



New Project Information

The City of Rocklin has begun processing the below referenced applications for project approval. The request is now being reviewed for compliance with the requirements and regulations of relevant City, State, and Federal agencies, and Utility providers. Once any issues have been resolved notice will be provided to alert neighbors and interested parties of the availability of project information, the opportunity to comment on a project, and of any pending review or action.

Application Received: May 28, 2021

Project Name and Requested Approvals:

PUBLIC STORAGE (STANFORD RANCH STORAGE MODIFICATION)
DESIGN REVIEW, DR2018-0004
CONDITIONAL USE PERMIT, U2018-0004

Staff Description of Project:

This application is a request for approval of a Design Review and Conditional Use Permit to allow the construction and operation of a new five building, 78,235 square foot self-storage facility, including an approximately 950 square foot office, with trash enclosure, on-site parking, landscaping, and appropriate hardscape.

Location:

The subject site is located at 1420 Stanford Ranch Road, approximately 500 feet east of Sunset Boulevard (portion of APN 017-086-010).

Existing Land Use Designations:

The property is zoned Planned Development Business Professional/Commercial (PD-BP/C).
The General Plan designation is Business Professional/Commercial (BP/C).

This project does / ~~XX~~ **does not** require modification or change of the land use designations and regulations currently applicable to the project site.

Compliance with the California Environmental Quality Act:

A Mitigated Negative Declaration of Environmental Impacts was previously approved by the Rocklin Planning Commission through Resolution No. PC-2019-04. The requested design review and conditional use permit entitlements do not result in any environmental impacts beyond those that were previously identified and therefore, the design review and conditional use permit can rely on the approved Mitigated Negative Declaration, pursuant to Section 15162 of the CEQA Guidelines.

Applicant & Property Owner:

The applicant is Bryan Miranda with Public Storage. The property owner is 1400 Stanford Ranch Properties, LLC.

Attached Information:

For additional detail please see the attached information from the project application form and the submitted application exhibits.

P:\PUBLIC PLANNING FILES\Request for Comment\2021\12 - Public Storage\2-Project Information.docx



City of Rocklin

Planning Division
3970 Rocklin Road
Rocklin, California 95677
Phone (916) 625-5160 FAX (916) 625-5195

UNIVERSAL APPLICATION FORM

NAME OF PROJECT: Public Storage Rocklin

LOCATION: 1420 W. Stanford Ranch Rd.

ASSESSOR'S PARCEL NUMBERS: Part of 017-086-010-000

DATE OF APPLICATION (STAFF): 5/28/2021

RECEIVED BY (STAFF INITIALS): [Signature]

FILE NUMBERS (STAFF): 02018-0004 modification

FEES: 5958.00

RECEIPT NO.: 243144

Pre-Application Meeting Requirements:

It is required that a pre-application meeting be held with a Staff Planner prior to submitting most applications for planning entitlements and permits. The purpose of the pre-application meeting is to expedite application processing by enabling staff to work with the applicant to assure that the officially submitted application materials are in the proper format and that the applicant understands the City of Rocklin's goals, policies, and ordinances that may affect the project. A copy of these and other planning provisions is available at the applicant's request.

Generally, two sets of preliminary plans and a written description of the proposed project should be brought with the applicant to the pre-application meeting. To schedule this meeting, please contact a Staff Planner at the Rocklin Community Development Department by calling (916) 625-5160.

DATE OF PRE-APPLICATION MEETING: Pre-Application waived by Bret Finning. Phone call with Dara Dungworth on 4/21/21

THIS APPLICATION IS FOR THE FOLLOWING ENTITLEMENTS: (CHECK APPROPRIATE SQUARES)

- | | | |
|--|--|---|
| <input type="checkbox"/> General Plan Amendment (GPA)
Fee: | <input type="checkbox"/> Tentative Subdivision Map (SD)
Fee:) | <input type="checkbox"/> Use Permit (U)
<input type="checkbox"/> Minor (PC Approval – New Bldg) Fee:
<input type="checkbox"/> Minor (PC Approval – Existing Bldg) Fee:
<input type="checkbox"/> Major (CC Approval) Fee: |
| <input type="checkbox"/> BARRO Zone Application (BZ)
Fee: | | |
| <input type="checkbox"/> Rezone (Reclassification) (Z)
Fee: | <input type="checkbox"/> Tentative Parcel Map (DL)
Fee: | <input type="checkbox"/> Variance (V)
Fee: |
| <input type="checkbox"/> General Development Plan (PDG)
Fee: | <input type="checkbox"/> Design Review (DR)
Commercial Fee:
Residential Fee:
Signs Fee: | <input type="checkbox"/> Oak Tree Preservation Plan Permit
Planning Commission Fee:
City Council Fee: |
| <input type="checkbox"/> Concurrent Application (2 or more entitlements)
Fee: | | <input checked="" type="checkbox"/> Modification to Approved Projects
Fee: \$5,958.00 |

File Number

Environmental Requirements: (STAFF)

- ☐ Exempt -
☐ Negative Declaration -

- ☒ Mitigated Negative Declaration -
☐ EIR - See Fee Schedule

Previous PC-2019-04



UNIVERSAL APPLICATION FORM (CONT.)

GENERAL PLAN DESIGNATION:	PROPERTY DATA:	UTILITIES:	
		EXISTING	PROPOSED
Existing: <u>BP/COMM/LI</u>	Acres: <u>3.541</u>	<input type="checkbox"/> Pub. Sewer	<input type="checkbox"/> Pub. Sewer
Proposed: <u>BP/COMM/LI</u>	Square Feet: <u>154,246</u>	<input type="checkbox"/> Septic Sewer	<input type="checkbox"/> Septic Sewer
Zoning:	Dimensions: _____ 319' x 560' x 302' x 459'	<input type="checkbox"/> Pub. Water	<input type="checkbox"/> Pub. Water
Existing: <u>PD-BP/C/LI</u>	No. of Units: <u>NA</u>	<input type="checkbox"/> Well Water	<input type="checkbox"/> Well Water
Proposed: <u>PD-BP/C/LI</u>	Building Size: <u>78,235 SF</u>	<input type="checkbox"/> Electricity	<input type="checkbox"/> Electricity
	Proposed Parking: <u>17 spaces</u>	<input type="checkbox"/> Gas	<input type="checkbox"/> Gas
	Required Parking: <u>Self-storage not specified</u>	<input type="checkbox"/> Cable	<input type="checkbox"/> Cable
	Access: <u>Use existing driveway</u>		

PROJECT REQUEST: Request for modification of existing CUP U2018-0004 and
existing Design Review DR2018-0004. Proposed project includes construction of an 78,435 SF self-storage
building on 3.54 Acres with all new site improvements and landscaping. One existing driveway to be
re-used. See project description in submittal letter for additional information.

(Example: Request for approval of design review to construct a 10,000 square foot office building on 1.5 acres)

NOTE: Annexations, Lot Line Adjustments, and Rocklin Ranch Industrial Park Specific Plan Use Permits require special application forms and additional submittal information available from the Planning Division.

UNIVERSAL APPLICATION FORM (CONT.)

PLEASE PRINT OR TYPE:

NAME OF PROPERTY OWNER: 1400 Stanford Ranch Properties, LLC, a Limited Liability Company

ADDRESS: PO Box 255646

CITY: Sacramento STATE: CA ZIP: 95865

PHONE NUMBER: 916 483-1100

EMAIL ADDRESS: debrafletter@fortsutterco.com

FAX NUMBER:

SIGNATURE OF OWNER 
(Signature Authorizing Application; provide owner's signature letter if signature is other than property owner.)

NAME OF APPLICANT
(If different than owner): Bryan Miranda/ Public Storage

CONTACT: Bryan Miranda

ADDRESS 701 Western Ave.

CITY: Glendale STATE: CA ZIP: 91201

PHONE NUMBER: 714-338-1262 x3158


EMAIL ADDRESS: BMiranda@publicstorage.com

FAX NUMBER:

SIGNATURE OF APPLICANT 

AGENT AUTHORIZATION FORM

Property owners desiring to authorize individuals to represent them in conjunction with any application or matter before the City shall provide written authorization using this form. A separate form shall be used for each individual or firm authorized, and shall specifically note any restrictions upon the authorized person.

Project Name: Public Storage Rocklin
Location: 1420 Stanford Ranch Rd.
Assessors Parcel Number(s): Part of 017-086-010-000
Entitlements for which authorization is applicable (use permit, variance, tentative map, etc.): Modification of existing CUP and Design Review
Name of person and / or firm authorized to represent property owner (Please print): Bryan Miranda/Public Storage
Address (Including City, State, and Zip Code): 701 Western Ave, Glendale, CA 91201
Phone Number: 714-338-1262 x3158
Fax Number:
Email Address: BMiranda@publicstorage.com
The above named person or firm is authorized as: Agent () Buyer (X) Lessee ()
The above named person or firm is authorized to (check all that are applicable): (X) File any and all papers in conjunction with the aforementioned request, including signing the application (X) Speak on behalf of and represent the owner at any Staff meeting and/or public hearing. () Sign any and all papers in my stead, with the exception of the application form.
The duration and validity of this authorization shall be: (X) Unrestricted () Valid until:
Owners Authorization Signature & Date:  5/10/31
Owners Name (Please Print): Debra Fletter
Owners Address (Including City, State, and Zip Code): PO Box 255646 Sacramento CA 95865
Phone Number: 916 483 1100
Email Address: debrafletter@fortsutterco.com



A DEVELOPMENT FOR
PUBLIC STORAGE



DEVELOPER
PUBLIC STORAGE 701 WESTERN AVENUE SUNLAND, CA 91061 CONTACT: BRUNN MIMANDIA TEL: (800) 888-8057
ARCHITECT
KSP STUDIO 25 ORCHARD ROAD, SUITE 200 LAKE FOREST, CA 92530 CONTACT: SHARON VIMACI TEL: (949) 380-3970
LANDSCAPE ARCHITECT
LANDSCAPE DESIGN 305 W. HARBOR BLVD, SUITE 202 FALGOUTON, CA 92532 CONTACT: STEVE MANTON TEL: (714) 688-0413
CIVIL ENGINEER
JAMES ANDERSON & ASSOCIATES, INC. 4450 W. JACOBSON AVENUE FRESNO, CA 93722 CONTACT: LUIS REBELO TEL: (559) 276-2790 F 949.380.3771

BUILDING CODE ANALYSIS
APPLICABLE BUILDING CODES: BUILDING CODE: 2019 CALIFORNIA BUILDING CODE MECHANICAL CODE: 2019 CALIFORNIA MECHANICAL CODE PLUMBING CODE: 2019 CALIFORNIA PLUMBING CODE ELECTRICAL CODE: 2019 CALIFORNIA ELECTRICAL CODE FIRE CODE: 2019 CALIFORNIA FIRE CODE GREEN BUILDING CODE: 2019 GREEN BUILDING STANDARDS CODE
PROPOSED BUILDINGS 1 - 5 BUILDING CLASSIFICATION: OCCUPANCY GROUP: S-1 ACCESSORY: 1A - MERCHANDISE CONSTRUCTION TYPE: I/IB FIRE SPRINKLERS: YES ROOFING CLASSIFICATION: CLASS A
ALLOWABLE HEIGHT: ALLOWABLE HEIGHT = 75' (TABLE 504.2) PROPOSED BUILDING HEIGHT = 23'-2" ALLOWABLE # OF STORIES: ABOVE GRADE PLANE = 3 STORIES PROPOSED # OF STORIES = 3 STORIES
ALLOWABLE BUILDING AREA: ALLOWABLE BUILDING AREA = 52,500 S.F. (TABLE 504.2, 04 - 3 OR ABOVE) STORIES ABOVE AND FULLY SPRINKLERED
PROPOSED BUILDING 1 FOOTPRINT = 11,969 S.F. < 52,500 S.F. PROPOSED BUILDING 2 FOOTPRINT = 8,338 S.F. < 52,500 S.F. PROPOSED BUILDING 3 FOOTPRINT = 8,882 S.F. < 52,500 S.F. PROPOSED BUILDING 4 FOOTPRINT = 8,681 S.F. < 52,500 S.F. PROPOSED BUILDING 5 FOOTPRINT = 4,313 S.F. < 52,500 S.F.

SHEET INDEX
1) COVER SHEET 1.1) ALTA SURVEY (1 OF 2) 1.2) ALTA SURVEY (2 OF 2) 2) CONCEPTUAL SITE PLAN 2.1) SITE DETAILS 2.2) LIGHTING CUT SHEETS 3) BUILDING 1 - CONCEPTUAL FIRST FLOOR PLAN 4) BUILDING 5 - CONCEPTUAL FIRST FLOOR PLAN 5) BUILDING 1 - CONCEPTUAL ROOF PLAN 6) BUILDING 5 - CONCEPTUAL ROOF PLAN 7) BUILDING 1 - CONCEPT ELEVATIONS 8) BUILDING 2 - CONCEPT ELEVATIONS 9) BUILDING 3 - CONCEPT ELEVATIONS 10) BUILDING 4 - CONCEPT ELEVATIONS 11) BUILDING 5 - CONCEPT ELEVATIONS 12) VIEW FROM W. STANFORD ROAD 13) BUILDING 1 - CONCEPTUAL BUILDING SECTION 14) CONCEPTUAL LANDSCAPE PLAN 15) CONCEPTUAL IMAGE BOARD
CIVIL PLANS GRADING & DRAINAGE PLAN UTILITY PLAN STORMWATER MANAGEMENT PLAN



WEST STANFORD RANCH ROAD | ROCKLIN, CA

COVER SHEET
05.10.21

Legal Description:

Being all that real property located in the East half of section 10 and the West half of Section 11, Township 11 North, Range 6 East, M.D.M, in the City of Rocklin, County of Placer, State of California,Being more particularly described as follows:

Being portions of Lots A and B, as shown on the Parcel Map of "Stanford Ranch Phase IV — Unit 2 Parcel 56", recorded in the office of the Recorder of Placer County on December 21, 2017 in Book 35 of Parcel Maps, at Page 143, being more particularly described as follows:

Beginning at a point located on the northwesterly boundary of said Lot A, also being the southeasterly line of West Stanford Ranch Road, said point being located 302.00 feet southwesterly of, measured perpendicular to, the northeasterly boundary of said Lot B; thence from said POINT OF BEGINNING, along the northwesterly boundary of said Lots A & B, along a non-tangent curve to the left, having a radius of 2394.00 feet, the radius point of which bears North 48°26'52" West, through a central angle of 03°15'51", with an arc length of 136.38 feet; thence, along the boundary of said Lot B, the following two (2) courses: (1) along a reverse curve having a radius of 2131.00 feet, through a central angle of 04°54'11", with an arc length of 182.36 feet; and (2) South 31°00'00" East, 560.48 feet; thence, along the southeasterly boundary of said Lots B & A, South 59°00'00" West, 302.00 feet to a point being located 302.00 feet southwesterly of, measured perpendicular to, the northeasterly boundary of said Lot B; thence, parallel with said northeasterly boundary of Lot B, North 31°00'00" West, 458.78 feet to the POINT OF BEGINNING; containing 3.541 acres, more or less.

End of Description

Schedule B Items:

- U

1.

Encroachments, overlaps, boundary line disputes, or other matters which would be disclosed by an accurate survey and inspection of the premises.
- U

2.

Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I—Requirements are met.
- U

3.

Rights or claims of parties in possession not shown by the public records.
- U

4.

Easements, or claims of easements, not shown by the public records.
- U

5.

Any lien, or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
- T

6.

Taxes and assessments, general and special, for the fiscal year 2020 - 2021, a lien, but not yet due or payable.
- T

7.

Taxes and assessments, general and special, for the fiscal year 2020-2021, as follows:

A) Assessor's Parcel No : 017-086-010-000
Code No. : 004-017
1st Installment : \$51,162.29 Marked Paid
2nd Installment : \$51,162.29 NOT Marked Paid
Land Value : \$2,441,249.00
Imp. Value : \$6,354,539.00

B) Assessor's Parcel No : 017-086-011-000
Code No. : 004-017
1st Installment : \$12,866.82 Marked Paid
2nd Installment : \$12,866.82 NOT Marked Paid
Land Value : \$2,152,766.00

C) Assessor's Parcel No : 017-086-010-000 PP
Code No. : 004-017
1st Installment : \$13,496.26 Marked Paid
Imp. Value : \$205,550.00
Personal Property. Value : \$993,830.00
- T

8.

The lien of supplemental taxes, if any, assessed pursuant to the provisions of Section 75, et seq., of the Revenue and Taxation Code of the State of California.
- U

9.

Assessments that may be levied by the Placer County Water Agency District. Further information on said assessments may be obtained by contacting said district at (530) 823-4850. Specifically request current and delinquent charges.
- U

10.

Assessments that may be levied by the South Placer Municipal Utility District. Further information on said assessments may be obtained by contacting said district at (916) 7868555. Specifically request current and delinquent charges.
- U

11.

Any acreage or square footage indicated in the legal description, and/or the address shown on Schedule A, is solely for the purpose of identifying said tract of land and shall not be construed as insuring the quantity of land, and/or the address as set forth in the description of the property.
- U

12.

Rights of tenants, including but not limited to the following:

a) VeriFone, Inc., a Delaware corporation as evidenced by Subordination, Non-Disturbance and Atornment Agreement recorded December 2,2015 in Official Recorder Under recorder's Serial Number 2015-0104132.

b) Oracle America, Inc., a Delaware corporation as evidenced by Subordination, Non-Disturbance and Atornment Agreement recorded December 16, 2015 in Official Recorder Under Recorder's Serial Number 2015-0108057.
- P

13.

An easement affecting that portion of said land and for the purposes stated herein and incidental purposes as shown on the map filed in Book T of Official Maps, at Page 50.
For : Multipurpose Easement
Affects : The Southwesterly and Northwesterly 10 feet
- U

14.

Terms and provisions as contained in an instrument,
Entitled : Agreement (Flood and Drainage Control)
Executed By : The City of Rocklin and Stanford Ranch I LLC
Dated : June 25, 1996

Recorded : July 12, 1996 in Official Records under Recorder's Serial Number 96-040361
- U

10.

Covenants, Conditions and Restrictions, but omitting any covenants or restrictions if any, based upon race, color, religion, sex, handicap, familial status, or national origin unless and only to the extent that said covenant (a) is exempt under Title 42, Section 3607 of the United States Code or (b) relates to handicap but does not discriminate against handicapped persons, as provided in an instrument.
Recorded : January 30, 1997 in Official Records under Recorder's Serial Number 97-0005452 Said Covenants, Conditions and Restrictions provide that a violation thereof shall not defeat or render invalid the lien of any Mortgage or Deed of Trust made in good faith and for value. Modification thereof, but omitting any covenants or restrictions if any, based upon race, color, religion, sex, handicap, familial status, or national origin unless and only to the extent that said covenant (a) is exempt under Title 42, Section 3607 of the United States Code or (b) relates to handicap but does not discriminate against handicapped persons.
Recorded : November 17, 2003 in Official Records under Recorder's Serial Number 2003-0193797
Modification thereof, but omitting any covenants or restrictions if any, based upon race, color, religion, sex, handicap, familial status, or national origin unless and only to the extent that said covenant (a) is exempt under Title 42, Section 3607 of the United States Code or (b) relates to handicap but does not discriminate against handicapped persons.
Recorded : July 13, 2011 in Official Records under Recorder's Serial Number 2011-0053741
Modification thereof, but omitting any covenants or restrictions if any, based upon race, color, religion, sex, handicap, familial status, or national origin unless and only to the extent that said covenant (a) is exempt under Title 42, Section 3607 of the United States Code or (b) relates to handicap but does not discriminate against handicapped persons.
Recorded : May 29, 2013 in Official Records under Recorder's Serial Number 2013-0052198
- U

11.

Covenants, Conditions and Restrictions, but omitting any covenants or restrictions if any, based upon race, color, religion, sex, handicap, familial status, or national origin unless and only to the extent that said covenant (a) is exempt under Title 42, Section 3607 of the United States Code or (b) relates to handicap but does not discriminate against handicapped persons, as provided in an instrument.
Recorded : November 21, 2017 in Official Records under Recorder's Serial Number 2017-0101974-00
Said Covenants, Conditions and Restrictions provide that a violation thereof shall not defeat or render invalid the lien of any Mortgage or Deed of Trust made in good faith and for value.
- U

12.

Consents as contained in an instrument.
Entitled : Approval of Lot Line Adjustment
Executed By : The City of Rocklin and 1400 Stanford Ranch Properties, LLC
Dated : September 2, 2020
Recorded : September 11, 2020 in Official Records under Recorder's Serial 2020-0099653-00

Flood Zone Information:

This property lies in Zone "X" unshaded as shown on Federal Emergency Management Agency (FEMA) Map of Placer County and Incorporated Areas, California, Panel No. 330 of 1075, Map No. 06061C0933H Effective date: November 02, 2018.

Flood Zone "X" unshaded is described as areas determined to be outside the 0.2% annual chance floodplain

Surveyor's Notes:

1. There are no buildings on the property.
2. The property consists of an Assessor's parcel numbers and is adjacent to the public right of way.

APNs: 017-086-010-000 and 017086-011-000
3. The property is not in a flood hazard zone.
4. The property abuts the following public street:

W Stanford Ranch Road.
5. There are parking stalls on property.
6. The subject property is continuous and contains no gaps or gores
7. At the time of the ALTA/Survey, there was no observable evidence of the site used as a solid waste dump, sump, or sanitary landfill.
8. there is no observable evidence of cemeteries, burial grounds, or isolated grave(s) on the property.


SURVEYOR'S CERTIFICATION

To Old Republic National Title Insurance Company; and PS Northern California One, Inc., a Delaware limited liability company; and Public Storage, a Maryland real estate investment trust.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA / ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 3, 4, 8, 9, 11, 13, 14, 16, 17, 18, & 19 of Table A, thereof.

The field work was completed on March, 2021.

Date of Plat or Map: May 26th, 2021.

By: 
Name: DANIEL J. ZOLDAK
Registered Professional Land Surveyor No. 9279
Date: May 26, 2021

According to Section 8770.6 of the Business and Professions Code, State of California, Professional Surveyors Act, as amended January 1, 2011 the use of the word "certify" or "certification" by a Licensed Land Surveyor or Registered Civil Engineer in the practice of professional engineering or land surveying or the preparation of maps, plats, reports, descriptions, or other surveying documents only constitutes an expression of professional opinion regarding those facts or findings which are the subject of the certification, and does not constitute a warranty or guarantee, either expressed or implied.

ALTA/NSPS

LAND TITLE SURVEY

For

Public Storage,

located at the 1400 and 1420 W Stanford Roach Road

City of Rocklin ,

County of Placer , State of California



LARS ANDERSEN & ASSOCIATES, INC.
CIVIL ENGINEERS - LAND SURVEYORS - PLANNERS
4694 WEST JACQUELYN AVENUE, FRESNO CALIFORNIA 93722
TEL: 559 276-2790 FAX: 559 276-0850 WWW.LARSANDERSEN.COM

SURVEY DATA:

GROSS AREA OF EXISTING PARCEL:
617,407 square feet / 14.17 acres

NET AREA OF EXISTING PARCEL:
154,202 square feet / 3.54 acres

BENCHMARK:

FOUND SPIKE CENTER OF WEST STANFORD RANCH ROAD

Elevation: 180.69' - NAVD 88 Datum

BASIS OF BEARINGS:

The basis of bearing for this survey is identical with that of the Subdivision Map entitled "STANFORD RANCH, PHASE IV-UNIT 2", filed in Book T of Maps at Page 50 in the Placer County recorder's office October, 1995.

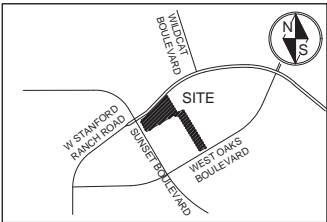
GENERAL SITE INFORMATION

1. This Survey is based on field work performed on March 15, 2021 by Lars Andersen & Associates, Inc.
2. A Title Commitment was supplied by Old Republic National Title Insurance Company Order Number: CA-16307-20/CA253291 dated January 29, 2021.
3. The Title to said property is vested in:

1400 Stanford Ranch Properties, LLC, a California limited liability company.
4. The property consists of Assessor Parcel Numbers:

017-086-010-000 and 017086-011-000
5. Site address is:

1400 W Stanford Roach Road, Rocklin, CA 95765 and 1420 W Stanford Roach Road, Rocklin, CA 95765



VICINITY MAP

ALTA/NSPS LAND TITLE SURVEY

PREPARED FOR:



PUBLIC STORAGE

LOCATED AT:
1400 AND 1420 W STANFORD RANCH ROAD,
ROCKLIN, CA 95765

PROJECT NO.: 281-006
RE - 047683

SCALE:	DRAWN BY: AE	SHEET: 1 OF 2
DATE: 5/26/21	CHECKED BY: DZ	

SURVEY DATA:

GROSS AREA OF EXISTING PARCEL:
617,407 square feet / 14.17 acres
NET AREA OF EXISTING PARCEL:
154,202 square feet / 3.54 acres

BENCHMARK:

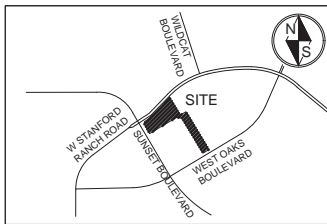
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017-086-010-000 and 017086-011-000
- Site address is:
1400 W Stanford Roach Road, Rocklin, CA 95765 and 1420 W Stanford Roach Road, Rocklin, CA 95765



VICINITY MAP

ALTA/NSPS LAND TITLE SURVEY

PREPARED FOR:



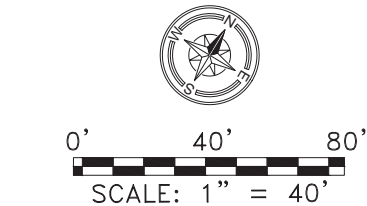
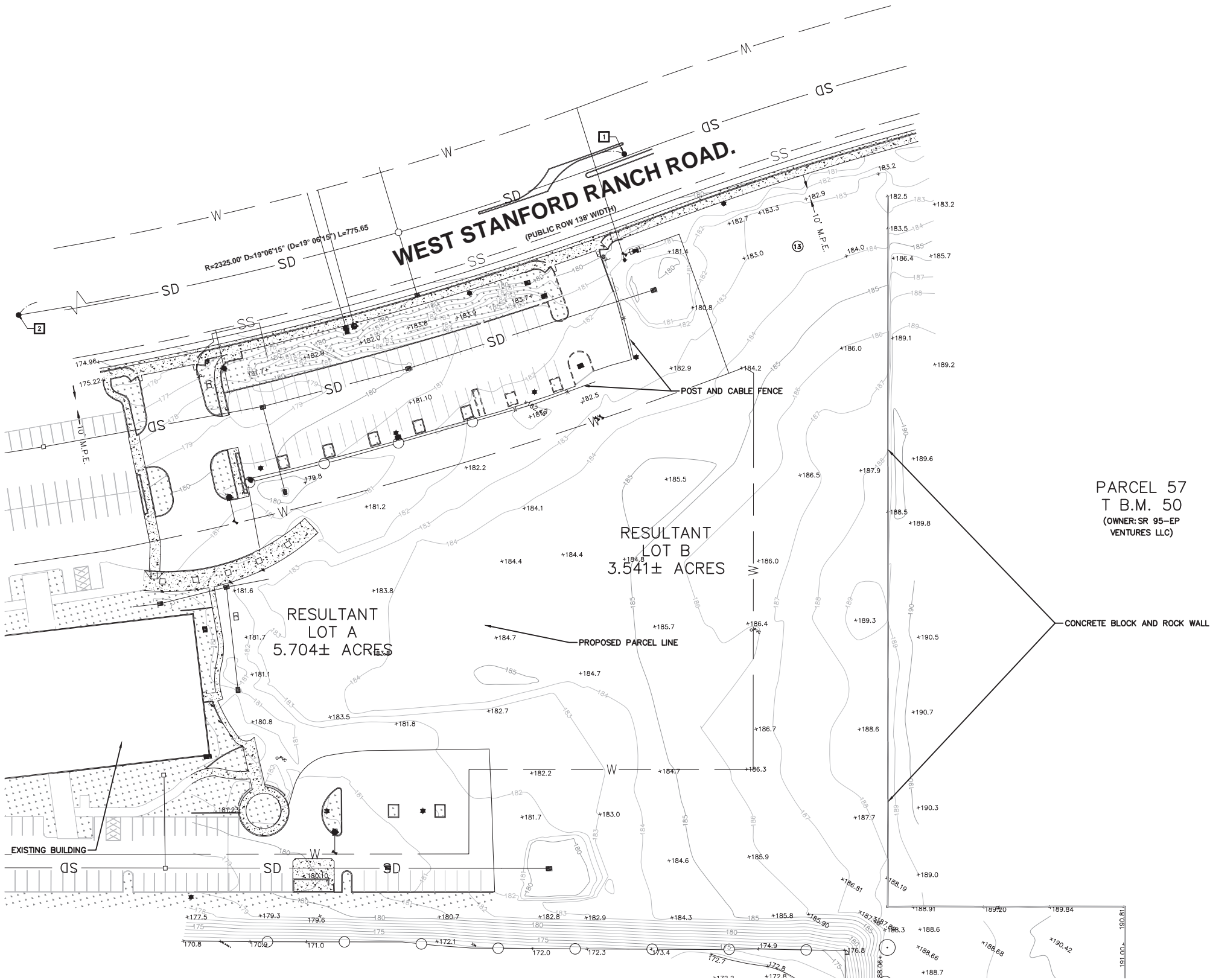
PUBLIC STORAGE

LOCATED AT:
1400 AND 1420 W STANFORD RANCH ROAD,
ROCKLIN, CA 95765

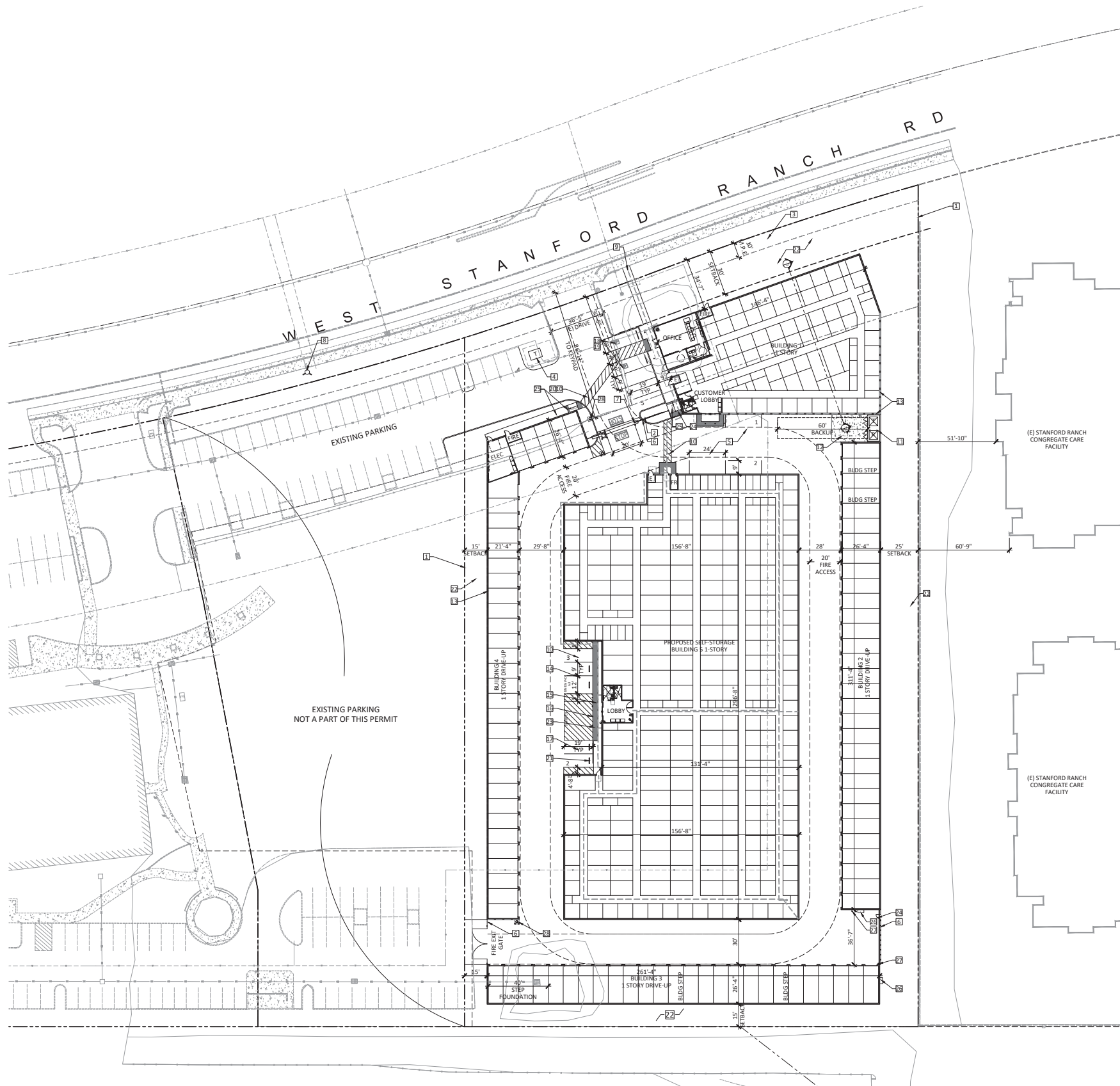
PROJECT NO.: 281-006
RE - 047683

SCALE:	DRAWN BY:	SHEET:
1" = 40'	AE	2 OF 2
DATE:	CHECKED BY:	
5/26/21	DZ	

SHEET 1.2



**ALTA/NSPS
LAND TITLE SURVEY**
For
Public Storage,
located at the 1400 and 1420 W Stanford Roach Road
City of Rocklin ,
County of Placer , State of California



PROJECT DESCRIPTION

PROPOSED FIVE 1-STORY MINI-STORAGE BUILDINGS WITH SITE IMPROVEMENTS

PROJECT INFORMATION

PROJECT ADDRESS:	W. STANFORD RANCH ROAD, ROCKLIN, CA 95765
SITE APN:	PART OF 017-086-010-000 EASTERLY PORTION OF PARCEL 56 BOOK 1 OF MAPS PAGE 50
SITE AREA GROSS:	154,202 S.F. OR 3.54 ACRES
EXISTING ZONE:	PD-BP(C)/U, STANFORD RANCH GENERAL DEVELOPMENT PLAN
PROPOSED ZONE:	PD-BP(C)/U
GENERAL PLAN LAND USE DESIGNATION:	BP/COMM/U BUSINESS PROFESSIONAL/ COMMERCIAL LIGHT INDUSTRIAL
USE (PROPOSED):	MINI-STORAGE (ALLOWED WITH CLUP)
LOT COVERAGE ALLOWED:	60% MAX
LOT COVERAGE PROVIDED:	50.7% (78,235 S.F. / 154,202 S.F.)
FAIR PROPOSED:	50.7% (78,236 S.F. / 154,202 S.F.)
DEMOLITION OF EXISTING BLDGS:	NONE

* SETBACKS:	
FRONT:	30' FOR STREET 100' OR WIDER
STREET SIDE:	NA
SIDE:	15', OR 25' IF ABUTTING RESIDENTIAL
REAR:	15'
SETBACKS PROVIDED:	
FRONT:	34'-7"
SIDE:	15' AT WEST PROPERTY LINE; 25' AT EAST PROPERTY LINE
REAR:	15'

* ALLOWED IN SETBACK:	
PARKING SETBACK IS 15' FROM STREET, 5' FROM INTERIOR	
ARCHITECTURAL FEATURES SUCH AS CORNICES, EAVES, CANOPIES AND SILLS MAY EXTEND A	
MAXIMUM OF 3' INTO ANY SIDE SETBACK OR STREET SIDE SETBACK. EAVES AND CANOPIES	
EAVES AND CANOPIES MAY EXTEND A MAXIMUM OF 3' INTO ANY REQUIRED FRONT SETBACK.	
BUILDING HEIGHT ALLOWED:	50' OR 4 STORIES, WHICHEVER IS LESS
BUILDING HEIGHT PROPOSED:	24'

BUILDING AREA

BUILDING 1: 1 STORY MINI-WAREHOUSE (GROSS SQUARE FOOTAGE) - INTERIOR ACCESS:	
OFFICE:	900 S.F.
GROUND FLOOR:	11,069 S.F.
SUBTOTAL:	11,969 S.F.
BUILDINGS 2-4: 1 STORY DRIVE-UP MINI-WAREHOUSE (GROSS SQUARE FOOTAGE):	
BUILDING 2:	8,198 S.F.
BUILDING 3:	6,882 S.F.
BUILDING 4:	8,081 S.F.
SUBTOTAL:	23,161 S.F.
BUILDING 5: 1 STORY MINI-WAREHOUSE (GROSS SQUARE FOOTAGE) - INTERIOR ACCESS:	
BUILDING 5:	43,125 S.F.
BUILDINGS 1, 2, 3, 4, 5 (GROSS SQUARE FOOTAGE):	78,235 S.F.

PARKING ANALYSIS

PARKING PROVIDED:	17 SP
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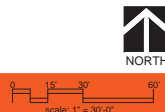
SITE PLAN KEY NOTES

- PROPERTY LINE, SEE CIVIL PLANS
- SLIDING SECURITY GATE, SEE DETAIL 11/SHEET 2.1
- 10' MULTI-PURPOSE EASEMENT, SEE ALTA SURVEY
- TRANSFORMER
- PAVING, SEE CIVIL PLANS
- 6' HIGH WROUGHT IRON FENCE, SEE DETAIL 5/SHEET 2.1
- FIRE DEPT. KEY SWITCH MOUNTED FLUSH ON GATE POST
- (E) HYDRANT
- ACCESSIBLE PATH OF TRAVEL TO PUBLIC R/W
- 48" MIN. CLEAR ADA PATH OF TRAVEL (5% MAX., 2% CROSS SLOPE), SEE CIVIL PLANS
- TRASH AND RECYCLING ENCLOSURE, SEE 2/SHEET 2.1
- CONCRETE APRON AT TRASH ENCLOSURE
- RETAINING WALL, SEE CIVIL PLANS FOR EXTENT
- EV CHARGING STATION
- TRUNCATED DOMES
- PIPE BOLLARD
- PARKING STALL AND STRIPING PER CITY STANDARDS
- ACCESSIBLE ADA & VAN PARKING STALL
- ACCESSIBLE PARKING SYMBOLS
- 4" WIDE 45 DEGREE STRIPING LINES @ 36" O.C.
- WHEEL STOP
- LANDSCAPING, SEE LANDSCAPE PLANS
- METAL CANOPY ABOVE, SEE FLOOR PLAN
- 6' HIGH METAL GATE, SEE DETAIL 13/SHEET 2.1
- RAMP & SIDEWALK
- ELECTRICAL SUB-PANEL (2'X4')
- FIRE RISER
- BOLLARD KEYPAD



WEST STANFORD RANCH ROAD | ROCKLIN, CA

CONCEPTUAL SITE PLAN
05.10.21



SHEET 3
KSP
STUDIO
architecture + engineering
23 ORCHARD ROAD, SUITE 200
LAKE FOREST, CA 92630
T 949.380.3970 F 949.380.3771

THIS LIGHT FIXTURE IS USED IN DISPLAY WINDOWS. (NOT USED)

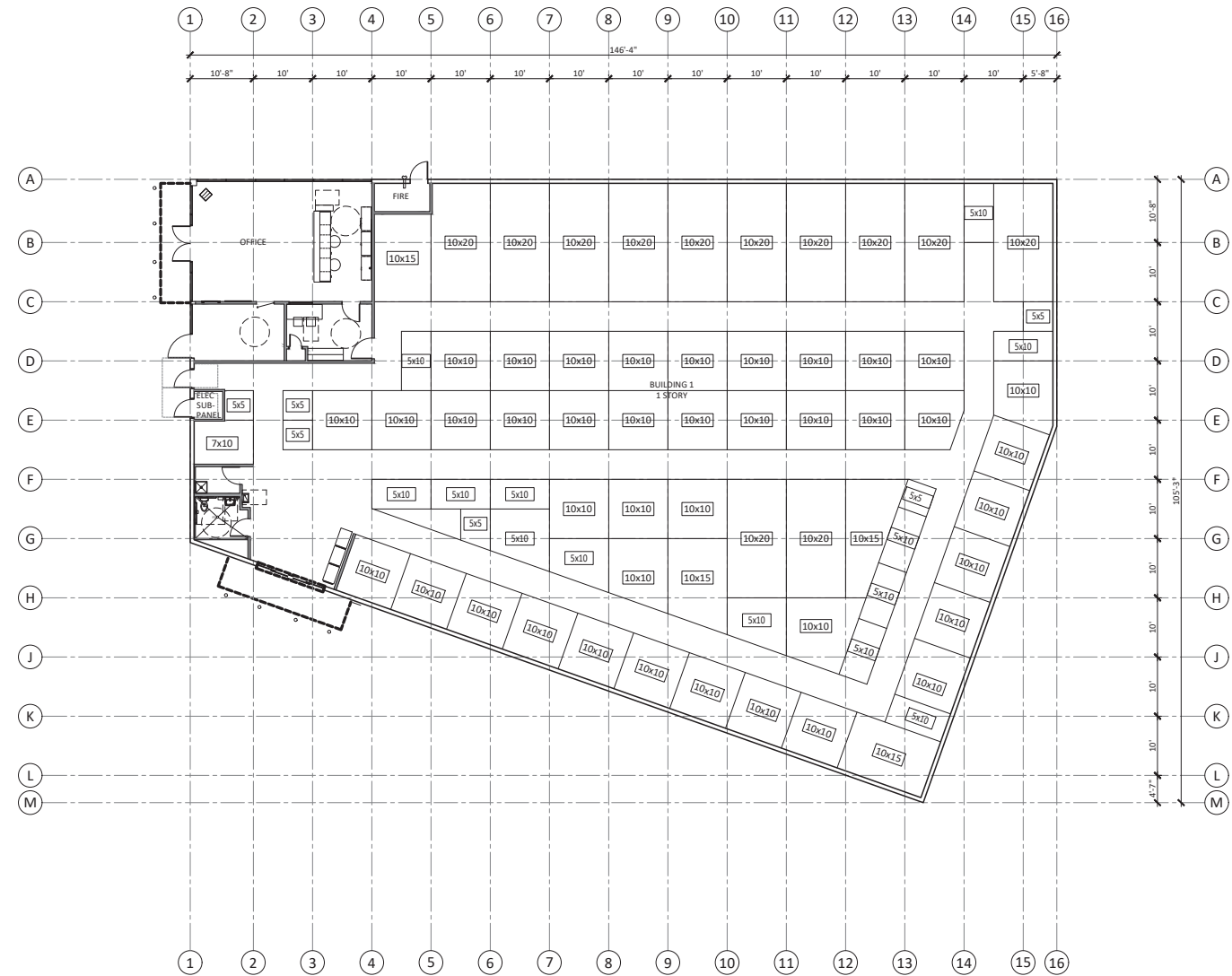
JOB _____
TYPE _____
CATALOG # _____

APPLICATION
• All luminaire, heavy-duty construction, rugged, dependable, economical lighting for industrial, retail, civic and display applications.
• Can be mounted, cable, chain or strap-mounted individually or in continuous rows. (Chain plate included)

FEATURES
• All exposed metal parts fabricated with a phosphate bonding process are phosphate with an electrochemically applied high-temperature baked white enamel for superior quality and durability.

CONSTRUCTION
• Durable cast zinc die-cast housing with mounting eye brackets and mounting hardware.
• 1/2" x 1/2" x 1/2" mounting eye brackets.
• 1/2" x 1/2" x 1/2" mounting eye brackets.
• 1/2" x 1/2" x 1/2" mounting eye brackets.

ELECTRICAL
• 120V/277V universal voltage.
• 100W/150W/200W/250W/300W/350W/400W/450W/500W/550W/600W/650W/700W/750W/800W/850W/900W/950W/1000W/1050W/1100W/1150W/1200W/1250W/1300W/1350W/1400W/1450W/1500W/1550W/1600W/1650W/1700W/1750W/1800W/1850W/1900W/1950W/2000W/2050W/2100W/2150W/2200W/2250W/2300W/2350W/2400W/2450W/2500W/2550W/2600W/2650W/2700W/2750W/2800W/2850W/2900W/2950W/3000W/3050W/3100W/3150W/3200W/3250W/3300W/3350W/3400W/3450W/3500W/3550W/3600W/3650W/3700W/3750W/3800W/3850W/3900W/3950W/4000W/4050W/4100W/4150W/4200W/4250W/4300W/4350W/4400W/4450W/4500W/4550W/4600W/4650W/4700W/4750W/4800W/4850W/4900W/4950W/5000W/5050W/5100W/5150W/5200W/5250W/5300W/5350W/5400W/5450W/5500W/5550W/5600W/5650W/5700W/5750W/5800W/5850W/5900W/5950W/6000W/6050W/6100W/6150W/6200W/6250W/6300W/6350W/6400W/6450W/6500W/6550W/6600W/6650W/6700W/6750W/6800W/6850W/6900W/6950W/7000W/7050W/7100W/7150W/7200W/7250W/7300W/7350W/7400W/7450W/7500W/7550W/7600W/7650W/7700W/7750W/7800W/7850W/7900W/7950W/8000W/8050W/8100W/8150W/8200W/8250W/8300W/8350W/8400W/8450W/8500W/8550W/8600W/8650W/8700W/8750W/8800W/8850W/8900W/8950W/9000W/9050W/9100W/9150W/9200W/9250W/9300W/9350W/9400W/9450W/9500W/9550W/9600W/9650W/9700W/9750W/9800W/9850W/9900W/9950W/10000W/10050W/10100W/10150W/10200W/10250W/10300W/10350W/10400W/10450W/10500W/10550W/10600W/10650W/10700W/10750W/10800W/10850W/10900W/10950W/11000W/11050W/11100W/11150W/11200W/11250W/11300W/11350W/11400W/11450W/11500W/11550W/11600W/11650W/11700W/11750W/11800W/11850W/11900W/11950W/12000W/12050W/12100W/12150W/12200W/12250W/12300W/12350W/12400W/12450W/12500W/12550W/12600W/12650W/12700W/12750W/12800W/12850W/12900W/12950W/13000W/13050W/13100W/13150W/13200W/13250W/13300W/13350W/13400W/13450W/13500W/13550W/13600W/13650W/13700W/13750W/13800W/13850W/13900W/13950W/14000W/14050W/14100W/14150W/14200W/14250W/14300W/14350W/14400W/14450W/14500W/14550W/14600W/14650W/14700W/14750W/14800W/14850W/14900W/14950W/15000W/15050W/15100W/15150W/15200W/15250W/15300W/15350W/15400W/15450W/15500W/15550W/15600W/15650W/15700W/15750W/15800W/15850W/15900W/15950W/16000W/16050W/16100W/16150W/16200W/16250W/16300W/16350W/16400W/16450W/16500W/16550W/16600W/16650W/16700W/16750W/16800W/16850W/16900W/16950W/17000W/17050W/17100W/17150W/17200W/17250W/17300W/17350W/17400W/17450W/17500W/17550W/17600W/17650W/17700W/17750W/17800W/17850W/17900W/17950W/18000W/18050W/18100W/18150W/18200W/18250W/18300W/18350W/18400W/18450W/18500W/18550W/18600W/18650W/18700W/18750W/18800W/18850W/18900W/18950W/19000W/19050W/19100W/19150W/19200W/19250W/19300W/19350W/19400W/19450W/19500W/19550W/19600W/19650W/19700W/19750W/19800W/19850W/19900W/19950W/20000W/20050W/20100W/20150W/20200W/20250W/20300W/20350W/20400W/20450W/20500W/20550W/20600W/20650W/20700W/20750W/20800W/20850W/20900W/20950W/21000W/21050W/21100W/21150W/21200W/21250W/21300W/21350W/21400W/21450W/21500W/21550W/21600W/21650W/21700W/21750W/21800W/21850W/21900W/21950W/22000W/22050W/22100W/22150W/22200W/22250W/22300W/22350W/22400W/22450W/22500W/22550W/22600W/22650W/22700W/22750W/22800W/22850W/22900W/22950W/23000W/23050W/23100W/23150W/23200W/23250W/23300W/23350W/23400W/23450W/23500W/23550W/23600W/23650W/23700W/23750W/23800W/23850W/23900W/23950W/24000W/24050W/24100W/24150W/24200W/24250W/24300W/24350W/24400W/24450W/24500W/24550W/24600W/24650W/24700W/24750W/24800W/24850W/24900W/24950W/25000W/25050W/25100W/25150W/25200W/25250W/25300W/25350W/25400W/25450W/25500W/25550W/25600W/25650W/25700W/25750W/25800W/25850W/25900W/25950W/26000W/26050W/26100W/26150W/26200W/26250W/26300W/26350W/26400W/26450W/26500W/26550W/26600W/26650W/26700W/26750W/26800W/26850W/26900W/26950W/27000W/27050W/27100W/27150W/27200W/27250W/27300W/27350W/27400W/27450W/27500W/27550W/27600W/27650W/27700W/27750W/27800W/27850W/27900W/27950W/28000W/28050W/28100W/28150W/28200W/28250W/28300W/28350W/28400W/28450W/28500W/28550W/28600W/28650W/28700W/28750W/28800W/28850W/28900W/28950W/29000W/29050W/29100W/29150W/29200W/29250W/29300W/29350W/29400W/29450W/29500W/29550W/29600W/29650W/29700W/29750W/29800W/29850W/29900W/29950W/30000W/30050W/30100W/30150W/30200W/30250W/30300W/30350W/30400W/30450W/30500W/30550W/30600W/30650W/30700W/30750W/30800W/30850W/30900W/30950W/31000W/31050W/31100W/31150W/31200W/31250W/31300W/31350W/31400W/31450W/31500W/31550W/31600W/31650W/31700W/31750W/31800W/31850W/31900W/31950W/32000W/32050W/32100W/32150W/32200W/32250W/32300W/32350W/32400W/32450W/32500W/32550W/32600W/32650W/32700W/32750W/32800W/32850W/32900W/32950W/33000W/33050W/33100W/33150W/33200W/33250W/33300W/33350W/33400W/33450W/33500W/33550W/33600W/33650W/33700W/33750W/33800W/33850W/33900W/33950W/34000W/34050W/34100W/34150W/34200W/34250W/34300W/34350W/34400W/34450W/34500W/34550W/34600W/34650W/34700W/34750W/34800W/34850W/34900W/34950W/35000W/35050W/35100W/35150W/35200W/35250W/35300W/35350W/35400W/35450W/35500W/35550W/35600W/35650W/35700W/35750W/35800W/35850W/35900W/35950W/36000W/36050W/36100W/36150W/36200W/36250W/36300W/36350W/36400W/36450W/36500W/36550W/36600W/36650W/36700W/36750W/36800W/36850W/36900W/36950W/37000W/37050W/37100W/37150W/37200W/37250W/37300W/3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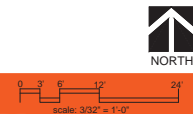


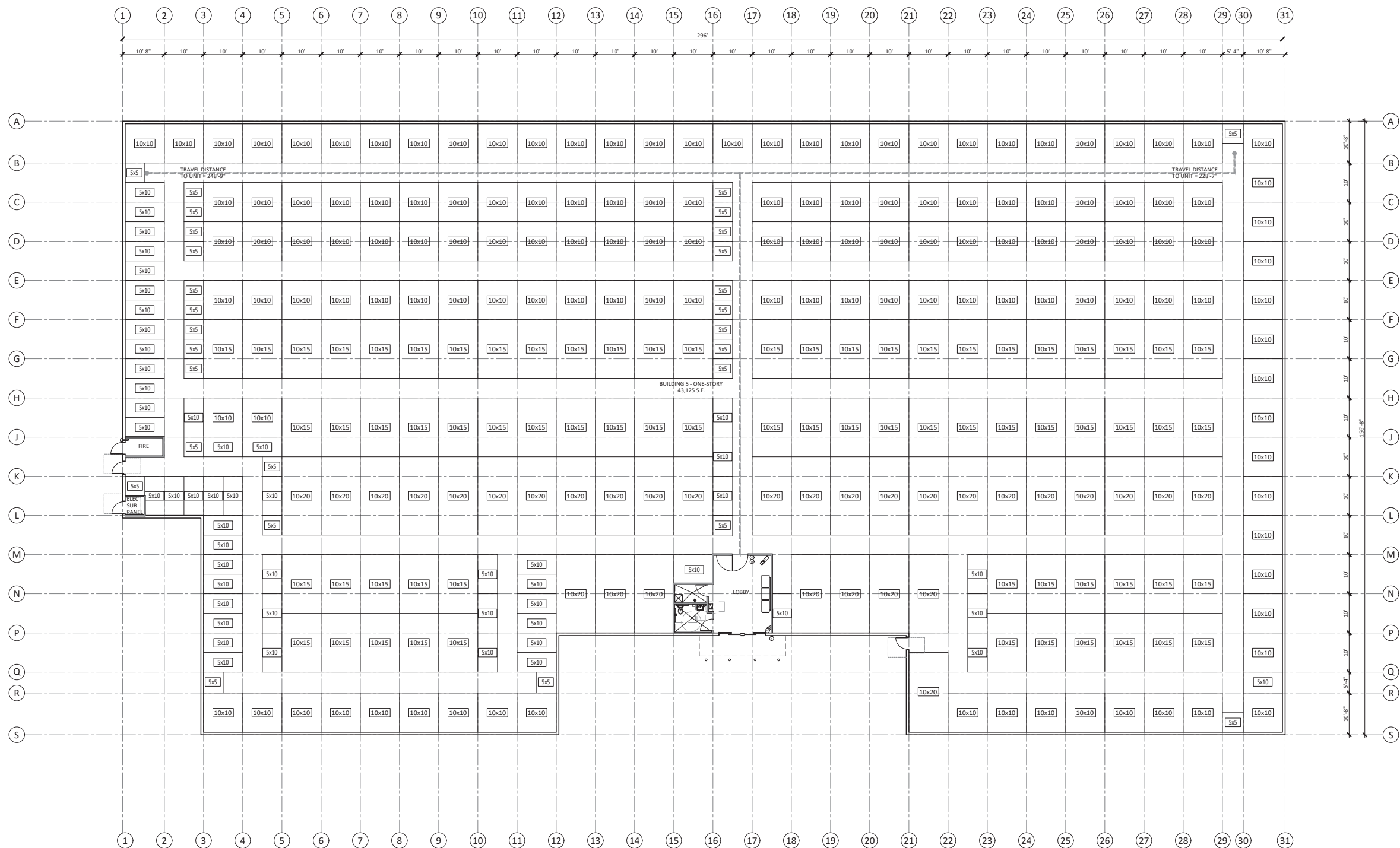
STORAGE UNIT MIX MATRIX										
PROJECT : Public Storage - Rocklin, CA										
CLIMATE CONTROLLED UNITS										
BUILDING	GROSS SF	5x4 Locker	5x5	5x10	10x10	10x15	10x20	10x25	10x30	TOTAL UNITS
BUILDING 1	11,969		5	13	44	3	15			80
TOTAL UNITS		-	5	13	44	3	15	-	-	80
UNIT SF		20	25	50	100	150	200	250	300	
TOTAL SF	11,969		125	650	4,400	450	3,000	-	-	8,625
% UNITS (#)			6%	16%	55%	4%	19%	0%	0%	100%
% UNITS (SF)			1%	9%	51%	5%	35%	0%	0%	100%
										107.61 AVG UNIT SF
										72% EFFICIENCY
PROPOSED STORAGE UNITS										
TOTAL STORAGE AREA: 11,969 S.F.										
11,969 S.F. x 73% EFFICIENCY = 8,737 S.F.										
8,737 S.F. / 100 AVG. UNIT = APPROXIMATELY 88 UNITS										



WEST STANFORD RANCH ROAD | ROCKLIN, CA

BUILDING 1 - CONCEPTUAL FLOOR PLAN
05.10.21



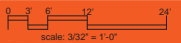


STORAGE UNIT MIX MATRIX - BUILDING 5											
PROJECT : Public Storage - Rocklin, CA											
CLIMATE CONTROLLED UNITS											
BUILDING	GROSS SF	5x4 Locker	5x5	5x10	10x10	10x15	10x20	10x25	10x30	TOTAL UNITS	
BUILDING 5	43,125	-	27	52	136	72	29	-	-	316	TOTAL UNITS
TOTAL UNITS		-	27	52	136	72	29	-	-	316	TOTAL UNITS
UNIT SF		20	25	50	100	150	200	250	300	33,475	NET RENTABLE
TOTAL SF	43,125	675	2,600	13,600	10,800	5,800	-	-	-	33,475	NET RENTABLE
% UNITS (#)			9%	16%	43%	23%	9%	0%	0%	100%	
% UNITS (SF)			2%	8%	41%	32%	17%	0%	0%	105.93	AVG UNIT SF
										78%	EFFICIENCY
PROPOSED STORAGE UNITS											
TOTAL STORAGE AREA: 43,125 S.F.											
43,125 S.F. x 73% EFFICIENCY = 31,481 S.F.											
31,481 S.F. / 100 AVG. UNIT = APPROXIMATELY 315 UNITS											

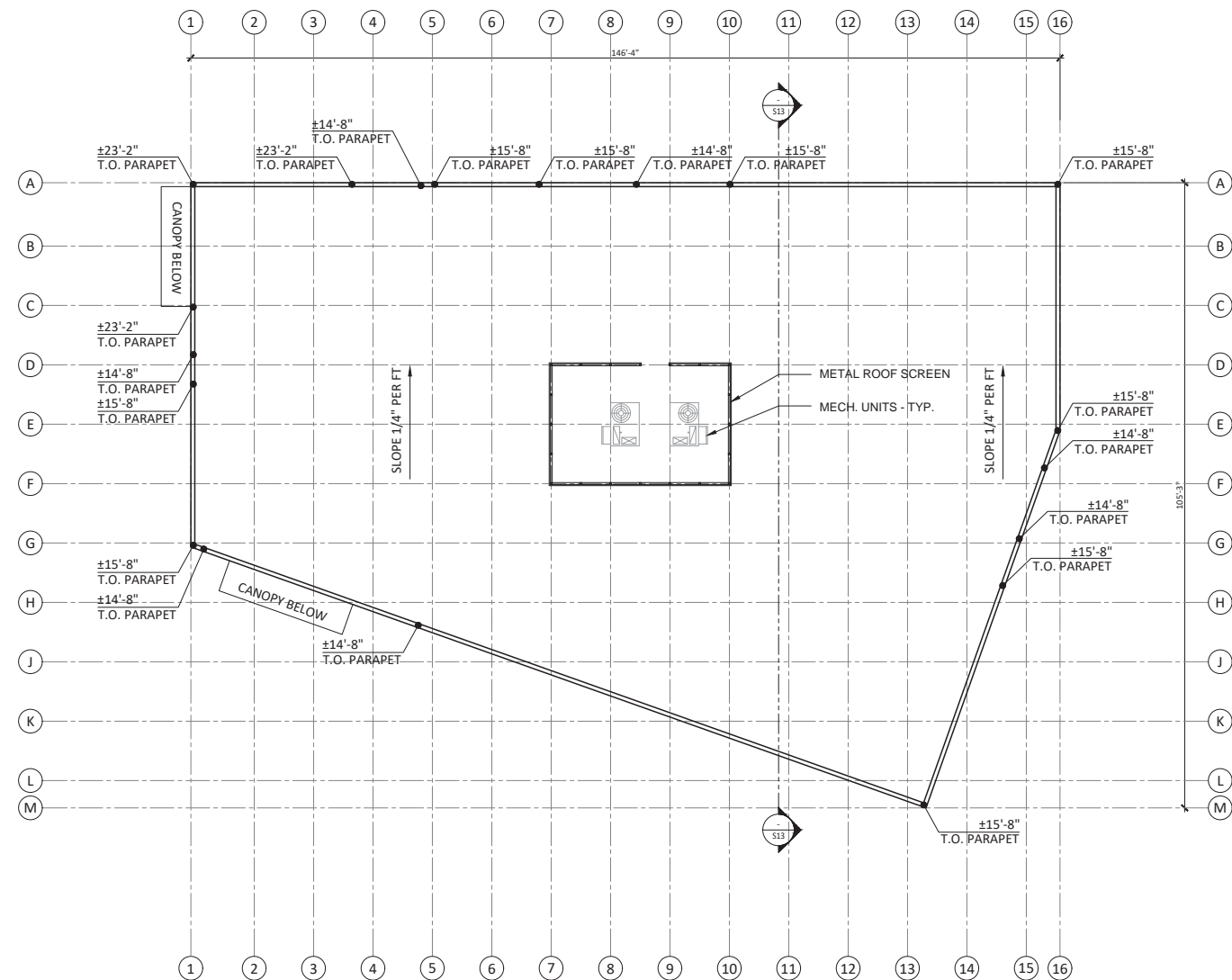


WEST STANFORD RANCH ROAD | ROCKLIN, CA

BUILDING 5 - CONCEPTUAL FLOOR PLAN
05.10.21



SHEET 4
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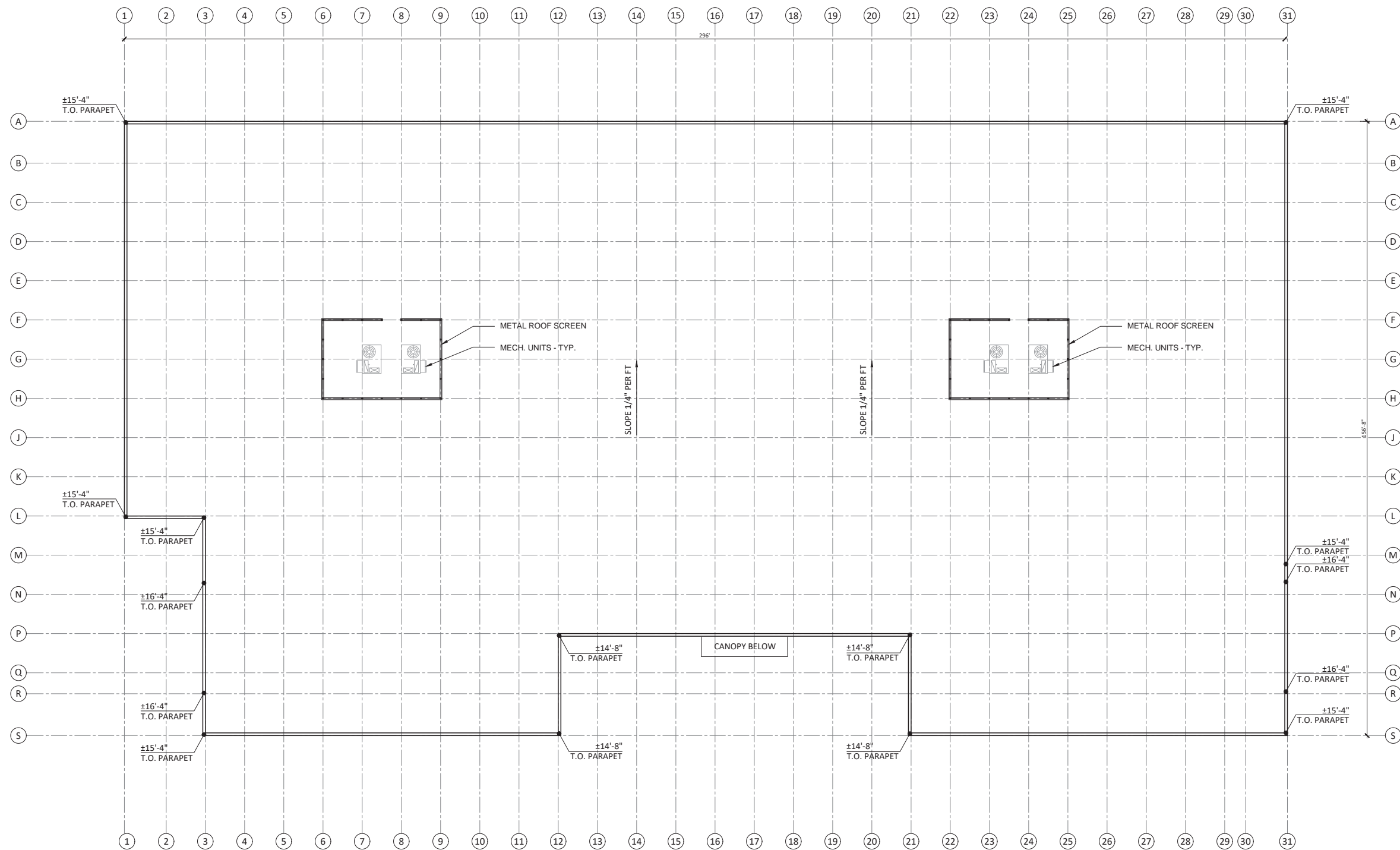


WEST STANFORD RANCH ROAD | ROCKLIN, CA

BUILDING 1 - CONCEPTUAL ROOF PLAN
05.10.21

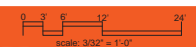


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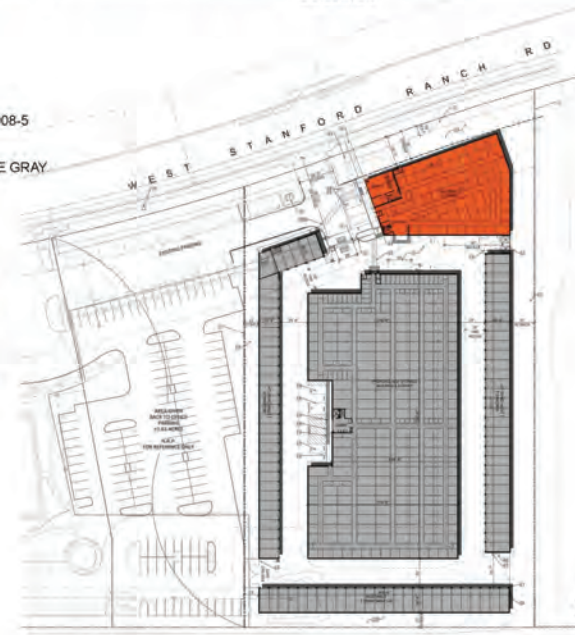
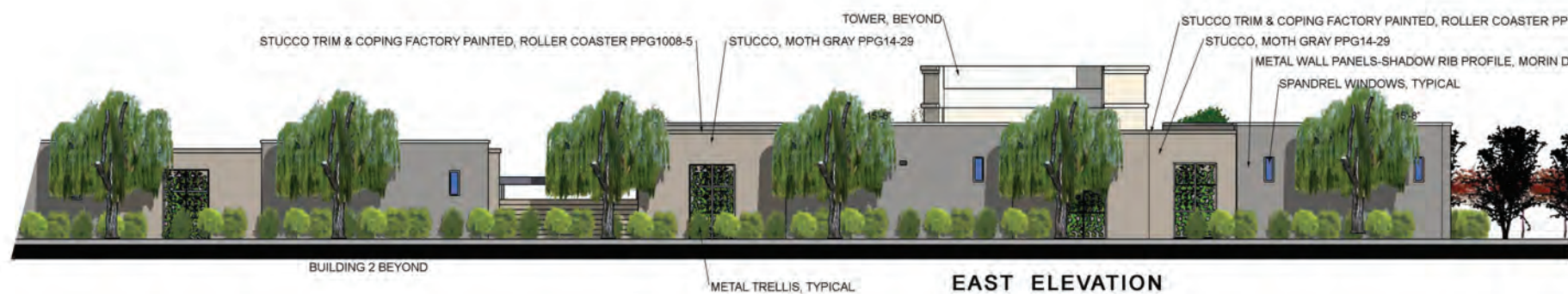
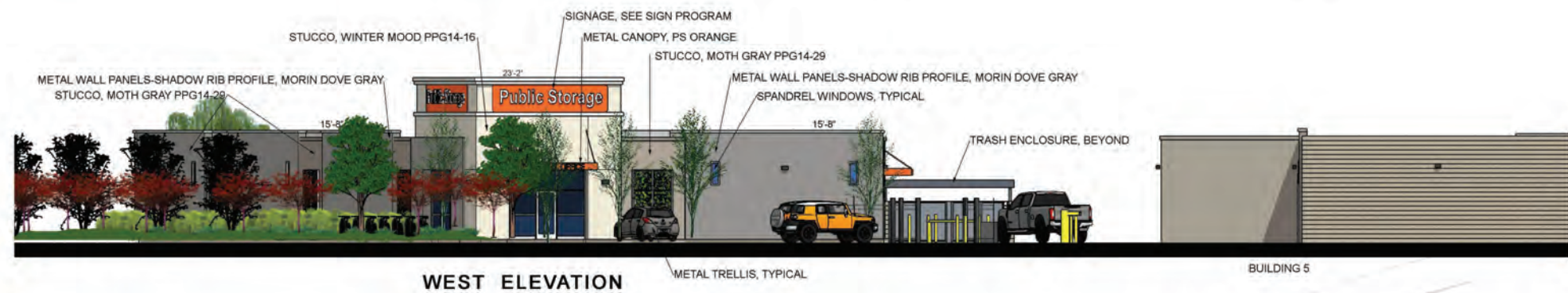
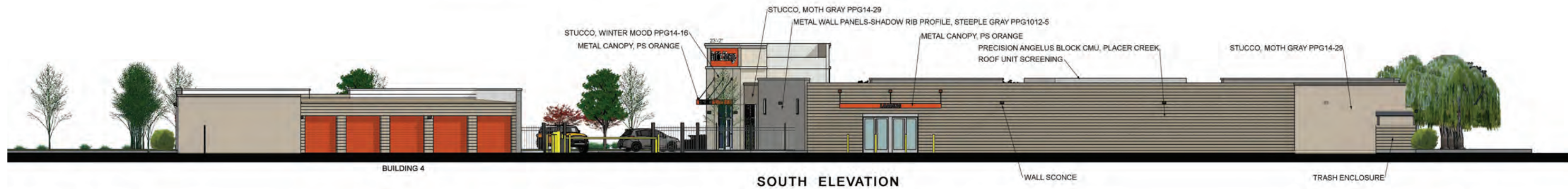
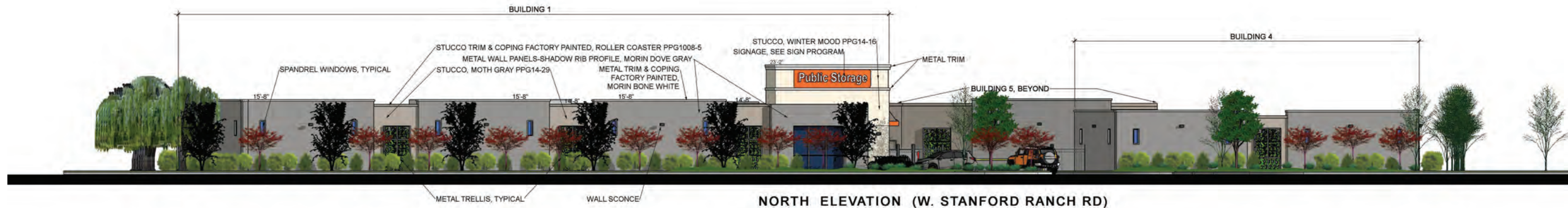


WEST STANFORD RANCH ROAD | ROCKLIN, CA

BUILDING 5 - CONCEPTUAL ROOF PLAN
05.10.21



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WEST STANFORD RANCH RD, ROCKLIN | CA

BLDG 1 - CONCEPT ELEVATIONS

05.26.21



SHEET 7



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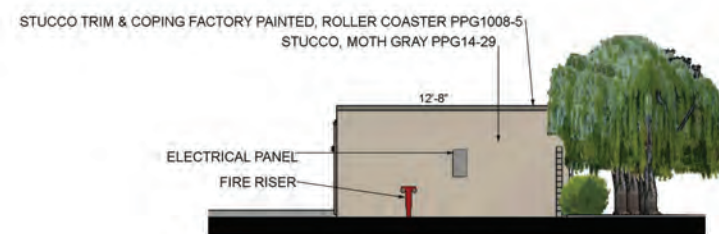
EAST ELEVATION

METAL TRELLIS, TYPICAL



WEST ELEVATION

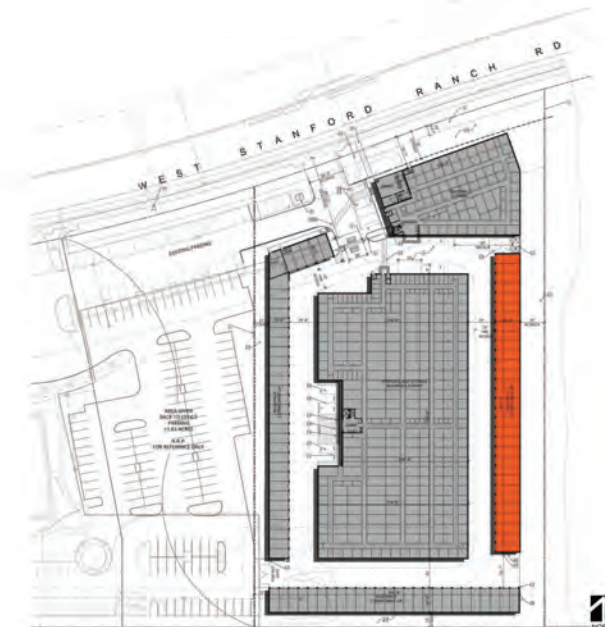
PRECISION ANGELUS BLOCK CMU, PLACER CREEK

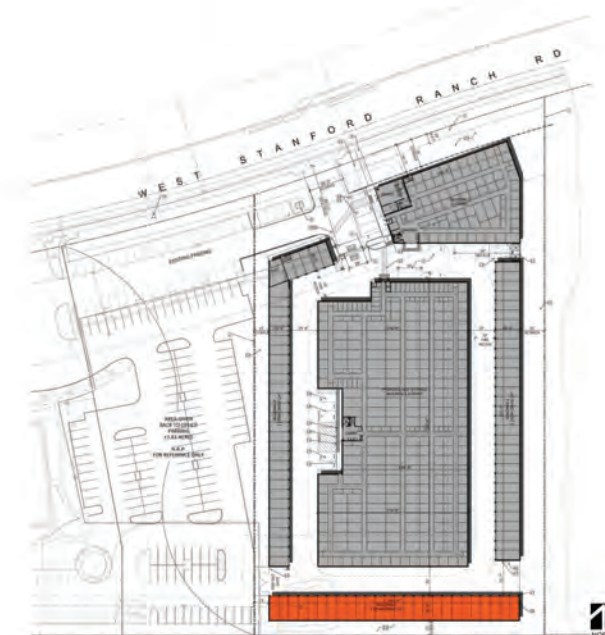
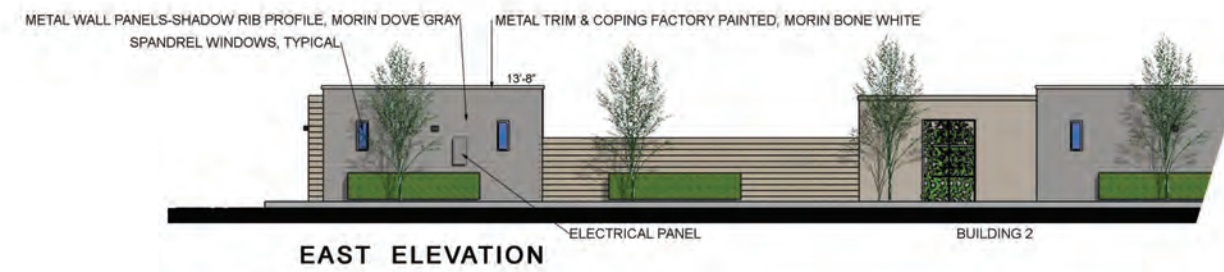
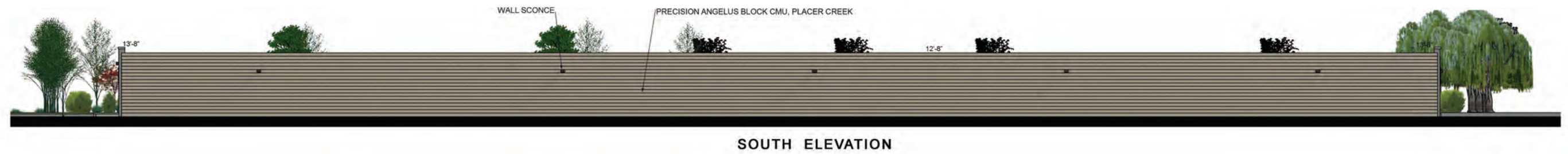
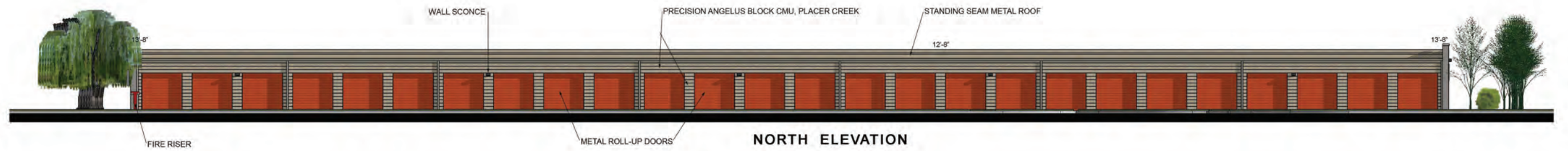


SOUTH ELEVATION



NORTH ELEVATION





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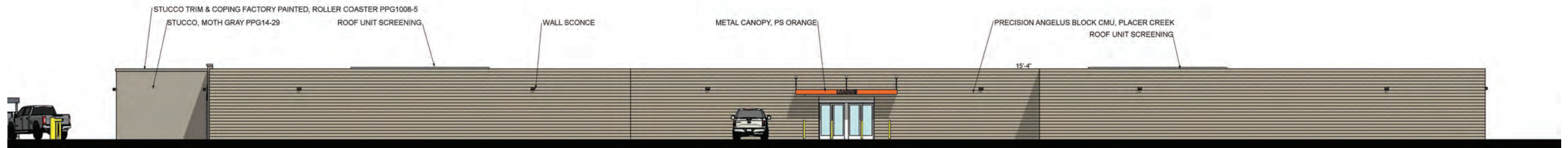
BLDG 3 - CONCEPT ELEVATIONS

05.26.21



SHEET 9

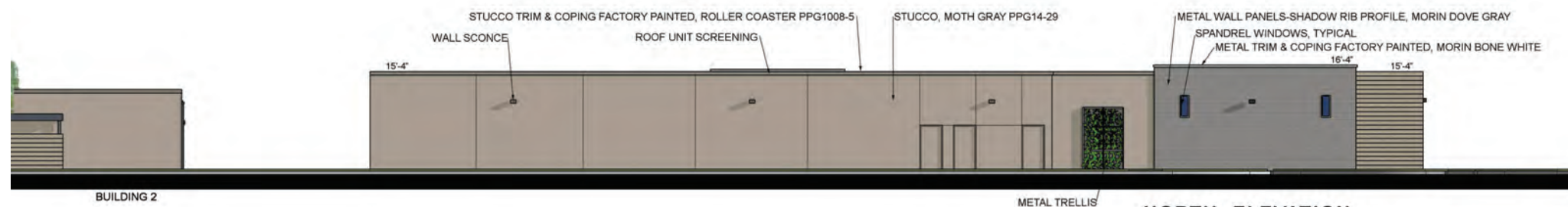




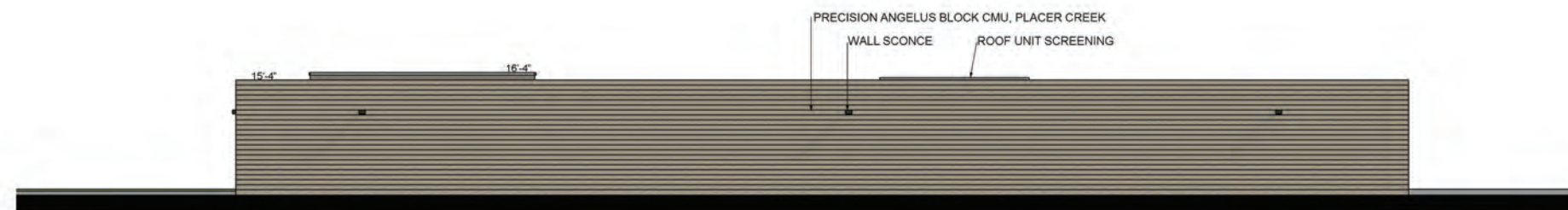
WEST ELEVATION



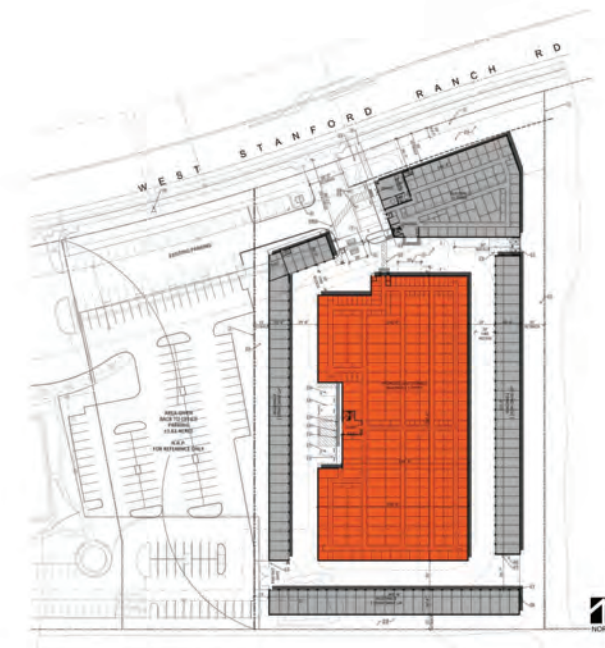
EAST ELEVATION



NORTH ELEVATION

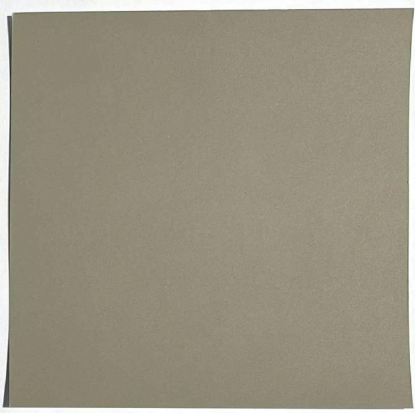


SOUTH ELEVATION

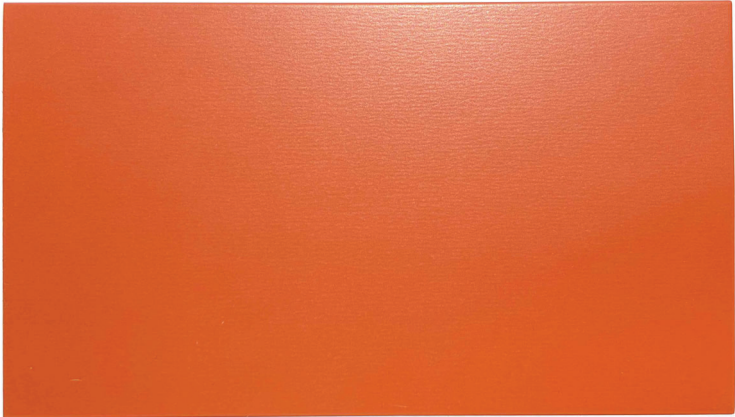




METAL TRIM AND COPING -
FACTORY PAINTED BONE WHITE



STUCCO TRIM AND COPING -
ROLLER COASTER PPG1008-5



METAL CANOPY -
MAPES - PS ORANGE

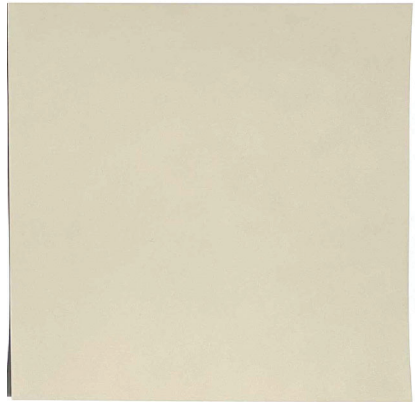
ROLLUP DOORS -
METAL-
PS ORANGE



STOREFRONT FRAMING -
ARCADIA - CLEAR ANODIZED
ALUMINUM



METAL WALL PANEL -
MORIN SHADOW RIB -
DOVE GRAY



STUCCO -
MOTH GRAY PPG1024-4



STUCCO -
WINTER MOOD PPG14-16



PRECISION CMU BLOCK -
ANGELUS BLOCK -
PLACER CREEK



SPANDREL GLASS



INSULATED GLAZING UNIT -
LOW E - CLEAR



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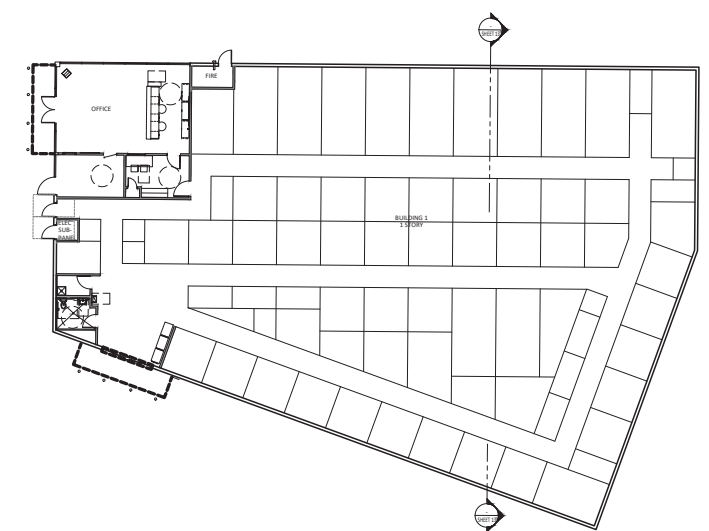
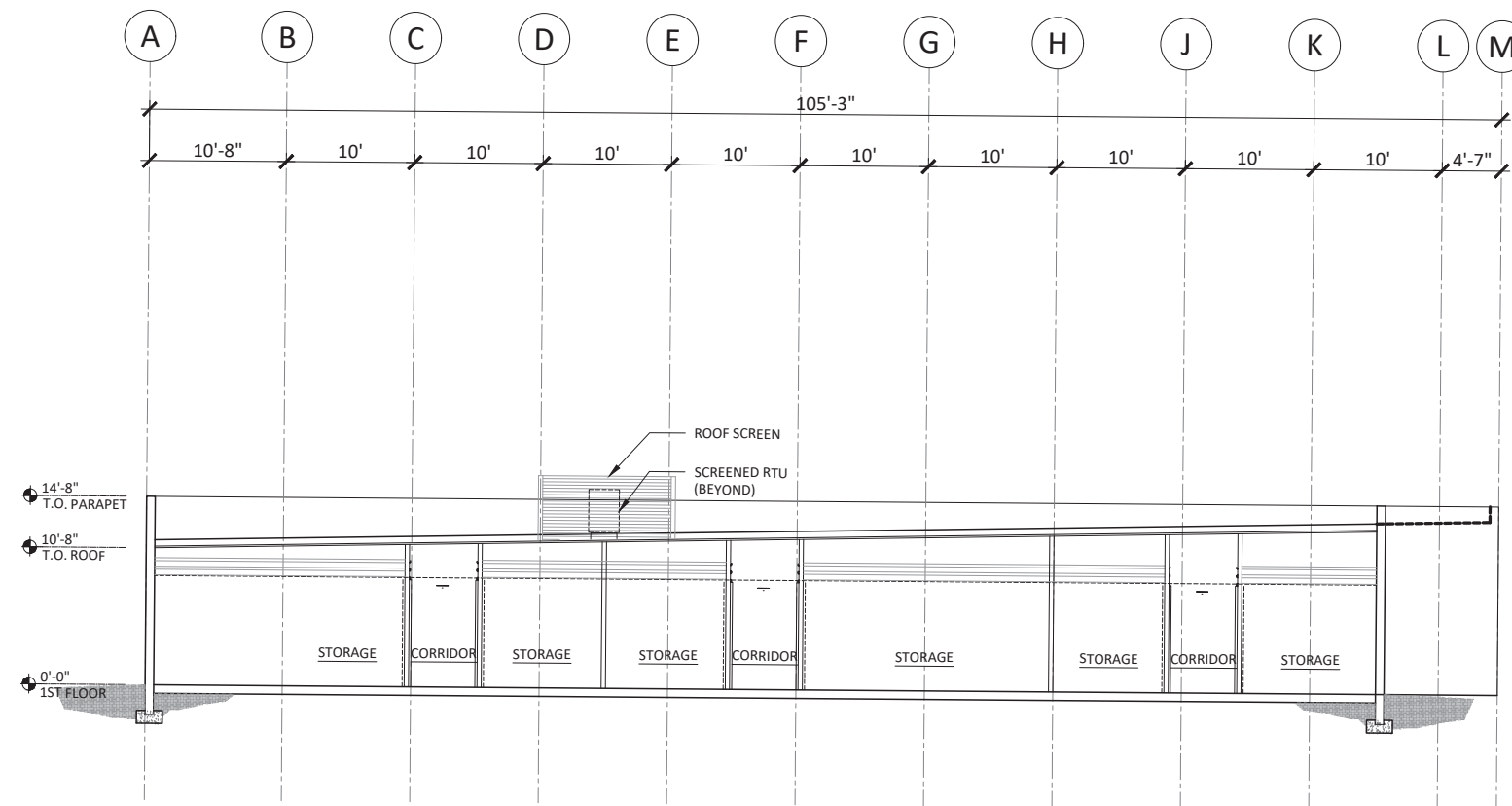
VIEW FROM W. STANFORD RANCH RD

05.26.21

SHEET 12



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WEST STANFORD RANCH ROAD | ROCKLIN, CA

BUILDING 1 - CONCEPTUAL BUILDING SECTION
05.10.21



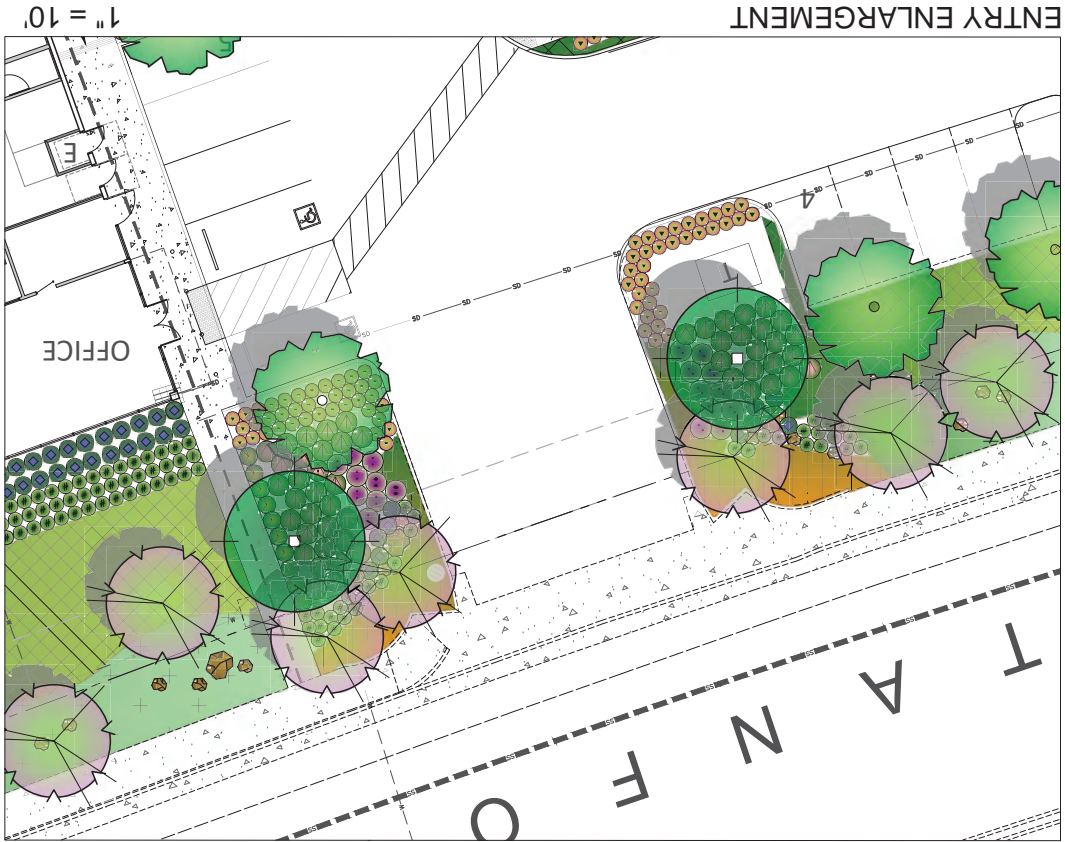
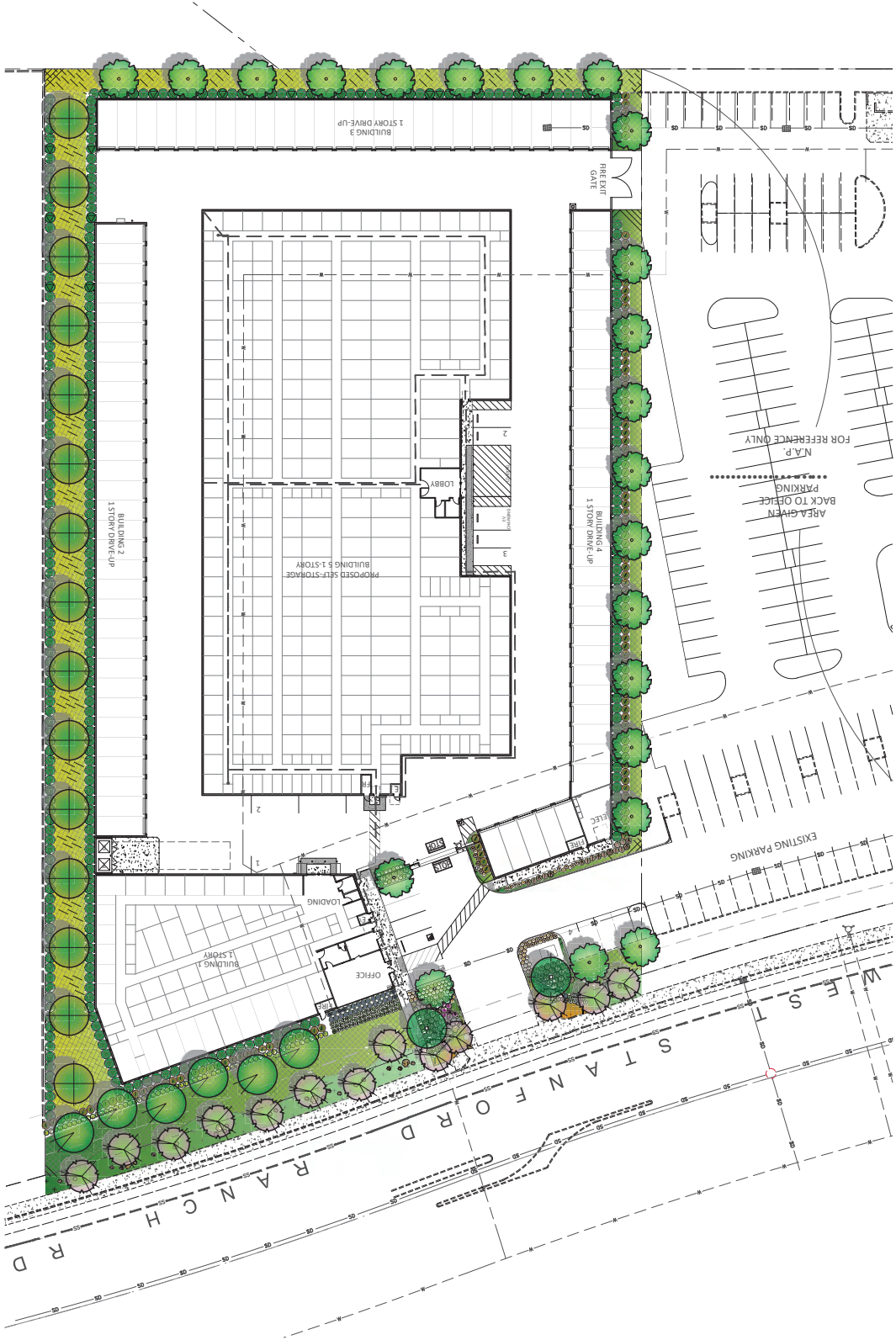
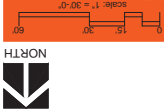
SHEET 13
KSP
STUDIO
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WEST STANFORD RANCH ROAD | ROCKLIN, CA

04.29.21

CONCEPTUAL LANDSCAPE PLAN



PLANT LEGEND					
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	WATER USE
	EUCALYPTUS NICHOLII	WILLOW LEAF PEPPERMINT	15 GAL	15	LOW
	LAGERSTROEMIA INDICA	MUSKOGEE	15 GAL	13	LOW
	LAURUS NOBILIS	SWEET BAY	15 GAL	22	LOW
	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	15 GAL	2	MODERATE
	ZELKOVA SERATA	VILLAGE GREEN	15 GAL	7	MODERATE
	CISTUS PURPUREUS	PURPLE ROCKROSE	5 GAL	19	LOW
	DIANELLA REVOLUTA	LITTLE REV PLAX LILY	5 GAL	89	LOW
	DIETES BICOLOR	YELLOW FORTNIGHT LILY	5 GAL	71	LOW
	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	108	LOW
	LAVANDULA GOODWINII	GOODWIN CREEK LAVENDER	5 GAL	38	LOW
	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL	74	LOW
	RHAPHIOLEPIS UMBELLATA	VEDDO HAWTHORNE	5 GAL	126	LOW
	RHAMNUS CALIFORNICA	COFFEEBERRY	5 GAL	348	LOW
	BACCHARIS PILULARIS	DWARF COYOTE BUSH	1 GAL	@ 48" OC	LOW
	BULBINE FRUTESCENS	ORANGE BULBINE	1 GAL	@ 48" OC	LOW
	ROSMARINUS PROSTRATUS	DWARF ROSEMARY	1 GAL	@ 36" OC	LOW
	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	1 GAL	@ 48" OC	MODERATE
	ANGULAR GRANITE BOULDER				

LANDSCAPE NOTES

- ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM.
- LANDSCAPING IS TO CONFORM TO ALL APPLICABLE CODES & ORDINANCES.
- PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL ON-SITE LANDSCAPING AS SHOWN.
- ALL TREES WITHIN 5' OF HARDSCAPE TO HAVE A 12" DEEP LINEAR ROOT BARRIER.
- ALL PLANTER AREAS TO RECEIVE A 3" LAYER OF SHREDED ORGANIC MULCH.
- SOIL COMPACTION TO BE NO GREATER THAN 85% ON LANDSCAPE AREAS.
- ALL FINISH GRADES TO BE 1-1/2" BELOW FINISH SURFACE PAVING.
- AGRONOMIC/ SOIL TESTING REPORT TO BE PROVIDED BY CONTRACTOR.

OAK TREE REPORT

- NO OAK TREES ARE LOCATED ON THE PROPERTY

ON-SITE LANDSCAPE PERCENTAGE

SITE AREA GROSS = 154,202 SQ. FT.
SITE LANDSCAPE AREA = 32,092 SQ. FT.
PERCENTAGE 20.8% (MIN. 20% REQUIRED)



EUCALYPTUS NICHOLII



LAGERSTROEMIA 'MUSKOGEE'



LAURUS NOBILIS



MAGNOLIA GRANDIFLORA



ZELKOVA SERRATA 'VILLAGE GREEN'



BACCHARIS 'CENTENNIAL'



BULBINE FRUTESCENS 'HALLMARK'



CISTUS PURPUREUS



DIANELLA REVOLUTA 'LITTLE REV'



DIETES BICOLOR



HESPERALOE PARVIFLORA



LAVANDULA 'GOODWIN CREEK'



MUHLENBERGIA RIGENS



RHAMNUS CALIFORNICA



RHAPHIOLEPIS UMBELLATA 'MINOR'

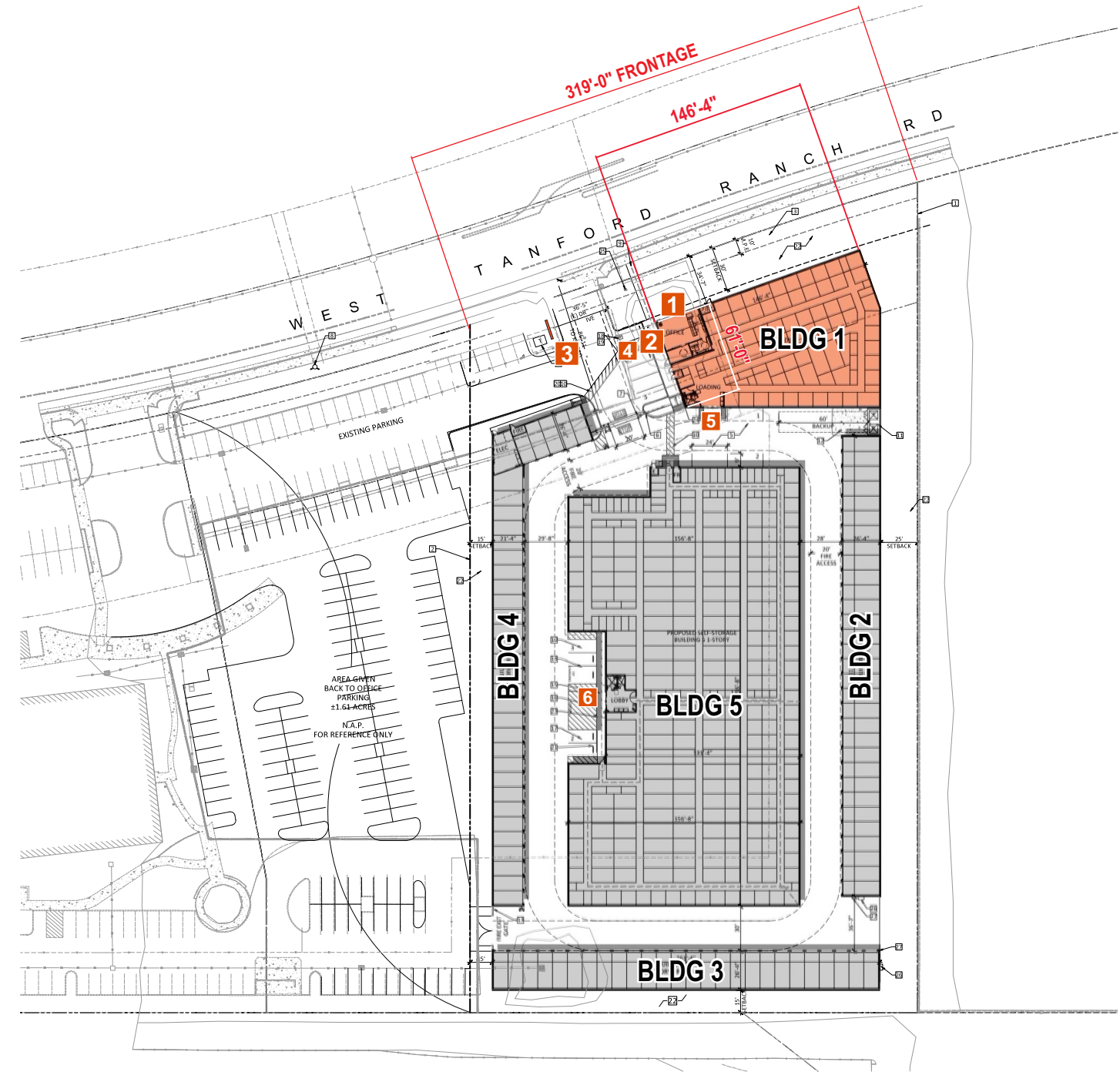


ROSMARINUS O. 'PROSTRATUS'



TRACHELOSPERMUM JASMINOIDES





AERIAL SITE PLAN
SCALE: 1"=100'-0"

TEMPORARY SIGNS & BANNERS

'1' PER STREET FRONTAGE - PERMIT REQUIRED
CONDITIONS: FOR 20 CONSECUTIVE DAYS X 3 PER CALENDAR YEAR.

BUILDING PAINT NOTE (PER CODE)

NOT STIPULATED IN CODE / SUBMIT EXACT SPECIFICS FOR REVIEW

BUILDING SIGNS

CODE REQUIREMENTS:
• '2' SF PER LINEAR FT OF EACH BUILDING FRONTAGE
UP TO 100 LF PER BUILDING.
BUILDING FRONTAGE EXCEEDING 100 FT ARE ALLOWED
1 ADD'L SF PER EACH LF ABOVE 100

NEW BUILDING 1:

■ NORTH ELEVATION -	246.0 SF ALLOWED
■ EAST ELEVATION -	NO FRONTAGE
■ SOUTH ELEVATION -	NO FRONTAGE
■ WEST ELEVATION -	122.0 SF ALLOWED

PRIMARY GROUND SIGNS

CODE REQUIREMENTS:
• '1' ALLOWED PER 200 LF OF STREET FRONTAGE
• 100 SF MAX. 15 FT OAH
• MIN 3'-0" SETBACK FROM ROW W/ AN ADD'L
1'-0" SETBACK FOR EACH FT IN OAH OVER
5'-0" UP TO MAX OF 25'-0" SETBACK

WINDOW SIGNS

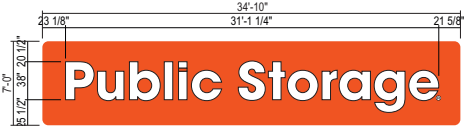
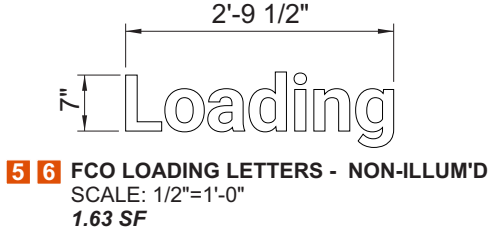
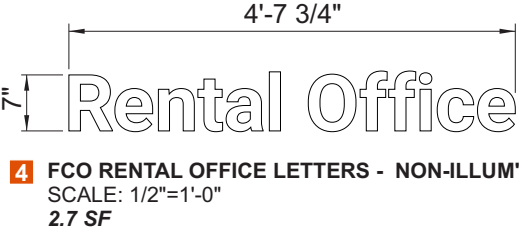
CODE REQUIREMENTS:
• NOT STIPULATED

DIRECTIONAL SIGNS

• 1 PER DRIVEWAY & 1 PER SERVICE ENTRANCE
• NTE 10 SF IN AREA
• MIN 5FT SETBACK + 1 ADDT'L FT >5FT UP TO MAX OF 10FT FOR FREESTANDING

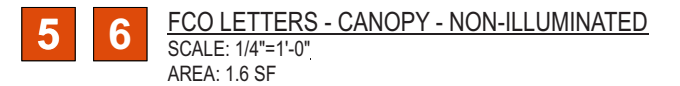
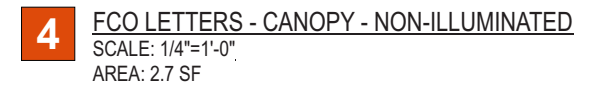
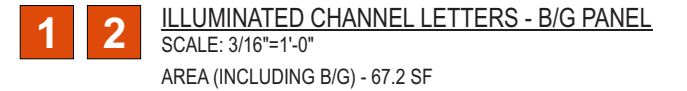
CANOPY SIGNS

CODE REQUIREMENTS
• NOT SPECIFICALLY ADDRESSED -
COUNTS AS WALL SIGNAGE OR
AS DIRECTIONAL SIGNAGE



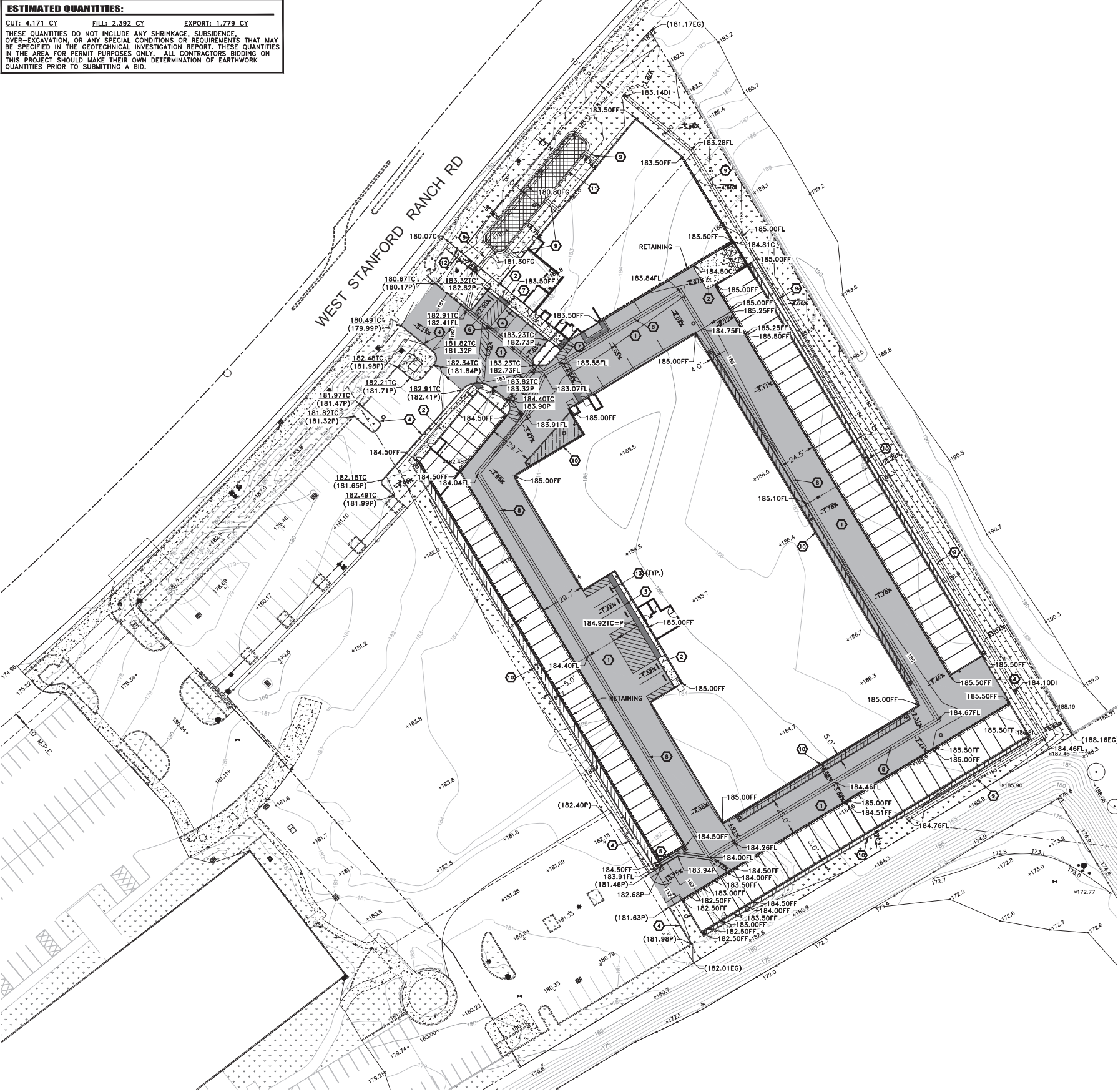
It is the intent and purpose of this color rendering to provide a basic color representation of your sign finish and color. However, digital media cannot accurately represent the actual paint finish and color. Existing painted surfaces will have a perceptible difference in shade and sheen from your sign finish. Providing a sample of the paint you wish to match or a Matthews paint color formula will minimize the differences.

 ...bringing your image to light! 16265 Star Road Nampa, ID 83687 - toll free: 800.592.8058 - tele: 208.345.4020 WWW.imagenational.com	 UNDERWRITERS LABORATORIES ELECTRIC SIGN NAMPA PLANT - UL #433195-001 U.S. & P.R. - All signs conform to UL-48/2161 (labeled accordingly) & must comply with UL-41.1 install procedures. Canada - all signs must be CAS compliant. This sign(s) is intended to be installed in accordance with requirements of article 600 of the National Electrical Code and/or applicable local codes. This includes proper grounding and bonding of the sign.	Client: PUBLIC STORAGE Site:	Design Number: TG-0975-21	File Location: PBS-RocklinCA-MATRIX-050621	Page No. 1 of 2
			Date: 5/6/21	Drawing type: Code Matrix / Conceptual	
			Designer: TRH	Rev:	
			Account Manager: JG		



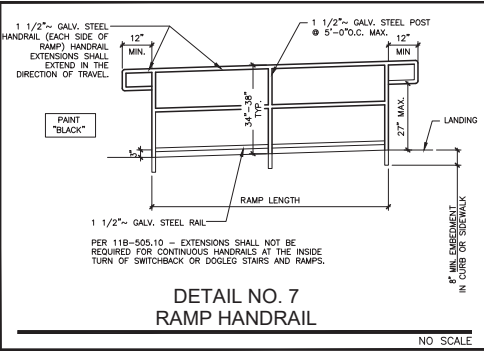
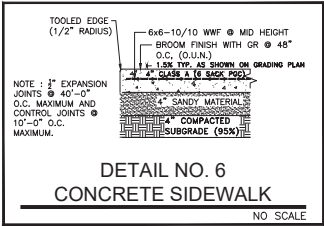
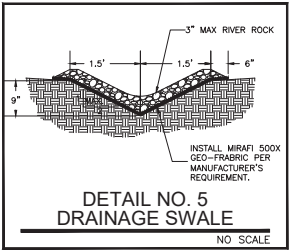
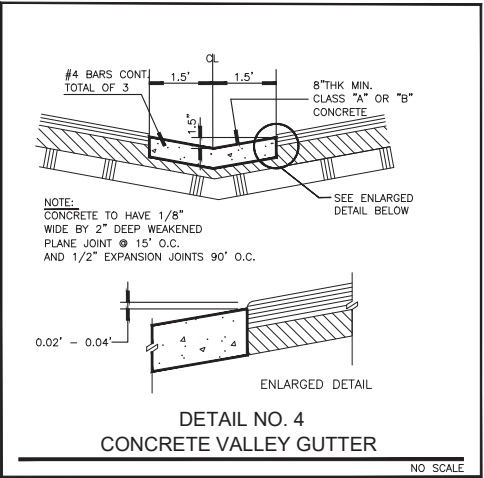
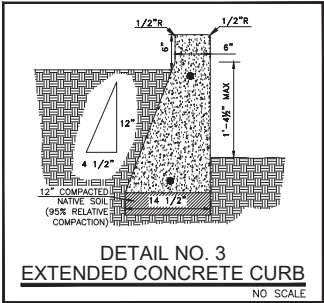
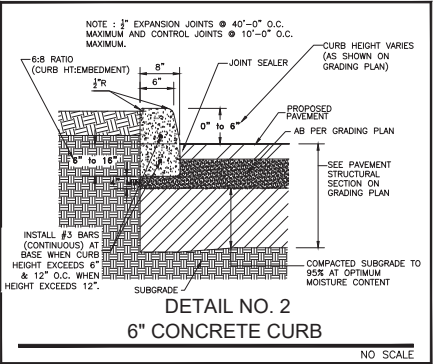
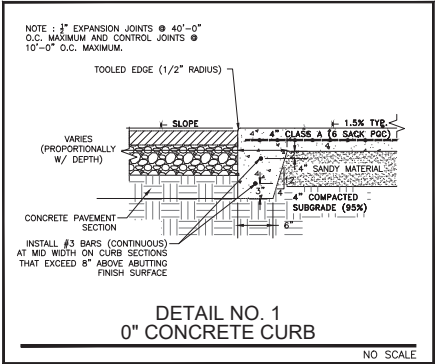
2 of 2

ESTIMATED QUANTITIES:
CUT: 4,171 CY FILL: 2,392 CY EXPORT: 1,779 CY
THESE QUANTITIES DO NOT INCLUDE ANY SHRINKAGE, SUBSIDENCE, OVER-EXCAVATION, OR ANY SPECIAL CONDITIONS OR REQUIREMENTS THAT MAY BE SPECIFIED IN THE GEOTECHNICAL INVESTIGATION REPORT. THESE QUANTITIES IN THE AREA FOR PERMIT PURPOSES ONLY. ALL CONTRACTORS BIDDING ON THIS PROJECT SHOULD MAKE THEIR OWN DETERMINATION OF EARTHWORK QUANTITIES PRIOR TO SUBMITTING A BID.



GRADING LEGEND:	
	PROPOSED CONCRETE
	PROPOSED AC PAVEMENT
	CONSTRUCT GRADE BREAK
	PROPOSED IMPERVIOUS SURFACE SLOPE
	EXISTING ELEVATION
	PROPOSED CONTOUR ELEVATION LINE
	EXISTING CONTOUR ELEVATION LINE
	DRAIN INLET
	FINISHED FLOOR
	TOP OF CURB ELEVATION
	0' CURB ELEVATION
	CONCRETE ELEVATION
	PAVEMENT ELEVATION
	EXISTING PAVEMENT ELEVATION
	EXISTING GRADE

- GRADING CONSTRUCTION NOTES:**
- PROPOSED AC PAVEMENT
 - PROPOSED CONCRETE PAVEMENT
 - PROPOSED 0' CONCRETE CURB
 - PROPOSED 6' CONCRETE CURB
 - PROPOSED RETAINING CURB
 - PROPOSED ACCESSIBLE PARKING & LOADING/UNLOADING
 - PROPOSED CURB RAMP PER ADA STANDARDS
 - PROPOSED 3' VALLEY GUTTER
 - PROPOSED 3' DRAINAGE SWALE
 - PROPOSED FLOW THROUGH PLANTER PER DETAIL ON SHEET C3.0
 - PROPOSED BIO-RETENTION BASIN PER DETAIL ON SHEET C3.0
 - PROPOSED HANDRAIL
 - PROPOSED CONCRETE WHEELSTOP



WEST STANFORD RANCH ROAD | ROCKLIN, CA

PRELIMINARY GRADING & DRAINAGE PLAN
05.26.2021



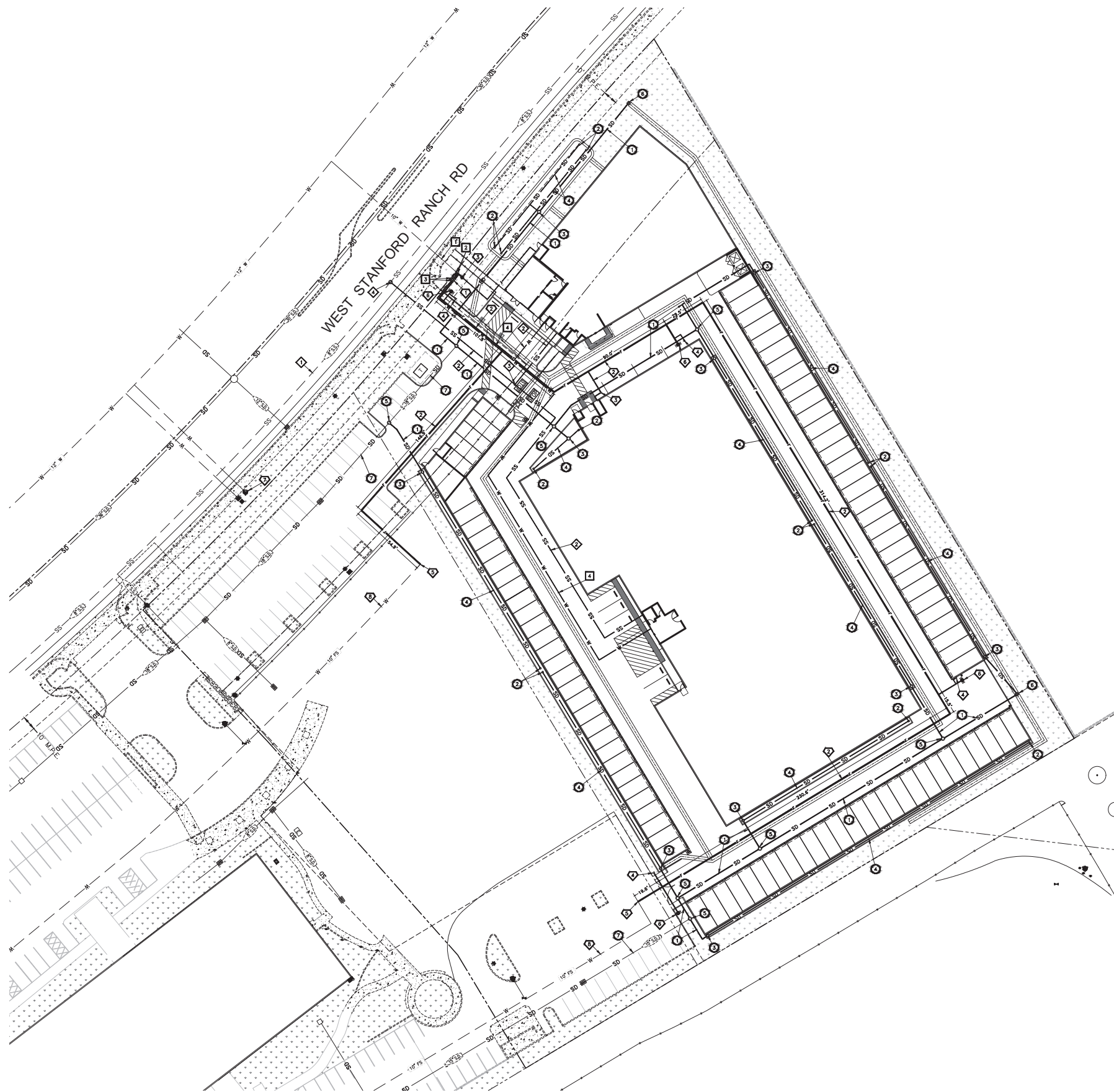
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4694 WEST JACQUELYN AVENUE - FRESNO, CALIFORNIA 93722
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SHEET C1.0



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LEGEND:	
	EXISTING WATER MAIN PIPE AND VALVE.
	PROPOSED WATER MAIN PIPE AND VALVE.
	PROPOSED WATER SERVICE WITH REDUCED PRESSURE BACKFLOW ASSEMBLY, METER AND METER BOX
	PROPOSED FIRE DEPARTMENT CONNECTION
	PROPOSED FIRE SERVICE WITH VALVE, DOUBLE DETECTOR VALVE AND POST INDICATOR VALVE.
	PROPOSED FIRE HYDRANT.
	PROPOSED FIRE SERVICE MAIN PIPE AND VALVE.
	EXISTING SANITARY SEWER PIPE AND MANHOLE.
	PROPOSED SANITARY SEWER PIPE AND MANHOLE
	PROPOSED SEWER LATERAL.
	PROPOSED SANITARY SEWER SERVICE PIPE AND CLEAN OUT
	EXISTING STORM DRAIN MAIN PIPE AND MANHOLE.
	PROPOSED STORM DRAIN PIPE AND MANHOLE.
	CATCH BASIN
	PROPOSED IRRIGATION SERVICE WITH REDUCED PRESSURE BACKFLOW ASSEMBLY, METER AND METER BOX

SEWER CONSTRUCTION SYMBOLS	
	EXISTING SEWER MAIN.
	PROPOSED SERVICE LATERAL, BUILDING SERVICE LINES TO BE STUBBED 5' FROM BUILDING
	PROPOSED SEWER CLEANOUT
	PROPOSED SEWER MANHOLE.

WATER CONSTRUCTION SYMBOLS	
	EXISTING WATER LINE.
	PROPOSED WATER SERVICE AND METER PER CITY STANDARDS.
	PROPOSED BACKFLOW PREVENTION DEVICE
	PROPOSED WATER LINE TO BE STUBBED 5' FROM BUILDING.

FIRE SYSTEM CONSTRUCTION SYMBOLS	
	PROPOSED BACKFLOW PREVENTION DEVICE
	PROPOSED FIRE SERVICE LINE
	PROPOSED PIV
	PROPOSED FDC
	TIE TO EXISTING FIRE LINE
	PROPOSED FIRE HYDRANT
	EXISTING PUBLIC FIRE HYDRANT
	EXISTING FIRE LINE

STORM DRAIN CONSTRUCTION SYMBOLS AND NOTES:	
	PROPOSED STORM DRAIN LINE
	PROPOSED STORM DRAIN CLEANOUT
	PROPOSED OVERFLOW RISER WITH GRATE
	PROPOSED PERFORATED PIPE
	PROPOSED STORM MANHOLE
	PROPOSED DRAIN INLET
	EXISTING STORM MAIN/LATERAL TO REMAIN

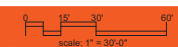


WEST STANFORD RANCH ROAD | ROCKLIN, CA

PRELIMINARY UTILITY PLAN
05.26.2021



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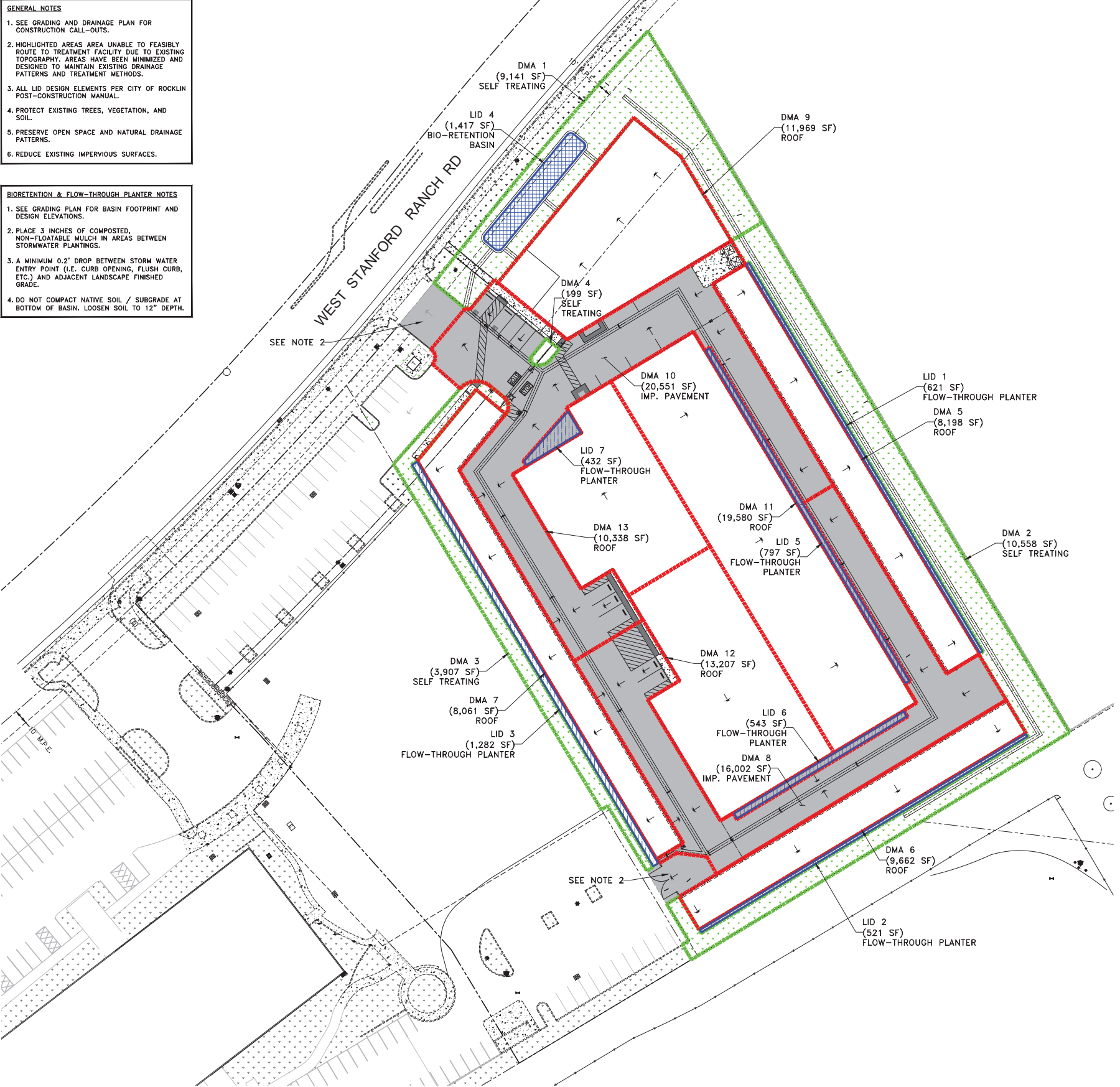
SHEET C2.0



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- GENERAL NOTES**
1. SEE GRADING AND DRAINAGE PLAN FOR CONSTRUCTION CALL-OUTS.
 2. HIGHLIGHTED AREAS ARE UNABLE TO FEASIBLY ROUTE TO TREATMENT FACILITY DUE TO EXISTING TOPOGRAPHY. AREAS HAVE BEEN MINIMIZED AND DESIGNED TO MAINTAIN EXISTING DRAINAGE PATTERNS AND TREATMENT METHODS.
 3. ALL LID DESIGN ELEMENTS PER CITY OF ROCKLIN POST-CONSTRUCTION MANUAL.
 4. PROTECT EXISTING TREES, VEGETATION, AND SOIL.
 5. PRESERVE OPEN SPACE AND NATURAL DRAINAGE PATTERNS.
 6. REDUCE EXISTING IMPERVIOUS SURFACES.

- BIORETENTION & FLOW-THROUGH PLANTER NOTES**
1. SEE GRADING PLAN FOR BASIN FOOTPRINT AND DESIGN ELEVATIONS.
 2. PLACE 3 INCHES OF COMPOSTED, NON-FLOATABLE MULCH IN AREAS BETWEEN STORMWATER PLANTINGS.
 3. A MINIMUM 0.2" DROP BETWEEN STORM WATER ENTRY POINT (I.E. CURB OPENING, FLUSH CURB, ETC.) AND ADJACENT LANDSCAPE FINISHED GRADE.
 4. DO NOT COMPACT NATIVE SOIL / SUBGRADE AT BOTTOM OF BASIN. LOOSEN SOIL TO 12" DEPTH.



LEGEND:

[Pattern]	DMA AREA - LANDSCAPE/DIRT (PERMEABLE)
[Pattern]	LID BMP AREA - FLOW-THROUGH PLANTER (SEE DETAIL BELOW)
[Pattern]	LID BMP AREA - BIO-RETENTION BASIN (SEE DETAIL BELOW)
[Pattern]	IMPERVIOUS DMA AREA
[Pattern]	PERVIOUS DMA AREA
[Pattern]	LID BMP
[Pattern]	OVERLAND RELEASE PATH

SITE INFORMATION:

SITE AREA:	154,202 SF
EXISTING PERVIOUS AREA:	146,730 SF
EXISTING IMPERVIOUS AREA:	7,472 SF
PROPOSED PERVIOUS AREA:	25,324 SF
PROPOSED IMPERVIOUS AREA:	128,878 SF

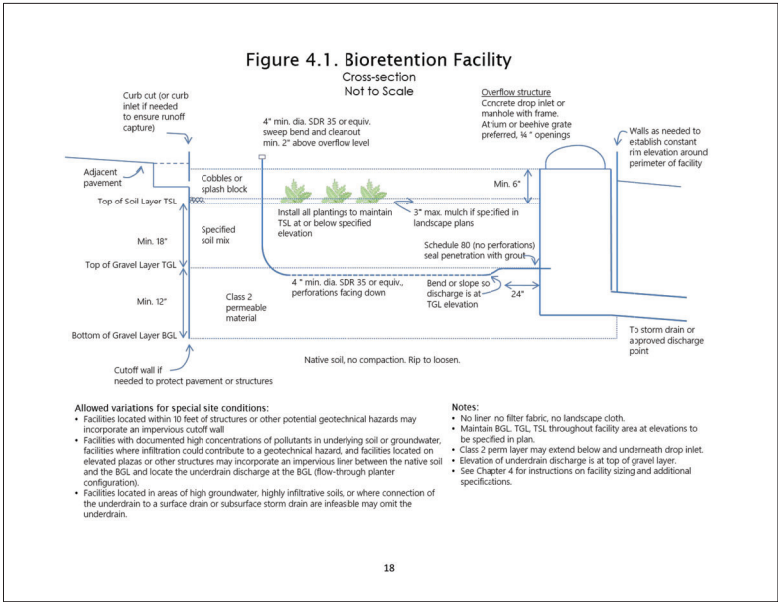
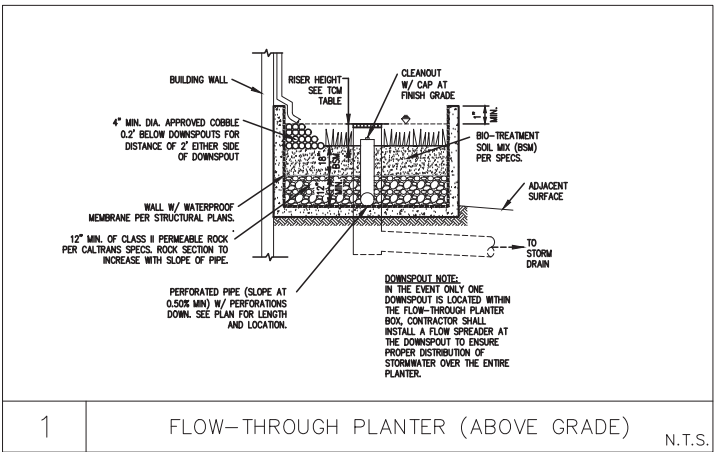
Self Treating Areas

DMA Name	Area (sf)
1	9157
2	12924
3	3907
4	199

DMA Name	Area (sf)	Surface Type	DMA Runoff Factor	Area x Factor	Sizing Factor	Min. Facility Area (sf)	Proposed Facility Area (sf)	Proposed Facility Name
5	8198	Roof	1	8198	0.04	328	621	LID 1
6	6881	Roof	1	6881	0.04	275	521	LID 2
7	8061	Roof	1	8061				
8	16009	Pavement	1	16009				
7+8	24070			24070	0.04	963	1282	LID 3
9	11969	Roof	1	11969				
10	20551	Pavement	1	20551				
9+10	32520			32520	0.04	1301	1417	LID 4
11	19580	Roof	1	19580	0.04	783	797	LID 5
12	13207	Roof	1	13207	0.04	528	543	LID 6
13	10338	Roof	1	10338	0.04	414	432	LID 7

LID Areas

Areas (sf)	Facility Type
621	Flow-Through Planter
521	Flow-Through Planter
1282	Flow-Through Planter
1417	Bio-Retention Basin
797	Flow-Through Planter
543	Flow-Through Planter
432	Flow-Through Planter



WEST STANFORD RANCH ROAD | ROCKLIN, CA

PRELIMINARY STORMWATER CONTROL PLAN
05.26.2021



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