



AGENDA

CITY OF ROCKLIN PLANNING COMMISSION

DATE: 02/02/2016

TIME: 6:30 PM

PLACE: Council Chambers, 3970 Rocklin Road

www.rocklin.ca.us

CITIZENS ADDRESSING THE COMMISSION

Citizens may address the Planning Commission on any items on the agenda, when the item is considered. Citizens wishing to speak may request recognition from the presiding officer by raising his or her hand and stepping to the podium when requested to do so. An opportunity will be provided for citizens wishing to speak on non-agenda items to similarly request recognition and address the Planning Commission. Three to five-minute time limits may be placed on citizen comments.

All persons with electronic presentations for public meetings will be required to bring their own laptop or other form of standalone device that is HDMI or VGA compatible. It is further recommended that presenters arrive early to test their presentations. The City is not responsible for the compatibility or operation of non-city devices or the functionality of non-city presentations.

ACCOMMODATING THOSE INDIVIDUALS WITH SPECIAL NEEDS

In compliance with the Americans with Disabilities Act, the City of Rocklin encourages those with disabilities to participate fully in the public hearing process. If you have a special need in order to allow you to attend or participate in our public hearing process or programs, please contact our office at (916) 625-5160 well in advance of the public hearing or program you wish to attend so that we may make every reasonable effort to accommodate you.

WRITTEN MATERIAL INTRODUCED INTO THE RECORD

Any citizen wishing to introduce written material into the record at the hearing on any item is requested to provide a copy of the written material to the Planning Department prior to the hearing date so that the material may be distributed to the Planning Commission prior to the hearing.

COURT CHALLENGES AND APPEAL PERIOD

Court challenges to any public hearing items may be limited to only those issues which are raised at the public hearing described in the notice or in written correspondence delivered to the City at or prior to the public hearing. (Government Code Section 65009)

There is a 10-day appeal period for most Planning Commission decisions. However, a Planning Commission approval of a tentative parcel map has a 15-day appeal period. Appeals can be made by any interested party upon payment of the appropriate fee and submittal of the appeal request to the Rocklin City Clerk or the Planning Department, 3970 Rocklin Road, Rocklin.

FURTHER INFORMATION

Any person interested in an agenda item may contact the Planning Staff prior to the meeting date, at 3970 Rocklin Road, Rocklin, CA 95677 or by phoning (916) 625-5160 for further information.

Any writing related to an agenda item for the open session of this meeting distributed to the Planning Commission less than 72 hours before this meeting is available for inspection at the Community Development Department, 3970 Rocklin Road, First Floor, Rocklin, during normal business hours. These writings will also be available for review at the Planning Commission meeting in the public access binder located at the back table in the Council Chambers.

INTRODUCTION

1. **Meeting called to Order**
2. **Pledge of Allegiance**
3. **Roll Call**
4. **Minutes**
 - a. December 15, 2016
5. **Correspondence**
6. **Citizens Addressing the Commission on Non Agenda Items**

CONSENT ITEMS - None

PUBLIC HEARINGS

7. **APPEAL OF FREESTANDING SIGN APPROVAL FOR ROCKLIN DEL RIO SELF STORAGE** **Continued from November 3, 2015**

The Yankee Hill Estates Homeowners' Association has submitted an appeal to the administrative approval of the sign permit for the construction of the new freestanding sign at the northwest corner of Pacific Street and Americana Way for Rocklin Del Rio Self Storage.

8. **VERIZON WIRELESS @ PACIFIC STREET DESIGN REVIEW, DR2014-0014 CONDITIONAL USE PERMIT, U2014-0008** **Continued from December 15, 2015**

This application is a request for approval of a Design Review and Conditional Use Permit for a new wireless telecommunications facility including 12 panel antennas and associated equipment mounted on a 75-foot tall simulated water tower and tank and a back-up emergency diesel generator. The subject property is located at 4335 Pacific Street, APN: 045-021-009. The property is zoned Heavy Industrial (M-2). The General Plan designation is Heavy Industrial (HI).

A preliminary review of this project pursuant to the California Environmental Quality Act (CEQA) Section 15303 New Construction or Conversion of Small Structures has tentatively identified a Categorical Exemption as the appropriate level of environmental review for this project. The project site is not on any of the lists enumerated under Section 65962.5 of the Government Code related to hazardous wastes.

The applicant is Sacramento Valley Limited Partnership DBA Verizon Wireless. The property owner is Road Safety, Inc.

- a. Resolution of the Planning Commission of the City of Rocklin Approving a Notice of Exemption (Verizon Wireless on Pacific Street / DR2014-0014 and U2014-0008)
- b. Resolution of the Planning Commission of the City of Rocklin Approving a Conditional Use Permit to Allow the Operation of a Wireless Telecommunications Facility (Verizon Wireless On Pacific Street / U2014-0008)
- c. Resolution of the Planning Commission of the City of Rocklin Approving a Design Review to Install a Wireless Telecommunications Facility (Verizon Wireless on Pacific Street / DR2014-0014)

**9. CENTER AT SECRET RAVINE TIME EXTENSION
TENTATIVE PARCEL MAP, DL-2016-0001**

This application is a request for approval of a one-year extension of time for the previously approved project:

Center at Secret Ravine (DL-2009-03) – A tentative parcel map to allow the subdivision of 4.986 ± acres into 4 lots.

The proposed project site is generally located on the east side of Sierra College Boulevard, approximately 700 feet south of intersection/interchange of Sierra College Boulevard and Interstate 80, in the City of Rocklin. The Assessor's Parcel Number is 045-053-067.

A Mitigated Negative Declaration of Environmental Impacts was previously approved by the Rocklin City Council through Resolution No. 2011-144.

The property owner and applicant is Rocklin Holdings, LP.

- a. Resolution of the Planning Commission of the City of Rocklin Approving a One-Year Extension of a Tentative Parcel Map (Center at Secret Ravine Time Extension / DI2016-0001)

**10. ROCKLIN PARK SENIOR LIVING TIME EXTENSION
CONDITIONAL USE PERMIT, U-2016-0001**

This application is a request for approval of a one-year time extension of a Conditional Use Permit (U-2013-03) to convert the existing Rocklin Park Hotel and operate a senior living facility, including independent and assisted living in a Planned Development Commercial (PD-C) zone.

The subject property is located at 5450 China Garden Road, approximately 0.35 miles from the intersection of Aguilar Road and China Garden Road. APN 045-110-067.

The project was previously found to be categorically exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines through resolution PC-2013-64.

The property owner and the applicant is Omkar Rocklin, Inc.

- a. Resolution of the Planning Commission of the City of Rocklin Approving a One-Year Time Extension of a Conditional Use Permit to Allow the Conversion of the Rocklin Park Hotel Into and For the Operation of a Senior Living Facility in a PD-C Zone (Rocklin Park Senior Living Time Extension / U2016-0001)

NON PUBLIC HEARINGS

11. Informational Items and Presentations

- a. Final Landscape Templates

12. Reports and Discussion Items from Planning Commissioners

13. Reports from City Staff

14. Adjournment

CITY OF ROCKLIN
MINUTES OF THE PLANNING COMMISSION MEETING

December 15, 2015
Rocklin Council Chambers
Rocklin Administration Building
3970 Rocklin Road
(www.rocklin.ca.us)

1. Meeting Called to Order at 6:30 p.m.
2. Pledge of Allegiance was led by Commissioner Whitmore.
3. Roll Call

Commissioner Martinez
Commissioner Broadway, Vice Chairman - Excused
Commissioner Sloan
Commissioner McKenzie, Chairman – Excused
Commissioner Whitmore

Others Present:

DeeAnne Gillick, Deputy City Attorney
Ben Fu, Planning Services Manager
Marc Mondell, Director of Economic & Community Development
Laura Webster, Director of Long Range Planning
Dara Dungworth, Associate Planner
Dave Palmer, City Engineer
David Mohlenbrok, Mgr. Environmental Services
Jeffrey Tsumura, Assistant Planner
Terry Stemple, Planning Commission Secretary

About 6 others

4. **Minutes** – Minutes of November 17, 2015 were approved as submitted
5. **Correspondence** - One blue memo regarding Verizon @ Pacific
6. **Citizens Addressing the Commission on Non Agenda Items** - None

CONSENT ITEMS – None

PUBLIC HEARINGS

7. **THIS ITEM IS BEING RESCHEDULED TO JANUARY 19, 2016**
AND THE VENUE WILL BE RELOCATED TO THE ROCKLIN EVENT CENTER

NORTHERN CALIFORNIA BEHAVIORAL HOSPITAL
DESIGN REVIEW, DR2015-0011
TENTATIVE PARCEL MAP, DL2015-0002
CONDITIONAL USE PERMIT, U2015-0004
VARIANCE, V2015-0014

This application is a request for approval of a Design Review, Tentative Parcel Map, Conditional Use Permit, and Variance to allow the construction of a 58,000 SF behavior health hospital and a 6,400 SF medical office building. The subject site is generally located on the Northern side of West Ranch View Drive and University Ave, APN: 491-010-003 through 491-010-010. The property is zoned Planned Development Business Professional (PD-BP). The General Plan designation is Business Professional.

Notice is hereby given that the City of Rocklin will consider adoption of a Mitigated Negative Declaration for the development project described above. The project site is not on any of the lists enumerated under Section 65962.5 of the Government Code related to hazardous wastes.

The applicant is Universal Health Services, Inc. The property owner is Orchard Creek Investors, LLC.

- a. Resolution of the Planning Commission of the City of Rocklin Approving a Mitigated Negative Declaration of Environmental Impacts (Northern California Behavioral Hospital / DR2015-0011, DL2015-0002, U2015-0004, V2015-0004)
- b. Resolution of the Planning Commission of the City Of Rocklin Approving a Conditional Use Permit (Northern California Behavioral Hospital / U2015-0004)
- c. Resolution of the Planning Commission of the City of Rocklin Approving a Variance (Northern California Behavioral Hospital / V2015-0014)
- d. Resolution of the Planning Commission of the City of Rocklin Approving a Design Review (Northern California Behavioral Hospital / DR2015-0011)
- e. Resolution of the Planning Commission of the City of Rocklin Approving a Tentative Parcel Map (Northern California Behavioral Hospital / DL2015-0002)

8. CONTINUED FROM OCTOBER 20, 2015

RACETRACK SUBDIVISION TENTATIVE SUBDIVISION MAP, SD2014-0006 OAK TREE PRESERVATION PLAN PERMIT, TRE2015-0005

This application is a request for approval of a Tentative Subdivision Map to subdivide an approximately 3.77 acre parcel into ten (10) residential lots and an Oak Tree Preservation Plan Permit to allow the removal of oak trees. The subject property is generally located on the eastern leg of Racetrack Road at Sucker Ravine Creek. APN 045-090-003 and -004. The property is zoned Residential Single Family 6,000 square feet minimum lot size (R1-6). The General Plan designation is Medium Density Residential (MDR).

Notice is hereby given that the City of Rocklin will consider adoption of a Mitigated Negative Declaration for the development project described above. The project site is not on any of the lists enumerated under Section 65962.5 of the Government Code related to hazardous wastes.

The applicant is Ron Smith. The property owners are Equity Smart Investments LP, and Joseph and Marsha Conwill.

Dara Dungworth presented the staff report.

The Commission had questions for staff regarding:

1. Width of road at first hearing
2. Width of road at present proposal
3. Type of All Weather surface
4. Maintenance responsibility for turn out area
5. Public or private road

Applicant, Ron Smith, addressed the Commission.

The Commission had questions for the applicant regarding:

1. Location of speed bumps

Additional questions for staff:

1. Speed bumps not in conditions of approval
2. Are speed bumps allowed on public streets
3. Is location of stop sign supported by City staff

The hearing was opened to the public for their comments.

1. Diane Hudson, Rocklin, asked how the current residents are supposed to handle traffic issues
2. Kurt Trombino, Rocklin, expressed concerns about how close the road will come to the current property fencing.
3. Andre, Rocklin, expressed his concerns with the entrance width.

There being no further comments, the hearing was closed.

Commission Deliberation/Discussion:

Commissioner Whitmore stated that he struggles with the new proposal and feels nothing has changed. He needs to see what the street will look like in order to support the project.

Commissioner Sloan stated he is content with the Traffic Safety Committee's recommendation. He can support the project.

Commissioner Martinez agrees with both of his fellow commissioners comments. He is okay with the Traffic Safety Committee recommendation. He would like to see clearer exhibits, but can support the project.

On a motion by Commissioner Sloan and seconded by Commissioner Martinez, Resolution of the Planning Commission of the City of Rocklin Recommending Approval of a Mitigated Negative Declaration of Environmental Impacts (Racetrack Subdivision / SD2014-0006 And TRE2015-0005) was approved by the following vote:

AYES: Sloan, Martinez
 NOES: Whitmore
 ABSENT: Broadway, McKenzie
 ABSTAIN: None

On a motion by Commissioner Sloan and seconded by Commissioner Martinez, Resolution of the Planning Commission of the City of Rocklin Recommending Approval of a Small Lot Tentative Subdivision Map and Oak Tree

Preservation Permit (Racetrack Subdivision / SD2014-0006 And TRE2015-0005) was approved by the following vote:

AYES: Sloan, Martinez
 NOES: Whitmore
 ABSENT: Broadway, McKenzie
 ABSTAIN: None

**9. VERIZON WIRELESS @ PACIFIC STREET
 DESIGN REVIEW, DR2014-0014
 CONDITIONAL USE PERMIT, U2014-0008**

This application is a request for approval of a Design Review and Conditional Use Permit for a new wireless telecommunications facility including 12 panel antennas and associated equipment mounted on a 75-foot tall simulated water tower and tank and a back-up emergency diesel generator. The subject property is located at 4335 Pacific Street, APN: 045-021-009. The property is zoned Heavy Industrial (M-2). The General Plan designation is Heavy Industrial (HI).

A preliminary review of this project pursuant to the California Environmental Quality Act (CEQA) Section 15303 New Construction or Conversion of Small Structures has tentatively identified a Categorical Exemption as the appropriate level of environmental review for this project. The project site is not on any of the lists enumerated under Section 65962.5 of the Government Code related to hazardous wastes.

The applicant is Sacramento Valley Limited Partnership DBA Verizon Wireless. The property owner is Road Safety, Inc.

Dara Dungworth presented the staff report.

The Commission had questions for staff regarding:

1. Reason for recommending a 50' tower when the applicant wants a 75' tower.
2. Where are 50' homes

Applicant, Michelle Ellis, Verizon Wireless, addressed the Commission and gave a presentation on the location and design of the tower.

The Commission had questions for the applicant regarding:

1. Surrounding building heights
2. More shorter facilities vs. one taller tower
3. Peaked roof

The hearing was opened to the public for their comments. There being none the hearing was closed.

Commission Deliberation/Discussion:

Commissioner Sloan likes the architectural look of the water tower. Would like to see what it would look like @ 50 feet.

Commissioner Whitmore would like to see both height variations and also the peaked roof simulation. He also would like to see the location of the City logo on the water tower.

Commissioner Martinez agreed with his fellow commissioners and would like to see the project brought back at another date.

Michelle Ellis stated the site will not work with a tower lower than 75'.

On a motion by Commissioner Sloan and seconded by Commissioner Whitmore, Item #9 (Verizon Wireless on Pacific Street / DR2014-0014 and U2014-0008) was continued to February 2, 2016 to provide findings to support a tower over 50' along with revised photo sims by the following vote:

AYES: Sloan, Whitmore, Martinez
 NOES: None
 ABSENT: Broadway, McKenzie
 ABSTAIN: None

NON PUBLIC HEARINGS

10. Informational Items and Presentations

- a. Design Guidelines Committee Utah Study Session Report - Marc Mondell reported on the Study Session in Utah

11. Reports and Discussion Items from Planning Commissioners - None

12. Reports from City Staff

- a. December 8, 2015 City Council Action on:
 Whitney Ranch Phase 2J

13. Adjournment

There being no further business brought before the Commission, the meeting was adjourned at 7:51 p.m.

Respectfully submitted,

Terry Stemple
 Assistant City Clerk

*Approved at the regularly scheduled
 Meeting of , 2015*



City of Rocklin Community Development Department

Planning Commission STAFF REPORT

Appeal of Freestanding Sign Approval For Rocklin Del Rio Self Storage

February 2, 2016

Background

In March 2015, Rocklin Del Rio Self Storage approached the City about the potential of installing off-site freestanding signage. Due to the location of the business, the storage facility is difficult to identify and access (Attachment 1). Access to Rocklin Del Rio can occur through two main routes, from Pacific Street and Americana Way, and Pacific Street and Delmar Avenue. The City of Rocklin Sign Ordinance as published in the Rocklin Municipal Code (RMC) Chapter 17.75 requires off-site signs to be within 500 feet of the business. The corner of Pacific and Delmar is approximately 950 feet so the only compliant location was the corner of Pacific and Americana, which is approximately 350 feet.

After receiving property owner and landlord approvals (Attachment 2) and the other necessary documents, De Mink Designs on behalf of Rocklin Del Rio, submitted for a freestanding sign application on June 11, 2015 (Attachment 3) which was found to be compliant and approved over the counter. Construction of the sign (see photos, Attachment 1) was completed on or about July 11, 2015. The sign complies with the City visibility requirement (Attachment 4).

The Yankee Hill Estates Home Owners Association subsequently filed an appeal of the staff approval of the sign on July 21, 2015 and submitted information to supplement the appeal on August 6, 2015 (Attachment 5). On August 18, 2015, the Planning Commission heard the appeal and continued the item to October 6, 2015 to allow the applicant to explore an alternate location that may be acceptable to the appellants. Subsequently, the applicant requested another continuance for an additional four weeks to November 3, 2015 and the appellants agreed. At the November 3, 2015 hearing, after hearing testimonies from the public and the applicant on the potential alternate sites, the Planning Commission continued the item to January 19, 2016 to allow the applicant sufficient time to explore and negotiate with owners of the alternate sites. The item was continued again from January 19, 2016 to February 2, 2016 to accommodate the hearing and calendar schedule.

*Planning Commission Staff Report**Re: Appeal of Freestanding Sign Approval For Rocklin Del Rio Self Storage**February 2, 2016**Page 2***Appeal**

Appeal rights in this circumstance are governed by Rocklin Municipal Code Sec. 17.86.010., which states “Any person dissatisfied by an act or determination of an official of the city relating to the enforcement or interpretation of this title may appeal such act or determination to the planning commission as provided in this chapter.”

As noted, the Yankee Hill Estates Homeowners’ Association submitted an appeal letter and additional supporting documentation (Attachment 5) of the administrative approval of the sign permit that allowed for the construction of the existing freestanding sign at the northwest corner of Pacific Street and Americana Way. The appeal stated concerns that the approval was issued in error because it is located within landscape and public utility easements. The appeal further states that the easements create a public right-of-way and signs or any other construction are prohibited from being located in the public right-of-way per RMC Sections 17.75.020 and 15.28.100.

RMC Requirements

- Section 17.75.030B and Resolution No. 2014-65 Section 2ii. (Attachment 6) gives staff the authority to approve permanent building, monument and freestanding signs (other than freeway oriented signs) that conform to the provisions of the Sign Ordinance, Citywide Design Criteria, any subsequent design criteria adopted by the City and/or the adopted Sign Program applicable to a specific development project.
- Section 17.75.030I requires property owner consent.
- Section 17.75.040B discusses placement of signs.
- Section 17.75.050 allows developed commercial, business professional and industrial businesses to have one 15-foot tall freestanding sign and the remaining signs at 6 feet tall. The business may have one sign per 200 linear feet of street frontage. The sign area cannot exceed 100 square feet.
- Section 17.75.060C discusses freestanding sign standards, such as minimum sign separation of 75 feet and minimum three-foot setback from the public right-of-way.
- Section 17.75.040B restricts an off-site sign to within 500 feet of the property on which the business product, service, or other commercial activity which is being advertised is located. Whenever an off-site sign is placed on another property, the off-site sign shall be deducted from the number and area of signs allowed on the property where the off-site sign is located.

Property owner consent, a letter of acknowledgment that the sign would limit the existing tenant’s allowable signage and a lease agreement were received and reviewed by staff prior to approval. Therefore, staff made the determination that the proposed sign is in compliance with all applicable regulations and requirements.

For purposes of implementing the sign ordinance, staff has interpreted the definition of public right-of-way to mean areas and facilities associated with public streets, including but not limited to, travel lanes, medians, bike/pedestrian facilities, benches, walls (depending on

*Planning Commission Staff Report**Re: Appeal of Freestanding Sign Approval For Rocklin Del Rio Self Storage**February 2, 2016**Page 3*

location), street lights and other similar amenities that are commonly located within the public streetscape. In this context, public right-of-way has also been interpreted to include landscape areas that are either within a dedicated street right-of-way or in separate parcels that are adjacent to public streets where such landscape parcels are both owned and maintained by the City for streetscape purposes. Staff's interpretations regarding the general prohibition of either temporary or permanent commercial signs within the public right-of-way has not included public utility easements.

Alternate Location

A number of viable locations were identified by staff and communicated to the applicant. Unfortunately, the applicant has determined many are not feasible for operational purposes or do not accomplish the level of desired visibility.

The applicant has proposed two alternate locations (Attachment 7). Location 1 is at Dawson Oil and Carwash with a temporary freestanding banner (see mockup, Attachment 7). This proposal does not meet the following requirements of the Rocklin Municipal Code Section 17.75.070F:

1. A temporary banner sign is only permitted on the same site as the advertised business;
2. A temporary sign requires a Special Advertising Permit up to three times per calendar year, each time up to 20 consecutive days;
3. No more than one such banner sign may be erected per establishment at any one time;
4. A banner sign shall not be freestanding and shall be affixed to the face of a building or permanent freestanding sign;
5. Exceeding 500-ft distance requirement.

Location 2 is at Meek's Lumber and Hardware at 4243 Dominguez Road with a permanent sign attached to the existing nonconforming freestanding sign (see mockup, Attachment 7). The new freestanding sign would create a base, which would change the existing sign type from pole to monument; therefore, making the sign more conforming to code requirements. In order for the Planning Commission to approve this location, exceptions would have to be made for the following Rocklin Municipal Code requirements.

1. The existing sign is located within the public right-of-way and not set back a minimum of three feet (RMC 17.75.060 C);
2. Exceeding 500-ft distance requirement.

RMC Section 17.75.030K states when approved by the approving authority, sign programs for specific developments may modify the rules stated as to sign size, height, illumination, spacing, orientation, or other non-communicative aspects of signs.

Subject to the approval of the property owner and the submittal and approval of a sign permit, staff supports a sign at alternate location 2 in that:

1. It would eliminate potential additional attention and/or traffic through a residential neighborhood;

*Planning Commission Staff Report**Re: Appeal of Freestanding Sign Approval For Rocklin Del Rio Self Storage**February 2, 2016**Page 4*

2. It addresses concerns from the neighborhood;
3. Rocklin Del Rio still receives the visible signage that the business requires;

Subject to the approval of the property owner and the submittal and approval of a sign permit, staff supports alternate location 2, provided that the existing Rocklin Del Rio sign is removed prior installation at the new location.

Recommendation

The proposed sign complies with applicable RMC sections and design guidelines. Therefore, it is staff's recommendation that the Planning Commission:

1. Deny the appeal; and
2. Make a finding that it is appropriate to grant exceedance of the distance requirement, sign location and setback as stated in the Sign Ordinance and RMC and approve the relocation of the sign contingent upon the removal of existing Rocklin Del Rio sign.

Attachments:

1. Aerials and Photographs of Existing Sign
2. Leases
3. Sign application
4. Sign visibility requirement and measurement
5. Appeal letter and Supplemental Information
6. City Council Resolution and Approval for Storage Facility
7. Alternative Signs & Locations

Exhibit 1: Aerials and Photographs of Signage









Attachment 3

Commercial Gross Lease

1. **Names.** This lease is made by Alta Sierra Leasing / Frank Andrews Jr., Landlord, and Rocklin Del Rio Self Storage, Tenant.

2. **Premises Being Leased.** Landlord is leasing to Tenant and Tenant is leasing from Landlord the following premises: North West Corner of Pacific St. & Americana Rocklin, CA 95677.

[] **Part of Building Only.** Specifically, Tenant is leasing the N/A of the building.

[] **Shared Facilities.** Tenant and Tenant's employees and customers may use the following additional facilities in common with other tenants, employees, and customers:

[] Parking spaces: N/A.

[] Restroom facilities: N/A.

[] Storage areas: N/A.

[] Hallways, stairways, and elevators: N/A.

[] Conference rooms: N/A.

[X] Other: tenant will be placing sign on corner as shown on "Exhibit A."

3. **Term of Lease.** This lease begins upon approval from the City of Rocklin and ends on 6/1/20.

4. **Rent.** Tenant will pay rent in advance on the 1st day of each month. Tenant's first rent payment will be on 6/1/15 in the amount of \$ 150.⁰⁰. Tenant will pay rent of \$ 150.⁰⁰ per month thereafter.

[] Tenant will pay this rental amount for the entire term of the lease.

[X] Rent will increase each year, on the anniversary of the starting date in paragraph 3, as follows: Rent to increase 3% each year.

5. Option to Extend Lease

[X] **First Option.** Landlord grants Tenant the option to extend this lease for an additional 5 years. To exercise this option, Tenant must give Landlord written notice on or before 6/1/20. Tenant may exercise this option only if Tenant is in substantial compliance with the terms of this lease. Tenant will lease the premises on the same terms as in this lease except as follows: N/A.

[] **Second Option.** If Tenant exercises the option granted above, Tenant will then have the option to extend this lease for _____ years beyond the first option period. To exercise this option, Tenant must give Landlord written notice on or before _____. Tenant may exercise this option only if Tenant is in substantial compliance with the terms of this lease. Tenant will lease the premises on the same terms as in this lease except as follows: _____.

6. **Security Deposit.** Tenant has deposited \$ 150.⁰⁰ with Landlord as security for Tenant's performance of this lease. Landlord will refund the full security deposit to Tenant within 14 days following the end of the lease if Tenant returns the premises to Landlord in good condition (except for reasonable wear and tear) and Tenant has paid Landlord all sums due under this lease. Otherwise, Landlord may deduct any amounts required to place the premises in good condition and to pay for any money owed to Landlord under the lease.

7. Improvements by Landlord

☐ Before the lease term begins, Landlord (at Landlord's expense) will make the repairs and improvements listed in Attachment 1 to this contract.

☒ Tenant accepts the premises in "as is" condition. Landlord need not provide any repairs or improvements before the lease term begins.

8. Improvements by Tenant. Tenant may make alterations and improvements to the premises after obtaining the Landlord's written consent, which will not be unreasonably withheld. At any time before this lease ends, Tenant may remove any of Tenant's alterations and improvements, as long as Tenant repairs any damage caused by attaching the items to or removing them from the premises.

9. Tenant's Use of Premises. Tenant will use the premises for the following business purposes: Install a Sign for storage facility *See "Exhibit A"*. Tenant may also use the premises for purposes reasonably related to the main use.

10. Landlord's Representations. Landlord represents that:

A. At the beginning of the lease term, the premises will be properly zoned for Tenant's stated use and will be in compliance with all applicable laws and regulations.

B. The premises have not been used for the storage or disposal of any toxic or hazardous substance, and Landlord has received no notice from any governmental authority concerning removal of any toxic or hazardous substance from the property.

11. Utilities and Services. Landlord will pay for the following utilities and services:

- ☐ Water
- ☐ Electricity
- ☐ Gas
- ☐ Heat
- ☐ Air-Conditioning

Any items not checked will be the responsibility of Tenant.

12. Maintenance and Repairs

A. Landlord will maintain and make all necessary repairs to: (1) the roof, structural components, exterior walls, and interior common walls of the premises, and (2) the plumbing, electrical, heating, ventilating, and air-conditioning systems.

B. Landlord will regularly clean and maintain (including snow removal) the parking areas, yards, common areas, and exterior of the building and remove all litter so that the premises will be kept in an attractive condition.

C. Tenant will clean and maintain Tenant's portion of the building so that it will be kept in an attractive condition.

13. Insurance

A. Landlord will carry fire and extended coverage insurance on the building.

B. Tenant will carry public liability insurance; this insurance will include Landlord as an insured party. The public liability coverage for personal injury will be in at least the following amounts:

- \$1,000,000 per occurrence.
- \$1,000,000 in any one year.

C. Landlord and Tenant release each other from any liability to the other for any property loss, property damage, or personal injury to the extent covered by insurance carried by the party suffering the loss, damage, or injury.

D. Tenant will give Landlord a copy of all insurance policies that this lease requires Tenant to obtain.

14. Taxes

A. Landlord will pay all real property taxes levied and assessed against the premises.

B. Tenant will pay all personal property taxes levied and assessed against Tenant's personal property.

15. Subletting and Assignment. Tenant will not assign this lease or sublet any part of the premises without the written consent of Landlord. Landlord will not unreasonably withhold such consent.

16. Damage to Premises

A. If the premises are damaged through fire or other cause not the fault of Tenant, Tenant will owe no rent for any period during which Tenant is substantially deprived of the use of the premises.

B. If Tenant is substantially deprived of the use of the premises for more than 90 days because of such damage, Tenant may terminate this lease by delivering written notice of termination to Landlord.

17. Notice of Default. Before starting a legal action to recover possession of the premises based on Tenant's default, Landlord will notify Tenant in writing of the default. Landlord will take legal action only if Tenant does not correct the default within ten days after written notice is given or mailed to Tenant.

18. Quiet Enjoyment. As long as Tenant is not in default under the terms of this lease, Tenant will have the right to occupy the premises peacefully and without interference.

19. Eminent Domain. This lease will become void if any part of the leased premises or the building in which the leased premises are located are taken by eminent domain. Tenant has the right to receive and keep any amount of money that the agency taking the premises by eminent domain pays for the value of Tenant's lease, its loss of business, and for moving and relocation expenses.

20. Holding Over. If Tenant remains in possession after this lease ends, the continuing tenancy will be from month to month.

21. Disputes

☐ **Litigation.** If a dispute arises, either party may take the matter to court.

☐ **Mediation and Possible Litigation.** If a dispute arises, the parties will try in good faith to settle it through mediation conducted by

☐ _____

☒ a mediator to be mutually selected.

The parties will share the costs of the mediator equally. Each party will cooperate fully and fairly with the mediator and will attempt to reach a mutually satisfactory compromise to the dispute. If the dispute is not resolved within 30 days after it is referred to the mediator, either party may take the matter to court.

☐ **Mediation and Possible Arbitration.** If a dispute arises, the parties will try in good faith to settle it through mediation conducted by

☐ _____

☐ a mediator to be mutually selected.

The parties will share the costs of the mediator equally. Each party will cooperate fully and fairly with the mediator and will attempt to reach a mutually satisfactory compromise to the dispute. If the dispute is not resolved within 30 days after it is referred to the mediator, it will be arbitrated by

☐ _____

☐ an arbitrator to be mutually selected.

Judgment on the arbitration award may be entered in any court that has jurisdiction over the matter. Costs of arbitration, including lawyers' fees, will be allocated by the arbitrator.

Landlord need not participate in mediation or arbitration of a dispute unless Tenant has paid the rent called for by this lease or has placed any unpaid rent in escrow with an agreed upon mediator or arbitrator.

22. Additional Agreements. Landlord and Tenant additionally agree that: N/A

23. Entire Agreement. This is the entire agreement between the parties. It replaces and supersedes any and all oral agreements between the parties, as well as any prior writings.

24. Successors and Assignees. This lease binds and benefits the heirs, successors, and assignees of the parties.

25. Notices. All notices must be in writing. A notice may be delivered to a party at the address that follows a party's signature or to a new address that a party designates in writing. A notice may be delivered:

- (1) in person
- (2) by certified mail, or
- (3) by overnight courier.

26. Governing Law. This lease will be governed by and construed in accordance with the laws of the state of California.

27. Counterparts. The parties may sign several identical counterparts of this lease. Any fully signed counterpart shall be treated as an original.

28. Modification. This lease may be modified only by a writing signed by the party against whom such modification is sought to be enforced.

29. Waiver. If one party waives any term or provision of this lease at any time, that waiver will be effective only for the specific instance and specific purpose for which the waiver was given. If either party fails to exercise or delays exercising any of its rights or remedies under this lease, that party retains the right to enforce that term or provision at a later time.

30. Severability. If any court determines that any provision of this lease is invalid or unenforceable, any invalidity or unenforceability will affect only that provision and will not make any other provision of this lease invalid or unenforceable, and shall be modified, amended, or limited only to the extent necessary to render it valid and enforceable.

Dated: 5/14/15

LANDLORD

Name of Business: Alta Sierra Leasing
at 4480 Pacific St. Rocklin, CA 95677
(P.O. Box 959, Loomis, CA 95650)

By: [Signature]
Printed Name: FRANK T. ANDREWS JR.
ALTA SIERRA Leasing

Title: Pres.
Address: P.O. Box 959
Loomis, CA 95650

TENANT

Name of Business: Rocklin Del Rio Self Storage
at 3800 Del Rio Ct. Rocklin, CA 95677

By: [Signature]
Printed Name: Jan T. Haldeman

Title: General Manager
Address: P.O. Box 6262 Auburn, CA 95604

[] GUARANTOR

By signing this lease, I personally guarantee the performance of all financial obligations of _____ under this lease.

Dated: _____

Printed Name: _____ Title: _____

Address: _____

May 27, 2015

City of Rocklin
3970 Rocklin Road
Rocklin, CA 95677

To whom it may concern,

I Frank Andrews Jr., on behalf of Alta Sierra Leasing acknowledge that the sign space being rented to Rocklin Del Rio Self Storage takes away from my current sign allowance.



Frank Andrews Jr., President
Alta Sierra Leasing
PO Box 959
Loomis, CA 95650

AUDIT 5716729

Industrial Lease (Year To Year) 09-01-06
(Unimproved Property)
Form Approved, Law

Folder No. 01487-52
Audit No. _____

LEASE OF PROPERTY
(INDUSTRIAL LEASE - UNIMPROVED - YEAR TO YEAR)

THIS LEASE ("Lease") is entered into on December 21, 2010, between UNION PACIFIC RAILROAD COMPANY ("Lessor") and ANDREWS JR., FRANK DBA ALTA SIERRA LEASING, INC., whose address is P O Box 959, Loomis, California 95650 ("Lessee").

IT IS AGREED BETWEEN THE PARTIES AS FOLLOWS:

Article 1. PREMISES; USE.

Lessor leases to Lessee and Lessee leases from Lessor the premises ("Premises") at Rocklin, California, shown on the print dated November 2, 2010 marked Exhibit A, hereto attached and made a part hereof, subject to the provisions of this Lease and of Exhibit B attached hereto and made a part hereof. The Premises may be used for maintenance and use of Lessee-owned improvements of buildings, pavement and fencing, for commercial use and purposes incidental thereto, only, and for no other purpose.

Article 2. TERM.

The term of this Lease shall commence December 01, 2010, and, unless sooner terminated as provided in this Lease, shall extend for one year and thereafter shall automatically be extended from year to year.

Article 3. FIXED RENT.

- A. Effective December 1, 2010, Lessee shall pay to Lessor, in advance, fixed rent of Six Thousand Three Hundred Thirty Dollars (\$6,330.00) per month.
- B. Effective December 1, 2011, Lessee shall pay to Lessor, in advance, fixed rent of Seven Thousand One Hundred Dollars (\$7,100.00) per month.
- C. Effective December 1, 2012, Lessee shall pay to Lessor, in advance, fixed rent of Seven Thousand Eight Hundred Seventy Dollars (\$7,870.00) per month. The rent shall be automatically increased by 3% annually, cumulative and compounded.
- D. Not more than once every three (3) years, Lessor may redetermine the fixed rent. If Lessor redetermines the rent, Lessor shall notify Lessee of such change.

Article 4. INSURANCE.

A. Before commencement of the term of this Lease, Lessee shall provide to Lessor a certificate issued by its insurance carrier evidencing the insurance coverage required under Exhibit C hereto attached and made a part hereof.

B. Not more frequently than once every two years, Lessor may reasonably modify the required insurance coverage to reflect then-current risk management practices in the railroad industry and underwriting practices in the insurance industry.

C. All insurance correspondence, certificates and endorsements shall be directed to: Real Estate Department, 1400 Douglas Street STOP 1690, Omaha, Nebraska 68179-1690, Folder No. 01487-52.

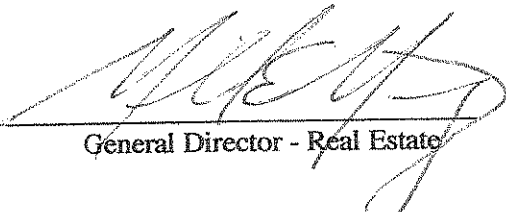
Article 5. SPECIAL PROVISION – CANCELLATION.

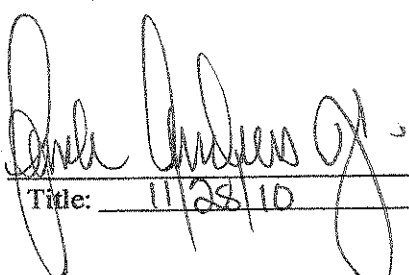
Effective upon commencement of the term of this Lease, the Lease dated 2/25/2010, identified as Audit No. S716729 (the 'Prior Lease'), together with any and all supplements and amendments, is canceled and superseded by this Lease, except for any rights, obligations or liabilities arising under the Prior Lease before cancellation, including any consent to conditional assignment, chattel agreement, or consent to sublease. The security deposit provision or rental payment, if any, contained in the Prior Lease, will survive the cancellation of the Prior Lease and be made a part of this Lease.

IN WITNESS WHEREOF, the parties have executed this Lease as of the day and year first herein written.

Lessor:
UNION PACIFIC RAILROAD COMPANY

Lessee:
ANDREWS JR., FRANK DBA ALTA SIERRA LEASING, INC.

By: 
General Director - Real Estate

By: 
Title: 11/28/10

NOTE:

CITY OF ROCKLIN
PLANNING DEPARTMENT

(916) 625-5160

SIGN APPLICATION FORM

Submittal requirements: Submit this form (fully completed) with 3 sets of: 1) site plan showing applicable building/tenant frontage, exact location of all existing and new signs, 2) elevation of the building face or structure showing the exact location of signs, 3) sign drawing showing the materials, letter style, and exact dimensions of the sign, and 4) photograph of building frontage on which sign is to be affixed. See page 2 for example of submittal.

Location of project (address) 3800 Del Rio Ct Assessors Parcel # _____Name of Project Del Rio Self StorageApplicant/Contact Steve Deminik Phone (daytime) 530 277 0249Applicant's Address 1495 Canal St Auburn CA 95603Property Owner Dick Azavedo / Tan Williams Phone (daytime) 530 277 0249Property Owner's Address 3800 Del Rio Ct Rocklin CA

SIGN INFORMATION

Temporary ☒ Permanent ☐ Total sq. ft. proposed 32 sq. ft.
 Number of wall signs requested _____ Number of wall signs existing _____ Total sq. ft. existing _____
 Number of freestanding signs requested 1 Number of freestanding signs existing 0 Total sq. ft. existing _____
 Are any of the existing signs going to remain? _____ Yes _____ No Which? _____

Type of Sign

(wall, freestanding, etc.) Description

Illumination

<u>Free Standing</u>	Height <u>48</u> Length <u>96</u> Sq. ft. <u>32</u>	_____ Yes
	Material: Background <u>Aluminum</u> Letters <u>Vinyl</u>	<u>X</u> No
	Color: Background <u>Tan</u> Letters <u>Green</u>	
_____	Height _____ Length _____ Sq. ft. _____	_____ Yes
	Material: Background _____ Letters _____	_____ No
	Color: Background _____ Letters _____	
_____	Height _____ Length _____ Sq. ft. _____	_____ Yes
	Material: Background _____ Letters _____	_____ No
	Color: Background _____ Letters _____	

I declare under penalty of perjury that I am the owner, lessee or contractor for the property involved in this application. I certify that all of the submitted information is true and correct to the best of my knowledge and belief.

Applicant's Signature

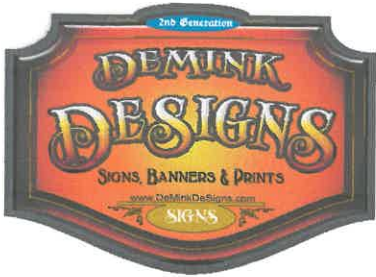
Date

FOR OFFICE USE ONLY

Received by CP Date 6/11/15 Fees received 104-
 Application # 50071 Approved by CP Date 6/11/15 Receipt # R7699

Conditions

1) Building or Electrical Permit is required Yes _____ No X2) Temporary Signage Valid Dates: From: N/A To: _____ valid for term of lease agreement



CSLB# B-866557 C-45
CSLB# B-866557 C-45

Job Description

Name: Rocklin Del Rio
Self Storage
Contact: Steve DeMink
530-277-2049

Location: 3800 Del Rio ct.

Color: lettering White & green
Return: Tan

Double sided Monument
Aluminum Constructions

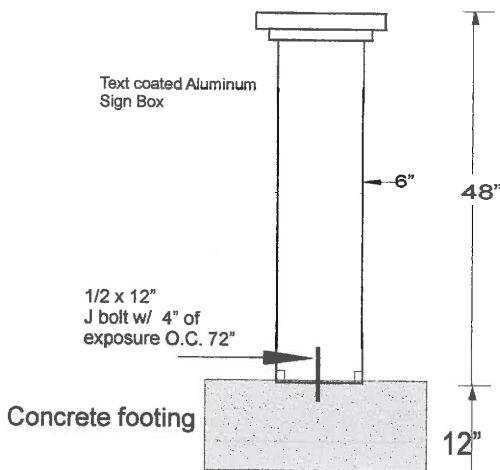
Americana / Pacific



3800 Del Rio Ct. **Agenda Item #7.**

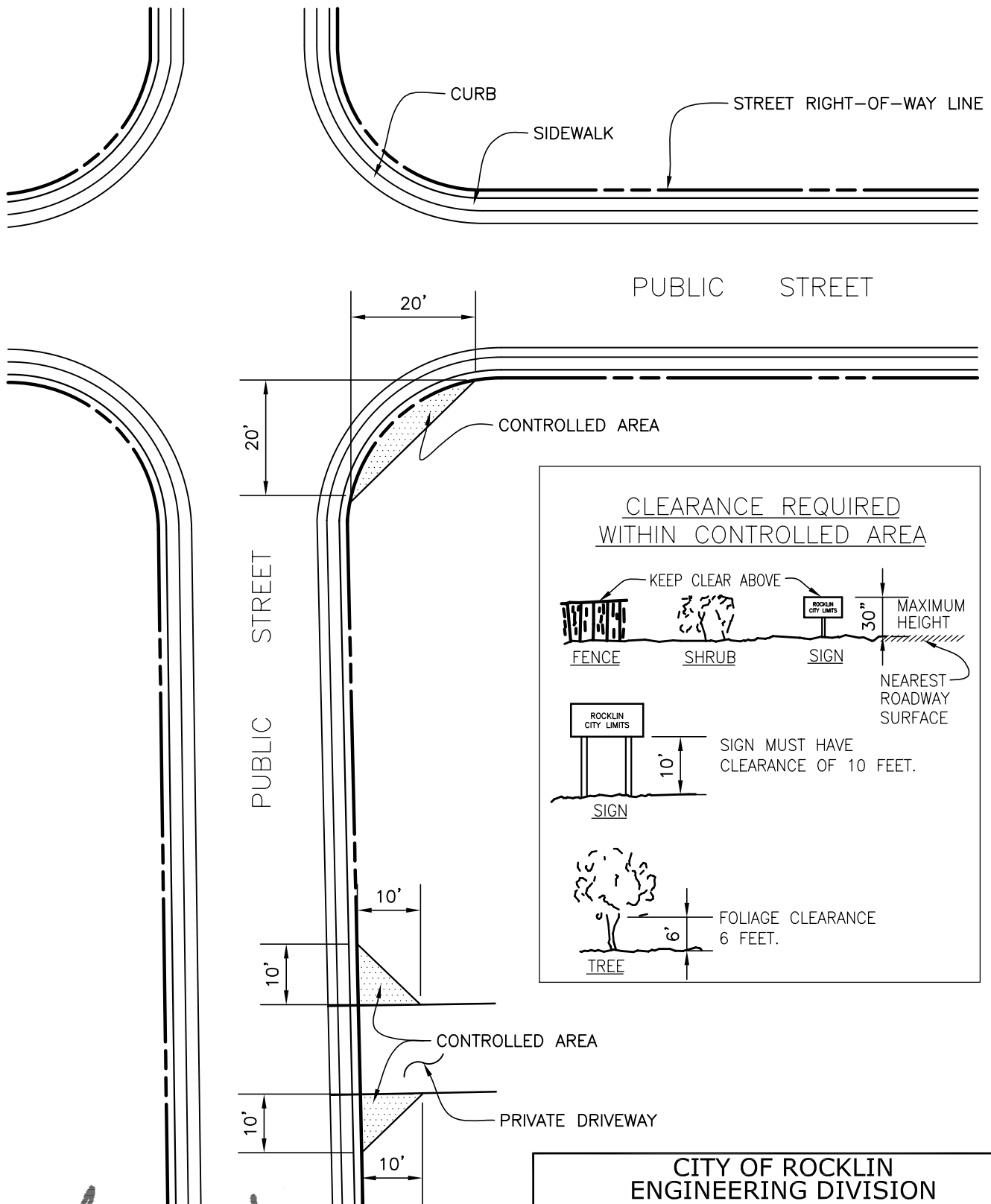


End View



140"

OFFICIALLY APPROVED
CITY OF ROCKLIN PLANNING DIVISION
DATE: 6/11/15
STAFF: Carly Lane



Larry M. Wing

DRAWING APPROVED - CITY ENGINEER

Theresa Z. Z...

DRAWING APPROVED - DIRECTOR OF PUBLIC WORKS

CITY OF ROCKLIN
ENGINEERING DIVISION

VISIBILITY REQUIREMENTS

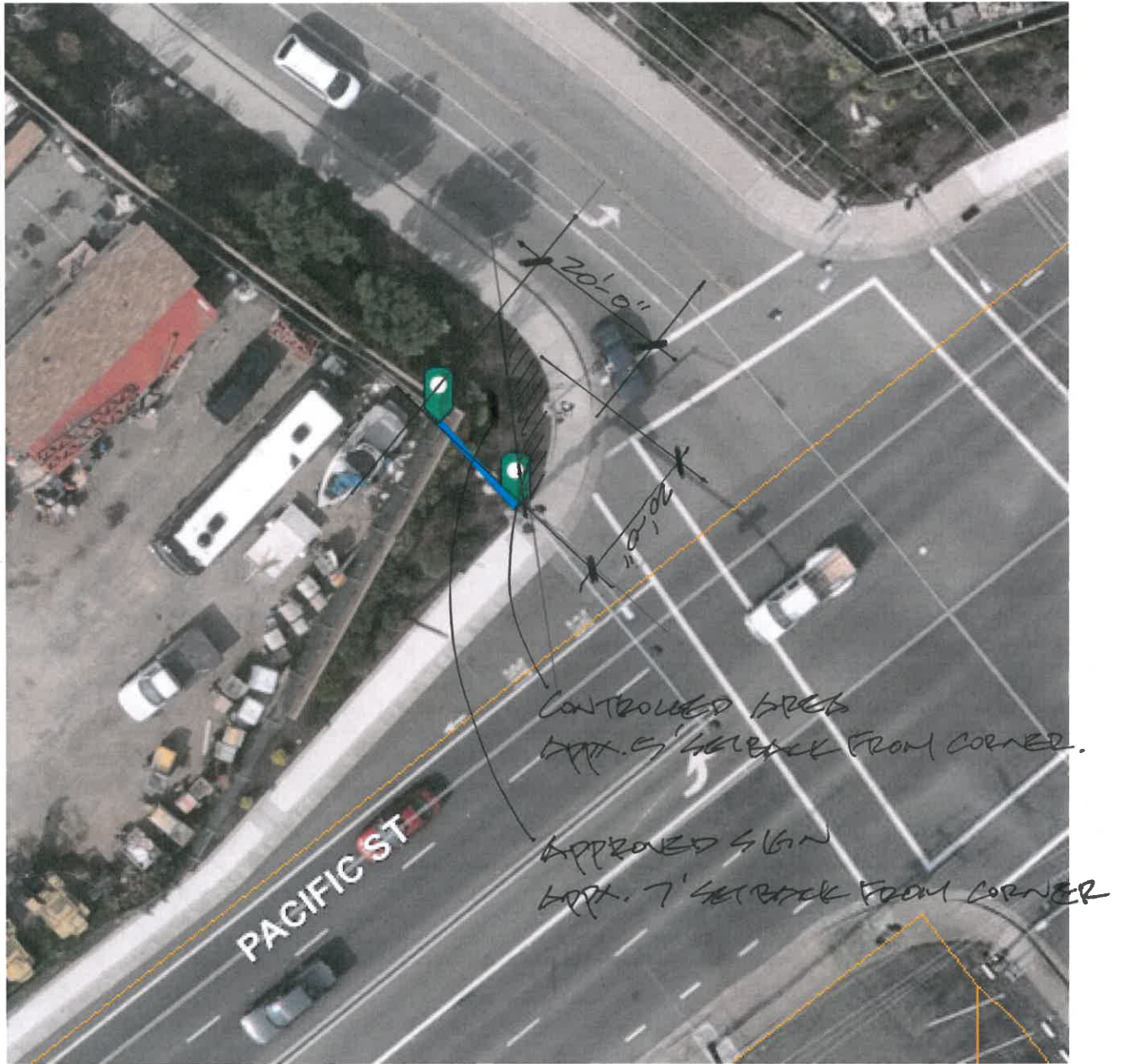
SCALE: NONE

DATE: MARCH 2006

DRAWN BY: K. SEIFRIED

DWG #

3-14





DARREN M. BEVAN
dbevan@bayjaclaw.com

July 21, 2015

VIA HAND DELIVERY & FEDERAL EXPRESS

Ms. Carly Panos
Economic and Community Development
City of Rocklin
3970 Rocklin Road
Rocklin, CA 95677

**Re: *Appeal of Sign Permit - Del Rio Self Storage
Yankee Hill Estates Owners' Association***

Dear Ms. Panos:

Our firm serves as the general counsel to the Yankee Hill Estates Owners' Association (the "Association"). On behalf of the Association, the Board of Directors (the "Board") has directed us to appeal a recent administrative decision by the City of Rocklin (the "City") that approved a sign permit for the construction of a permanent, freestanding, ground-mounted, commercial sign on the corner of Pacific and Americana Way.

The City has specific standards in place for the construction of signs on private property, as well as procedural methods for the approval of sign applications as set forth in City Ordinance Chapter 17.75 and Council Resolution 2014-65. The City's decision to approve a sign permit may be appealed.¹ Furthermore, any permits issued in error may be revoked by the City.²

¹ City of Rocklin Ord § 17.75.100(D)

² City of Rocklin Ord § 17.75.100(H)

Ms. Carly Panos
 Economic and Community Development
 City of Rocklin
 July 21, 2015
 Page 2

It has come to the Board's attention that a sign application for a permanent, commercial, ground-mounted sign was approved by you in June 2015. The sign application was submitted by Steve DeMink on behalf of Del Rio Self Storage, whose location is off-site from where the sign is to be constructed. The proposed sign is to be built on the corner of Pacific and Americana way, on land which includes a public right-of-way, as created by a public utility easement and landscape easement.

The Board is concerned that this approval has been issued in error. According to the Final Map of Yankee Hill Estates Unit 1 recorded in Book Y of Maps, Page 58 of the Placer County Records, a landscape easement and public utility easement, which are 25 feet wide and are in place at the corner of Pacific and Americana Way. Furthermore, the statement set forth in this map provides:

The rights-of-way and easements for water, gas, sewer and drainage pipes and underground wires and conduits for electric, telecommunication and telephone service together with any and all appurtenances pertaining thereto, on, over, across and under lines of lots and the lines shown hereon and designated 'P.U.E.' (public utility easement).

The existence of a public utility easement and landscape easement creates a public right-of-way. Pursuant to City Ordinance Section 17.75.020, ground-mounted signs are prohibited from being placed in the public right-of-way. Although this section provides a few exceptions – such as government and community signs – none of these exceptions apply to our present issue.

We believe that the construction of this commercial, ground-mounted sign violates the City's Sign Ordinance because it will be placed in a public right-of-way, as created by the 25 foot wide public utility easement and landscape easement that is located where the sign is being constructed. On behalf of the Association, we respectfully appeal the City's issuance of this sign permit.

Further, the City's approval appears to violate City Ordinance Section 15.28.100, which regulates construction in public rights-of-way:

{5875.01/00458318.4}



Ms. Carly Panos
Economic and Community Development
City of Rocklin
July 21, 2015
Page 3

*No person shall perform any grading work within the right-of-way of a public road or street, or within a public easement, without prior written approval of the director of public works, and without obtaining a city encroachment permit.
(Emphasis added)*

We are not aware of an encroachment permit being issued by the City for the installation of the commercial sign at issue. Again, it appears that the City did not comply with its ordinances when it approved the sign application.

We expect that the City will recognize that it has approved the sign application in error and revoke the sign permit. We look forward to the City's prompt reply to this correspondence.

Please feel free to contact me directly if you should have any questions or would like to discuss this matter in further detail.

Very truly yours,

BAYDALINE & JACOBSEN LLP



Darren M. Bevan

cc: Yankee Hill Estates Owners' Association



Darren M. Bevan
dbevan@bayjaclaw.com

August 6, 2015

Mr. Marc Mondell, Director
Economic & Community
Development Department
City of Rocklin
3970 Rocklin Road
Rocklin, CA 95677

Re: *Appeal of Sign Permit - Rocklin Del Rio Self Storage Sign*
Hearing Date - August 18, 2015 at 6:30 PM
Yankee Hill Estates Owners' Association

To the City of Rocklin Planning Commission:

Our firm serves as the general counsel to the Yankee Hill Estates Owners' Association (the "Association"). The Association's Board of Directors (the "Board") has appealed an administrative decision by the City of Rocklin (the "City") which approved a sign permit for the construction of a permanent, freestanding, ground-mounted, commercial sign on the corner of Pacific Street and Americana Way, a copy of the Association's appeal is attached as Exhibit "A".

The City has set specific standards for the construction of signs on private property, as well as procedural methods for the approval of sign applications as set forth in City Municipal Code Chapter 17.75. City Code Section 17.75.030(B) states in part that "[T]he City Council shall adopt, by resolution, and maintain a list of signs types that are determined minor signs or major signs." This section also provides that major signs are to be reviewed by the design review board, while minor signs shall be reviewed by City planning staff.

{5875.01/00458704.5}

Mr. Marc Mondell, Director
 Economic & Community
 Development Department
 City of Rocklin
 August 6, 2015
 Page 2

On April 22, 2014, the City Council adopted Resolution 2014-65 (Exhibit "B") which in relevant part provides that permanent monument and freestanding signs are designated as "minor" signs. The sign at issue constitutes a minor sign.

On June 11, 2015, Carly Panos, a planning and building technician in the City's Economic and Community Development Department, approved a sign application submitted by Steve DeMink on behalf of Rocklin Del Rio Self Storage (Exhibit "C"). Pursuant to the specifications set forth in the application, the sign will be a permanent and made of concrete and aluminum materials. The sign will have a surface area comprising of thirty-two (32) square feet, a height of forty-eight (48) inches, and a length of ninety-six (96) inches. The sign's concrete base will be one-hundred and forty (140) inches long and twelve (12) inches high.

The sign will be located on the corner of Pacific Street and Americana Way. Although this commercial sign advertises for Rocklin Del Rio Self Storage, this business is not located on the property where the sign will be placed. In fact, Rocklin Del Rio Storage is located approximately 0.40 miles away at 3800 Del Rio Court (Exhibit "D"). The land in which the sign will be constructed is owned by the Union Pacific Railroad (Exhibit "E"). Pursuant to the information provided in the sign application, the placement of this permanent sign is "valid for the term of lease agreement." It is unknown how long the lease agreement is for, but it is important to note that the sign application designates it as a "permanent" sign.

The Board believes that the City's approval of the sign application has been issued in error because a public right-of-way exists at the precise location in which the sign will be constructed. According to the Final Map of Yankee Hill Estates Unit 1 recorded in Book Y of Maps, Page 58 of the Placer County Records (the "Map") (Exhibit "F"), a landscape easement and public utility easement, both twenty-five (20) feet wide, are placed at the corner of Pacific Street and Americana Way.

Generally, a landscape easement grants a municipality the right to plant and maintain landscaping in, upon, over and across real property. Here, the landscape easement is indicated in the highlighted portions of the Map as well as the Map's

{5875.01/00458704.5}



Mr. Marc Mondell, Director
 Economic & Community
 Development Department
 City of Rocklin
 August 6, 2015
 Page 3

legend. Pursuant to our correspondence with the Placer County Assessor, it is our understanding that property owners, which include members of the Association, pay a special assessment referred to as "Landscape and Lighting District No. 2" to the City of Rocklin. This assessment was implemented by means of the Landscaping and Lighting Act of 1972,¹ which provides in relevant part:

An assessment district shall consist of all territory which, as determined by the legislative body, will be benefited by the improvements and is to be assessed to pay the costs thereof.²

The public at large, and especially members of the Association who pay for this assessment, benefit from the aesthetic appeal resulting from the landscape easement (Exhibit "G"). The landscape easement was developed as part of the Yankee Hill Estates development with the purpose of screening unsightly commercial and industrial uses from the surrounding residential community. The placement of a large, obstructive, thirty-two (32) square foot commercial sign on the landscape easement will undermine that intent by adversely affecting the community's entry and obstructing the public enjoyment of the land.

Furthermore, a statement set forth in the Map provides:

The rights-of-way and easements for water, gas, sewer and drainage pipes and underground wires and conduits for electric, telecommunication and telephone service together with any and all appurtenances pertaining thereto, on, over, across and under lines of lots and the lines shown hereon and designated 'P.U.E.' (public utility easement).

The existing twenty-five (20) foot wide public utility easement and landscape easement creates a public right-of-way. Pursuant to City Code Section 17.75.020(D), ground-mounted signs which are placed in the public right-of-way – such as the sign at issue – are prohibited in all zones and are subject to abatement by the City.

¹ Cal. Streets and Highway Code § 22500 et seq.

² *Id.* at 22503

Mr. Marc Mondell, Director
Economic & Community
Development Department
City of Rocklin

August 6, 2015

Page 4

Furthermore, it appears that the City's approval also violates City Code Section 15.28.100, which regulates construction in public rights-of-way:

No person shall perform any grading work within the right-of-way of a public road or street, or within a public easement, without prior written approval of the director of public works, and without obtaining a city encroachment permit. (Emphasis added)

We believe that the construction of this permanent, commercial, ground-mounted sign violates the City's Ordinance because it will be placed in a public right-of-way, as created by the aforementioned twenty (20) foot wide landscape easement and public utility easement. Further, we are not aware of any encroachment permit issued by the City for the installation of the commercial sign at issue.

On behalf of the Association, we respectfully appeal the City's issuance of this sign permit. We hope that the City Planning Commission will conduct a fair hearing³ and ultimately recognize that the City approved the sign application in error. We anticipate that the Planning Commission will take action to revoke the sign permit.

Very truly yours,

BAYDALINE & JACOBSEN LLP

Darren M. Bevan

cc: Yankee Hill Estates Owners' Association

³ *Clark v. City of Hermosa Beach*, 48 Cal. App. 4th 1152, 1169 (1996) (discussing that trial court may issue a writ of administrative mandate where an agency has (1) acted in excess of its jurisdiction, (2) deprived the petitioner of a fair hearing, or (3) committed a prejudicial abuse of discretion). See also Code Civ. Proc., § 1094.5(b).

{5875.01/00458704.5}





DARREN M. BEVAN
dbevan@bayjaclaw.com

July 21, 2015

VIA HAND DELIVERY & FEDERAL EXPRESS

Ms. Carly Panos
Economic and Community Development
City of Rocklin
3970 Rocklin Road
Rocklin, CA 95677

**Re: *Appeal of Sign Permit - Del Rio Self Storage
Yankee Hill Estates Owners' Association***

Dear Ms. Panos:

Our firm serves as the general counsel to the Yankee Hill Estates Owners' Association (the "Association"). On behalf of the Association, the Board of Directors (the "Board") has directed us to appeal a recent administrative decision by the City of Rocklin (the "City") that approved a sign permit for the construction of a permanent, freestanding, ground-mounted, commercial sign on the corner of Pacific and Americana Way.

The City has specific standards in place for the construction of signs on private property, as well as procedural methods for the approval of sign applications as set forth in City Ordinance Chapter 17.75 and Council Resolution 2014-65. The City's decision to approve a sign permit may be appealed.¹ Furthermore, any permits issued in error may be revoked by the City.²

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² City of Rocklin Ord § 17.75.100(H)

Ms. Carly Panos
 Economic and Community Development
 City of Rocklin
 July 21, 2015
 Page 2

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{5875.01/00458318.4}



Ms. Carly Panos
Economic and Community Development
City of Rocklin
July 21, 2015
Page 3

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We expect that the City will recognize that it has approved the sign application in error and revoke the sign permit. We look forward to the City's prompt reply to this correspondence.

Please feel free to contact me directly if you should have any questions or would like to discuss this matter in further detail.

Very truly yours,

BAYDALINE & JACOBSEN LLP



Darren M. Bevan

cc: Yankee Hill Estates Owners' Association

[5875.01/00458318.4]



RESOLUTION NO. 2014-65

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ROCKLIN DEFINING MAJOR AND
MINOR SIGNS FOR PURPOSES OF IMPLEMENTING ORDINANCE 1006 (THE SIGN
ORDINANCE, CHAPTER 17.75 OF TITLE 17, ZONING) AND DESIGNATING THE APPROVAL
AUTHORITY FOR MURALS WITHIN THE CITY
City of Rocklin 2014 Sign Ordinance Amendment Implementation

The City Council of the City of Rocklin does resolve as follows:

Section 1. A Notice of Exemption was approved at the time Ordinance 1006 was adopted via City Council Resolution No. 2014-8 and that document adequately addresses these subsequent activities.

Section 2. The City Council of the City of Rocklin finds and determines that:

A. Ordinance 1006 (The Sign Ordinance, Chapter 17.75 of Title 17, Zoning) directed the City Council to adopt a list of Major and Minor Signs for purposes of administering the design aspects of various sign types within the City. The City Council is hereby identifying those signs as shown below:

1) Major Signs are hereby defined as:

- i. Freestanding Freeway oriented signs along or visible from Highway 80 and State Route 65.
- ii. Sign Programs associated with a new Shopping Center or Multi-Building Office Complex.
- iii. Permanent building or freestanding signs where design exceptions are requested relative to numerical standards in the Sign Ordinance and/or the design itself does not conform to the general standards presented in the Citywide Design Criteria, any subsequent design criteria adopted by the City and/or adopted Sign Program applicable to a specific development project but exhibits exceptional design qualities.
- iv. Projecting signs located over the public right-of-way and/or private property visible from the public right-of-way and extending beyond 24 inches from the building face.
- v. Wayfinding Programs associated with private development projects.

2) Minor Signs are hereby defined as:

- i. Awning signs.
- ii. Permanent building, monument and freestanding signs (other than Freestanding Freeway oriented signs) that conform to the provisions of the Sign Ordinance, Citywide Design Criteria, any subsequent design criteria adopted by the City and/or the adopted Sign Program applicable to a specific development project.
- iii. Projecting signs located over the public right-of-way and/or private property visible from the public right-of-way and extending up to 24 inches from the building face.
- iv. Special Advertising Devices as defined in the Sign Ordinance.
- v. Subdivision entry signs if not previously processed with the subdivision entitlement.
- vi. Suspended signs over covered walkways.
- vii. Temporary Signs requiring a permit and as defined in the Sign Ordinance.

B. Section 17.75.060(E) of Ordinance 1006 identifies the potential for murals to be established on private buildings in the commercial, industrial and mixed use zones in the City. The City Council hereby designates the Rocklin Parks, Recreation and Arts Commission as the appropriate approving body for murals on existing buildings in the City at locations when there are no other design review entitlements being approved. In instances where a new building is being constructed and/or design review is being conducted concurrently by another entity such as the Planning Commission or staff, the approving body for murals in those instances will be the approving entity for the project.

C. The City Council has considered the effect of the items in this resolution and found these actions to be consistent with the City of Rocklin General Plan, Housing Element, Zoning Ordinance (Title 17) and the public service needs of its residents as well as available fiscal and environmental resources.

Section 3. The City Council hereby approves this resolution addressing the City of Rocklin 2014 Sign Ordinance Amendment Implementation.

PASSED AND ADOPTED this 22nd day of April, 2014, by the following vote:

AYES:	Councilmembers:	Magnuson, Ruslin, Butler, Janda, Yuill
NOES:	Councilmembers:	None
ABSENT:	Councilmembers:	None
ABSTAIN:	Councilmembers:	None

Scott Yuill, Mayor

ATTEST:

Barbara Ivanusich, City Clerk

CITY OF ROCKLIN
PLANNING DEPARTMENT

(916) 625-5160

SIGN APPLICATION FORM

Submittal requirements: Submit this form (fully completed) with 3 sets of: 1) site plan showing applicable building/tenant frontage, exact location of all existing and new signs, 2) elevation of the building face or structure showing the exact location of signs, 3) sign drawing showing the materials, letter style, and exact dimensions of the sign, and 4) photograph of building frontage on which sign is to be affixed. See page 2 for example of submittal.

Location of project (address) 3800 Del Rio Ct Assessors Parcel # _____

Name of Project Del Rio Self Storage

Applicant/Contact Steve Deminik Phone (daytime) 530 277 0249

Applicant's Address 1495 Canal St Auburn CA 95603

Property Owner Dick Azavedo / Tan Williams Phone (daytime) 530 277 0249

Property Owner's Address 3800 Del Rio Ct. Rocklin CA

SIGN INFORMATION

Temporary ☐ Permanent ☒ Total sq. ft. proposed 32 sq ft
Number of wall signs requested _____ Number of wall signs existing _____ Total sq. ft. existing _____
Number of freestanding signs requested 1 Number of freestanding signs existing 0 Total sq. ft. existing _____
Are any of the existing signs going to remain? _____ Yes _____ No Which? _____

Type of Sign

(wall, freestanding, etc.) Description

Illumination

<u>Free Standing</u>	Height <u>48</u> Length <u>96</u> Sq. ft. <u>32</u>	_____ Yes
	Material: Background <u>Aluminum</u> Letters <u>Vinyl</u>	<u>X</u> No
	Color: Background <u>Tan</u> Letters <u>Green</u>	
_____	Height _____ Length _____ Sq. ft. _____	_____ Yes
	Material: Background _____ Letters _____	_____ No
	Color: Background _____ Letters _____	
_____	Height _____ Length _____ Sq. ft. _____	_____ Yes
	Material: Background _____ Letters _____	_____ No
	Color: Background _____ Letters _____	

I declare under penalty of perjury that I am the owner, lessee or contractor for the property involved in this application. I certify that all of the submitted information is true and correct to the best of my knowledge and belief.

Applicant's Signature [Signature] Date 6-9-15

FOR OFFICE USE ONLY

Received by CP Date 6/11/15 Fees received 104-
Application # 50071 Approved by CP Date 6/11/15 Receipt # R7699

Conditions

- 1) Building or Electrical Permit is required Yes _____ No X
- 2) Temporary Signage Valid Dates: From: N/A To: _____ valid for term of lease agreement

P:\PERMANENT PLANNING FILES\FORMS\Applications\sign application form.doc



CSLB# B-866557 C-45
CSLB# B-866557 C-45

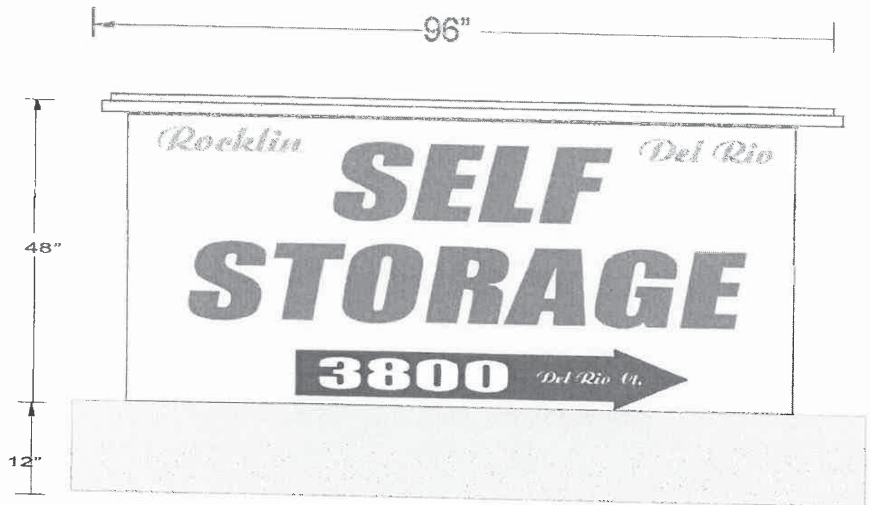
Job Description

Name: Rocklin Del Rio
Self Storage
Contact: Steve DeMink
530-277-2049

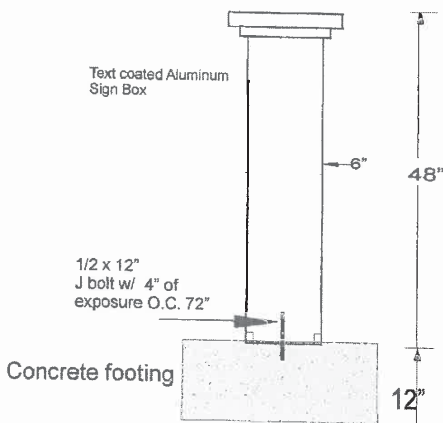
Location: 3800 Del Rio ct.

Color: lettering White & green
Return: Tan

Double sided Monument
Aluminum Constructions



End View



OFFICIALLY APPROVED
CITY OF ROCKLIN PLANNING DIVISION
DATE: 6/11/15
STAFF: Carly Farnsworth

DeMink DeSigns	1495 Canal St. Auburn, CA 95603	530-888-7446 (SIGN)
Steve@530888sign.com	DeMinkDeSigns.com	530888sign.com



Google

Pacific St & Americana Way to 3800 Del Rio Ct,
Rocklin, CA 95677

Walk 0.4 mile, 7 min



Imagery ©2015 Google, Map data ©2015 Google

200 ft

Ref ID: 5875 RAD

Property Detail ReportFor Property Located At :
ROCKLIN, CA 95677

CoreLogic

RealQuest Professional

Owner Information

Owner Name: UNION PACIFIC RAILROAD COMPANY
 Mailing Address:
 Vesting Codes: //

Location Information

Legal Description: 11 A FR SEC 17 11 7 SBE # 872-31-4D-36
 County: PLACER, CA
 Census Tract / Block: 211.08 /
 Township-Range-Sect: 11-07-17
 Legal Book/Page: 045-021
 Legal Lot:
 Legal Block:
 Market Area:
 Neighbor Code: 0104
 APN: 045-021-008-000
 Alternate APN: 045-020-004-000
 Subdivision:
 Map Reference: /
 Tract #:
 School District: ROCKLIN
 School District Name:
 Munic/Township:

Owner Transfer Information

Recording/Sale Date: /
 Sale Price:
 Document #:
 Deed Type:
 1st Mtg Document #:

Last Market Sale Information

Recording/Sale Date: /
 Sale Price:
 Sale Type:
 Document #:
 Deed Type:
 Transfer Document #:
 New Construction:
 Title Company:
 Lender:
 Seller Name:
 1st Mtg Amount/Type: /
 1st Mtg Int. Rate/Type: /
 1st Mtg Document #: /
 2nd Mtg Amount/Type: /
 2nd Mtg Int. Rate/Type: /
 Price Per SqFt:
 Multi/Split Sale:

Prior Sale Information

Prior Rec/Sale Date: /
 Prior Sale Price:
 Prior Doc Number:
 Prior Deed Type:
 Prior Lender:
 Prior 1st Mtg Amt/Type: /
 Prior 1st Mtg Rate/Type: /

Property Characteristics

Year Built / Eff: 2004 /
 Gross Area: 528
 Building Area: 528
 Tot Adj Area:
 Above Grade:
 # of Stories:
 Other Improvements:
 Total Rooms/Offices
 Total Restrooms:
 Roof Type:
 Roof Material:
 Construction:
 Foundation:
 Exterior wall:
 Basement Area:
 Garage Area:
 Garage Capacity:
 Parking Spaces:
 Heat Type: CENTRAL
 Air Cond: CENTRAL
 Pool:
 Quality:
 Condition:

Site Information

Zoning:
 Lot Area: 479,160
 Land Use: COMMERCIAL (NEC)
 Site Influence:
 Acres: 11.00
 Lot Width/Depth: x
 Commercial Units:
 Sewer Type:
 County Use: MISC COMMERCIAL (29)
 State Use:
 Water Type:
 Building Class:

Tax Information

Total Value:
 Land Value:
 Improvement Value:
 Total Taxable Value:
 Assessed Year:
 Improved %:
 Tax Year:
 Property Tax:
 Tax Area: 004052
 Tax Exemption:

OWNER'S STATEMENT

1. THE UNDERSIGNED HEREBY STATE THAT THEY ARE THE ONLY PERSONS ENTITLED TO EXECUTE THIS INSTRUMENT AND THAT THEY HAVE THE FULL POWER AND AUTHORITY TO DO SO. THE UNDERSIGNED HAVE READ AND UNDERSTAND THE CONTENTS OF THIS INSTRUMENT AND HEREBY CONSENT TO THE SUBDIVISION AND RECORDATION OF THIS MAP, AND OFFER FOR DEDICATION IN FEE TO THE PUBLIC THE ENTIRE TRACT OF LAND SHOWN HEREON AND DESCRIBED PURPOSES, TO THE FOLLOWING:

- RIGHTS-OF-WAY AND EASEMENTS FOR WATER, GAS, SEWER, AND ELECTRIC, TELECOMMUNICATION AND TELEPHONE SERVICE TOGETHER WITH ANY AND ALL APPURTENANCES PERTAINING THEREON, ON, OVER, AND UNDER THE TRACT OF LAND SHOWN HEREON AND DESIGNATED "P.U.E." (PUBLIC UTILITY EASEMENT).
- THE MAINTENANCE OF DRAINAGE AND DETENTION PIPES SHALL BE LIMITED TO THE STRIPS OF LAND THAT ARE WITHIN THE PUBLIC RIGHT OF WAY AND STRIPS OF LAND DESIGNATED AS STORM DRAINAGE EASEMENT (S.D.E.).
- RELINQUISHMENT OF ADJUTTER'S RIGHTS OF ACCESS TO LOTS 1 THRU 3, SHOWN HEREON AS LOT 1, 2, AND 3, AND ADJUTTER'S RIGHTS OF ACCESS TO THE AREAS DESIGNATED ON THIS MAP AS "XXXXXXXXXXXX".
- AN EASEMENT FOR INSTALLATION AND MAINTENANCE OF SEWER PIPES, UNDER AND ACROSS THOSE STRIPS OF LAND DESIGNATED HEREON AS "SEWER EASEMENTS" (S.S.E.).

2. THE OWNERS HEREBY GRANT TO THE YANKEE HILL ESTATES HOMEOWNERS ASSOCIATION THE FOLLOWING:

- THE AREAS DESIGNATED HEREON AS LOTS 'A', AND 'B' ARE FLOOD ZONE AREAS AND ARE TO BE MAINTAINED AS SUCH FOR THE BENEFIT OF THE REAL PROPERTY INCLUDED WITHIN THIS SUBDIVISION AND DESIGNATED HEREON AS "FLOOD ZONE EASEMENT" (F.Z.E.) AS SHOWN HEREON.
- THE AREA DESIGNATED HEREON AS LOT 'C' ARE TO BE SET ASIDE AND USED FOR THE BENEFIT OF THE REAL PROPERTY INCLUDED WITHIN THIS SUBDIVISION AND DESIGNATED HEREON AS "SOUND WALL AND MULTI-PURPOSE EASEMENT" (M.P.E.) AS SHOWN HEREON.
- AN EASEMENT FOR THE PROTECTION AND MAINTENANCE OF THE WETLANDS, RIPARIAN AREAS AND CREEK AREAS OVER AND ACROSS THOSE AREAS DESIGNATED HEREON AS "OPEN SPACE AND CONSERVATION EASEMENT" (AREA 'L') AS SHOWN HEREON THIS FINAL MAP.
- AN EASEMENT FOR ACCESS TO ENTER, CONSTRUCT, RECONSTRUCT AND MAINTAIN DRAINAGE PIPES AND DRAINAGE STRUCTURES AND DRAINAGE WALL EASEMENT (S.W.E.) APPURTENANT TO LOTS 1 THROUGH 3, INCLUSIVE.
- AN EASEMENT FOR ACCESS TO ENTER, CONSTRUCT, RECONSTRUCT AND MAINTAIN DRAINAGE PIPES AND DRAINAGE STRUCTURES AND DRAINAGE WALL EASEMENT (S.W.E.) APPURTENANT TO LOTS 1 THROUGH 3, INCLUSIVE.

ANGELO G. TSAKOPOULOS AND KATHERINE TSAKOPOULOS
ANGELO G. TSAKOPOULOS, AS TO AN UNDIVIDED 2/3 INTEREST
AS TO AN UNDIVIDED 1/3 INTEREST

BY: Angelo G. Tsakopoulos
OWNER

BY: Katherine Tsakopoulos
OWNER



44-20-2002
DATED
WILLIAM E. MITCHELL
LS 34781, EXPIRES 6-30-2004

FINAL MAP OF

**YANKEE HILL ESTATES
UNIT 1**

BEING PARCELS 'B' AND 'C' AS SHOWN ON "PARCEL MAP NO 70432" RECORDED JUNE 17, 1974 IN BOOK 5 OF PARCEL MAPS, PAGE 123, PLACER COUNTY RECORDS AND BEING A PORTION OF THE WEST 1/2 OF SECTION 17, T. 11 N., R. 7 E., M.D.M. CITY OF ROCKLIN, COUNTY OF PLACER, STATE OF CALIFORNIA
NOVEMBER, 2002

LAND DEVELOPMENT SERVICES INC.
ROCKLIN, CALIFORNIA

OWNER'S ACKNOWLEDGMENT

STATE OF CALIFORNIA,)
COUNTY OF PLACER,) ss
ON the 26th day of November, 2002, before me,
S.K. WILLIAMSON, a Notary Public in and for said
STATE, PERSONALLY APPEARED, ANGELO G. TSAKOPOULOS and
KATHERINE TSAKOPOULOS
PERSONALLY KNOWN TO ME (OR PROVED TO ME ON THE BASIS OF
SERIALLY KNOWN TO ME) AND THEY REQUESTED THAT I BE
SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO BE
CAPACITOUS AND NOT UNDER THE INFLUENCE OF ANY DRUGS OR
ALCOHOLIC BEVERAGES AND THAT THEY WERE FULLY ADVISED OF THE
INSTRUMENT THE PERSON(S) OF THE INSTRUMENT.
PERSON(S) ACTED, SIGNED AND DELIVERED THE INSTRUMENT.
WITNESS MY HAND AND NOTARY SEAL ON the 26th day of
PRINTED NAME S.K. WILLIAMSON
COUNTY OF PLACER
MY COMMISSION EXPIRES 12-11-02

RECONVEYANCE STATEMENT

- SUBDIVIDER DEDICATING PROPERTY
AS JOINT TENANTS
7425 FAIR OAKS BOULEVARD, SUITE 10
CARPINTERIA, CA, 91013
AFTERICANA MAY, INDEPENDENCE PLACE, AITKEN DAIRY ROAD, and
GLENNVIEW COURT.
- DESCRIPTION OF PROPERTY BEING DEDICATED
PLACER COUNTY.
- PUBLIC UTILITY EASEMENT
PLACER COUNTY.

SURVEYOR'S STATEMENT

I, WILLIAM E. MITCHELL, STATE THAT I AM LICENSED BY THE STATE OF CALIFORNIA TO PRACTICE THE PROFESSION OF LAND SURVEYING. THE SURVEY WAS MADE BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THE SURVEY IS TRUE AND COMPLETE AS SHOWN. IT IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYING ACT AND THE RULES AND REGULATIONS OF THE BOARD OF LAND SURVEYING. ALL POINTS SHOWN ON THIS MAP WILL BE OF THE CHARACTER OF PERMANENT AND EASY TO LOCATE. THE SURVEY WAS MADE ON THE DAY OF NOVEMBER, 2002, AND THAT THE SHOWN BY THE SURVEYOR BE EFFICIENT TO ENABLE THE SURVEY TO BE RETRACED. I HEREBY STATE THAT THIS FINAL MAP SUBSTANTIALLY CONFORMS TO THE CONDITIONALLY APPROVED TENTATIVE TOP (GOVERNMENT CODES SECTIONS 66441 & 66442.5).

NOTES

- ALL STREET LIGHTS, UPON COMPLETION SHALL BE DEDICATED TO THE CITY OF ROCKLIN AND ADJUTTER'S RIGHTS OF ACCESS TO THE CITY OF ROCKLIN LIGHTING AND LANDSCAPING DISTRICT NO. 2.
- A DECLARATION OF COVENANTS AND RESTRICTIONS FOR "YANKEE HILL ESTATES UNIT 1" WAS FILED IN INSTRUMENT NO. 2002-01624156 PLACER COUNTY RECORDS, AND RECORDED CONCURRENTLY HEREMITH.
- A GRANT OF OPEN SPACE AND CONSERVATION EASEMENT WITH COVENANTS (RIPARIAN AREA CREEK PROTECTION COVENANTS) NO. 2002-01624156 PLACER COUNTY RECORDS, AND RECORDED CONCURRENTLY HEREMITH.
- A GRANT OF OPEN SPACE AND CONSERVATION EASEMENT WITH COVENANTS (RIPARIAN AREA CREEK PROTECTION COVENANTS) NO. 2002-01624156 PLACER COUNTY RECORDS, AND RECORDED CONCURRENTLY HEREMITH.
- THE MINIMUM FINISHED FLOOR ELEVATION FOR LOTS ADJACENT TO THE RIPARIAN AREAS ARE SHOWN ON SHEET 9 OF THIS FINAL MAP.

CITY ENGINEER'S STATEMENT

I, MARK A. KING, HEREBY CERTIFY THAT I HAVE EXAMINED THIS FINAL MAP AND THE INSTRUMENTS REFERENCED THEREIN. THE SAME AS IT APPEARED ON THE TENTATIVE MAP AS APPROVED BY THE PLANNING COMMISSION, THAT ALL PROVISIONS OF THE SUBDIVISION MAP ACT AND THE PLANNING COMMISSION'S DECISIONS HAVE BEEN COMPLIED WITHIN THE TENTATIVE MAP HAVE BEEN COMPLIED WITHIN THAT I AM SATISFIED THAT THIS MAP IS TECHNICALLY CORRECT.

DEC. 11, 2002
DATED
Mark A. King
CITY ENGINEER, CITY OF ROCKLIN
RCE 29036, EXPIRES 03-31-2003

CITY COUNCIL'S STATEMENT

THE CITY COUNCIL OF THE CITY OF ROCKLIN ON THE 10th DAY OF December, 2002, RESOLUTION NO. 2002-370 DID APPROVE THIS FINAL MAP OF "YANKEE HILL ESTATES UNIT 1" AND HAS ACCEPTED ON BEHALF OF THE PUBLIC ALL THE DEDICATIONS AND OFFER OF DEDICATION.

12-10-02
DATED
Sandra Davies
CITY CLERK, CITY OF ROCKLIN

RECORDER'S STATEMENT

FILED THIS 20th DAY OF December, 2002, AT 8:52 O'CLOCK A.M. IN BOOK OF MAPS, AT PAGE 58, IN THE OFFICE OF THE PLACER COUNTY RECORDER. RECORDED AT THE REQUEST OF LAND DEVELOPMENT SERVICES, INC.
FILE NO. 2002-01624148
FEE \$ 35.00

JILL MCGAULEY
PLACER COUNTY
RECORDER

BY: D. Taylor
DEPUTY

SD-95-01

SHEET 1 OF 9 SHEETS

J-565-1



BOOK Y OF MAPS, PAGE 58

FINAL MAP OF YANKEE HILL ESTATES UNIT I

BEING PARCELS 'B' and 'C' AS SHOWN ON "PARCEL MAP NO 70332" RECORDED JUNE 17, 1974 IN BOOK 5 OF PARCEL MAPS, PAGE 123, PLACER COUNTY RECORDS and BEING A PORTION OF THE WEST 1/2 OF SECTION 17, T. 11 N., R. 7 E., M.D.M. CITY OF ROCKLIN, COUNTY OF PLACER, STATE OF CALIFORNIA

NOVEMBER, 2002

LAND DEVELOPMENT SERVICES INC.
ROCKLIN, CALIFORNIA

LEGEND

- FOUND 1/2 CORNER OR SECTION CORNER AS NOTED
- FOUND MONUMENT AS NOTED
- SET 3/4" IRON PIPE TAGGED L.S. 3475
- SET R.S. SPIKE STAMPED L.S. 3475
- SET BRASS DISK IN MONUMENT WELL
- STAMPED L.S. 3475
- NOTHING FOUND OR SET
- SCRIBE @ BACK OF WALK FOR PROPERTY CORNER
- P.U.E. = PUBLIC UTILITY EASEMENT
- S.D.E. = STORM DRAIN EASEMENT
- P.S.D.E. = PRIVATE STORM DRAIN EASEMENT
- 4" x 4" REDWOOD POSTS DELINEATING OPEN SPACE and CONSERVATION EASEMENT LIMITS

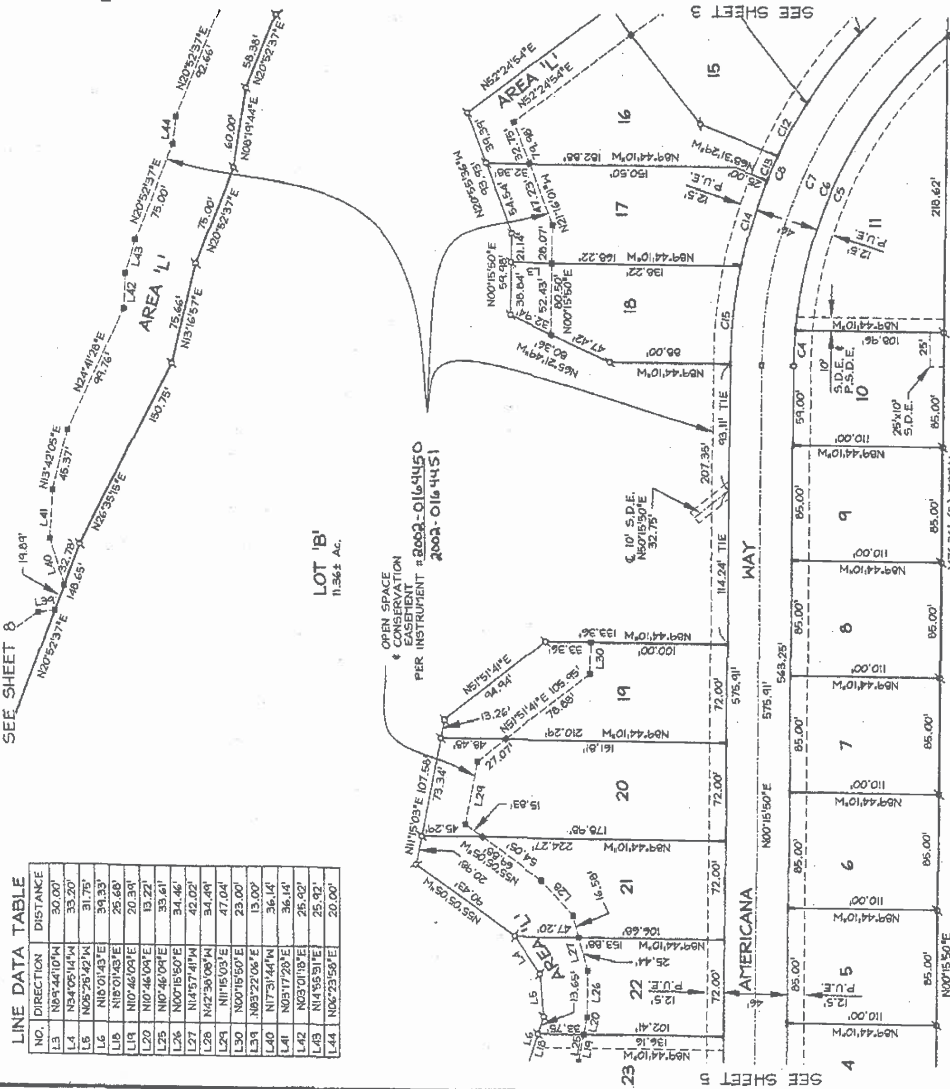
NOTES

REFER TO SHEET 2 FOR
BASIS OF BEARINGS,
REFERENCES,
and ADDITIONAL NOTES

SCALE 1" = 50'

CURVE DATA TABLE

NO.	R	A	L	BEARING	CHORD
C1	327.00'	04°33'54"	26.02'	N07°23'38"E	26.02'
C2	327.00'	43°51'50"	250.34'	N02°45'01"E	244.27'
C3	327.00'	40°25'24"	276.36'	N04°03'31"E	268.21'
C4	350.00'	61°26'33"	314.26'	N04°13'53"E	303.80'
C5	373.00'	64°25'20"	354.31'	N07°28'54"E	341.14'
C6	373.00'	06°50'48"	44.57'	N27°09'20"E	44.56'
C7	373.00'	03°04'25"	20.01'	N23°00'23"E	20.01'
C8	373.00'	10°04'54"	65.63'	N16°26'04"E	65.59'
C9	373.00'	11°07'47"	72.46'	N05°49'43"E	72.34'



SD-86-01

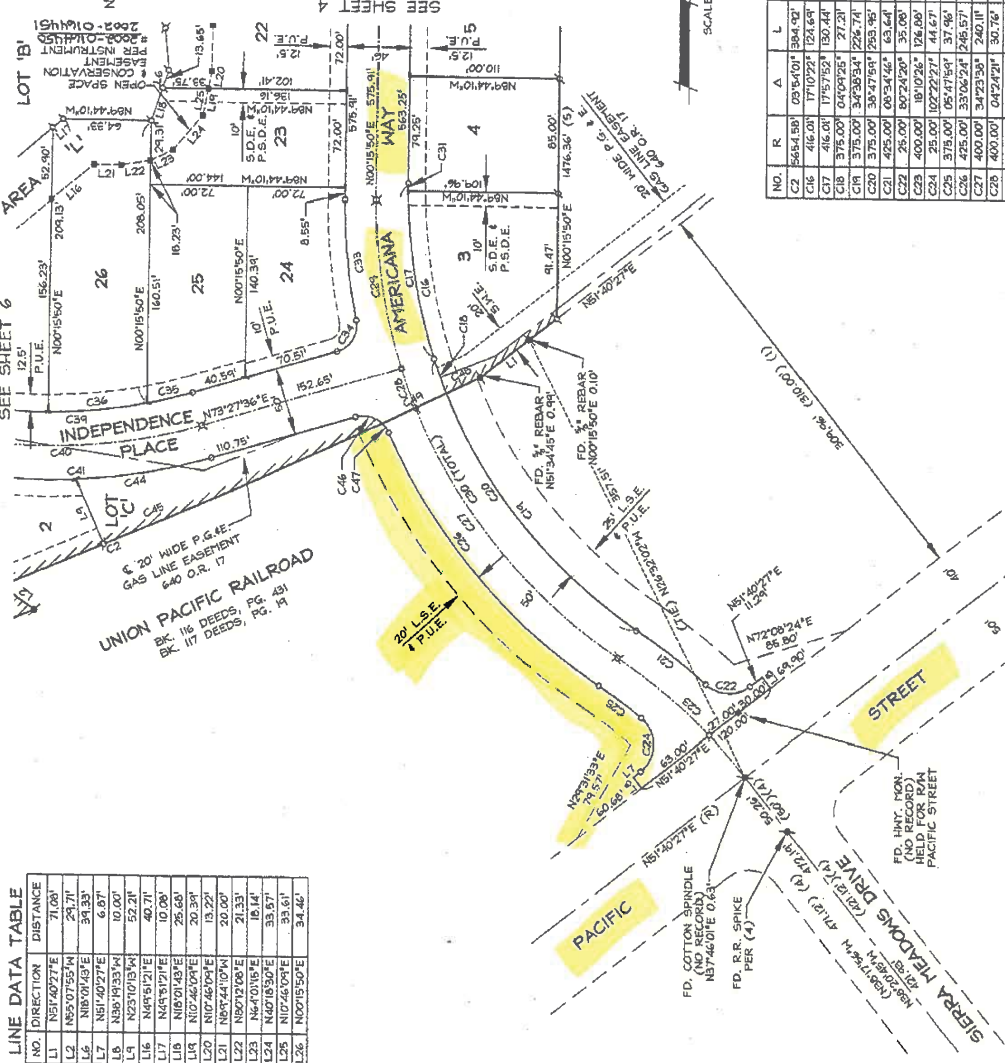
J-565-1

SHEET 4 OF 9 SHEETS

BOOK **Y** OF MAPS, PAGE **58**

LINE DATA TABLE

NO.	DIRECTION	DISTANCE
L1	N51°40'27"E	71.00'
L2	N55°07'55"W	29.71'
L6	N18°01'43"E	34.33'
L7	N51°40'27"E	6.67'
L8	N35°19'33"W	10.00'
L9	N23°10'13"W	52.21'
L16	N49°51'21"E	40.71'
L17	N49°51'21"E	10.00'
L18	N10°41'43"E	25.60'
L19	N10°41'43"E	20.39'
L20	N10°41'43"E	15.22'
L21	N10°41'43"E	20.00'
L22	N10°41'43"E	21.33'
L23	N10°41'43"E	16.14'
L24	N10°41'43"E	33.61'
L25	N10°41'43"E	33.61'
L26	N10°41'43"E	34.46'



FINAL MAP OF
YANKEE HILL ESTATES UNIT I

BEING PARCELS "B" and "C" AS SHOWN ON "PARCEL MAP NO 70932" RECORDED JUNE 17, 1974 IN BOOK 5 OF PARCEL MAPS, PAGE 123, PLACER COUNTY RECORDS AND BEING A PORTION OF THE WEST 1/2 OF SECTION 17, T. 11 N., R. 7 E., M.D.M. CITY OF ROCKLIN, COUNTY OF PLACER, STATE OF CALIFORNIA

NOVEMBER, 2002

LAND DEVELOPMENT SERVICES INC.
ROCKLIN, CALIFORNIA

- LEGEND**
- FOUND 1/2 CORNER OR SECTION CORNER AS NOTED
 - FOUND MONUMENT AS NOTED
 - SET 1/2 IRON PIPE TAGGED L.S. 3475
 - SET R.R. SPIKE TAGGED L.S. 3475
 - SET BRASS DISK IN MONUMENT WELL TAGGED L.S. 3475
 - NOTHING FOUND OR SET
 - SCRIBE 1/2 BACK OF WALK FOR PROPERTY CORNER
 - L.S.E. - LOST SECTION EASEMENT
 - P.U.E. - PUBLIC UTILITY EASEMENT
 - S.D.E. - STORM DRAIN EASEMENT
 - P.S.D.E. - PRIVATE STORM DRAIN EASEMENT
 - S.H.E. - SOUND HALL EASEMENT
 - 4" x 4" REDWOOD POSTS DELINEATING OPEN SPACE AND CONSERVATION EASEMENT LIMITS
 - W.L.L.L. - RELINQUISHMENT OF ADJUTER'S RIGHTS OF ACCESS

NOTES

REFER TO SHEET 2 FOR BASIS OF BEARINGS, REFERENCES, and ADDITIONAL NOTES

CURVE DATA TABLE

NO.	R	A	L	BEARING	CHORD	NO.	R	A	L	BEARING	CHORD
C2	5654.59'	09°54'01"	304.92'	N65°42'52"E	304.84'	C30	400.00'	54°45'14"	304.28'	N53°07'04"W	382.29'
C16	416.01'	17°57'22"	124.69'	N05°03'55"W	124.92'	C31	416.01'	09°47'50"	5.75'	N00°07'23"W	5.75'
C17	416.01'	17°57'22"	124.69'	N05°03'55"W	124.92'	C32	423.00'	12°01'30"	88.70'	N50°59'57"E	22.08'
C18	375.00'	04°01'25"	27.23'	N05°46'43"W	27.20'	C34	20.00'	85°13'30"	24.70'	N50°59'57"E	34.18'
C19	375.00'	34°28'34"	226.74'	N31°02'42"W	226.12'	C36	375.00'	05°13'30"	34.20'	N16°04'21"E	72.40'
C20	375.00'	34°28'34"	226.74'	N31°02'42"W	226.12'	C38	375.00'	11°04'46"	72.51'	N04°13'24"E	260.31'
C21	425.00'	00°34'46"	63.44'	N52°12'36"W	63.50'	C39	375.00'	40°37'06"	263.57'	N06°13'51"W	277.67'
C22	25.00'	80°24'20"	35.08'	N08°07'23"W	32.27'	C40	400.00'	40°37'06"	301.29'	N06°13'51"W	296.02'
C23	400.00'	8°10'26"	126.08'	N47°24'46"W	126.35'	C41	425.00'	40°37'06"	100.31'	N06°13'51"W	100.00'
C24	25.00'	10°22'22"	44.67'	N00°29'14"E	36.96'	C44	425.00'	13°31'24"	100.31'	N06°13'51"W	273.41'
C25	375.00'	05°47'19"	37.96'	N53°35'59"W	37.94'	C45	5654.59'	07°15'50"	223.43'	N65°41'53"E	14.90'
C26	425.00'	33°06'24"	246.57'	N05°56'47"W	242.17'	C46	20.00'	57°40'06"	20.83'	N76°42'20"W	8.14'
C27	400.00'	34°28'34"	226.12'	N31°02'42"W	226.12'	C47	20.00'	23°28'41"	6.20'	N35°07'55"W	27.72'
C28	400.00'	04°24'49"	30.75'	N05°54'11"W	30.75'	C48	5654.59'	09°16'51"	27.72'	N63°54'01"E	51.83'
C29	400.00'	17°57'50"	125.41'	N05°43'05"W	124.90'	C49	5654.59'	09°31'31"	51.84'	N64°18'12"E	51.83'

SD-95-01

SHEET 5 OF 9 SHEETS

BOOK Y OF MAPS, PAGE 58

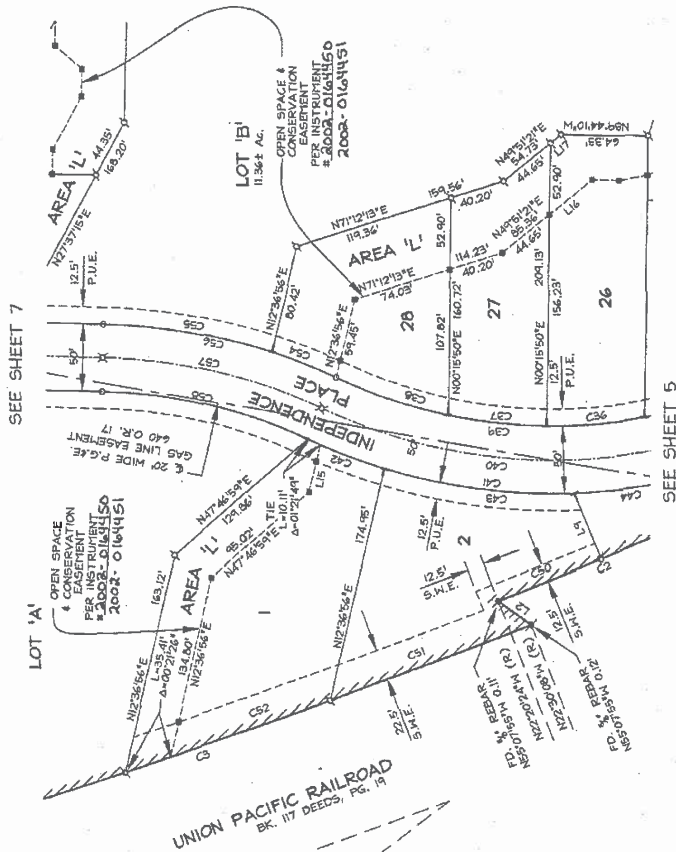
FINAL MAP OF YANKEE HILL ESTATES UNIT I

BEING PARCELS "B" and "C" AS SHOWN ON 'PARCEL MAP NO 70932' RECORDED JUNE 17, 1974 IN BOOK 5 OF PARCEL MAPS, PAGE 123, PLACER COUNTY RECORDS and BEING A PORTION OF THE WEST 1/2 OF SECTION 17, T. 11 N., R. 7 E., M.D.M. CITY OF ROCKLIN, COUNTY OF PLACER, STATE OF CALIFORNIA

NOVEMBER, 2002
LAND DEVELOPMENT SERVICES INC.
ROCKLIN, CALIFORNIA

- LEGEND**
- FOUND 1/2 CORNER OR SECTION CORNER AS NOTED
 - FOUND MONUMENT AS NOTED
 - SET 1/4 INCH PIPE TAGGED L.S. 3475
 - SET 1/4 INCH SPIKE TAGGED L.S. 3475
 - SET 1/4 INCH PIPE OR SPIKE FOR MONUMENT OR SET
 - SCRIBE 8 INCH OR 4 INCH CIRCULAR FOR PROPERTY CORNER
 - L.S.E. = LANDSCAPE EASEMENT
 - P.U.E. = PUBLIC UTILITY EASEMENT
 - D.E. = DRAINAGE EASEMENT
 - 4" x 4" REDWOOD POSTS DELINEATING OPEN SPACE AND CONSERVATION EASEMENT LIMITS
 - RELINQUISHMENT OF ABUTTER'S RIGHTS
 - OF ACCESS

NOTES
REFER TO SHEET 2 FOR
EASEMENT RIGHTS,
REFERENCE
AND ADDITIONAL NOTES



LINE DATA TABLE

NO.	DIRECTION	DISTANCE
L2	N55°07'55"W	29.71'
L9	N23°10'13"W	52.21'
L15	N27°36'56"E	36.09'
L16	N49°51'21"E	40.71'
L17	N49°51'21"E	40.71'

CURVE DATA TABLE

NO.	R	Δ	L	BEARING	CHORD
C2	564.54	03°54'01"	384.921	N65.42°36'E	384.84
C3	567.13	03°15'31"	421.33	N64.93°17'E	422.23
C4	570.00	01°04'46"	72.31	N64.13°24'E	72.40
C5	375.00	11°03.36"	72.31	N64.52°14"E	72.26
C6	375.00	19°12'42"	66.54	N72.32°44"E	66.55
C7	375.00	49°37'06"	66.54	N86.13°51"E	66.55
C8	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C9	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C10	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C11	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C12	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C13	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C14	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C15	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C16	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C17	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C18	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C19	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C20	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C21	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C22	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C23	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C24	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C25	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C26	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C27	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C28	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C29	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C30	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C31	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C32	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C33	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C34	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C35	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C36	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C37	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C38	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C39	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C40	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C41	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C42	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C43	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C44	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C45	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C46	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C47	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C48	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C49	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C50	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C51	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C52	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C53	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C54	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C55	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C56	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C57	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C58	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C59	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C60	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C61	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C62	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C63	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C64	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C65	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C66	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C67	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C68	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C69	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C70	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C71	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C72	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C73	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C74	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C75	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C76	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C77	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C78	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C79	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C80	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C81	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C82	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C83	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C84	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C85	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C86	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C87	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C88	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C89	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C90	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C91	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C92	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C93	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C94	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C95	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C96	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C97	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C98	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C99	400.00	49°37'06"	235.57	N86.13°51"E	271.87
C100	400.00	49°37'06"	235.57	N86.13°51"E	271.87

SD-95-01

SHEET 6 OF 9 SHEETS

BOOK Y OF MAPS, PAGE 58

FINAL MAP OF
YANKEE HILL ESTATES
UNIT I

BEING PARCELS "B" and "C" AS SHOWN ON "PARCEL MAP
NO 70352" RECORDED JUNE 17, 1974 IN BOOK 5 OF PARCEL MAPS,
PAGE 123, PLACER COUNTY RECORDS and BEING A PORTION
OF THE WEST 1/2 OF SECTION 17, T. 11 N., R. 7 E., M.D.M.
CITY OF ROCKLIN, COUNTY OF PLACER, STATE OF CALIFORNIA

NOVEMBER, 2002

LAND DEVELOPMENT SERVICES INC.
ROCKLIN, CALIFORNIA

- LEGEND**
- FOUND 1/2 CORNER OR SECTION CORNER AS NOTED
 - FOUND MONUMENT AS NOTED
 - SET 3/4" IRON PIPE TAGGED L.S. 3475
 - SET R.R. SPIKE TAGGED L.S. 3475
 - NOTHING FOUND OR SET
 - SCRIBE @ BACK OF WALK FOR PROPERTY CORNER
 - P.U.E. = PUBLIC UTILITY EASEMENT
 - S.D.E. = STORM DRAIN EASEMENT
 - S.E. = SANITARY SEWER EASEMENT
 - 4" x 4" REDWOOD POSTS DELINEATING OPEN SPACE and CONSERVATION EASEMENT LIMITS

CURVE DATA TABLE

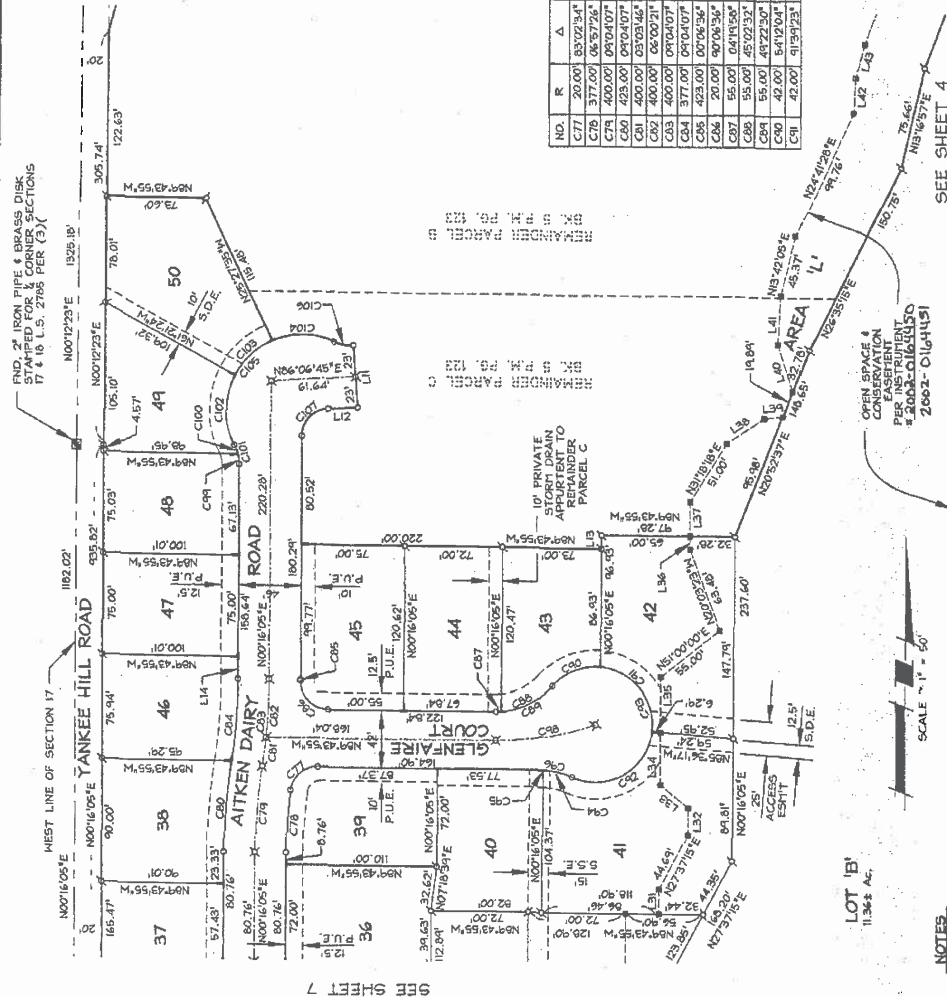
NO.	R	Δ	L	BEARING	CHORD	NO.	R	Δ	L	BEARING	CHORD
C77	30.00'	85°02'34"	26.59'	N65°44'46"E	26.59'	C82	42.00'	107°10'59"	76.57'	N60°20'32"E	67.60'
C78	37.00'	06°57'28"	45.75'	N05°44'46"E	45.75'	C83	42.00'	253°02'25"	195.49'	N12°35'17"W	22.01'
C79	400.00'	04°04'07"	63.31'	N04°43'08"E	63.31'	C84	55.00'	23°10'36"	22.25'	N17°34'17"W	0.47'
C80	425.00'	04°04'07"	66.95'	N04°43'08"E	66.95'	C85	55.00'	00°24'20"	0.47'	N04°24'15"W	0.47'
C81	400.00'	04°04'07"	63.31'	N04°43'08"E	63.31'	C86	55.00'	23°10'36"	22.25'	N17°34'17"W	0.47'
C82	425.00'	04°04'07"	66.95'	N04°43'08"E	66.95'	C87	55.00'	00°24'20"	0.47'	N04°24'15"W	0.47'
C83	400.00'	04°04'07"	63.31'	N04°43'08"E	63.31'	C88	55.00'	23°10'36"	22.25'	N17°34'17"W	0.47'
C84	377.00'	09°04'07"	99.67'	N07°19'29"E	99.67'	C89	55.00'	00°24'20"	0.47'	N04°24'15"W	0.47'
C85	423.00'	09°04'07"	101.81'	N07°19'29"E	101.81'	C90	55.00'	23°10'36"	22.25'	N17°34'17"W	0.47'
C86	400.00'	09°04'07"	99.67'	N07°19'29"E	99.67'	C91	55.00'	00°24'20"	0.47'	N04°24'15"W	0.47'
C87	55.00'	45°12'33"	43.24'	N63°24'51"E	43.24'	C92	55.00'	23°10'36"	22.25'	N17°34'17"W	0.47'
C88	55.00'	45°12'33"	43.24'	N63°24'51"E	43.24'	C93	55.00'	00°24'20"	0.47'	N04°24'15"W	0.47'
C89	55.00'	45°12'33"	43.24'	N63°24'51"E	43.24'	C94	55.00'	23°10'36"	22.25'	N17°34'17"W	0.47'
C90	42.00'	84°12'04"	34.73'	N07°54'37"E	34.73'	C95	55.00'	00°24'20"	0.47'	N04°24'15"W	0.47'
C91	42.00'	84°12'04"	34.73'	N07°54'37"E	34.73'	C96	55.00'	23°10'36"	22.25'	N17°34'17"W	0.47'

LINE DATA TABLE

NO.	DIRECTION	DISTANCE	NO.	DIRECTION	DISTANCE
L11	N03°33'15"W	46.00'	L36	N00°16'05"E	9.59'
L12	N05°00'45"E	21.65'	L37	N00°16'05"E	25.42'
L13	N00°16'05"E	10.00'	L38	N54°46'31"E	33.00'
L14	N00°16'05"E	16.51'	L39	N03°22'06"E	13.00'
L15	N00°16'05"E	16.12'	L40	N17°31'44"W	56.14'
L16	N00°16'05"E	20.00'	L41	N03°17'28"E	36.14'
L17	N00°16'05"E	20.00'	L42	N05°01'18"E	25.92'
L18	N00°16'05"E	35.45'	L43	N14°55'31"E	25.92'

SD-95-01

J-568-1



NOTES
REFER TO SHEET 2 FOR
BACKGROUND, REFERENCES,
and ADDITIONAL NOTES

SHEET 8 OF 9 SHEETS

BOOK Y OF MAPS, PAGE 58

FINAL MAP OF YANKEE HILL ESTATES UNIT I

BEING PARCELS 'B', 'C' and 'D' AS SHOWN ON 'PARCEL MAP NO 70932' RECORDED JUNE 17, 1974 IN BOOK 5 OF PARCEL MAPS, PAGE 123, PLACER COUNTY RECORDS and BEING A PORTION OF THE WEST 1/2 OF SECTION 17, T. 11 N., R. 7 E., M. 10 D., CITY OF ROCKLIN, COUNTY OF PLACER, STATE OF CALIFORNIA

NOVEMBER, 2002

LAND DEVELOPMENT SERVICES INC.
ROCKLIN, CALIFORNIA

INFORMATION SHEET



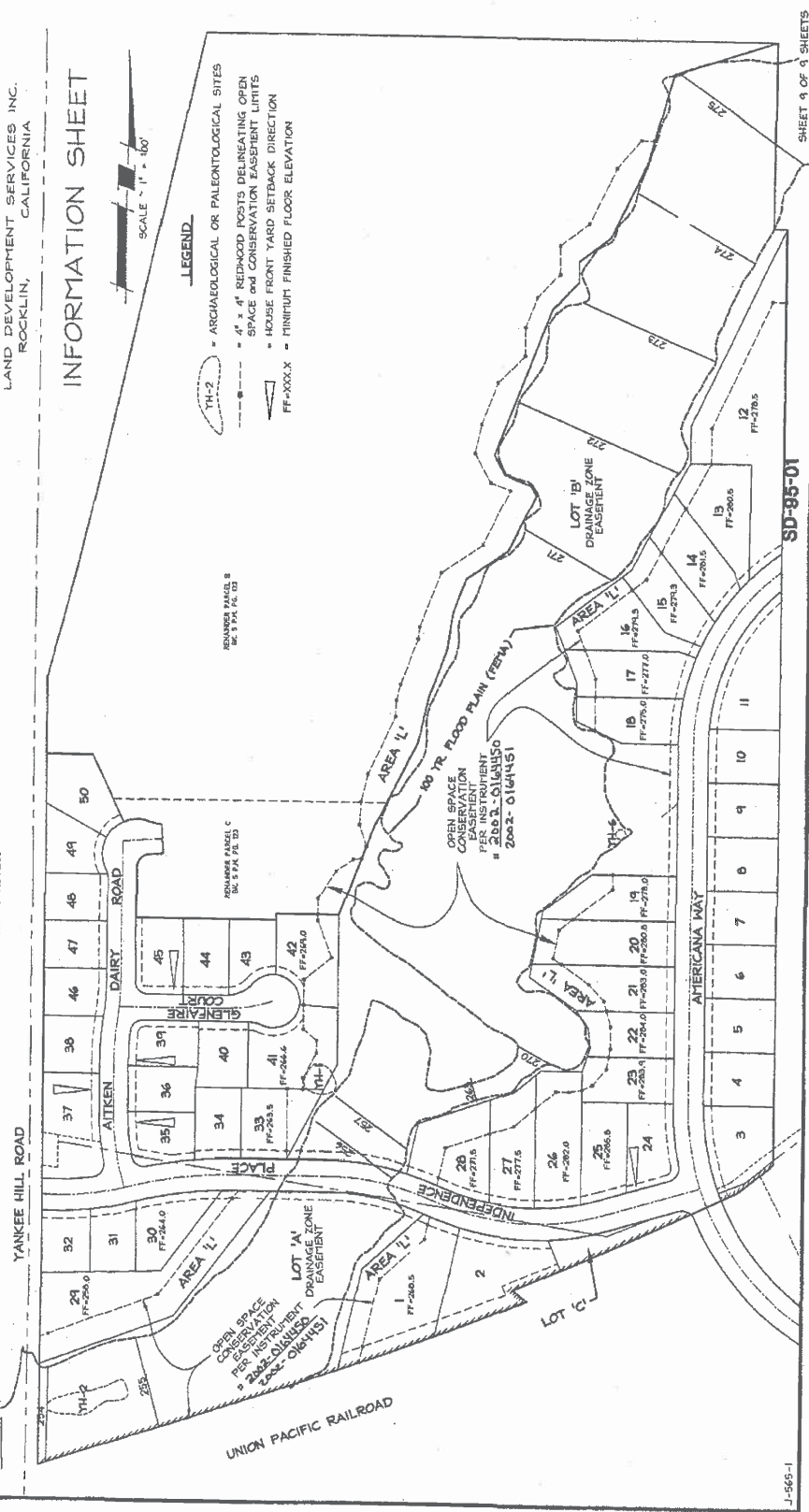
- LEGEND**
- TH-2 = ARCHAEOLOGICAL OR PALEONTOLOGICAL SITES
 - 4" x 4" REDWOOD POSTS DELINEATING OPEN SPACE and CONSERVATION EASEMENT LIMITS
 - HOUSE FRONT YARD SETBACK DIRECTION
 - FF-XXX.X = MINIMUM FINISHED FLOOR ELEVATION

NOTES - CONT'D

3. BEING PARCELS 'B', 'C' and 'D' AS SHOWN ON 'PARCEL MAP NO 70932' RECORDED JUNE 17, 1974 IN BOOK 5 OF PARCEL MAPS, PAGE 123, PLACER COUNTY RECORDS and BEING A PORTION OF THE WEST 1/2 OF SECTION 17, T. 11 N., R. 7 E., M. 10 D., CITY OF ROCKLIN, COUNTY OF PLACER, STATE OF CALIFORNIA.
4. ALL LOTS ABUTTING THE OPEN SPACE AND CONSERVATION EASEMENT FROM THE BOUNDARY OF THE OPEN SPACE EASEMENT AND THAT THE FROM THE BOUNDARY LINE SHALL BE LOCATED PARALLEL TO AND 5 FEET FROM THE BOUNDARY LINE. THE BOUNDARY LINE SHALL BE DETERMINED BY THE COMMUNITY DEVELOPMENT DIRECTOR. IN ADDITION, THOSE LOTS ABUTTING THE OPEN SPACE EASEMENT SHALL HAVE A FRONT SETBACK LINE LOCATED PARALLEL TO AND 20 FEET FROM THE EDGE OF THE STREET RIGHT-OF-WAY.
5. REFER TO SHEET 2 FOR BASIS OF BEARING, REFERENCES, and ADDITIONAL NOTES.

NOTES

1. ALL LOTS CREATED WITHIN THIS SUBDIVISION SHALL NOTIFY ALL FUTURE PROPERTY OWNERS OF THE LOT, THAT THE ADDING PROPERTY TO THE EAST IS ZONED LIGHT INDUSTRIAL AND COULD BE DEVELOPED WITH LIGHT INDUSTRIAL USES.
2. ALL LOTS CREATED WITHIN THIS SUBDIVISION SHALL BE AWARE THAT THE LOTS ARE SUBJECT TO THE EXISTING AND FUTURE TRUCKS ALONG THE WEST AND SOUTH SIDES OF THE PROPERTY AND THAT THE COMPANY PERIODICALLY CONDUCTS MAINTENANCE TRUCKS FOR LIGHT CRUISE TRUCKS. THE COMPANY'S MAINTENANCE TRUCKS SHALL BE AWARE THAT THE NUMBER OF TRIPS PER DAY CAN INCREASE DEPENDING ON THE OPERATIONAL NEEDS OF THE UNION PACIFIC RAILROAD.



SD-95-01

J-565-1

SHEET 9 OF 9 SHEETS



Google earth



Attachment 6

RESOLUTION NO. 2014-65

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ROCKLIN DEFINING MAJOR AND
MINOR SIGNS FOR PURPOSES OF IMPLEMENTING ORDINANCE 1006 (THE SIGN
ORDINANCE, CHAPTER 17.75 OF TITLE 17, ZONING) AND DESIGNATING THE APPROVAL
AUTHORITY FOR MURALS WITHIN THE CITY
City of Rocklin 2014 Sign Ordinance Amendment Implementation

The City Council of the City of Rocklin does resolve as follows:

Section 1. A Notice of Exemption was approved at the time Ordinance 1006 was adopted via City Council Resolution No. 2014-8 and that document adequately addresses these subsequent activities.

Section 2. The City Council of the City of Rocklin finds and determines that:

A. Ordinance 1006 (The Sign Ordinance, Chapter 17.75 of Title 17, Zoning) directed the City Council to adopt a list of Major and Minor Signs for purposes of administering the design aspects of various sign types within the City. The City Council is hereby identifying those signs as shown below:

1) Major Signs are hereby defined as:

- i. Freestanding Freeway oriented signs along or visible from Highway 80 and State Route 65.
- ii. Sign Programs associated with a new Shopping Center or Multi-Building Office Complex.
- iii. Permanent building or freestanding signs where design exceptions are requested relative to numerical standards in the Sign Ordinance and/or the design itself does not conform to the general standards presented in the Citywide Design Criteria, any subsequent design criteria adopted by the City and/or adopted Sign Program applicable to a specific development project but exhibits exceptional design qualities.
- iv. Projecting signs located over the public right-of-way and/or private property visible from the public right-of-way and extending beyond 24 inches from the building face.
- v. Wayfinding Programs associated with private development projects.

2) Minor Signs are hereby defined as:

- i. Awning signs.
- ii. Permanent building, monument and freestanding signs (other than Freestanding Freeway oriented signs) that conform to the provisions of the Sign Ordinance, Citywide Design Criteria, any subsequent design criteria adopted by the City and/or the adopted Sign Program applicable to a specific development project.
- iii. Projecting signs located over the public right-of-way and/or private property visible from the public right-of-way and extending up to 24 inches from the building face.
- iv. Special Advertising Devices as defined in the Sign Ordinance.
- v. Subdivision entry signs if not previously processed with the subdivision entitlement.
- vi. Suspended signs over covered walkways.
- vii. Temporary Signs requiring a permit and as defined in the Sign Ordinance.

B. Section 17.75.060(E) of Ordinance 1006 identifies the potential for murals to be established on private buildings in the commercial, industrial and mixed use zones in the City. The City Council hereby designates the Rocklin Parks, Recreation and Arts Commission as the appropriate approving body for murals on existing buildings in the City at locations when there are no other design review entitlements being approved. In instances where a new building is being constructed and/or design review is being conducted concurrently by another entity such as the Planning Commission or staff, the approving body for murals in those instances will be the approving entity for the project.

C. The City Council has considered the effect of the items in this resolution and found these actions to be consistent with the City of Rocklin General Plan, Housing Element, Zoning Ordinance (Title 17) and the public service needs of its residents as well as available fiscal and environmental resources.

Section 3. The City Council hereby approves this resolution addressing the City of Rocklin 2014 Sign Ordinance Amendment Implementation.

PASSED AND ADOPTED this 22nd day of April, 2014, by the following vote:

AYES: Councilmembers: Magnuson, Ruslin, Butler, Janda, Yuill

NOES: Councilmembers: None

ABSENT: Councilmembers: None

ABSTAIN: Councilmembers: None

Scott Yuill, Mayor

ATTEST:

Barbara Ivanusich, City Clerk

ADMINISTRATIVE DETERMINATION
AD-2013-05

ADMINISTRATIVE DETERMINATION
OF THE ECONOMIC AND COMMUNITY DEVELOPMENT DIRECTOR
OF THE CITY OF ROCKLIN APPROVING A DESIGN REVIEW
(Rocklin Storage Del Rio Court / DR-2013-07)

The Economic and Community Development Director of the City of Rocklin does resolve as follows:

Section 1. The Economic and Community Development Director of the City of Rocklin finds and determines that:

A. City Council Ordinance 940, Section 9.b. authorizes the Economic and Community Development Director of the City of Rocklin to approve applications for design review entitlements in the Del Mar Business Park General Development Plan area.

B. This application is a request for approval of a design review entitlement to allow the development of an approximately 106,977 square foot mini-storage facility, including an on-site manager's residence, on the south side of Del Rio Court.

C. A Mitigated Negative Declaration of Environmental Impacts was previously approved for this project via City Council Resolution 2009-119.

D. The design of the site is compatible with surrounding development, natural features and constraints.

E. The height, bulk, area, color scheme and materials of the buildings and structures are compatible with surrounding development.

F. The buildings and structures have been oriented with consideration given to minimizing energy consumption and maximizing use of natural lighting.

G. Adverse light and glare impacts upon adjoining properties have been eliminated or reduced to a less than significant level by consideration and modification of the location and height of light standards, orientation of exterior lighting fixtures, and conditioning the project to use light fixtures that will direct light downward.

H. The dimensions, placement, and design of the signs are compatible with the proposed buildings and structures and the surrounding development and environment.

I. The landscaping design is compatible with surrounding development and has been designed with provisions for minimizing water usage and maintenance needs.

J. The parking design, including ingress and egress traffic patterns, is compatible with the surrounding development and the public street patterns.

K. The design of the site and buildings or structures is consistent with the goals, policies, and land use designations in the General Plan and with all zoning standards, regulations, and restrictions applicable to the property.

Section 2. The Design Review for the (Rocklin Commercial and Storage / DR-2013-07) as depicted in Exhibits A and B, attached hereto and by this reference incorporated herein, is hereby approved subject to the conditions listed below. The approved Exhibits A & B shall govern the design and construction of the project, except that, any condition directly addressing an element incorporated into Exhibits A & B shall be controlling and shall modify said exhibits. All other plans, specifications, details, and information contained within Exhibit A shall be specifically applicable to the project and shall be construed as if directly stated within the condition for approval. Unless expressly stated otherwise, the applicant is solely responsible for satisfying each condition prior to issuance of the building permit.

A. Notice to Applicant of Fees & Exaction Appeal Period

The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code §66020(d), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations, and other exactions.

The applicant is hereby notified that the 90-day protest period, commencing from the date of approval of the project, has begun. If the applicant fails to file a protest regarding any of the fees, dedication requirements, reservation requirements or other exaction contained in this notice, complying with all the requirements of Government Code §66020, the applicant will be legally barred from later challenging such exactions.

B. Conditions

1. Utilities

- a. All utilities, including but not limited to water, sewer, telephone, gas, electricity, and conduit for cable television shall be provided to the project in compliance with all-applicable standards and requirements of the applicable provider. (APPLICABLE UTILITY)

- b. Solid Waste Disposal – The applicant shall install masonry trash enclosures with solid metal gates to the satisfaction of the Economic and Community Development Director. The location and design of trash enclosures shall provide for a minimum clear width and gate opening of 11 feet, a minimum interior depth of 14 feet (to accommodate two trash bins), and gates designed to clear adjacent curbing to the satisfaction of the Auburn Placer Disposal Company. (AUBURN PLACER DISPOSAL COMPANY, PLANNING)
- c. Prior to issuance of a Building Permit, the project shall be included (or provide verification that has already been included) in the appropriate City financing districts as needed to most efficiently provide for public maintenance of public landscaping, improvements such as sound walls, and provision of new or enhanced services such as street lighting to the satisfaction of the City Finance Manager. (FINANCE, ENGINEERING, PUBLIC WORKS)

It is anticipated that the following will be necessary:

Annexation into: CFD No. 5, Lighting & Landscaping District No. 2

2. Schools

At the time of issuance of a building permit, the developer shall pay to the Rocklin Unified School District all fees required under Education Code section 17620 and Government Code Section 65995. (ROCKLIN UNIFIED SCHOOL DISTRICT, BUILDING)

3. Improvements / Improvement Plans

Project improvements shall be designed, constructed and / or installed as shown on the approved improvement plans, in compliance with applicable city standards. The project improvement plans shall include the following:
(ENGINEERING, PLANNING)

- a. A detailed grading and drainage plan prepared by a registered civil engineer, in substantial compliance with the approved project exhibit(s). The grading and drainage plan shall include the following:
 - i) All storm drainage run-off from site shall be collected into a City standard sand and oil trap manhole (or an equal as approved by the City Engineer) prior to discharge of storm run-off offsite. Said sand and oil trap manhole shall be maintained by owner.

- ii) All storm drainage inlets shall be stamped with City Engineer approved wording indicating that dumping of waste is prohibited and identifying that the inlets drain into the creek system.
- iii) Provisions for detaining run off at pre-development levels.
- iv) The developer shall prepare a Storm Water Pollutant Protection Plan (SWPPP) for review and approval by the State Regional Water Quality Control Board as part of the project's drainage improvement plans.
- v) Prior to the commencement of grading operations, and if the project site will not balance with respect to grading, the contractor shall identify the site where any excess earthen material shall be deposited. If the deposit site is within the City of Rocklin, the contractor shall submit a report issued by a technical engineer to verify that the exported materials are suitable for the intended fill and show proof of all approved grading plans. Haul routes to be used shall be specified. If the site requires importing of earthen material, then prior to the commencement of grading operations, the contractor shall identify the site where the imported earthen material is coming from and the contractor shall submit a report issued by a technical engineer to verify that the imported materials are suitable for the intended fill and show proof of all approved grading plans. Haul routes to be used shall be specified.
- vi) If at any time during the course of grading or construction activities evidence of the existence of old wells, septic systems or other similar features is encountered, work shall be halted within 100 feet of the find and the City of Rocklin Engineer shall be notified. The City Engineer shall make a determination as to the nature of the feature (or features), the appropriate size for a buffer around the feature beyond which work could continue on the balance of the site, and which outside agencies, if any, should be notified and involved in addressing and/or remediation of the feature. At the discretion of the City Engineer and at the applicant's expense, a qualified consultant(s) shall be retained to assess and characterize the feature and to determine appropriate remediation, if any. Remediation of the feature including obtaining any special permits and/or approvals as needed shall be completed and documented to the satisfaction of the City Engineer and any responsible agencies, such as but not limited to the Placer County Department of Environmental Health, prior to completion of grading/construction in the affected area

- vii) Prior to any grading or construction activities, the applicant/developer shall demonstrate to the City that they have implemented and complied with the provisions of Sections 401 and 404 of the Clean Water Act, as administered by the Regional Water Quality Control Board and the U.S. Army Corps of Engineers, respectively. All terms, conditions and requirements of the permits shall be incorporated into and implemented with the project improvement plans to the satisfaction of the City Engineer.
- viii) Prior to any grading or construction activities, the applicant/developer shall demonstrate to the City that they have implemented and complied with the provisions of Sections 1600-1607 of the California Fish and Game Code, as administered by the California Department of Fish and Game. All terms, conditions and requirements of the permits shall be incorporated into and implemented with the project improvement plans to the satisfaction of the City Engineer.
- ix) Prior to any grading or construction activities, pre-construction protocol-level surveys shall be conducted by a qualified biologist on the portions of the project site planned for development to identify the presence or absence of Brandegees' clarkia, big-scale balsam-root and Sanford's arrowhead. The surveys shall be conducted during the appropriate blooming period (March – October) to ensure recognition of potentially-occurring species. The results of the surveys shall be submitted to the Community Development Department for review.

If, as a result of the survey(s), special status plant species are determined not to occur on the project site planned for development, further action shall not be required. If, as a result of the survey(s), special status plant species are determined to occur on the project site planned for development, consultation by a qualified biologist/botanist with the California Department of Fish and Game (CDFG) and/or the United States Fish and Wildlife Service (USFWS) shall be initiated, and a mitigation plan shall be prepared based on the consultation. The mitigation plan shall detail the various mitigation approaches to ensure no net loss of the species, such as transplanting or the purchase of mitigation credits.

- b. All on site standard improvements, including but not limited to:
 - i) paving, curbs (including concrete curbs to contain all landscape areas adjacent to vehicle parking areas or travel lanes), gutters,

sidewalks, drainage improvements, irrigation improvements (main lines and distribution where located under paved areas), utility improvements, parking lot lights, fire hydrants (where necessary), retaining walls, fences, pilasters, enhanced pavement treatments, trash enclosures, etc.

- ii) To the extent possible underground facilities such as but not limited to electrical, gas, water, drainage, and irrigation lines shall be located outside of or to the edge of areas designated for landscaping so as to minimize impacts to the viability of these areas.
- c. A detailed parking lot striping plan designed per City standards, which indicates all parking spaces, aisles, entrances, and exits.
- d. The following on-site special improvements:
 - i. All decorative tubular steel and/or wrought iron style fencing shall be constructed of medium gauge, or better, steel or aluminum and powder-coated black or dark bronze.
 - ii) An appropriate storm water runoff collection system shall be installed adjacent to the homes on Americana Way to the satisfaction of the City Engineer.
 - iii) The Del Mar General Development Plan states that:

“Outdoor storage shall be prohibited except that boats, trailers, RV’s, etc. may be stored within the walled and gated portion of the mini-storage facility provided that they are not visible from adjacent public streets, rail road tracks, or residences.”

The area immediately adjacent to the project site to the east has been proposed for single family residential development but has not yet been approved. If determined to be necessary by the Economic and Community Development Director the applicant shall modify the project design to create a visual screen along the easterly boundary between the project and the proposed residential development. Said visual screen could consist of a taller decorative screen wall, incorporation of a landscape area planted with screening vegetation into the project design, or other alternatives deemed acceptable by the Economic and Community Development Director.
- e. All areas disturbed by grading of the project site but not developed shall be rough graded smooth, have erosion control measures installed, and be

hydro-seeded (with a drought tolerant mix of wild flowers and grasses), as deemed appropriate by the City Engineer.

- f. Provisions for dust control, re-vegetation of disturbed areas, and erosion control, in conformance with the requirements of the City of Rocklin, including but not limited to the following (which shall be included in the project notes on the improvement plans):
 - i) Prior to commencement of grading, the developer shall submit a dust control plan for approval by the Economic and Community Development Director and the Placer County Air Pollution Control District. The plans shall specify measures to reduce dust pollution during all phases of construction.
 - ii) Traffic speeds on all unpaved road surfaces shall be posted at 25 mph or less.
 - iii) All grading operations shall be suspended when wind speeds exceed 25 mph.
 - iv) All adjacent paved streets shall be swept during construction.
 - v) All trucks leaving the site shall be washed off to eliminate dust and debris.
 - vi) All construction equipment shall be maintained in clean condition.
 - vii) All exposed surfaces shall be revegetated as quickly as feasible.
 - viii) If fill dirt is brought to the construction site, tarps or soil stabilizers shall be placed on the dirt piles to minimize dust problems.
 - ix) Water or dust palliatives shall be applied on all exposed earth surfaces as necessary to control dust. Construction contracts shall include dust control treatment as frequently as necessary to minimize dust.
 - x) Construction equipment shall be properly maintained and tuned.
 - xi) Low emission mobile construction equipment shall be utilized where possible.
 - xii) Open burning of vegetation is prohibited.
 - xiii) If evidence of an archaeological or paleontological site is uncovered during grading or other construction activities, work shall be halted within 100 feet of the find and the City of Rocklin Community Development Department shall be immediately notified. A qualified archaeologist or paleontologist shall be retained at the expense of the developer to conduct an on-site

evaluation and provide recommendations for removal and/or preservation. Work on the project site shall not resume until the archaeologist or paleontologist has had a reasonable time to conduct an examination and implement mitigation measures deemed appropriate and necessary by the Community Development Department to reduce impacts to a less than significant level.

4. Improvements in the Public Right-of-Way

The applicant shall obtain an encroachment permit for all improvements within the public right-of-way. Applicant shall post a performance bond and labor and materials payment bond (or other equivalent financial security) in the amount of 100% of the cost of the improvements to be constructed in the public right-of-way as improvement security to ensure the faithful performance of all duties and obligations required of applicant in the construction of the improvements. Such improvement security shall be in a form acceptable to the City Attorney. Such security shall be either a corporate surety bond, a letter of credit, or other instrument of credit issued by a banking institution subject to regulation by the State or Federal government and pledging that the funds necessary to carry out this Agreement are on deposit and guaranteed for payment, or a cash deposit made either directly with the City or deposited with a recognized escrow agent for the benefit of the City. (PUBLIC WORKS)

5. Landscaping

- a. Final landscape plans shall be prepared by the developer and approved by the Economic and Community Development Director. The landscape plans shall comply with the following requirements (PLANNING):
 - i) The landscaping plan shall be prepared by a landscape architect and shall include:
 - (1) A legend of the common and botanical names of specific plant materials to be used. The legend should indicate the size of plant materials.
 - (a) Shrubs shall be a minimum five-(5) gallon and trees a minimum of 15 gallon and meet the minimum height specified by the American Standards for Nursery Stock.
 - (2) A section diagram of proposed tree staking.
 - (3) An irrigation plan including an automatic irrigation system. The plan shall include drip irrigation wherever possible.

- (4) Berming of landscape strips along the public right-of-way and the installation of shrubs to screen the undercarriages of vehicles as viewed from off-site.
 - (5) Provision for the shading of the parking lot spaces by shade trees planted at a minimum of one for every five parking spaces.
 - (6) Granite or moss rock boulders along the planting strips.
- ii) The plan shall be certified by the landscape architect that the landscape plan meets the requirements of the water Conservation and Landscaping Act. Government Code §65591, et seq.
- b. The parking lot lighting plan shall be designed and located to accommodate shade trees and provide for illumination of the parking areas. Light standards and underground utilities shall be located such that required parking lot shade trees can still be planted.
- c. All landscaping shall be installed and the landscape architect shall certify, in writing, that the landscaping and irrigation system have been installed in full compliance with the approved plans prior to issuance of a Certificate of Occupancy.
- d. Prior to building permit issuance the landscape plans shall be modified as follows:
 - i) Add climbing vines to grow over the trellis structures shown on Building A.
 - ii) Specify that the Photinia Fraseri proposed along the railroad right-of-way boundary of the site are to be planted at no greater than 10-foot on center.

6. Landscaping Maintenance Agreement

Prior to issuance of the Certificate of Occupancy, the property owner shall enter into an agreement with the City of Rocklin providing for the maintenance of landscaping within the public right-of-way along Del Rio Court along the project's frontage (not including the roundabout). The agreement shall stipulate that the property owner shall maintain the irrigation system and all plant materials. The agreement shall also indemnify the City against claims arising from developer's activities and shall be recorded and binding on successors in interest of the developer. (ENGINEERING / PUBLIC WORKS)

7. Lighting

- a. All exterior lighting shall be designed and installed to avoid adverse glare on adjacent properties. Lighting fixtures shall be used and mounted such that all light is projected directly toward the ground. Light poles shall be a maximum of 20' in height as measured from grade to the top of the light. The lighting design plan shall be approved by the Economic and Community Development Director for compliance with this condition. (PLANNING)

8. Signs

All signs shall conform to the Sign Ordinance of the City of Rocklin and the sign design(s) and location(s) as shown on Exhibit B, except as modified herein. (PLANNING)

- a. No signage shall be allowed on building walls that face adjacent residential sites or development.
- b. Prior to building permit issuance, the freestanding entry sign proposed on Del Rio Court shall be modified to include the project site address to the satisfaction of the Economic and Community Development Director.
- c. The 15 foot high monument sign shall not utilize internally illuminated letters.

9. Screening of Mechanical Equipment

- a. All mechanical equipment, whether ground or roof mounted shall be screened from view from all public rights of way to the satisfaction of the Economic and Community Development Director. The design of the screening shall be in harmony with the architectural design of the building. (PLANNING)
- b. The appearance of large utility features, such as double detector check valves, shall be minimized through the use of utility blankets or other acceptable screening methods. The developer shall also demonstrate that these facilities have been moved as far as possible from the public right-of-way. (PLANNING)

10. Security

- a. Prior to building permit issuance the applicant shall prepare a security plan for review by the Rocklin Police Department, and shall provide the Rocklin Police Department with the name(s) and telephone number(s) of a responsible party to contact. (POLICE)

- b. Prior to building / unit occupancy the property owner, or each tenant, shall obtain and maintain at all times, an Alarm System Permit for each security system installed and operated in the building / shopping center / complex , if any, in accord with the requirements of Chapter 9.44 of the Rocklin Municipal Code. (POLICE)

11. Maintenance

- a. The property owner shall remove within 72 hours all graffiti placed on any fence, wall, existing building, paved area or structure on the property consistent with the provisions of Rocklin Municipal Code Section 9.32. Prior to removal of said graffiti, the property owner shall report the graffiti vandalism to the Rocklin Police Department. (PLANNING, POLICE)
- b. The project, including but not limited to paving, landscaping, structures, and improvements shall be maintained by the property owners, to the standard of similarly situated properties in equivalent use zones, to the satisfaction of the Economic and Community Development Director. (PLANNING)

12. Design

- a. Prior to building permit issuance, the project plans shall be modified as needed to ensure that Buildings A and F comply with the minimum 25-foot setback requirement noted in the Del Mar General Development Plan and preserve minimum drive aisle widths and turning radii.

13. Air Quality

- a. Electrical outlets shall be installed in the exterior walls of the building(s) in this project to promote the use of electrical landscaping equipment. (BUILDING, PLANNING)
- b. Low nitrous oxide (NO_x) natural gas hot water heaters shall be installed if gas hot water heaters are to be used in this project. (BUILDING, PLANNING)

14. Noise

- a. All “self-powered” construction equipment and stationary noise sources (i.e. pumps, electrical generators, etc.) shall be equipped with noise control devices (e.g., mufflers). (ENGINEERING, BUILDING)

- b. Equipment “warm-up” areas, water storage tanks, equipment storage areas, and stationary noise-generating machinery (i.e. pumps, electrical generators, etc.) shall be located away from existing residences and other sensitive noise receptors to the extent feasible. (ENGINEERING, BUILDING)
- c. All phases of project development shall be subject to the City of Rocklin Construction Noise Guidelines, including restricting construction-related noise generating activities within or near residential areas to between 7:00 a.m. and 7:00 p.m. on weekdays, and between 8:00 a.m. and 7:00 p.m. on weekends. The Economic and Community Development Director may grant exceptions to the Construction Noise Guidelines if, in the opinion of the Economic and Community Development Director, special and unusual circumstances exist that make strict adherence to the Construction Noise Guidelines infeasible. (ENGINEERING, BUILDING)
- d. Use of a public address system that can be heard outside of the building is prohibited. (PLANNING)

15. Monitoring

Prior to any grading on the property, the developer shall deposit with the City of Rocklin the current fee to pay for the City’s time and material cost to administer the Mitigation Monitoring Program. The Economic and Community Development Director shall determine if and when additional deposits must be paid for administering the Mitigation Monitoring Program, including additional deposits on subsequent phases of construction. These amounts shall be paid prior to construction for additional phases on this project. (ENGINEERING, BUILDING, PLANNING)

16. Validity

This entitlement shall expire two years from the date of approval unless prior to that date a building permit has been issued or a time extension has been granted. (PLANNING)

PASSED AND ADOPTED this 30th day of September, 2013, by the Economic and Community Development Director of the City of Rocklin as authorized by City Council Ordinance 940, Section 9.b.

Economic and Community Development Director

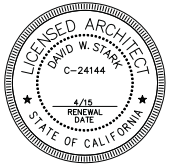
ATTEST:

Secretary

P:\PERMANENT PLANNING FILES\ADMINISTRATIVE DETERMINATIONS\2013\Rocklin Storage Del Rio Court DR-2013-07 9-30-13.docx

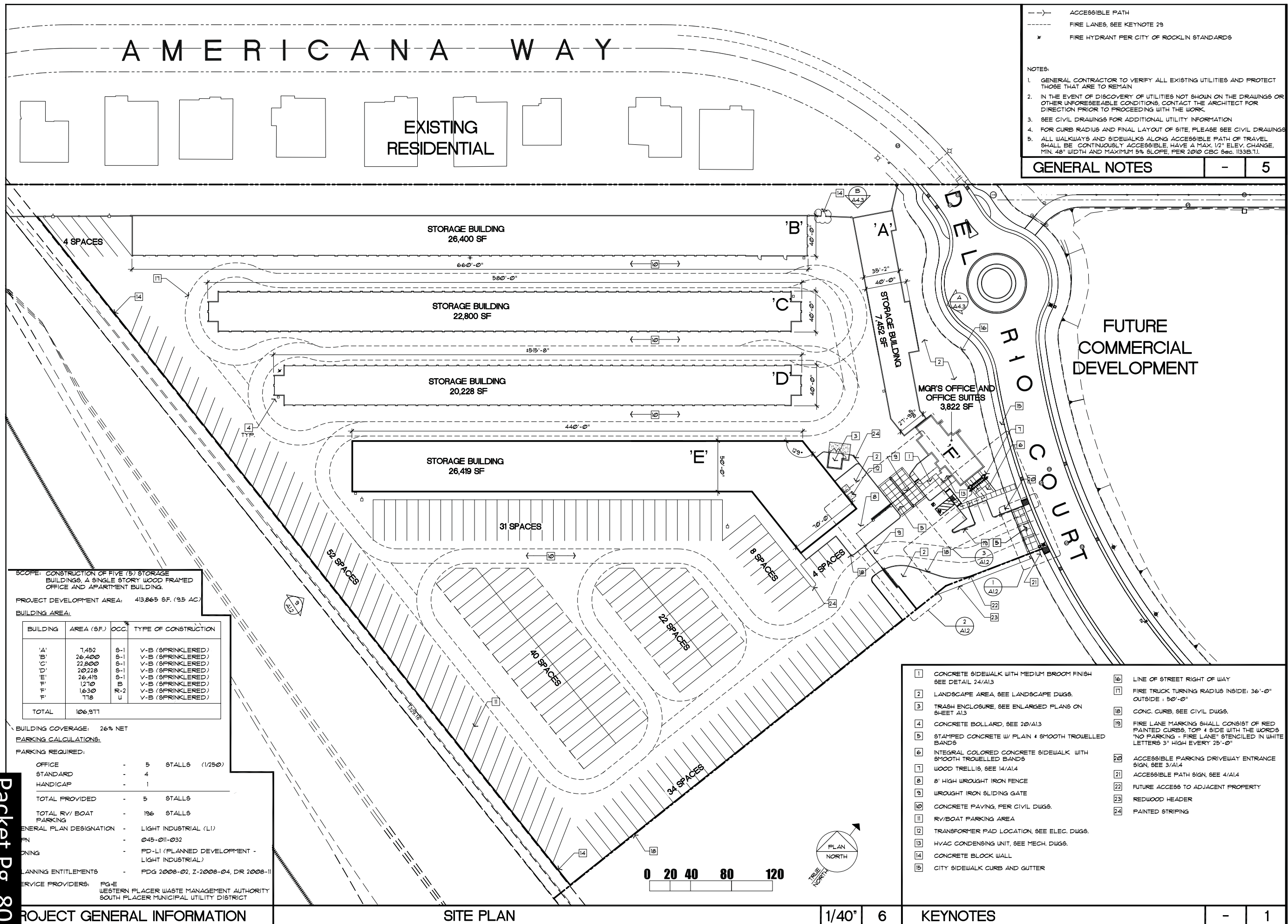
EXHIBIT A

Design Review Documents are available at the Community Development Department



**DEL RIO COURT
ROCKLIN, CA
THOMASTOWN BUILDERS**

A1.1



**DEL RIO COURT
ROCKLIN, CA
THOMASTOWN BUILDERS**

REVISIONS:
REVISED 9-16-13

SD JOB NO:	4.150
DATE:	4-01-13
CHECKED BY:	DWS

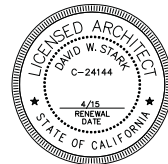
Agenda Item #7.

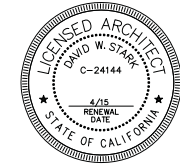


1/4"	9
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CONCRETE WALK & LANDSCAPE1"16	TRASH ENCLOSURE ELEVATION1/4"12	ACCESSIBLE DRIVEWAY SIGNAGE3/4"8	PARKING STALL SIGNAGE3/4"4
CURB AND WALK1-1/2"15	TRASH ENCLOSURE ELEVATION1/4"11	CONCRETE GROOVES3"7	CONC. WHEEL STOP1-1/2"3
TRASH ENCLOSURE DOOR1-1/2"14	TRASH ENCLOSURE PLAN1/8"10	RAMP SECTION1/2"6	ACCESSIBLE SYMBOL1"2
TRASH ENCLOSURE WALL1/2"13	ACCESSIBLE PATH SIGN3/4"9	TRUNCATED DOMES DETAIL6"5	ACCESSIBLE STALL1/8"1





ROCKLIN SELF STORAGE

DEL RIO COURT
ROCKLIN, CA
THOMASTOWN BUILDERS

SITE
DETAILS

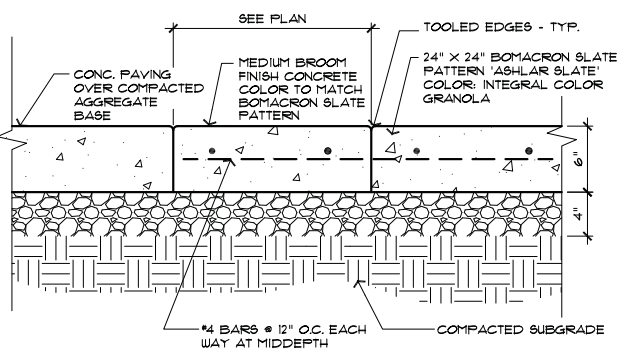
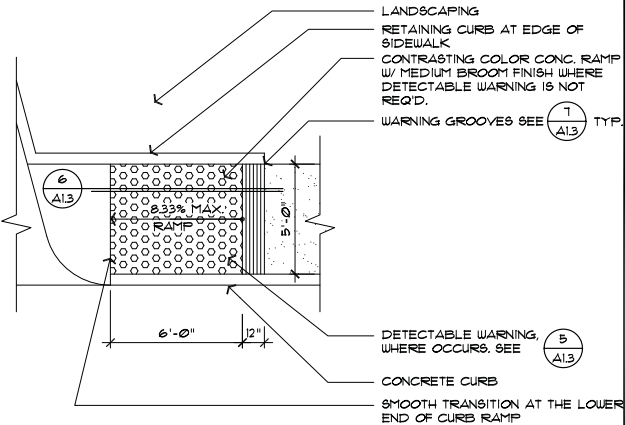
REVISIONS:

REVISED 9-16-13

SD JOB NO: 4.150
DATE: 4-01-13
CHECKED BY: DWS

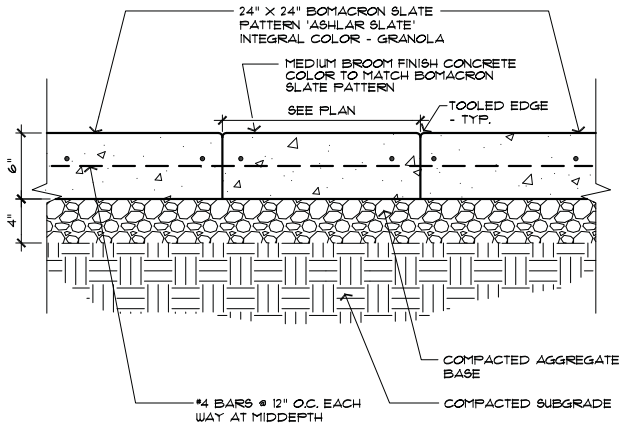
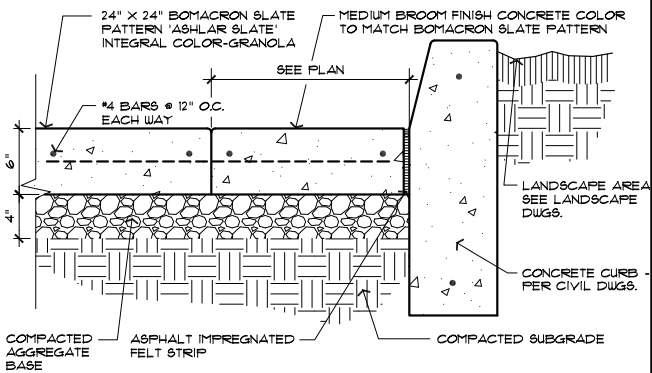
A1.4

Agenda Item #7.



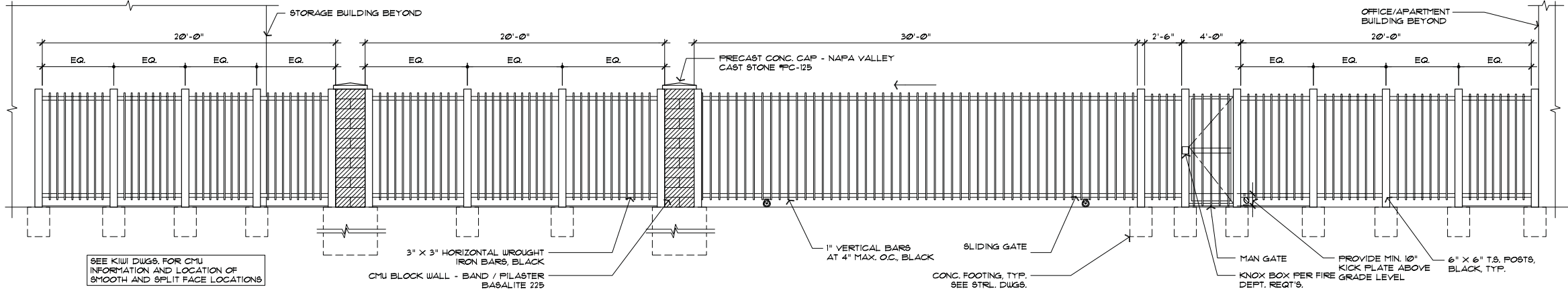
RAMP PLAN

STAMPED CONCRETE DETAIL

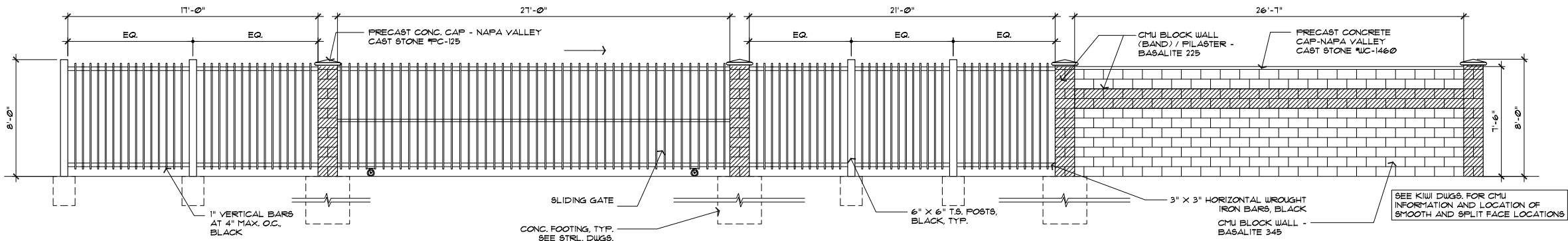


STAMPED CONC. AT CURB

STAMPED CONCRETE



ENTRANCE GATE ELEVATION



ENTRANCE GATE ELEVATION



ROCKLIN SELF STORAGE

DEL RIO COURT
ROCKLIN, CA
THOMASTOWN BUILDERS

LOWER LEVEL
FLOOR PLAN

REVISIONS:

REVISED 9-16-13

SD JOB NO: 4.150

DATE: 4-01-13

CHECKED BY: DWS

A2.1

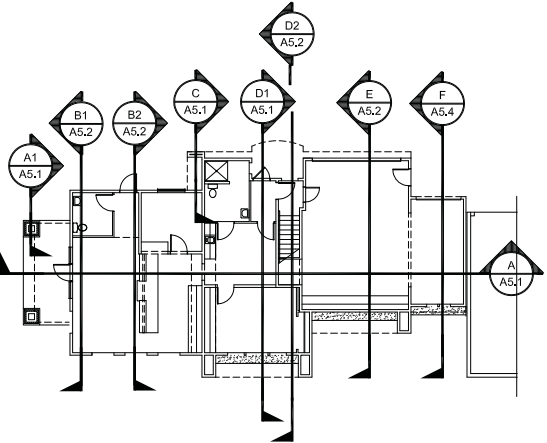
Agenda Item #7.

KEYED NOTES:

- 1 ACCESSIBLE THRESHOLD - SEE DETAIL 'A' ON SHEET A-3.1
- 2 NO AIR DUCTS TO PENETRATE BETWEEN OCCUPANCY SEPARATION AREAS. SEE DETAIL 'B' ON A6.3 FOR UTILITY LINE PENETRATIONS AT FIRE RESISTIVE ASSEMBLIES. PENETRATING ITEMS PASSING ENTIRELY THROUGH BOTH PROTECTIVE MEMBRANES OF OCCUPANCY SEPARATION WALLS SHALL COMPLY WITH CBC, SECTION 109.3.
- 3 MIN. 22"x30" ATTIC ACCESS THIS AREA - SEE ROOF FRAMING PLAN AND MECHANICAL PLANS FOR EQUIPMENT LOCATED IN ATTIC.
- 4 WATER CLOSETS TO BE MAXIMUM 1.6 GALLON PER FLUSH PER STATE HEALTH & SAFETY CODE, SECTION 179213(b)
- 5 NOT USED
- 6 PROVIDE SIGN INDICATING INTERNATIONAL SYMBOL OF ACCESSIBILITY AT BUILDING ENTRANCES.
- 7 PROVIDE FIRE EXTINGUISHER THIS AREA. SEE ADDITIONAL NOTES ON SHEET A10
- 8 SECURITY MONITORS THIS AREA IN BUILT-IN CABINET. COORDINATE W/ OWNER.
- 9 SHEETROCK WRAPPED ARCH. SEE SCHEMATIC.
- 10 SEE DETAILS ON A5.2 FOR RECEPTION COUNTER INFO.
- 11 24" SQ. FRAMED COLUMN W/ STONE VENEER SIDING OVER 3/8" PLYWOOD. SEE DETAILS 6/A6.2, 404/516.4 and 103/516.1.
- 12 DECORATIVE TRELLIS STRUCTURE. SEE DETAILS ON SHEET A5.1 AND NOTES ON SHEET 515.
- 13 LINE OF FLOOR ABOVE. SOFFIT BELOW WITH STUCCO SCREED. SEE DETAIL NO. 8 ON SHEET A6.2.
- 14 DENOTES 1 HOUR WALL (STUD SIZE AS NOTED). SEE DETAIL '1' ON SHEET A6.3.
- 15 SEE NOTE '12' ON SHEET A2.2 FOR STAIR INFO.
- 16 DUAL GLAZED WINDOWS WITH VINYL FRAMES (ALUMINUM FRAMES AT OWNER'S OPTION). SEE DETAILS 1 and 3 ON SHEET A6.1.
- 17 DENOTES STONE VENEER. SEE DETAILS 6 and 1 ON SHEET A6.2, 103 ON SHEET 516.0.
- 18 FURR CEILING THIS AREA TO 1'-8" HGT. (STUCCO SOFFIT). SEE SECTION '12' ON A5.1.
- 19 FRAMED LEDGE WITH STUCCO FINISH. SEE DETAIL '11' ON SHEET A6.2.
- 20 AREAS SHOWN HATCHED TO BE FURRED TO 7'-3" CEILING HEIGHT FOR DUCTING. SEE MECHANICAL PLANS AND BUILDING SECTIONS.
- 21 NOT USED
- 22 4'-0" HIGH (6'-0" at OWNER'S OPTION) SCREEN WALL W/ STONE VENEER ONE SIDE, STUCCO OTHER SIDE and CAP. SEE DETAIL '13' ON SHEET A6.2.
- 23 FRAME (2) 2x6 WALLS TO RAFTERS. SEE SECTION 'C' ON SHEET A5.1.
- 24 LEVEL LANDING. SEE SHEET A11 AND DETAILS 12/56.1 and 100/516.1 FOR ADDITIONAL INFORMATION.
- 25 CONCRETE PAD PER PLAN FOR CONDENSING UNITS THIS AREA. SEE PLUMBING AND MECHANICAL PLANS FOR ADDITIONAL INFO.
- 26 2x6 STUDS at 16"oc W/ 3/8" FLYWD BOTH SIDES OF WALL (SEE STRUCT. FOR SHEAR WALL NAILING). TYPEK OVER FLYWOOD ON STORAGE BLDG. SIDE, 5/8" TYPE 'X' GYP. BD. OVER FLYWD. ON BOTH SIDES OF WALL, PER TABLE 1201 (2), 15-115. SEE WALL SECTION 'A' ON SHEET A5.3.
- 27 SOLID GROUTED MASONRY WALL - SEE PLANS BY 'KIWI II' FOR STORAGE BUILDING DETAILS.

LEGEND:

- 1 REFERENCE TO KEYNOTE, THIS SHEET
- 11 REFERENCE TO DOOR SCHEDULE, SHEET 'A'-3.1
- 1 REFERENCE TO WINDOW SCHEDULE, SHEET 'A'-3.1
- DENOTES 2x6 FRAMING @ 16"oc
- DENOTES 2x4 (MIN) FRAMING @ 16"oc
- DENOTES 1-HOUR FIRE BARRIER WALL - SEE DETAILS 1/A6.3 and 3/A6.3.
- DENOTES WALL FRAMED W/ 2x8 STUDS. STUCCO FINISH BOTH SIDES. SEE ELEVATIONS.
- DENOTES 1-HOUR FIRE WALL SEE DETAILS 1/A6.3.1.



SECTION KEY

N.T.S.

OFFICE (lower level) ('B') 1270 SQ. FT.
COVERED ENTRY ('B') 144 SQ. FT.

RESIDENTIAL (upper) (R-3) 1571 SQ. FT.
RESIDENTIAL (lower) (R-3) 59 SQ. FT.
RESIDENTIAL (total) (R-3) 1630 SQ. FT.

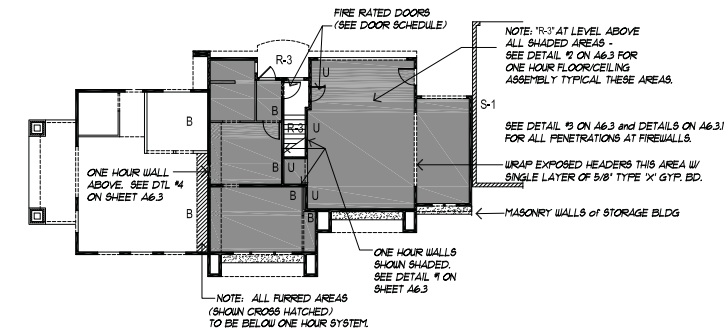
GARAGE (U) 778 SQ. FT.

NOTES:

1. STRUCTURE TO BE EQUIPPED WITH FIRE SPRINKLERS.
2. SEE SHEET 'A3.1' FOR DOOR AND WINDOW SCHEDULES.
3. SEE SHEET 'A2.2' FOR ADDITIONAL INFORMATION.
4. ALL BEARING WALLS SUPPORTING 1 HOUR FLOOR CEILING ASSEMBLY SHALL BE RATED NO LESS THAN RATING OF ASSEMBLY

BUILDING AREAS:

ENERGY INFO:



OCCUPANCY SEPARATION:
EXIT SYSTEM:

OCCUPANT LOAD (CBC SECTION 1004, TABLE 1004.1.1)

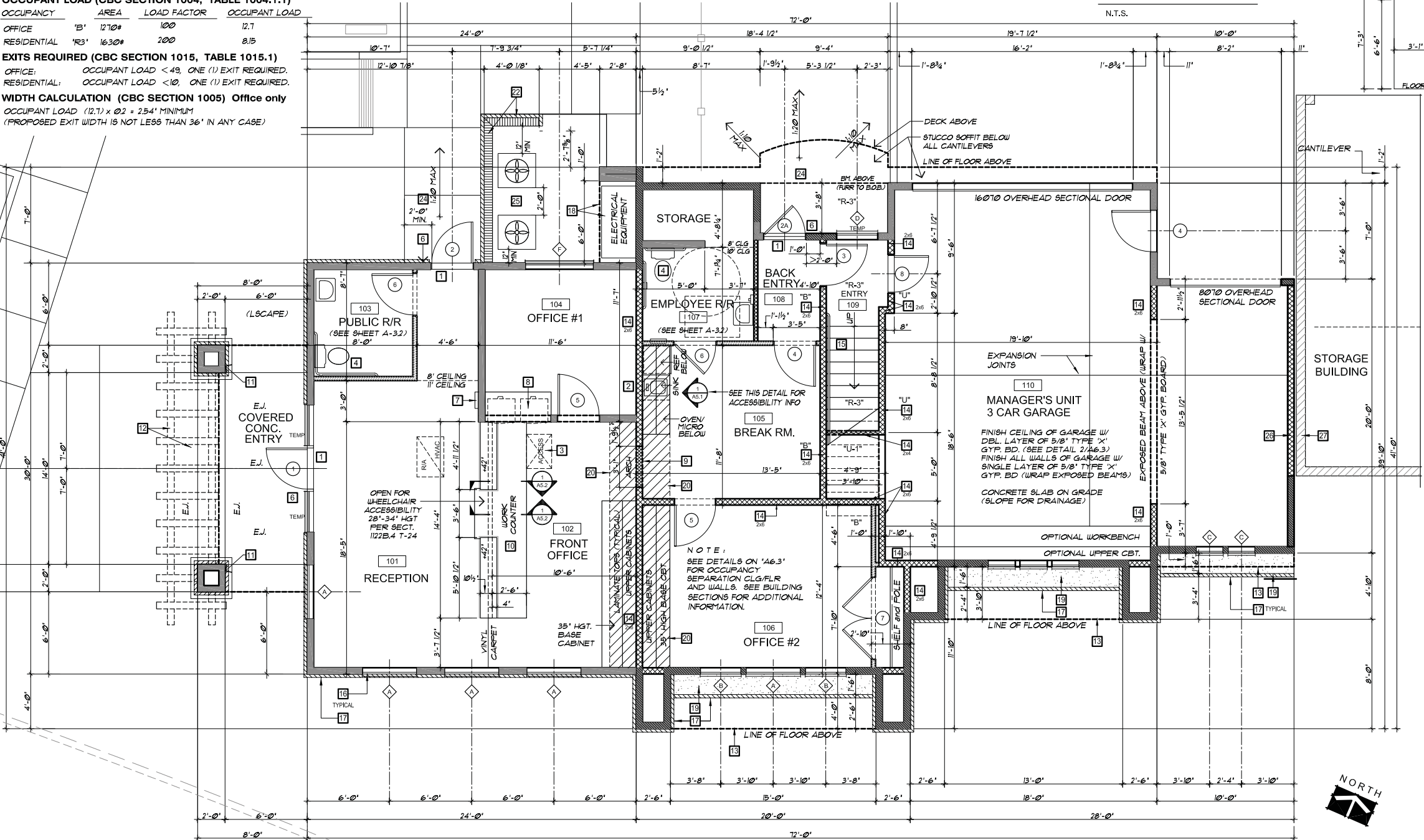
OCCUPANCY	AREA	LOAD FACTOR	OCCUPANT LOAD
OFFICE	'B' 1270#	100	12.7
RESIDENTIAL	'R3' 1630#	200	8.15

EXITS REQUIRED (CBC SECTION 1015, TABLE 1015.1)

OFFICE: OCCUPANT LOAD < 49. ONE (1) EXIT REQUIRED.
RESIDENTIAL: OCCUPANT LOAD < 10. ONE (1) EXIT REQUIRED.

WIDTH CALCULATION (CBC SECTION 1005) Office only

OCCUPANT LOAD (12.7) x 0.2 = 2.54' MINIMUM
(PROPOSED EXIT WIDTH IS NOT LESS THAN 36" IN ANY CASE)



LOWER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

KEYED NOTES:

- 1

FINISH ALL SHOWERS TO MINIMUM 10' HEIGHT ABOVE DRAIN INLET WITH WATERPROOF FINISH SURFACE OVER WATER RESISTANT TYP. BACKING BOARD COMPLYING WITH CBC SECTION 2506. ALL SHOWER COMPARTMENTS SHALL HAVE A MINIMUM FINISH INTERIOR OF 102.4 SQ. IN. AND SHALL BE CAPABLE OF ENCOMPASSING A 30" CIRCLE. PROVIDE TEMPERED GLASS ENCLOSURE. SEE DETAILS 5 and 6 ON SHEET A6.3.
- 2

VENT DRYER TO OUTSIDE AIR PER UMC REQ. DUCT LENGTH SHALL NOT EXCEED 14' LENGTH, INCLUDING TWO 90° ELBOWS. DEDUCT 2' FOR EACH 90° ELBOW IN EXCESS OF TWO. DUCT TO BE SMOOTH METAL. PROVIDE BACKDRAFT DAMPER.
- 3

75 GALLON MAX. WATER HEATER (SERVING 'B' & 'R-3') ON SHEET-METAL OVERFLOW FAN - VENT TO ROOF. PROVIDE SEISMIC ANCHORAGE - STRAP AT UPPER AND LOWER 1/3 OF VERTICAL DIMENSIONS - LOWER STRAP MIN. 4' ABOVE CONTROLS (UPC SECTION 510-5). PROVIDE PRESSURE RELIEF VALVE WITH DRAIN TO OUTSIDE. (SEE PLUMBING PLANS FOR ADDITIONAL INFO)
- 4

SLOPE WATERPROOF SURFACE (DEX-O-TEX OR EQUAL) TO THROUGH WALL SCUPPER AS INDICATED. SEE DETAILS ON SHEET A6.32.
- 5

NO AIR DUCTS TO PENETRATE BETWEEN OCCUPANCY SEPARATION AREAS. SEE DETAIL #2, SHEET A6.2 FOR UTILITY LINE PENETRATIONS AT FIRE RESISTIVE ASSEMBLIES. PENETRATING ITEMS PASSING ENTIRELY THROUGH BOTH PROTECTIVE MEMBRANES OF OCCUPANCY SEPARATION WALLS SHALL COMPLY WITH CBC, SECTION 109.
- 6

MIN. 22"x30" ATTIC ACCESS THIS AREA - SEE ROOF FRAMING PLAN AND MECHANICAL PLANS FOR EQUIPMENT LOCATED IN ATTIC.
- 7

WATER CLOSETS TO BE MAXIMUM 1.6 GALLON PER FLUSH PER STATE HEALTH & SAFETY CODE, SECTION 17921316).
- 8

FURR IN WALL AS NECESSARY TO ALIGN FLOORING WITH THIS WALL (OPTIONAL - VERIFY W/ CONTRACTOR)
- 9

CANTILEVERED DECK W/ 42" HIGH FRAMED WALL/RAILING (STUCCO BOTH SIDES AND CAP). SEE ALSO NOTE #4 ABOVE.
- 10

ZERO CLEARANCE FIREPLACE W/ CLOSABLE TEMP. GLASS DOOR. PROVIDE OUTSIDE AIR INTAKE. MANUF. MODEL NO. TO BE DETERMINED. INSTALL PER MANUFACTURER'S SPECIFICATIONS. PROVIDE RAISED HEARTH (TILE) - 18" DEEP x 12" HIGH (CONTRACTOR TO VERIFY).
- 11

FRAMED OPENING BETWEEN LIVING AREA AND HALLWAY (SHEETROCK FINISH)
- 12

(SEE DETAIL 7B and 9 ON SHEET A6.3)

• 18 RISERS AT APPROX. 1 1/2' EACH

• APPROX. 10 3/8" TREADS WITH TAPERED EDGES

• FRAME STAIRS IN ACCORDANCE W/ UBC SECT. 1003.3.3.

• FINISH ALL WALLS AT STAIRWELL AND WALLS BELOW STAIRS WITH 5/8" TYPE 'X' GYP. BD.

• FINISH CEILING BELOW STAIRS W/ (2) LAYERS OF 5/8" TYPE 'X' GYPSUM BOARD.

• PROVIDE 34" MIN. - 38" MAX. HANDRAILS (36" HIGH GUARDRAILS). HANDGRIP PORTION SHALL BE NOT LESS THAN 1 1/4" NOR MORE THAN 2 1/4". AND SHALL BE RETURNED AT ENDS. RAILS / PICKETS TO BE SPACED SUCH THAT A 4" SPHERE CANNOT FIT THROUGH.

NO SHARP CORNERS. EXTEND CONTINUOUSLY FROM TOP TO BOTTOM RISER. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/4" BETWEEN THE WALL AND THE HANDRAIL. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS. (CBC, SECTION 1012)
- 13

TYPICAL NOTES FOR FENESTRATION:

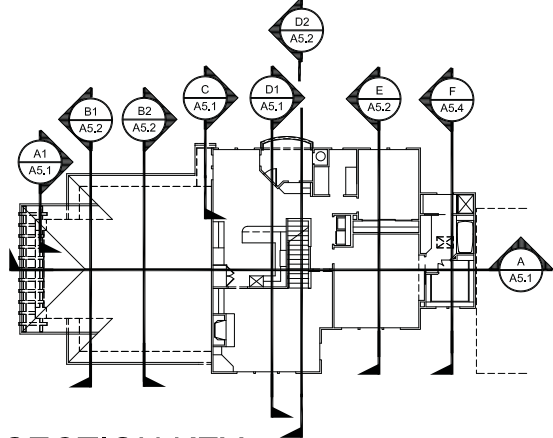
• FENESTRATION: PROVIDE TEMPERED GLASS AS NECESSARY IN ACCORDANCE W/ CBC SECTION 2406. BEDROOM WINDOWS TO CONFORM TO CBC SECTION 1029 - NET CLEAR OPENING OF 5.7 SQ. FT. MIN. (24" CLEAR HEIGHT, 20" CLEAR WIDTH, FINISHED SILL HEIGHT 44" MAX. AFF.)

• LIGHT AND VENTILATION SHALL CONFORM TO CBC SECTION 1003. THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4 PERCENT OF THE FLOOR AREA BEING VENTILATED.
- SEE TITLE 24 SPEC'S FOR ADDITIONAL NOTES.
- 14

FULL HEIGHT CABINET W/ CABINET DOORS.
- 15

2030 DUAL GLAZED SKYLIGHT. INSTALL AND FLASH PER MANUFACTURER'S SPECIFICATIONS. SEE STRUCT. FOR FRAMING DETAIL. PROVIDE FLARED SKYLIWELL (SHEETROCK ALL SIDES) - SITE DETERMINE.
- 16

PROVIDE VENTS (HIGH AND LOW) THIS WALL FOR VENTILATION OF WATER HEATER. PROVIDE VENTS WITHIN 12' OF THE FLOOR AND 12' OF THE CEILING. SIZE: MIN. 5'x4' (20 SQ. INCHES)



SECTION KEY

N.T.S.

R3 AREA THIS LEVEL: 1571 SQ. FT.
R3 AREA @ LOWER LEVEL: 59 SQ. FT.
TOTAL R3 AREA: 1630 SQ. FT.

DECK AREA THIS LEVEL: 71 SQ. FT.

NOTES:

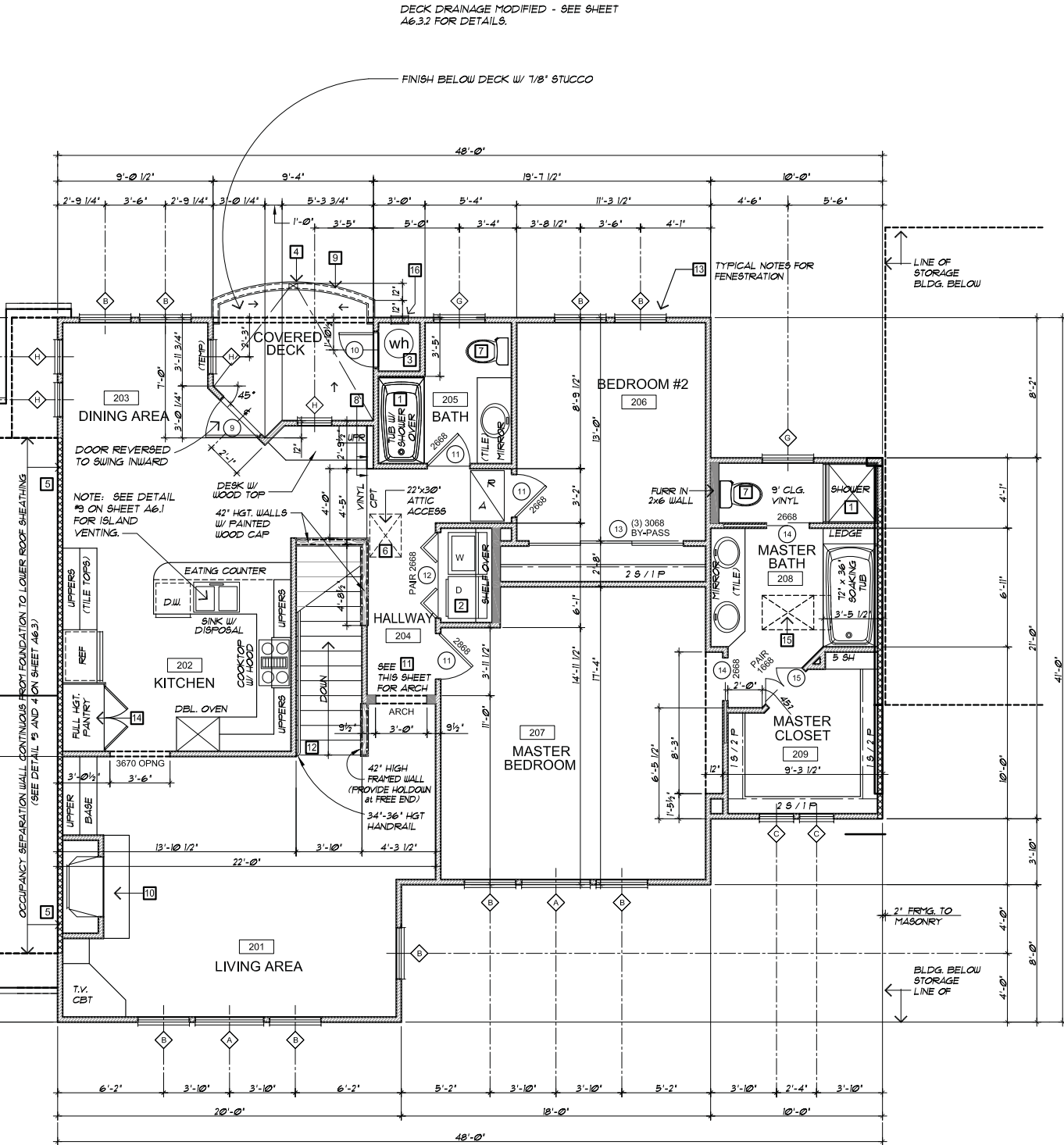
1. STRUCTURE TO BE EQUIPPED WITH FIRE SPRINKLERS PER NFPA 13 SYSTEM THROUGHOUT, CBC SECTION 506.3 AND CBC SECTION 903.3.1.1
2. SEE SHEET "A-3.1" FOR DOOR AND WINDOW SCHEDULES.



UPPER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTE: 9' IE HEIGHT TYPICAL THROUGHOUT



LEGEND:

- 1

REFERENCE TO KEYNOTE, THIS SHEET
- 11

REFERENCE TO DOOR SCHEDULE, SHEET "A-3.1"
- 12

REFERENCE TO WINDOW SCHEDULE, SHEET "A-3.1"
- 13

DENOTES 2x6 FRAMING @ 16"oc
- 14

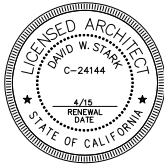
DENOTES 2x4 (MIN) FRAMING @ 16"oc
- 15

DENOTES 1-HOUR OCCUPANCY SEPARATION WALL - SEE DETAILS 1/A6.3 AND 3/A6.3.

Stark Designs
ARCHITECTURE

2411 ST. ANDREWS DRIVE
ROCKLIN, CA 95765
916 390-2236
916 749-4426 FAX
tdws@starkglobal.net

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ROCKLIN SELF STORAGE

DEL RIO COURT
ROCKLIN, CA
THOMASTOWN BUILDERS

UPPER LEVEL
FLOOR PLAN

REVISIONS:

REVISED 9-16-13

SD JOB NO: 4.150

DATE: 4-01-13

CHECKED BY: DWS

A2.2



ROCKLIN SELF STORAGE

DEL RIO COURT
ROCKLIN, CA
THOMASTOWN BUILDERS

EXTERIOR ELEVATIONS

REVISIONS:
9-16-2013 REVISED

SD JOB NO.: 4.150
DATE: 4-01-13
CHECKED BY: DWS

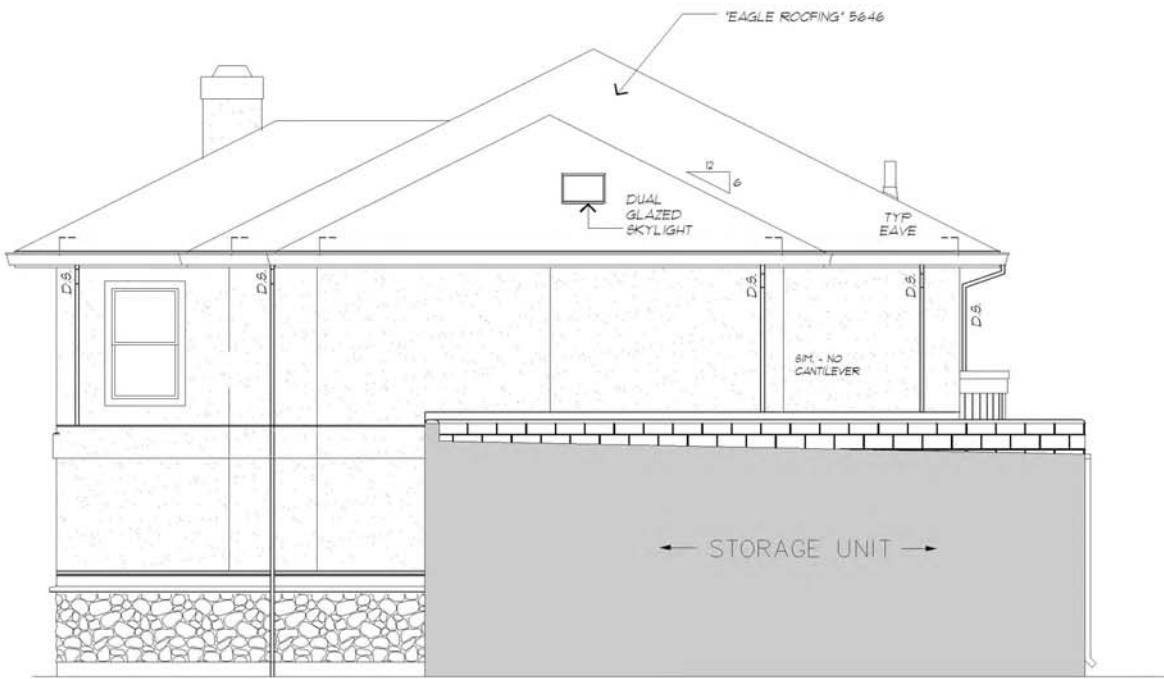
A4.1

Agenda Item #7.



DEL RIO COURT ELEVATION
(NORTHEAST)

SCALE: 1/4" = 1'-0" TYPICAL



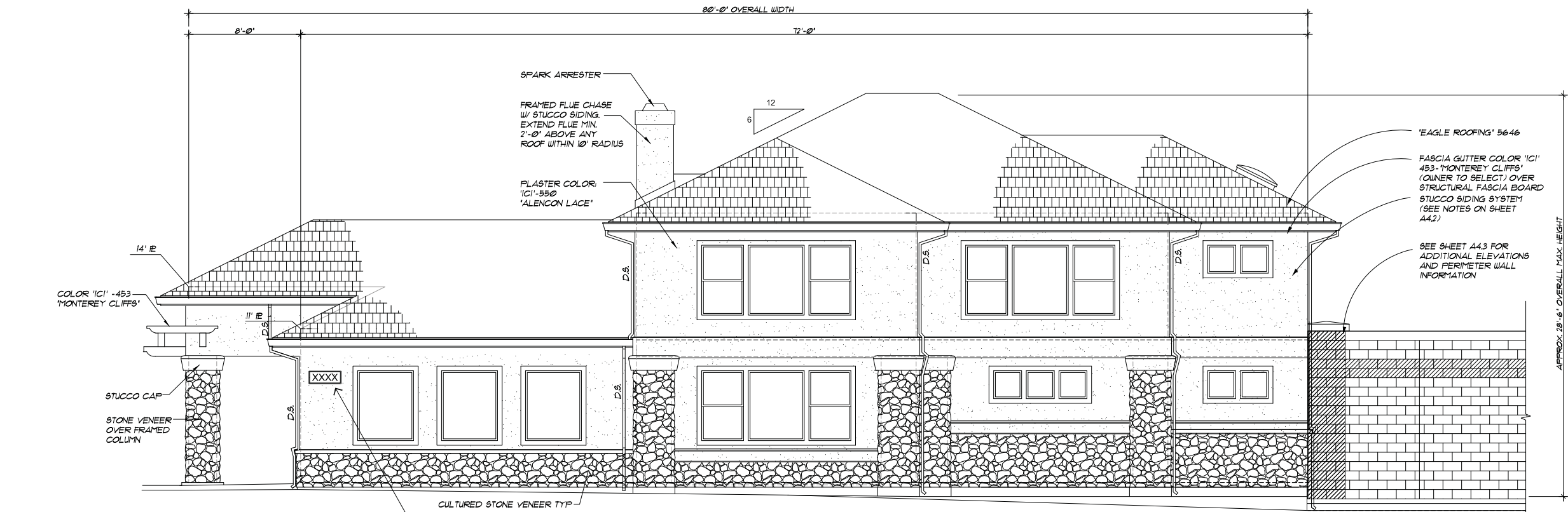
STORAGE BLDG.
SIDE ELEVATION

SCALE: 1/4" = 1'-0" TYPICAL



ENTRY ELEVATION
(SOUTHEAST)

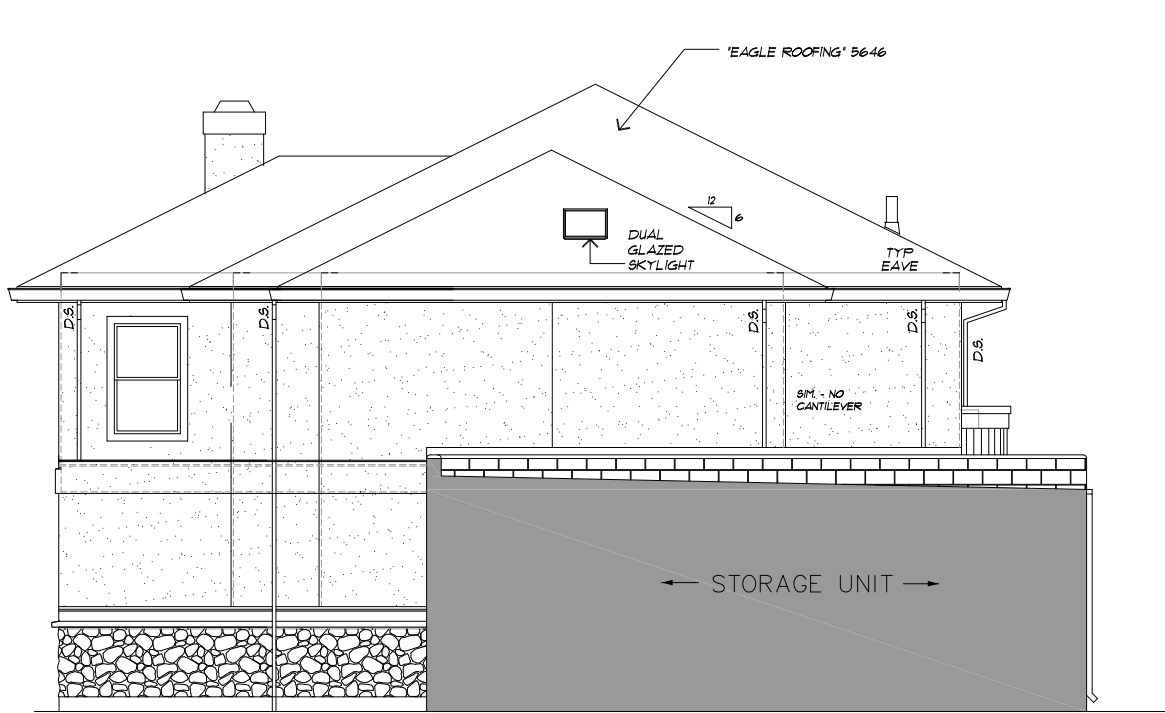
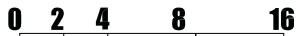
SCALE: 1/4" = 1'-0" TYPICAL



DEL RIO COURT ELEVATION

(NORTHEAST)

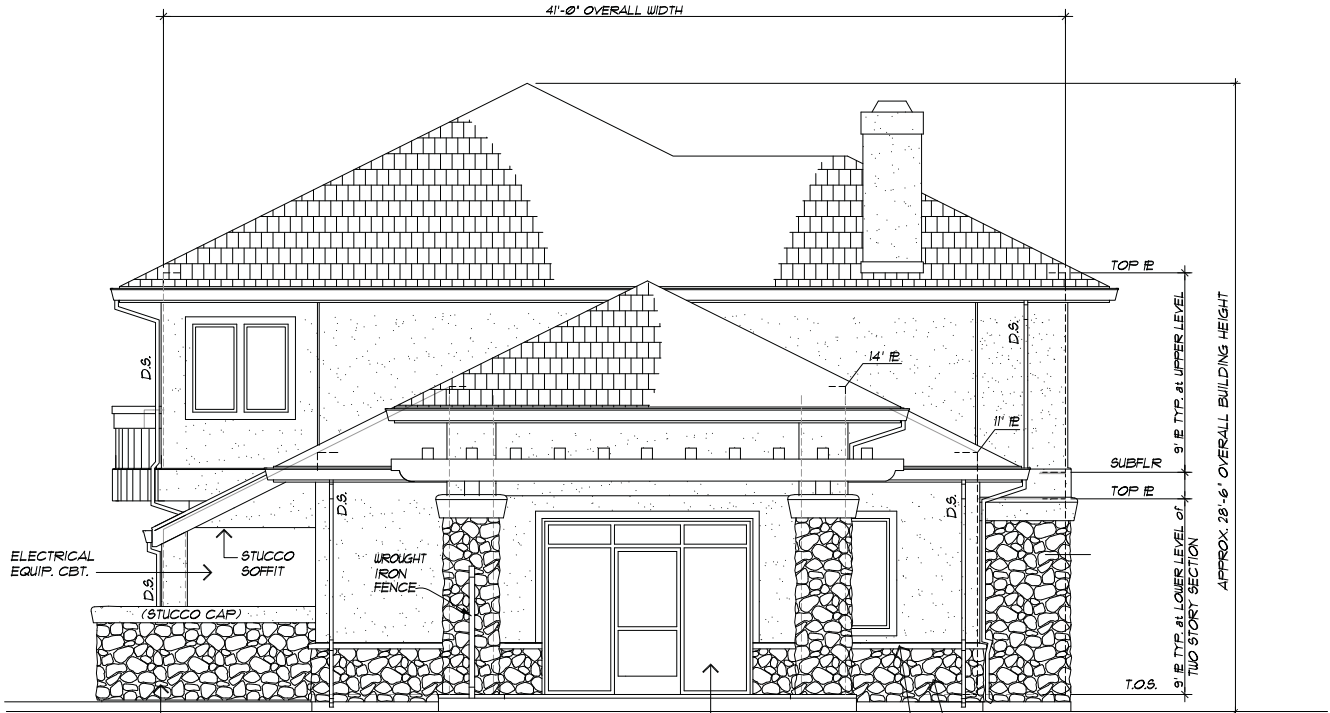
SCALE: 1/4" = 1'-0" TYPICAL



**STORAGE BLDG.
SIDE ELEVATION**

(NORTHWEST)

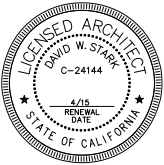
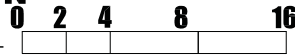
SCALE: 1/4" = 1'-0" TYPICAL



ENTRY ELEVATION

(SOUTHEAST)

SCALE: 1/4" = 1'-0" TYPICAL



ROCKLIN SELF STORAGE

DEL RIO COURT
ROCKLIN, CA
THOMASTOWN BUILDERS

EXTERIOR
ELEVATIONS

REVISIONS:

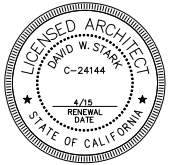
REVISED 9-16-13

SD JOB NO: 4.150

DATE: 4-01-13

CHECKED BY: DWS

A4.1



ROCKLIN SELF STORAGE

**DEL RIO COURT
ROCKLIN, CA
THOMASTOWN BUILDERS**

EXTERIOR
ELEVATION and
ROOF PLAN

REVISIONS:

REVISED 9-16-13

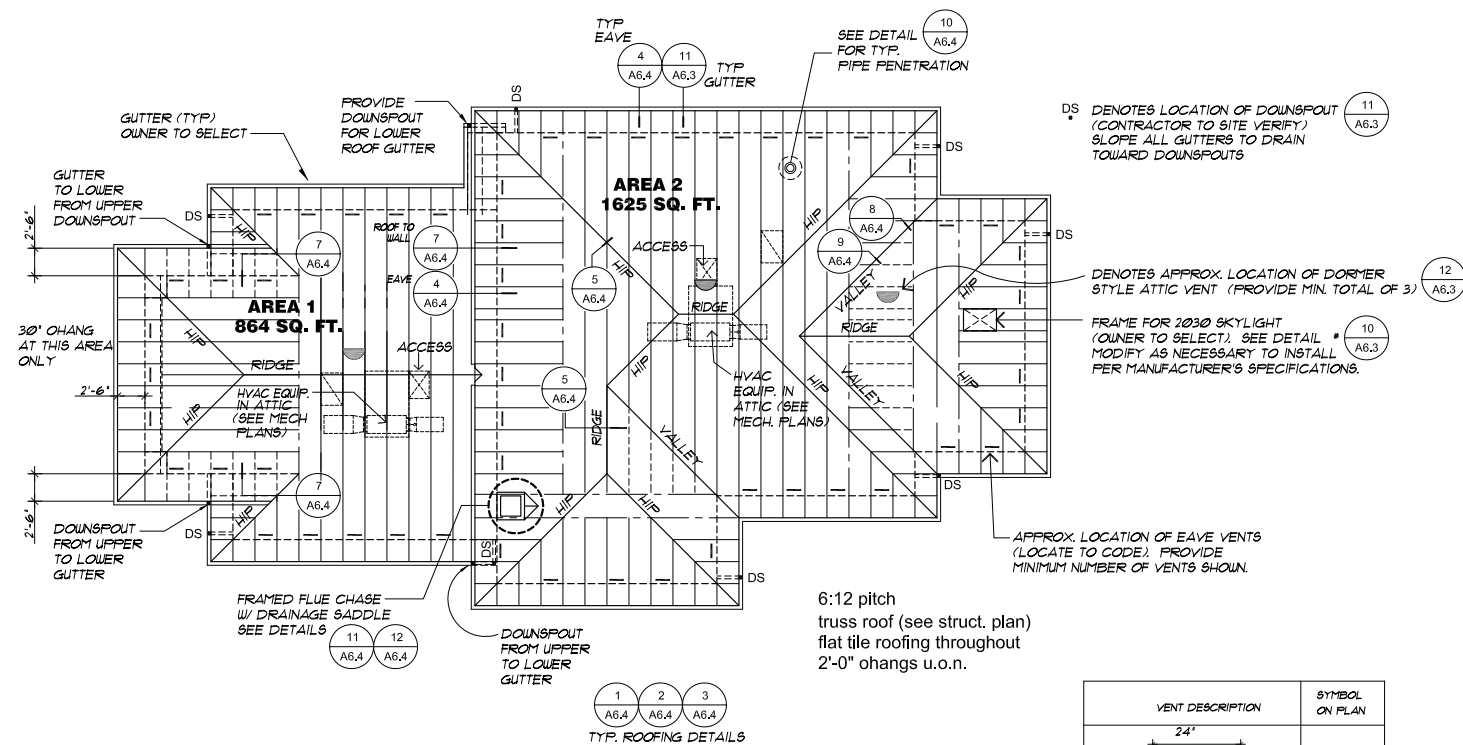
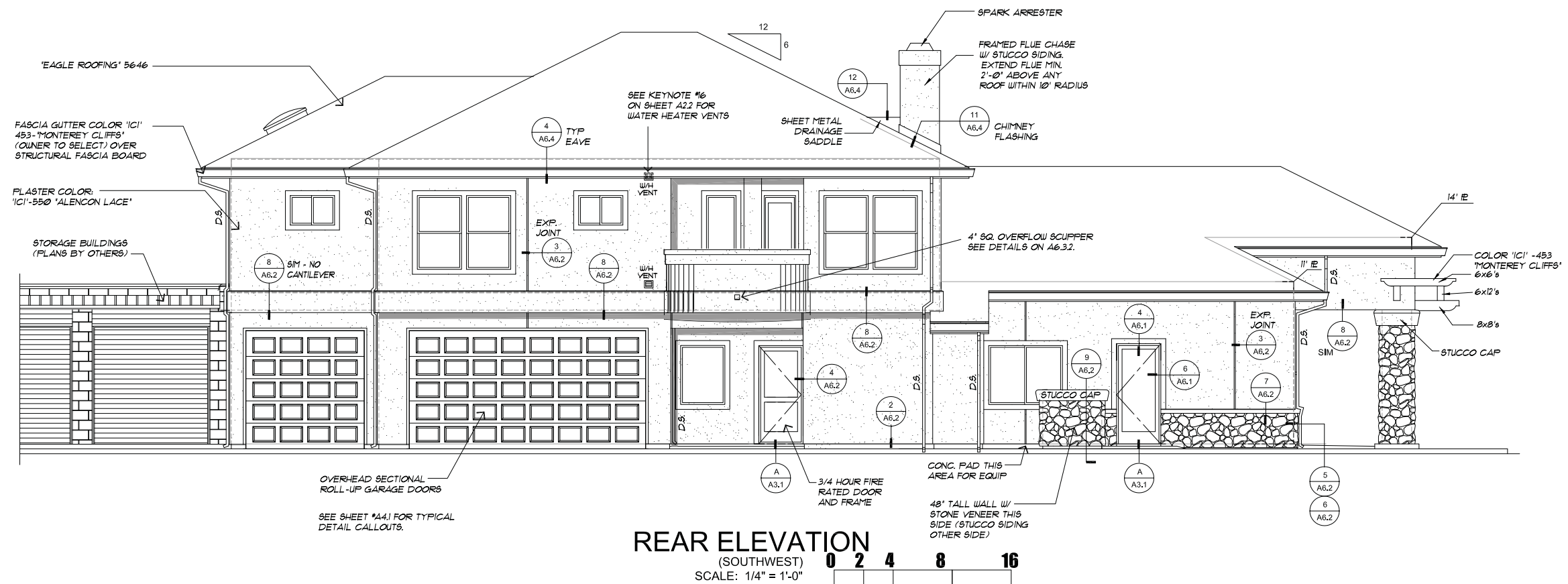
SD JOB NO.: 4.150

DATE: 4-01-13

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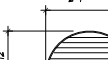



Agenda Item #7.



ROOF PLAN and ATTIC VENTILATION

SCALE: 1/8" = 1'-0"

PROVIDE VENTILATION AREAS AS SHOWN ABOVE - PROVIDE MIN 50% OF THE REQUIRED VENTING IN THE UPPER PORTION OF THE ATTIC (MIN. 3' ABOVE EAVE VENTS) WITH THE BALANCE PROVIDED BY PRE-MANUF. EAVE VENTS.

VENT DESCRIPTION	SYMBOL ON PLAN
 <p>ELEV. VIEW (15 SQ. FT. AREA) (SEE DETAIL #2/46.3)</p>	
 <p>TYPICAL EAVE VENT (0.088 SQ. FT. EA.)</p>	

TYPICAL ELEVATION NOTES:

GRADING INFORMATION:

SEE CIVIL PLANS FOR ALL SITE GRADING.
SEE LANDSCAPE PLANS FOR ALL LANDSCAPING.
PROVIDE FOR DRAINAGE AWAY FROM BUILDING ALL SIDES.
CONNECT ROOF DOWNSPOUTS TO UNDERGROUND DRAINAGE SYSTEM.

ROOFING:

FLAT, INTERLOCKING TILE ROOFING TYPICAL (OWNER TO SELECT)
OVER BUILDING FELT (SEE DETAIL 2/A6.4). INSTALL TILE PER
MANUFACTURER'S RECOMMENDATIONS. SEE DETAILS ON SHEET A6.4
FOR TYPICAL TILE ROOFING DETAILS. SEE STRUCTURAL PLANS
FOR ROOF SHEATHING AND ADDITIONAL INFORMATION.

WALL FINISH:

TYPICAL EXTERIOR SIDING: PLASTER SIDING
(SMOOTH SAND FINISH w/ INTEGRAL COLOR)
TO CONFORM TO CBC SECTIONS 2506 and 2508.
INSTALL STUCCO OVER MESH OVER TWO LAYERS
OF GRADE "D" PAPER OVER 3/8" PLYWOOD
(SHEAR PER PLAN) OVER 2x STUDS @ 16"oc
PROVIDE METAL WEEF SCREED AT BASE OF
ALL PLASTER WALL IN ACCORDANCE w/ CBC 2507.
SEE DETAILS 1, 2, and 4 ON SHEET A6.2.

CONTRACTOR TO PROVIDE EXPANSION JOINTS AS
NECESSARY TO MAINTAIN PLASTER STABILITY.
SEE DETAIL 3 ON SHEET A6.2.

GLAZING:

WINDOWS TO BE DUAL GLAZED W/ VINYL FRAMES
(MILGLAD OR COMPARABLE OTHER). ALL GLAZING SHALL
HAVE A LABEL WITH A CERTIFIED "U" VALUE.
(ALUMINUM FRAMES AT BUILDER'S OPTION)
CONTRACTOR TO VERIFY MINIMUM ALLOWABLE "U" VALUES
AS SPECIFIED IN THE TITLE 24 DOCUMENTATION.

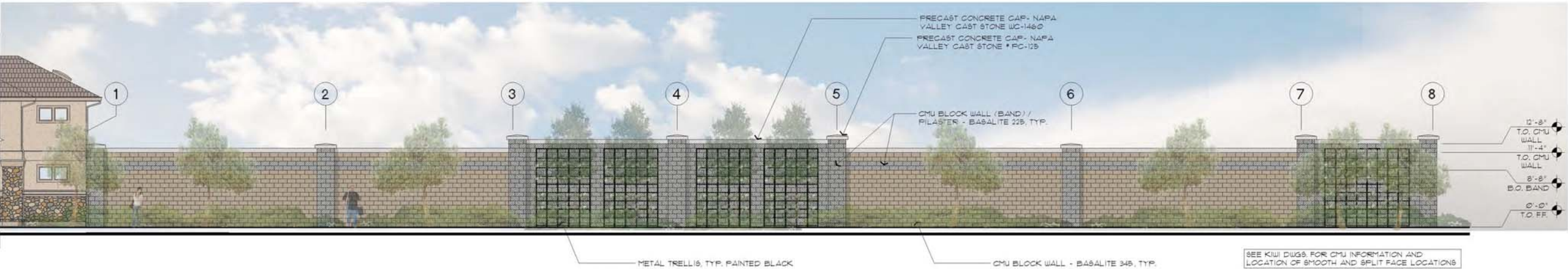
AREA 1 (864 SQ. FT.) PROVIDE MIN. 288 SQ. FT. VENTILATION
(864/300 = 288 SQ. FT.)

PROVIDED: MIN. (1) EYEBROW VENT at 1.5 SQ. FT. = 1.5 SQ. FT.
MIN. (16) EAVE VENTS at 0.088 EA = 1.41 SQ. FT.
MIN. TOTAL PROVIDED AREA 1 = 2.91 SQ. FT.

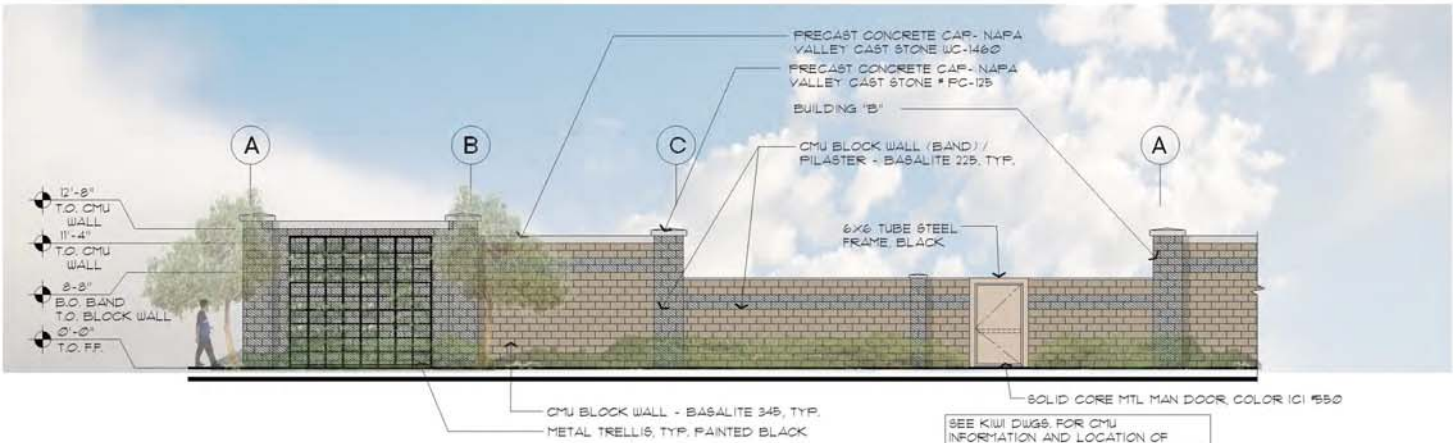
AREA 2 (1625 SQ. FT.) PROVIDE MIN. 5.42 SQ. FT. VENTILATION.
(1625/300 = 5.42 SQ. FT.)

PROVIDED: MIN. (2) EYEBROW VENTS at 1.5 SQ. FT. = 3.0 SQ. FT.
MIN. (28) EAVE VENTS at 0.088 EA = 2.46 SQ. FT.

MIN. TOTAL PROVIDED AREA 2 = 5.46 SQ. FT.



A DEL RIO COURT ELEVATION
(NORTHEAST)
SCALE: 1/8" = 1'-0" TYPICAL



B AMERICANA WAY ELEVATION
(NORTH)
SCALE: 1/8" = 1'-0" TYPICAL



ROCKLIN SELF STORAGE

DEL RIO COURT
ROCKLIN, CA
THOMASTOWN BUILDERS

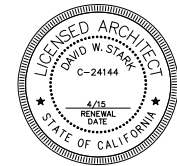
**BUILDING
'A' STREET
ELEVATIONS**

REVISIONS:

9-16-2013	REVISED

SD JOB NO.: 4.150
DATE: 4-01-13
CHECKED BY: DWS

A4.3



ROCKLIN SELF STORAGE

DEL RIO COURT
ROCKLIN, CA
THOMASTOWN BUILDERS

BUILDING
'A' STREET
ELEVATIONS

REVISIONS:

REVISED 9-16-13

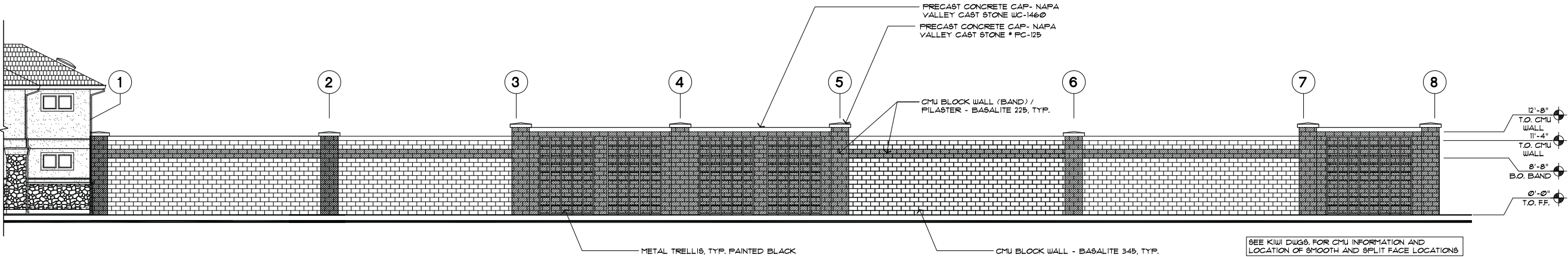
SD JOB NO: 4.150

DATE: 4-01-13

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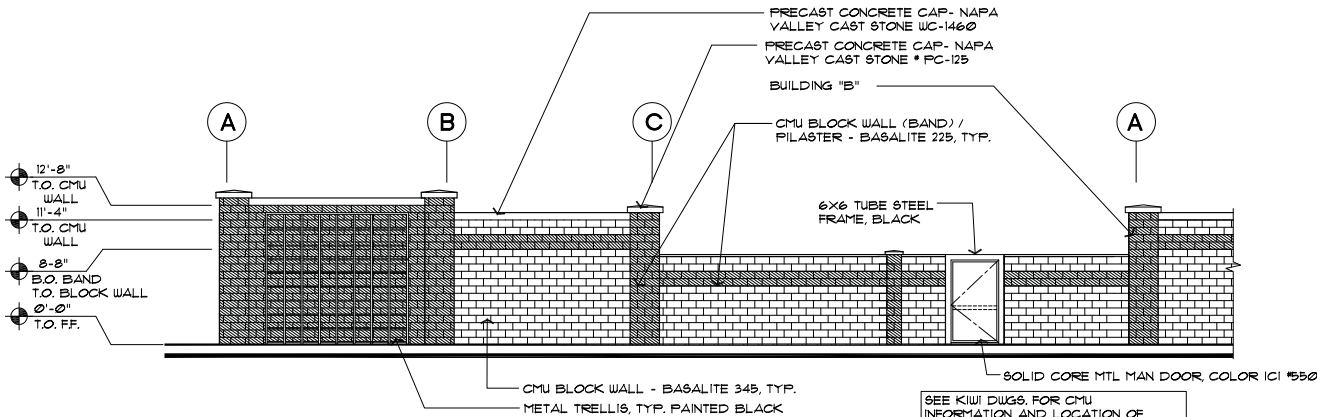
A4.3

Agenda Item #7.



A DEL RIO COURT ELEVATION
(NORTHEAST)

SCALE: 1/8" = 1'-0" TYPICAL



B AMERICANA WAY ELEVATION
(NORTH)

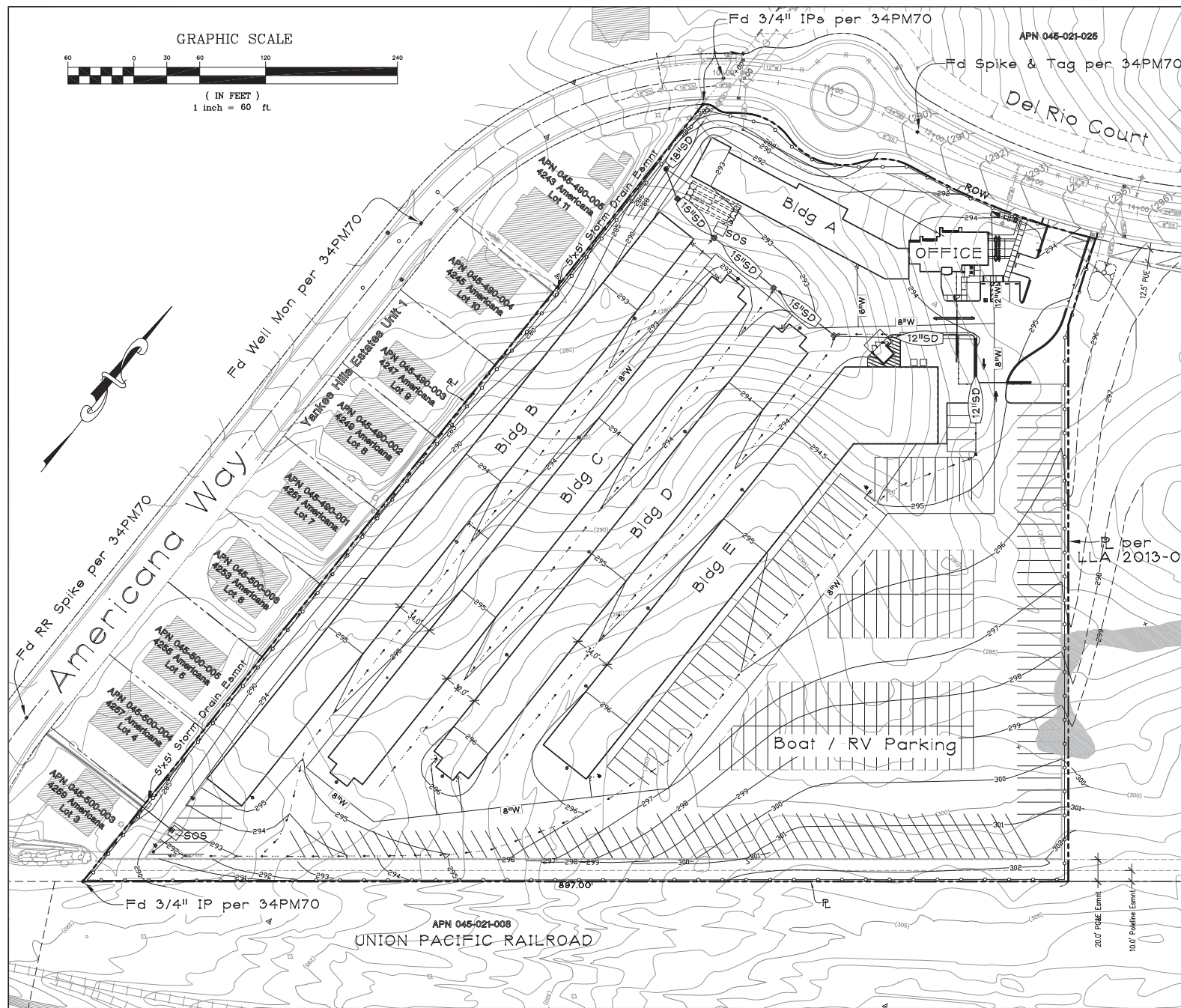
SCALE: 1/8" = 1'-0" TYPICAL

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RCE#

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C1
1 of 28 sheets

The applicant shall obtain an encroachment permit for all improvements within the public right-of-way. The applicant shall post a performance bond and labor and material payment bond or other equivalent financial security in the amount of 100% of the cost of the improvements to be constructed in the public right-of-way, as improvement security to ensure the faithful performance of all duties and obligations required of applicant in the construction of the improvements. Such improvement security shall be in a form acceptable to the City Attorney. Such security shall be either a corporate surety bond, a letter of credit, or other instrument of credit issued by a banking institution subject to regulation by the State or Federal government and pledging that the funds necessary to carry out this Agreement on deposit and guaranteed for payment, or a cash deposit made either directly with the City or deposited with a recognized escrow agent for the benefit of the City.



I hereby certify that the building pads for this project have been tested for compaction in accordance with generally accepted test methods and based upon the results of these tests the compaction of said pads conforms to the recommendations of this project's Geotechnical Report.

I also state that our firm observed the grading operation to a sufficient extent to evaluate conformance with the project's Geotechnical Report as approved by the City, and further state that based upon our observations, the grading for this project conforms with the recommendations of said soil report.

	PE NUMBER	DATE
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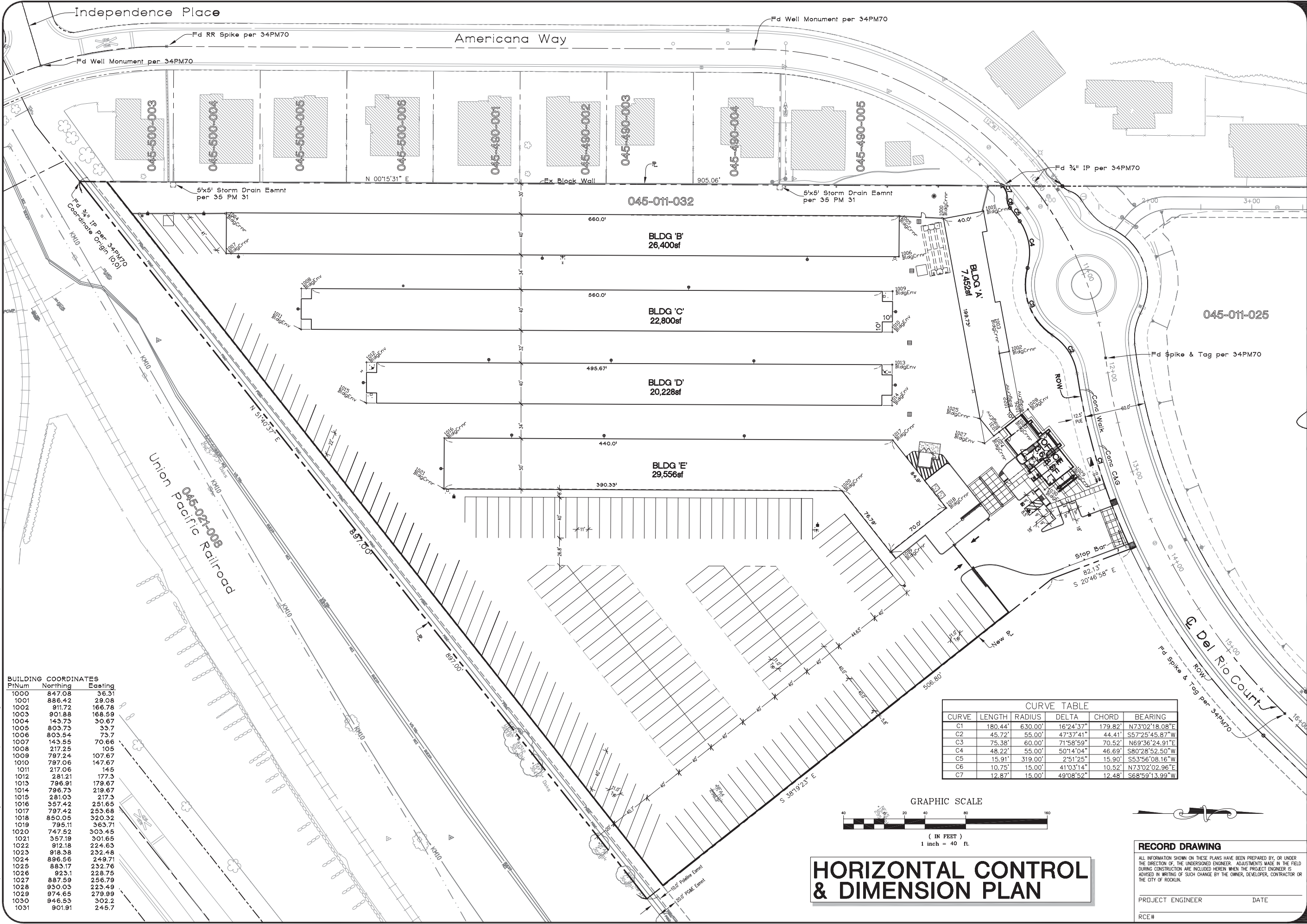
Improvements in the Public Right-Of-Way:

The applicant shall obtain an encroachment permit for all improvements within the public right-of-way. The applicant shall post a performance bond and labor and material payment bond or other equivalent financial security in the amount of 100% of the cost of the improvements to be constructed in the public right-of-way, as improvement security to ensure the faithful performance of all duties and obligations required of applicant in the construction of the improvements. Such improvement security shall be in a form acceptable to the City Attorney. Such security shall be either a corporate surety bond, a letter of credit, or other instrument of credit issued by a banking institution subject to regulation by the State or Federal government and pledging that the funds necessary to carry out this Agreement on deposit and guaranteed for payment, or a cash deposit made either directly with the City or deposited with a recognized escrow agent for the benefit of the City.

Packet Pg. 91

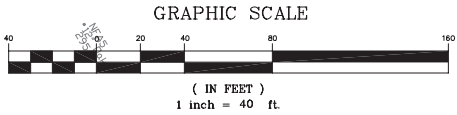
Agenda Item #7.

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PrNum	Building	Coordinates	North	East
1000	847.08	36.31		
1001	886.42	29.08		
1002	911.72	166.78		
1003	901.88	168.59		
1004	143.73	30.67		
1005	803.73	33.7		
1006	803.94	73.7		
1007	143.55	70.66		
1008	217.25	105		
1009	797.24	107.67		
1010	797.06	147.67		
1011	217.06	145		
1012	281.21	177.3		
1013	796.91	179.67		
1014	796.73	219.67		
1015	281.03	217.3		
1016	357.42	251.65		
1017	797.42	253.68		
1018	850.05	320.32		
1019	795.11	363.71		
1020	747.52	303.45		
1021	357.19	301.65		
1022	912.18	224.63		
1023	918.38	232.48		
1024	896.56	249.71		
1025	883.17	232.76		
1026	923.1	228.75		
1027	887.59	256.79		
1028	930.03	223.49		
1029	974.65	279.99		
1030	946.53	302.2		
1031	901.91	245.7		

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING
C1	180.44'	630.00'	16°24'37"	179.82'	N73°02'18.08"E
C2	45.72'	55.00'	47°37'41"	44.41'	S57°25'45.87"W
C3	75.38'	60.00'	71°58'59"	70.52'	N69°36'24.91"E
C4	48.22'	55.00'	50°14'04"	46.69'	S80°28'52.50"W
C5	15.91'	319.00'	2°51'25"	15.90'	S53°56'08.16"W
C6	10.75'	15.00'	41°03'14"	10.52'	N73°02'02.96"E
C7	12.87'	15.00'	49°08'52"	12.48'	S68°59'13.99"W



HORIZONTAL CONTROL & DIMENSION PLAN

RECORD DRAWING
ALL INFORMATION SHOWN ON THESE PLANS HAVE BEEN PREPARED BY, OR UNDER THE DIRECTION OF, THE UNDERSIGNED ENGINEER. ADJUSTMENTS MADE IN THE FIELD DURING CONSTRUCTION ARE INCLUDED HEREIN WHEN THE PROJECT ENGINEER IS ADVISED IN WRITING OF SUCH CHANGE BY THE OWNER, DEVELOPER, CONTRACTOR OR THE CITY OF ROCKLIN.
PROJECT ENGINEER _____ DATE _____
RCE# _____

ENGINEER
GREGORY J. COOK
P.O. BOX 18442
SOUTH LAKE TAHOE, CA 96151
530-544-7774

Horizontal Control
& Dimension Plan

Rocklin Commercial & Storage Center for:
Rocklin Industrial Park, LLC
4045 Del Rio Court
Rocklin, CA 95677
APN: 045-011-032

Project no.
SMIT-29
drawn
S.A.M.
date
August 7, 2013
scale
1"=40'

sheet
C3
3 of 28 sheets

Agenda Item #7.

(1) Construct 6" Concrete Curb per $\frac{1}{283}$	750 lf
(2) Construct 6" Concrete / 4" AB Drive Aisles & Parking	242,250 sf
(3) Construct 4" thick Concrete Sidewalk per $\frac{16}{283}$	1,065 sf
(4) Construct 40' Commercial Driveway per Std Dwg 3-19 $\frac{1}{283}$	1 ea
(5) Construct Trash Enclosure per $\frac{10}{283}, \frac{12}{283}, \frac{12}{283}, \frac{16}{283}, \frac{16}{283}, \frac{2}{283}$	1 ea
(6) Construct Handicap Ramp per $\frac{7}{283}, \frac{7}{283}$	1 ea
(7) Construct Accessible Parking Stall per Std Dwg 3-33 $\frac{1}{283}$	1 ea
(8) Construct 8' Conc Block Screen Wall per $\frac{23}{283}, \frac{6}{283}$	900 lf
(9) Construct Wrought Iron Fence per $\frac{23}{283}, \frac{6}{283}$	110 lf
(10) Construct 11'-4" Conc Block Screen Wall per $\frac{23}{283}, \frac{6}{283}$	140 lf
(11) Install 30" R1 Stop Sign	1 ea
(12) Install Sign "To Pacific Street ->"	1 ea
(13) Construct Concrete Curb & Gutter per $\frac{2}{283}$	125 lf
(14) Construct Stop Bar per Std Dwg 3-31	1 ea

GRADING PLAN

40 Scale

RECORD DRAWING

ALL INFORMATION SHOWN ON THESE PLANS HAVE BEEN PREPARED BY, OR UNDER THE DIRECTION OF, THE UNDERSIGNED ENGINEER. ADJUSTMENTS MADE IN THE FIELD DURING CONSTRUCTION ARE INCLUDED HEREIN WHEN THE PROJECT ENGINEER IS ADVISED IN WRITING OF SUCH CHANGE BY THE OWNER, DEVELOPER, CONTRACTOR OR THE CITY OF ROCKLIN.

PROJECT ENGINEER	DATE
RCE#	

project no.	SMIT-29
drawn	S.A.M.
date	Sept 19, 2013
scale	1"=40'

sheet
C4.1
4 of 28 sheets

ENGINEER
GREGORY J. COOK R.C.E.
P.O. BOX 18442
SOUTH LAKE TAHOE, CA 96151
530-544-7774

Grading Plan
40 Scale

Agenda Item #7.

[illegible]



- ① Construct 6" Concrete Curb per (1/23)
- ② Construct 6" Concrete / 4" AB Drive Aisles & Parking
- ③ Construct 4" thick Concrete Sidewalk per (16/23)
- ④ Construct 40' Commercial Driveway per Std Dwg 3-19 (1/23)
- ⑤ Construct Trash Enclosure per (18/23) (22/23) (23/23) (24/23) (25/23)
- ⑥ Construct Handicap Ramp per (12/23) (17/23)
- ⑦ Construct Accessible Parking Stall per Std Dwg 3-33 (18/23)
- ⑧ Construct 8' Conc Block Screen Wall per (1/23) (2/23)
- ⑨ Construct Wrought Iron Fence per (1/23) (17/23)
- ⑩ Construct 11'-4" Conc Block Screen Wall per (1/23) (2/23)
- ⑪ Install 30" R1 Stop Sign
- ⑫ Install Sign "To Pacific Street ->"
- ⑬ Construct Concrete Curb & Gutter per (2/23)
- ⑭ Construct Stop Bar per Std Dwg 3-31

750 lf
242,250 sf
1,065 sf
1 ea
1 ea
1 ea
1 ea
900 lf
110 lf
140 lf
1 ea
1 ea
125 lf
1 ea

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ENGINEER
GREGORY J. COOK R.C.E.
P.O. BOX 18442
SOUTH LAKE TAHOE, CA 96151
530-544-7774



Grading Plan
20 Scale - North

PLANNING SET

Rocklin Commercial & Storage Center for:
Rocklin Industrial Park, LLC
 4045 Del Rio Court
 Rocklin, CA 95677
 APN: 045-011-032

project no.	SMIT-29
drawn	S.A.M.
date	Sept 19, 2013

sheet

C4.2

5 of 28 sheets

RECORD DRAWING

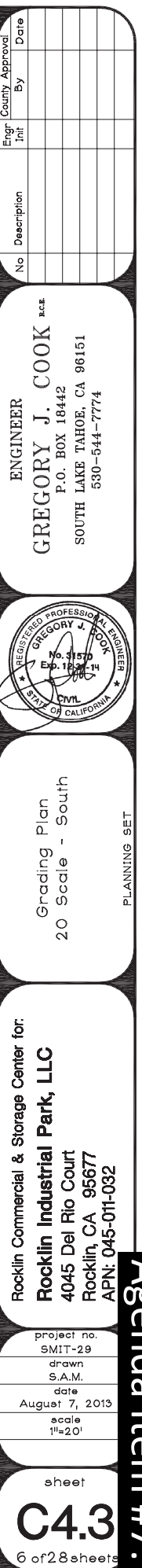
ALL INFORMATION SHOWN ON THESE PLANS HAVE BEEN PREPARED BY, OR UNDER THE DIRECTION OF, THE UNDERSIGNED ENGINEER. ADJUSTMENTS MADE IN THE FIELD DURING CONSTRUCTION ARE INCLUDED HEREIN WHEN THE PROJECT ENGINEER IS ADVISED IN WRITING OF SUCH CHANGE BY THE OWNER, DEVELOPER, CONTRACTOR OR THE CITY OF ROCKLIN.

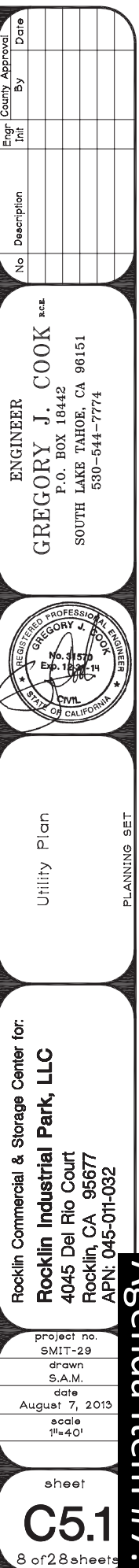
PROJECT ENGINEER

DATE _____

RCE#

Agenda Item #7.





C:\Users\jrg3\Documents\2013\20130301\20130301.dwg, C5-2 Utility Details, 8/5/2013 1:00:16 PM, Scott, PDF, pc3, 24x36, 1:1

UTILITY CONSTRUCTION NOTES:

"Std Dwg" refers to City of Rocklin Standard Drawings

SEWER:

- | | |
|---|--------|
| 1) Connect New 6" Sewerline to Ex Stub, Inv=275.90 | 1 ea |
| 2) Construct 6" VCP Sewer Lateral - 2' Min | 200 lf |
| 3) Construct SS Cleanout to Grade | 2 ea |
| STORM DRAIN: | |
| 10) Construct 24" Drop Inlet, Jensen D12424 or equal (12) | 7 ea |
| Stamp per Std Dwg 4-24, (12) | |
| 11) Construct 8" HDPE Storm Drain Line | 158 lf |
| 12) Construct 10" HDPE Storm Drain Line | 25 lf |
| 13) Construct 12" HDPE Storm Drain Line | 230 lf |
| 14) Construct 15" HDPE Storm Drain Line | 225 lf |
| 15) Construct 18" HDPE Storm Drain Line | 54 lf |
| 16) Construct 48" SDMH per Std Dwg 4-8, (12) | 1 ea |
| 17) Construct Sand/Oil Separator, Kristar DVS-96S or equal (13) | 2 ea |
| 18) Construct Stormwater Detention Structure
See Detail B on sheet C5.2. | 1 ea |
| 19) Connect new 18" HDPE Drainline to Ex SD Stub | 1 ea |
| 20) Construct 8" HDPE Wye & Atrium Grate Top per (12) & (13) | 4 ea |
| 21) Construct 10" CMP Storm Drain Line | 35 lf |

WATER - Domestic:

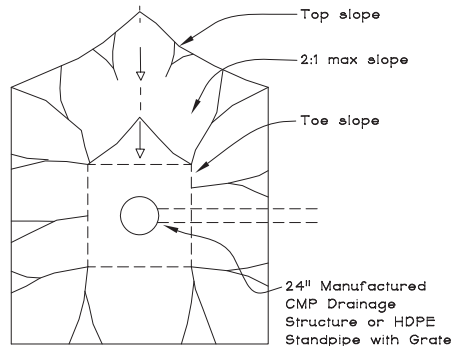
- | | |
|--|-------|
| 50) 1" Service Connection per PCWA Std Dwg S201 | 1 ea |
| 51) 2" Service Connection per PCWA Std Dwg S202 | 1 ea |
| 52) Construct 1" Copper, Brass or Bronze Waterline per
PCWA Std Dwg S206 | 4 lf |
| 53) Construct 2" Copper, Brass or Bronze Waterline per
PCWA Std Dwg S206 | 4 lf |
| 54) Install Gate Valve | 4 ea |
| 55) Install 1" Service for 5/8" Disk Meter per PCWA
Std Dwg S201. Meter by PCWA | 1 ea |
| 56) Install 2" Service for 1-1/2" Disk Meter per PCWA
Std Dwg S202. Meter by PCWA | 1 ea |
| 57) Construct 1 1/2" Copper, Brass or Bronze Waterline per Std
Dwg S206 | 8 lf |
| 58) Construct 3/4" Copper, Brass or Bronze Waterline per Std
Dwg S206 | 3 lf |
| 59) Construct 3/4" RPPA BFP, FEBCO 860 or equal per
PCWA Std Dwg S206 | 1 ea |
| 60) Install 1-1/2" RPPA BFP, FEBCO 860 or equal per
PCWA Std Dwg S206 | 1 ea |
| 61) Capped 1-1/2" PVC Sch40 Waterline - Point Of Connection
to Landscape Irrigation | 1 ea |
| 62) Construct 3/4" PVC Sch40 Waterline | 40 lf |

WATER - Fire:

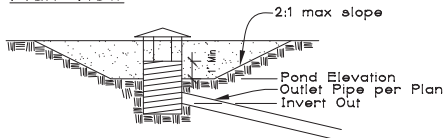
- | | |
|---|----------|
| 43) Cut in 12x12x12 Tee to Ex Waterline per PCWA Engineer | 1 ea |
| 44) Install 12" Gate Valve | 1 ea |
| 45) Install 8" DCDA BFP, FEBCO MasterSeries 856ST per
PCWA S207 | 1 ea |
| 46) Construct 4" PVC AWWA C900, Class 200 Waterline | 10 lf |
| 47) Construct 6" PVC AWWA C900, Class 150 Waterline | 133 lf |
| 48) Construct 8" PVC AWWA C900, Class 150 Waterline | 1,820 lf |
| 49) Construct 12" PVC AWWA C900, Class 150 Waterline | 100 lf |
| 50) Construct Fire Hydrant assembly w/ valve, Clow #2060 or
approved equal per Std Dwg 6-2, (12): "Safety Yellow" | 4 ea |
| 51) Install Fire Riser: FDC / Grinnell Series 7700FP Grooved
Butterfly Valve / Globe RCV Grooved Check Valves per (13) | 6 ea |
| 52) Construct 6" PVC AWWA C900, Class 200 Waterline | 140 lf |
| 53) Fire Lane: Paint Curb Red | 220 lf |

SEWER NOTES - SOUTH PLACER MUD

- ALL WORK PERTAINING TO SANITARY SEWER SHALL BE IN CONFORMANCE WITH THE SOUTH PLACER MUNICIPAL UTILITY DISTRICT "STANDARD SPECIFICATIONS AND IMPROVEMENT STANDARDS FOR SANITARY SEWERS" LATEST EDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL INFORMATION, DRAWINGS AND REQUIREMENTS FROM S.P.M.U.D. NECESSARY TO BID AND COMPLETE THE WORK SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL CONTACT S.P.M.U.D. PRIOR TO CONSTRUCTION TO ARRANGE FOR A PRE-CONSTRUCTION MEETING. TELEPHONE: 786-5438
- THE CONTRACTOR SHALL NOTIFY THE SOUTH PLACER MUNICIPAL UTILITY DISTRICT 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION. TELEPHONE 786-5438
- CONTRACTOR SHALL NOTIFY SOUTH PLACER MUNICIPAL UTILITY DISTRICT FIVE (5) DAYS PRIOR TO SCHEDULED AIR TEST, BALL AND FLUSH, AND T.V. INSPECTION. TELEPHONE 786-5438
- THE CONTRACTOR SHALL EXPOSE EXISTING SEWER LINES TO VERIFY LOCATION AND ELEVATION PRIOR TO PLACEMENT OF PIPE.
- ALL SEWER PIPE SHALL BE EXTRA STRENGTH VITRIFIED CLAY PIPE, UNLESS OTHERWISE NOTED.
- BUILDINGS SHALL NOT BE PHYSICALLY CONNECTED TO THE SEWER UNTIL ALL REQUIRED SEWER PARTICIPATION FEES HAVE BEEN PAID TO SPMUD.
- CONFINED SPACE ENTRY (SEWER MANHOLES): IT IS THE PROJECT OWNER / DEVELOPER'S RESPONSIBILITY AS HOST EMPLOYER TO HAVE A CONFINED SPACE ENTRY PROGRAM IN COMPLIANCE WITH THE REQUIREMENTS OF SECTIONS 8156-8158 OF TITLE 8, GENERAL INDUSTRIAL SAFETY ORDERS, CALIFORNIA CODE OF REGULATIONS. SPMUD'S EXISTING MANHOLES ARE "PERMIT REQUIRED" CONFINED SPACES. THE HOST EMPLOYER'S CONTRACTOR MUST STRICTLY CONFORM TO SPMUD'S PERMIT REQUIRED CONFINED SPACE ENTRY PROGRAM IN ENTERING ANY SPMUD OWNED MANHOLE.



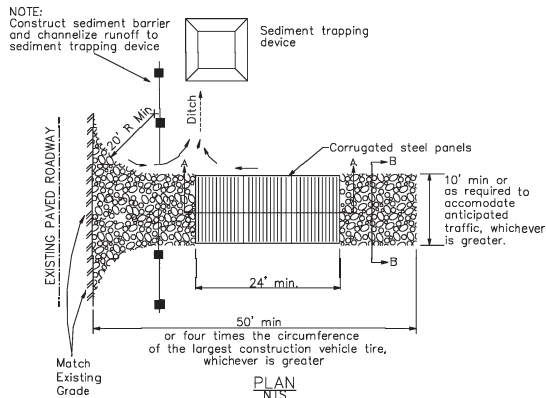
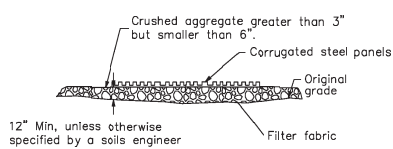
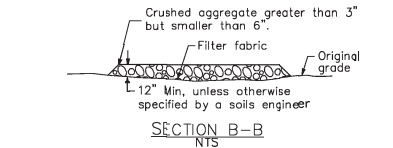
Plan View



Cross Section

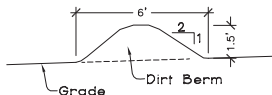
Stormwater Settling Basin

Scale: NTS



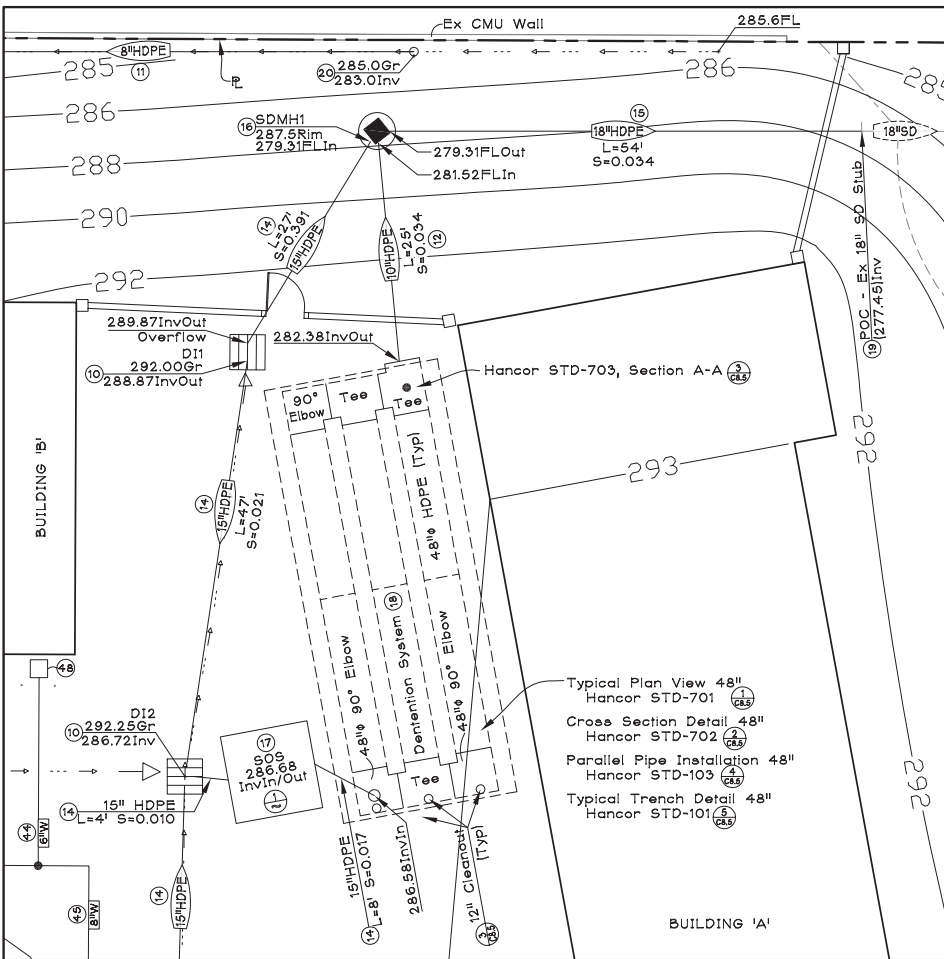
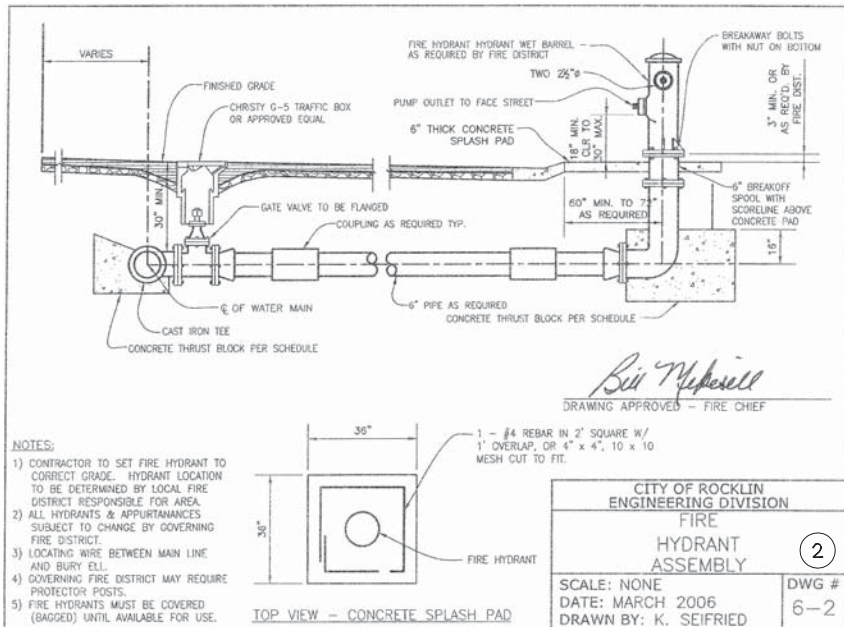
Stabilized Construction Entrance / Exit w/ Truck Wash

Scale: NTS



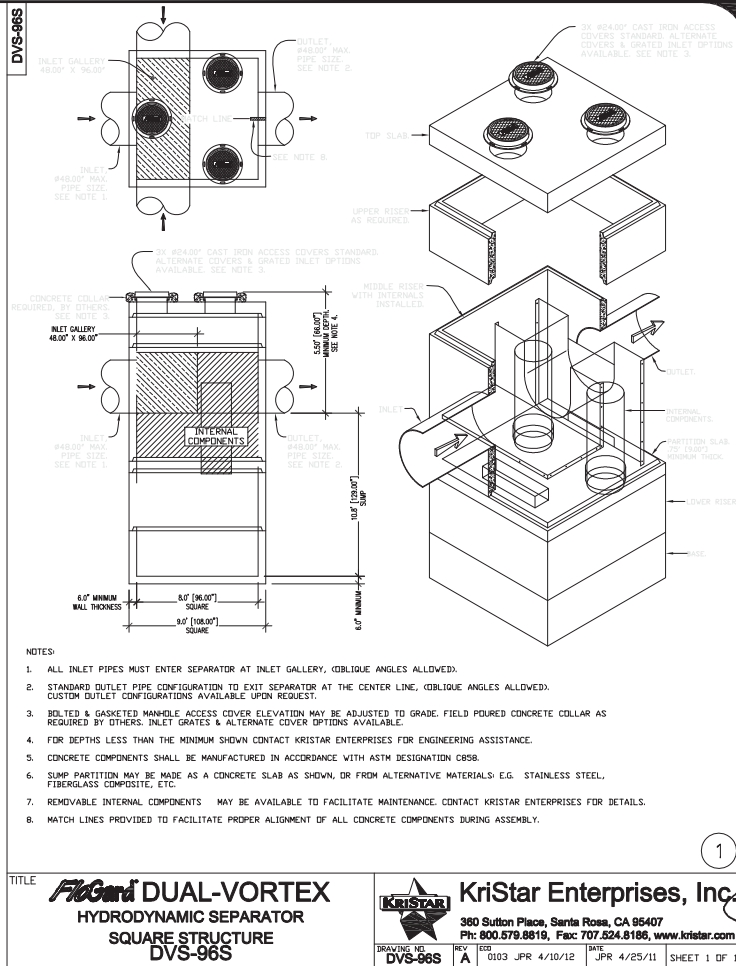
Maintenance/Storage Berm

Scale: NTS



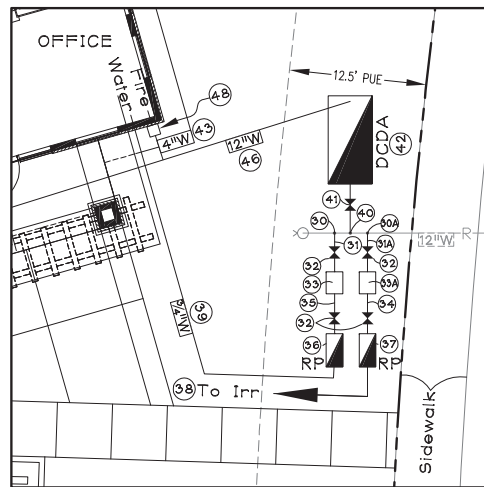
Storm Drain Detention Detail

Scale: 1"=10'



FiGard DUAL-VORTEX HYDRODYNAMIC SEPARATOR SQUARE STRUCTURE DVS-96S

KriStar Enterprises, Inc. 380 Sutton Place, Santa Rosa, CA 95407 Ph: 800.579.8819, Fax: 707.524.8186, www.kristar.com



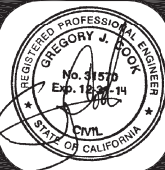
Water Manifold

Scale: 1/8"=1'-0"

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Fig#	County	Approval	By	Date

ENGINEER GREGORY J. COOK P.O. BOX 18442 SOUTH LAKE TAHOE, CA 96151 530-544-7774



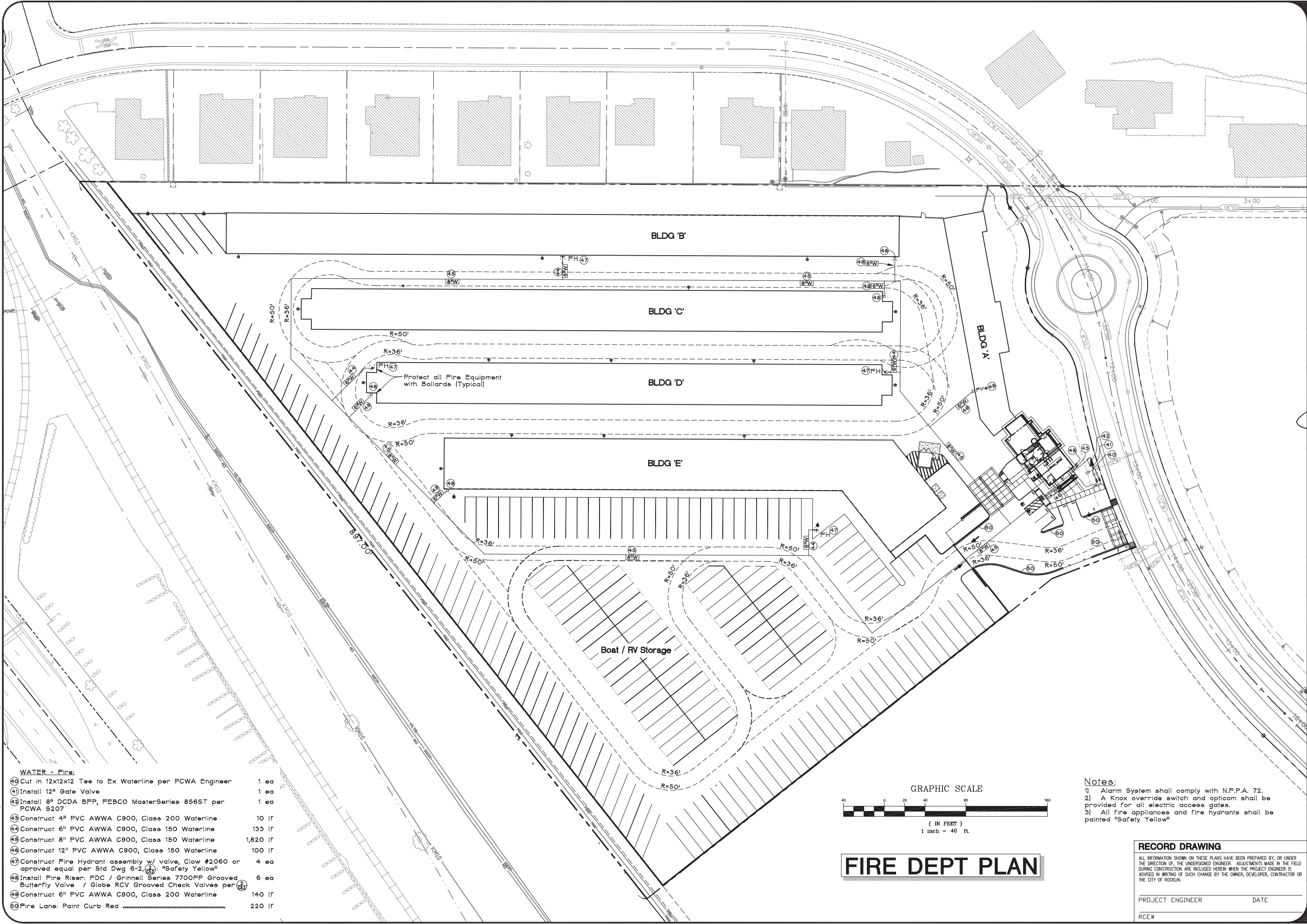
Utility Details PLANNING SET

Rocklin Commercial & Storage Center for: Rocklin Industrial Park, LLC 4045 Del Rio Court Rocklin, CA 95677 APN: 045-011-032

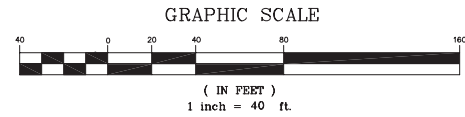
project no. SMIT-29 drawn S.A.M. date August 7, 2013 scale As Noted

sheet C5.2 9 of 28 sheets

C:\Users\jgarcia\Documents\Rocklin\Rocklin Commercial & Storage Center\Rocklin Commercial & Storage Center.dwg, C5-3-Fire-40, 8/5/2013 1:00:30 PM, Scott, PDF, p3, 24x36, 1:1



WATER - Fire:		
49	Cut in 12x12x12 Tee to Ex Waterline per PCWA Engineer	1 ea
41	Install 12" Gate Valve	1 ea
42	Install 8" DCDA BFP, FEBCO MasterSeries 856ST per PCWA S207	1 ea
43	Construct 4" PVC AWWA C900, Class 200 Waterline	10 lf
44	Construct 6" PVC AWWA C900, Class 150 Waterline	133 lf
45	Construct 8" PVC AWWA C900, Class 150 Waterline	1,820 lf
46	Construct 12" PVC AWWA C900, Class 150 Waterline	100 lf
47	Construct Fire Hydrant assembly w/ valve, Clow #2060 or approved equal per Std Dwg 6-2, (3): "Safety Yellow"	4 ea
48	Install Fire Riser: FDC / Grinnell Series 7700FP Grooved Butterfly Valve / Globe RCV Grooved Check Valves per (3)	6 ea
49	Construct 6" PVC AWWA C900, Class 200 Waterline	140 lf
50	Fire Lane: Paint Curb Red	220 lf



FIRE DEPT PLAN

- Notes:
- 1) Alarm System shall comply with N.F.P.A. 72.
 - 2) A Knox override switch and opticom shall be provided for all electric access gates.
 - 3) All fire appliances and fire hydrants shall be painted "Safety Yellow"

RECORD DRAWING

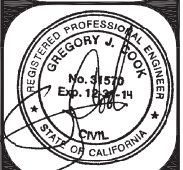
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PROJECT ENGINEER _____ DATE _____

RCE# _____

No	Description	Fig#	County Approval	By	Date

ENGINEER
GREGORY J. COOK s.e.
P.O. BOX 18442
SOUTH LAKE TAHOE, CA 96151
530-544-7774



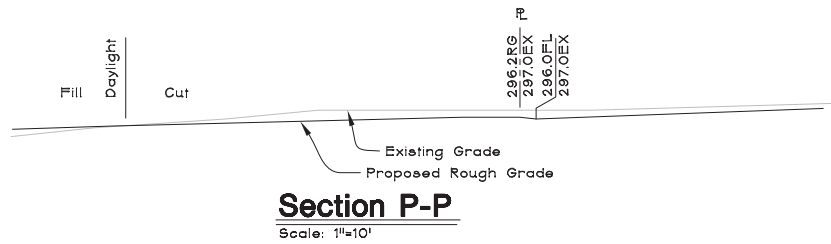
Fire Dept Plan

Rocklin Commercial & Storage Center for:
Rocklin Industrial Park, LLC
4045 Del Rio Court
Rocklin, CA 95677
APN: 045-011-032

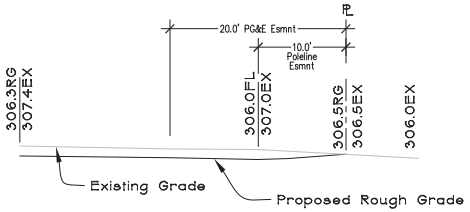
Project no.
SMIT-29
drawn
S.A.M.
date
August 7, 2013
scale
1"=40'

sheet
C5.3
10 of 28 sheets

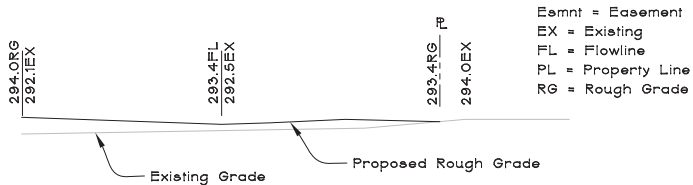
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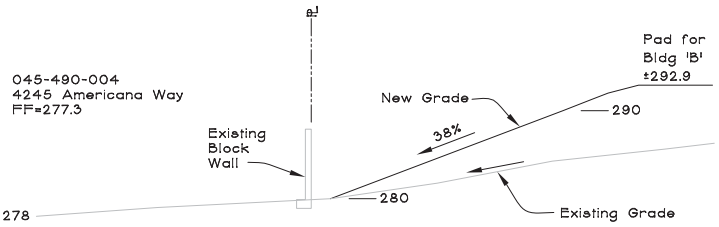
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Section O-O
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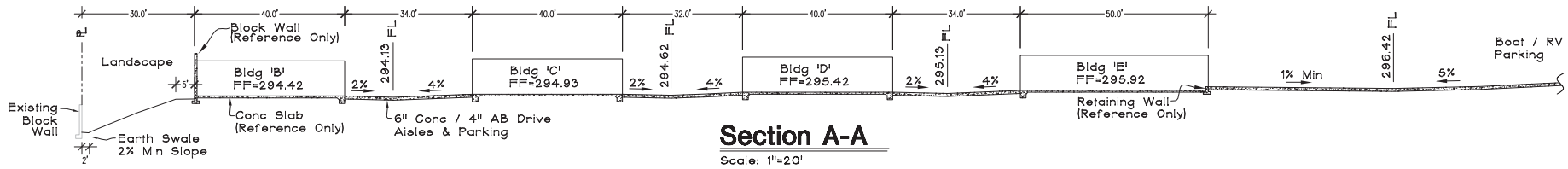


Section N-N
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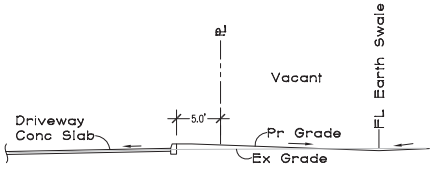


Section M-M
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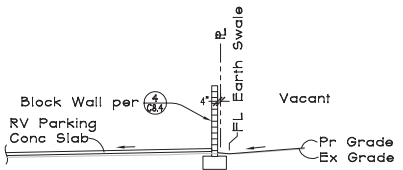
ROUGH GRADING SECTIONS



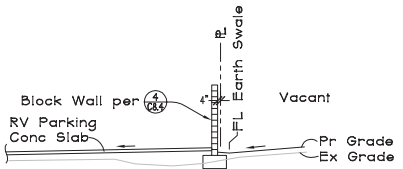
Section A-A
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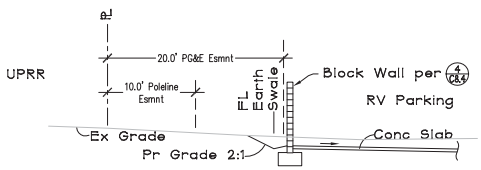
Section H-H
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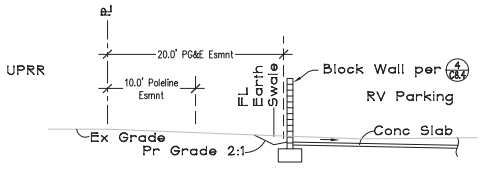
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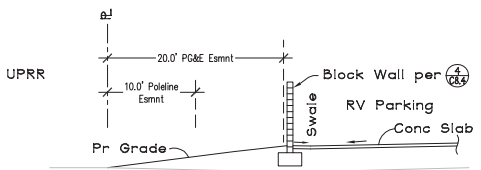
Section F-F
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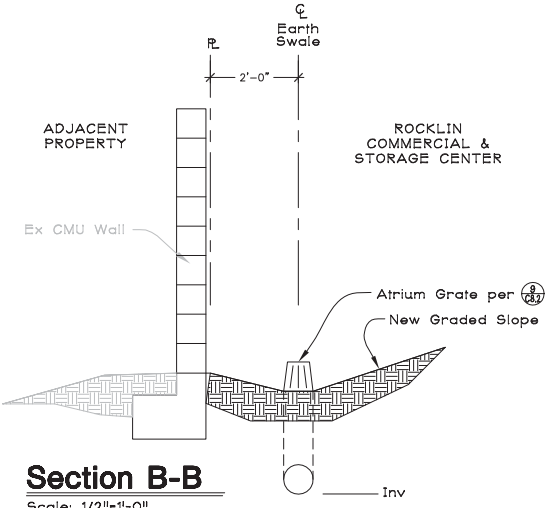
Section E-E
Scale: 1"=10'



Section D-D
Scale: 1"=10'



Section C-C
Scale: 1"=10'



Section B-B
Scale: 1/2"=1'-0"

RECORD DRAWING

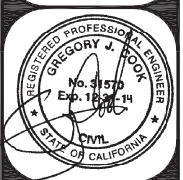
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PROJECT ENGINEER _____ DATE _____

RCE# _____

Fig#	No	Description	County Approval	
			By	Date

ENGINEER
GREGORY J. COOK
P.O. BOX 18442
SOUTH LAKE TAHOE, CA 96151
530-544-7774



Sections

PLANNING SET

Rocklin Commercial & Storage Center for:
Rocklin Industrial Park, LLC
4045 Del Rio Court
Rocklin, CA 95677
APN: 045-011-032

project no.
SMIT-29
drawn
S.A.M.
date
Sept 19, 2013
scale
As Noted

sheet
C7
12 of 28 sheets

[illegible]

A M E R I C A N A W A Y

EXISTING
RESIDENTIAL

LIGHTING FIXTURE SCHEDULE						
TYPE	MANUFACTURER	FIXT. VOLT.	LAMPS NO.	TYPE	INPUT V.A.	MOUNTING
F2	LITHONIA KC2-250M-20C-R3-4C	120	2	250W MH	620	POLE MOUNT 2'-0" ON 2'-0" BASE SEE A/E42
W	ENERTRON 1800E-L	120	1	F3DPT 4K	15	SURFACE WALL 8'-6" AFF

ENERTRON

COMPACT FLUORESCENT
POLYCARBONATE WALL PACK

LEADING THE INDUSTRY WITH QUALITY YOU CAN DEPEND ON

- ENDLESS INDOOR/OUTDOOR USE
Can Be Installed Vertically or Horizontally For...All
High Abuse Areas, Address Marker, Pathway/Step
Light, Corridors, Car Ports
- UL Wet Location Wall Mount
UL Damp Location Ceiling Mount
- White Powder Coated Reflector
- LEKAN Black, White Housing or
NEW Bronze Now Available
- LEKAN Clear Prismatic Lens Standard
Colored Lenses Upon Request...
Opaque, Amber, Green, Blue, Red
- Gasket Available Upon Request
- Stainless Steel Tamper Resistant 3/32" Allen Head
Screws Upon Request
- PhotoCell Available
- Instant Start Twist Tube (LI) 13 Watt Lamp
Available Upon Request
- Magnetic Ballast 45,000+ Class P Thermally
Protected, Two-Place Ballast and Lamp
- Electronic Ballast (E) High Quality USA
Engineered, Programmed Start 120-277V
- Residential, Non Programmed Start Electronic
120V Ballast Also Available, This 24 Compliant
(70R25EQ3-L)

7000 Polycarbonate
Wall Pack Series

Model	Ballast Type	Watts	Equivalent Incandescent	Initial Lumens	Rated Average Lamp/Ballast Life	Dimensions D W H	Min. Start Temp.
7500A	Men	9	50 watts	800	10,000+45,000+ hrs	4" 4.98" 8.88"	20° F
7500A	Men	13	80 watts	800	10,000+45,000+ hrs	4" 4.98" 8.88"	20° F
7500A	PS Elm	13E	80 watts	800	10,000+45,000+ hrs	4" 4.98" 8.88"	20° F
7500A	Men	22 Quad	75 watts	1300	10,000+45,000+ hrs	4" 4.98" 8.88"	20° F
7500A	Men	22 Quad	75 watts	1300	10,000+45,000+ hrs	4" 4.98" 8.88"	20° F
7500A	Men	22 Quad	75 watts	1300	10,000+45,000+ hrs	4" 4.98" 8.88"	20° F

Set Screw Holds Lamp In Place for Versatile Positioning (13, 21 And 28 Watt Units Only)
Add 'B' For Black Housing, 'W' For White Housing, 'BZ' For Bronze Housing
Cool White (CW) Lamps Available Upon Request

ENERTRON
2811-A Commerce Way
Vista, CA 92081
800-537-7549
Fax 877-708-7777
www.enertron.com

Vertically Integrated Manufacturer
Made In USA

LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

INTENDED USE

Ideal for parking areas, street lighting, walkways and car lots.

CONSTRUCTION

Rugged, die-cast, soft corner aluminum housing with 0.12" nominal wall thickness. Cast from the highest quality, tempered, flat glass that is fully galvanized with zinc-plated tubular aluminum.

Finish: Finish in dark bronze (200) polymer powder.

OPTICS

Anodized, aluminum reflector. 80 full subt distribution. R3 (symmetric) or R4 (symmetric) choice. Optional incandescent mount (S) available.

ELECTRICAL

Ballast: Super CWA pulse start ballast. 80% efficient and EISA (European) compliant. See required for 250W (must order SCWA option) for shipping in the U.S.

Ballast: Non-saturable, horizontally oriented metal base option with copper alloy, die-cast aluminum end and center contact. UL listed 1800V, 600V, Lamp included.

LIGHTING

UL Listed (standard), UL listed for 30°C ambient and wet locations, IP65 rated.

NOTE: Specifications subject to change without notice.

Conting Number

Notes

Type

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KAD Pole Combo

ORDERING INFORMATION All configurations of this product are considered "standard" and have short lead times.
Example: KC2400M25C R3 4C SCWA

Configuration	Lens	Pole length	Distribution	Pole diameter	Options
KC1 1 fixture	Clear	15'-0" to 25'-0"	R3 Type III symmetrical	4"	HB (Hemisphere) or R4 (Hemisphere) or R5 (Hemisphere) or R6 (Hemisphere) or R7 (Hemisphere) or R8 (Hemisphere) or R9 (Hemisphere) or R10 (Hemisphere) or R11 (Hemisphere) or R12 (Hemisphere) or R13 (Hemisphere) or R14 (Hemisphere) or R15 (Hemisphere) or R16 (Hemisphere) or R17 (Hemisphere) or R18 (Hemisphere) or R19 (Hemisphere) or R20 (Hemisphere) or R21 (Hemisphere) or R22 (Hemisphere) or R23 (Hemisphere) or R24 (Hemisphere) or R25 (Hemisphere) or R26 (Hemisphere) or R27 (Hemisphere) or R28 (Hemisphere) or R29 (Hemisphere) or R30 (Hemisphere) or R31 (Hemisphere) or R32 (Hemisphere) or R33 (Hemisphere) or R34 (Hemisphere) or R35 (Hemisphere) or R36 (Hemisphere) or R37 (Hemisphere) or R38 (Hemisphere) or R39 (Hemisphere) or R40 (Hemisphere) or R41 (Hemisphere) or R42 (Hemisphere) or R43 (Hemisphere) or R44 (Hemisphere) or R45 (Hemisphere) or R46 (Hemisphere) or R47 (Hemisphere) or R48 (Hemisphere) or R49 (Hemisphere) or R50 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Stark Designs ARCHITECTURE

David W. Stark



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Rocklin, CA 95765

916 390-2236
1dws@sbglobal.net

"ICI" 550 ALENCON LACE
PLASTER @ MANAGER'S OFFICE
(MAIN COLOR)



"ICI" 453 MONTEREY CLIFFS
WOOD @ TRELLIS STRUCTURE
TRIM @ MANAGER'S OFFICE



ELDORADO STONE
@ MANAGER'S OFFICE
CULTURED STONE



"Eagle Roofing" 5646 @
MANAGER'S OFFICE



ROCKLIN SELF STORAGE

Thomastown Builders Inc.

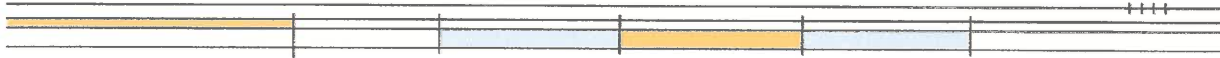
Rocklin, California

Color & Material Board

08-09-2013

Stark Designs ARCHITECTURE

David W. Stark



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Rocklin, CA 95765**

**916 390-2236
1dws@shcglobal.net**

**"BASALITE" 101
SPLIT FACE @ CMU WALL
(MAIN COLOR)
" ALL BUILDINGS WITHIN THE
SITE TO BE SMOOTHED FACED"**



**"BASALITE" 380
SPLIT FACE @ CMU WALL
(ACCENT COLOR)
" ALL BUILDINGS WITHIN THE
SITE TO BE SMOOTHED FACED"**

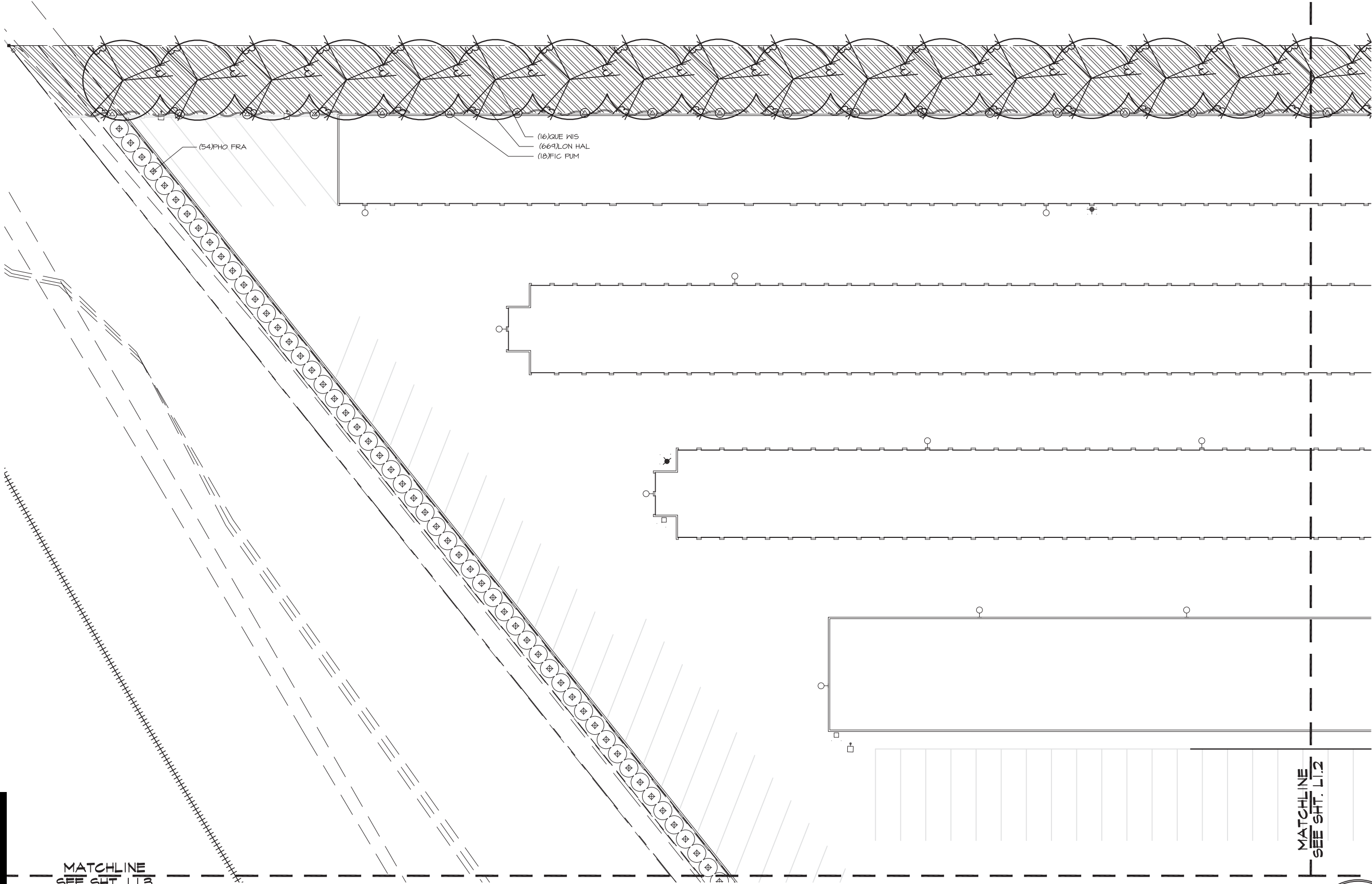


**"NAPA VALLEY CAST STONE"
CONCRETE CAP WC-1460,
PC-125 @ COLUMNS**



**ROCKLIN SELF STORAGE
Thomastown Builders Inc.
Rocklin, California
Color & Material Board**

08-09-2013



REFER TO SHEET L1.3 FOR PLANTING LEGEND AND QUANTITIES



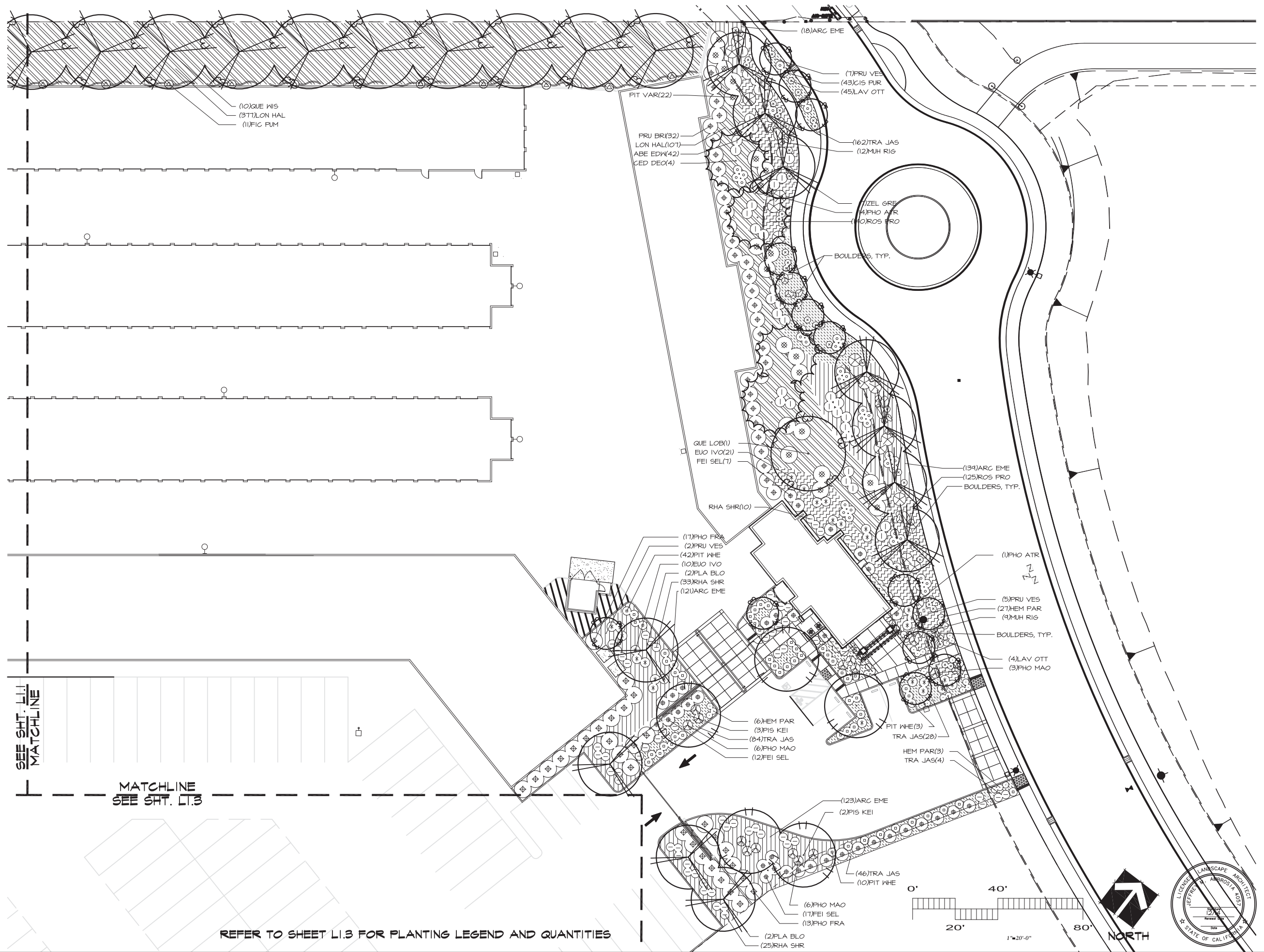
ROCKLIN SELF STORAGE
DEL RIO COURT
ROCKLIN, CA
THOMASTOWN BUILDERS

PLANTING
PLAN A

REVISIONS:	
△ Planning comments	7/23/13

SD JOB NO.: 4.150
DATE: 3/14/13
CHECKED BY: JMA

L1.1



ROCKLIN SELF STORAGE
DEL RIO COURT
ROCKLIN, CA
THOMASTOWN BUILDERS

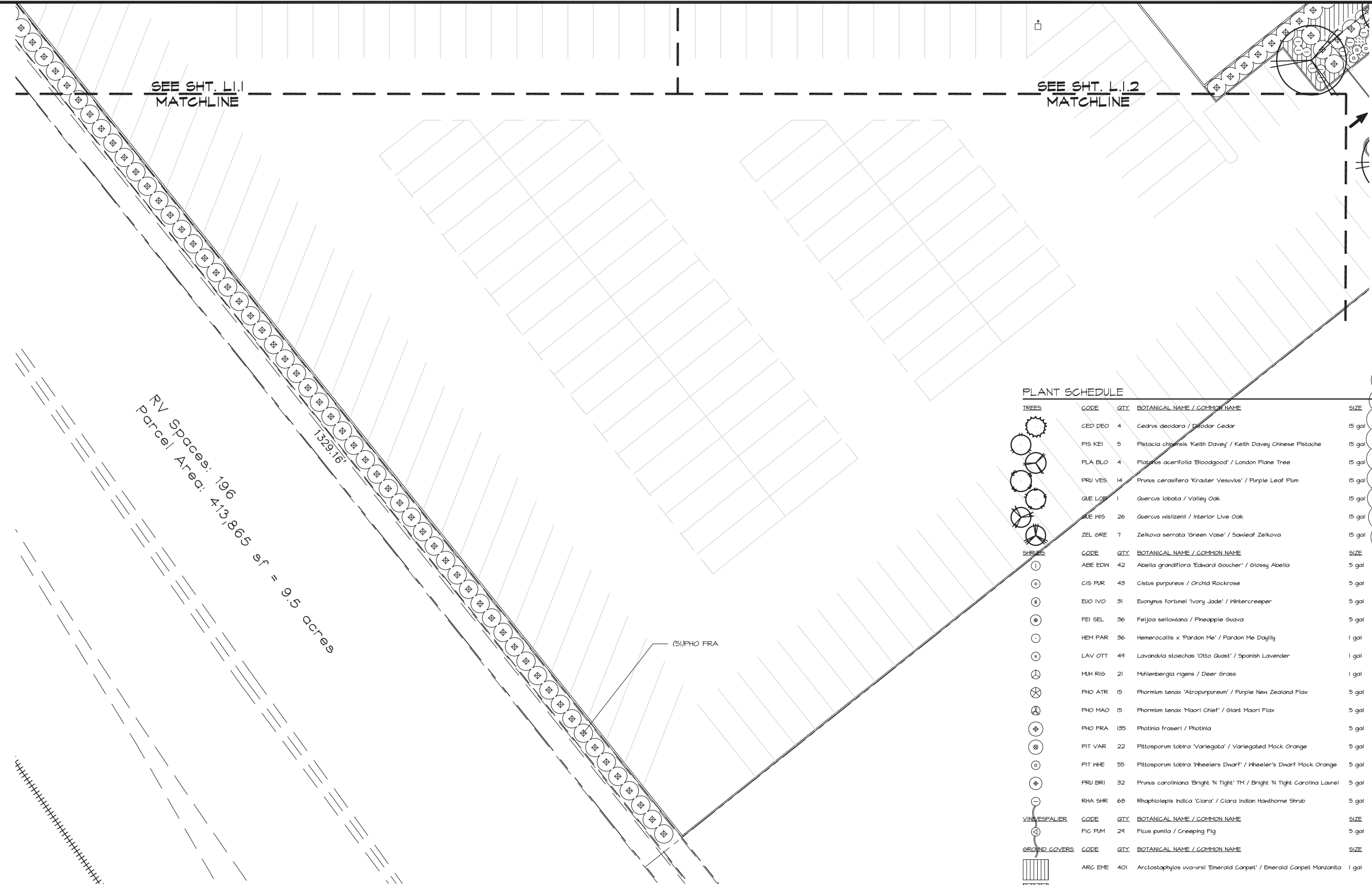
PLANTING
PLAN B

REVISIONS:

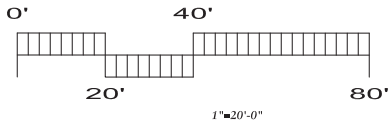
Planning comments	7/23/13

SD JOB NO: 4.150
DATE: 3/14/13
CHECKED BY: JMA

L1.2



THE LANDSCAPE PLAN MEETS THE REQUIREMENTS OF THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), AB 1881.



ROCKLIN SELF STORAGE

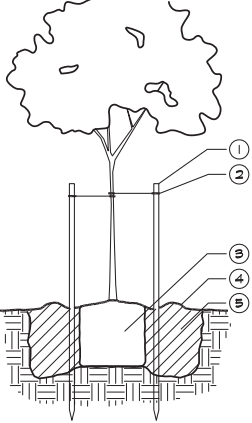
DEL RIO COURT
ROCKLIN, CA
THOMASTOWN BUILDERS

PLANTING
PLAN C

REVISIONS:		
Planning comments		7/23/14

SD JOB NO.: 4150
DATE: 3/14/14
CHECKED BY: JMA

L1.3



LEGEND

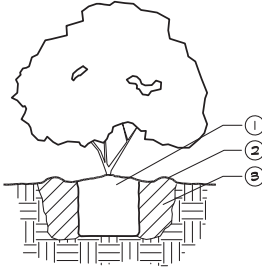
- 1 TREE STAKE
- 2 TREE TIE
- 3 ROOTBALL
- 4 SOIL RING
- 5 AMENDED BACKFILL

NOTES:

- WIDTH OF HOLE SHALL BE 4 TIMES THE WIDTH OF THE ROOTBALL
- DEPTH OF THE HOLE SHALL BE HEIGHT OF THE ROOTBALL WITH 1 1/2" OF TOP OF ROOTBALL HIGHER THAN SURROUNDING FINISH GRADE
- CUT TREE STAKES WITHIN 2" OF TIES
- WATER BACKFILL HEAVILY TO REDUCE AIR POCKETS
- REMOVE NURSERY STAKE PRIOR TO THE END OF THE MAINTENANCE PERIOD
- MAINTAIN A MINIMUM DISTANCE OF 18" BETWEEN EDGE OF LAWN AND TRUNK OF TREE(S)

TREE PLANTING AND STAKING

PLT-TREE1 SCALE: N.T.S.



LEGEND

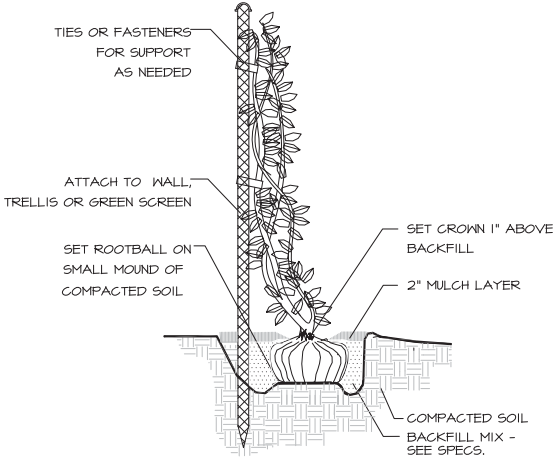
- 1 ROOTBALL
- 2 SOIL RING
- 3 AMENDED BACKFILL

NOTES:

- WIDTH OF HOLE SHALL BE 3 TIMES THE WIDTH OF THE ROOTBALL
- DEPTH OF THE HOLE SHALL BE DEPTH OF THE ROOTBALL WITH 1 1/2" OF TOP OF ROOTBALL HIGHER THAN SURROUNDING FINISH GRADE
- WATER BACKFILL HEAVILY TO REDUCE AIR POCKETS

SHRUB PLANTING

PLT-SHRB1 SCALE: N.T.S.



LEGEND

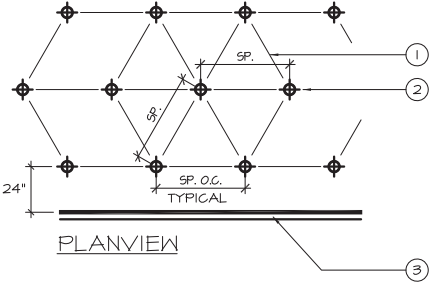
- 1 ROOTBALL
- 2 SOIL RING
- 3 AMENDED BACKFILL

NOTES:

- SET ROOTBALL ON SMALL MOUND OF COMPACTED SOIL
- SET CROWN 1" ABOVE BACKFILL
- 2" MULCH LAYER
- COMPACTED SOIL BACKFILL MIX - SEE SPECS.

VINE PLANTING

PLT-VINE SCALE: N.T.S.



LEGEND

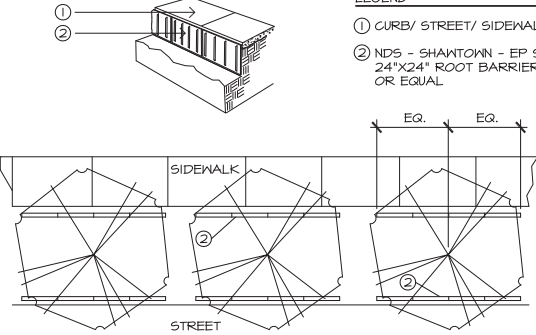
- 1 GROUNDCOVER SPACING: SEE PLANTING PLAN LEGEND.
- 2 GROUNDCOVER CENTERS.
- 3 WALL, WALK OR EDGE OF GROUNDCOVER PLANTING.

NOTES:

- SET CROWN 1" ABOVE BACKFILL
- 2" MULCH LAYER
- COMPACTED SOIL BACKFILL MIX - SEE SPECS.

GROUNDCOVER PLANTING

PLT-GRDCVR SCALE: N.T.S.



LEGEND

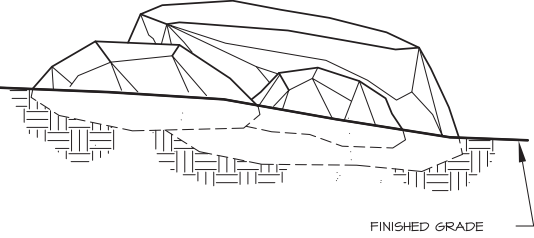
- 1 CURB/ STREET/ SIDEWALK
- 2 NDS - SHANTOWN - EP SERIES 24"x24" ROOT BARRIER PANELS OR EQUAL

NOTES:

- Install (4) 24" panels on each side of tree
- Center the panels on trunk of tree
- Root barriers are required in all locations where trees are placed closer than 48" from curbs or sidewalks
- Set top of root barrier 4" below top of walk or curb, or 2" below finished grade, whichever is lower.

TREE ROOT BARRIER

PLT-BARR SCALE: N.T.S.



LEGEND

- 1 CURB/ STREET/ SIDEWALK
- 2 NDS - SHANTOWN - EP SERIES 24"x24" ROOT BARRIER PANELS OR EQUAL

NOTES:

- SET BOULDERS WITH THE WIDEST PART AT GRADE (approx. 1/3 of the boulder below grade)
- GROUP BOULDERS IN A NATURAL SETTING AS SHOWN ON THE PLAN

BOULDER SETTING

BLDR SCALE: N.T.S.


YAMASAKI

LANDSCAPE ARCHITECTURE

1223 HIGH STREET, AUBURN, CA 95603

(530) 885-0040

FAX (530) 885-0042



ROCKLIN SELF STORAGE

DEL RIO COURT

ROCKLIN, CA

THOMASTOWN BUILDERS

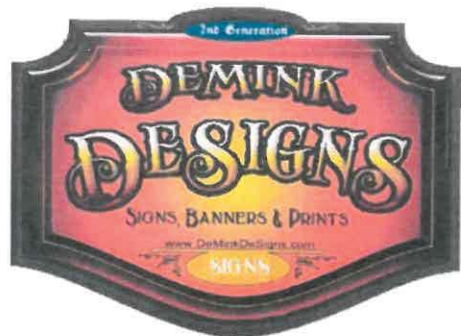
PLANTING DETAILS

REVISIONS:	
△ Planning comments	7/23/12

SD JOB NO.:	4.150
DATE:	3/14/13
CHECKED BY:	JMA

L3.1

Agenda Item #7.



CSLB# B-866557 C-45

Job Description

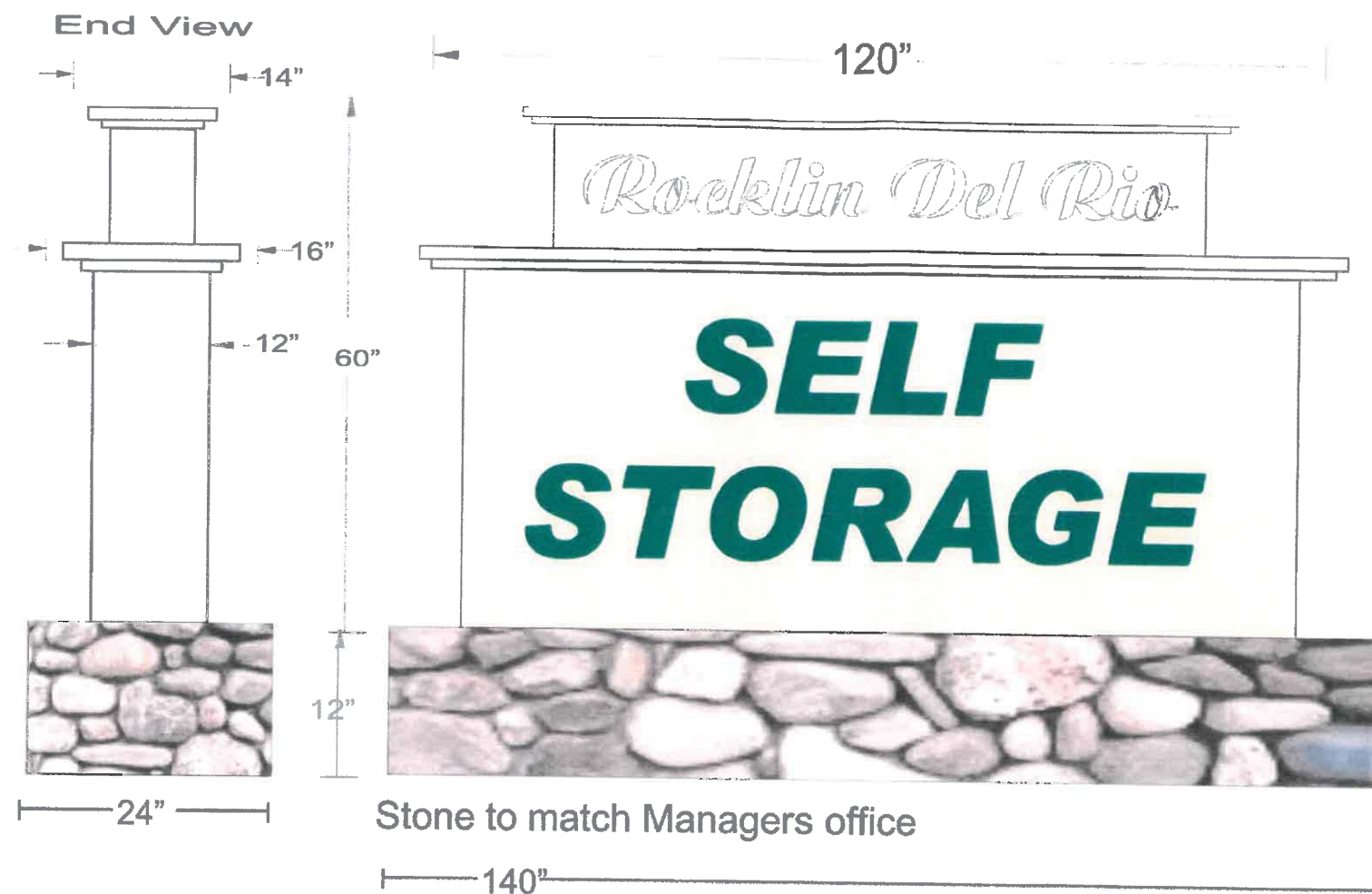
Name: Rocklin Del Rio
Self Storage
Contact: Steve DeMink
530-277-2049

Location: 4045 Del Rio ct.

Color: lettering White & green
Return: Tan
Fluorescent bulbs

Double sided Monument
Aluminum Constructions
internally Lit w/ Brick Base

110 power supply will be
located in the sign body.



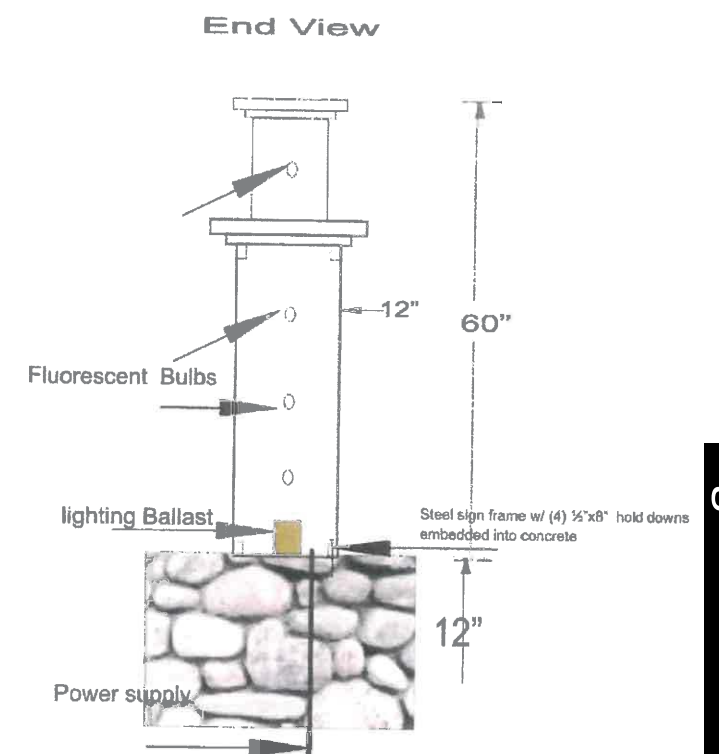
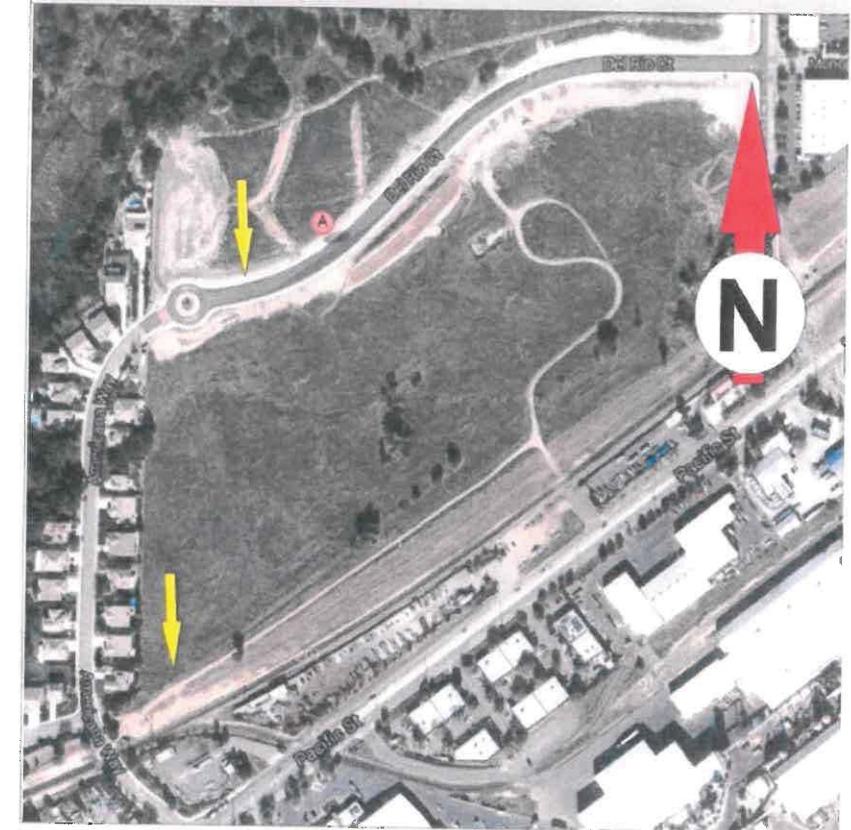
APPROVED

Laura Webster

EXHIBIT B

FILE NO. DL-2013-07

4045 Del Rio Ct.

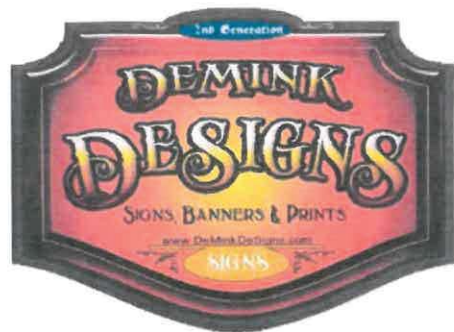


SIGNS & PRINTS

A Business without a sign is a sign of no business

Steve L. DeMink
530.277.0249 Steve
530.272.6854 Fax
Steve@DeMinkDeSigns.com

Shawna L. DeMink
530.559.7879 Shawna
Shawna@DeMinkDeSigns.com



CSLB# B-866557 C-45

Job Description

Name: Rocklin Del Rio
Self Storage
Contact: Steve DeMink
530-277-2049

Location: 4045 Del Rio ct.

Face Color: White
Return: Black
Trim: Black

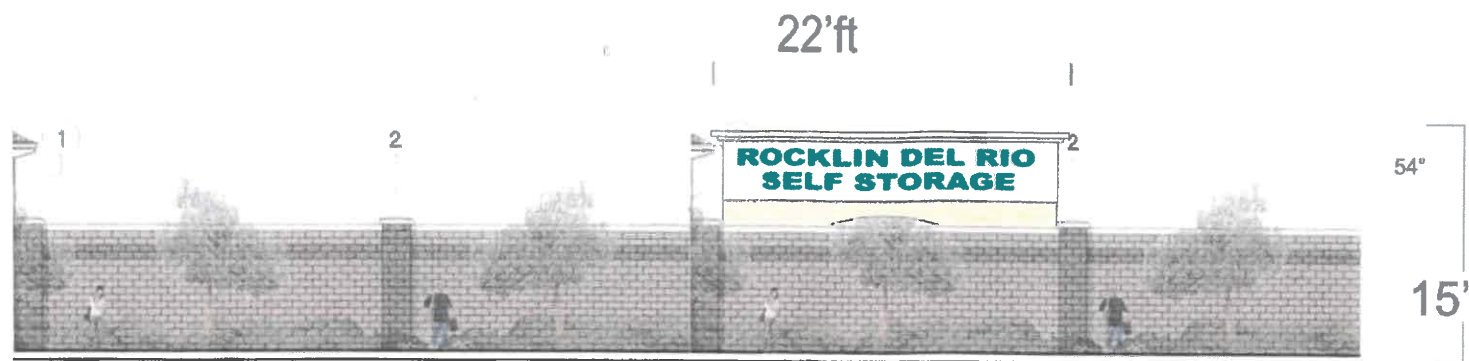
one pole sign 99 Sq. Ft.
Green Lettering

Pole sign will be placed on the
north side of brick wall
Facing Taylor Rd.

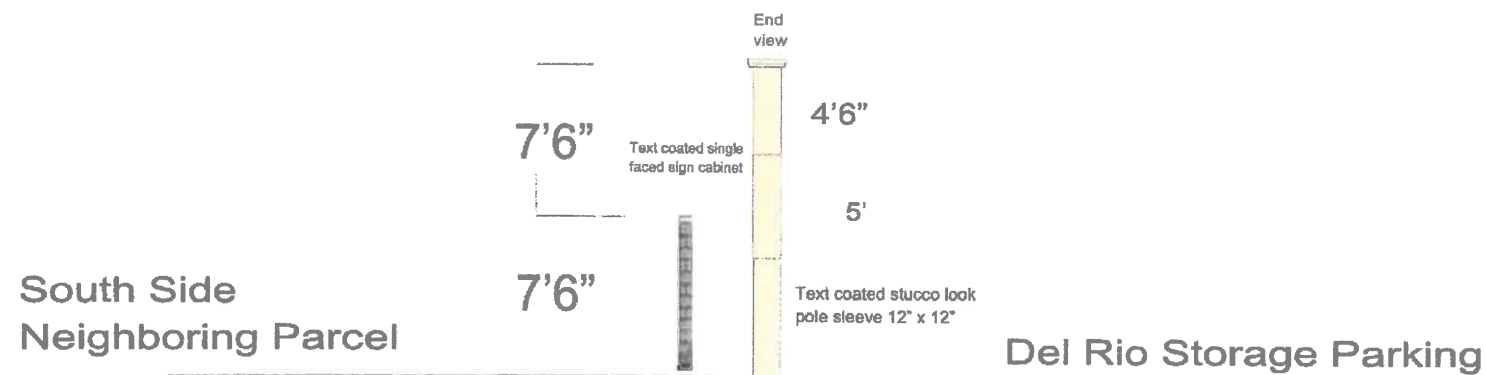
Pole Sign Type



Packet Pg. 109

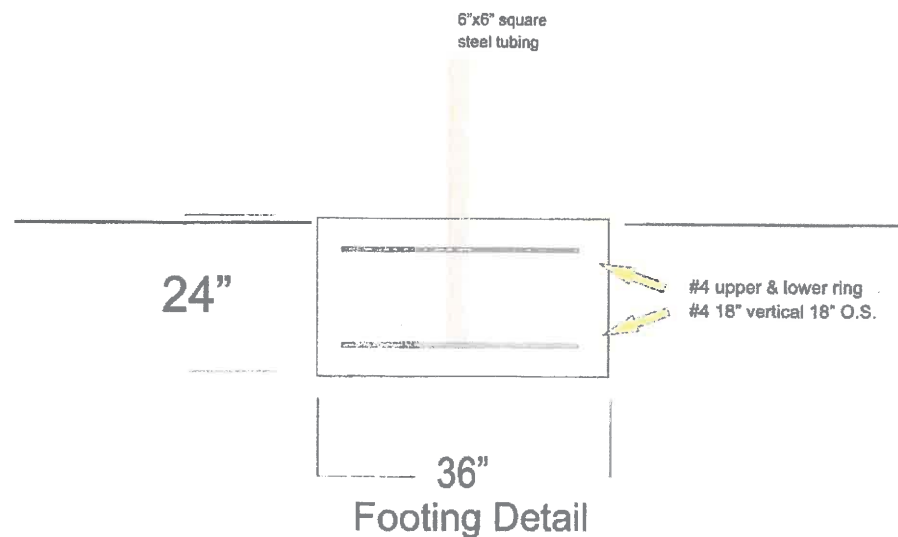


Single faced sign cabinet South facing



South Side
Neighboring Parcel

Del Rio Storage Parking



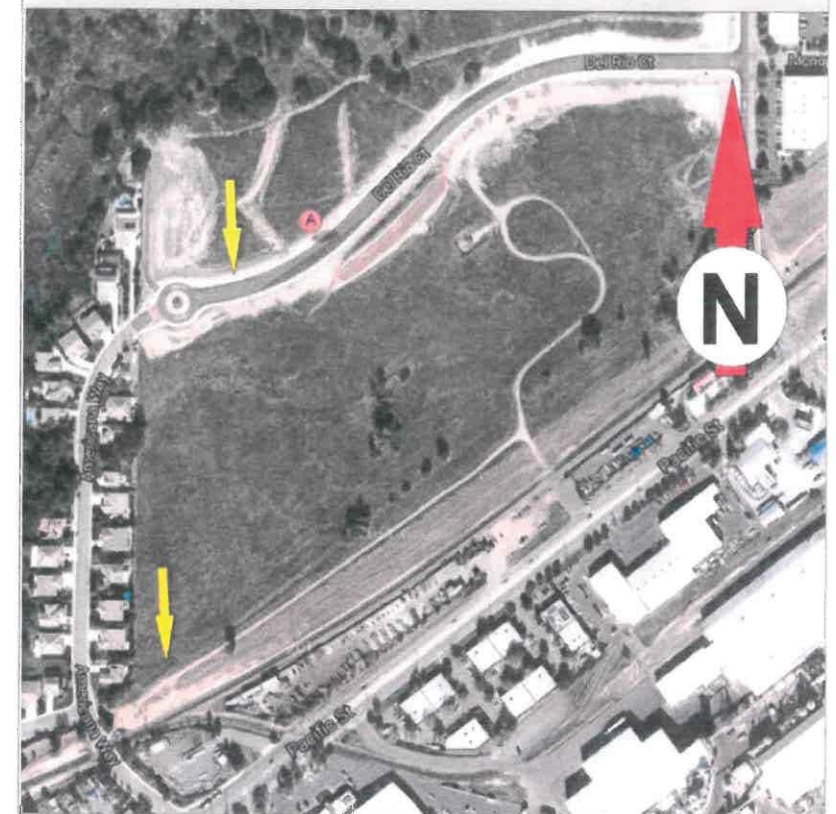
SIGNS & PRINTS

A Business without a sign is a sign of no business!

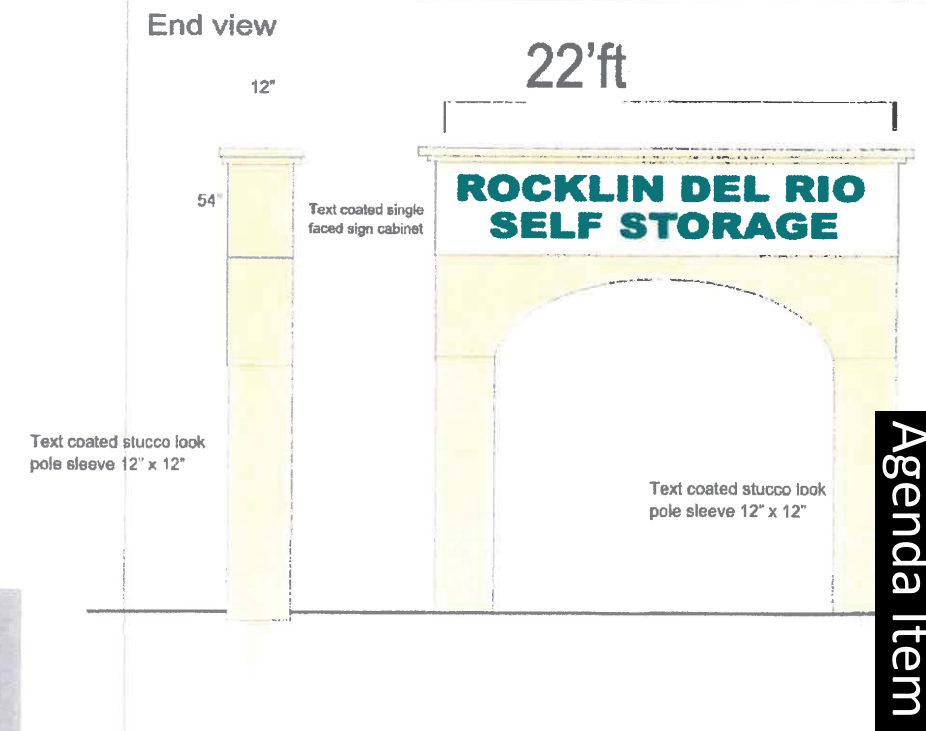
Steve L. DeMink
530.277.0249 Steve
530.272.6854 Fax
Steve@DeMinkDeSigns.com

Shawna L. DeMink
530.559.7879 Shawna
530.273.5454 Shop
Shawna@DeMinkDeSigns.com

4045 Del Rio Ct.



Pole Sign Type



Agenda Item #7.

RESOLUTION NO. PC-2009-15

RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF ROCKLIN
RECOMMENDING APPROVAL OF A DESIGN REVIEW
(ROCKLIN COMMERCIAL AND STORAGE / DR-2008-11 & TRE-2009-03)

~~The Planning Commission of the City of Rocklin does resolve as follows:~~

Section 1. The Planning Commission of the City of Rocklin finds and determines that:

A. This application is a request for approval of a design review entitlement to allow the development of an approximately 109,674 square foot, five building, mixed commercial / office / light industrial complex and an approximately 90,986 square foot mini-storage facility (Total building area 209,862 square foot) on the south side of Del Rio Court.

B. A Mitigated Negative Declaration of Environmental Impacts has been recommended for approval for this project via Planning Commission Resolution PC-2009-13.

C. The design of the site is compatible with surrounding development, natural features and constraints.

D. The height, bulk, area, color scheme and materials of the buildings and structures are compatible with surrounding development.

E. The buildings and structures have been oriented with consideration given to minimizing energy consumption and maximizing use of natural lighting.

F. Adverse light and glare impacts upon adjoining properties have been eliminated or reduced to a less than significant level by consideration and modification of the location and height of light standards, orientation of exterior lighting fixtures, and conditioning the project to use light fixtures that will direct light downward.

G. The dimensions, placement, and design of the signs are compatible with the proposed buildings and structures and the surrounding development and environment.

H. The landscaping design is compatible with surrounding development and has been designed with provisions for minimizing water usage and maintenance needs.

I. The parking design, including ingress and egress traffic patterns, is compatible with the surrounding development and the public street patterns.

9. Signs

All signs shall conform to the Sign Ordinance of the City of Rocklin and the sign design(s) and location(s) as shown on Exhibit A, except as modified herein. (PLANNING)

-
- a. No signage shall be allowed on the building walls that face the adjacent residential site / development.
 - b. Prior to building permit issuance, the freestanding entry sign shall be modified to include the project site addresses to the satisfaction of the Community Development Director.
 - c. Prior to building permit issuance, the 15 foot high monument sign shall be modified to utilize routed out push-thru internally illuminated letters like the smaller signs, as indicated on Exhibit A, Sheet S2

10. Screening of Mechanical Equipment

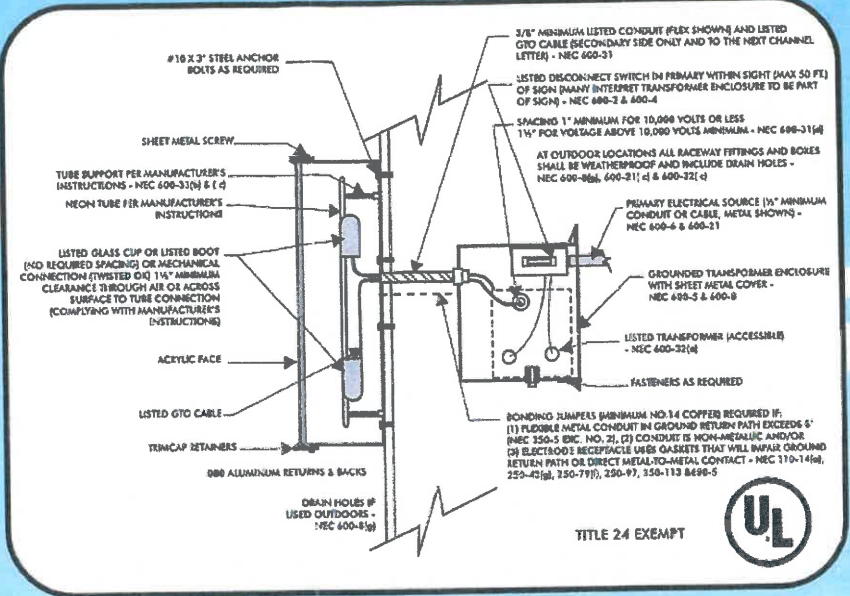
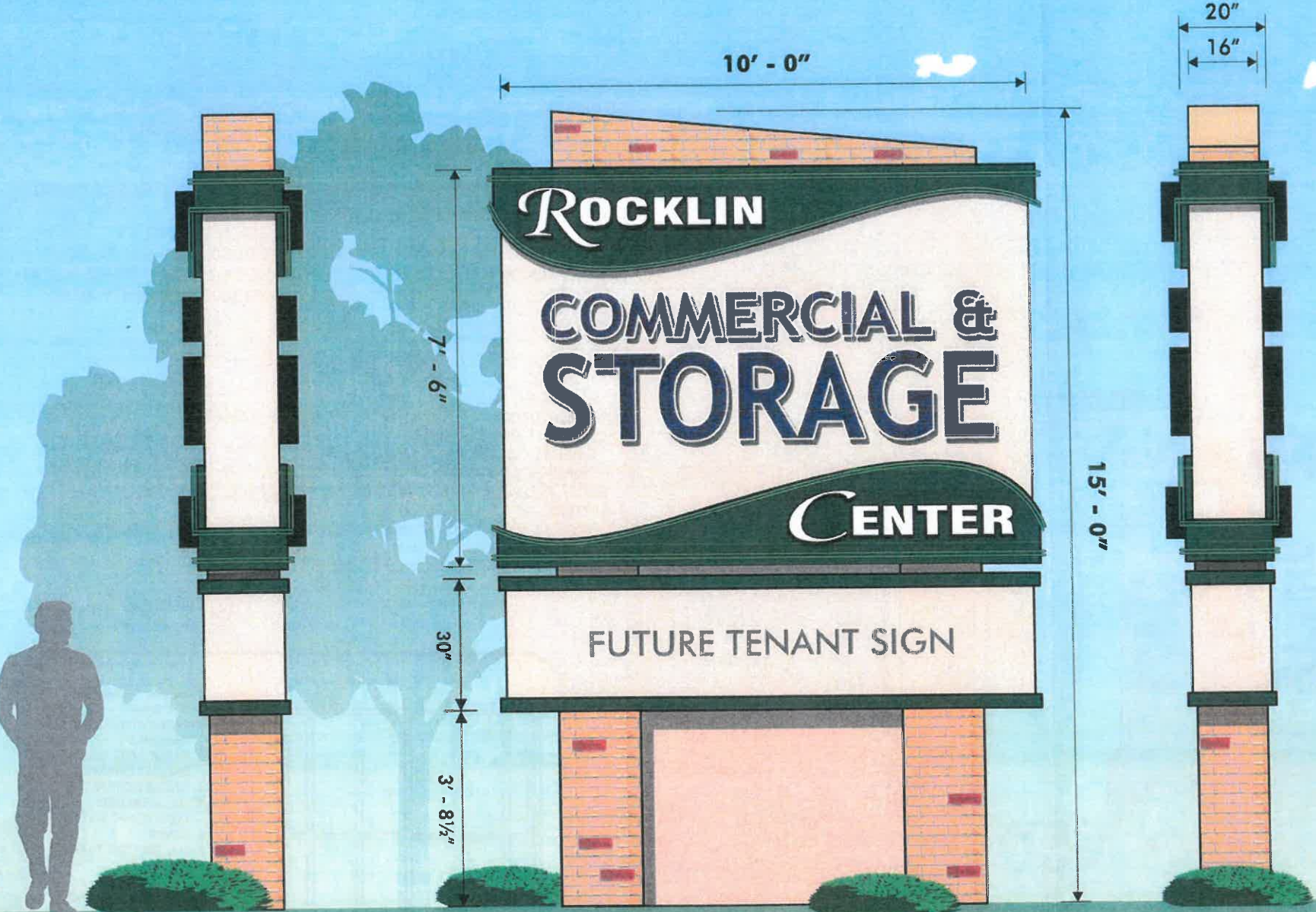
- a. All mechanical equipment, whether ground or roof mounted shall be screened from view from all public rights of way to the satisfaction of the Community Development Director. The design of the screening shall be in harmony with the architectural design of the building. (PLANNING)
- b. The appearance of large utility features, such as double detector check valves, shall be minimized through the use of utility blankets or other acceptable screening methods. The developer shall also demonstrate that these facilities have been moved as far as possible from the public right-of-way. (PLANNING)

11. Security

- a. Prior to building permit issuance the applicant shall prepare a security plan for review by the Rocklin Police Department, and shall provide the Rocklin Police Department with the name(s) and telephone number(s) of a responsible party to contact. (POLICE)
- b. Prior to building / unit occupancy the property owner, or each tenant, shall obtain and maintain at all times, an Alarm System Permit for each security system installed and operated in the building / shopping center / complex , if any, in accord with the requirements of Chapter 9.44 of the Rocklin Municipal Code. (POLICE)

ROCKLIN COMMERCIAL &
STORAGE CENTER
ROCKLIN, CA

S1 Monument Sign



CONSTRUCTION - D/F ILLUMINATED POLE SIGN
CABINET & POLE COVER: .080 ALUMINUM
CABINET COLOR: MATCH BUILDING
THIN BRICK FACING ON POLE COVER, STUCCO
FACE: .080 ALUMINUM
LETTERS: 5" DEEP ILLUMINATED CHANNEL LETTERS
COLOR: BLACK RETURNS & TRIM CAP
GRAPHICS: VINYL OVERLAYS AS SHOWN
VINYL COLORS: 3M VINYL 230-49 BURGUNDY, WHITE
ILLUMINATION: 15mm NEON, COLOR: GREEN

- | | |
|---|--|
| BUILDING COLOR
DE 6143 ALMOND LATTE
DE 6136 TERRA COTTA SAND | METAL CANOPY/TRELLIS
DE5719 ECOLOGICAL |
| BUILDING ACCENT COLOR
DE6137 TAN PLAN | METAL ROOF
AEP-SPAN COOL HEMLOCK GREEN |
| CONCRETE LINTEL
DE6118 SANDPIT | THIN BRICK VENEER
HC MUDDOX 3059 SUTTER GOLD
HC MUDDOX 3137 SUMMER WHEAT
HC MUDDOX 1081 DUSTY ROSE |

SCALE 3/8" = 1'



Western
SIGN COMPANY, INC.

6221 Enterprise Drive Diamond Springs, CA 95619
Phone 916 933-3765 530 622-1420 Fax 530 622-9367

THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED BY WESTERN SIGN CO., INC. IT IS SUBMITTED FOR YOUR APPROVAL. IT IS NOT TO BE SHOWN TO ANYONE OUTSIDE YOUR ORGANIZATION, NOR IS IT TO BE REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION WITHOUT EXPRESSED WRITTEN PERMISSION OF WESTERN SIGN CO., INC.

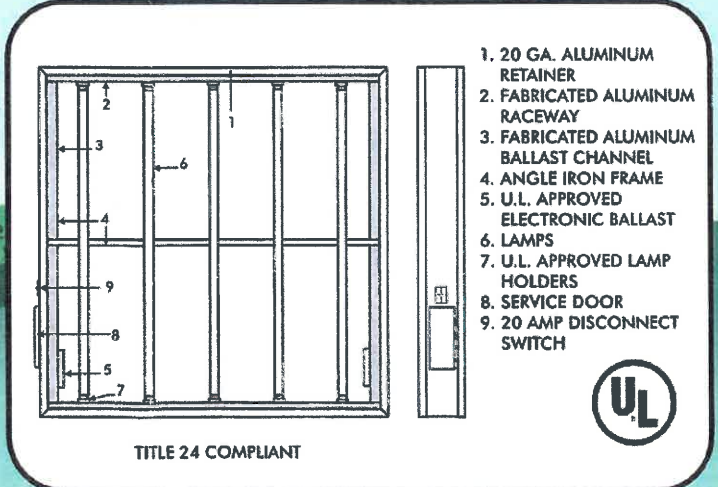
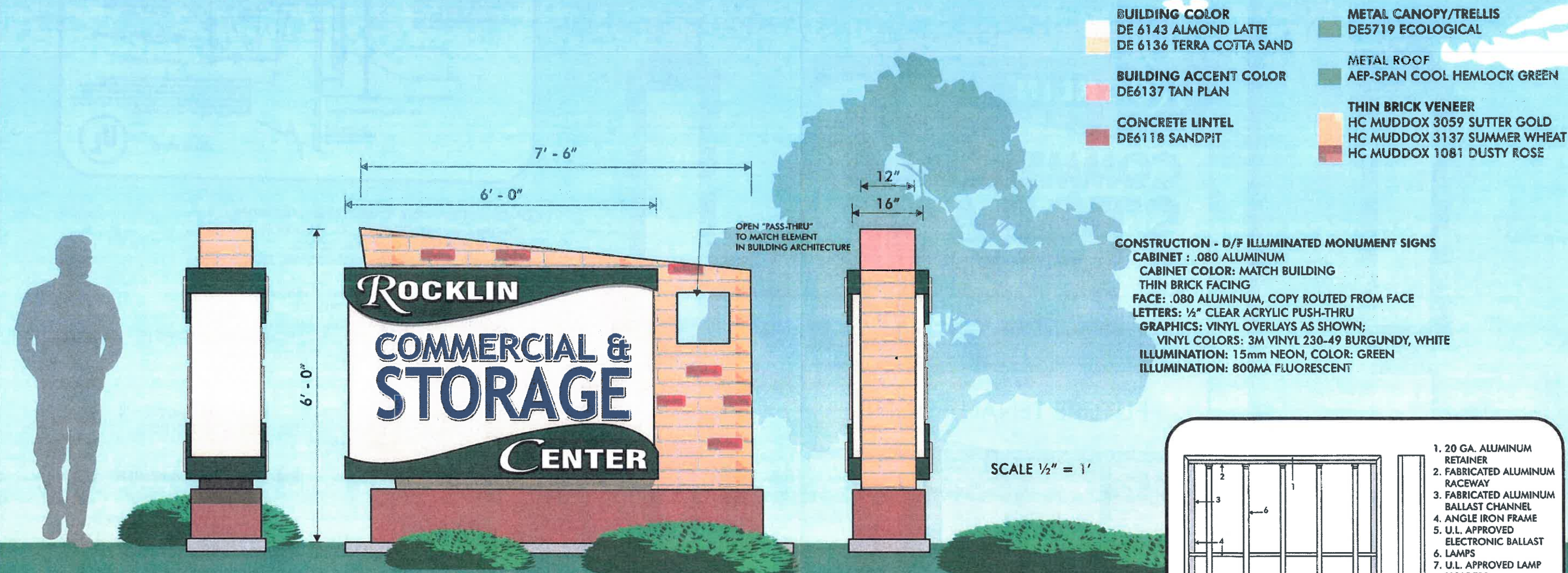
SALESPERSON
ILLUSTRATION
LOCATION
DATE
REVISED
Keith Wills
Perry Wilson
Rocklin, CA
10/14/08
10/23/08
10/27/08
01/25/09
04/02/09

CUSTOMER APPROVAL _____ DATE _____
LANDLORD APPROVAL _____ DATE _____
COLORS ON THIS PRINTOUT MAY VARY SLIGHTLY FROM FINAL MATERIALS COLORS. APPROVAL OF THIS ILLUSTRATION INCLUDES APPROVAL OF THE FINAL MATERIALS COLORS AS DESCRIBED IN THE WRITTEN CALLOUT. WRITTEN DIMENSIONS ON THIS ILLUSTRATION HAVE PRECEDENCE OVER SCALED DIMENSIONS.
SALESPERSON SIGNOFF _____ DATE _____



ROCKLIN COMMERCIAL & STORAGE CENTER
ROCKLIN, CA

S2 Monument Sign



 **Western**
SIGN COMPANY, INC.

6221 Enterprise Drive Diamond Springs, CA 95619
Phone 916 933-3765 530 622-1420 Fax 530 622-9367

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SALESPERSON
ILLUSTRATION
LOCATION
DATE
REVISED

Keith Wills
Perry Wilson
Rocklin, CA
10/14/08
10/23/08
10/27/08
01/25/09
04/02/09

CUSTOMER APPROVAL _____ DATE _____

LANDLORD APPROVAL _____ DATE _____

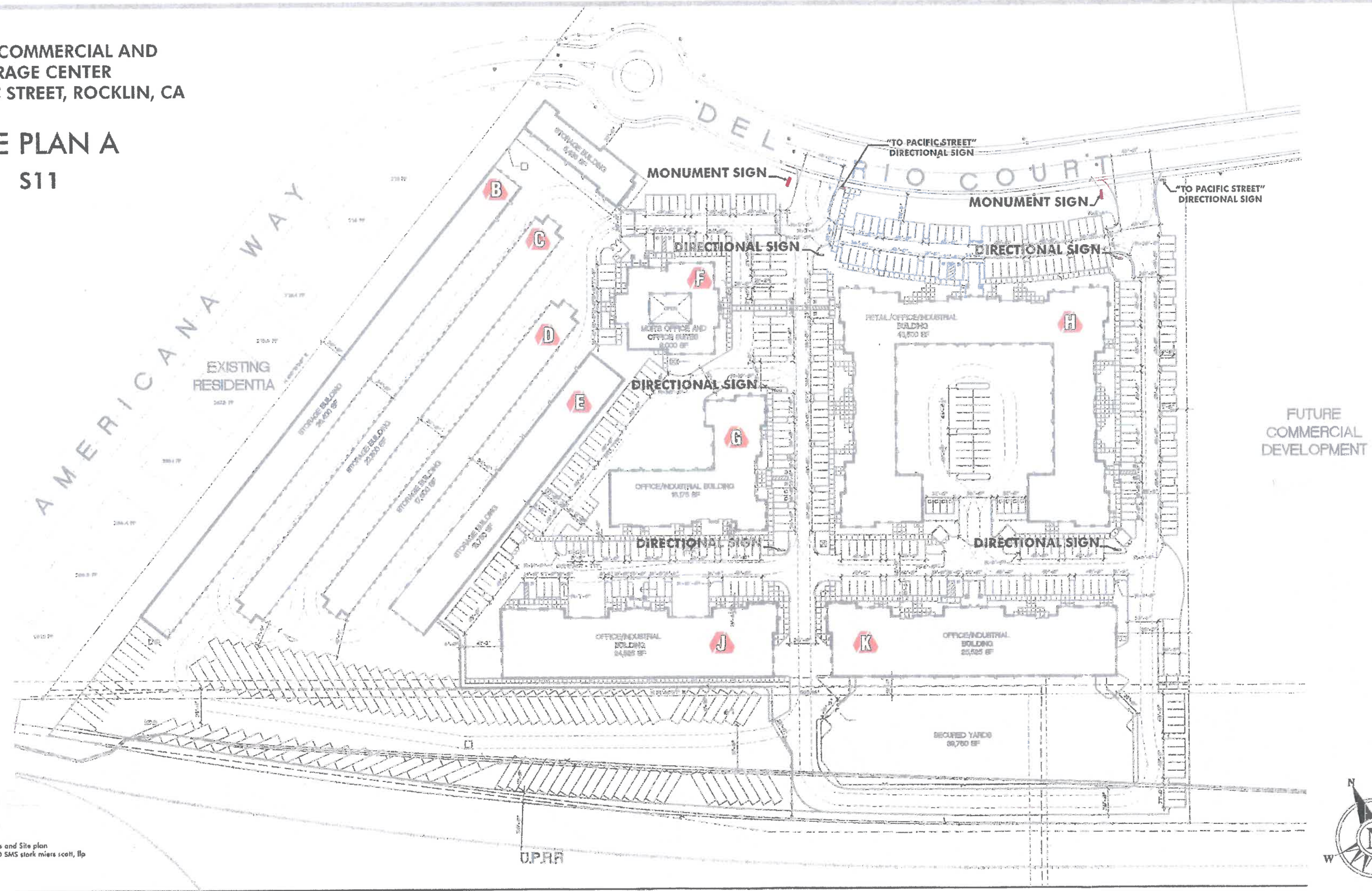
COLORS ON THIS PRINTOUT MAY VARY SLIGHTLY FROM FINAL MATERIALS COLORS. APPROVAL OF THIS ILLUSTRATION INCLUDES APPROVAL OF THE FINAL MATERIALS COLORS AS DESCRIBED IN THE WRITTEN CALLOUT. WRITTEN DIMENSIONS ON THIS ILLUSTRATION HAVE PRECEDENCE OVER SCALED DIMENSIONS.

SALESPERSON SIGNOFF _____ DATE _____



ROCKLIN COMMERCIAL AND
STORAGE CENTER
4342 PACIFIC STREET, ROCKLIN, CA

SITE PLAN A
S11



Illustrated Elevations and Site plan
provided by STUDIO SMS stork miers scott, llp



Western
SIGN COMPANY, INC.

6221 Enterprise Drive Diamond Springs, CA 95619
Phone 916 933-3765 530 622-1420 Fax 530 622-9367

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SALESPERSON Keith Willis
ILLUSTRATION Perry Wilson
LOCATION Rocklin, CA
DATE 10/14/08
REVISED 10/23/08
01/25/09
04/02/09

CUSTOMER APPROVAL _____ DATE _____

LANDLORD APPROVAL _____ DATE _____

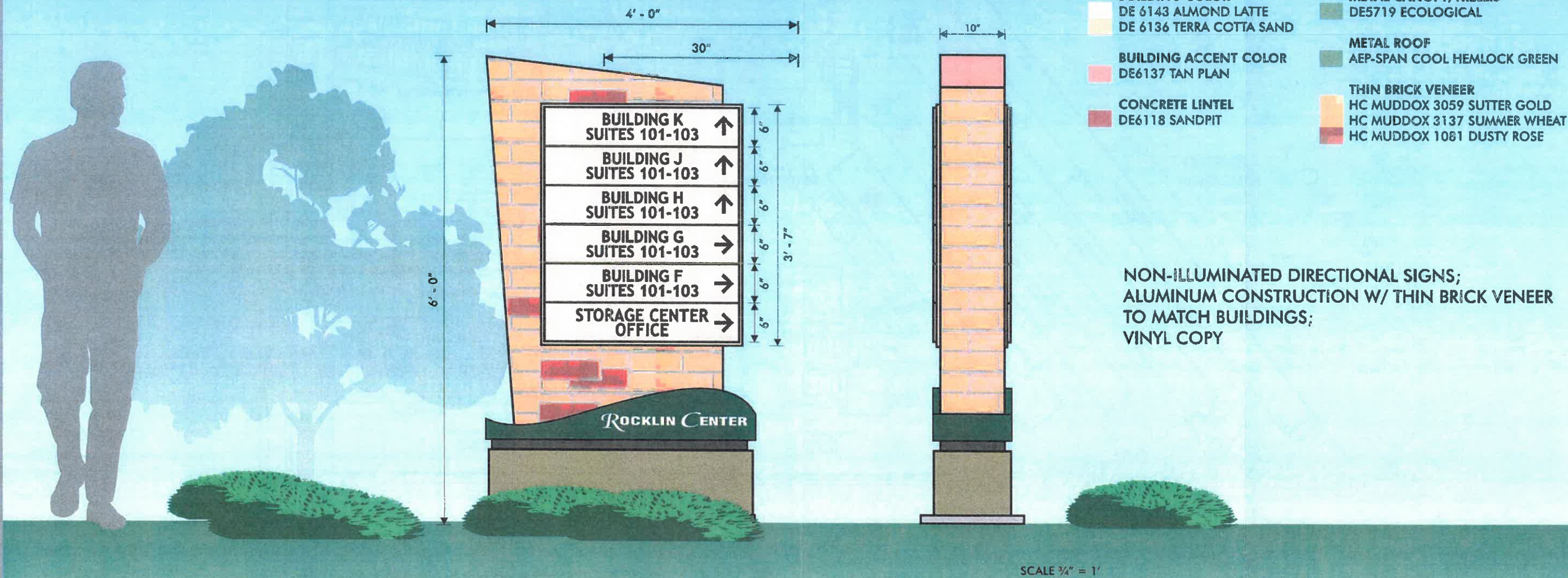
COLORS ON THIS PRINTOUT MAY VARY SLIGHTLY FROM FINAL MATERIALS COLORS. APPROVAL OF THIS ILLUSTRATION INCLUDES APPROVAL OF THE FINAL MATERIALS COLORS AS DESCRIBED IN THE WRITTEN CALLOUT. WRITTEN DIMENSIONS ON THIS ILLUSTRATION HAVE PRECEDENCE OVER SCALED DIMENSIONS.

SALESPERSON SIGNOFF _____ DATE _____



ROCKLIN COMMERCIAL & STORAGE CENTER
ROCKLIN, CA

S3 Directional Sign



Western
SIGN COMPANY, INC.

6221 Enterprise Drive Diamond Springs, CA 95619
Phone 916 933-3765 530 622-1420 Fax 530 622-9367

THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED BY WESTERN SIGN CO., INC. IT IS SUBMITTED FOR YOUR APPROVAL. IT IS NOT TO BE SHOWN TO ANYONE OUTSIDE YOUR ORGANIZATION, NOR IS IT TO BE REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION WITHOUT EXPRESSED WRITTEN PERMISSION OF WESTERN SIGN CO., INC.

SALESPERSON
ILLUSTRATION
LOCATION
DATE
REVISED
Keith Wills
Perry Wilson
Rocklin, CA
10/14/08
10/23/08
10/27/08
01/25/09
04/02/09

CUSTOMER APPROVAL _____ DATE _____

LANDLORD APPROVAL _____ DATE _____

COLORS ON THIS PRINTOUT MAY VARY SLIGHTLY FROM FINAL MATERIALS COLORS. APPROVAL OF THIS ILLUSTRATION INCLUDES APPROVAL OF THE FINAL MATERIALS COLORS AS DESCRIBED IN THE WRITTEN CALLOUT. WRITTEN DIMENSIONS ON THIS ILLUSTRATION HAVE PRECEDENCE OVER SCALED DIMENSIONS.

SALESPERSON SIGNOFF _____ DATE _____





Location One: Dawson Oil and Carwash at 4325 Pacific Street

Location Two: Meek's Lumber and Hardware at 4243 Dominguez Road



Location One: Dawson Oil and Carwash at 4325 Pacific Street with mock-up of sign (not to scale)



Location Two: Meek's Lumber and Hardware at 4243 Dominguez Road with mock-up of sign (scale)



CITY OF ROCKLIN

MEMORANDUM

DATE: February 2, 2016

TO: Planning Commission

FROM: Marc Mondell, Economic and Community Development Director
Bret Finning, Acting Planning Services Manager
Dara Dungworth, Associate Planner

RE: Verizon Wireless on Pacific Street
Revised Project and Photo-simulations at 50 feet

Design Review & Conditional Use Permit
(DR2014-0014 and U2014-0008)

At the Planning Commission hearing on December 15, 2015, the proposed Verizon telecommunications facility was considered. The Planning Commission expressed concern regarding the proposed 75-foot height of the tower, but considered the applicant's position that a tower of less than 75 feet would not have the height necessary to send and receive signals over the nearby power lines. The Commission requested additional information to consider a tower 50 feet in height, as staff supported, to compare with the requested 75-foot tall tower. The Commission also expressed their preference for a peaked roof on the simulated water tank to make it look more accurate and visually appealing. The project was continued to allow the applicant sufficient time to prepare and submit the exhibits requested by the Commission.

In response to the Commission's direction, the applicant revised the water tank design to include a peaked roof making the overall height of the structure 77 feet. This plan set is attached to the draft resolution for the Design Review as Exhibit A.

Attached to this memo are photo-simulations of the proposed water tank tower at the proposed 75 feet tall and at a height of 50 feet tall as the Commission requested (Attachment 1). Also provided with this memo is the original staff report prepared for the December 15 hearing (Attachment 2).

Because the project would not result in any significant improvements to service coverage within the Rocklin city limits, staff continues to support a structure with a maximum height of 50 feet. Staff has provided the original Conditional Use Permit and

Design Review draft resolutions of approval should the Commission choose to act to approve a 50-foot tall maximum facility.

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN APPROVING A NOTICE OF EXEMPTION (Verizon Wireless on Pacific Street / DR2014-0014 and U2014-0008)

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN APPROVING A CONDITIONAL USE PERMIT TO ALLOW THE OPERATION OF A WIRELESS TELECOMMUNICATIONS FACILITY (Verizon Wireless on Pacific Street / U2014-0008)

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN APPROVING A DESIGN REVIEW TO INSTALL A WIRELESS TELECOMMUNICATIONS FACILITY (Verizon Wireless on Pacific Street / DR2014-0014)

Attachments

- 1) Photo-simulations of the tower at 75 feet and 50 feet tall
- 2) December 15, 2015 Planning Commission Staff Report and Blue Memo

P:\PUBLIC PLANNING FILES__ PROJECT FILES\Verizon Wireless on Pacific\Meeting Packets\PC 2-2-16\01 Verizon on Pacific PC 2-2-16 Revisions Cover Memo - final.docx

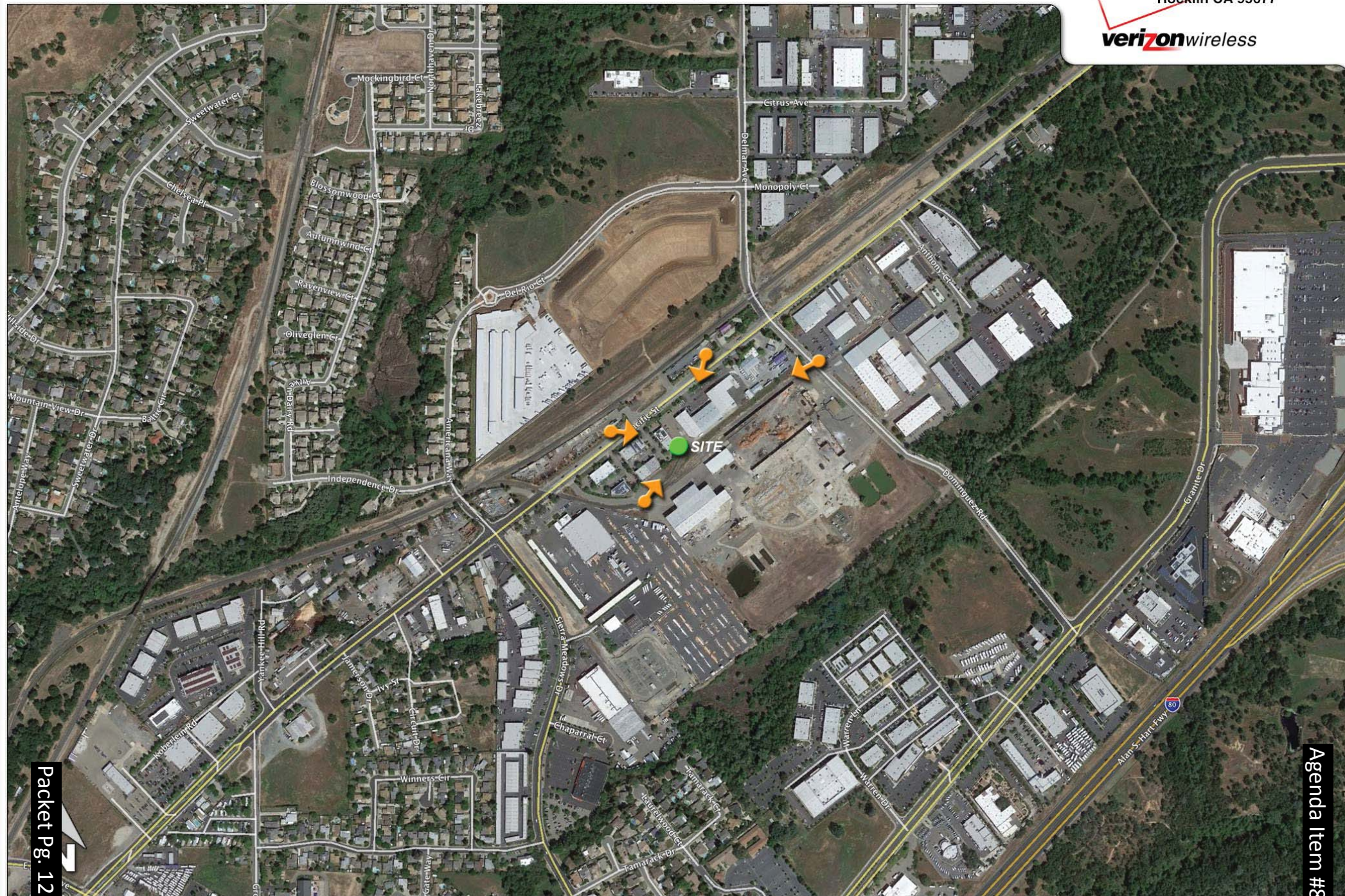
Attachment 1

Aerial photograph showing the viewpoints for the photosimulations.

Granite Dr

4335 Pacific Street
Rocklin CA 95677

verizonwireless





40 ft scale pole,
visible in every photosim,
to provide exact scale and placement.

Existing

Photosimulation of the view looking east from across Pacific Street.

Granite Dr

4335 Pacific Street
Rocklin CA 95677

verizonwireless

Proposed 50 ft faux water tank



Proposed

Packet Pg. 122

Agenda Item #8.



Existing

Photosimulation of the view looking southwest from Dominguez Road, by Meeks Lumber.

Proposed 50 ft faux water tank

Granite Dr

4335 Pacific Street
Rocklin CA 95677

verizonwireless

Proposed

Packet Pg. 124

Agenda Item #8.

Existing

Photosimulation of the view looking southwest from Dominguez Road, by Meeks Lumber.

Proposed 75 ft faux water tank

Granite Dr

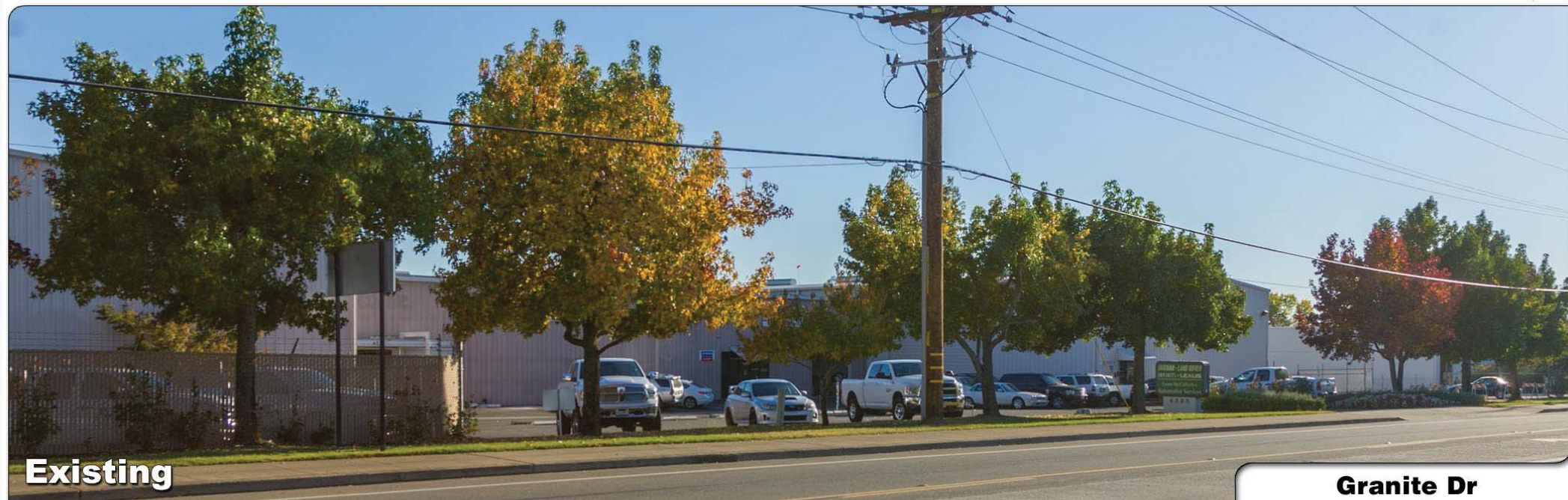
4335 Pacific Street
Rocklin CA 95677

verizonwireless

Proposed

Packet Pg. 125

Agenda Item #8.



Existing

Photosimulation of the view looking south from across Pacific Street.

Granite Dr

4335 Pacific Street
Rocklin CA 95677



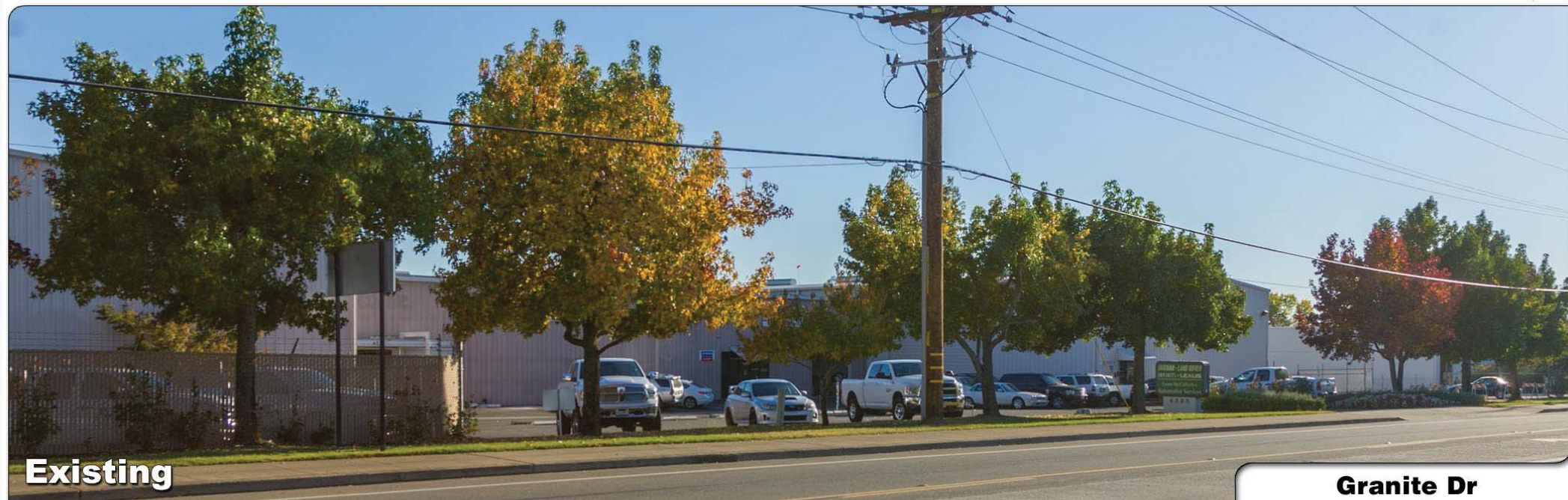
Proposed 50 ft faux water tank



Proposed

Packet Pg. 126

Agenda Item #8.



Existing

Photosimulation of the view looking south from across Pacific Street.

Granite Dr

4335 Pacific Street
Rocklin CA 95677



Proposed 75 ft faux water tank

Proposed

Packet Pg. 127

Agenda Item #8.



Existing

Granite Dr

4335 Pacific Street
Rocklin CA 95677



Photosimulation of the view looking northeast from the adjacent lumber yard - not a public viewpoint.

Proposed 50 ft faux water tank



Proposed

Packet Pg. 128

Agenda Item #8.



Existing

Granite Dr

4335 Pacific Street
Rocklin CA 95677



Photosimulation of the view looking northeast from the adjacent lumber yard - not a public viewpoint.

Proposed 75 ft faux water tank



Proposed

Packet Pg. 129

Agenda Item #8.



CITY OF ROCKLIN

MEMORANDUM

DATE: December 15, 2015

TO: Planning Commission

FROM: Marc Mondell, Economic and Community Development Director
Ben Fu, Planning Services Manager
Dara Dungworth, Associate Planner

RE: Verizon Wireless on Pacific Street – Blue Memo
Condition Revision

Design Review and Conditional Use Permit
(DR2014-0014 and U2014-0008)

Subsequent to the publication of the Planning Commission agenda for today's meeting, the applicant requested a minor modification to the language of Maintenance condition 5.a. for the Conditional Use Permit, as provided below (proposed added text is underscored):

5. Maintenance

- a. The property owner shall remove within 72 hours of being notified of its presence all graffiti placed on any fence, wall, existing building, paved area or structure on the property consistent with the provisions of Rocklin Municipal Code Section 9.32. Prior to removal of said graffiti, the property owner shall report the graffiti vandalism to the Rocklin Police Department. (PLANNING, POLICE)

The City Attorney reviewed this modification to the standard condition and had no objections to the revising language.

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City of Rocklin Economic and Community Development Department

**Planning Commission
STAFF REPORT**

**Verizon Wireless on Pacific Street
Design Review, DR2014-0014
Conditional Use Permit, U2014-0008**

December 15, 2015

Application Request/Recommendation

This application is a request for approval of a Design Review and Conditional Use Permit to install a 75-foot tall simulated water tower and to operate a wireless telecommunications facility, including 12 panel antennae, an emergency back-up diesel generator, and other associated ground equipment at an existing commercial property.

Staff does not support the request for a 75-foot tall tower. Staff can support a 50-foot tall tower. Staff finds the project, modified to meet the maximum structural height in the zone (50 feet), and subject to the recommended conditions of approval, consistent with the General Plan, the Zoning Ordinance, the Citywide Design Review Criteria, and compatible with surrounding existing and approved land uses.

To facilitate Planning Commission discussion and possible action, the following documents have been provided, reflective of the 50-foot tall facility that Staff supports:

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN APPROVING A NOTICE OF EXEMPTION (Verizon Wireless on Pacific Street / DR2014-0014 and U2014-0008)

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN APPROVING A CONDITIONAL USE PERMIT TO ALLOW THE OPERATION OF A WIRELESS TELECOMMUNICATIONS FACILITY (Verizon Wireless on Pacific Street / U2014-0008)

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN APPROVING A DESIGN REVIEW TO INSTALL A WIRELESS TELECOMMUNICATIONS FACILITY (Verizon Wireless on Pacific Street / DR2014-0014)

*Planning Commission Staff Report
Re: Verizon on Pacific Street
December 15, 2015
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Location/Applicant/Owner

The subject property is located at 4335 Pacific Street. APN 045-021-009. The applicant is Michelle Ellis representing Complete Wireless Consulting for Verizon Wireless and the property owner is Road Safety, Inc.



Vicinity Map

Site Characteristics and Project Background

The development of the site as a commercial property dates to the early 1980's. The building currently houses Gene McCafferty's Automotive Services. Access to the side and back portion of the parking lot west of the building is controlled with a chain link fence and gate.

The project site is in the southwest corner of the parking lot. The adjacent property to the south and southeast is the site of the former Sierra Pine fiberboard manufacturing facility that is in the process of being removed and the site remediated. The smaller building on the northwest corner of the site is planned to remain and will continue to occupy the smaller of the two parcels that would be created by the recording of the approved Tentative Parcel Map (DL2015-0003) that the Commission approved on September 15, 2015. This building is expected to continue operating with uses consistent with the former HI designation and current M-2 zoning. It is considered a legal non-conforming use.

Planning Commission Staff Report
 Re: Verizon on Pacific Street
 December 15, 2015
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Surrounding Land Uses

	General Plan	Zoning	Existing Land Use
Site:	Heavy Industrial (HI)	Heavy Industrial (M-2)	Industrial/Service Commercial Use Gene McCafferty's Automotive Services
South-west/ West	Heavy Industrial (HI)	Planned Development Heavy Industrial (PD-HI)	Industrial Use Various businesses including a natural gas product distributor and a pharmaceutical compounding company
North (across Pacific Street)	Light Industrial (LI)	Planned Development Light Industrial (PD-LI)	Railroad Right-of-way/ Commercial Tracks and A&A Stepping Stone landscaping products
East/ South-east	Heavy Industrial (HI) High Density Residential (HDR) and Mixed Use (MU)	Heavy Industrial (M-2) M-2, Zoning has not been updated	Dawson's Oil filling station Former Sierra Pine site
South	High Density Residential (HDR) and Mixed Use (MU)	M-2, Zoning has not been updated	Former Sierra Pine site

Environmental Determination

The project is categorically exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines under Section 15303 – New Construction or Conversion of Small Structures. For a more in-depth discussion of the environmental evaluation and conclusion, please refer to the Notice of Exemption attached to the draft resolution approving said exemption.

General Plan and Zoning Compliance

The property is zoned Heavy Industrial (M-2). The proposed wireless telecommunications facility is considered acceptable upon approval of a conditional use permit. Staff reviewed the project with respect to the development standards set forth in the Zoning Ordinance for the M-2 zone district and found that the proposed 75-foot tall tower exceeds the maximum structural height in the zone (50 feet) and that there are no findings that can be made to support allowing the proposed 75-foot tower. However, as conditioned to be no more than 50

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Re: Verizon on Pacific Street
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feet tall overall, the project would be consistent with the zoning. The use is consistent with the General Plan designation of Heavy Industrial.

Use Permit / Compatibility with Adjoining Land Uses

Changing Land Uses in Project Vicinity

As seen in the Development Sites map below, the area surrounding the project site is changing from predominantly industrially designated land to residentially zoned and developed land. The blue highlighted property is the former Sierra Pine site which has General Plan designations of High Density Residential and Mixed Use. Of the residential projects that are closest to the project site, Parklands South, Brighton, and Garnet Creek are under construction, while the Granite and Dominguez final map and improvement plans are being processed. All four of these subdivisions included approvals of General Plan Amendments and Rezones to change the designated land uses from industrial to mostly single family residential in the last two to five years.



Granite Drive and Pacific Street Development Sites

The transition of this part of Rocklin from industrially designated land to residentially developed land is the basis for staff's concern regarding the height of the proposed tower. The maximum height in the M-2 zone, with approval of a conditional use permit, is 50 feet. The proposed 75-foot tall tower would not be compatible with the single family residential areas surrounding the project site or the high density residential immediately adjacent to the site. In the M-2 zone, a conditional use permit is required for primary structure heights that exceed 30 feet, up to a maximum of 50 feet.

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The operation of the facility, as analyzed and conditioned, would not pose a compatibility problem, as discussed below.

Radio Frequency Exposure Analysis

The Telecommunications Act of 1996 specifically limits the authority of the City in regulating antennae and associated equipment to siting, construction, modification, and use, but specifically prohibits local governments from regulating them on the basis of health (i.e. exposure to radio frequency electromagnetic fields) if they meet the Federal Communications Commission's (FCC) standards. Section 704a of the Telecommunications Act of 1996 added a Section 332(c)(7)(B)(iv) that reads as follows:

No State or local government or instrumentality thereof may regulate the placement, construction, and modification of personal wireless service facilities on the basis of the environmental effects of radio frequency emissions to the extent that such facilities comply with the Commission's regulations concerning such emissions.

The applicant provided an analysis, prepared by Hammett & Edison, Inc. (dated May 20, 2015), to evaluate exposure to radio frequency electromagnetic fields for the proposed facility. The study concluded that the maximum radio frequency exposure level due to the operation of the proposed Verizon facility would be 1.8% of the applicable public exposure limit at ground level. The general population exposure limit is less than the occupational exposure limit.¹

Because of the proposed project's proximity to the portion of the Sierra Pine site that is designated high density residential and because the small building on the Sierra Pine site is slated to remain and be occupied, Staff requested that the applicant provide exposure analysis for the adjacent current and future uses. The maximum calculated exposure level at the second floor of a building located at least 50 feet away from the facility is 2.4% of the public limit. The maximum calculated level at the top floor of a possible future 50-foot tall building at least 120 feet away from the facility is 5.8% of the public limit.

Due to the mounting location and height and the block wall enclosure and locked gate, the antennae would not be accessible to the general public. Therefore, no mitigation measures are needed to comply with the FCC public exposure guidelines. The report assumes that Verizon will adhere to FCC licensing requirements to comply with FCC occupational exposure guidelines.

A condition of approval in the draft Design Review resolution approving a 50-foot tall maximum overall tower requires the applicant/developer to submit a revised radio frequency

¹ Public or general population/uncontrolled exposure – The FCC adopted human exposure limits for Radiofrequency Electromagnetic Fields. Separate limits apply for occupational/controlled exposure and for public or general population/uncontrolled exposure conditions.

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electromagnetic field analysis for a 50-foot tall facility with antennae mounted at the appropriate height. The report shall be reviewed and approved by the Economic and Community Development Director and the Environmental Services Manager, prior to the issuance of a building permit for any part of the proposed facility. The condition also states that the FCC exposure limits must be met for the current and potential building heights and land uses, as known at the time of the facility submitting for a building permit.

Noise Analysis

The applicant provided a noise analysis, prepared by Bollard Acoustical Consultants, Inc. (dated October 22, 2015), to evaluate the noise produced by the equipment cabinets and the generator. The report concluded that the cooling fans of the proposed equipment cabinets, shielded by the proposed 8-foot tall CMU block wall, will meet the City's daytime and nighttime noise level standard and no further mitigation is required. The report also evaluated the noise from the proposed back-up generator, concluded that the generator would exceed the daytime noise standard and recommended a mitigation measure to ensure the generator would comply. The generator will run continuously during any extended power outages and periodically for operational testing for approximately 15 minutes once every two weeks during daytime hours.

The City's noise limits as set forth in the Noise Element of the 2012 General Plan Update are for daytime (7 a.m. to 10 p.m.) 55 dBA hourly average and for nighttime (10 p.m. to 7 a.m.) 45 dBA hourly average. These limits must be adhered to at least five feet inside the property line of the receiving land use at a point five feet above ground level. It is important to note that due to the infrequent amount of use, the City is no longer requiring that emergency generators meet the City's nighttime noise level standard, but that they must still comply with the daytime noise level standard. The report concludes that the proposed eight-foot tall CMU enclosure wall does not adequately mitigate the specified generator's noise (59 dBA) to comply with the City's daytime standard (55 dBA). To ensure compliance with the City's noise standards, Staff included a condition requiring the type and model of generator that was analyzed and recommended as mitigation in the acoustical report. The condition also requires that the enclosure and generator mitigations are in place and the noise levels comply with the City's noise level standards prior to the project receiving a Certificate of Occupancy and during ongoing operations of the facility.

Design Review

Photo-simulations depicting the existing project site and the proposed project are provided as Attachment 1 to the staff report.

Tower Height and Design

As noted above, Staff determined that the proposed 75-foot height of the simulated tower would not be compatible with the surrounding residential development. The original proposal was for an 84-foot tall mono-tower with no stealth design to camouflage or lessen the visual

Planning Commission Staff Report
Re: Verizon on Pacific Street
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impact of the tower. Staff initially told the applicant that we could not support a facility greater than 40 feet in height since that has been the maximum height approved for most other stand-alone facilities. Staff also indicated that in the past, the City has preferred to have a number of shorter facilities rather than one very tall facility and therefore, we would be unlikely to support co-location of other carriers on this tower. The applicant came back with a simulated water tower design at approximately 75 feet tall. This interim design included a peaked "roof" on top of the tower, which Staff felt was more visually appealing than the flat-top roof now proposed for approval.

In an effort to compromise, Staff determined that a 50 foot tall tower could be supported as that height is consistent with the maximum height in the zone and the tower would be unlikely to be taller than the high density residential development anticipated on the former Sierra Pine site. Staff preferred the water tank design with the peaked roof, however. The applicant maintains that Verizon's engineer has established that the 75 foot height is the minimum height required for Verizon to achieve the desired service coverage. As shown in the service coverage maps provided at Attachment 2, the most significant service improvement would be realized within the Loomis town borders. The coverage maps show coverage levels at various antennae heights.

Because the area is no longer designated primarily for industrial uses, Staff believes a tower of that height, even "stealthed" (camouflaged) within a simulated water tower, is not a compatible land use or aesthetic design. Therefore, Staff does not recommend approval of the proposed project as shown in Exhibit A. A city's power to control its own land use decisions derives from the police power inherent to the jurisdiction to protect health, safety, morals, and general welfare. This power includes land use and aesthetic restrictions. The City's approving body, in this case the Planning Commission, has the authority to make a final determination that a project meets the City's design review objectives and criteria. The California Supreme Court has held that aesthetic reasons alone can justify the exercise of the police power.

Staff has drafted conditions of approval that require the facility to be a water tower or other visually appealing structure with a maximum overall height not to exceed 50 feet. As drafted, the final design would be subject to the satisfaction of the Economic and Community Development Director. If, rather than allow staff level approval, the Commission wishes to review and approve the final tower design, this can be achieved in one of two ways: either with a continuance to a future hearing to allow the applicant to return with design revisions or by revising the condition language to require that the applicant come back to receive a substantial compliance approval from the Commission prior to submitting for a building permit.

Equipment Enclosure

The project proposes to locate an approximately 1,200-square-foot equipment enclosure (30' x 40') within the existing parking lot in the southwest corner. As required for noise attenuation, the enclosure wall will be 8 feet tall and will be constructed of split-face CMU. In addition to mitigating noise, the enclosure wall will screen all the ground equipment except for two small

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vertical GPS antennae. The masonry wall will include columns with decorative caps at the corners and at the gate opening. The resolution includes the standard condition that requires the gate be metal, solid, and view-obstructing. The plans call out a composite wood (Trex) access gate that will be revised prior to the submittal for a building permit.

Attachments

Attachment 1: Photo-simulations for the proposed project

Attachment 2: Service coverage maps

Prepared by Dara Dungworth, Associate Planner

DD/

P:\PUBLIC PLANNING FILES__ PROJECT FILES\Verizon Wireless on Pacific\Meeting Packets\PC 12-15-15\01 Verizon at Pacific PC 12-15-15 SR DR2014-0014 - final.doc

Attachment 1 Photo-simulations for the proposed project



40 ft scale pole,
visible in every photosim,
to provide exact scale and placement.

Existing

Photosimulation of the view looking east from across Pacific Street.

Granite Dr

4335 Pacific Street
Rocklin CA 95677

verizonwireless



Proposed 75 ft faux water tank

Proposed

Packet Pg. 140

Agenda Item #8.

Existing

Photosimulation of the view looking southwest from Dominguez Road, by Meeks Lumber.

Proposed 75 ft faux water tank

Granite Dr

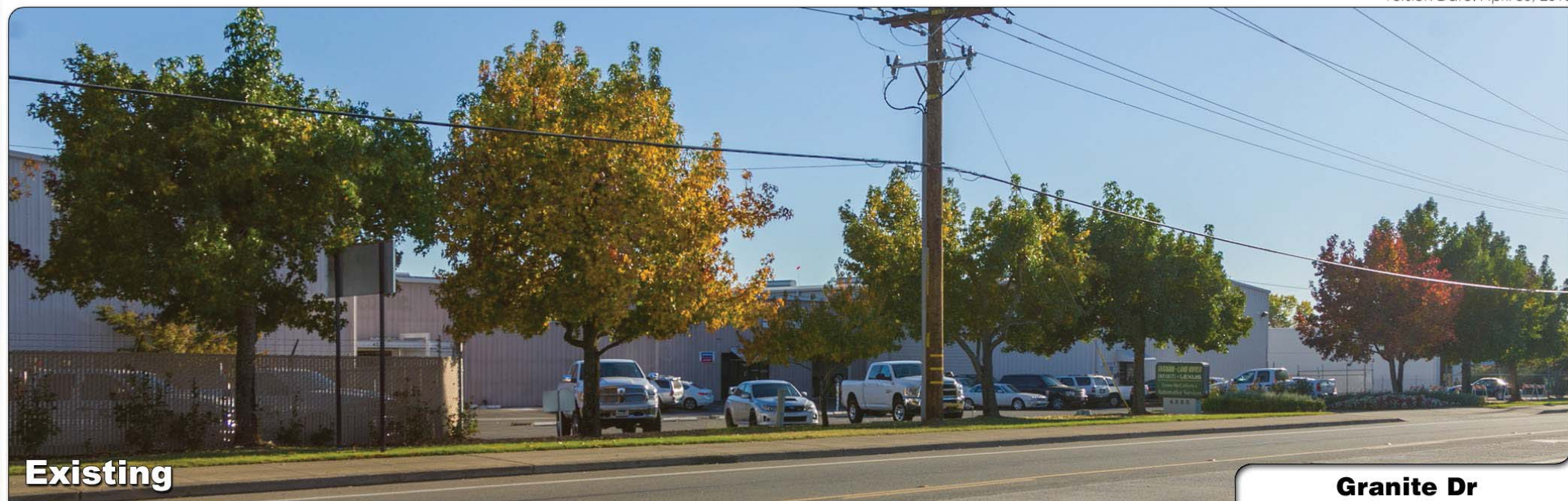
4335 Pacific Street
Rocklin CA 95677

verizonwireless

Proposed

Packet Pg. 141

Agenda Item #8.



Existing

Photosimulation of the view looking south from across Pacific Street.

Granite Dr

4335 Pacific Street
Rocklin CA 95677



Proposed 75 ft faux water tank



Proposed

Packet Pg. 142

Agenda Item #8.

Existing

Photosimulation of the view looking northeast from the adjacent lumber yard - not a public viewpoint.

Granite Dr

4335 Pacific Street
Rocklin CA 95677

verizonwireless

Proposed 75 ft faux water tank

Proposed

Packet Pg. 143

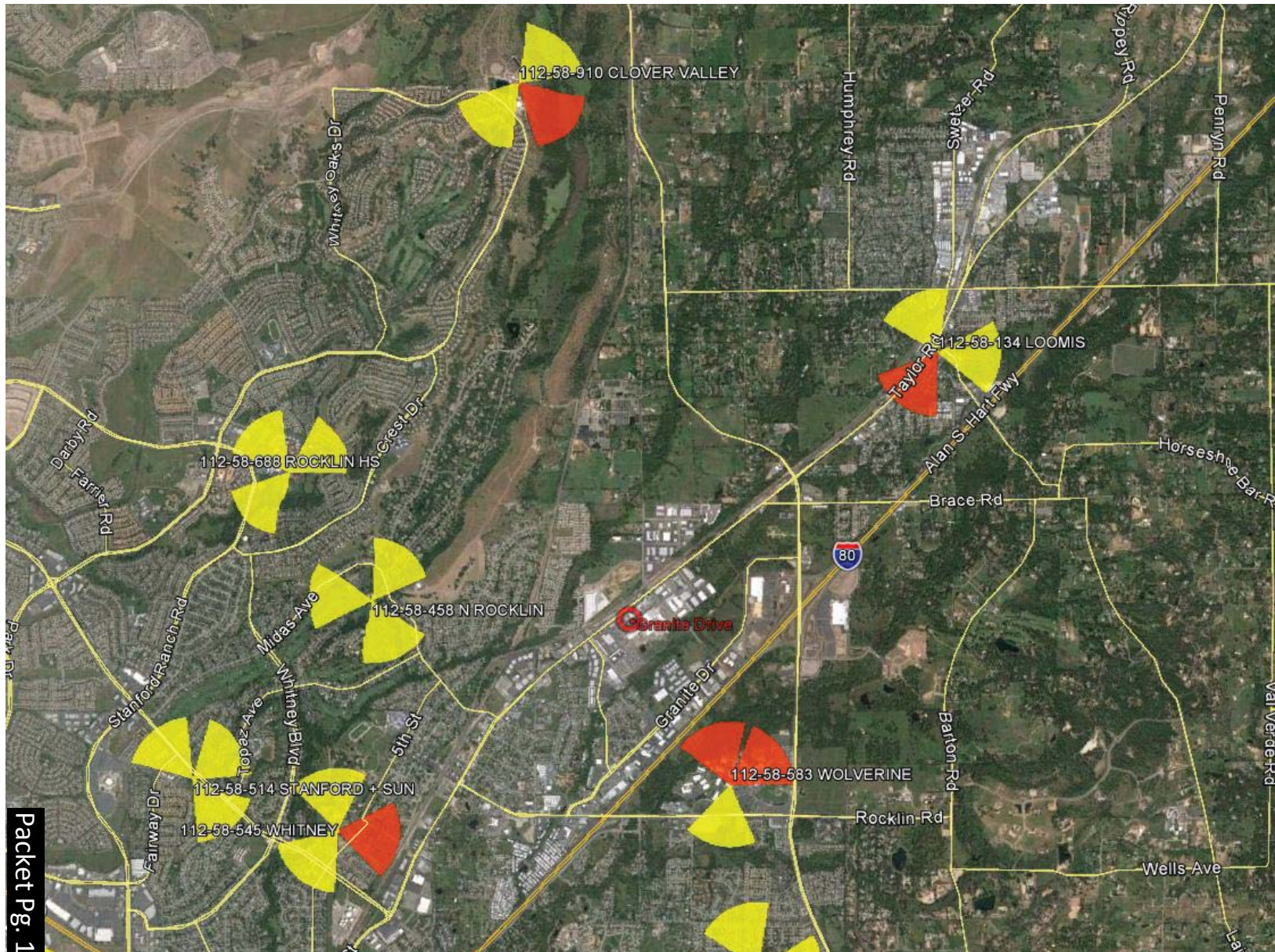
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Attachment 2 Service Coverage Maps



Granite Drive – Offload Sectors



Exhausted Sectors of Existing Sites:

Loomis – sector 2

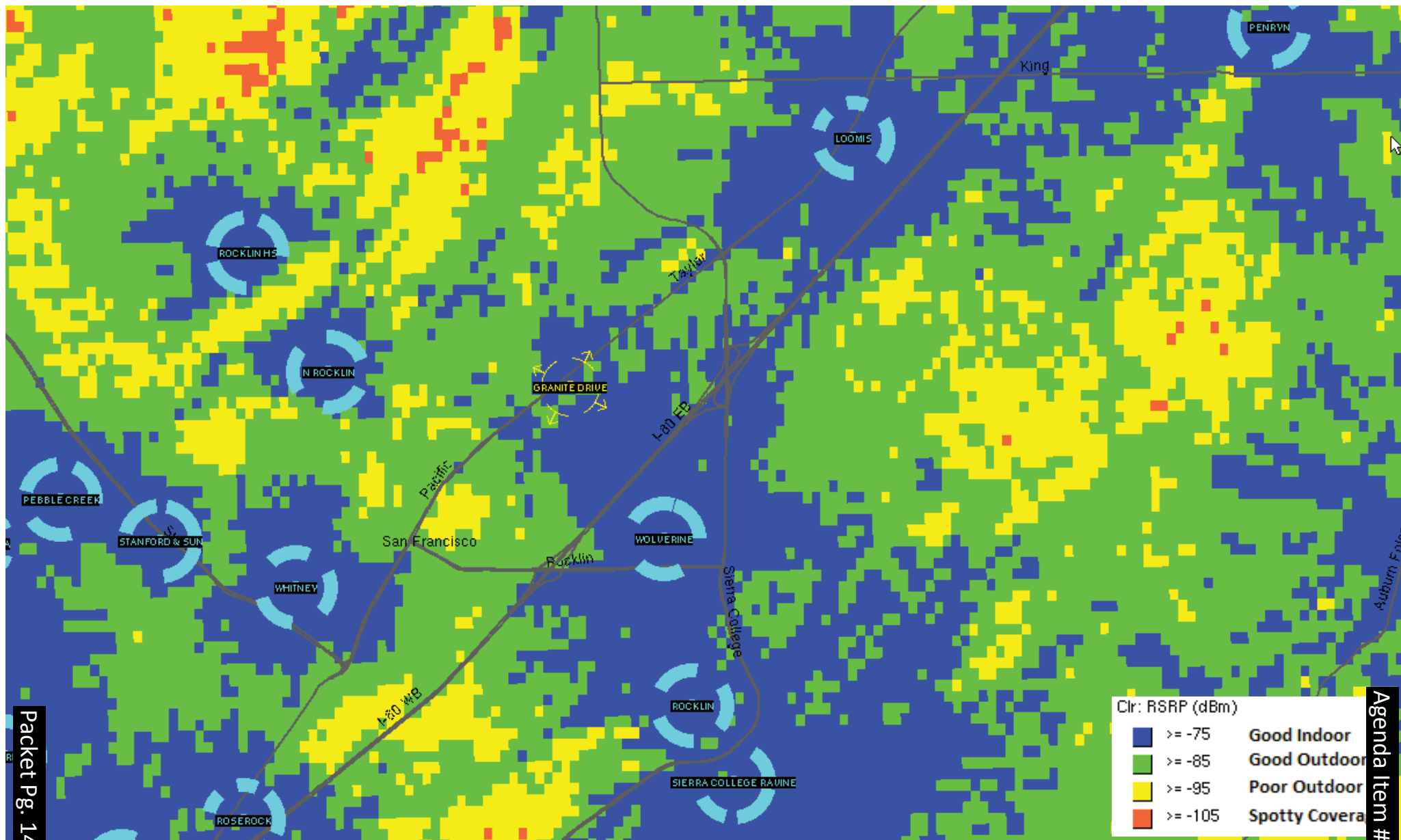
Wolverine – sector1
Wolverine – sector3

Whitney – sector1

Clover Valley – sector2

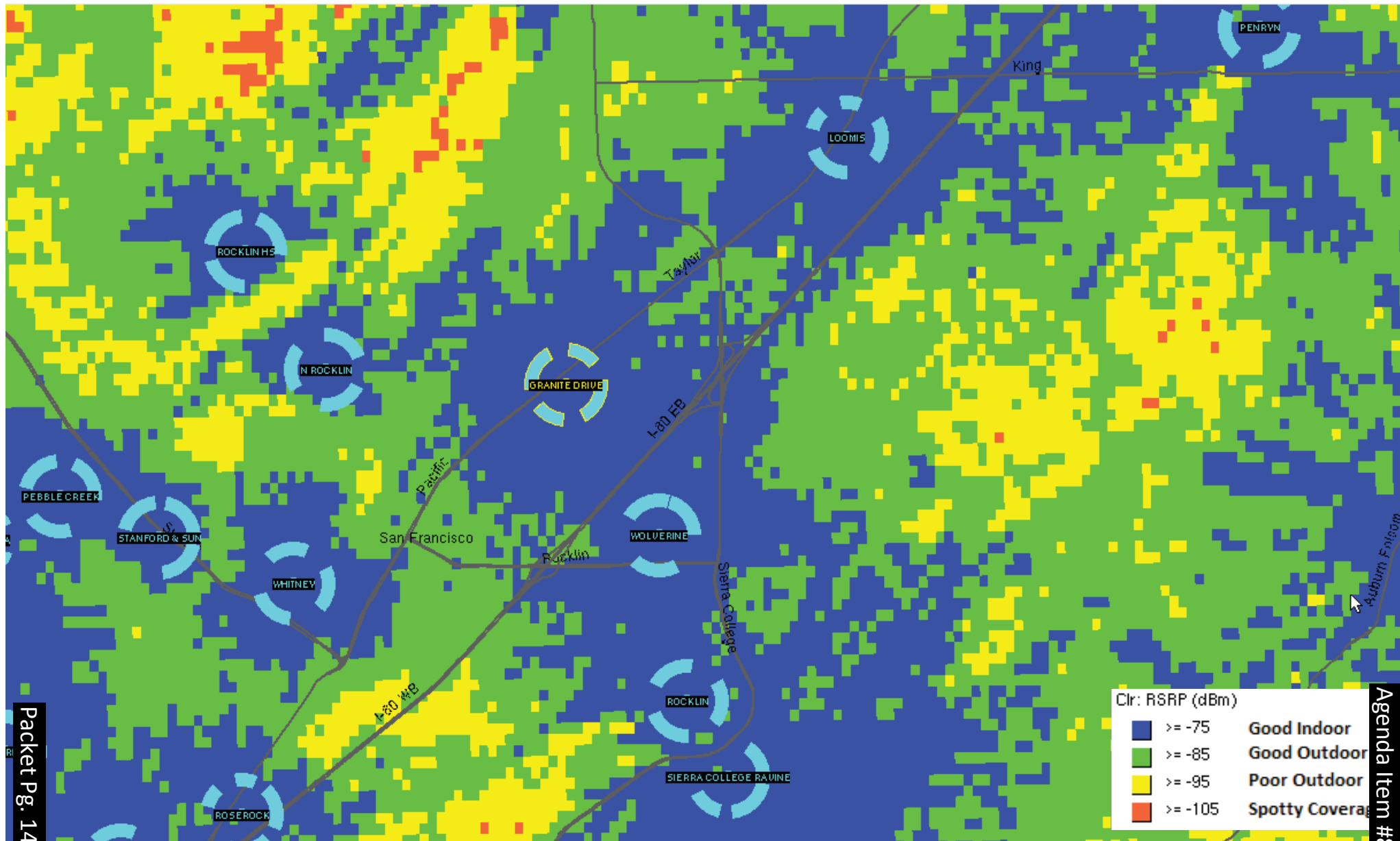


Existing LTE Coverage Without Granite Drive



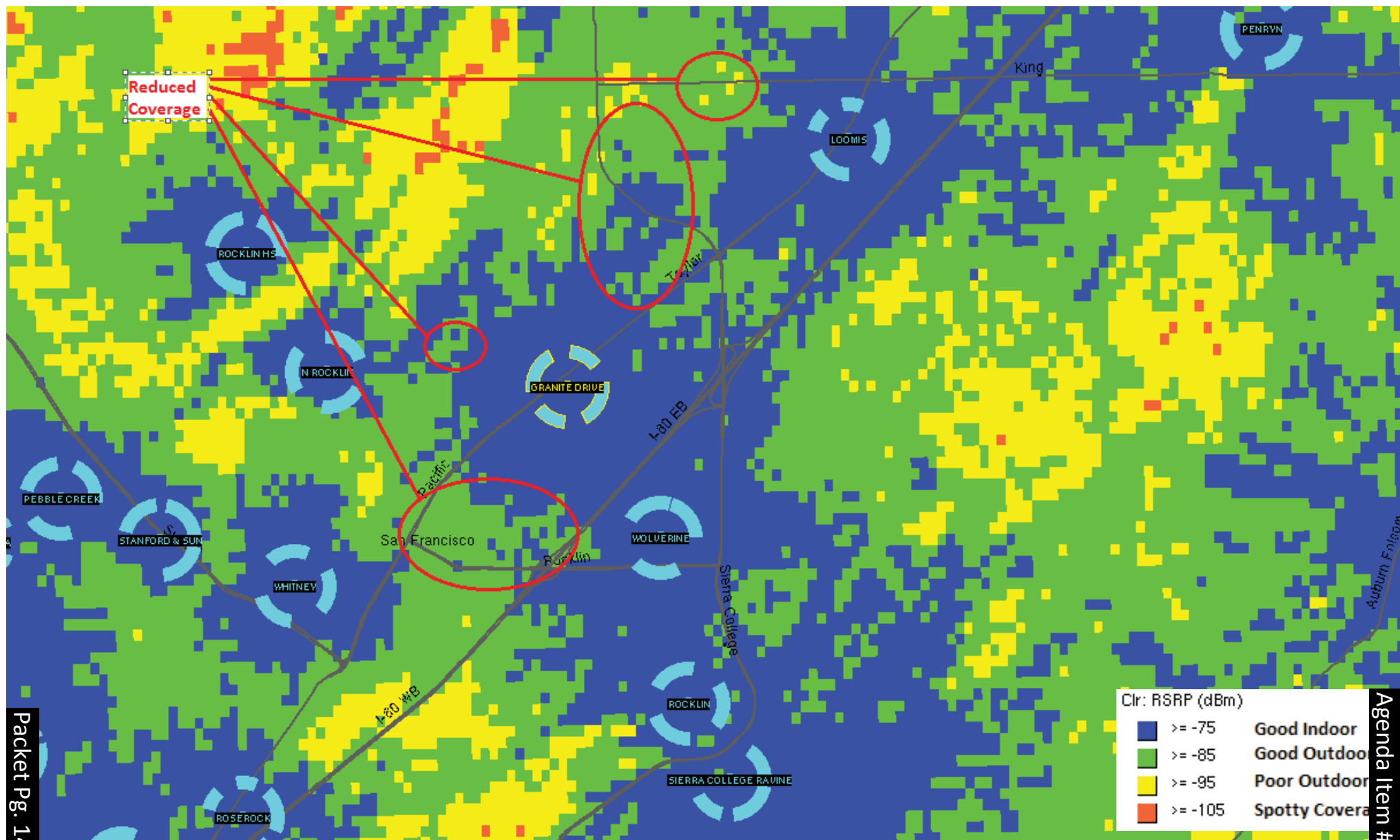


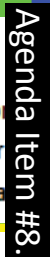
LTE Coverage with Granite Drive Antennas at 80ft

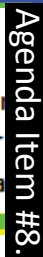




Area Coverage with Granite Drive Antennas at 70ft

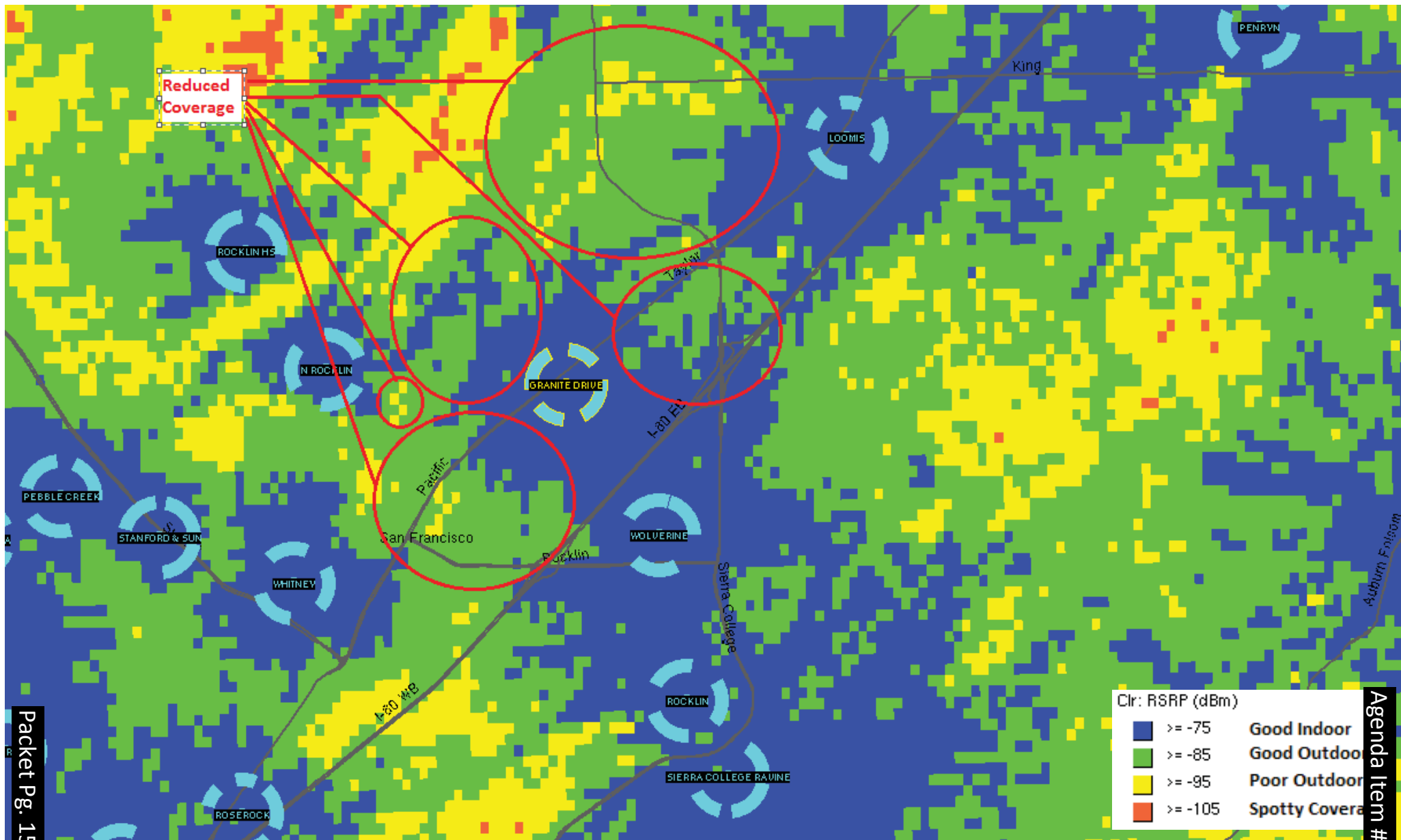






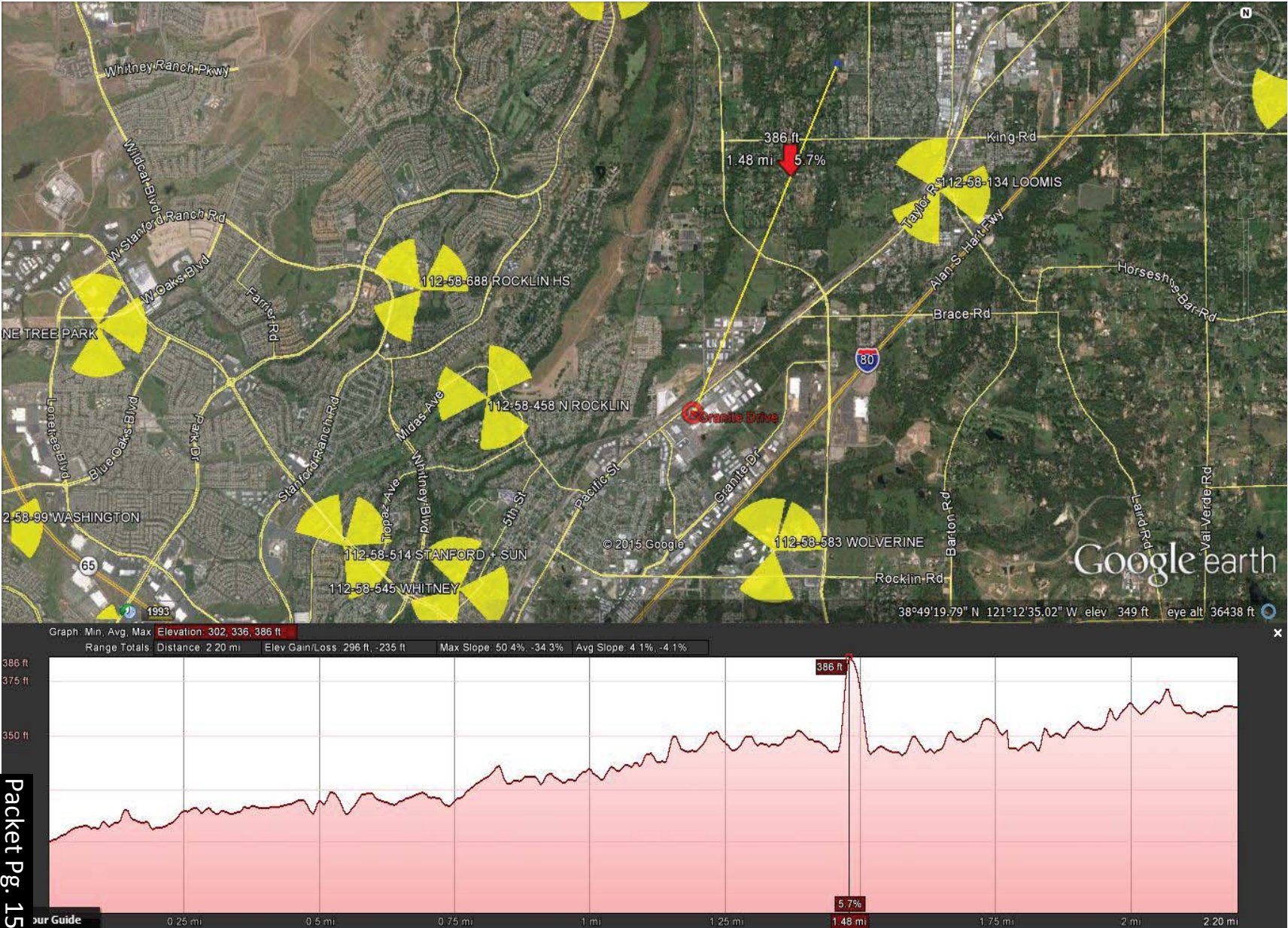


Area Coverage with Granite Drive Antennas at 40ft





Alpha Sector – Elevation Profile



Site Location
302 ft

Average
Elevation Along
King Road
355 ft

Average
Obstruction
375 ft

RESOLUTION NO.

RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF ROCKLIN APPROVING A NOTICE OF EXEMPTION(Verizon Wireless on Pacific Street / DR2014-0014 and U2014-0008)

WHEREAS, the City of Rocklin's Environmental Coordinator has reviewed the Verizon Wireless Communications Facility at 4335 Pacific Street project (DR2014-0014 and U2014-0008)("Project") and determined that it is exempt from review under the California Environmental Quality Act pursuant to California Code of Regulations Section 15303 – New Construction or Conversion of Small Structures; and

WHEREAS, a Notice of Exemption has been prepared for the Project.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Rocklin as follows:

Section 1. Based on the review and determination of the Environmental Coordinator, the Planning Commission of the City of Rocklin finds that the Project is exempt from review under the California Environmental Quality Act.

Section 2. A Notice of Exemption is approved for the Project.

Section 3. Upon approval of the Project by the Planning Commission, the Environmental Coordinator may file the Notice of Exemption with the County Clerk of Placer County and, if the Project requires a discretionary approval from any state agency, with the State Office of Planning and Research, pursuant to the provisions of Section 21152(b) of the Public Resources Code and the State EIR Guidelines adopted pursuant thereto.

PASSED AND ADOPTED this 2nd day of February, 2016, by the following vote:

AYES:	Commissioners:
NOES:	Commissioners:
ABSENT:	Commissioners:
ABSTAIN:	Commissioners:

Gregg McKenzie, Chairman

ATTEST:

Secretary

NOTICE OF EXEMPTION

TO: County Clerk, County of Placer
2954 Richardson Blvd.
Auburn, CA 95604-5228

FROM: City of Rocklin
Planning Department
3970 Rocklin Road
Rocklin, CA 95677

Project Title: Verizon Wireless on Pacific Street Project (DR2014-0014 and U2014-0008)

Project Location - Specific: The subject property is located at 4335 Pacific Street, Rocklin, CA, APN 045-021-009.

Project Location - City: Rocklin, CA; County: Placer

Description of Nature, Purpose and Beneficiaries of Project: The project consists of a request for approval of Design Review and Use Permit entitlements (DR-2014-014 and U2014-0008) to allow the construction and operation of a wireless communications facility with twelve panel antennae and associated equipment, mounted on a 50-foot tall, simulated water tank structure. The project's 40' x 40' lease area will be surrounded by an 8-foot tall split face CMU wall and will house all equipment for the antennae at the base of the structure, including underground power and telecommunications utilities, a standby diesel generator, and a co-axial cable ice bridge.

Name of Public Agency Approving Project:

City of Rocklin City Council

Name of Person or Agency Carrying Out Project

The applicant is Sacramento Valley Limited Partnership d/b/a Verizon Wireless, Attn: Michelle Ellis, Complete Wireless Consulting, Inc., 2009 V Street, Sacramento, CA, 95818, (916) 764-2454.

Exempt Status (Check one)

☒ x Categorical Exemption (California Code of Regulations Sec. 15300 et seq.): Section 15303 – New Construction or Conversion of Small Structures

Reasons why the project is exempt. This project consists of the construction and operation of a 50-foot tall cellular communications tower and antenna array, as further described above. Class 3 exemptions consist of the construction and location of limited numbers of new, small facilities or structures, including accessory structures. The project as proposed is consistent with the exemption class description noted above and is exempt pursuant to Class 3 of the CEQA Guidelines.

Contact Person: Marc Mondell, Economic & Community Development Director

Date received for Filing: _____

Signature: _____
Marc Mondell, Economic & Community Development Director

RESOLUTION NO.

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN
 APPROVING A CONDITIONAL USE PERMIT TO ALLOW THE OPERATION OF A WIRELESS
 TELECOMMUNICATIONS FACILITY

(Verizon Wireless on Pacific Street / U2014-0008)

The Planning Commission of the City of Rocklin does resolve as follows:

Section 1. The Planning Commission of the City of Rocklin finds and determines that:

A. This conditional use permit, U2015-0008, allows the installation and operation of a telecommunications facility located at 4335 Pacific Street. The project includes 12 new antennae on a 50-foot maximum overall height structure and ground equipment including a back-up diesel generator. APN 045-021-009.

B. A Notice of Exemption has been approved for this project via Planning Commission Resolution No. .

C. The establishment, maintenance, and operation of the proposed uses and buildings or structures will not, under the circumstances of this particular case, be detrimental or injurious to the health, safety or general welfare of persons residing or working within the neighborhood of the proposed use, to property and improvements in the neighborhood, or to the general welfare of the City.

D. The establishment, operation, and maintenance of the uses and buildings or structures is consistent with the goals, policies, and land use designations in the General Plan and with all zoning standards, regulations, and restrictions applicable to the property.

Section 2. This conditional use permit for Verizon Wireless on Pacific Street / (U2014-0008) is hereby approved as depicted and further described in Exhibit A of the concurrent design review DR2014-0014, subject to the conditions listed below. Unless expressly stated otherwise, the applicant/developer shall be solely responsible for satisfying each condition and the conditions must be satisfied prior to issuance of the building permit, or issuance of certificate of occupancy as determined by the Director of Economic and Community Development.

A. Notice to Applicant of Fees & Exaction Appeal Period

The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code §66020(d), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations, and other exactions.

The applicant is hereby notified that the 90-day protest period, commencing from the date of approval of the project, has begun. If the applicant fails to file a protest regarding any of the

fees, dedication requirements, reservation requirements or other exaction contained in this notice, complying with all the requirements of Government Code §66020, the applicant will be legally barred from later challenging such exactions.

B. Conditions

1. Permits

The applicant shall obtain all necessary approvals from the Federal Communications Commission (FCC) and the Public Utilities Commission (PUC). (PLANNING)

2. Additional Antennae

Additional wireless communications antennae, not included in this application, may only be added to this location upon the granting of a new or modified conditional use permit if such additions would require additional modifications to the building/structure design, the site layout, or any aspect of the approved facility. Those additions which could be accommodated within existing screening and equipment structures and comply with exposure limitations may be approved as substantial compliance by the Economic and Community Development Director. (PLANNING)

3. Lighting

Any exterior lighting associated with the facility shall be mounted such that it is screened by the equipment enclosure wall and shall be not be illuminated unless Verizon personnel are present on the site. (PLANNING)

4. Screening of Mechanical Equipment

All mechanical equipment shall be screened from view from all public rights of way as shown in Exhibit A, to the satisfaction of the Economic and Community Development Director. (PLANNING)

5. Maintenance

- a. The property owner shall remove within 72 hours of being notified of its presence all graffiti placed on any fence, wall, existing building, paved area or structure on the property consistent with the provisions of Rocklin Municipal Code Section 9.32. Prior to removal of said graffiti, the property owner shall report the graffiti vandalism to the Rocklin Police Department. (PLANNING, POLICE)
- b. The project, including but not limited to the antennae enclosures, equipment enclosure, equipment, landscaping, and related improvements shall be maintained by the property owners, to the standard of similarly situated

properties in equivalent use zones, to the satisfaction of the Economic and Community Development Director. (PLANNING)

6. Air Quality

Stationary sources or processes (e.g., certain types of engines, boilers, heaters, etc.) associated with this project shall be required to obtain an Authority to Construct (ATC) permit from the Placer County Air Pollution Control District (District / PCAPCD) prior to the construction of these sources. In general, the following types of sources shall be required to obtain a permit: 1). Any engine greater than 50 brake horsepower, 2). Any boiler that produces heat in excess of 1,000,000 Btu per hour, or 3) Any equipment or process which discharges 2 lbs. per day or more of pollutants. Note that equipment associated with residential structures containing no more than 1 to 4 residential units are exempt from this requirement. Developers / contactors should contact the District prior to construction for additional information. (Based on APCD Rule 501 and the California Health & Safety Code, Section 39013). (PCAPCD)

7. Noise

- a. All “self-powered” construction equipment and other stationary noise sources (i.e. pumps, electrical generators, etc.) shall be equipped with noise control devices (e.g., mufflers) and shall be located away from existing residences and other sensitive noise receptors to the extent feasible. (PLANNING, BUILDING)
- b. All phases of project development shall be subject to the City of Rocklin Construction Noise Guidelines, including restricting construction-related noise generating activities within or near residential areas to between 7:00 a.m. and 7:00 p.m. on weekdays, and between 8:00 a.m. and 7:00 p.m. on weekends. The Economic and Community Development Director may grant exceptions to the Construction Noise Guidelines if, in the opinion of the Economic and Community Development Director, special and unusual circumstances exist that make strict adherence to the Construction Noise Guidelines infeasible. (BUILDING)
- c. Prior to a Certificate of Occupancy and throughout the operation of the facility, the operation of the emergency back-up generator shall comply with the City’s stationary noise source standards, below, as measured at a point 5 feet inside the adjacent residential property line to the west:

Daytime 7:00 a.m. to 10:00 p.m. – 55 dBA

Proof of compliance with this condition from an acoustical engineer may be required. (PLANNING)

- d. The testing of the generator for routine maintenance shall occur only during daytime hours (7:00 a.m. to 10:00 p.m.). (PLANNING)

- e. The generator shall be a Polar Power, Inc. Model 8340Y-3TNV88-001 (15 kW) diesel generator equipped with an 88-25-0603 enclosure, or a model with equivalent noise level generation, as determined by an acoustical engineer. Prior to a change-out or upgrade, the facility operator shall submit an acoustical report prepared by an acoustical engineer if the replacement generator is not a Polar Power, Inc. Model 8340Y-3TNV88-001 15 kW diesel generator equipped with an 88-25-0603 enclosure. (BUILDING, PLANNING, ENVIRONMENTAL SERVICES)

8. Validity

- a. This approval shall expire in two years from the date of approval unless prior to that date a building permit has been issued or a time extension has been granted.
- b. This approval shall not be considered valid and approved unless and until the concurrent design review application, DR2014-0014, has been approved. (PLANNING)

PASSED AND ADOPTED this 2nd day of February, 2016, by the following roll call vote:

AYES: Commissioners:

NOES: Commissioners:

ABSENT: Commissioners:

ABSTAIN: Commissioners:

Gregg McKenzie, Chairperson

ATTEST:

Secretary

P:\PUBLIC PLANNING FILES__ PROJECT FILES\Verizon Wireless on Pacific\Meeting Packets\PC 2-2-16\03 Verizon on Pacific Street PC Reso U2014-0008 (2-2-16) - final.doc

EXHIBIT A

Refer to Exhibit A of the concurrent Design Review (DR2014-0014)

Available at the Economic and Community Development Department, Planning Division

RESOLUTION NO. PC-2016-

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN
 APPROVING A DESIGN REVIEW TO INSTALL A WIRELESS TELECOMMUNICATIONS FACILITY

(Verizon Wireless on Pacific Street / DR2014-0014)

The Planning Commission of the City of Rocklin does resolve as follows:

Section 1. The Planning Commission of the City of Rocklin finds and determines that:

A. Approval of design review, DR2014-0014, is required to allow the installation of wireless communication equipment including 12 panel antennae on a 50-foot tall maximum tower and the construction of an equipment enclosure at 4335 Pacific Street. APN 045-021-009.

B. A Notice of Exemption has been approved for this project via Planning Commission Resolution No. PC-2016- .

C. The design of the site is compatible with surrounding development, natural features, and constraints.

D. The height, bulk, area, color scheme, and materials of the structures are compatible with surrounding development.

E. The ingress and egress traffic patterns, is compatible with the surrounding development and the public street patterns.

F. The design of the site and structures is consistent with the goals, policies, and land use designations in the General Plan and with all zoning standards, regulations, and restrictions applicable to the property.

Section 2. The design review for the (Verizon Wireless on Pacific Street / DR2014-0014) as depicted in Exhibit A, attached hereto and by this reference incorporated herein, is hereby approved subject to the conditions listed below. The approved Exhibit A shall govern the design and construction of the project. Any condition directly addressing an element incorporated into Exhibit A shall be controlling and shall modify Exhibit A. All other plans, specifications, details, and information contained within Exhibit A shall be specifically applicable to the project and shall be construed as if directly stated within the condition for approval. Unless expressly stated otherwise, the applicant/developer shall be solely responsible for satisfying each condition and the conditions must be satisfied prior to issuance of the building permit, or final inspection as determined by the Director of Economic and Community Development.

A. Notice to Applicant of Fees & Exaction Appeal Period

The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code §66020(d), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations, and other exactions.

The applicant is hereby notified that the 90-day protest period, commencing from the date of approval of the project, has begun. If the applicant fails to file a protest regarding any of the fees, dedication requirements, reservation requirements or other exaction contained in this notice, complying with all the requirements of Government Code §66020, the applicant will be legally barred from later challenging such exactions.

B. Conditions

1. Utilities

All utilities, including but not limited to, telephone and electricity shall be provided to the project in compliance with all applicable standards and requirements of the applicable provider. (AT&T, PG&E)

2. Tower Design and RF/EMF Compliance

- a. Consistent with Exhibit A, the antennae shall be mounted on and completely screened by a simulated water tower or other visually appealing structure. The maximum overall height of the structure shall not exceed 50 feet. Prior to the submission for a building permit, the final design of the tower shall be approved by the Economic and Community Development Director. (PLANNING, BUILDING)
- b. The applicant/developer shall submit a revised radio frequency electromagnetic field analysis for a 50-foot tall facility with antennae mounted at the appropriate height. The report shall be reviewed and approved by the Economic and Community Development Director and the Environmental Services Manager, prior to the issuance of a building permit for any part of the proposed facility. The FCC public exposure limits must be met for the current and potential building heights and land uses, as known at the time of the facility submitting for a building permit. (PLANNING, BUILDING, ENVIRONMENTAL SERVICES)

3. Equipment Enclosure

The following conditions shall be reflected in the plans submitted for the building permit for the project and shall be met prior to receipt of a certificate of occupancy, to the satisfaction of the Economic and Community Development Director: (PLANNING, BUILDING)

- a. The materials and colors of the equipment enclosure wall including the split-face CMU, decorative cap, and metal gate shall complement each other and be neutral colors to blend with the surrounding architecture. The wall and gate shall be eight feet tall.
- b. The enclosure gate shall be solid and view obstructing, and constructed of metal.

4. Indemnification and Duty to Defend

Within 30 days of approval of this entitlement by the City, the applicant/developer shall execute an Indemnity Agreement, approved by the City Attorney's Office, to indemnify, defend, reimburse, and hold harmless the City of Rocklin and its agents, officers and employees from any claim, action, or proceeding against the City of Rocklin to set aside, void or annul an approval of the entitlement by the City's Planning Commission or City Council, which action is brought within the time period provided for in Section 66499.37 of the Government Code. The City will promptly notify the applicant of any such claim, action or proceeding, and the City will cooperate in the defense of the claim, action or proceeding. Unless waived by the City, no further processing, permitting, implementation, plan checking or inspections related to the entitlement shall be performed by the City if the Indemnity Agreement has not been fully executed within 30 days. (CITY ATTORNEY)

5. Validity

- a. This approval shall expire in two years from the date of approval unless prior to that date a building permit has been issued or a time extension has been granted.
- b. This approval shall not be considered valid and approved unless and until the concurrent use permit application, U2014-0008, has been approved.

PASSED AND ADOPTED this 2nd day of February, 2016, by the following roll call vote:

AYES: Commissioners:

NOES: Commissioners:

ABSENT: Commissioners:

ABSTAIN: Commissioners:

Gregg McKenzie, Chairman

ATTEST:

Secretary

P:\PUBLIC PLANNING FILES__ PROJECT FILES\Verizon Wireless on Pacific\Meeting Packets\PC 2-2-16\04 Verizon on Pacific Street PC Reso DR2014-0014 (2-2-16) - final.doc

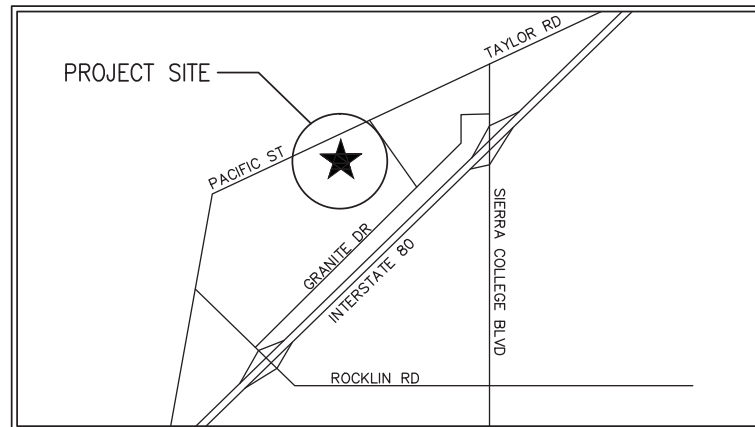
EXHIBIT A

Verizon Wireless on Pacific Street / DR2014-0014

Design Review Documents are available at the Community Development Department



LOCATION #: 280812

LOCATION PLAN 

FROM VERIZON OFFICE @ 295 PARKSHORE DRIVE, FOLSOM, CA 95630:

1. HEAD NORTHEAST ON PARKSHORE DR TOWARD COOLIDGE DR
2. MAKE A U-TURN AT COOLIDGE DR
3. TURN RIGHT ONTO FOLSOM BLVD
4. CONTINUE ONTO FOLSOM-AUBURN RD
5. CONTINUE ONTO AUBURN FOLSOM RD
6. TURN LEFT ONTO DOUGLAS BLVD
7. TURN RIGHT ONTO BARTON RD
8. TURN RIGHT TO STAY ON BARTON RD
9. TURN LEFT ONTO ROCKLIN RD
10. TURN RIGHT ONTO SIERRA COLLEGE BLVD
11. CONTINUE STRAIGHT TO STAY ON SIERRA COLLEGE BLVD
12. TURN LEFT ONTO TAYLOR RD
13. CONTINUE ONTO PACIFIC ST

1.	T1.1	TITLE SHEET, LOCATION PLAN, PROJECT DATA
2.	C1	CIVIL SURVEY SHEET
3.	A1.1	OVERALL SITE PLAN
4.	A2.1	EQUIPMENT LAYOUT PLAN
5.	A2.2	ANTENNA LAYOUT PLAN
6.	A3.1	PROJECT ELEVATIONS

DR2014-0014

APPLICANT:
VERIZON WIRELESS
295 PARKSHORE DRIVE
FOLSOM, CA 95630

PROPERTY OWNER:
JASON BAMBERG
ROAD SAFETY INC
4335 PACIFIC ST, SUITE A
ROCKLIN, CA 95677
916-543-4600
jason@roadsafetyinc.net

ARCHITECT:
MANUEL S. TSIHLAS
MST ARCHITECTS, INC.
1520 RIVER PARK DRIVE
SACRAMENTO, CA 95815
916-567-9630
manuel@mstarchitects.com

CONSTRUCTION MANAGER:
BOB SCHROEDER
COMPLETE WIRELESS CONSULTING, INC.
2009 V STREET
SACRAMENTO, CA 95818
916-217-7512
bschroeder@completewireless.net

ASSESSOR'S PARCEL NUMBER: 045-021-009-000

JURISDICTION: CITY OF ROCKLIN

OCCUPANCY: S-2 (UNMANNED TELECOMMUNICATIONS FACILITY) U (TOWER)

TYPE OF CONSTRUCTION: V-B

ZONING: M-2 INDUSTRIAL

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

2013 CALIFORNIA BUILDING STANDARDS CODE, TITLE 24, CALIFORNIA CODE OF
REGULATIONS INCLUDING SUPPLEMENTS EFFECTIVE JULY 1, 2015

- | | |
|----------|---|
| PART 1 | CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE |
| PART 2 | CALIFORNIA BUILDING CODE |
| PART 2.5 | CALIFORNIA RESIDENTIAL BUILDING CODE |
| PART 3 | CALIFORNIA ELECTRICAL CODE |
| PART 4 | CALIFORNIA MECHANICAL CODE |
| PART 5 | CALIFORNIA PLUMBING CODE |
| PART 6 | CALIFORNIA ENERGY CODE |
| PART 8 | CALIFORNIA HISTORICAL BUILDING CODE |
| PART 9 | CALIFORNIA FIRE CODE |
| PART 10 | CALIFORNIA EXISTING BUILDING CODE |
| PART 11 | CALIFORNIA GREEN BUILDING STANDARDS CODE |
| PART 12 | CALIFORNIA REFERENCE STANDARDS CODE |

LOCAL COUNTY OR CITY ORDINANCES

ACCESSIBILITY REQUIREMENTS: THIS FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. ACCESSIBILITY NOT REQUIRED IN ACCORDANCE WITH THE 2013 CBC 11B-203.5, AND 11B-202.4 EXCEPTION 7.

PROPOSED VERIZON WIRELESS UNMANNED TELECOMMUNICATIONS FACILITY INCLUDING:

- A 40'-0"x40'-0" LEASE AREA.
- A 40'-0"x30'-0"x8'-0" TALL SPLIT FACE CMU WALL WITH COLUMNS AT CORNERS AND GATE ENTRANCE W/DECORATIVE CAPS
- OUTDOOR EQUIPMENT CABINETS.
- POWER & TELCO UTILITIES BROUGHT TO FACILITY.
- A STANDBY GENERATOR.
- A CABLE ICE BRIDGE.
- ANTENNAS W/ASSOCIATED TOWER MOUNTED EQUIPMENT MOUNTED ON A PROPOSED FAUX WATER TANK.

09/02/2014	90% ZONING DOCUMENTS	
10/06/2014	100% ZONING DOCUMENTS	
02/05/2015	100% ZONING DOCUMENTS	REVISION 1
05/19/2015	100% ZONING DOCUMENTS	REVISION 2
07/09/2015	100% ZONING DOCUMENTS	REVISION 3
10/27/2015	100% ZONING DOCUMENTS	REVISION 4
10/30/2015	100% ZONING DOCUMENTS	REVISION 5
11/05/2015	100% ZONING DOCUMENTS	REVISION 6
12/22/2015	100% ZONING DOCUMENTS	REVISION 7
01/05/2016	100% ZONING DOCUMENTS	REVISION 8

XX/XX/XXXX	90% CONSTRUCTION DOCUMENTS
XX/XX/XXXX	100% CONSTRUCTION DOCUMENTS



SHALL NOT BE USED BY ANY PERSON OR ENTITY ON OTHER PROJECTS WITHOUT PRIOR WRITTEN CONSENT OF THE COMPANY.

GRANITE DRIVE
4335 PACIFIC STREET #A
ROCKLIN, CA 95677

ET TITLE:

TITL

Revisions:

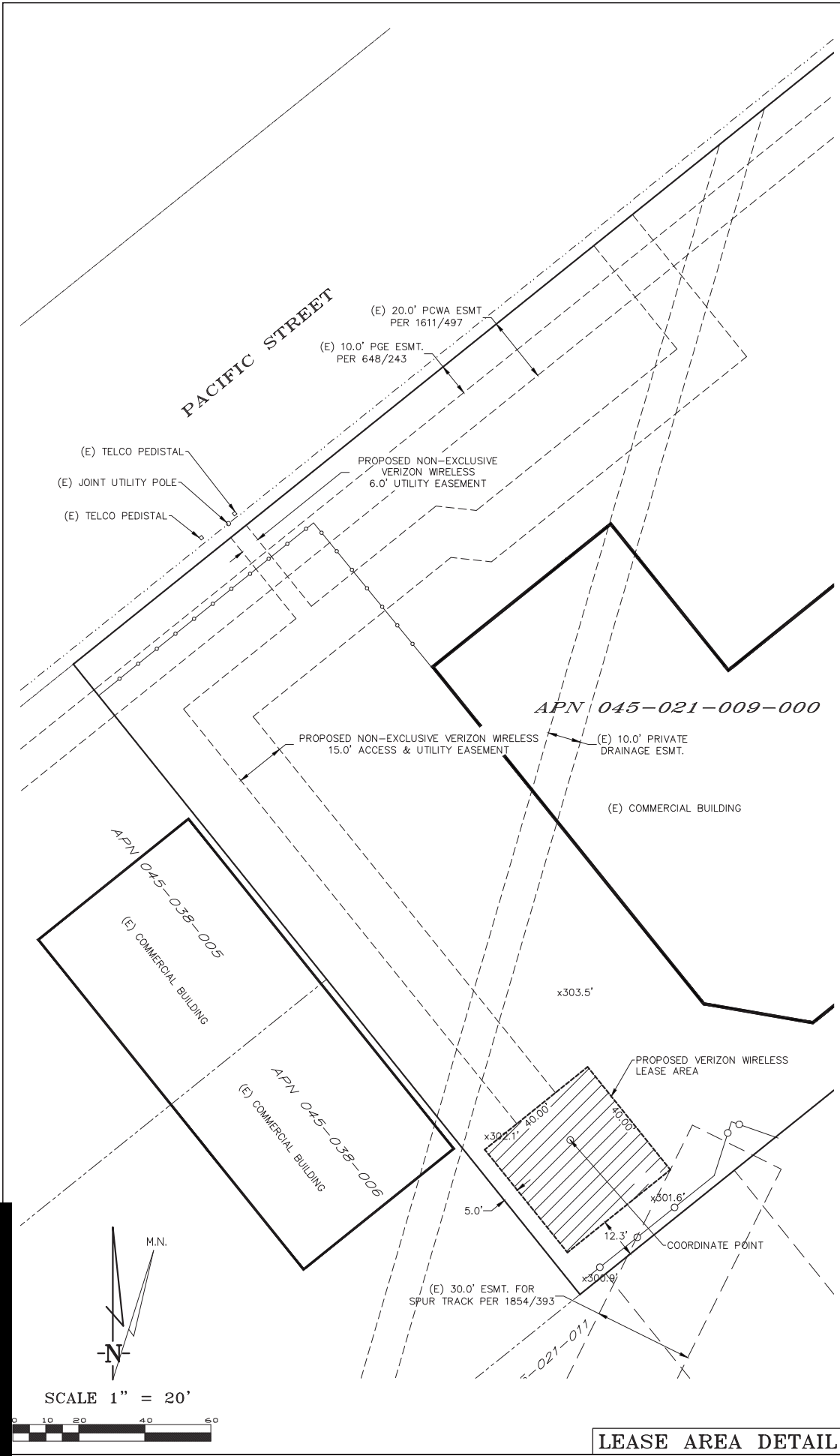
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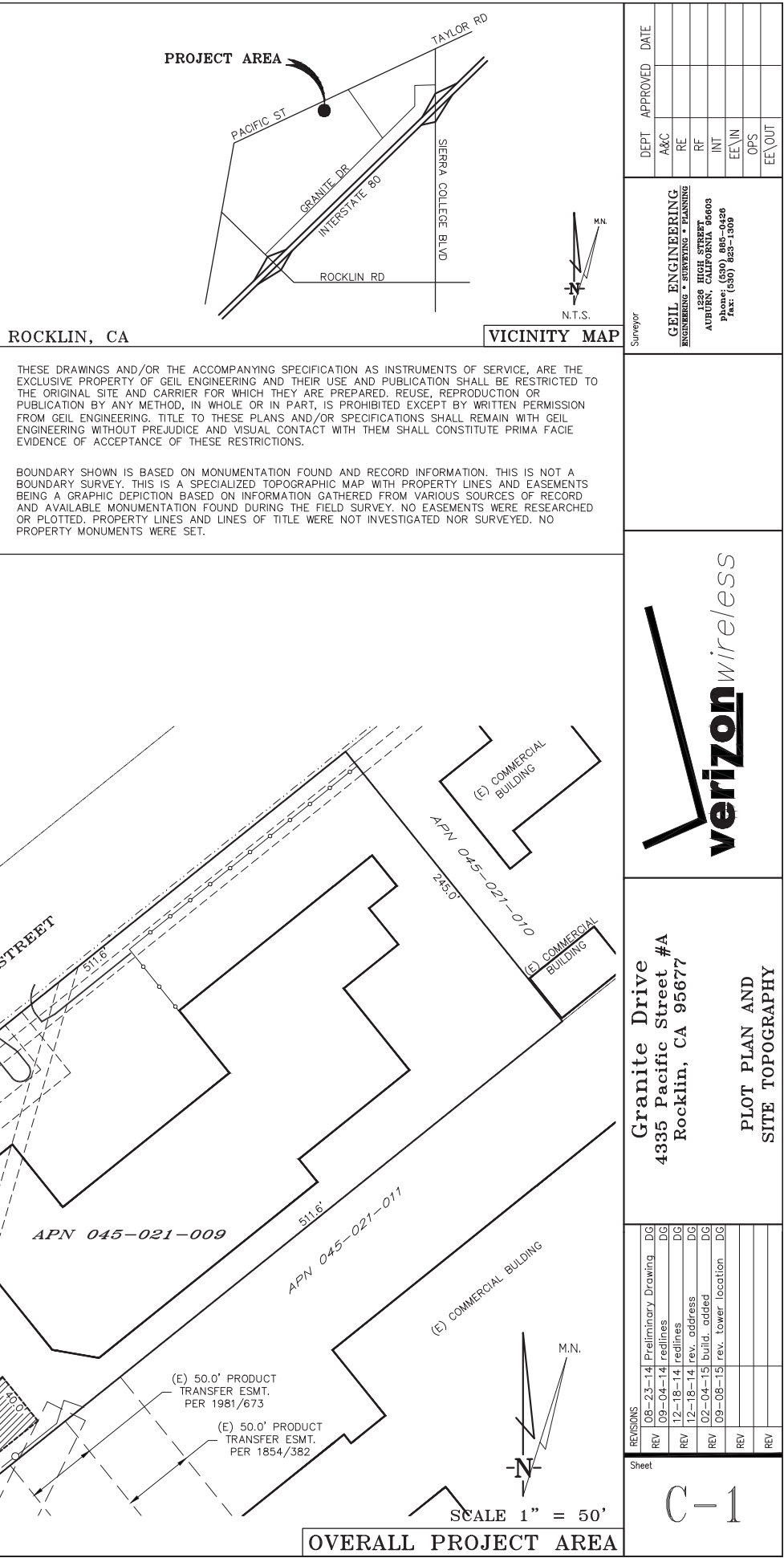


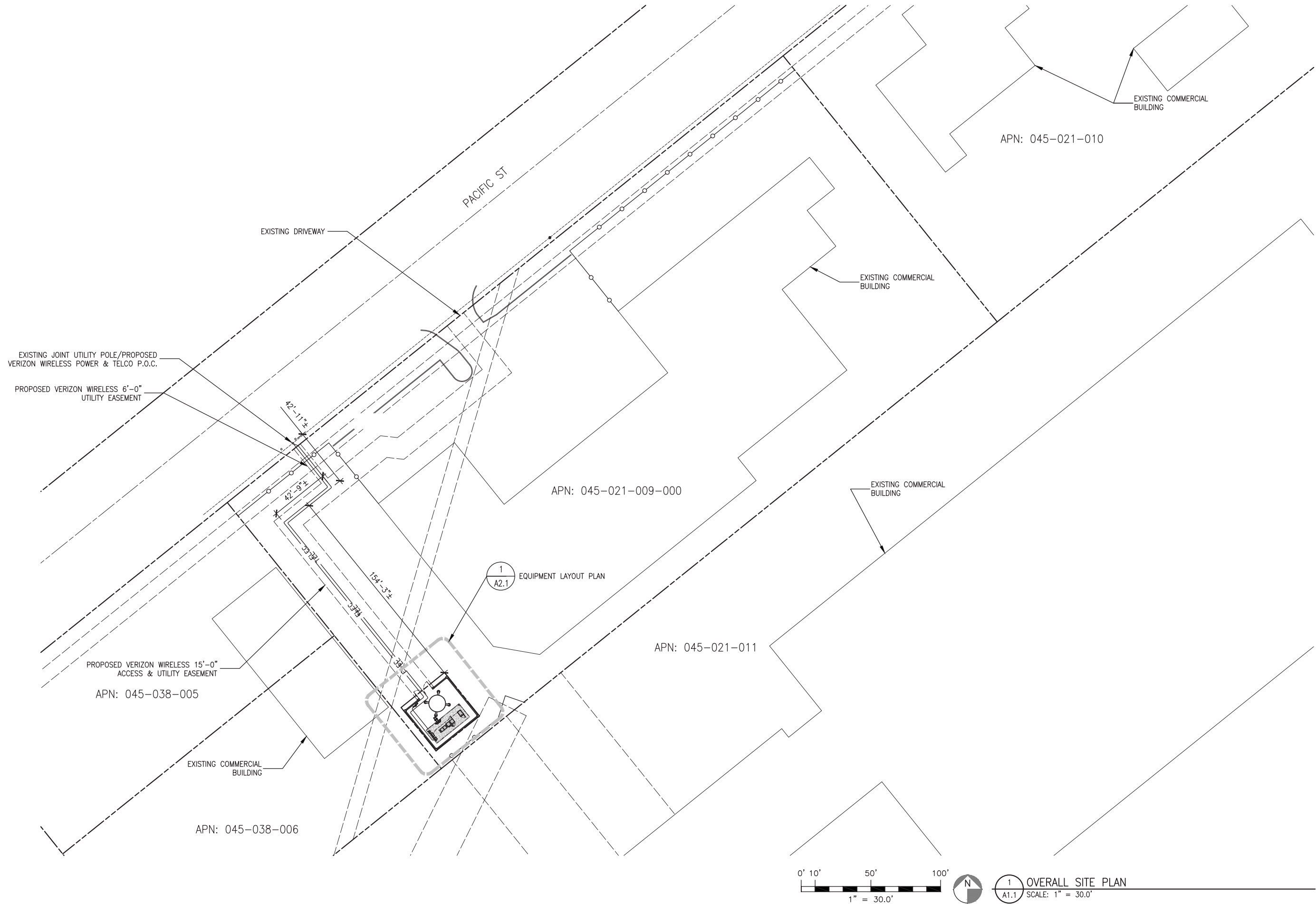
- LEGEND**
- PARCEL BOUNDARY
 - NEIGHBORING PARCEL BOUNDARY
 - LEASE AREA BOUNDARY
 - UTILITIES
 - (E) EASEMENTS
 - (P) EASEMENTS
 - FENCELINE
 - JP JOINT UTILITY POLE
 - TP TELEPHONE POLE
 - EP ELECTRICAL POLE
 - 6" OAK TREE WITH DIAMETER BREAST HEIGHT (DBH)

Project Name: Granite Drive
Project Site Location: 4335 Pacific Street #A
Rocklin, CA 95677
Placer County
Date of Observation: 08-19-14
Equipment/Procedure Used to Obtain Coordinates: Trimble
Pathfinder GeoXT post processed with Pathfinder Office software.
Type of Antenna Mount: Proposed Faux Water Tank
Coordinates
Latitude: N 38°48'08.05" (NAD83) N 38°48'08.41" (NAD27)
Longitude: W 121°13'14.01" (NAD83) W 121°13'10.19" (NAD27)
ELEVATION of Ground at Structure (NAVD88) 301.5' AMSL

DATE OF SURVEY: 08-19-14
SURVEYED BY OR UNDER DIRECTION OF: KENNETH D. GEIL,
E.C.E. 14803
LOCATED IN THE COUNTY OF PLACER, STATE OF CALIFORNIA
BEARINGS SHOWN ARE BASED UPON MONUMENTS FOUND AND
RECORD INFORMATION. THIS IS NOT A BOUNDARY SURVEY.
ELEVATIONS SHOWN ON THIS PLAN ARE BASED UPON U.S.G.S.
N.A.V.D. 88 DATUM. ABOVE MEAN SEA LEVEL UNLESS
OTHERWISE NOTED.
N.G.V.D. 1929 CORRECTION: SUBTRACT 2.50' FROM ELEVATIONS
SHOWN.
CONTOUR INTERVAL: N.A.
ASSESSOR'S PARCEL NUMBER: 045-021-009-000
LANDLORD(S): JASON BAMBERG
4335 PACIFIC STREET #A
ROCKLIN, CA 95677


Granite Drive
Lease Area Description
All that certain lease area being a portion of Parcel C as
shown on that certain Parcel Map No. DL 85-13 filed in Book
22 of Parcel Maps, Page 98, Placer County, California Records
being more particularly described as follows:
Commencing at the South most corner of the aforementioned
papel of land thence North 51°12'00" East 5.00 feet and North
38°48'00" West 12.27 feet to the True Point of Beginning;
thence from said point of beginning North 38°48'00" West
40.00 feet; thence North 51°12'00" East 40.00 feet; thence
South 38°48'00" East 40.00 feet; thence South 51°12'00" West
40.00 feet to the point of beginning.
Together with an easement for ingress, egress and utility
purposes, fifteen feet in width, the centerline of which is
described as follows: Beginning at a point which bears North
51°12'00" East 20.0 feet from the West most corner of the
above described lease area; thence from said point of
beginning North 38°48'00" West 153.72 feet; thence North
51°12'00" East 39.21 feet to a point hereafter referred to as
Point "A"; thence continuing North 51°12'00" East 48.34 feet;
thence South 83°48'00" East 12.32 feet; thence North
51°12'00" East 88.61 feet; thence North 38°48'00" West 47.73
feet more or less to the public right of way.
Also together with an easement for utility purposes, six feet in
width, the centerline of which is described as follows:
Beginning at a the above described Point "A"; thence from
said point of beginning North 38°48'00" West 39.0 feet more
or less to the public right of way.







MST ARCHITECTS
1520 River Park Drive, Sacramento, CA 95815
916-567-9630
www.MSTArchitects.com



GRANITE DRIVE
4335 PACIFIC STREET #A
ROCKLIN, CA 95677

SHEET TITLE:

OVERALL SITE PLAN

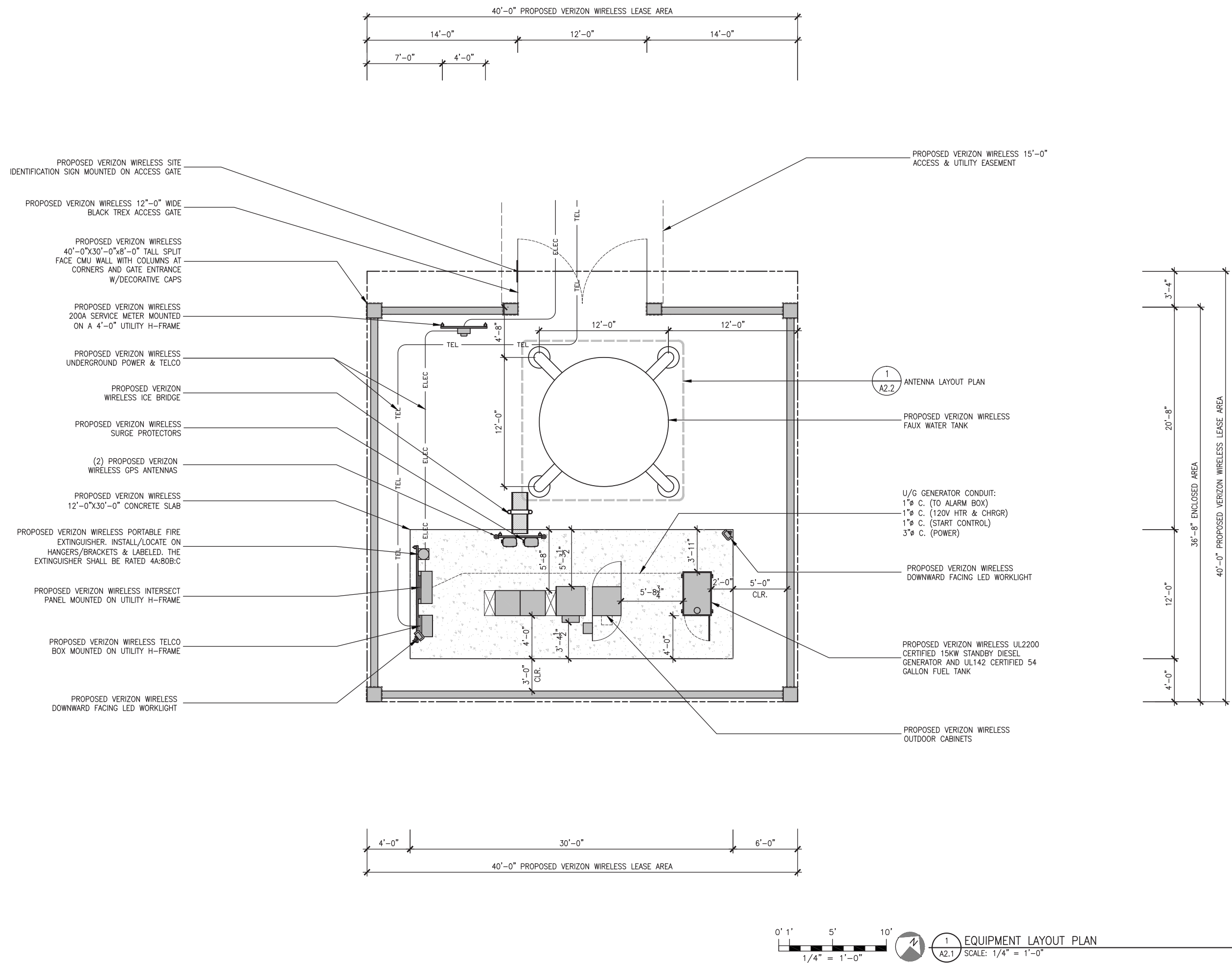
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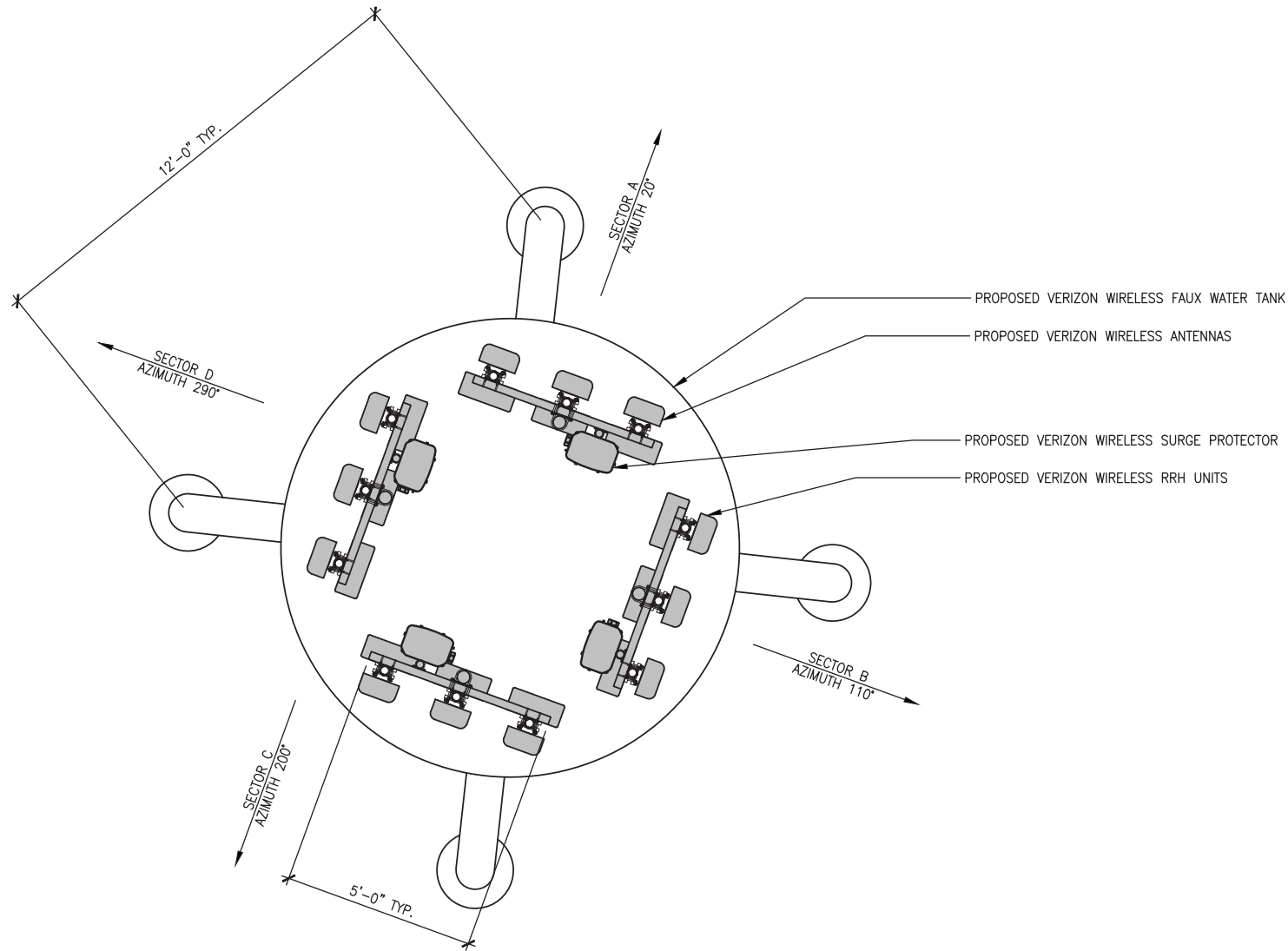
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Date: 01/05/16

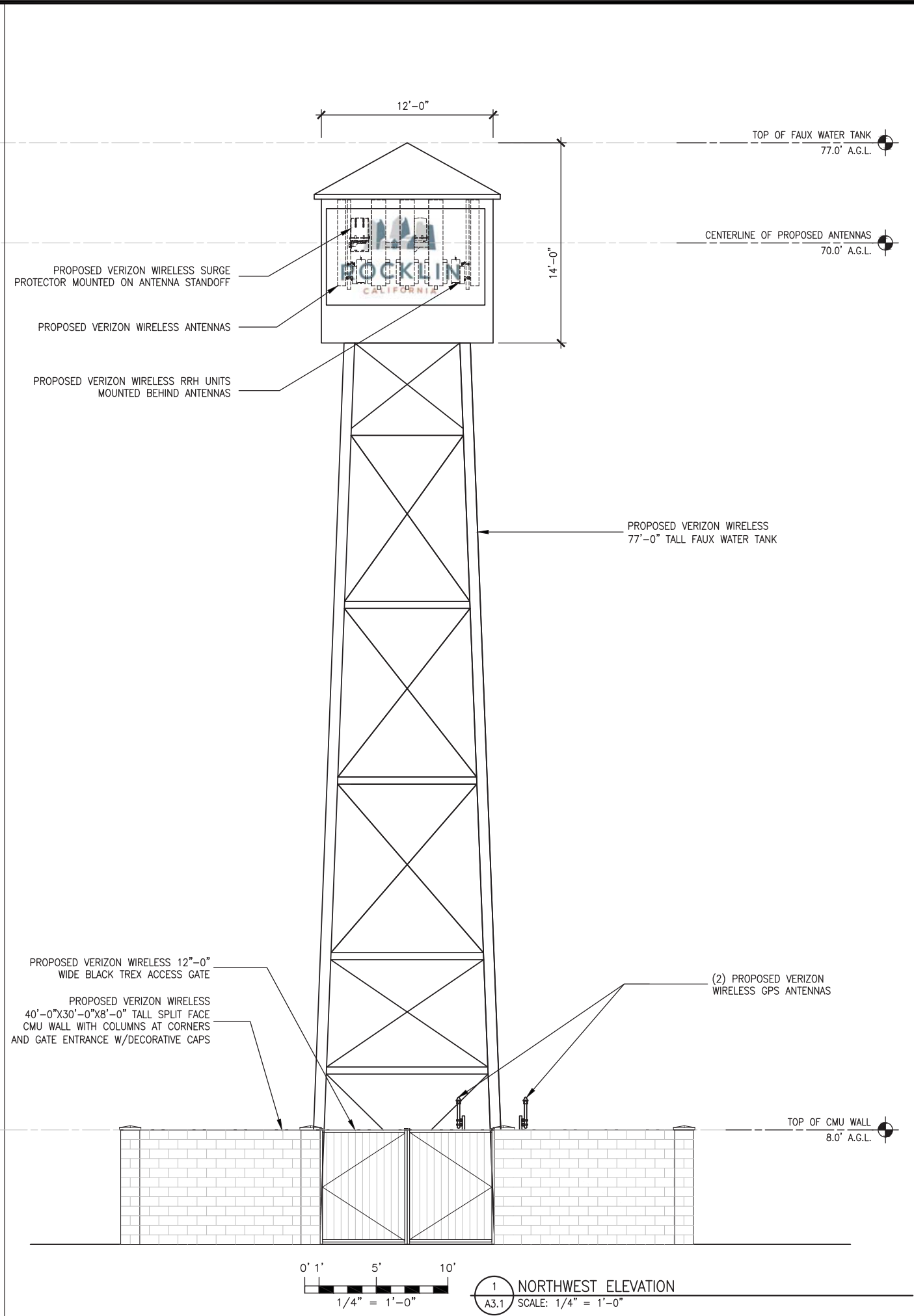
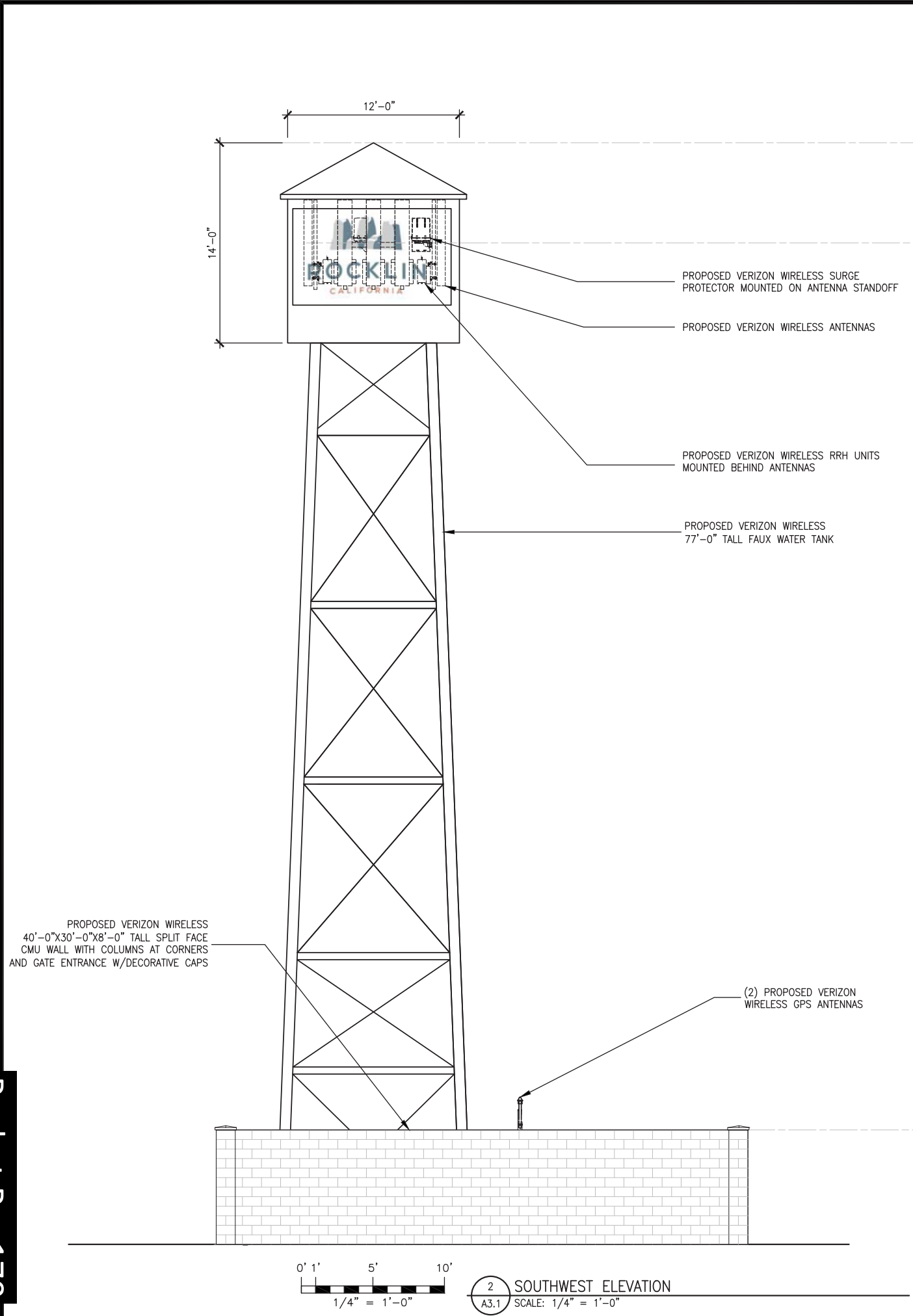
Job No. 162.1252

A1.1





EQUIPMENT SCHEDULE						
EQUIPMENT	DESCRIPTION	QUANTITY				TOTAL
		SECTOR A	SECTOR B	SECTOR C	SECTOR D	
ANTENNA	AMPHENOL HTXCW451720X000	3		3		6
ANTENNA	ANDREW SBNHH-1D65B		3		3	6
RRH	RRUS12 W/ A2 OR RRUS32	4	4	4	4	16
TMA OR DIPLEXER	N/A	0	0	0	0	0
SURGE PROTECTOR/HYBRID	RAYCAP DC3315 / HYBRID TRUNK CABLE	4/4				4/4
COAXIAL CABLE	1 5/8" DIAMETER COAX	0	0	0	0	0
RET CABLE	N/A	0				0



MST ARCHITECTS
1520 River Park Drive, Sacramento, CA 95815
916-567-9630
www.mstarchitects.com

COMPLETE
Wireless Consulting, Inc.

GRANITE DRIVE
4335 PACIFIC STREET #A
ROCKLIN, CA 95677

SHEET TITLE:

PROJECT ELEVATIONS

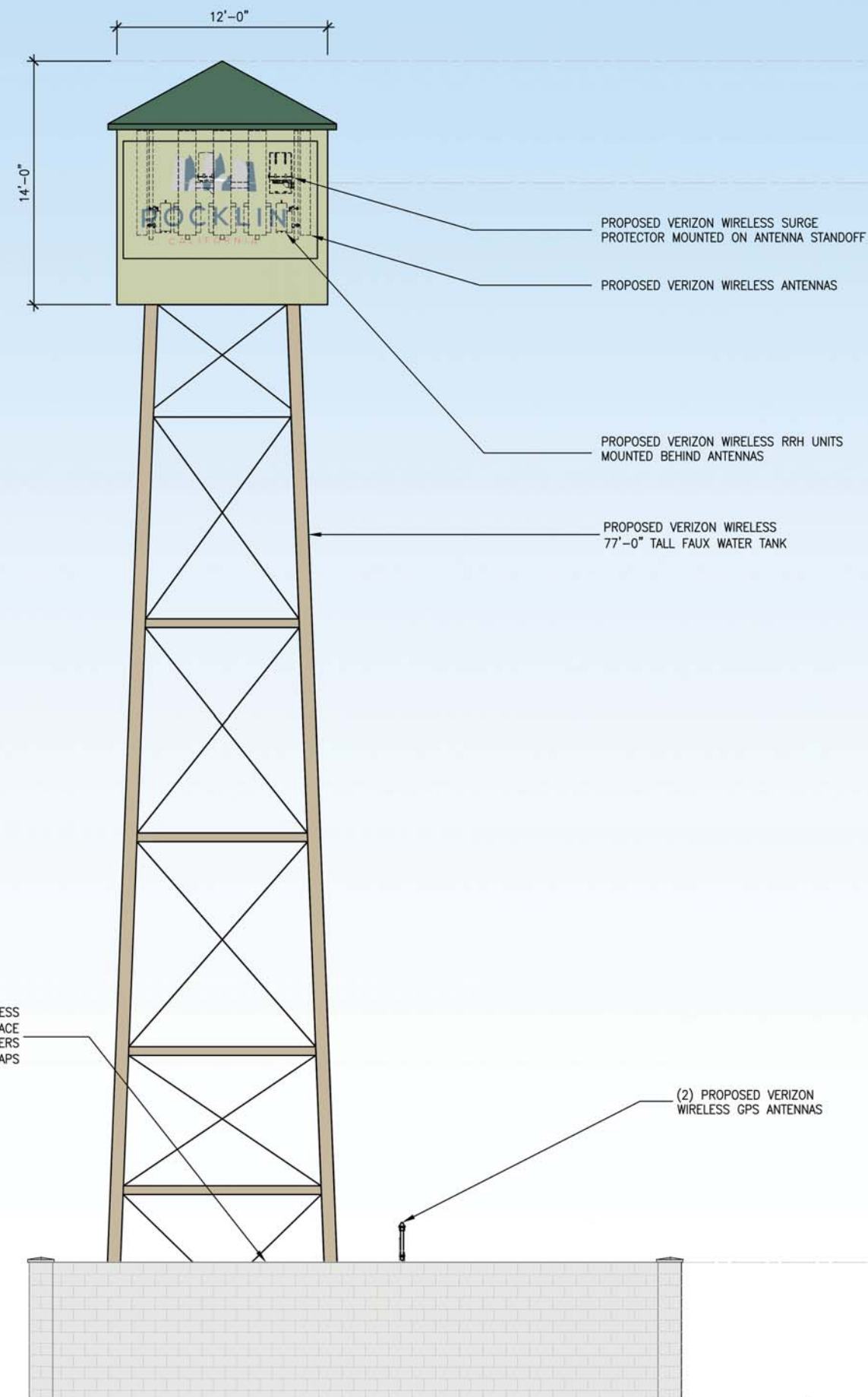
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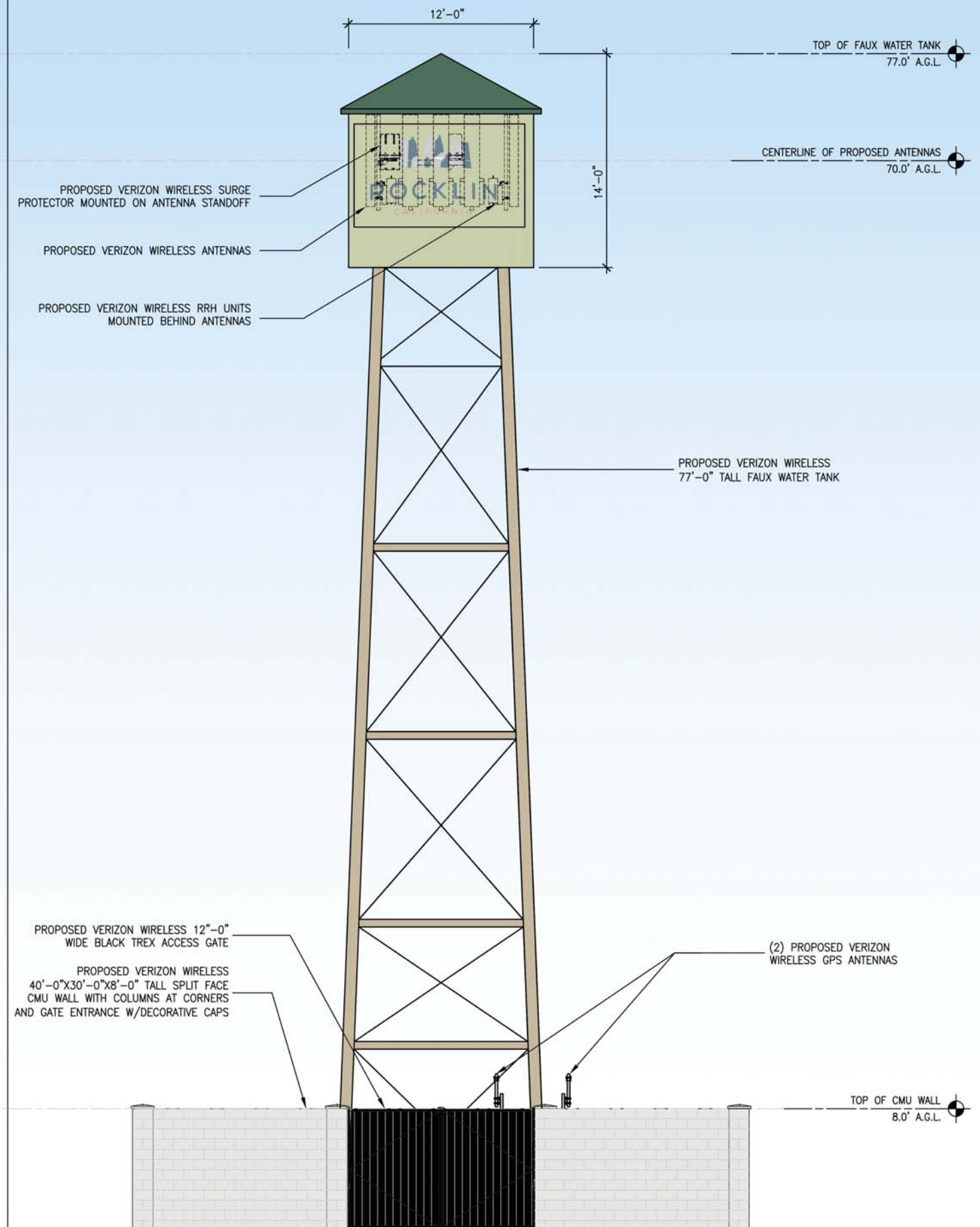
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Scale: AS NOTED
Date: 01/05/16

Job No. 162.1252

A3.1



2
A3.1
SOUTHWEST ELEVATION
SCALE: 1/4" = 1'-0"



1
A3.1
NORTHWEST ELEVATION
SCALE: 1/4" = 1'-0"

PROPOSED VERIZON WIRELESS
40'-0"x30'-0"x8'-0" TALL SPLIT FACE
CMU WALL WITH COLUMNS AT CORNERS
AND GATE ENTRANCE W/DECORATIVE CAPS

(2) PROPOSED VERIZON
WIRELESS GPS ANTENNAS

PROPOSED VERIZON WIRELESS 12'-0"
WIDE BLACK TREX ACCESS GATE

PROPOSED VERIZON WIRELESS
40'-0"x30'-0"x8'-0" TALL SPLIT FACE
CMU WALL WITH COLUMNS AT CORNERS
AND GATE ENTRANCE W/DECORATIVE CAPS

(2) PROPOSED VERIZON
WIRELESS GPS ANTENNAS

TOP OF CMU WALL
8.0' A.G.L.

Packet Pg. 171

MST ARCHITECTS
WIRELESS DIVISION
1520 River Park Drive, Sacramento, CA 95815
916-567-9630
www.MSTArchitects.com

COMPLETE
Wireless Consulting, Inc.

THESE DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF MST ARCHITECTS, INC. WHETHER THE PROJECTS FOR WHICH THEY ARE MADE ARE EXECUTED OR NOT. THESE DRAWINGS AND SPECIFICATIONS SHALL NOT BE USED BY ANY PERSON OR ENTITY ON OTHER PROJECTS WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT, ENGINEER, OR SURVEYOR.

GRANITE DRIVE
4335 PACIFIC STREET #A
ROCKLIN, CA 95677

PROJECT ELEVATIONS

SHEET TITLE:

Not valid unless signed in ink by licensee.

Revisions:
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File: 162.1252A3
Drawn By: KR
Checked By:
Scale: AS NOTED
Date: 01/05/16

Job No. 162.12

A3.1

Agenda Item #8.c.i



City of Rocklin Economic and Community Development Department

**Planning Commission
STAFF REPORT**

**CENTER AT SECRET RAVINE – ONE-YEAR TIME EXTENSION OF A
TENTATIVE PARCEL MAP, DL-2016-0001**

February 2, 2016

Proposal/Application Request

This application is a request for approval of a one-year extension of time for the previously approved project:

Center at Secret Ravine (DL-2009-03) – A tentative parcel map to allow the subdivision of 4.9 ± acres into 4 lots.

Staff Findings

Staff finds the proposed project, subject to the recommended conditions of approval, consistent with the existing General Plan designation and zoning; and further finds the proposed subdivision to be compatible with existing and anticipated development of surrounding designated properties.

Recommendation

Staff recommends that the Planning Commission approve the following:

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN APPROVING A ONE-YEAR EXTENSION OF A TENTATIVE PARCEL MAP (CENTER AT SECRET RAVINE TIME EXTENSION / DL2016-0001)

Discussion

The City Council approved the tentative parcel map (DL-2009-03) on October 11, 2011 along with Design Review (DR-2009-02), Use Permit (U-2009-02), Oak Tree Preservation Plan Permit (TRE-2009-05), General Development Plan (PDG-2009-01) entitlements and a Mitigated Negative Declaration of Environmental Impacts. A Shell Gas Station has since been approved and constructed on the site, but the tentative parcel map has not yet been recorded.

Planning Commission Staff Report
Re: Center at Secret Ravine Time Extension
February 2, 2016
Page 2

The project has benefited from one automatic time extension granted by the State through AB116, which extended the expiration date to 2015. This is the first application for a time extension submitted for this project. The project is eligible for up to four additional one-year time extensions under the provisions of State Law and the Rocklin Municipal Code.

Owner/Applicant

The property owner and applicant is Rocklin Holdings, LP.

General Site Information

The proposed project site is generally located on the southeast corner of Sierra College Boulevard and Schriber Way. The Assessor's Parcel Number is 045-053-067.

Location Map



*Planning Commission Staff Report
Re: Center at Secret Ravine Time Extension
February 2, 2016
Page 3*

Environmental

A Mitigated Negative Declaration of Environmental Impacts was previously approved by the Rocklin City Council through Resolution No. 2011-144; the requested time extension does not result in any environmental impacts beyond those that were previously identified.

Attachments

Attachment A – City Council Resolution 2011-146 approved October 11, 2011.

Prepared by Jeffrey Tsumura, Assistant Planner

P:\PUBLIC PLANNING FILES__ PROJECT FILES\Center at Secret Ravine DL Time Extension\Meeting Packets\1 - Center at Secret Ravine SR - draft 011216.doc

RESOLUTION NO. 2011-146

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ROCKLIN APPROVING A TENTATIVE
PARCEL MAP
(Center at Secret Ravine / DL-2009-03)

The City Council of the City of Rocklin does resolve as follows:

Section 1. The City Council of the City of Rocklin finds and determines that:

A. Tentative Parcel Map (DL-2009-03) allows the subdivision of 4.986± acres into 4 lots.

B. A Mitigated Negative Declaration of environmental impacts prepared for this project has been approved via City Council Resolution No. 2011-144.

C. The City Council has considered the effect of the approval of this subdivision on the housing needs of the region, and has balanced those needs against the public service needs of its residents and available fiscal and environmental resources.

D. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the zoning classification on the property.

E. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the objectives, policies, general land uses and programs in the City of Rocklin's General Plan.

F. The site is physically suitable for the proposed type and density of development.

G. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage, nor will they substantially and avoidably injure fish or wildlife or their habitat.

H. The design of the subdivision and type of improvements will not cause serious public health problems.

I. The design of the subdivision and type of improvements will not conflict with easements acquired by the public at large for access through or use of the property within the proposed subdivision.

J. The design of the subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

Section 2. The Center at Secret Ravine tentative parcel map (DL-2009-03) as depicted in Exhibit A, attached hereto and by this reference incorporated herein, is hereby recommended for approval, subject to the conditions listed below. The approved Exhibit A shall govern the design and construction of the project. Any condition directly addressing an element incorporated into Exhibit A shall be controlling and shall modify Exhibit A. All other plans, specifications, details, and information contained within Exhibit A shall be specifically applicable to the project and shall be construed as if directly stated within the conditions for approval. Unless otherwise expressly stated, the applicant / developer shall be solely responsible for satisfying each condition, and each of these conditions must be satisfied prior to or concurrently with the submittal of the final map with the City Engineer. The agency and / or City department(s) responsible for ensuring implementation of each condition is indicated in parenthesis with each condition.

A. Notice to Applicant of Fees & Exaction Appeal Period

The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code §66020(d), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations, and other exactions.

The applicant is hereby notified that the 90-day protest period, commencing from the date of approval of the project, has begun. If the applicant fails to file a protest regarding any of the fees, dedication requirements, reservation requirements or other exaction contained in this notice, complying with all the requirements of Government Code §66020, the applicant will be legally barred from later challenging such exactions.

B. Conditions

1. Reciprocal Easements

A reciprocal access and parking easement (as may be evidenced by a note on the final map), or its legal equivalent in a form acceptable to the City Attorney, shall

be recorded over and between each of the parcels in the subdivision concurrent with the recording of the final map. (CITY ATTORNEY, ENGINEERING)

2. Street Dedication

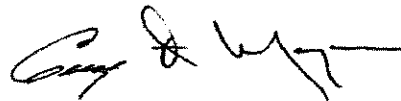
The areas indicated as "Proposed 1.35 ac. ROW Dedication under separate instrument" and "Proposed 0.34 ac. ROW Dedication under separate instrument" on Exhibit A, which is required right-of-way for public street improvements shall have been offered to the City of Rocklin via irreversible offer of dedication (IOD), by separate instrument concurrently with or prior to, the final parcel map. (ENGINEERING)

3. Validity

- a. This tentative parcel map shall expire two years from the date of approval unless prior to that date a final map has been recorded or a time extension has been granted. (PLANNING)
- b. This entitlement shall not be considered valid and approved unless and until the concurrent applications DR-2009-02, U-2009-02, TRE-2009-05, and PDG-2009-01 have been approved. (PLANNING)

PASSED AND ADOPTED at a regular meeting of the City Council of the City of Rocklin held on October 11, 2011, by the following vote:

AYES: Hill, Yuill, Ruslin, Storey, Magnuson
 NOES: None
 ABSENT: None
 ABSTAIN: None



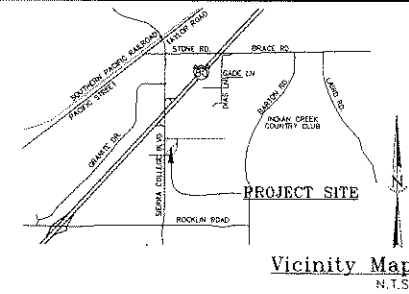
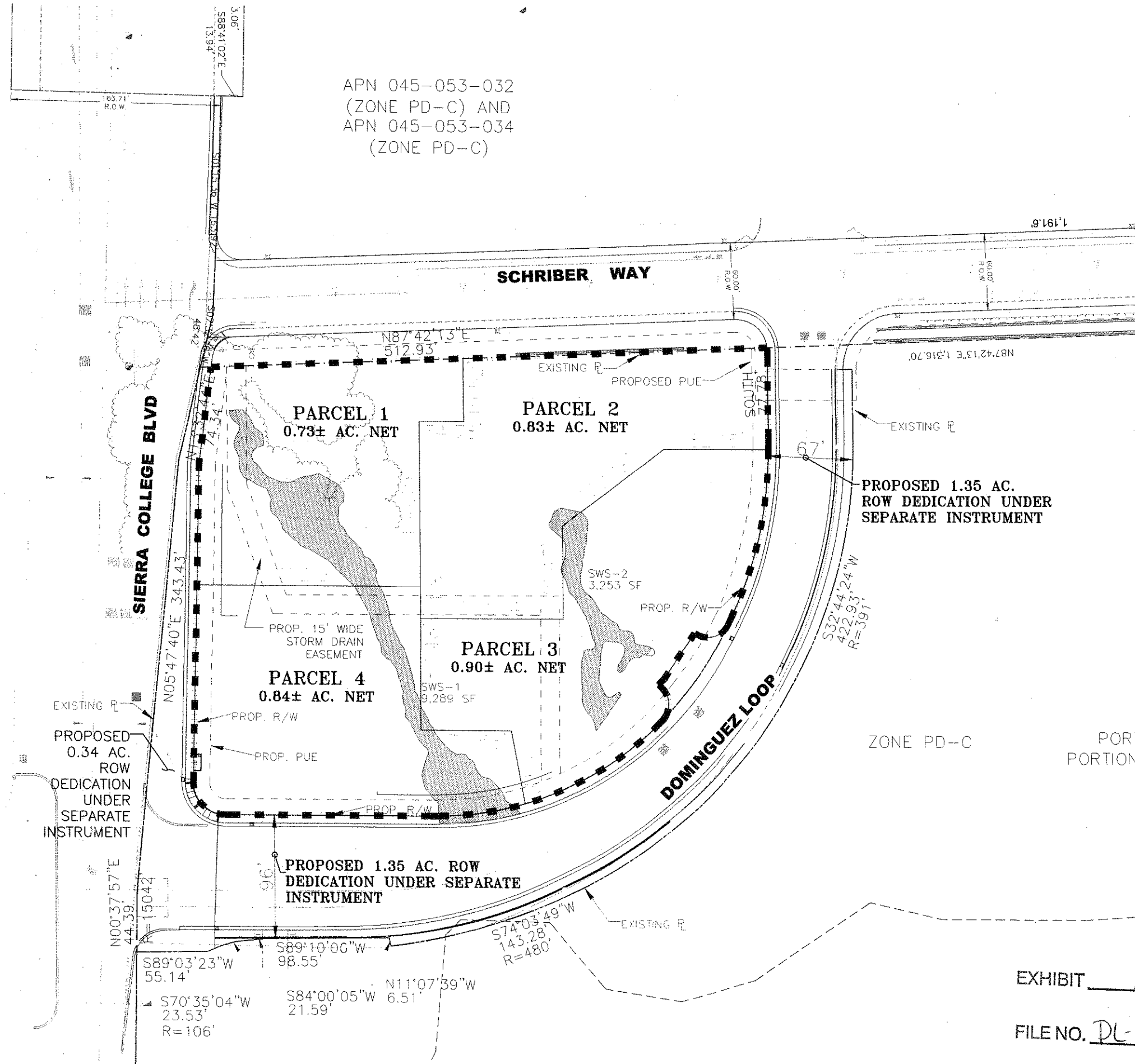
George Magnuson, Mayor

ATTEST:



Barbara Ivanusich, City Clerk

T:\clerk\reso\Center at Secret Ravine\Reso Tentative Parcel Map Center at Secret Ravine.doc



Owner:
Donahue Schriber Asset
Management Corporation
200 E. Baker Street, Suite 100
Costa Mesa, CA 92626

Developer:
Donahue Schriber Realty Group, LP
Attn: Jan Petersen
200 E. Baker Street, Suite 100
Costa Mesa, CA 92626
(714) 966-6426

Applicant/Engineer:
RSC Engineering, Inc.
Attn: Rick Chavez
2250 Douglas Blvd., Suite 150
Roseville, CA 95661
(916) 788-2884

Assessor's Parcel Number:
045-053-049

Existing Acreage:
3.30 Acres

Existing Use and Zone:
Vacant (RC) Regional Commercial
PD-C (Planned Development Commercial)

Proposed Use and Zone:
Shopping Center; (RC) Regional Commercial
PD-C (Planned Development Commercial)

Utilities:
Sewer - SPMUD
Water - PCWA
Gas & Electricity - PG&E
Telephone - SBC
Waste Disposal - Auburn Placer Disposal Service
School - Loomis Union School District
Fire - City of Rocklin

LAND USE SUMMARY

SITE ACREAGE:
GROSS = 4.986 AC (217,197 SF)
NET = 3.298 AC (143,674 SF)

SIERRA COLLEGE ROW DEDICATION = 0.34 AC
CADEN DRIVE ROW DEDICATION = 1.35 AC
BOTH UNDER SEPARATE INSTRUMENT

Total Acreage Summary		
No.	USE	NET AC
1	PAD 1	0.73
2	PAD 2	0.83
3	PAD 3	0.90
4	PAD 4	0.84
Total		3.30

LEGEND:

- Seasonal Wetland
- Swale (SWS) to be filled
- Proposed Boundary
- Proposed Parcel
- Proposed Easement

DONAHUE SCHRIBER REALTY GROUP, LP
200 E. BAKER ST., SUITE 100
COSTA MESA, CA 92626
(714) 966-6426

REV	NO.	REVISIONS	DATE

RSC ENGINEERING
2250 DOUGLAS BLVD., SUITE 150
ROSEVILLE, CA 95661
(916) 788-2884

PROJECT NO. 001-010A
DRAWN BY: RSC Eng
CHECKED BY: RSC Eng
DESIGNED BY: RSC Eng

TENTATIVE PARCEL MAP
THE CENTER AT SECRET RAVINE
SIERRA COLLEGE BLVD. AND DOMINGUEZ LOOP
CITY OF ROCKLIN, CA

SHEET TITLE
Tentative
Parcel Map

SHEET NO
PM1

RESOLUTION NO.

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN APPROVING A
 ONE-YEAR TIME EXTENSION OF A TENTATIVE PARCEL MAP
(Center at Secret Ravine Time Extension / DL2016-0001)

The Planning Commission of the City of Rocklin does resolve as follows:

Section 1. The Planning Commission of the City of Rocklin finds and determines that:

A. Tentative Parcel Map (DL-2009-03) allows the subdivision of 4.9± acres into 4 lots.

B. A Mitigated Negative Declaration of environmental impacts prepared for this project has been approved via City Council Resolution No. 2011-144.

C. The Planning Commission has considered the effect of the approval of this subdivision on the housing needs of the region, and has balanced those needs against the public service needs of its residents and available fiscal and environmental resources.

D. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the zoning classification on the property.

E. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the objectives, policies, general land uses and programs in the City of Rocklin's General Plan.

F. The site is physically suitable for the proposed type and density of development.

G. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage, nor will they substantially and avoidably injure fish or wildlife or their habitat.

H. The design of the subdivision and type of improvements will not cause serious public health problems.

I. The design of the subdivision and type of improvements will not conflict with easements acquired by the public at large for access through or use of the property within the proposed subdivision.

J. The design of the subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

Section 2. The one-year extension of time for the Center at Secret Ravine tentative parcel map (DL2016-0001) as depicted in Exhibit A, attached hereto and by this reference incorporated herein, is hereby approved, subject to the terms and conditions in the previous approval. The approved Exhibit A shall govern the design and construction of the project. Any condition directly addressing an element incorporated into Exhibit A shall be controlling and shall modify Exhibit A. All other plans, specifications, details, and information contained within Exhibit A shall be specifically applicable to the project and shall be construed as if directly stated within the conditions for approval. Unless otherwise expressly stated, the applicant / developer shall be solely responsible for satisfying each condition, and each of these conditions must be satisfied prior to or concurrently with the submittal of the final map with the City Engineer. The agency and / or City department(s) responsible for ensuring implementation of each condition is indicated in parenthesis with each condition.

A. Notice to Applicant of Fees & Exaction Appeal Period

The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code §66020(d), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations, and other exactions.

The applicant is hereby notified that the 90-day protest period, commencing from the date of approval of the project, has begun. If the applicant fails to file a protest regarding any of the fees, dedication requirements, reservation requirements or other exaction contained in this notice, complying with all the requirements of Government Code §66020, the applicant will be legally barred from later challenging such exactions.

B. Conditions

1. Reciprocal Easements

A reciprocal access and parking easement (as may be evidenced by a note on the final map), or its legal equivalent in a form acceptable to the City Attorney, shall be recorded over and between each of the parcels in the subdivision concurrent with the recording of the final map. (CITY ATTORNEY, ENGINEERING)

2. Street Dedication

The areas indicated as “Proposed 1.35 ac. ROW Dedication under separate instrument” and “Proposed 0.34 ac. ROW Dedication under separate instrument” on Exhibit A, which is required right-of-way for public street improvements shall have been offered to the City of Rocklin via irreversible offer of dedication (IOD), by separate instrument concurrently with or prior to, the final parcel map. (ENGINEERING)

3. Validity

- a. This tentative parcel map shall expire one year from the date of approval unless prior to that date all final maps have been recorded or an additional time extension has been granted. (PLANNING)

PASSED AND ADOPTED this 2nd day of February, 2016, by the following roll call vote:

AYES: Commissioners:

NOES: Commissioners:

ABSENT: Commissioners:

ABSTAIN: Commissioners:

Gregg McKenzie, Chairman

ATTEST:

Secretary

P:\PUBLIC PLANNING FILES__ PROJECT FILES\Center at Secret Ravine DL Time Extension\Meeting Packets\3 - Center at Secret Ravine DL Reso.docx

EXHIBIT A

Available at the Economic and Community Development Department, Planning Division

APPROVED BY COUNCIL ON October 11, 2011
APN 045-053-032
(ZONE PD-C) AND
APN 045-053-034
(ZONE PD-C)

RECOMMENDED BY PLANNING COMMISSION
FOR APPROVAL ON September 20, 2011



DONAHUE SCHRIBER REALTY GROUP, L.P.
200 E. BAKER ST., SUITE 100
COSTA MESA, CA 92626
(714) 966-6426

Owner:
Donahue Schriber Asset Management Corporation
200 E. Baker Street, Suite 100
Costa Mesa, CA 92626

Developer:
Donahue Schriber Realty Group, LP
Attn: Jan Petersen
200 E. Baker Street, Suite 100
Costa Mesa, CA 92626
(714) 966-6426

Applicant/Engineer:
RSC Engineering, Inc.
Attn: Rick Chavez
2250 Douglas Blvd., Suite 150
Roseville, CA 95661
(916) 788-2884

Assessor's Parcel Number:
045-053-049

Existing Acreage:
3.30 Acres

Existing Use and Zone:
Vacant; (RC) Regional Commercial
PD-C (Planned Development Commercial)

Proposed Use and Zone:
Shopping Center; (RC) Regional Commercial
PD-C (Planned Development Commercial)

Utilities:
Sewer - SPMUD
Water - PCWA
Gas & Electricity - PG&E
Telephone - SBC
Waste Disposal - Auburn Placer Disposal Service
School - Loomis Union School District
Fire - City of Rocklin

LAND USE SUMMARY

SITE ACREAGE:
GROSS = 4.95 AC (217,197 SF);
NET = 3.30 AC (143,674 SF)
SIERRA COLLEGE ROW DEDICATION = 0.34 AC
CADEN DRIVE ROW DEDICATION = 1.35 AC
BOTH UNDER SEPARATE INSTRUMENT

Total Acreage Summary

No.	USE	NET AC
1	PAD 1	0.73
2	PAD 2	0.83
3	PAD 3	0.90
4	PAD 4	0.84
Total		3.30

LEGEND:
Seasonal Wetland Swale (SWS) to be filled
Proposed Boundary
Proposed Parcel
Proposed Easement

REV	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		



PROJECT NO. 001-0104
DRAWN BY: RSC Eng
CHECKED BY: RSC Eng
DESIGNED BY: RSC Eng

TENTATIVE PARCEL MAP
THE CENTER AT SECRET RAVINE
SIERRA COLLEGE BLVD. AND DOMINGUEZ LOOP
CITY OF ROCKLIN, CA

SHEET TITLE
Tentative Parcel Map
SHEET NO.
PM1
DATE: MARCH 24, 2011

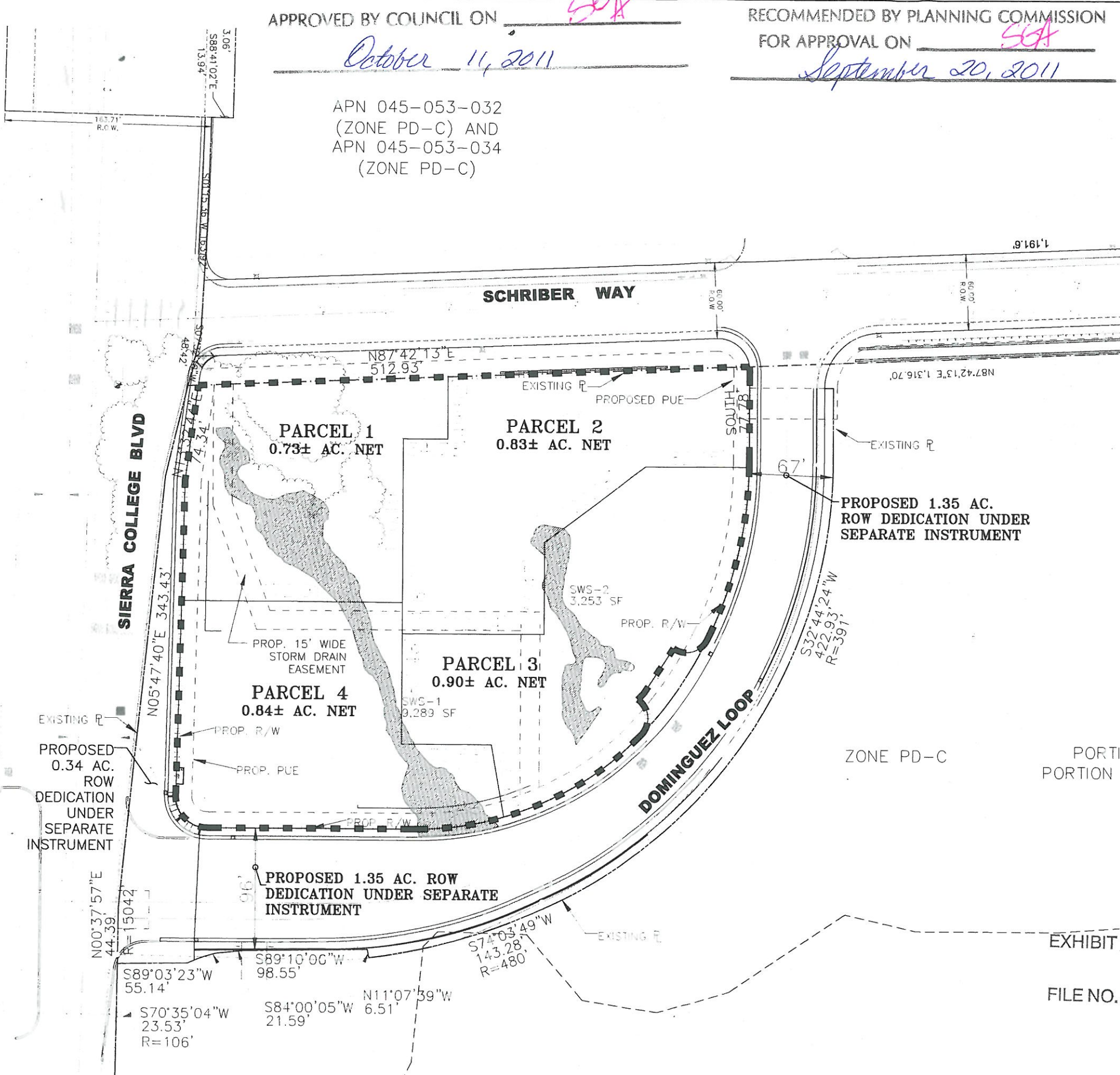


EXHIBIT A
FILE NO. DL-2009-03

SCALE 1" = 30'

Agenda Item #9.a.



City of Rocklin Community Development Department

Planning Commission STAFF REPORT

Rocklin Park Senior Living Time Extension Conditional Use Permit, U-2016-0001

February 2, 2016

Recommendation

Staff recommends that the Planning Commission approve the following:

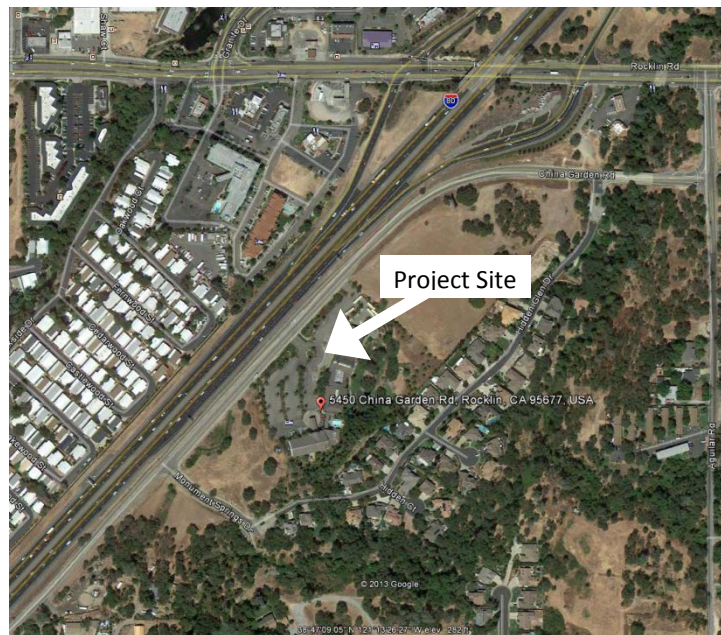
RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN APPROVING A ONE-YEAR TIME EXTENSION FOR CONDITIONAL USE PERMIT, U-2013-03, (PC-2013-65) TO ALLOW THE CONVERSION OF THE ROCKLIN PARK HOTEL FOR THE OPERATION OF A SENIOR LIVING FACILITY (Rocklin Park Senior Living Time Extension / U2016-0001)

Application Request

This application is a request for approval of a one-year time extension of a previously approved Conditional Use Permit, U-2013-03, which allows for the conversion of the existing Rocklin Park Hotel to operate as a senior living facility, including independent and assisted living.

Location

The subject property is located at 5450 China Garden Road, approximately 0.35 miles from the intersection of Aguilar Road and China Garden Road. APN 045-110-067.



Vicinity Map

Owner/Applicant

The property owner and the applicant is Omkar Rocklin, Inc.

Background and Site Characteristics

The Planning Commission approved a conditional use permit (U-2013-03) allowing for conversion of the Rocklin Park Hotel and the operation of a senior living facility on December 3, 2013 via Planning Commission Resolution No. PC-2013-65. The original project scope included the conversion of the interior of the existing hotel and associated grounds from a hotel to a senior independent and assisted living facility. No exterior building or site modifications were originally proposed; therefore, a Design Review entitlement was not necessary.

A Conditional Use Permit Modification and Design Review are currently being processed under a separate application to obtain approval for an additional 10,167-square-foot memory care building and the conversion of the existing outdoor pool area to an enclosed kitchen and dining area. This application will be brought to the Planning Commission at a future date.

The applicant is requesting a one-year time extension to the original Conditional Use Permit to allow for the time needed to process the new project entitlements.

*Planning Commission Staff Report
Rocklin Park Senior Living CUP Time Extension
February 2, 2016
Page 3*

Environmental Determination

The project was previously determined to be exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines through Planning Commission Resolution PC-2013-64; the requested time extension is within the scope of the prior CEQA exempt determination.

General Plan and Zoning Compliance

The property is zoned Planned Development Commercial (PD-C) and the underlying General Plan designation is Retail Commercial (RC). The proposed senior community (independent and assisted living care facility) is considered acceptable upon approval of a conditional use permit. Staff reviewed the proposed project and found that it is consistent with both the Zoning Ordinance and General Plan.

Recommendation

Based on the analysis presented above, Staff recommends that the Planning Commission approve a 12-month time extension as requested.

Attachment A – Rocklin Park Senior Living PC Staff Report from December 3, 2013

Attachment B – Rocklin Park Senior Living Resolution PC-2013-65 (U-2013-03)

Prepared by Jeff Tsumura, Assistant Planner

P:\PUBLIC PLANNING FILES__ PROJECT FILES\Rocklin Park Senior Living Time Extension\Meeting Packets\1 - Rocklin Park Senior Living Time Extension SR - Final.docx



City of Rocklin Community Development Department

Planning Commission STAFF REPORT

Rocklin Park Senior Living Conditional Use Permit, U-2013-03

December 3, 2013

Recommendation

Subject to the recommended conditions of approval, Staff recommends that the Planning Commission approve the following:

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN APPROVING A NOTICE OF EXEMPTION (Rocklin Park Senior Living / U-2013-03)

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN APPROVING A CONDITIONAL USE PERMIT TO ALLOW THE CONVERSION OF THE ROCKLIN PARK HOTEL AND FOR THE OPERATION OF A SENIOR LIVING FACILITY IN A PD-C ZONE (Rocklin Park Senior Living / U-2013-03)

Application Request

This application is a request for approval of a Conditional Use Permit to convert the existing Rocklin Park Hotel and operate a senior living facility, including independent and assisted living.

Location

The subject property is located at 5450 China Garden Road, approximately 0.35 miles from the intersection of Aguilar Road and China Garden Road. APN 045-110-067.

Planning Commission Staff Report
 Re: Rocklin Park Senior Living
 December 3, 2013
 Page 2



Vicinity Map

Owner/Applicant

The property owner and the applicant is Omkar Rocklin, Inc.

Background and Site Characteristics

The subject property is approximately 8.9 acres and is developed as the Rocklin Park Hotel, including the hotel building, restaurant, swimming pool, landscaped grounds, and parking lot. The Hotel was first approved as the Stutz Bakery and Guesthouse via SPU-94-01 by the Planning Commission in March, 1994 (PC-94-10). Rocklin Park Hotel was subsequently expanded and modified (SPU-97-32) via City Council resolution 98-253 approved in August, 1998 and via Planning Commission resolution PC-99-72 approved in August, 1999.

Surrounding Land Uses

	Use	General Plan / Zoning
Project Site	Hotel	Retail Commercial (RC) / Planned Development Commercial (PD-C)
West/ Northwest/ North	Interstate 80	Caltrans right-of-way

Planning Commission Staff Report
 Re: Rocklin Park Senior Living
 December 3, 2013
 Page 3

Northeast	Vacant	Retail Commercial (RC) / Planned Development Commercial (PD-C)
East / Southeast/ South	Single Family Residential	Medium High Density Residential (MDR) / Planned Development 4 units per acre (PD-4)
Southwest	Vacant	Retail Commercial (RC) / Planned Development Commercial (PD-C)

Environmental Determination

The project is exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines. Pursuant to CEQA Guidelines Section 15060 (c)(2), the activity (project) is not subject to CEQA if the activity will not result in a direct or reasonably foreseeable indirect physical change in the environment. In addition, the project is categorically exempt from CEQA pursuant to Section 15301 – Existing Facilities. For a more in-depth discussion of the environmental evaluation and conclusion, please refer to the Notice of Exemption attached to the Resolution approving said exemption.

General Plan and Zoning Compliance

The property is zoned Planned Development Commercial (PD-C) and the underlying General Plan designation is Retail Commercial (RC). The proposed senior community (independent and assisted living care facility) is considered acceptable upon approval of a conditional use permit. Staff reviewed the proposed project and found that it is consistent with both the Zoning Ordinance and General Plan.

Use Permit (U-2013-03) / Compatibility with Adjoining Land Uses

The proposed project would convert the interior of the existing approximately 49,250 square foot hotel and associated grounds from a hotel to a senior independent and assisted living facility. No changes are to be made to the exterior of the building or to the grounds; therefore a Design Review entitlement is not necessary. See Attachment 1 to the staff report for photographs of the existing hotel. The main two-story portion of the building would house a lobby and common areas, operational and administrative spaces, and 67 living units. The existing restaurant area would be converted to a lobby, library, great room, and dining room with operational areas beyond the existing kitchen. The facility includes the use of the existing swimming pool and outdoor landscape and activity areas for residents and their guests.

In a Planned Development Commercial zone, a community/residential care facility is considered a permitted use subject to the approval of a conditional use permit. Staff

*Planning Commission Staff Report
Re: Rocklin Park Senior Living
December 3, 2013
Page 4*

analyzed the proposed facility and found that, with the recommended conditions of approval, its operation will be compatible with existing adjacent uses and the zoning of surrounding vacant properties. Existing surrounding land uses include single family to the east, southeast, and south. The senior living facility is considered to be a less intense use than the existing hotel.

To ensure that the facility does not generate an excessive number of Emergency Medical Aid service calls and/or that the facility would reimburse the City for excessive calls for service should they occur, the draft resolution also contains an excessive emergency response condition that is similar to conditions that have been placed on other senior care facilities such as Sunrise Senior Living and more recently, Bella Vida Senior Citizen Independent Living Complex approved by City Council on May 14, 2013.

Parking

The City of Rocklin's Zoning Ordinance contains off-street parking standards for various types of development but does not include a standard for age-restricted apartments. The standard parking requirements for apartments require 1.5 spaces per one bedroom unit plus 25% visitor spaces, and 2.0 spaces per two or more bedroom units plus 25% visitor spaces. Historically, age-restricted projects like Villa Serena at Park Drive, Sunrise Assisted Living on Sierra College Boulevard, and most recently, Bella Vida on Pacific Street requested and had approved parking ratios that are less than the City standard for apartments. The Villa Serena project used a parking ratio of 1.17 spaces per unit; Sunrise Assisted Living was approved with 0.50 space per bed (which equates to 0.61 spaces per unit); and the Bella Vida project was approved with a parking ratio of 0.75 spaces per unit.

The project provides a total of 168 existing parking spaces: 162 standard and 6 ADA accessible, for the 67 unit facility, which equates to a 2.5 space per unit parking ratio. If all units were to have double occupancy, which is unlikely, the facility would house 134 residents. At 134 beds, the parking ratio is 1.25 spaces per bed. Because the facility was designed originally as a hotel, the project has more parking than has typically been provided and approved for other senior projects.

In addition, the facility will provide a shuttle van seven days a week for local trips. Placer County Dial-a-Ride is also available and offers curb to curb service Monday through Saturday.

Signage

It is staff's understanding that the applicant intends to utilize the existing freestanding and monument signs on the property and that only a copy change is proposed. Such copy changes are allowed under the current sign ordinance without a sign permit.

Planning Commission Staff Report
Re: Rocklin Park Senior Living
December 3, 2013
Page 5

Based on the analysis presented above, Staff recommends that the Planning Commission approve the proposed entitlements for the Rocklin Park Senior Living project as presented and conditioned.

Attachment 1 – Photographs of Existing Rocklin Park Hotel

Prepared by Dara Dungworth, Associate Planner

DD/
P:\PUBLIC PLANNING FILES\Dara__Sunset West Lot 2A\Rocklin Park Senior Living SR (U-2013-03) - final .doc

RESOLUTION NO. PC-2013-65

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN APPROVING A
CONDITIONAL USE PERMIT TO ALLOW THE CONVERSION OF THE ROCKLIN PARK HOTEL
INTO AND FOR THE OPERATION OF A SENIOR LIVING FACILITY IN A PD-C ZONE

(Rocklin Park Senior Living / U-2013-03)

The Planning Commission of the City of Rocklin does resolve as follows:

Section 1. The Planning Commission of the City of Rocklin finds and determines that:

A. Conditional Use Permit U-2013-03) allows the conversion of an existing hotel and the operation of an approximately 67 unit / 49,250 square foot +/- independent and assisted living facility in the PD-C zone on an approximately 8.9 acre site located at 5450 China Garden Road, approximately 0.35 miles from the intersection of Aguilar Road and China Garden Road. Assessor's Parcel Number 045-110-067.

B. A Notice of Exemption has been approved for this project via Planning Commission Resolution No. PC-2013-64

C. The establishment, maintenance, and operation of the proposed uses and buildings or structures will not, under the circumstances of this particular case, be detrimental or injurious to the health, safety or general welfare of persons residing or working within the neighborhood of the proposed use, to property and improvements in the neighborhood, or to the general welfare of the City.

D. The establishment, operation, and maintenance of the uses and buildings or structures is consistent with the goals, policies, and land use designations in the General Plan and with all zoning standards, regulations, and restrictions applicable to the property.

Section 2. The conditional use permit for Rocklin Park Senior Living (U-2013-03) is hereby approved as depicted and further described in Exhibit A, attached hereto and by this reference incorporated herein, subject to the conditions listed below. Unless expressly stated otherwise, the applicant/developer shall be solely responsible for satisfying each condition and the conditions must be satisfied prior to issuance of the building permit, or issuance of certificate of occupancy as determined by the Economic and Community Development Director. The agency and/or City department(s) responsible for ensuring implementation of each condition is indicated in parenthesis with each condition.

A. Notice to Applicant of Fees & Exaction Appeal Period

The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code §66020(d), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations, and other exactions.

The applicant is hereby notified that the 90-day protest period, commencing from the date of approval of the project, has begun. If the applicant fails to file a protest regarding any of the fees, dedication requirements, reservation requirements or other exaction contained in this notice, complying with all the requirements of Government Code §66020, the applicant will be legally barred from later challenging such exactions.

B. Conditions

1. Maintenance

- a. The property owner shall remove within 72 hours all graffiti placed on any fence, wall, existing building, paved area or structure on the property consistent with the provisions of Rocklin Municipal Code Section 9.32. Prior to removal of said graffiti, the property owner shall report the graffiti vandalism to the Rocklin Police Department. (PLANNING, POLICE)
- b. The project, including but not limited to paving, landscaping, structures, and improvements shall be maintained by the property owners, to the standard of similarly situated properties in equivalent use zones, to the satisfaction of the Economic and Community Development Director. (PLANNING)
- c. The outdoor activity/recreation areas shall be maintained free of trash and any other debris, to the satisfaction of the Economic and Community Development Director. (PLANNING)

2. Excessive Emergency Response

To minimize impacts to City emergency responders, the care facility operators shall, prior to issuance of a certificate of occupancy for the building, meet with the City to discuss appropriate response levels and strategies to eliminate excessive calls for service. If at any time it is determined that excessive calls for service are occurring, appropriate cost reimbursement to the City will be implemented. Costs to be charged for excessive calls for service shall be the costs reasonably borne as set forth in Rocklin Municipal Code Section 3.32.040.

Excessive calls for service are those calls for non-medical emergencies commonly known as “lift assist” or “pick up and put back” calls.

To avoid charges for excessive calls for service, it is recommended that care facilities have qualified medical personnel on site that can determine if a medical emergency exist, or if it is simply a “lift assist” or “pick up and put back” call. If a medical emergency exists, a 9-1-1 call shall be placed to the dispatch center and first responders will respond to provide emergency medical care and treatment. If the situation is determined to be a “lift assist” or “pick up and put back” where there is no perceived injury, the facility shall have trained personnel on site to provide appropriate assistance to its resident. (BUILDING, FIRE)

3. Shuttle Service for Residents

The facility operator shall provide ongoing regularly scheduled shuttle service for the benefit of the facility’s residents to the satisfaction of the Economic and Community Development Director. (PLANNING)

4. Exterior Lighting

The applicant shall work with staff to ensure that adverse glare on adjacent properties from all exterior light fixtures is reduced, to the satisfaction of the Economic and Community Development Director. Exterior lights, including but not limited to the balcony porch lights, shall be modified (e.g. shielded or by other method) as needed to be down-lit such that all light is projected directly toward the ground. (PLANNING)

5. Validity

This entitlement shall expire two years from the date of approval unless prior to that date a building permit has been issued or a time extension has been granted. (PLANNING)

PASSED AND ADOPTED this 3rd day of December, 2013, by the following roll call vote:

AYES: Commissioners: Whitmore, McKenzie, Martinez

NOES: Commissioners: None

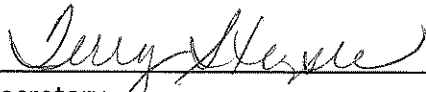
ABSENT: Commissioners: Shirhall, Coleman

ABSTAIN: Commissioners: None



Pierre Martinez, Chairperson

ATTEST:



Secretary

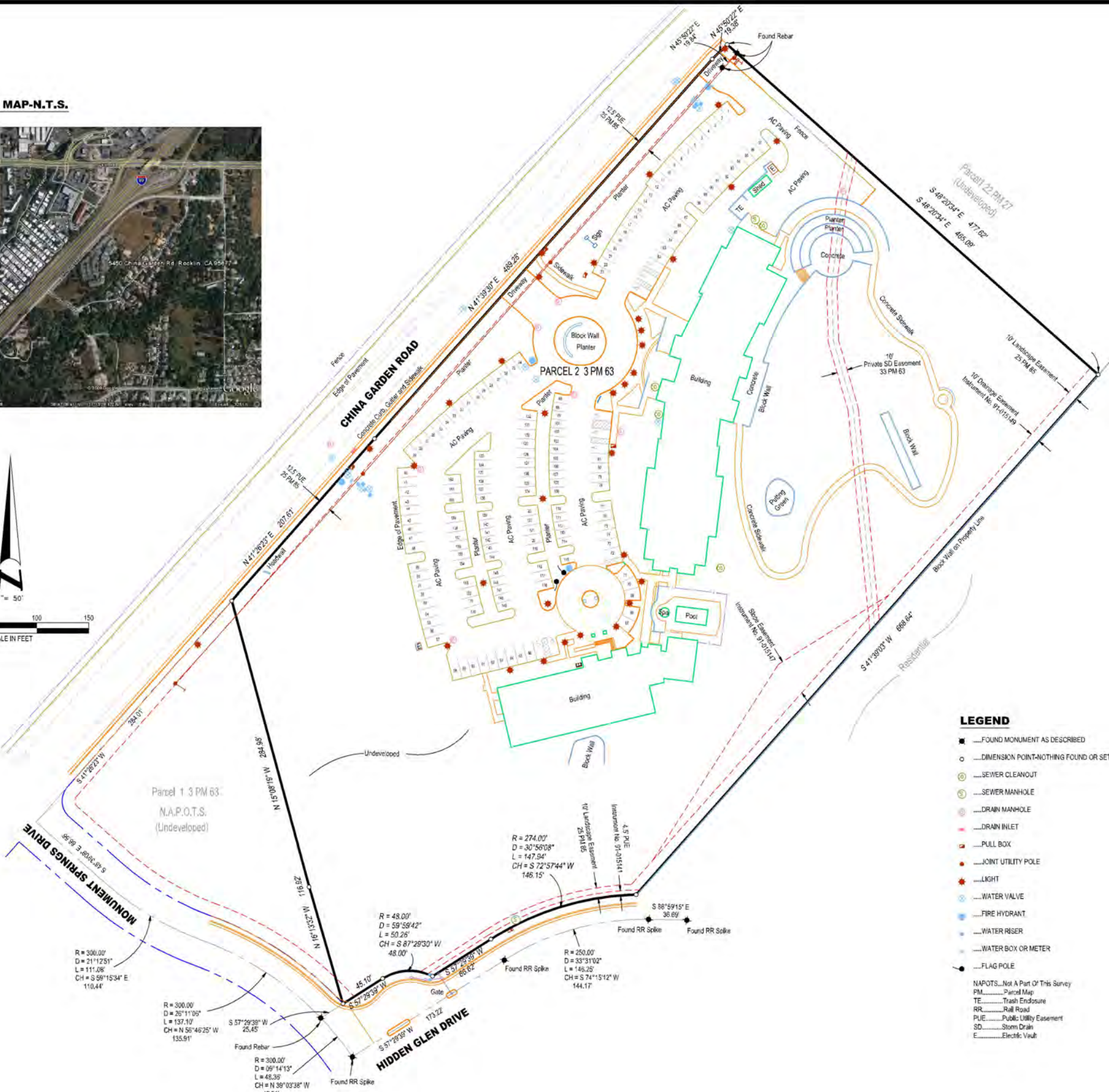
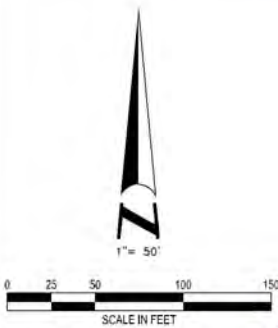
P:\PUBLIC PLANNING FILES\Dara__Rocklin Park Senior Living\Rocklin Park Senior Living PC reso (U-2013-03) -PC COA.doc

EXHIBIT A

Conditional Use Permit
(U-2013-03)

Available at the Economic and Community Development Department, Planning Division

VICINITY MAP-N.T.S.



- LEGEND**
- FOUND MONUMENT AS DESCRIBED
 - — DIMENSION POINT—NOTHING FOUND OR SET
 - SEWER CLEANOUT
 - SEWER MANHOLE
 - DRAIN MANHOLE
 - DRAIN INLET
 - PULL BOX
 - JOINT UTILITY POLE
 - LIGHT
 - WATER VALVE
 - FIRE HYDRANT
 - WATER RISER
 - WATER BOX OR METER
 - FLAG POLE
 - N.A.P.O.T.S.—Not A Part of This Survey
 - PM.—Parcel Map
 - TE.—Trash Enclosure
 - RR.—Rail Road
 - P.U.E.—Public Utility Easement
 - SD.—Storm Drain
 - E.—Electric Vault

ALTA/ACSM LAND TITLE SURVEY

DESCRIPTION

Parcel One:
Parcel Two, AS SHOWN ON THAT CERTAIN PARCEL MAP ENTITLED "ROCKLIN PARK HOTEL", FILED FOR RECORD NOVEMBER 16, 2006 IN BOOK 33 OF PARCEL MAPS, PAGE 63, PLACER COUNTY RECORDS.
Parcel Two:
NON-EXCLUSIVE EASEMENTS FOR VEHICULAR AND PEDESTRIAN INGRESS, EGRESS AND ACCESS AND VEHICULAR PARKING AS CREATED IN THAT CERTAIN "DECLARATION OF RECIPROCAL EASEMENTS APPURTENANT AND RESTRICTIONS" EXECUTED BY ROCKLIN PARK HOTEL LLC, A CALIFORNIA LIMITED LIABILITY COMPANY, RECORDED NOVEMBER 16, 2006 AS INSTRUMENT NO. 2006-0123899-00, PLZCER COUNTY RECORDS.

NOTES

THIS MAP WAS PREPARED IN ACCORDANCE WITH FIRST AMERICAN TITLE COMPANY TITLE INSURANCE COMPANY REPORT NO. NCS-419835-H01, DATED NOVEMBER 10, 2009, AND DEPICTS THE REAL PROPERTY AND PLOTTABLE ENCUMBRANCES DESCRIBED THEREIN. ITEMS PERTAINING TO TAXES, FINANCING, LIENS AND OTHER INTANGIBLE TITLE MATTERS ARE BEYOND THE SCOPE OF THIS SURVEY AND ARE NOT REPRESENTED HEREON.
BASIS OF BEARINGS: THE CENTERLINE OF HIDDEN GLENN DRIVE, AS SHOWN ON THAT CERTAIN PARCEL MAP ENTITLED "SECRET RAVINE ESTATES, RECORDED IN BOOK 6, PAGE 51, TAKEN AS N 57°29'39" E, AND WAS ESTABLISHED FROM FOUND MONUMENTS SHOWN HEREON.
STREET ADDRESS: 5450 CHINA GARDEN ROAD, ROCKLIN, CA
ASSESSOR'S PARCEL NUMBER: 045-110-067-000
LAND AREA: 389,862 SQUARE FEET, OR 8.95 ACRES.
ZONING: PD-C(Planned Development Commercial)
SETBACKS: Front-S, Rear-10', Interior Side-None, Street Side 10'
FLOOD ZONE: "X"-Community Parcel No. 06061C0477 G-Dated: November 21, 2001
PARKING SPACES: 152 REGULAR SPACES AND 6 HANDICAP PARKING SPACES
SOME UNDERGROUND UTILITY INFORMATION SHOWN HEREON MAY HAVE BEEN OBTAINED FROM OUTSIDE SOURCES. MORROW SURVEYING MAKES NO WARRANTY ON THE RELIABILITY OF SAID INFORMATION.
ZONING AND SETBACK INFORMATION SHOWN HEREON WAS PROVIDED BY THE APPLICABLE PUBLIC AGENCY, AND PERTAIN TO CURRENT REGULATIONS ONLY. SAID REGULATIONS WERE NOT NECESSARILY IN FORCE AT THE TIME OF CONSTRUCTION OF THE FACILITY SHOWN HEREON.
THE PROPERTY SHOWN AND DEPICTED HEREON IS SUBJECT TO THE TERMS AND CONDITIONS SET FORTH IN THE FOLLOWING RECORD DOCUMENTS. (REFER TO COMPLETE DOCUMENT FOR FULL DETAILS):
9) AN EASEMENT TO BUILD, CONSTRUCT, RECONSTRUCT AND TO OPERATE AND MAINTAIN PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED MARCH 21, 1991 AS INSTRUMENT NO. 91-015141 OF OFFICIAL RECORDS. SHOWN HEREON.
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11) AN EASEMENT FOR DRAINAGE AND INCIDENTAL PURPOSES, RECORDED MARCH 21, 1991 AS INSTRUMENT NO. 91-015149 OF OFFICIAL RECORDS. SHOWN HEREON.
15) P.U.E AND PRIVATE STORM DRAIN EASEMENT PER MAP RECORDED NOVEMBER 16, 2006 IN BOOK 33, PAGE 63 OF PARCEL MAPS. SHOWN HEREON.
17) DECLARATION OF RECIPROCAL EASEMENT AND RESTRICTIONS PER INSTRUMENT NO. 2006-123899 OF OFFICIAL RECORDS. BLANKET IN NATURE.

SURVEYOR'S CERTIFICATION*

TO COMM 2005-C8 China Garden Road Limited Partnership, a Delaware Limited Partnership, AND First American Title Company:
THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS", JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2005, AND INCLUDES ITEMS 2, 3, 4, 5, 6, 8, 9, 10, 11A, AND 16 OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA, THE RELATIVE POSITIONAL ACCURACY OF THE SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED HEREON.

DATE:

MATT D. MORROW L.S. 6501

APPROVED

Laura Webster

U-2013-03 Exhibit A





A-2

SKL

www.sskinc.com

SKL Associates, Inc.

Y 923.6662711

3015 Willow Park Road, Ste 301
Concord, CA 94519

USE-PERMIT

MARK	DATE	DESCRIPTION
------	------	-------------

PROJECT NO: 3009

MODEL FILE: E:\...

DRAWN BY:

CHK'D BY:

DATE: 01/27/2008

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OF UNILAB, INC.

RESOLUTION NO. PC-2016-

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN APPROVING A
ONE-YEAR TIME EXTENSION FOR CONDITIONAL USE PERMIT, U-2013-03, (PC-2013-65)
TO ALLOW THE CONVERSION OF THE ROCKLIN PARK HOTEL FOR THE OPERATION OF A
SENIOR LIVING FACILITY

(Rocklin Park Senior Living Time Extension / U2016-0001)

The Planning Commission of the City of Rocklin does resolve as follows:

Section 1. The Planning Commission of the City of Rocklin finds and determines that:

A. Conditional Use Permit (U-2013-03), approved via Planning Commission Resolution No. PC-2013-65, allows for the conversion of an existing hotel and the operation of an approximately 67-unit / 49,250-square-foot independent and assisted living facility in the PD-C zone on an approximately 8.9 acre site located at 5450 China Garden Road, approximately 0.35 miles from the intersection of Aguilar Road and China Garden Road. Assessor's Parcel Number 045-110-067.

B. A Notice of Exemption has been approved for this project via Planning Commission Resolution No. PC-2013-64.

C. The establishment, maintenance, and operation of the proposed uses and buildings or structures will not, under the circumstances of this particular case, be detrimental or injurious to the health, safety or general welfare of persons residing or working within the neighborhood of the proposed use, to property and improvements in the neighborhood, or to the general welfare of the City.

D. The establishment, operation, and maintenance of the uses and buildings or structures is consistent with the goals, policies, and land use designations in the General Plan and with all zoning standards, regulations, and restrictions applicable to the property.

Section 2. The one-year extension of time for the Rocklin Park Senior Living conditional use permit (U-2016-0001 / PC-2013-65), as depicted and further described in Exhibit A, attached hereto and by this reference incorporated herein, is hereby approved subject to the terms and conditions in the previous approval. Unless expressly stated otherwise, the applicant/developer shall be solely responsible for satisfying each condition and the conditions must be satisfied prior to issuance of the building permit, or issuance of certificate of occupancy as determined by the Economic and Community Development Director. The agency and/or City department(s)

responsible for ensuring implementation of each condition is indicated in parenthesis with each condition.

A. Notice to Applicant of Fees & Exaction Appeal Period

The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code §66020(d), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations, and other exactions.

The applicant is hereby notified that the 90-day protest period, commencing from the date of approval of the project, has begun. If the applicant fails to file a protest regarding any of the fees, dedication requirements, reservation requirements or other exaction contained in this notice, complying with all the requirements of Government Code §66020, the applicant will be legally barred from later challenging such exactions.

B. Conditions

1. Validity

This entitlement (U-2016-0001 / PC-2013-65) shall expire one year from the date of approval unless prior to that date a building permit has been issued or a time extension has been granted. (PLANNING)

PASSED AND ADOPTED this 2nd day of February, 2016, by the following roll call vote:

AYES: Commissioners:
 NOES: Commissioners:
 ABSENT: Commissioners:
 ABSTAIN: Commissioners:

 Gregg McKenzie, Chairperson

ATTEST:

 Secretary

P:\PUBLIC PLANNING FILES__ PROJECT FILES\Rocklin Park Senior Living Time Extension\Meeting Packets\RESO
 Rocklin Park Senior Living Time Extension.docx

EXHIBIT A

Available at the Economic and Community Development Department, Planning Division

RESOLUTION NO. PC-2013-65

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN APPROVING A
CONDITIONAL USE PERMIT TO ALLOW THE CONVERSION OF THE ROCKLIN PARK HOTEL
INTO AND FOR THE OPERATION OF A SENIOR LIVING FACILITY IN A PD-C ZONE

(Rocklin Park Senior Living / U-2013-03)

The Planning Commission of the City of Rocklin does resolve as follows:

Section 1. The Planning Commission of the City of Rocklin finds and determines that:

A. Conditional Use Permit U-2013-03) allows the conversion of an existing hotel and the operation of an approximately 67 unit / 49,250 square foot +/- independent and assisted living facility in the PD-C zone on an approximately 8.9 acre site located at 5450 China Garden Road, approximately 0.35 miles from the intersection of Aguilar Road and China Garden Road. Assessor's Parcel Number 045-110-067.

B. A Notice of Exemption has been approved for this project via Planning Commission Resolution No. PC-2013-64

C. The establishment, maintenance, and operation of the proposed uses and buildings or structures will not, under the circumstances of this particular case, be detrimental or injurious to the health, safety or general welfare of persons residing or working within the neighborhood of the proposed use, to property and improvements in the neighborhood, or to the general welfare of the City.

D. The establishment, operation, and maintenance of the uses and buildings or structures is consistent with the goals, policies, and land use designations in the General Plan and with all zoning standards, regulations, and restrictions applicable to the property.

Section 2. The conditional use permit for Rocklin Park Senior Living (U-2013-03) is hereby approved as depicted and further described in Exhibit A, attached hereto and by this reference incorporated herein, subject to the conditions listed below. Unless expressly stated otherwise, the applicant/developer shall be solely responsible for satisfying each condition and the conditions must be satisfied prior to issuance of the building permit, or issuance of certificate of occupancy as determined by the Economic and Community Development Director. The agency and/or City department(s) responsible for ensuring implementation of each condition is indicated in parenthesis with each condition.

A. Notice to Applicant of Fees & Exaction Appeal Period

The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code §66020(d), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations, and other exactions.

The applicant is hereby notified that the 90-day protest period, commencing from the date of approval of the project, has begun. If the applicant fails to file a protest regarding any of the fees, dedication requirements, reservation requirements or other exaction contained in this notice, complying with all the requirements of Government Code §66020, the applicant will be legally barred from later challenging such exactions.

B. Conditions

1. Maintenance

- a. The property owner shall remove within 72 hours all graffiti placed on any fence, wall, existing building, paved area or structure on the property consistent with the provisions of Rocklin Municipal Code Section 9.32. Prior to removal of said graffiti, the property owner shall report the graffiti vandalism to the Rocklin Police Department. (PLANNING, POLICE)
- b. The project, including but not limited to paving, landscaping, structures, and improvements shall be maintained by the property owners, to the standard of similarly situated properties in equivalent use zones, to the satisfaction of the Economic and Community Development Director. (PLANNING)
- c. The outdoor activity/recreation areas shall be maintained free of trash and any other debris, to the satisfaction of the Economic and Community Development Director. (PLANNING)

2. Excessive Emergency Response

To minimize impacts to City emergency responders, the care facility operators shall, prior to issuance of a certificate of occupancy for the building, meet with the City to discuss appropriate response levels and strategies to eliminate excessive calls for service. If at any time it is determined that excessive calls for service are occurring, appropriate cost reimbursement to the City will be implemented. Costs to be charged for excessive calls for service shall be the costs reasonably borne as set forth in Rocklin Municipal Code Section 3.32.040.

Excessive calls for service are those calls for non-medical emergencies commonly known as “lift assist” or “pick up and put back” calls.

To avoid charges for excessive calls for service, it is recommended that care facilities have qualified medical personnel on site that can determine if a medical emergency exist, or if it is simply a “lift assist” or “pick up and put back” call. If a medical emergency exists, a 9-1-1 call shall be placed to the dispatch center and first responders will respond to provide emergency medical care and treatment. If the situation is determined to be a “lift assist” or “pick up and put back” where there is no perceived injury, the facility shall have trained personnel on site to provide appropriate assistance to its resident. (BUILDING, FIRE)

3. Shuttle Service for Residents

The facility operator shall provide ongoing regularly scheduled shuttle service for the benefit of the facility’s residents to the satisfaction of the Economic and Community Development Director. (PLANNING)

4. Exterior Lighting

The applicant shall work with staff to ensure that adverse glare on adjacent properties from all exterior light fixtures is reduced, to the satisfaction of the Economic and Community Development Director. Exterior lights, including but not limited to the balcony porch lights, shall be modified (e.g. shielded or by other method) as needed to be down-lit such that all light is projected directly toward the ground. (PLANNING)

5. Validity

This entitlement shall expire two years from the date of approval unless prior to that date a building permit has been issued or a time extension has been granted. (PLANNING)

PASSED AND ADOPTED this 3rd day of December, 2013, by the following roll call vote:

AYES: Commissioners: Whitmore, McKenzie, Martinez

NOES: Commissioners: None

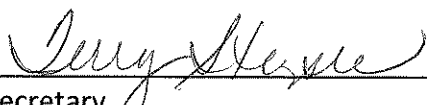
ABSENT: Commissioners: Shirhall, Coleman

ABSTAIN: Commissioners: None



Pierre Martinez, Chairperson

ATTEST:



Secretary

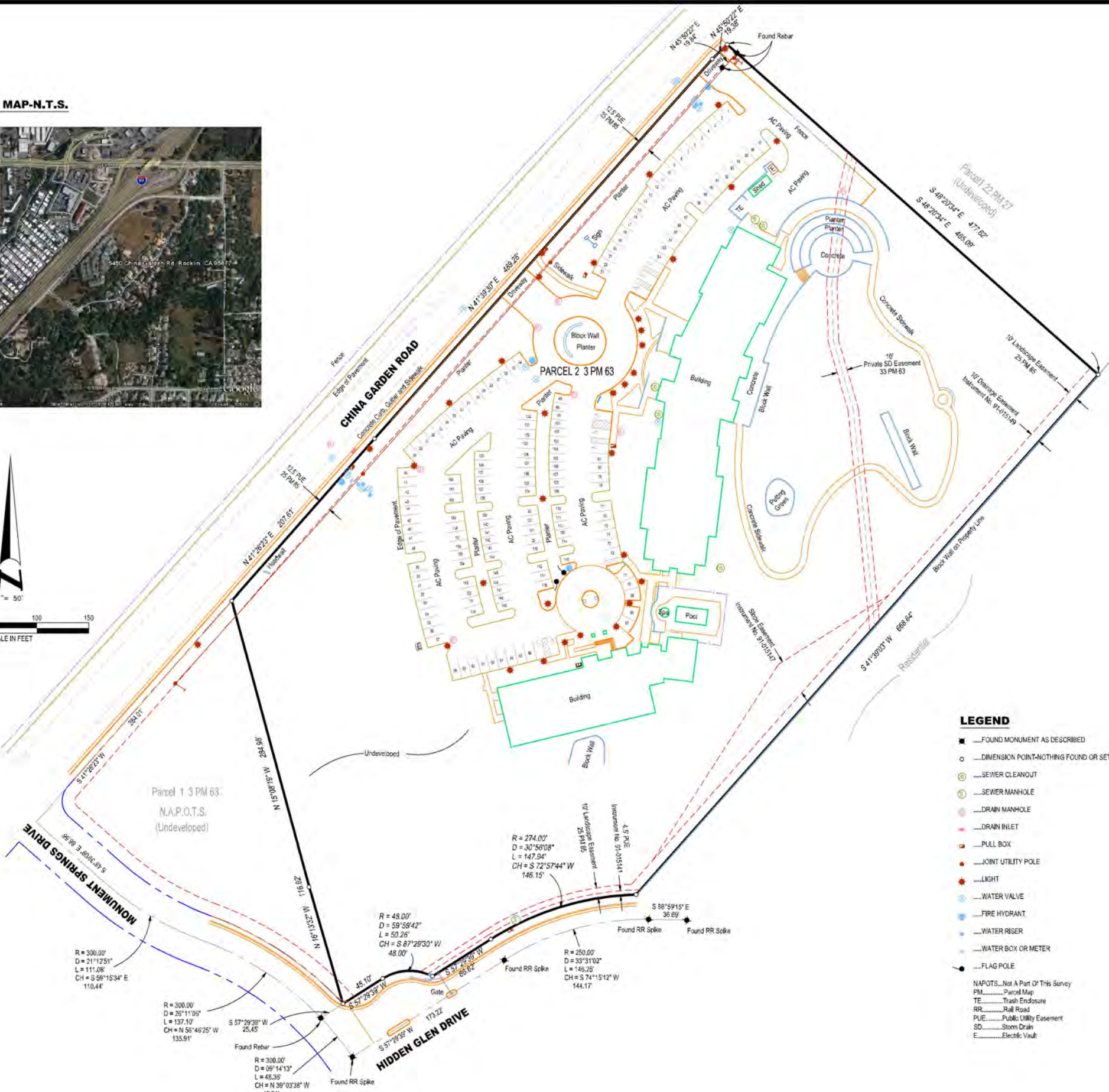
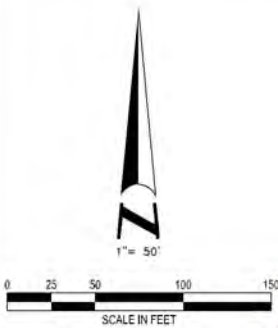
P:\PUBLIC PLANNING FILES\Dara__Rocklin Park Senior Living\Rocklin Park Senior Living PC reso (U-2013-03) -PC COA.doc

EXHIBIT A

Conditional Use Permit
(U-2013-03)

Available at the Economic and Community Development Department, Planning Division

VICINITY MAP-N.T.S.



ALTA/ACSM LAND TITLE SURVEY

DESCRIPTION

Parcel One:
Parcel Two, AS SHOWN ON THAT CERTAIN PARCEL MAP ENTITLED "ROCKLIN PARK HOTEL", FILED FOR RECORD NOVEMBER 16, 2006 IN BOOK 33 OF PARCEL MAPS, PAGE 63, PLACER COUNTY RECORDS.
Parcel Two:

NON-EXCLUSIVE EASEMENTS FOR VEHICULAR AND PEDESTRIAN INGRESS, EGRESS AND ACCESS AND VEHICULAR PARKING AS CREATED IN THAT CERTAIN "DECLARATION OF RECIPROCAL EASEMENTS APPURTENANT AND RESTRICTIONS" EXECUTED BY ROCKLIN PARK HOTEL LLC, A CALIFORNIA LIMITED LIABILITY COMPANY, RECORDED NOVEMBER 16, 2006 AS INSTRUMENT NO. 2006-0123899-00, PLZCER COUNTY RECORDS.

NOTES

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ASSESSOR'S PARCEL NUMBER: 045-110-067-000

LAND AREA: 389,862 SQUARE FEET, OR 8.95 ACRES.

ZONING: PD-C(Planned Development Commercial)

SETBACKS: Front-5', Rear-10', Interior Side-None, Street Side 10'

FLOOD ZONE: "X"-Community Parcel No. 06061C0477 G-Dated: November 21, 2001

PARKING SPACES: 152 REGULAR SPACES AND 6 HANDICAP PARKING SPACES

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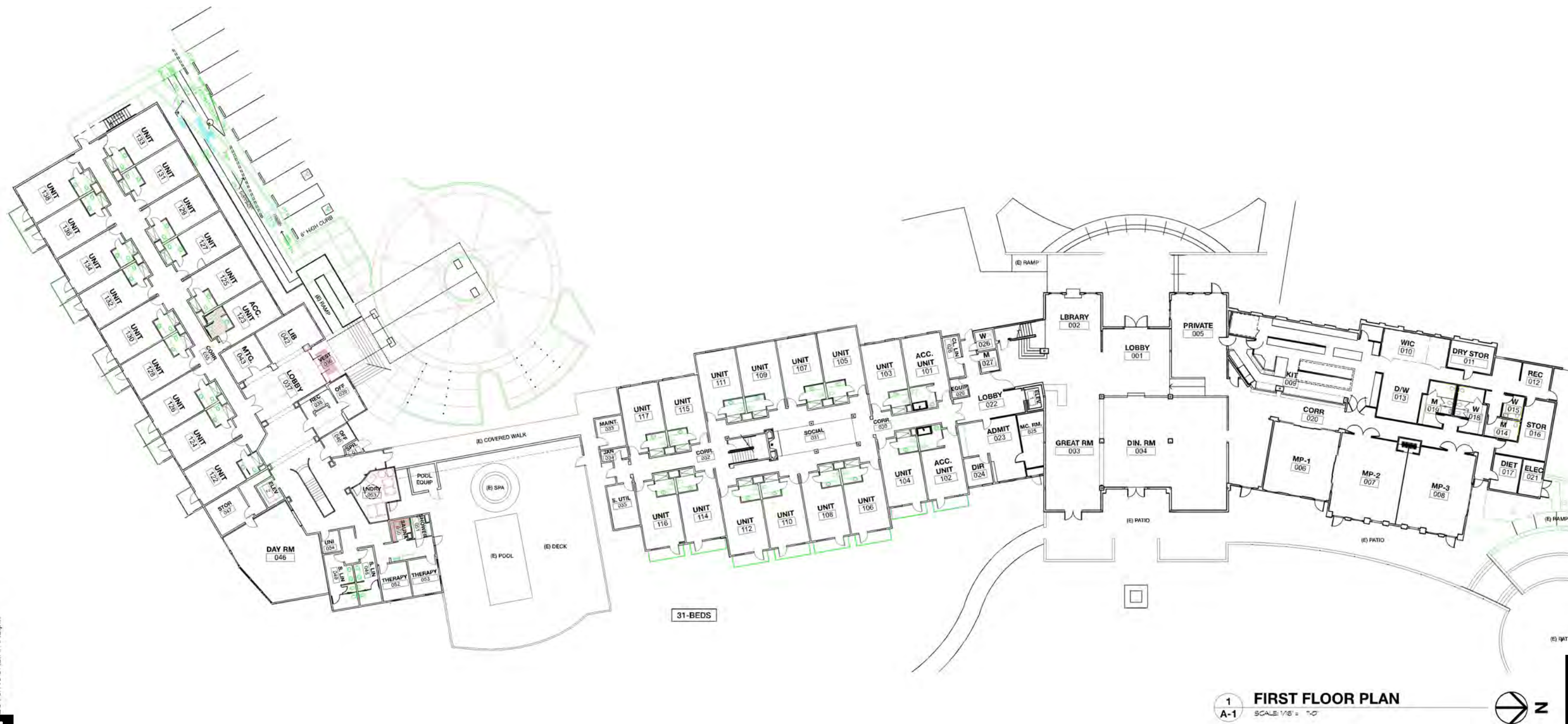
DATE:

MATT D. MORROW L.S. 6501

APPROVED

Laura Webster

U-2013-03 Exhibit A





1
A-2 **SECOND FLOOR PLAN**
SCALE: V/S = 1-0

**PROPOSED ASSISTED LIVING FACILITY**

5450 CHINA GARDEN ROAD
ROCKLIN, CA-95677



Architecture • Planning • Interiors

www.sklinc.com

SKL Associates, Inc.

1 (214) 662-2711

3015 Willow Park Road Ste 306
Camarco CA 94519

PRELIMINARY
SUBJECT TO CHANGE

USE-PERMIT

ISSUED FOR

MARK	DATE	DESCRIPTION
REVISION		

SECOND FLOOR PLAN

PROJECT NO:	2009
MODEL FILE:	RAL.ppt
DRAWN BY:	SRL
CHK'D BY:	
DATE:	02-2-2013

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 SRL

A-2



MEMORANDUM

TO: Interested Parties

FROM: Marc Mondell, Director

RE: Residential Landscape Templates

COMMENTS:

The enclosed landscape templates are meant to provide guidance for submitting residential landscape plans for new construction in compliance with the State's new Model Water Efficient Landscape Ordinance (MWELO) which is in effect as of December 1, 2015 (see link).

<http://www.water.ca.gov/wateruseefficiency/landscapeordinance/>

As indicated in the templates, the City strongly prefers natural turf solutions and provides direction in terms of irrigation methods to support turf but will accept alternatives in accord with the templates. Projects located within Whitney Ranch must comply with the Whitney Ranch Design Guidelines Manual and not the enclosed templates.

Artificial Turf

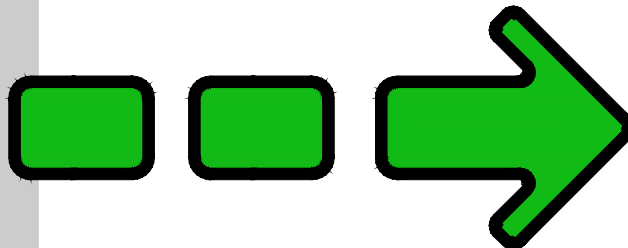
The City cannot prohibit artificial turf approaches to landscape design but discourages their consideration. Selection and installation of artificial turf materials and systems shall comply with the City's templates where possible and otherwise be in accord with the guidelines promulgated by the Synthetic Turf Council (see link):

<http://www.syntheticurfCouncil.org/>

Contact Sherry Palmer, Permit Services Supervisor (916) 625-5121 if you have any questions

FRONT YARD LANDSCAPE EXAMPLES

UNDESIRABLE



DESIRABLE



CITY OF ROCKLIN
CODES AND DESIGN GUIDELINES

TREE SETBACKS

- 6' DISTANCE FROM CONCRETE WALKS AND 7' HEIGHT CLEAR
- 10' DISTANCE FROM DRIVEWAYS/FIRE HYDRANTS
- 4' DISTANCE FROM UTILITIES

LANDSCAPE COVERAGE

- 75% PLANTING COVERAGE IS REQUIRED AT MATURITY.
- ONE TREE PER RESIDENTIAL LOT IS REQUIRED.

FRONT YARD LANDSCAPING DESIGN INTENT

- CREATE ATTRACTIVE STREETSCAPES AND INTEREST USING A VARIETY OF PLANT SIZES AND TEXTURES.
- CREATE SHADE, SOFTEN HARDSCAPES AND PROVIDE SEASONAL COLOR.
- REDUCE CREATION OF HEAT ISLANDS IN SUBURBAN ENVIRONMENTS.

TURF / GROUNDCOVER FOOTPRINT

	BOTANICAL NAME	COMMON NAME	WATER USE
TURF			
	FESTUCA	DWARF BONSAI BLEND	HIGH
GROUNDCOVERS			
	DYMONDIA MARGARETAE	DYMONDIA	LOW
	LIPPIA NODIFLORA 'KURAPIA'	CAPE WEED	LOW
BLENDED GRASSES FOR HILLSIDE CONDITIONS ONLY (NOT FOR USE IN STANDARD FRONT YARDS)			
	AGROSTIS PALLENS	BENTGRASS	LOW
	FESTUCA RUBRA	CREEPING RED FESCUE	MEDIUM
	KOELERIA MACRANTHA	JUNE GRASS	LOW
	NASSELLA CERNUA	NODDING NEEDLEGRASS	VERY LOW
	NASSELLA PULCHRA	PURPLE NEEDLEGRASS	VERY LOW

PLAN 1 - WATER USE

TYPICAL LANDSCAPE LOT SIZE = 800 S.F.

■ LOW WATER USE PLANTS WITH PRESSURE COMPENSATING DRIP IRRIGATION

■ HIGH WATER USE TURF WITH LOW FLOW STREAM ROTARY SPRAYS

WATER USE CALCULATION:

TOTAL LANDSCAPE AREA = 800 S.F. 100%

LOW WATER USE AREA (PLANT FACTOR 0.3) = 600 S.F. 75%

HIGH WATER USE AREA (PLANT FACTOR 0.8) = 200 S.F. 25%

MAXIMUM ALLOWED WATER ALLOWANCE (MAWA) = 14,240 GALLONS PER YEAR

■ ESTIMATED TOTAL WATER USE (ETWU) = 14,100 GALLONS PER YEAR = 99% OF MAWA

WATER USE CALCULATIONS

MAXIMUM ALLOWED WATER ALLOWANCE (MAWA)

$ET_o \times 0.62 \times (ETAF \times \text{LANDSCAPE AREA}) = \text{GALLONS PER YEAR}$

ET_o = REFERENCE EVAPOTRANSPIRATION (INCHES PER YEAR)
0.62 = CONVERSION FACTOR (TO GALLONS PER SQUARE FOOT)
ETAF = ET ADJUSTMENT FACTOR = 0.55 FOR RESIDENTIAL LANDSCAPES
LANDSCAPE AREA = SQUARE FEET

ESTIMATED TOTAL WATER USE (ETWU)

$ET_o \times 0.62 \times (ETAF \times \text{LANDSCAPE AREA}) = \text{GALLONS PER YEAR}$

ET_o = REFERENCE EVAPOTRANSPIRATION (INCHES PER YEAR)
0.62 = CONVERSION FACTOR (TO GALLONS PER SQUARE FOOT)
ETAF = ET ADJUSTMENT FACTOR = PLANT FACTOR / IRRIGATION EFFICIENCY
LANDSCAPE AREA = SQUARE FEET

WATER USE CALCULATION FACTORS

ANNUAL EVAPOTRANSPIRATION (ET_o) RATE:
52.2 = CITY OF ROCKLIN

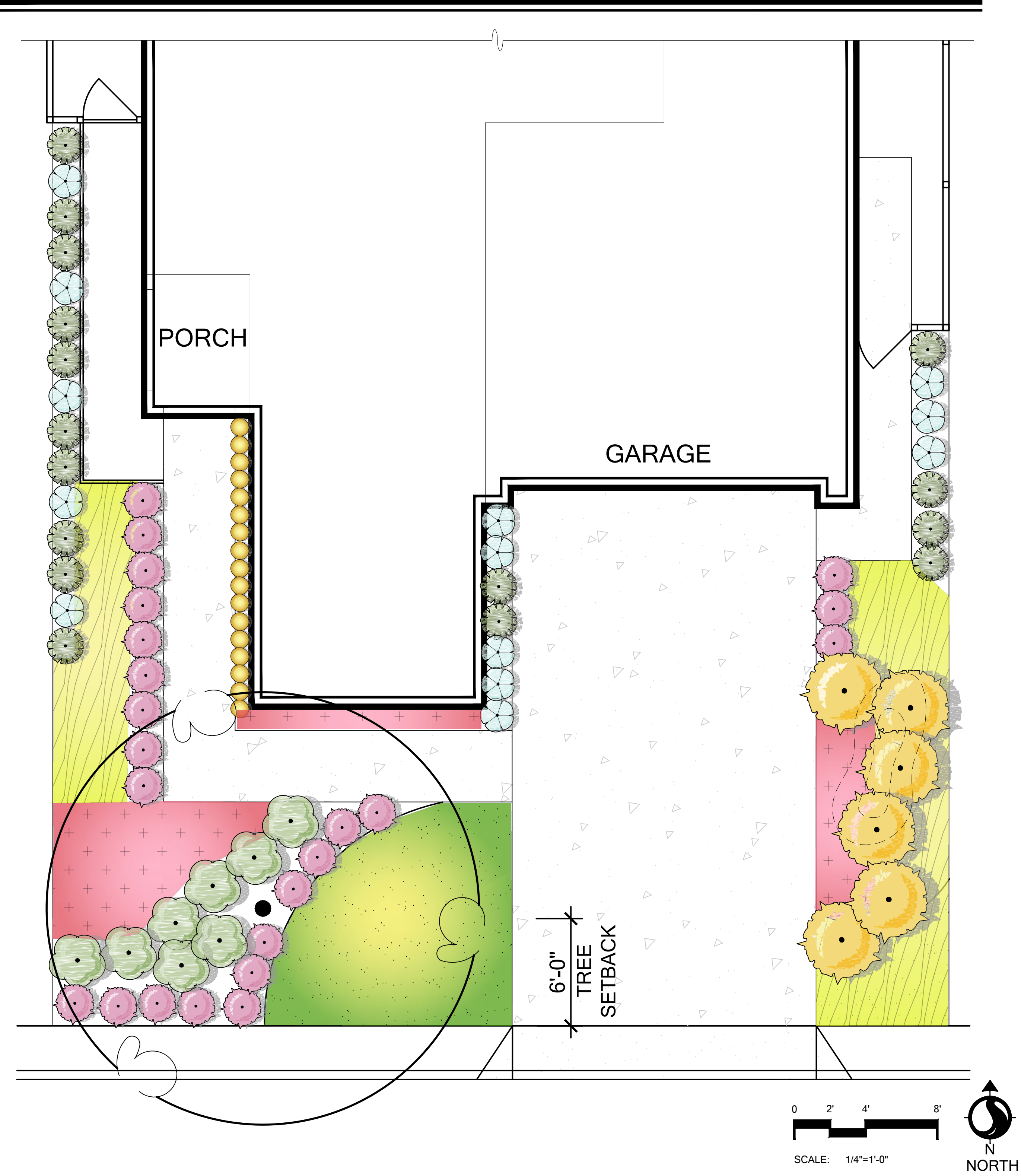
REGION: ROCKLIN = WUCOLS CENTRAL VALLEY

IRRIGATION EFFICIENCY: 0.81 = PRESSURE COMPENSATING DRIP
0.75 = STREAM ROTARY SPRAYS

PLANT FACTOR*: 0.0 to 0.1 = VERY LOW WATER USE
0.1 to 0.3 = LOW WATER USE
0.4 to 0.6 = MEDIUM WATER USE
0.7 to 1.0 = HIGH WATER USE

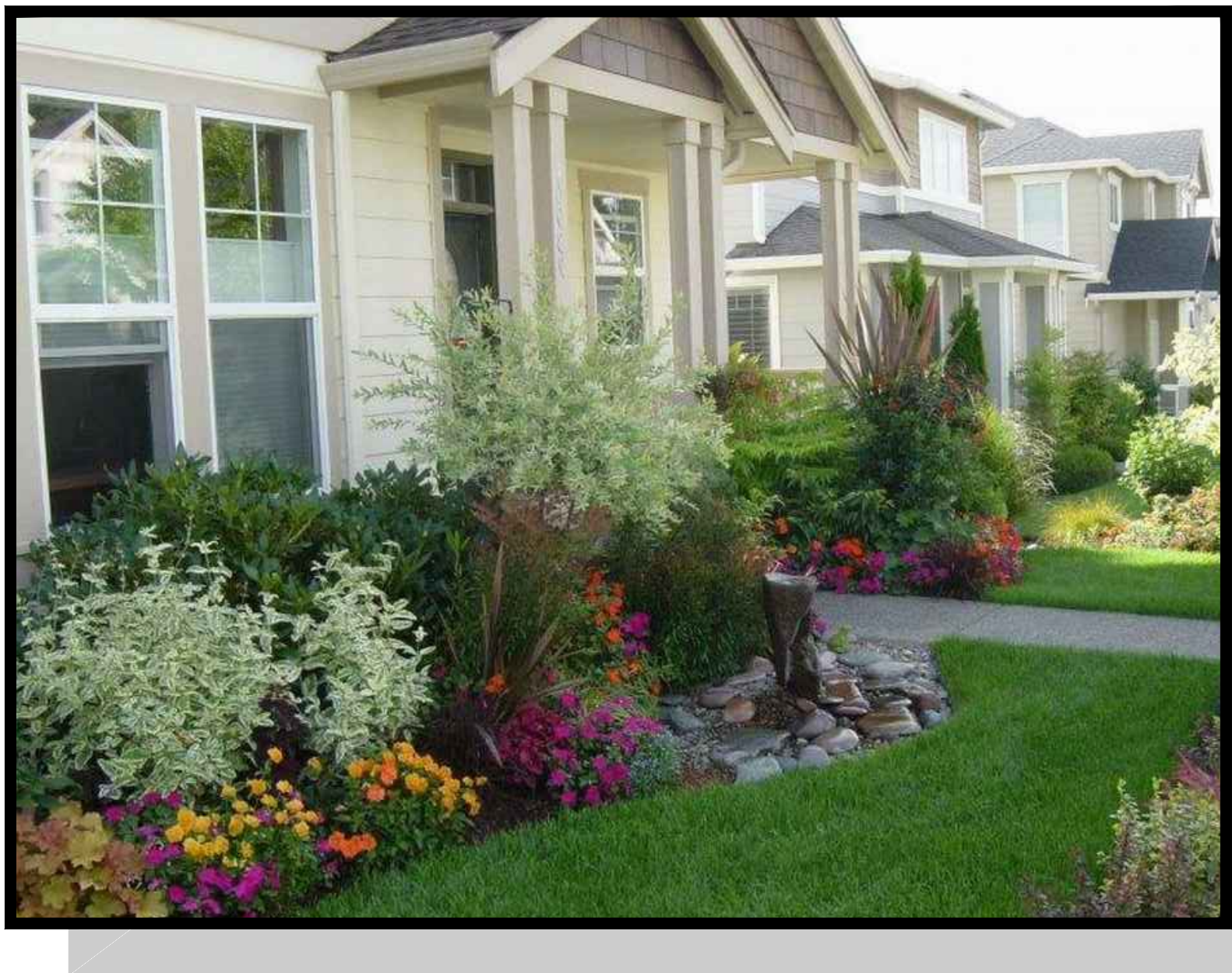
*FOR THE PURPOSES OF DEVELOPING WATER USE OPTIONS, THE HIGHEST PLANT FACTOR HAS BEEN SELECTED FOR SHRUBS, TREES AND GROUNDCOVER. A PLANT FACTOR OF 0.8 HAS BEEN SELECTED FOR TURF (BONSAI FESCUE BLEND). FINAL PLANT SELECTION MAY AFFECT CALCULATION AND WATER USE OUTCOME.

PLAN



LEGEND

SYMBOL	DESCRIPTION	WATER USE
	TREE	LOW
	3' - 4' TALL SHRUB	LOW
	2' - 3' TALL SHRUB	LOW
	12"-18" TALL ACCENT SHRUB	LOW
	FLOWERING GROUNDCOVER	LOW
	EVERGREEN GROUNDCOVER	LOW
	TURF / SOD	HIGH
	HEADER	
	WOOD FENCE AND GATE	
	CONCRETE	



PLAN 2 - WATER USE

TYPICAL LANDSCAPE LOT SIZE = 800 S.F.

■ LOW WATER USE PLANTS WITH PRESSURE COMPENSATING DRIP IRRIGATION

■ HIGH WATER USE TURF WITH LOW FLOW STREAM ROTARY SPRAYS

WATER USE CALCULATION:

TOTAL LANDSCAPE AREA = 800 S.F. 100%

LOW WATER USE AREA (PLANT FACTOR 0.3) = 600 S.F. 75%

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ESTIMATED TOTAL WATER USE (ETWU)

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ANNUAL EVAPOTRANSPIRATION (ET_o) RATE:
52.2 = CITY OF ROCKLIN

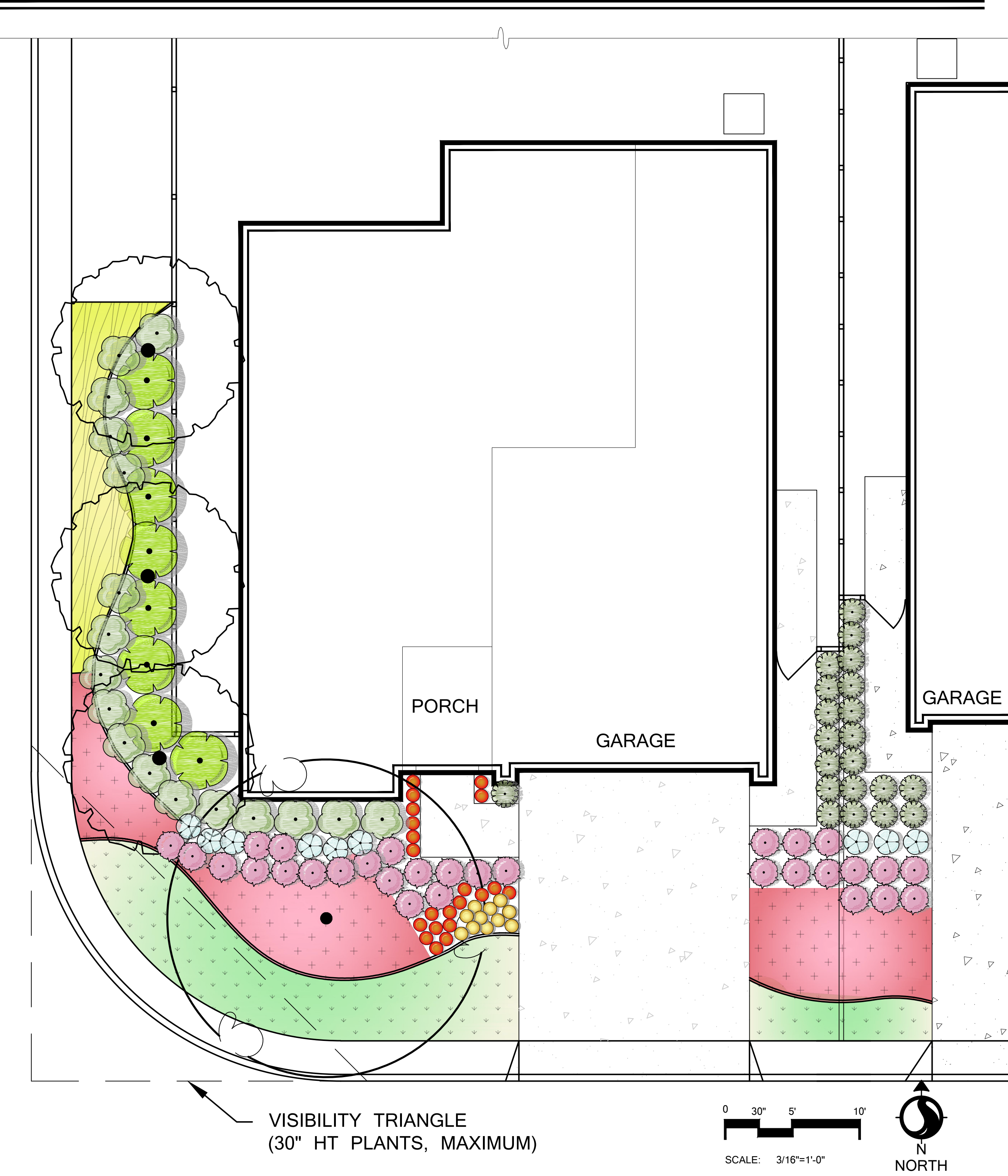
REGION: ROCKLIN = WUCOLS CENTRAL VALLEY

IRRIGATION EFFICIENCY: 0.81 = PRESSURE COMPENSATING DRIP
0.75 = STREAM ROTARY SPRAYS

PLANT FACTOR*: 0.0 to 0.1 = VERY LOW WATER USE
0.1 to 0.3 = LOW WATER USE
0.4 to 0.6 = MEDIUM WATER USE
0.7 to 1.0 = HIGH WATER USE

*FOR THE PURPOSES OF DEVELOPING WATER USE OPTIONS, THE HIGHEST PLANT FACTOR HAS BEEN SELECTED. FINAL PLANT SELECTION MAY AFFECT CALCULATION AND WATER USE OUTCOME.

PLAN



LEGEND

SYMBOL	DESCRIPTION	WATER USE
	TREE	LOW
	SMALL ACCENT TREE	LOW
	4' - 5' TALL SHRUB	LOW
	3' - 4' TALL SHRUB	LOW
	12"-18" TALL ACCENT SHRUB	LOW
	FLOWERING GROUNDCOVER	LOW
	EVERGREEN GROUNDCOVER	LOW
	TURF / SOD	HIGH
	HEADER	
	WOOD FENCE AND GATE	
	CONCRETE	

UNDESIRABLE



DESIRABLE



PLAN 3 - WATER USE

TYPICAL LANDSCAPE LOT SIZE = 800 S.F.

■ LOW WATER USE PLANTS WITH PRESSURE COMPENSATING DRIP IRRIGATION

■ MEDIUM WATER USE PLANTS WITH LOW FLOW STREAM ROTARY SPRAYS

WATER USE CALCULATION:

TOTAL LANDSCAPE AREA = 800 S.F. 100%

LOW WATER USE AREA (PLANT FACTOR 0.3) = 475 S.F. 60%

MEDIUM WATER USE AREA (PLANT FACTOR 0.6) = 325 S.F. 40%

MAXIMUM ALLOWED WATER ALLOWANCE (MAWA) = 14,240 GALLONS PER YEAR

■ ESTIMATED TOTAL WATER USE (ETWU) = 14,100 GALLONS PER YEAR = 99% OF MAWA

WATER USE CALCULATIONS

MAXIMUM ALLOWED WATER ALLOWANCE (MAWA)

$ET_o \times 0.62 \times (ETAF \times \text{LANDSCAPE AREA}) = \text{GALLONS PER YEAR}$

ET_o = REFERENCE EVAPOTRANSPIRATION (INCHES PER YEAR)
0.62 = CONVERSION FACTOR (TO GALLONS PER SQUARE FOOT)
ETAF = ET ADJUSTMENT FACTOR = 0.55 FOR RESIDENTIAL LANDSCAPES
LANDSCAPE AREA = SQUARE FEET

ESTIMATED TOTAL WATER USE (ETWU)

$ET_o \times 0.62 \times (ETAF \times \text{LANDSCAPE AREA}) = \text{GALLONS PER YEAR}$

ET_o = REFERENCE EVAPOTRANSPIRATION (INCHES PER YEAR)
0.62 = CONVERSION FACTOR (TO GALLONS PER SQUARE FOOT)
ETAF = ET ADJUSTMENT FACTOR = PLANT FACTOR / IRRIGATION EFFICIENCY
LANDSCAPE AREA = SQUARE FEET

WATER USE CALCULATION FACTORS

ANNUAL EVAPOTRANSPIRATION (ET_o) RATE:
52.2 = CITY OF ROCKLIN

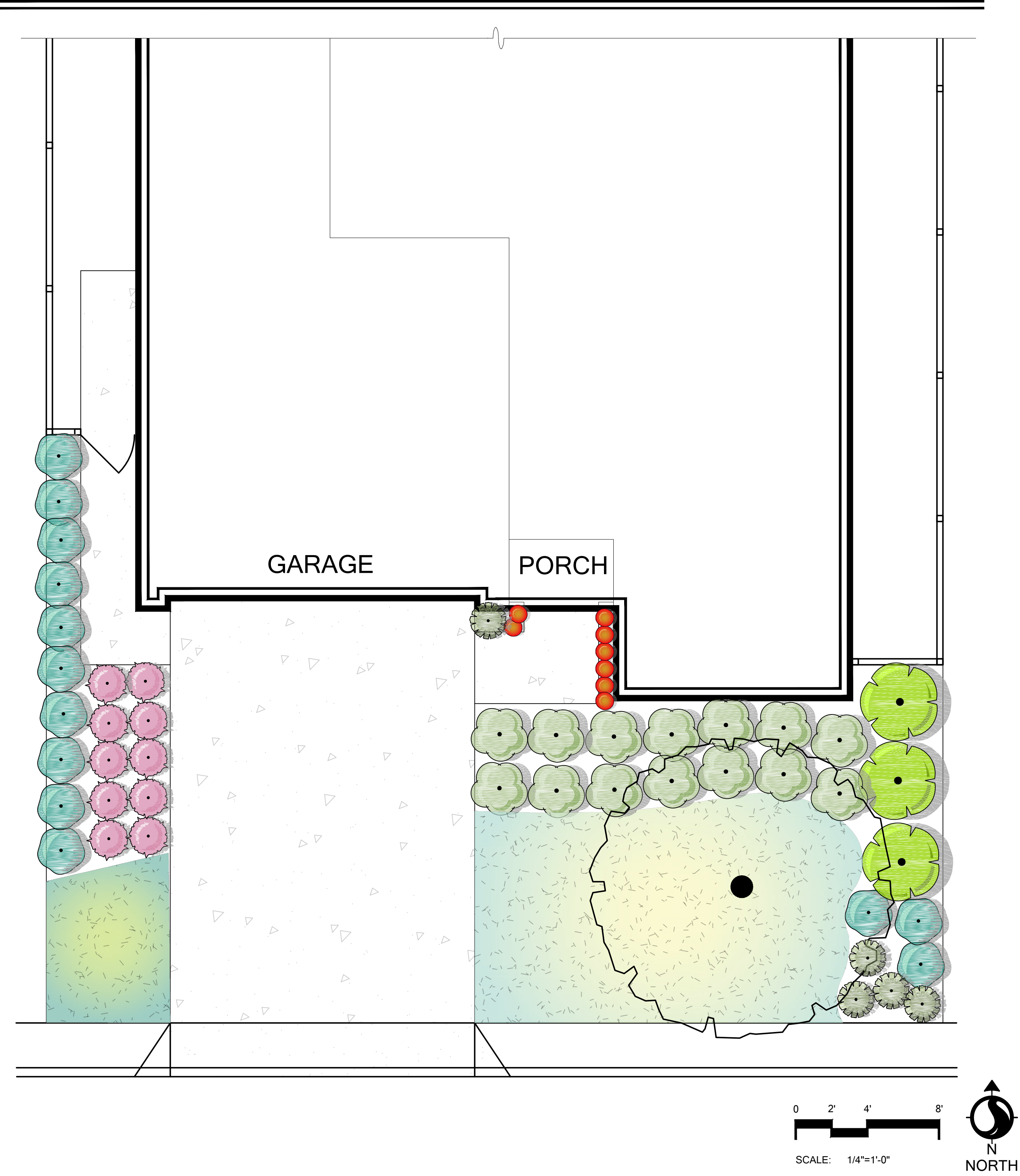
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*FOR THE PURPOSES OF DEVELOPING WATER USE OPTIONS, THE HIGHEST PLANT FACTOR HAS BEEN SELECTED. FINAL PLANT SELECTION MAY AFFECT CALCULATION AND WATER USE OUTCOME.

PLAN



LEGEND

SYMBOL	DESCRIPTION	WATER USE
	TREE	LOW
	4' - 5' TALL SHRUB	LOW
	2' - 3' TALL SHRUB	LOW
	12"-18" TALL ACCENT SHRUB	LOW
	GROUNDCOVER	MEDIUM
	WOOD FENCE AND GATE	
	CONCRETE	



BEST LANDSCAPE PRACTICES FOR WATER CONSERVATION

CITY OF ROCKLIN

- LANDSCAPE SHOULD NOT BE WATERED DURING THE MONTHS OF DECEMBER, JANUARY, FEBRUARY AND MARCH.
- WATER ONLY BETWEEN THE HOURS OF 9:00 PM AND 9:00 AM.
- REPAIR IRRIGATION LEAKS PROMPTLY.
- APPLY 3-INCHES OF MULCH AROUND TREES AND PLANTS TO REDUCE EVAPORATION.

STATE OF CALIFORNIA

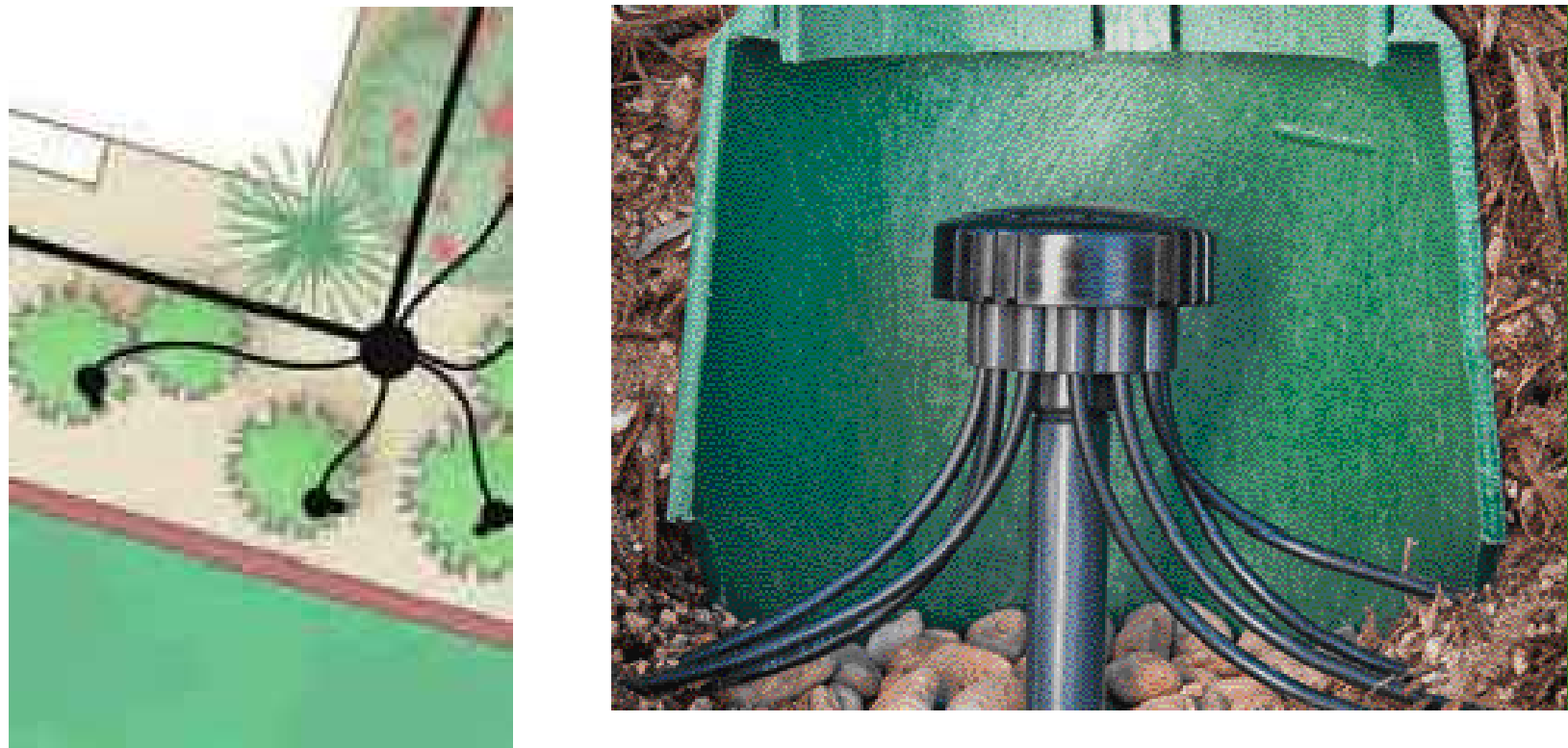
- USE AN IRRIGATION CONTROLLER WITH A RAIN SHUT-OFF DEVICE.
- PERFORM SOILS TEST TO DETERMINE REQUIRED FERTILIZERS.
- GROUP PLANTS IN LIKE WATER USE ZONES (HYDROZONES).
- MINIMUM 8' WIDE PLANTER REQUIRED FOR TRADITIONAL HIGH VOLUME SPRAYS.
- USE 6-INCH DEPTH AND 4-CUBIC YARDS/1000 SF ORGANIC COMPOST IN ALL PLANTERS.

POINT SOURCE DRIP IRRIGATION EXAMPLES

DRIPPER / EMITTER



MULTI-OUTLET EMITTER



SUB-SURFACE DRIP IRRIGATION



BUBBLER



TURF IRRIGATION EXAMPLES

ECO-MAT DRIP IRRIGATION



LOW FLOW STREAM ROTARY



MP ROTATOR W/ 30 PSI OR LESS

MEDIUM WATER USE PLANTS

BOTANICAL NAME	COMMON NAME
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TREES	
ACER	MAPLE
CELTIS SINENSIS	CHINESE HACKBERRY
CERCIS CANADENSIS	EASTERN REDBUD
CORNUS	DOGWOOD
CUPRESSUS	CYPRESS
CYCAS REVOLUTA	SAGO PALM
FRAXINUS	ASH
GINKGO (MALE ONLY)	MAINDENHAIR TREE
KOELREUTERIA	CHINESE FLAME TREE
LEPTOSPERMUM SCOPARIUM	NEW ZEALAND TEA TREE
MAGNOLIA	MAGNOLIA
PITTOSPORUM	PITTOSPORUM
PODOCARPUS	YEW PINE
PYRUS	PEAR
ULMUS AMERICANA	AMERICAN ELM
ZELKOVA	ZELKOVA

SHRUBS	
ARCTOSTAPHYLOS EDMUNSII	MANZANITA
BERBERIS	JAPANESE BARBERRY
BUXUS	BOXWOOD
CAMELLIA	CAMELLIA
COLEONEMA	BREATH OF HEAVEN
COPROSMA	MIRROR PLANT
CUPHEA	MEXICAN HEATHER
EURYOPS	EURYOPS
ILEX	HOLLY
JASMINUM	JASMINE
LANTANA	LANTANA
MAGNOLIA	MAGNOLIA
NANDINA DOMESTICA	HEAVENLY BAMBOO
OSMANTHUS	SWEET OLIVE
PHOTINIA	PHOTINIA
PODOCARPUS	YEW PINE
PITTOSPORUM	PITTOSPORUM
RHAPHIOLEPIS	INDIAN HAWTHORN
RHODODENDRON	AZALEA
ROSA HYBRIDS BUSH	ROSE
SALVIA DORII	PURPLE SAGE
VIBURNUM	VIBURNUM

GROUNDCOVER	
ARCTOSTAPHYLOS	MANZANITA
COTONEASTER SPP	COTONEASTER
LANTANA CAMARA	LANTANA
PELARGONIUM	GERANIUM
TRACHELOSPERMUM	JASMINE

PERENNIALS & GRASSES	
AGAPANTHUS	LILY-OF-THE-NILE
CANNA	CANNA
CAREX BUCHANANII	CURLY TOP SEDGE
DIANTHUS	PINK
HEMEROCALLIS	DAYLILY
IRIS PACIFIC COAST HYBRIDS	PACIFIC COAST HYBRIDS
LIMONIUM PEREZII	STATICE
LIRIOPE	LILYTURF
PELARGONIUM	GERANIUM
PENSTEMON	PENSTEMON

LOW WATER USE PLANTS

BOTANICAL NAME	COMMON NAME
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TREES	
CEDRUS DEODARA	DEODAR CEDAR
CERCIS OCCIDENTALIS	WESTERN REDBUD
CELTIS OCCIDENTALIS	COMMON HACKBERRY
JUNIPERUS	JUNIPER
LAURUS NOBILIS	SWEET BAY
LEPTOSPERMUM LAEVIGATUM	AUSTRALIAN TEA TREE
MELALEUCA	FLAX LEAF PAPER BARK
OLEA	OLIVE
PINUS	PINE
PISTACIA CHINENSIS	CHINESE PISTACHE
PRUNUS CAROLINIANA	CAROLINA LAUREL CHERRY
QUERCUS	OAK
RHAPHIOLEPIS 'MAJESTIC BEAUTY'	INDIAN HAWTHORN

SHRUBS	
ACACIA	ACACIA
ARCTOSTAPHYLOS	MANZANITA
ARTEMISIA	CALIFORNIA SAGEBRUSH
BACCHARIS	DWARF COYOTE BRUSH
CALLISTEMON 'LITTLE JOHN'	LITTLE JOHN BOTTLEBRUSH
CEANOTHUS	CEANOTHUS
CISTUS	ROCKROSE
GREVILLEA	GREVILLEA
JUNIPERUS	JUNIPER
LAVANDULA	LAVENDER
LEPTOSPERMUM	AUSTRALIAN TEA TREE
LIGUSTRUM	JAPANESE PRIVET
MYRTUS COMMUNIS	MYRTLE
NANDINA DOMESTICA	HEAVENLY BAMBOO
PINUS MUGO	MUGO PINE
RIBES	CHAPARRAL CURRENT
ROSMARINUS	ROSEMARY
SALVIA	SAGE
XYLOSMA	SHINY XYLOSMA

GROUNDCOVER	
ACACIA	ACACIA
BACCHARIS	DWARF COYOTE BRUSH
COTONEASTER DAMMERI	BEARBERRY COTONEASTER
'LOWFAST'	
JUNIPERUS	JUNIPER
LANTANA HYBRIDS	LANTANA
LIPPIA NODIFLORA 'KURAPIA'	CAPE WEED
OSTEOSPERMUM	AFRICAN DAISY
ROSMARINUS	ROSEMARY

PERENNIALS & GRASSES	
CAREX DIVULSA	SEDGE
DIETES	FORTNIGHT LILY
FESTUCA CALIFORNICA	CALIFORNIA FESCUE
IRIS DOUGLASIANA	DOUGLAS IRIS
KNIPHOFIA	RED HOT POKER
LIMONIUM VULGARE	SEA LAVENDER
PENSTEMON	PENSTEMON
PHORMIUM TENAX	NEW ZEALAND FLAX
STACHYS	LAMB'S EARS
TULBAGHIA	SOCIETY GARLIC
VERBENA	VERBENA