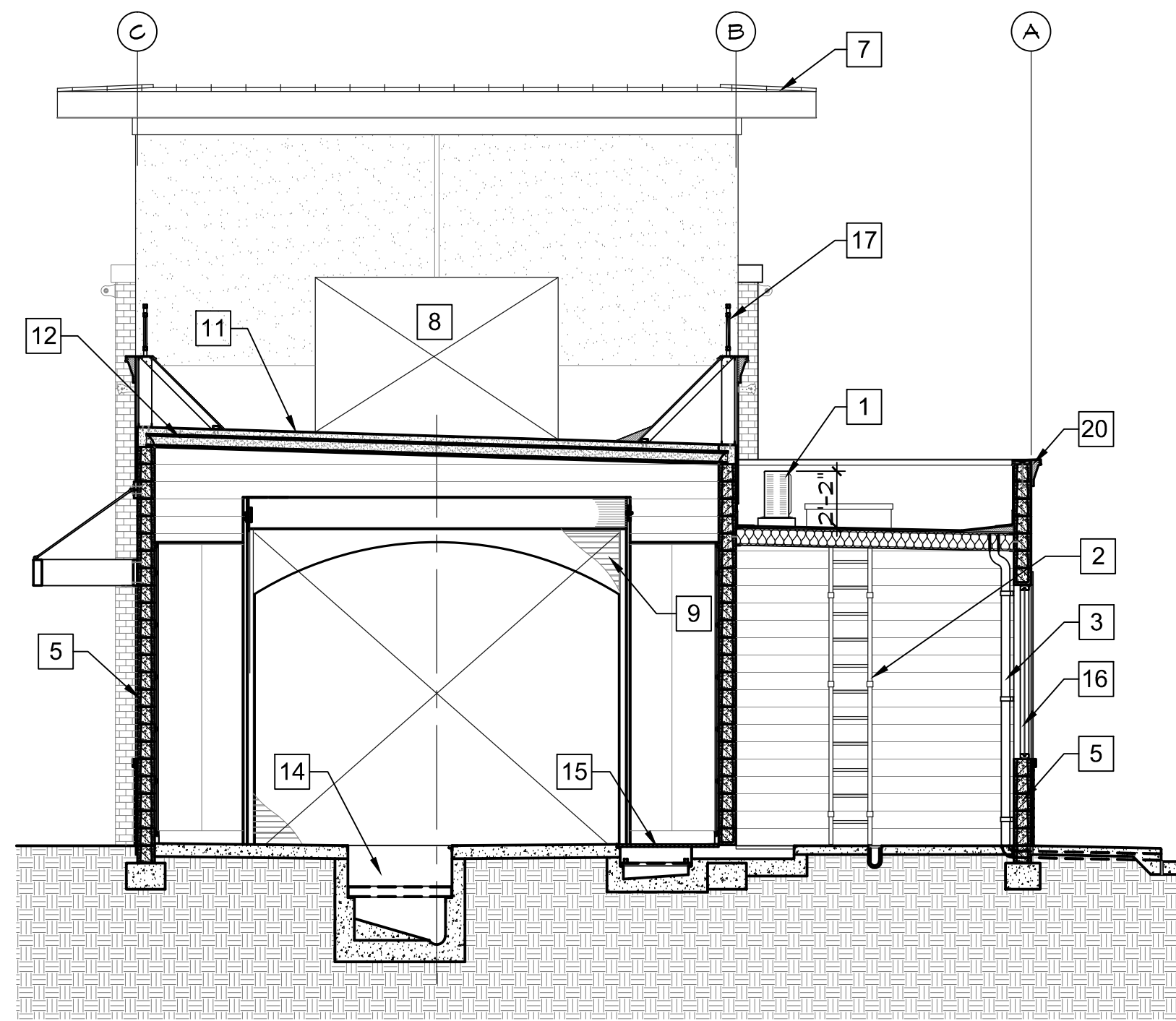
PLANNING DOCUMENTS

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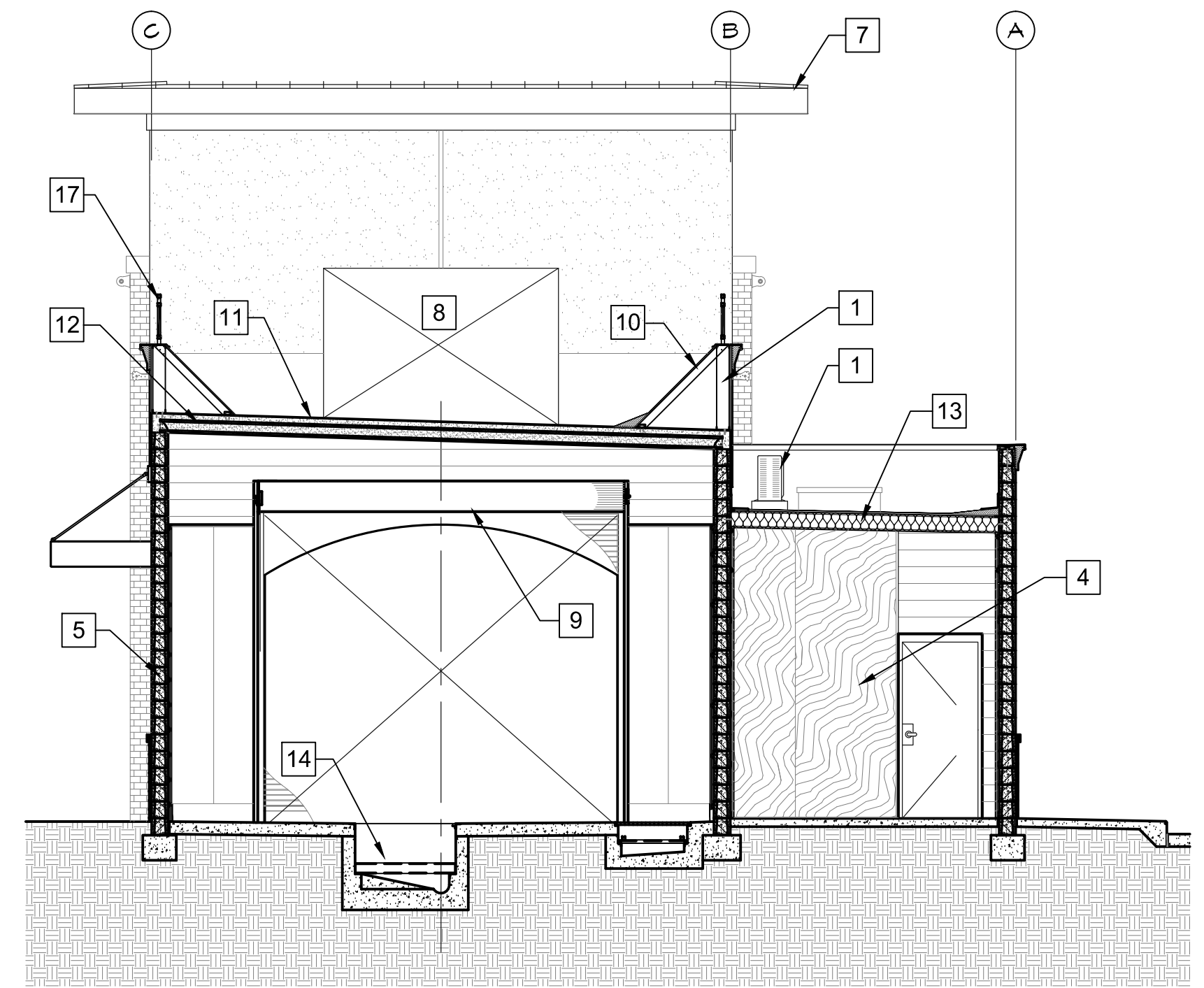
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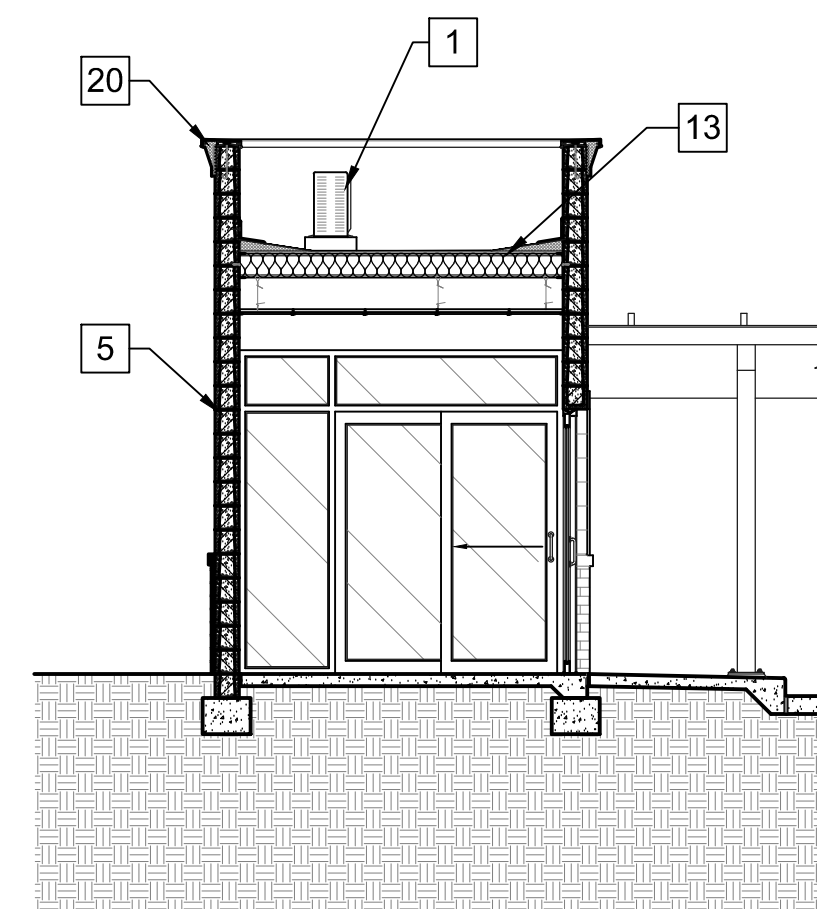
C
- BUILDING SECTION
SCALE: 3/16" = 1'-0"



D
- BUILDING SECTION
SCALE: 3/16" = 1'-0"



E
- BUILDING SECTION
SCALE: 3/16" = 1'-0"



F
- BUILDING SECTION
SCALE: 3/16" = 1'-0"

KEYNOTES

- 1 ROOF TOP MECHANICAL UNIT. CONCEALED FROM VIEW BEHIND PARAPET WALL.
- 2 ROOF ACCESS LADDER.
- 3 ROOF DRAIN PIPE. SEE PLUMBING DRAWINGS.
- 4 ELECTRICAL ROOM PLYWOOD EQUIPMENT MOUNTING BACKBOARD.
- 5 CONCRETE MASONRY UNIT WALL CONSTRUCTION.
- 6 OPEN TO ROOF BELOW.
- 7 STANDING SEAM METAL ROOFING AT PERIMETER OVERHANG.
- 8 OPENING IN WALL.
- 9 COILING ROLL-UP DOOR
- 10 METAL STUD DIAGONAL BRACE PLYWOOD CRICKET.
- 11 TPO MEMBRANE ROOFING.
- 12 HOLLOW CORE PRE-CAST PLANK ROOF STRUCTURE.
- 13 METAL STUD ROOF FRAMING.
- 14 CONVEYOR TRENCH. SLOPE TO DRAIN.
- 15 UTILITY TRENCH.
- 16 SPANDREL GLASS WINDOW IN STOREFRONT FRAME.
- 17 DECORATIVE METAL RAILING
- 18 UTILITY TRENCH DRAIN OUTLET.
- 19 PIPE CHASE FROM UTILITY TRENCH (TYP).
- 20 FOAM CORNICE

CRM Architects & Planners, Inc.
Carroll River 26 (Main) Architects and Planners, Inc.
901 Fulton Blvd. - Sacramento, CA 95819
Phone: (916) 431-1700 Fax: (916) 431-1000

OWNER



QUICK QUACK CARWASH
1380 LEAD HILL BLVD #260
ROSEVILLE CA 95661
(916) 846-2100

PROJECT NAME:
QUICK QUACK CARWASH
SIERRA COLLEGE
ROCKLIN, CA 95677
OO# 6-021

DRAWING TITLE:

BUILDING SECTIONS

DRAWING DATE: SEPTEMBER 29, 2017

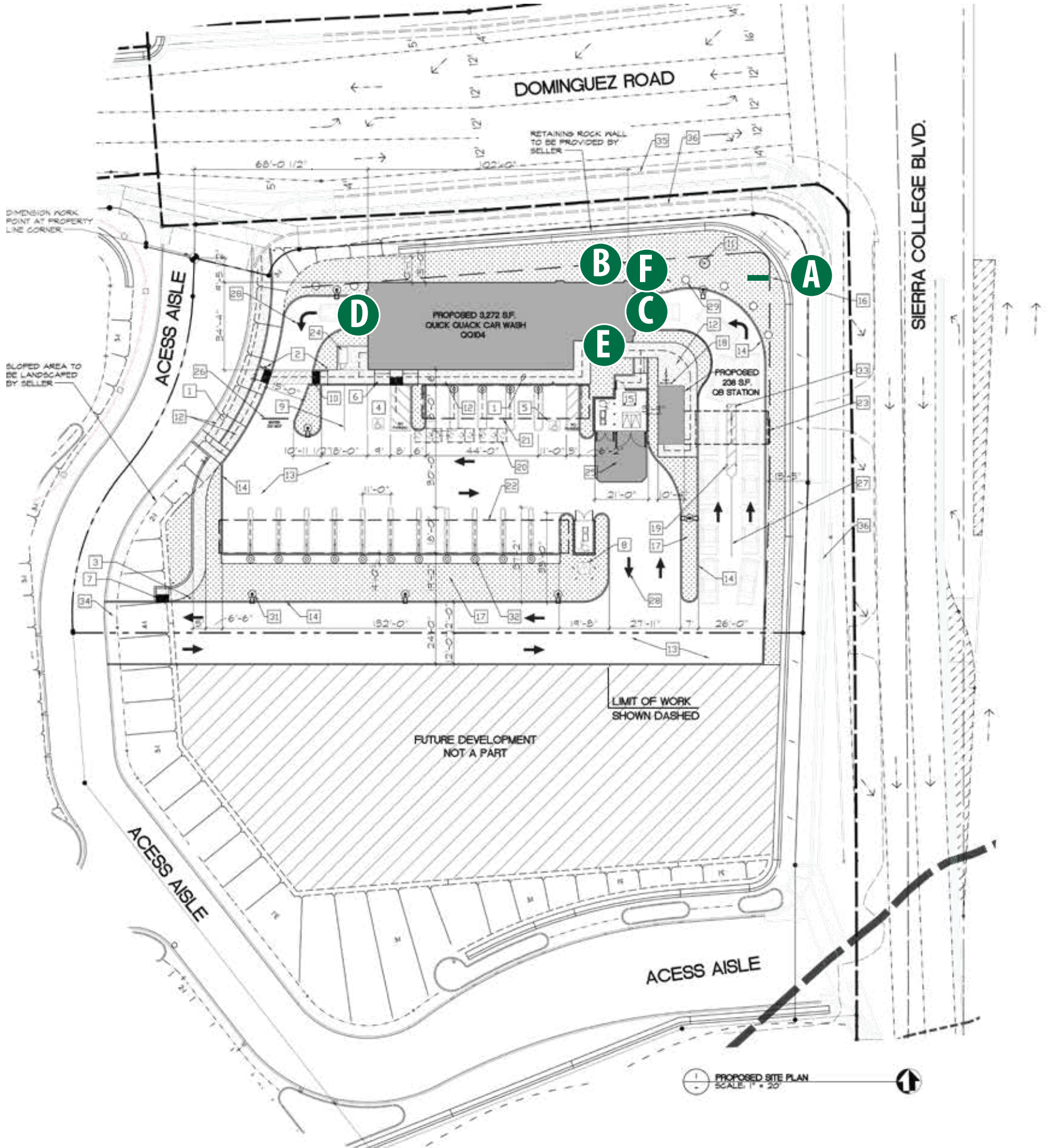
PLANNING DOCUMENTS


DRAWING NUMBER

A6.2

Quick Quack | Rocklin, CA

NOTE: Renderings below utilize sample dimensions.





FAIRMONT
SIGN COMPANY

3750 East Outer Drive
Detroit, MI 48234
t: 313.368.4000 f: 313.368.9335
www.fairmontsign.com

Client:

Quick Quack
CAR WASH

Quick Quack Car Wash #6-021
Dominguez Rd & Sierra College Blvd
Rocklin, CA

Date:
12/13/17

File:
Accounts/Misc/Quick Quack/Elev/
Rocklin, CA_Sierra College

Designer:
RNB

Scale:
NA

Job#	Sheet#
00000	1 of 8

Revision #	Date:
2	8-21-18

Revision Description:

Customer Approval:

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ALL DIMENSIONS TO BE FIELD VERIFIED PRIOR TO INSTALLATION


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NOTE: Renderings below utilize sample dimensions.



 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



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12/13/17

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Rocklin, CA_Sierra College

Designer:
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Scale:
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Job# Sheet#
00000 2 of 8

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NOTE: Renderings below utilize sample dimensions.



2 EAST ELEVATION
SCALE: 3/16" = 1'-0"



2 WEST ELEVATION
SCALE: 3/16" = 1'-0"



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Accounts/Misc/Quick Quack/Elev/
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Designer:
RNB

Scale:
NA

Job# Sheet#
00000 3 of 8

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2 8-21-18

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Customer
Approval:

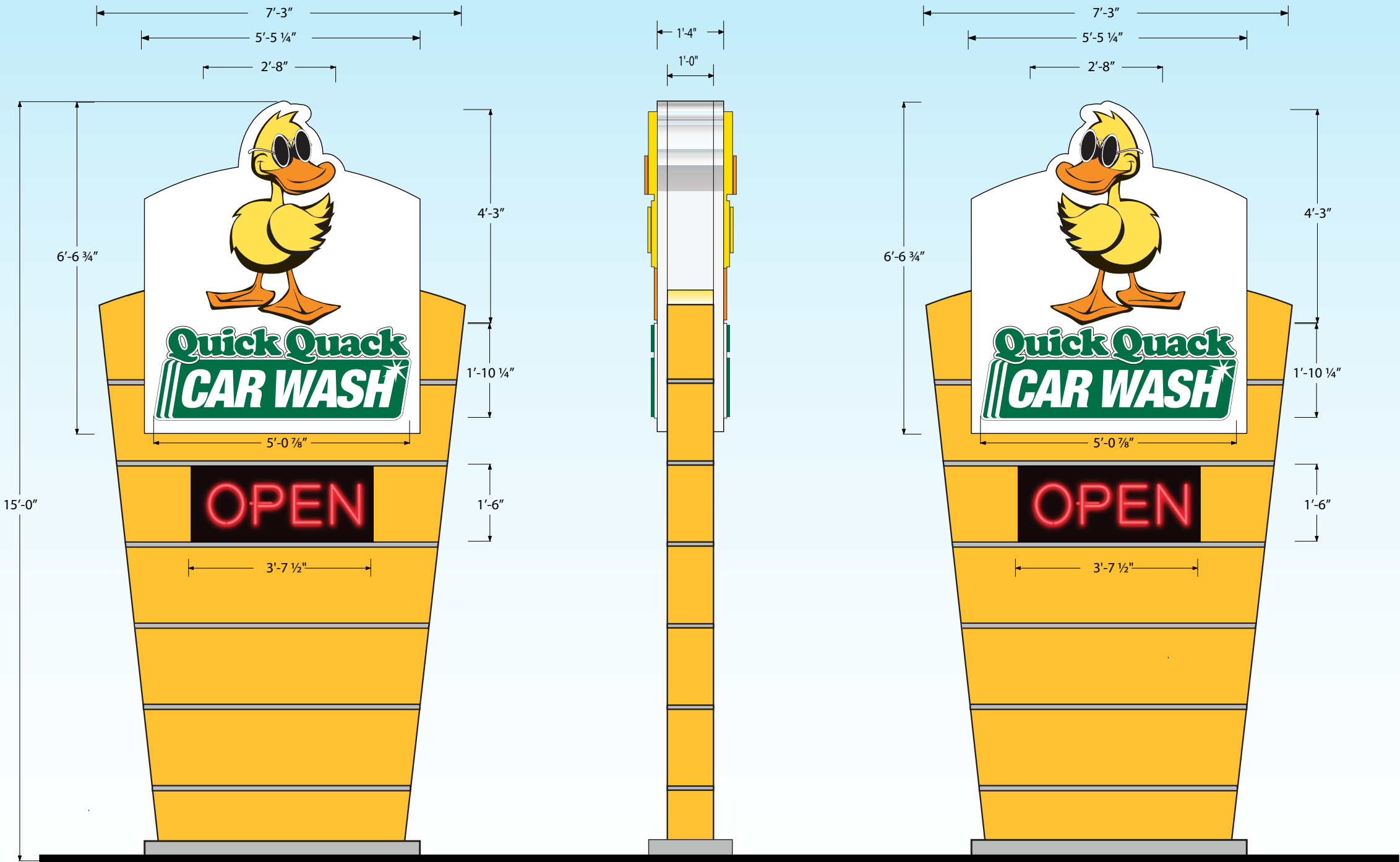
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NOTE: Renderings below utilize sample dimensions.







A

QTY 1: LED Illuminated D/F Monument Sign

Material Schedule

Fabricated aluminum, cloud-shaped channel construction. Face to be White acrylic with 3M vinyl film overlays (see color schedule). Returns and trimcap to be painted White. Cabinet to be internally illuminated with White LEDs.

Vinyl Film Color Schedule

A	B	C	D
			
3M 3630-22 Black	3M 3630-26 Green	3M 3630-015 Yellow	3M 3630-74 Kumquat Orange



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Rocklin, CA

Date:
12/13/17

File:
Accounts/Misc/Quick Quack/Elev/
Rocklin, CA_Sierra College

Designer:
RNB

Scale:
NA

Job#
00000

Sheet#
4 of 8

Revision #
2

Date:
8-21-18

Revision Description:

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NOTE: Renderings below utilize sample dimensions.



B E QTY 2: LED Illuminated Wall Signs
Background is opaque- only copy lights.
(99.6 SqFt)

Vinyl Film Color Schedule

A	B	C	D
			
3M 3630-22 Black	3M 3630-26 Green	3M 3630-015 Yellow	3M 3630-74 Kumquat Orange

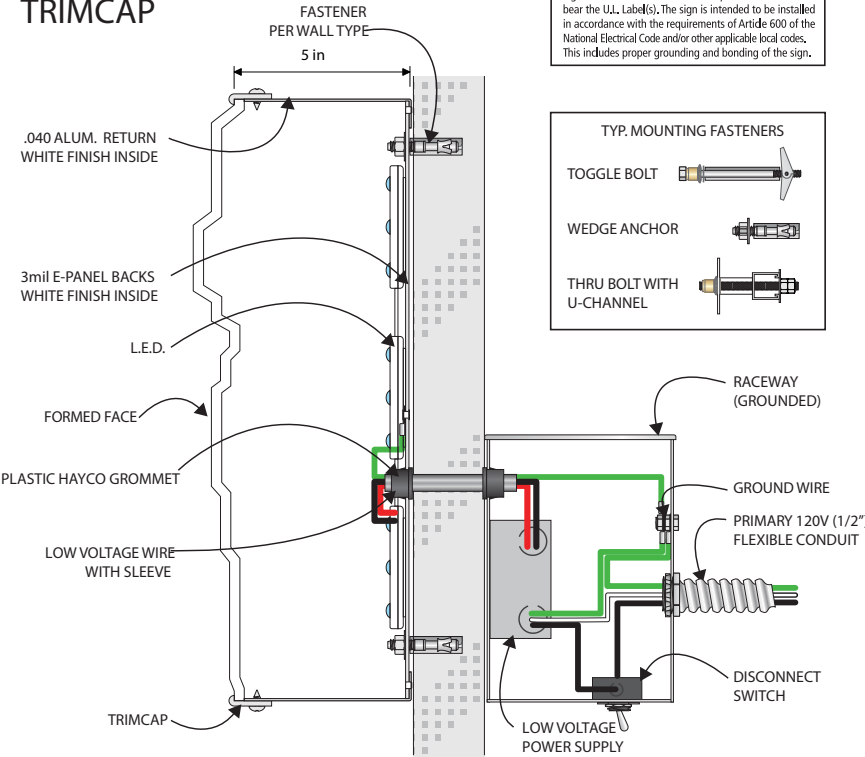
Material Schedule

Fabricated aluminum, cloud-shaped channel construction. Face to be White acrylic with 3M vinyl film overlays (see color schedule). Returns and trimcap to be painted White. Cabinet to be internally illuminated with White LEDs.

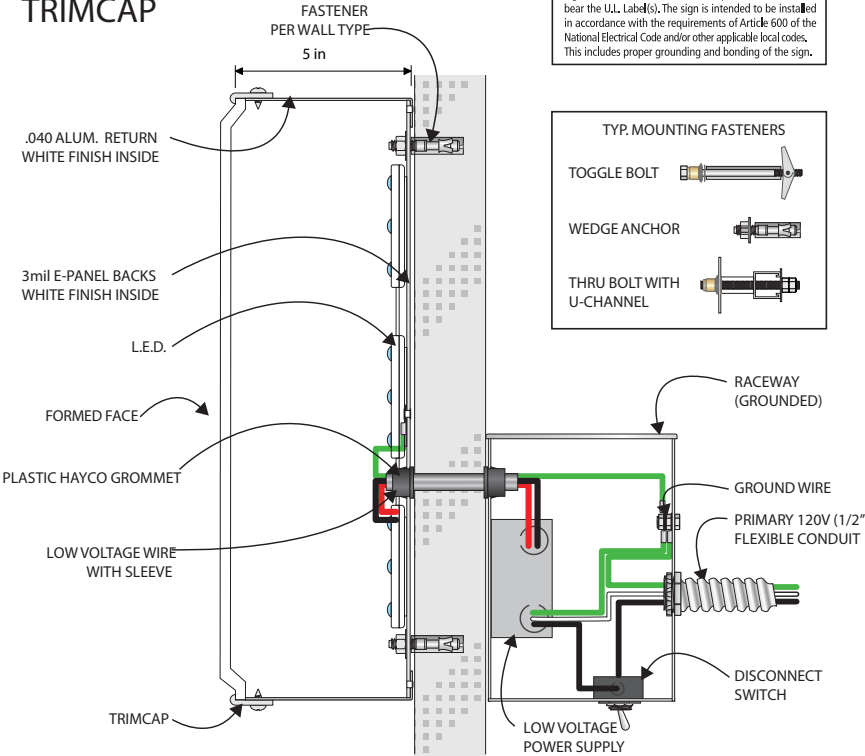


THREE DIMENSIONAL CONTOURED FACE
W/ OPAQUE BACKGROUND PROVIDES
AN INDIVIDUAL LETTER APPEARANCE

L.E.D. DUCK SECTION
FLUSH WALL MOUNT
TRIMCAP



L.E.D. LETTER SECTION
FLUSH WALL MOUNT
TRIMCAP



Client:



Quick Quack Car Wash #6-021
Dominguez Rd & Sierra College Blvd
Rocklin, CA

Date:
12/13/17

File:
Accounts/Misc/Quick Quack/Elev/
Rocklin, CA_Sierra College

Designer:
RNB

Scale:
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Job# 00000 Sheet# 5 of 8

Revision # 2 Date: 8-21-18

Revision Description:

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NOTE: Renderings below utilize sample dimensions.



QTY 1: LED Illuminated Thermoformed Wall Sign and Duck Logo

(Stacked sign 46.9 SqFt
Cloud sign 14.2 SqFt
Duck 17.1 SqFt)

Vinyl Film Color Schedule			
A	B	C	D
3M 3630-22 Black	3M 3630-26 Green	3M 3630-015 Yellow	3M 3630-74 Kumquat Orange

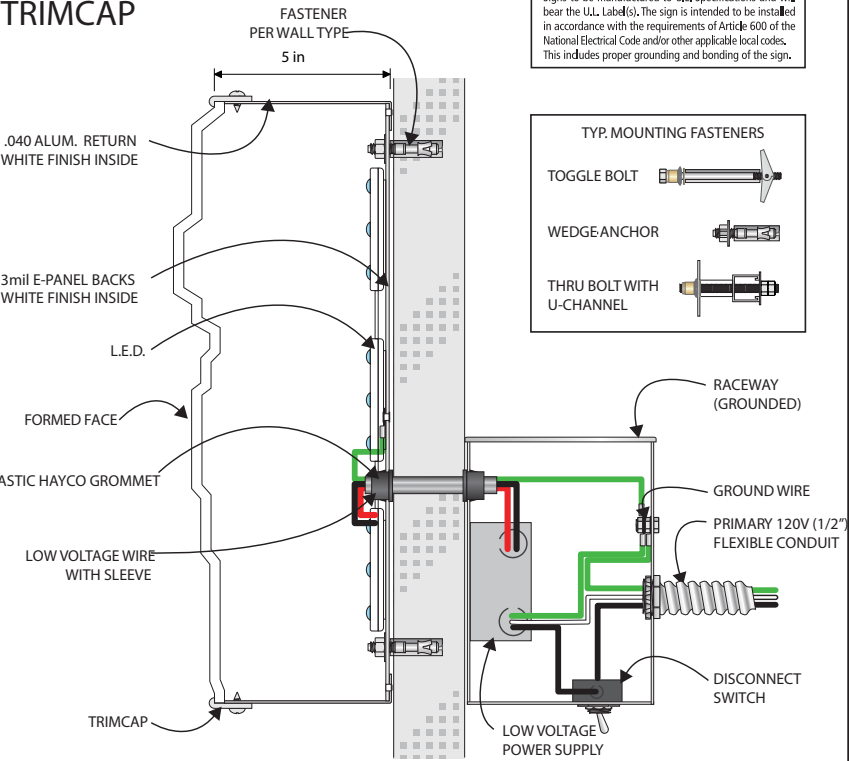
Material Schedule

Fabricated aluminum, cloud-shaped channel construction. Face to be White acrylic with 3M vinyl film overlays (see color schedule). Returns and trimcap to be painted White. Cabinet to be internally illuminated with White LEDs.

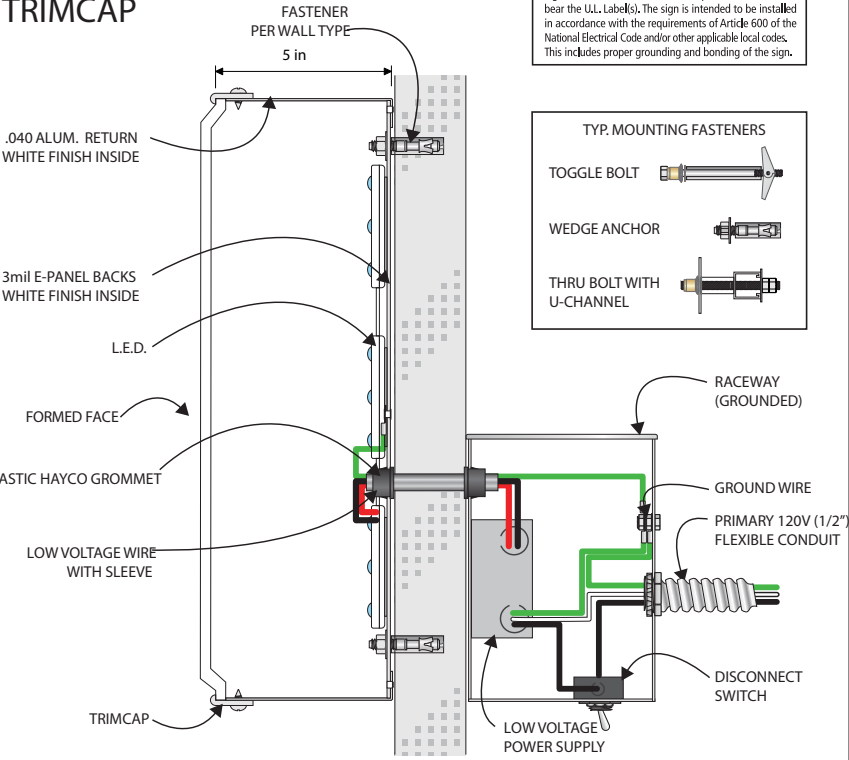
SIGN CABINET HAS A 3-D
CONTOURED FACE



L.E.D. DUCK SECTION
FLUSH WALL MOUNT
TRIMCAP



L.E.D. LETTER SECTION
FLUSH WALL MOUNT
TRIMCAP



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Rocklin, CA

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Job# 00000 Sheet# 6 of 8

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NOTE: Renderings below utilize sample dimensions.



D QTY 1: LED Illuminated Wall Sign
Background is opaque- only copy lights.
(49.9 SqFt)

Vinyl Film Color Schedule			
A	B	C	D
3M 3630-22 Black	3M 3630-26 Green	3M 3630-015 Yellow	3M 3630-74 Kumquat Orange

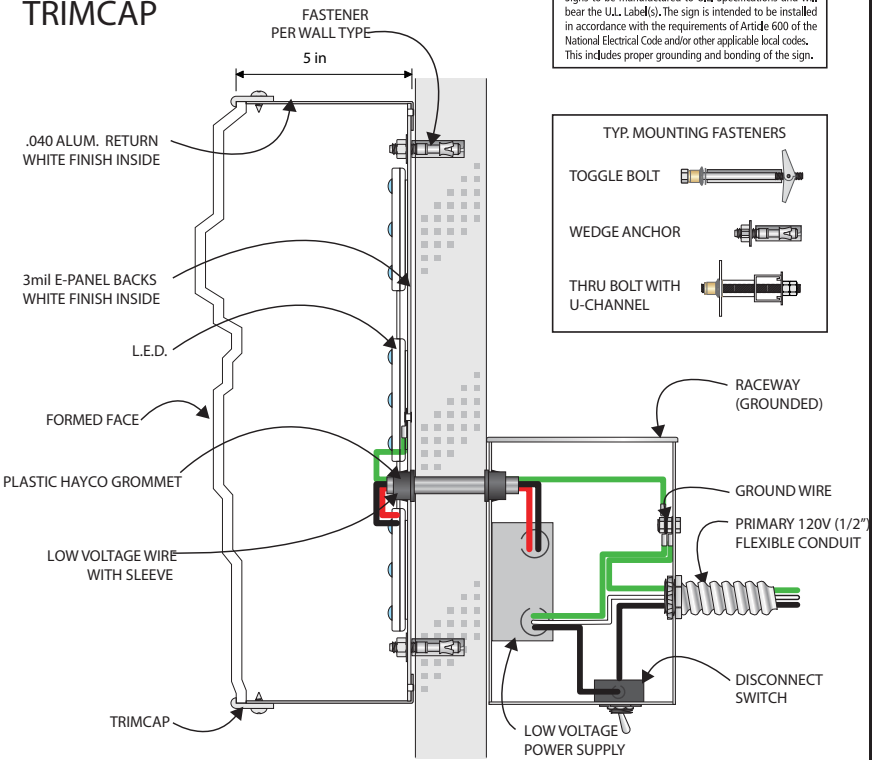
Material Schedule

Fabricated aluminum, cloud-shaped channel construction. Face to be White acrylic with 3M vinyl film overlays (see color schedule). Returns and trimcap to be painted White. Cabinet to be internally illuminated with White LEDs.

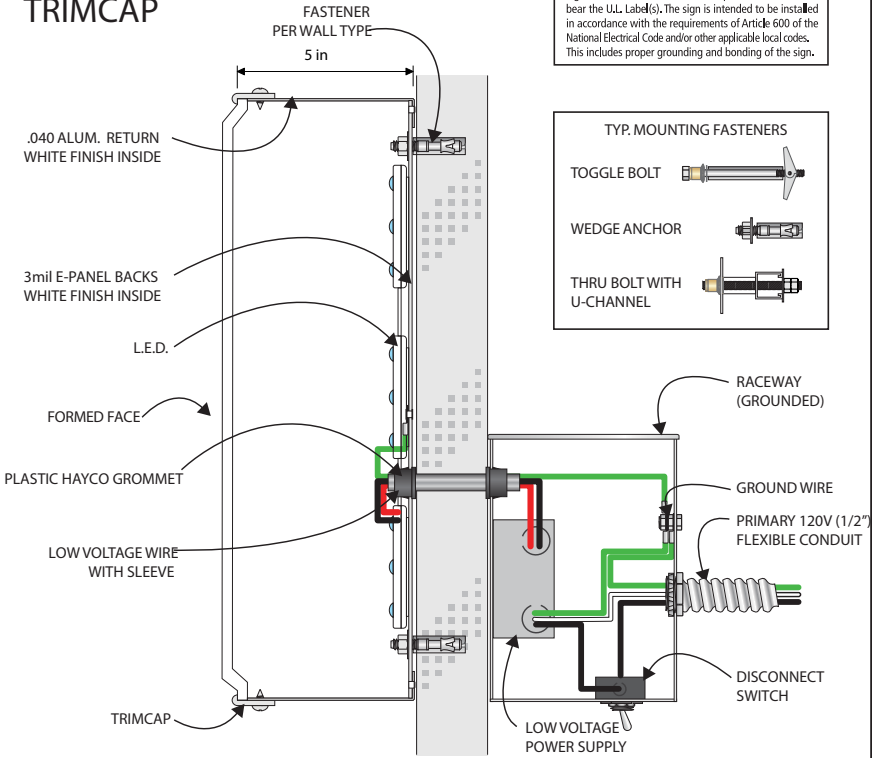


THREE DIMENSIONAL CONTOURED FACE
W/ OPAQUE BACKGROUND PROVIDES
AN INDIVIDUAL LETTER APPEARANCE

L.E.D. DUCK SECTION
FLUSH WALL MOUNT
TRIMCAP



L.E.D. LETTER SECTION
FLUSH WALL MOUNT
TRIMCAP



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Job# 00000 Sheet# 7 of 8

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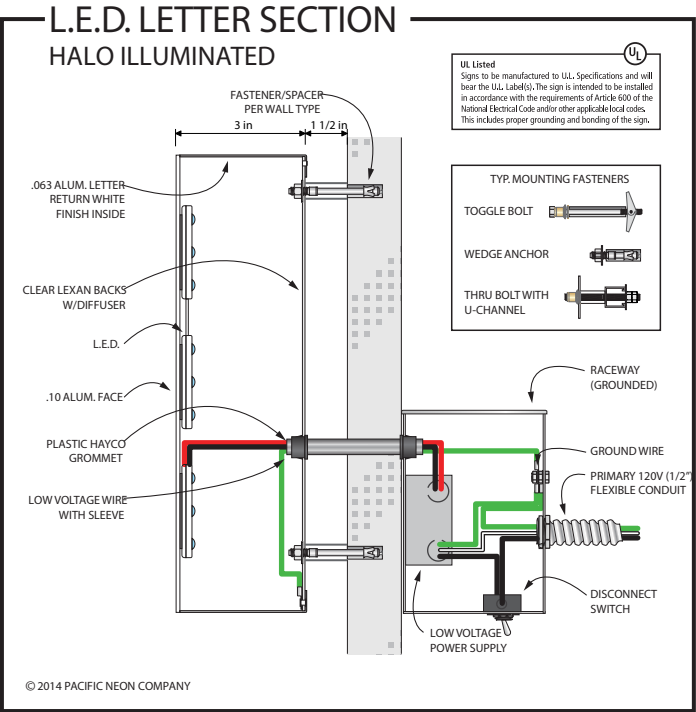
NOTE: Renderings below utilize sample dimensions.



F **QTY 1: Reverse Pan Channel LED Halo Illuminated Numerals**
Area for this sign not included in overall signage area calculation
NOTE: Address must be confirmed.

Material Schedule

Numerals
Fabricated aluminum, reverse pan channel construction with faces and returns painted Black, satin finish. Backs to be Clear Lexan with 1-1/2" stand-offs to peg off numerals from building fascia. Numerals to be internally illuminated with White LEDs.



Client:



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Dominguez Rd & Sierra College Blvd
Rocklin, CA

Date:
12/13/17

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Designer:
RNB

Scale:
NA

Job# Sheet#
00000 8 of 8

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2 8-21-18

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