



## New Project Information

The City of Rocklin has begun processing the below referenced application(s) for project approval. The request is now being reviewed for compliance with the requirements and regulations of relevant City, State, and Federal agencies, and Utility providers. Once any issues have been resolved notice will be provided to alert neighbors and interested parties of the availability of project information, the opportunity to comment on a project, and of any pending review or action.

**Application Received:** February 15, 2023

**Project Name and Requested Approvals:**

Extra Space Storage Modification

- DESIGN REVIEW, SPU-99-01 (Modification)

**Staff Description of Project:**

The project is a request for approval of a Design Review to allow the construction of two additional storage buildings totaling 21,864 square feet. The proposed buildings are an expansion of an existing storage facility, and the proposal is a modification of an approved project (SPU-99-01). Site improvements also include additional on-site parking, landscaping and appropriate hardscape.

**Location:**

The subject site is located at 5941 West Oaks Blvd, approximately 1000 feet east of Sunset Boulevard (APN 017-350-031).

**Existing Land Use Designations:**

The property is zoned Planned Development Light Industrial (PD-LI).

The General Plan designation is Light Industrial (LI).

This project \_\_\_\_ **does** / **XX** **does not** require modification or change of the land use designations and regulations currently applicable to the project site.

**Compliance with the California Environmental Quality Act:**

A preliminary review of this project pursuant to the California Environmental Quality Act (CEQA) Section 15332 Infill Development Projects has tentatively identified a Categorical Exemption as the appropriate level of environmental review for this project.

**Applicant & Property Owner:**

The applicant is Cole Herrin with Sundance Development Group. The property owner is Ron Smith.

**Attached Information:**

For additional detail please see the attached information from the project application form and the submitted application exhibits.



# City of Rocklin

Planning Division  
3970 Rocklin Road  
Rocklin, California 95677  
Phone (916) 625-5160 FAX (916) 625-5195

## UNIVERSAL APPLICATION FORM

NAME OF PROJECT: EXTRA SPACE

LOCATION: 5941 N. OAKS BLVD. ROCKLIN, CA 95765

ASSESSOR'S PARCEL NUMBERS: 017 - 350 - 031

DATE OF APPLICATION (STAFF): 2/15/2023 RECEIVED BY (STAFF INITIALS): MC

FILE NUMBERS (STAFF): SPV-99-01 (Modification) FEES: \$5,891

RECEIPT No.: R52377 \$ R52378

### Pre-Application Meeting Requirements:

It is required that a pre-application meeting be held with a Staff Planner prior to submitting most applications for planning entitlements and permits. The purpose of the pre-application meeting is to expedite application processing by enabling staff to work with the applicant to assure that the officially submitted application materials are in the proper format and that the applicant understands the City of Rocklin's goals, policies, and ordinances that may affect the project. A copy of these and other planning provisions is available at the applicant's request.

Generally, two sets of preliminary plans and a written description of the proposed project should be brought with the applicant to the pre-application meeting. To schedule this meeting, please contact a Staff Planner at the Rocklin Community Development Department by calling (916) 625-5160.

DATE OF PRE-APPLICATION MEETING: 9/13/22

### THIS APPLICATION IS FOR THE FOLLOWING ENTITLEMENTS: (CHECK APPROPRIATE SQUARES)

- |                                                                                  |                                                                                                  |                                                                                                                                                                                                                                   |
|----------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <input type="checkbox"/> General Plan Amendment (GPA)<br>Fee:                    | <input type="checkbox"/> Tentative Subdivision Map (SD)<br>Fee:                                  | <input type="checkbox"/> Use Permit (U)<br><input type="checkbox"/> Minor (PC Approval - New Bldg) Fee:<br><input type="checkbox"/> Minor (PC Approval - Existing Bldg) Fee:<br><input type="checkbox"/> Major (CC Approval) Fee: |
| <input type="checkbox"/> BARRO Zone Application (BZ)<br>Fee:                     | <input type="checkbox"/> Tentative Parcel Map (DL)<br>Fee:                                       | <input type="checkbox"/> Variance (V)<br>Fee:                                                                                                                                                                                     |
| <input type="checkbox"/> Rezone (Reclassification) (Z)<br>Fee:                   | <input type="checkbox"/> Design Review (DR)<br>Commercial Fee:<br>Residential Fee:<br>Signs Fee: | <input type="checkbox"/> Oak Tree Preservation Plan Permit<br>Planning Commission Fee:<br>City Council Fee:                                                                                                                       |
| <input type="checkbox"/> General Development Plan (PDG)<br>Fee:                  |                                                                                                  |                                                                                                                                                                                                                                   |
| <input type="checkbox"/> Concurrent Application (2 or more entitlements)<br>Fee: |                                                                                                  | <input checked="" type="checkbox"/> Modification to Approved Projects<br>Fee: <u>\$5,489</u>                                                                                                                                      |

File Number

### Environmental Requirements: (STAFF)

- ☒ Exempt - \$402  
☐ Negative Declaration -

- ☐ Mitigated Negative Declaration -  
☐ EIR - See Fee Schedule

## UNIVERSAL APPLICATION FORM (CONT.)

GENERAL PLAN DESIGNATION:	PROPERTY DATA:	UTILITIES:	
		EXISTING	PROPOSED
Existing: _____	Acres: <u>1</u>	<input checked="" type="checkbox"/> Pub. Sewer	<input checked="" type="checkbox"/> Pub. Sewer
Proposed: _____	Square Feet: <u>43560</u>	<input type="checkbox"/> Septic Sewer	<input type="checkbox"/> Septic Sewer
<b>Zoning:</b>	Dimensions: _____	<input checked="" type="checkbox"/> Pub. Water	<input checked="" type="checkbox"/> Pub. Water
Existing: <u>COMMERCIAL</u>	No. of Units: _____	<input type="checkbox"/> Well Water	<input type="checkbox"/> Well Water
Proposed: _____	Building Size: _____	<input checked="" type="checkbox"/> Electricity	<input checked="" type="checkbox"/> Electricity
	Proposed Parking: _____	<input type="checkbox"/> Gas	<input type="checkbox"/> Gas
	Required Parking: _____	<input type="checkbox"/> Cable	<input type="checkbox"/> Cable
	Access: _____		

**PROJECT REQUEST:** TO MODIFY AN ALREADY APPROVED AND DEVELOPED  
PROJECT. WE WISH TO EXPAND THE EXTRA SPACE FACILITY  
BY ADDING TWO (2) ADDITIONAL BUILDINGS TO THE ADJACENT  
PARCEL. THIS WILL REQUIRE A LOT LINE ADJUSTMENT.

*(Example: Request for approval of design review to construct a 10,000 square foot office building on 1.5 acres)*

**NOTE:** Annexations, Lot Line Adjustments, and Rocklin Ranch Industrial Park Specific Plan Use Permits require special application forms and additional submittal information available from the Planning Division.

**UNIVERSAL APPLICATION FORM (CONT.)**

**PLEASE PRINT OR TYPE:**

NAME OF PROPERTY OWNER: ~~RON SMITH~~ RON SMITH

ADDRESS: 5701 LONETREE BLVD. STE # 102 ~~ROCKLIN~~,

CITY: ROCKLIN STATE: CA ZIP: 95765

PHONE NUMBER: 916-257-0802

EMAIL ADDRESS: RONSMITHLLC@GMAIL.COM

FAX NUMBER: \_\_\_\_\_

**SIGNATURE OF OWNER**

  
(Signature Authorizing Application, provide owner's signature letter if signature is other than property owner.)

NAME OF APPLICANT  
(If different than owner): \_\_\_\_\_

CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_

PHONE NUMBER: \_\_\_\_\_

EMAIL ADDRESS: \_\_\_\_\_

FAX NUMBER: \_\_\_\_\_

**SIGNATURE OF APPLICANT** \_\_\_\_\_

### AGENT AUTHORIZATION FORM

Property owners desiring to authorize individuals to represent them in conjunction with any application or matter before the City shall provide written authorization using this form. A separate form shall be used for each individual or firm authorized, and shall specifically note any restrictions upon the authorized person.

Project Name: EXTRA SPACE EXPANSION

Location: 5941 W. OAKS BLVD. ROCKLIN, CA 95765

Assessors Parcel Number(s): 017 - 350 - 031

Entitlements for which authorization is applicable (use permit, variance, tentative map, etc.):

Name of person and / or firm authorized to represent property owner (Please print):

COLE HERRIN

Address (Including City, State, and Zip Code):

5701 LONETREE BLVD. STE #102 ROCKLIN, CA 95765

Phone Number: 209 - 923 - 0866

Fax Number:

Email Address: COLE @ SUNDANCEDB.COM

The above named person or firm is authorized as:

Agent ( ☒ ) Buyer ( ☐ ) Lessee ( ☐ )

The above named person or firm is authorized to (check all that are applicable):

- ( ☒ ) File any and all papers in conjunction with the aforementioned request, including signing the application
- ( ☒ ) Speak on behalf of and represent the owner at any Staff meeting and/or public hearing.
- ( ☒ ) Sign any and all papers in my stead, with the exception of the application form.

The duration and validity of this authorization shall be:

( ☒ ) Unrestricted ( ☐ ) Valid until:

Owners Authorization Signature & Date:

 7.16.22

Owners Name (Please Print):

RON SMITH

Owners Address (Including City, State, and Zip Code):

5701 LONETREE BLVD. STE # 102

ROCKLIN, CA 95765

Phone Number: 916 - 257 - 0802

Email Address: RON SMITH LLC @ GMAIL.COM



**NOTIFICATION OF  
OWNERS OF MINERAL RIGHTS**

Government Code section 6509a(a)(2) states that if the Subdivision Map Act requires notice to be given pursuant to Section 65091, in addition to noticing the surrounding property owners, notice must also be given to anyone who has filed with the County recorder's office a "notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code" on the subject property.

Therefore, mailing labels must be provided with this application for any owner of a mineral right pertaining to the subject real property who has recorded a notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code (Subdivision Map Act Section 65091(a)(2)).

**See page 24 of this application for instructions on how to submit mailing labels.**

Section 65091(a)(2)

"(2) When the Subdivision Map Act (Div. d 9commencing with Section 66410)) requires notice of a public hearing to be given pursuant to this section, notice shall also be given to any owner of a mineral right pertaining to the subject property who has recorded a notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code."

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There **are / are not** (circle one) owner(s) of record of preserved mineral rights on the subject property and I, PON SMITH, the applicant or applicant's representative, **have /**

**have not** (circle one) provided the name and mailing address of record for any and all owners of mineral rights pursuant to Section 883.230 of the Civil Code.

Signature



Date

9-16-22

**STATE OF CALIFORNIA  
DEPARTMENT OF FISH AND GAME  
FILING FEES**

In 1990, the State adopted a fee pursuant to AB 3158 for the review of environmental documentation by the State Department of Fish and Game. Subsequently, in 1991, the fees were challenged. Then, in June 1995, the Department of Fish and Game instructed the jurisdictions to stop collecting fees. Following a great deal of court action and in a memorandum dated February 26, 1996, the State Clearinghouse, Office of Planning and Research, stated that the fees must again be collected.

On September 29, 2006, Senate Bill 1535 was passed increasing the amounts of filing fees collected by the Department, and requires the Department to adjust the fees annually pursuant to Fish and Game Code Section 713.

As of January 1, 2020, State law requires all applicants who have a Notice of Determination filed for a Negative Declaration to pay a \$2,406.75 fee and those with a Notice of Determination for an Environmental Impact Report to pay a \$3,343.25 fee. Both types must pay an additional \$50.00 administrative fee making the total fees \$2,456.75 and \$3,393.25 respectively. Applicants whose projects require the filing of a Notice of Exemption will need to pay a \$50.00 administrative fee. The City will notify each applicant which of the fees must be paid.

PLEASE NOTE: Effective January 1, 2008, the fee exemption for projects determined to have a *De Minimis Impact Finding* has been eliminated. (Section 711.4 Fish and Game Code).

The Fish and Game filing fee must be paid prior to the filing of the Notice of Determination with the County Clerk. Since the CEQA law requires a Notice of Determination to be filed with the County within 5 days of an action by the City, all applicants must remit to the City the necessary fee amount no later than the day of the final scheduled public hearing for the proposed project.

**PLEASE MAKE ALL CHECKS PAYABLE TO PLACER COUNTY.**

If you have any questions regarding this matter, please do not hesitate to contact the Planning Department at (916) 625-5160. Upon review of the above, please sign and return this document with your application.

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I, RON SMITH, the applicant or applicant's representative, have read the information above and understand its meaning.

  
Signature

9 / 16 / 22  
Date

## HAZARDOUS WASTE AND SUBSTANCES STATEMENT

Pursuant to California Government Code Section 56962.5, I have consulted the Hazardous Waste and Substances Sites List (Cortese List), consolidated by the State of California, Environmental Protection Agency and find that;

The project, including any alternatives, \_\_\_\_\_ is, X is not (check which applies) located on a site which is included on the Hazardous Waste and Substances Sites List (Cortese List). If on the list, provide the following information:

Regulatory identification number: N/A Date of list: N/A

Type of problem: N/A

I declare under penalty of perjury of the laws of the State of California that the foregoing is true and correct.

Dated: 9-16-22

Applicant: [Signature]

Applicants can verify this information by reviewing the Hazardous Waste and Substances Sites List (Cortese List), available for review at the City of Rocklin Planning Department counter, or at the California Department of Toxic Substance Control web site:

<http://www.calepa.ca.gov/SiteCleanup/CorteseList/default.htm>



## MITIGATION FOR AIR QUALITY IMPACTS

The US Environmental Protection Agency (EPA) and the California Air Resources Board (CARB) have established air quality standards, referred to as the National Ambient Air Quality Standards (NAAQS) and the State Ambient Air Quality Standards (SAAQS) respectively. The federal Clean Air Act and State Clean Air Act both require that areas in violation of the ambient air quality standards adopt strategies to attain these standards. The Placer County Air Pollution Control District (APCD) has primary responsibility for planning and maintenance and/or attainment of air quality standards within Placer County. California is divided into 15 air basins for the purpose of monitoring air quality. Placer County is included in the Sacramento Valley Air Basin. Areas may be classified as attainment, non-attainment, or unclassified with regard to the adopted standards. The unclassified designation is assigned in cases where monitoring data is insufficient to make a definitive determination. Under the federal standards, all of Placer County, including Rocklin, is designated as non-attainment for ozone. All other pollutants are designated unclassified in Rocklin. Under the state standards, South Placer, including Rocklin, is designated as non attainment for ozone and PM10 and unclassified for hydrogen sulfide and visibility reducing particulate.

The project would have the following short-term construction impacts, if not mitigated:

- a. Construction activities, including grading, would generate a variety of pollutants, the most significant of which would be dust (PM10). This would exacerbate the existing PM10 non attainment condition if not mitigated.
- b. Construction equipment would produce short-term combustion emissions, and asphalt materials used for streets and driveways would produce pollutants during curing.

The mitigation measures listed below will reduce the short term impacts to less-than-significant. In the long-term, vehicle trips to and from the project site would generate Carbon Monoxide and ozone precursor emissions, thereby contributing to the non-attainment status of the local air basin. These incremental and cumulative adverse air quality impacts cannot be completely mitigated. However, these impacts were anticipated by the City of Rocklin General Plan, and were addressed through the 1991 Rocklin General Plan EIR and the North Rocklin Circulation and Traffic Study. Findings of overriding significance were adopted for the unmitigatable and unavoidable significant air quality impacts.

Therefore, I, as the applicant for the proposed project, agree that the mitigation measures listed below are incorporated as a part of my project description in order to mitigate for the short term impacts.

## MITIGATION FOR AIR QUALITY IMPACTS (CONT.)

### MITIGATIONS

1. The project shall conform with the requirements of the Placer County APCD.
2. Prior to commencement of grading, the applicant shall submit a dust control plan for approval by the City Engineer and the Placer County Air Pollution Control District. The plans shall specify measures to reduce dust pollution during all phases of construction.
3. Traffic speeds on all unpaved road surfaces shall be posted at 25 m.p.h. or less.
4. All grading operations shall be suspended when wind speeds exceed 25 m.p.h.
5. All trucks leaving the site shall be washed off to eliminate dust and debris.
6. All construction equipment shall be maintained in clean condition.
7. All exposed surfaces shall be revegetated as quickly as feasible.
8. If fill dirt is brought to the construction site, tarps or soil stabilizers shall be placed on the dirt piles to minimize dust problems.
9. Apply water or dust palliatives on all exposed earth surfaces as necessary to control dust. Construction contracts shall include dust control treatment as frequently as necessary to minimize dust.
10. Construction equipment shall be properly maintained and tuned.
11. Utilize low emission mobile construction equipment where possible.
12. Open burning of vegetative material is prohibited.

RON SMITH  
Applicant's Name (printed)

 9/16/22  
Applicant's Signature Date



# City of Rocklin

Planning Division

3970 Rocklin Road

Rocklin, California 95677

Phone (916) 625-5160 FAX (916) 625-5195

## ENVIRONMENTAL INFORMATION SHEET

(To be completed by  
applicant)

LOCATION OF PROJECT (ADDRESS) 5941 W. OAKS BLVD.  
ROCKLIN, CA 95765

ASSESSORS PARCEL # 017 - 350 - 031

NAME OF PROJECT EXTRA SPACE EXPANSION

CONTACT/APPLICANT COLE HERRIN

ADDRESS 5701 LONETREE BLVD. STE #102  
ROCKLIN, CA 95765

PHONE 209-923-0866 EMAIL COLE@SUNDANCEPG.COM

**Project Description - Describe in detail. Add separate sheet if necessary.**

Property size:	<u>43560</u>	<u>1</u>
	Square Feet	Acres
Land Use:	<u>COMMERCIAL</u>	<u>COMMERCIAL</u>
	Existing	Proposed

**RELATED PROJECTS:** If this project is a part or portion of a larger project, describe the previous project by name, general development plan number, or other project identification. A STORAGE FACILITY IS NEXT DOOR, WE WOULD EXPAND THAT FACILITY ONTO THIS 1-ACRE PARCEL.

**PREVIOUS ENVIRONMENTAL DOCUMENTS:** If this project is part of a larger project for which a negative declaration or an environmental impact report has been prepared and certified, reference the document below. Include the date and SCH#, if possible: \_\_\_\_\_

### OTHER REQUIRED PERMITS OR APPROVALS:

Permit or Approval	Agency	Address	Contact Person/Phone
--------------------	--------	---------	----------------------

**PREVIOUS LAND USES:** Describe existing and previous land uses of the site for the last 10 years or more: \_\_\_\_\_

## SITE CHARACTERISTICS

1. What natural features (trees, rock outcroppings etc.) presently exist on the site?

CURRENTLY, ONLY A FEW SMALL WEEDS EXIST.

2. What are the surrounding land uses?

East OPEN SPACE West COMMERCIAL North INDUSTRIAL South OPEN SPACE

3. Is the project proposed on land which contains fill or a slope of 10% or more? NO - SEE

4. Are there any existing erosion problems? NO

5. Is the site on expansive soils (as defined in Table 18 of the UBC) or immediately adjoining an area subject to slides, liquefaction, slope instability or other related hazards? NO

If so, describe in detail, or refer to attached soils report.

6. Grading, excavating or filling activities - Quantity of cubic yards to be:

a. Moved within the site 457 CU. YARDS

b. Deposited on the site 0

c. Removed from the site 0

Disposal site N/A

7. Are there any streams or permanent water courses on the site? NO

Describe

8. Will the proposed project change drainage patterns or the quality of groundwater?

If so explain. If not, why not. NO, WE TAKE CARE OF DRAINAGE ON SITE.

9. Will the project affect any drainage channel, creek, pond or any other water body?

Describe below: NO.

10. Is any portion of the property located in a flood plain? NO  
If so describe \_\_\_\_\_
11. Are there any jurisdictional wetlands or vernal pools on the site? If so how will they be impacted by the project? NO
12. Are there any trees or shrubs on the project site? NO  
What types? \_\_\_\_\_  
Are any to be removed or transplanted? \_\_\_\_\_  
State the location of transplant site: \_\_\_\_\_  
State the number & species to be removed: \_\_\_\_\_
13. Will the project affect the habitat of any endangered, threatened, or other special status species?  
NO
14. Will the project result in any new noise source, or will it place new residents in an area of high traffic noise or noise from any other source? NO
15. What type of equipment will be associated with the project during construction?  
TRACTORS, COMMON CONSTRUCTION & EXCAVATION.  
During permanent operation? N/A
16. Describe any air pollutants, other than vehicle exhaust, which would be generated by this project, both during and after construction. Dust particulates are considered pollutants.  
N/A
17. Will the project produce new sources of dust, ash, smoke, fumes or objectionable odor? If yes, describe the source of the emission, methods to control emissions and means of mitigating those effects on adjacent properties: N/A
18. Will the project create any new light source, other than street lighting? If yes, describe below:  
NO
19. Is this property covered by a Williamson Act contract? NO
20. Has this property ever been used for agricultural purposes? NO If so, for what purpose and when? \_\_\_\_\_
21. Does the project involve the use of routine transport or disposal of hazardous materials?  
NO
22. Are there any known mineral resources of value to the region and the residents of the state located on the site? If so, what types? NO
23. How close is the nearest school? RIVKALA ELEMENTARY IS 1 MILE AWAY





29. Will the proposed use involve any toxic or hazardous material? NO  
 Is the project site within 2,000 feet of an identified hazardous/toxic site? NO  
 Is the project site within 2,000 feet of a school or hospital? NO  
 If the project involves any hazardous material, explain: NO
30. How many new residents is the project estimated to generate? N/A
31. Will the project generate a demand for additional housing? N/A
32. What is the current and estimated number of motor vehicles to arrive at the site as a result of the project? \_\_\_\_\_
33. Could the project increase traffic hazards to motor vehicles, bicyclists or pedestrians? NO  
 If yes, explain \_\_\_\_\_
34. How close is the project to the nearest public park or recreation area? .5 MILES
35. What school districts will be affected by this project? ROCKLIN UNIFIED
36. Describe energy-efficient features included in the project. \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_
37. Describe how the following services or utilities will be provided:  
 Power and Natural Gas EXISTING  
 Telephone EXISTING  
 Water EXISTING  
 Sewer EXISTING  
 Storm Drainage EXISTING  
 Solid Waste EXISTING
38. Will the project block any vista or view currently enjoyed by the public? NO
39. Are there any known historic or significant building features on or near the site? If so, will the project result in any impact to the building? NO
40. Are there any archaeological features on the site? NO If so, will the project result in any impact to these features? \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

SDG

EXPANSION - EXTRA SPACE STORAGE

5951 WEST OAKS BLVD.  
ROCKLIN, CA 95765



PROJECT DIRECTORY

**OWNER:**  
SUNDANCE DEVELOPMENT GROUP  
5701 LONETREE BLVD., 102  
ROCKLIN, CA 95765  
PHONE: (916) 656-0995  
CONTACT: Ben Smith  
EMAIL: sundancedg.com

**ARCHITECT:**  
DOMUM  
6532 LONETREE BLVD., SUITE 102  
ROCKLIN, CA 95765  
PHONE: (888) 352-2721  
CONTACT: Tim Alatorre  
EMAIL: tim@domum.design

**CIVIL ENGINEER:**  
BAIR ENGINEERING GROUP  
1350 DESMOND LANE  
NEWCASTLE, CA 95658  
PHONE: (949) 656-0995  
CONTACT: Brittany Bair  
EMAIL: britbair@gmail.com

**LANDSCAPE ARCHITECT:**  
GREAT VALLEY DESIGN INC.  
1219 SPRUCE LANE  
DAVIS, CA 95616  
PHONE: (530) 231-5890  
CONTACT: Scott Volmer  
EMAIL: svolmer@grtvalley.com

PROJECT INFORMATION

**PROJECT SUMMARY:**  
EXPANSION OF EXISTING PERSONAL STORAGE FACILITY (EXTRA SPACE STORAGE). NEW CONSTRUCTION TO INCLUDE LOT LINE ADJUSTMENT, 2 ADDITIONAL METAL BUILDINGS, TRASH ENCLOSURE, ADDITIONAL PARKING SPACES, AND LANDSCAPING.

	EXISTING	PROPOSED
SITE AREA:	340012 SF	
ZONING:	PD-LI	
OCCUPANCY:	B / S-1	UNCHANGED
CONSTRUCTION TYPE:	II-B, V-B	UNCHANGED
FIRE SPRINKLER:	YES	YES
NUMBER OF STORIES:	ONE	ONE
BLDG. HEIGHT:	26' - 10"	26' - 10"

AREA SUMMARY

EXISTING	296,546.40 SF	6.808 AC
ADDITIONAL	43,465.74 SF	0.998 AC
<b>PROPOSED</b>		
MERGED	340,012.14 SF	7.806 AC

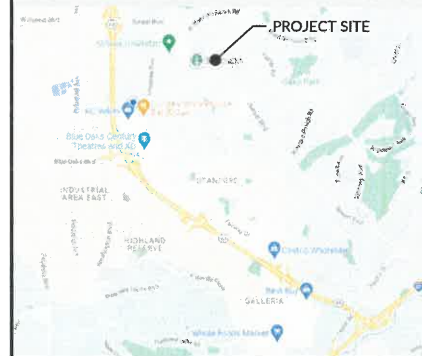
BUILDING AREAS

EXISTING BUILDING AREA	
BUILDING NAME	AREA
<b>BUSINESS</b>	
OFFICE 1st FLOOR	1,409 SF
OFFICE 2nd FLOOR	1,409 SF
<b>STORAGE</b>	
BUILDING A	20,235 SF
BUILDING B	11,020 SF
BUILDING C	1,817 SF
BUILDING D	21,700 SF
BUILDING E	4,312 SF
BUILDING F	17,781 SF
BUILDING G	9,000 SF
	88,683 SF

PROPOSED BUILDING AREA	
BUILDING NAME	AREA
<b>STORAGE</b>	
NEW CONSTRUCTION	
BUILDING A EXPANSION	18,807 SF
BUILDING C	3,057 SF
	21,864 SF

GRAND TOTAL: 110,547

VICINITY MAP



INDEX OF DRAWINGS

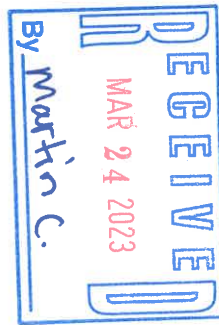
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SDG

EXPANSION - EXTRA  
SPACE STORAGE

5951 WEST OAKS BLVD.  
ROCKLIN, CA 95765  
APN: 017-350-048

Proj. 2023.747



Issue / Revision  
No 1  
Date 03/20/23  
Description PC

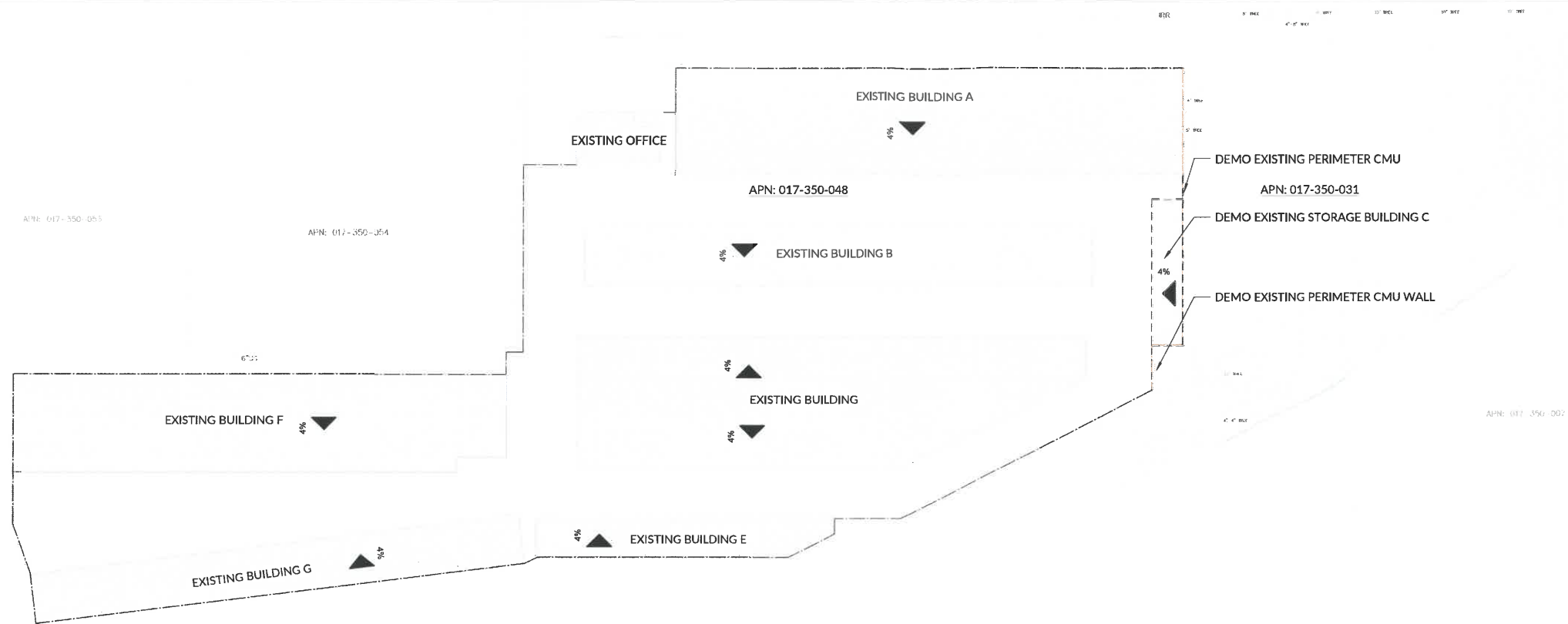
Copyright Domum: All drawings and written material appearing herein constitute original and unpublished original work of the architect and may not be duplicated, used, or disclosed without prior written consent of the architect.

COVER SHEET

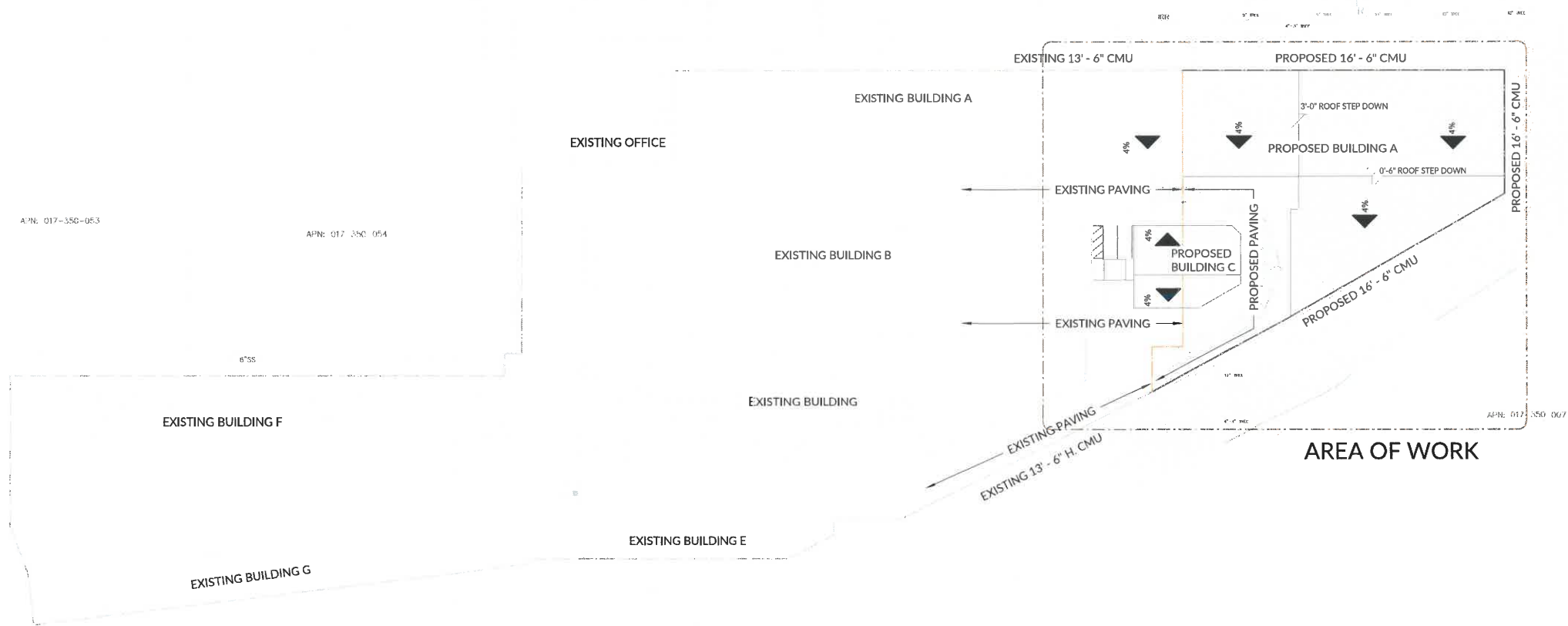
A1



Z:\Active\2023\747 - Sundance - Extra Space Storage\CAD\23-0322 - SDG - Extra Space Storage - Expansion - Planning 1.rvt



1 EXISTING FENCING AND ROOFING PLAN  
SCALE: 1" = 40'-0"



2 PROPOSED FENCING AND ROOFING PLAN  
SCALE: 1" = 40'-0"

INDEX OF DRAWINGS

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- DEMO CMU



info@domum.design 888-352-ARC1  
6532 Lonetree Blvd, Suite 102, Rocklin, CA 95765

SDG  
EXPANSION - EXTRA  
SPACE STORAGE

5951 WEST OAKS BLVD.  
ROCKLIN, CA 95765  
APN: 017-350-048

Proj. 2023.747

Issue / Revision No	Date	Description
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FENCING AND ROOFING PLAN

A2

# SDG EXPANSION - EXTRA SPACE STORAGE

Proj.	2023.747
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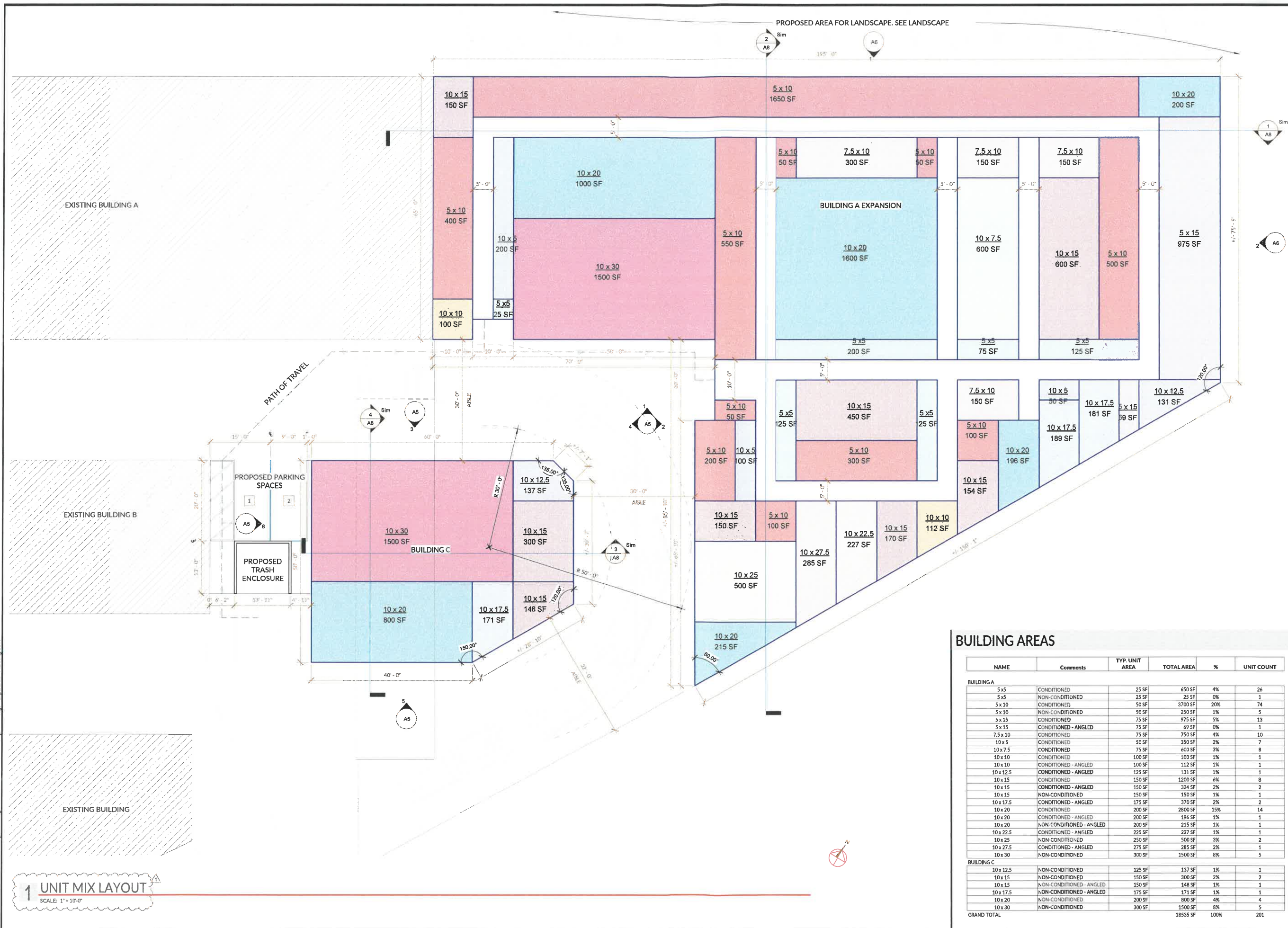
Issue / Revision		Description
No	Date	
1	03/20/23	PC

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## UNIT LAYOUT PLAN

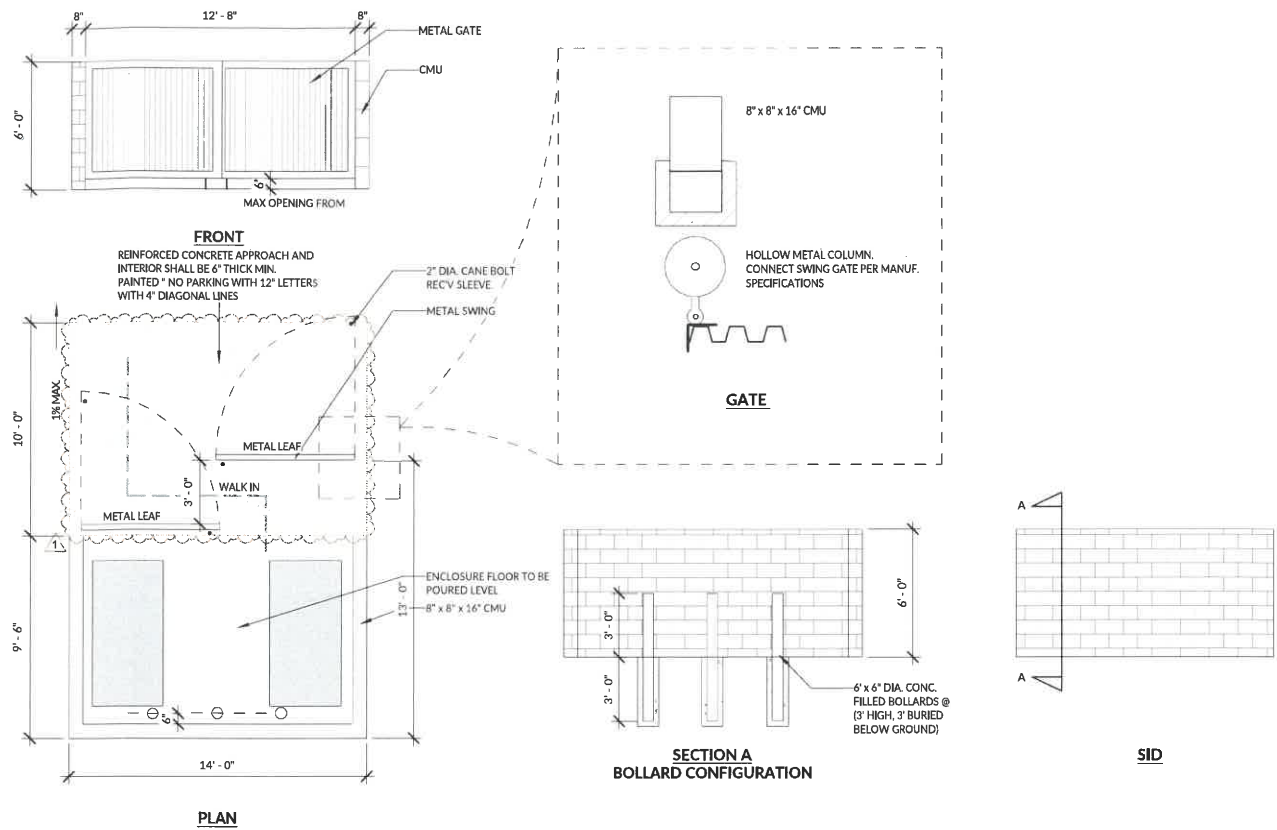
# A3

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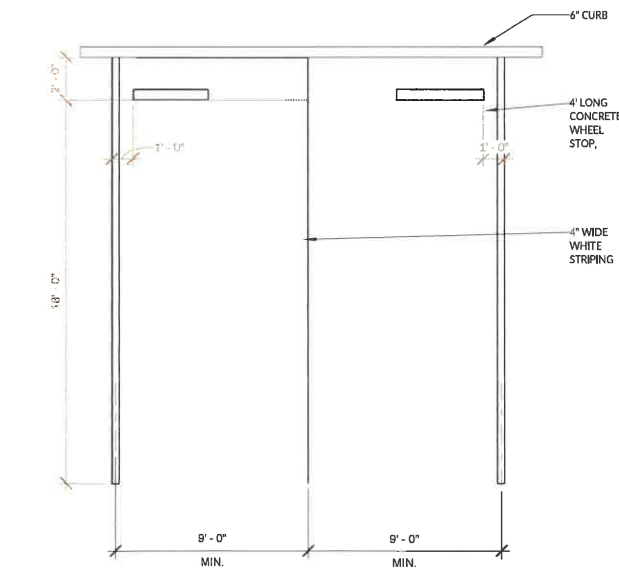




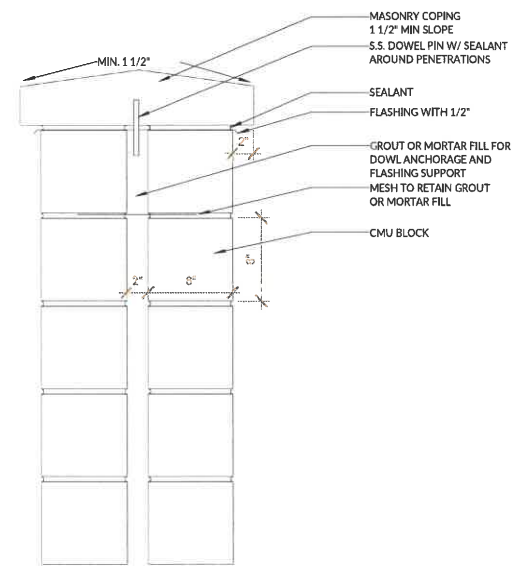
Z:\Active\2023\747 - Sundance - Extra Space Storage\CAD\23-0322 - SDG - Extra Space Storage - Expansion - Planning\_1.rvt



1 STANDARD TRASH ENCLOSURE  
SCALE: 1/4" = 1'-0"

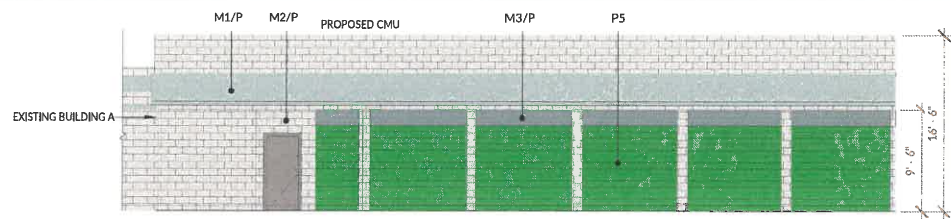


3 PARKING STALL  
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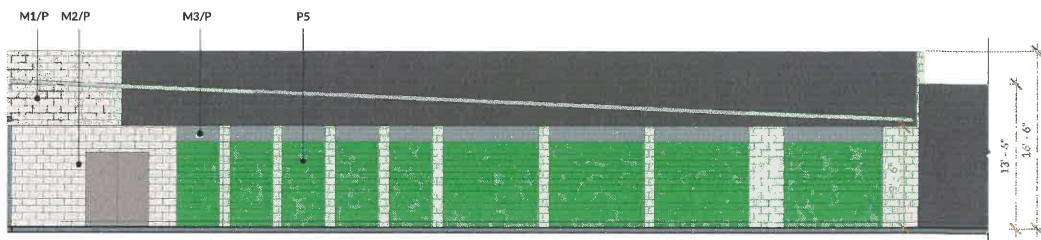


2 CMU WALL CAP  
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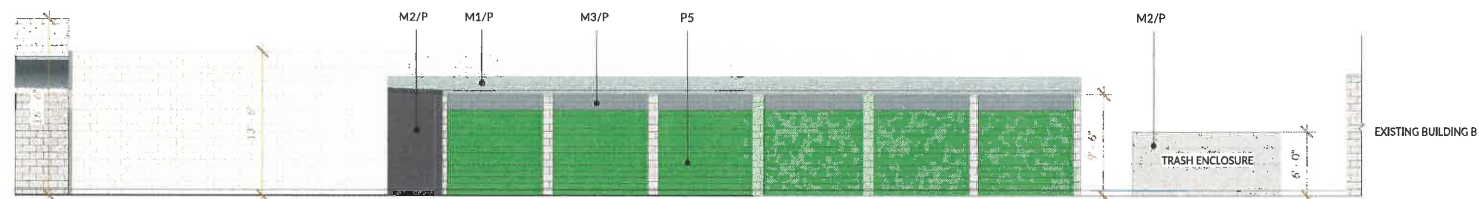
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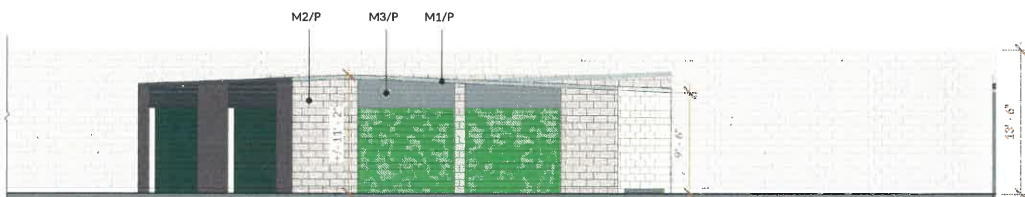
1 BUILDING A - SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



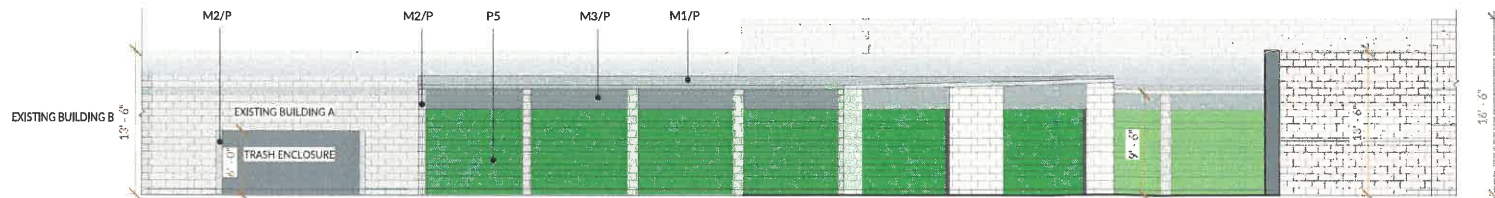
2 BUILDING A - WEST ELEVATION  
SCALE: 1/8" = 1'-0"



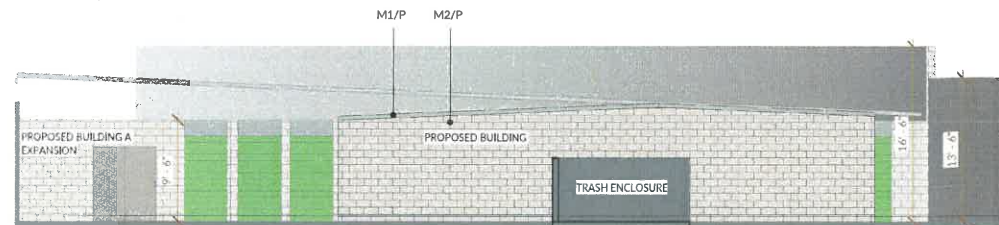
3 BUILDING C - NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



4 BUILDING C EAST ELEVATION  
SCALE: 1/8" = 1'-0"



5 BUILDING C - SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



6 BUILDING C - WEST ELEVATION  
SCALE: 1/8" = 1'-0"



0 EXISTING STORAGE BUILDINGS  
SCALE: 1/8" = 1'-0"

## COLORS AND MATERIALS

COLOR AND MATERIALS TO MATCH THE EXISTING  
EXTRA SPACE STORAGE BUILDINGS

M1		METAL STANDING SEAM
M2		CMU
M3		CORRUGATED METAL
P1		TO MATCH EXISTING - CMU
P2		TO MATCH EXISTING - CMU
P3		SW7063 - NEBLOUS WHITE - CORRUGATED METAL
P4		SW7067 - CITYSCAPE - METAL STANDING SEAM
P5		EXR WASABI GREEN - ROLL DOOR



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SDG  
EXPANSION - EXTRA  
SPACE STORAGE

Proj. 2023.747

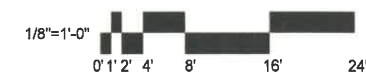
Description

Issue / Revision  
No Date

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EXTERIOR  
ELEVATIONS

SCALE



A5

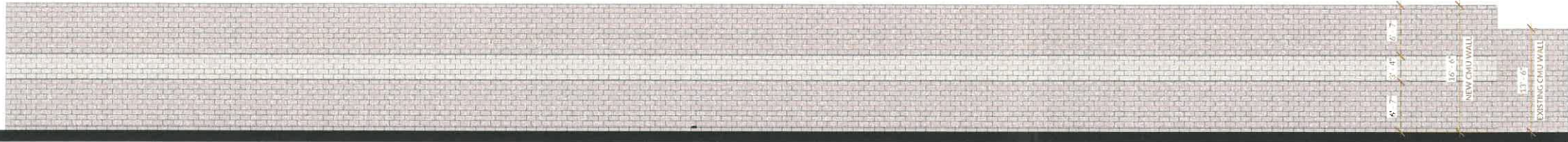
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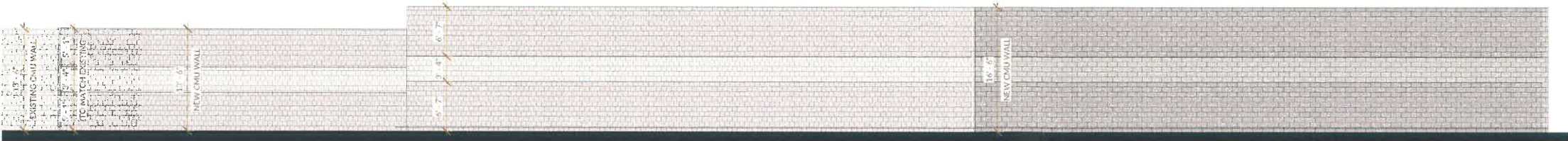
Z:\Active\2023\747 - Sundance - Extra Space Storage\CAD\23.0322 - SDG - Extra Space Storage - Expansion - Planning 1.rvt



0 EXISTING EXTERIOR WALL  
SCALE: 1/8" = 1'-0"



1 NORTH EXTERIOR ELEVATION  
SCALE: 1/8" = 1'-0"



2 EAST EXTERIOR ELEVATION  
SCALE: 1/8" = 1'-0"

## COLORS AND MATERIALS

COLOR AND MATERIALS TO MATCH THE EXISTING  
EXTRA SPACE STORAGE BUILDINGS

M1		METAL STANDING SEAM
M2		CMU
M3		CORRUGATED METAL
P1		TO MATCH EXISTING - CMU
P2		TO MATCH EXISTING - CMU
P3		SW7063 - NEBLOUS WHITE - CORRUGATED METAL
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P5		EXR WASABI GREEN - ROLL DOOR



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SDG  
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SPACE STORAGE  
5951 WEST OAKS BLVD.  
ROCKLIN, CA 95765  
APN: 017-350-048

Proj. 2023.747  
Drawn CKI  
Reviewed TEA

Description

Issue / Revision  
No Date

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EXTERIOR  
ELEVATIONS

A6

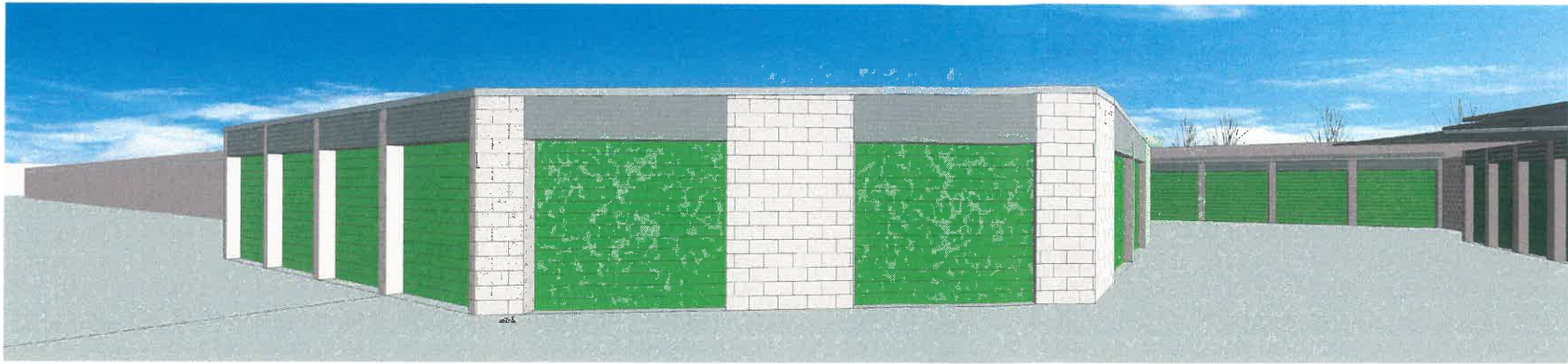
3/22/2023 3:35:32 PM

SCALE





Z:\Active\2023\747 - Sundance - Extra Space Storage\CAD\24-0222 - SDG - Extra Space Storage - Expansion - Planning\_1.rvt



1 INTERIOR EAST TO WEST RENDER  
SCALE:



4 INTERIOR WEST TO EAST RENDER  
SCALE:

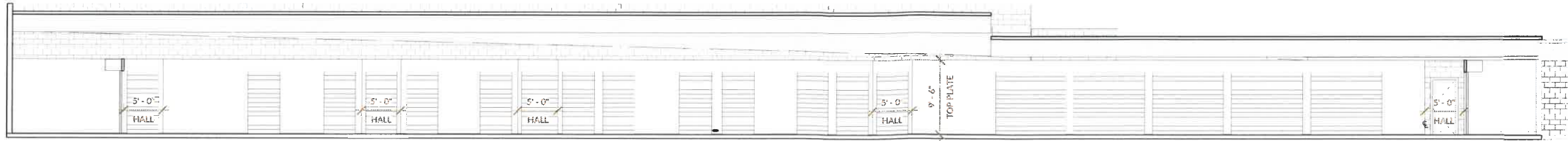


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SCALE:

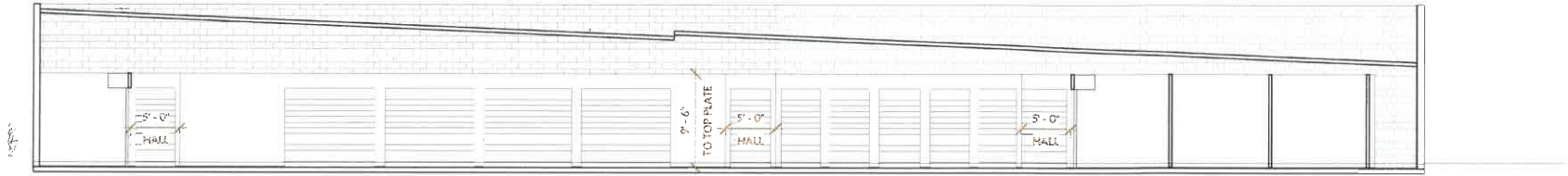


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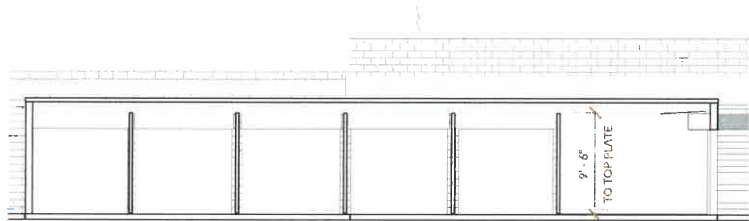
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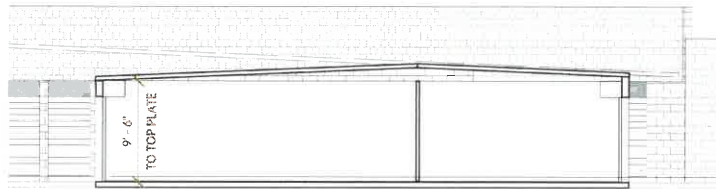
1 BUILDING A LONGITUDINAL SECTION  
SCALE: 1/8" = 1'-0"



2 BUILDING A CROSS SECTION  
SCALE: 1/8" = 1'-0"



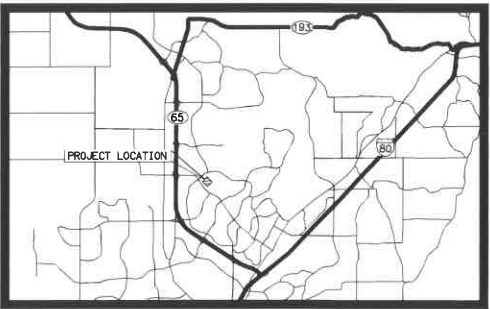
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SCALE: 1/8" = 1'-0"



4 BUILDING B CROSS SECTION  
SCALE: 1/8" = 1'-0"



CONCEPTUAL IMPROVEMENT PLANS  
EXTRA SPACE STORAGE  
EXPANSION  
CITY OF ROCKLIN, CALIFORNIA



VICINITY MAP  
NO SCALE

SHEET INDEX

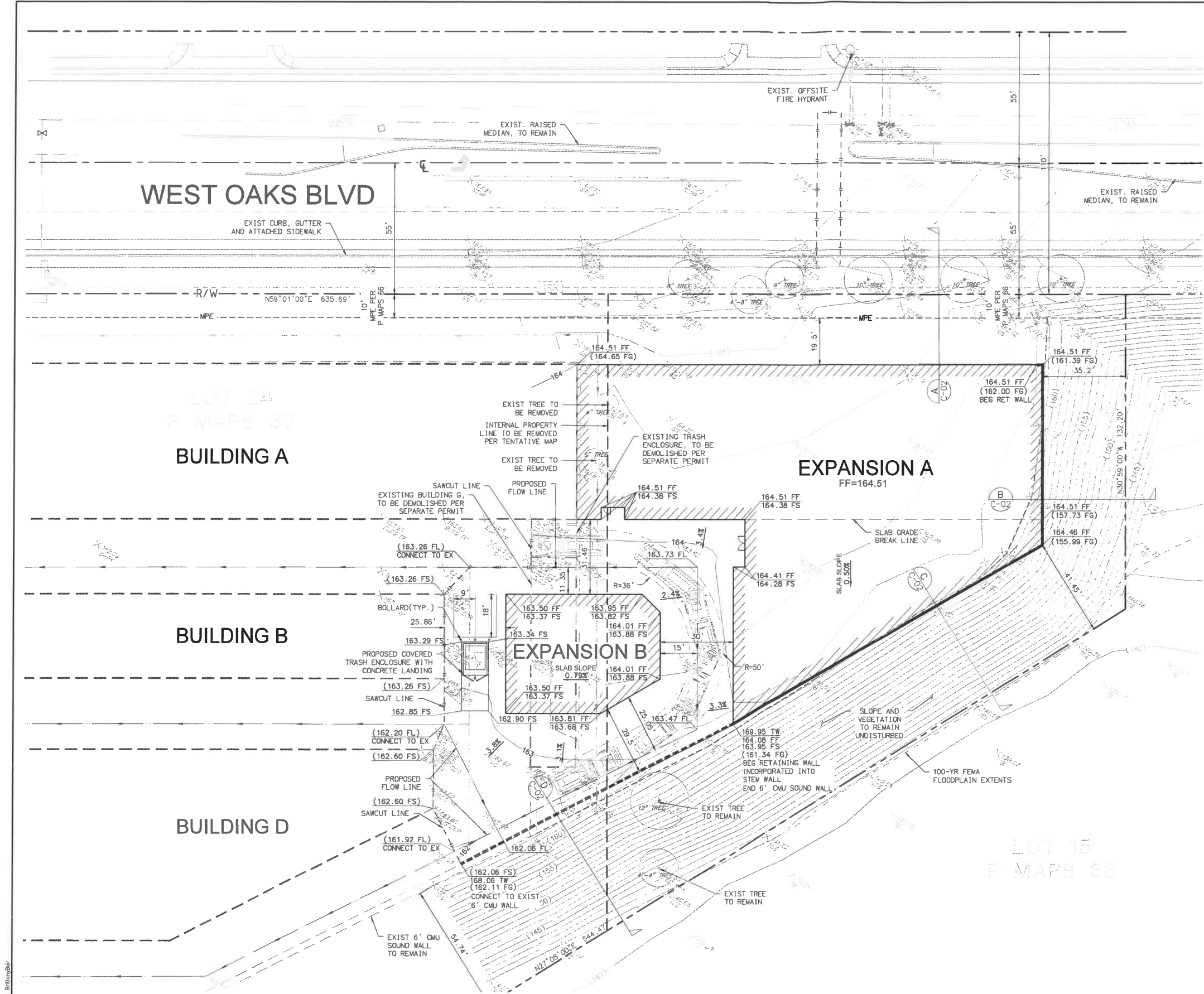
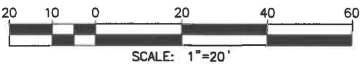
NO.	DESCRIPTION	SHEET
1	CONCEPTUAL GRADING AND DRAINAGE	C01
2	CROSS SECTIONS	C02
3	CONCEPTUAL UTILITY PLAN	C03

SITE INFORMATION

APN: 017-350-031  
SITE AREA: 1.00 ACRE  
UNDISTURBED AREA: 0.20 ACRE  
WETLANDS AREA: N/A  
FLOOD PLAIN AREA: N/A  
SOIL GROUP: D  
IMPERVIOUS: 63%  
  
RAW EARTHWORK  
CUT: 457 CU. YDS.  
FILL: 457 CU. YDS.  
NET: 0 CU. YDS. (BALANCE)  
RAW EARTHWORK NOT ACCOUNTING FOR BULKING,  
SWELLING, OR TRENCH SPOILS



FIRE TRUCK TURN DETAIL  
NO SCALE



Revised: Feb. 02, 2023 - 8:39pm by: Brittany Bair

**811**  
Know what's below.  
Call before you dig.

SCALE  
1"=20'  
HORIZ.  
N/A  
VERT.  
DATE  
1/31/2023

JOB NUMBER: 10.039  
DRAWN BY: FNB  
DESIGNED BY: BNB  
CHECKED BY: BNB

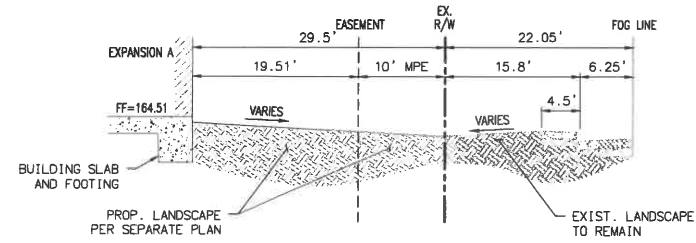
**B**  
**ENGINEERING**  
2637 KEY LARGO STREET  
WEST SACRAMENTO, CA 95691  
BRITTANY N. BAIR, RCE. 87537  
EXP DATE: 09/30/2023  
DATE

PREPARED FOR:  
EXTRA SPACE STORAGE  
2795 E. COTTONWOOD PKWY #400  
SALT LAKE CITY, UTAH 84121  
ATTN: SHANDON GUBLER

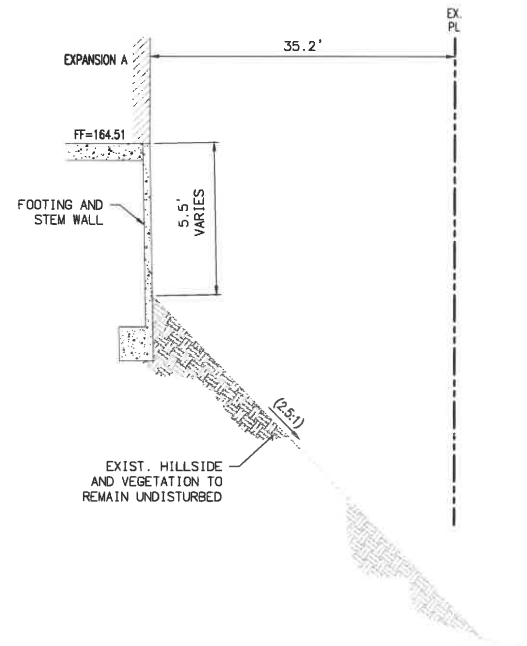
EXTRA SPACE STORAGE #0684 - EXPANSION  
5951 WEST OAKS BLVD, ROCKLIN, CA  
**CONCEPTUAL GRADING  
AND SITE PLAN**  
CITY OF ROCKLIN, CALIFORNIA

SHEET  
**C01**  
1 OF 3

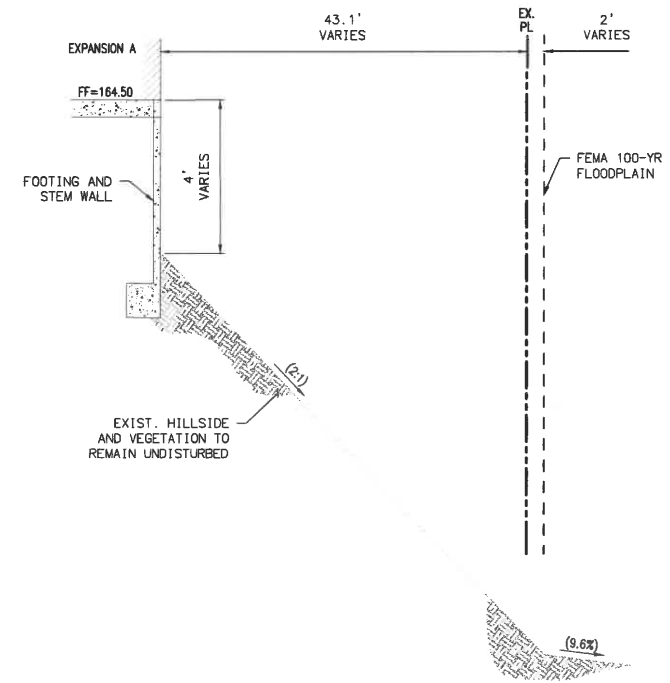
PRELIMINARY - NOT FOR CONSTRUCTION



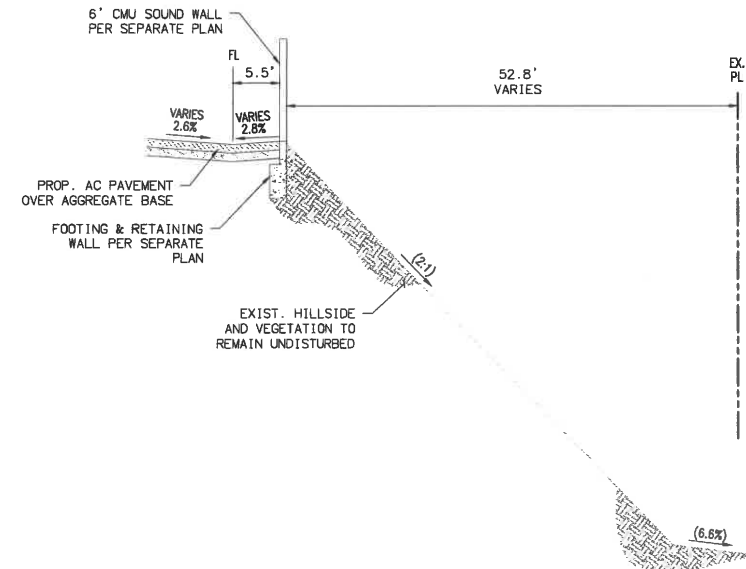
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**B**  
CROSS SECTION "B"  
NO SCALE





**C**  
CROSS SECTION "C"  
NO SCALE

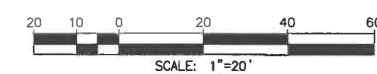


**D**  
CROSS SECTION "D"  
NO SCALE

Plotted: Feb 02, 2023 - 8:39pm by: BrittanBair

 Know what's <b>Call</b> below. before you dig.	SCALE 1"=20' HORIZ. N/A VERT. DATE 1/31/2023	JOB NUMBER: 10.039 DRAWN BY: FNB DESIGNED BY: BNB CHECKED BY: BNB	 <b>ENGINEERING</b> 2637 KEY LARGO STREET WEST SACRAMENTO, CA 95691 BRITTANY N. BAIR, RCE: 87537 EXP DATE: 09/30/2023	PREPARED FOR: EXTRA SPACE STORAGE 2795 E COTTONWOOD PKWY #400 SALT LAKE CITY, UTAH 84121 ATTN: SHANDON GUBLER	EXTRA SPACE STORAGE #0684 - EXPANSION 5951 WEST OAKS BLVD, ROCKLIN, CA	SHEET <b>C02</b>
					TYPICAL SECTIONS	2 OF 3
					CITY OF ROCKLIN, CALIFORNIA	

PRELIMINARY - NOT FOR CONSTRUCTION



1. ONSITE STORM DRAIN INLETS TO BE MARKED "NO DUMPING! FLOWS TO CREEK".
2. FIRE SPRINKLER TEST WATER TO BE PROPERLY DISPOSED OF PER PLUMBING PLANS.
3. CONDENSATE DRAIN LINES, ROOF DRAINS AND GUTTERS TO BE DRAINED TOWARDS LANDSCAPED AREAS, SEE ARCHITECTURAL PLANS.
4. ALL HARDCAPES AND PARKING AREAS MUST BE MAINTAINED REGULARLY TO PREVENT ACCUMULATION OF DEBRIS.



JOB NUMBER: 10.039
DRAWN BY: FNB
DESIGNED BY: BNB
CHECKED BY: BNB



**PREPARED FOR:**  
EXTRA SPACE STORAGE  
2795 E COTTONWOOD PKWY  
SALT LAKE CITY, UTAH 84119  
ATTN: SHANDON GUBLER

CITY OF ROCKLIN, CALIFORNIA

3 OF 3

Great Valley Design, Inc.

Regionally Appropriate Landscapes  
1219 Spruce Lane  
Davis, CA  
(530) 231.5890  
www.gvalley.com  
California Registered Landscape Architects # 4740  
Nevada Registered Landscape Architects # 989

Project Owner:

EXTRA SPACE

Project Location:

West Oaks S.S.

Frontage Landscape Improvements  
5951 West Oaks Blvd., Rocklin CA 95765

ARCHITECTS STAMP:



MARK	DATE	DESCRIPTION

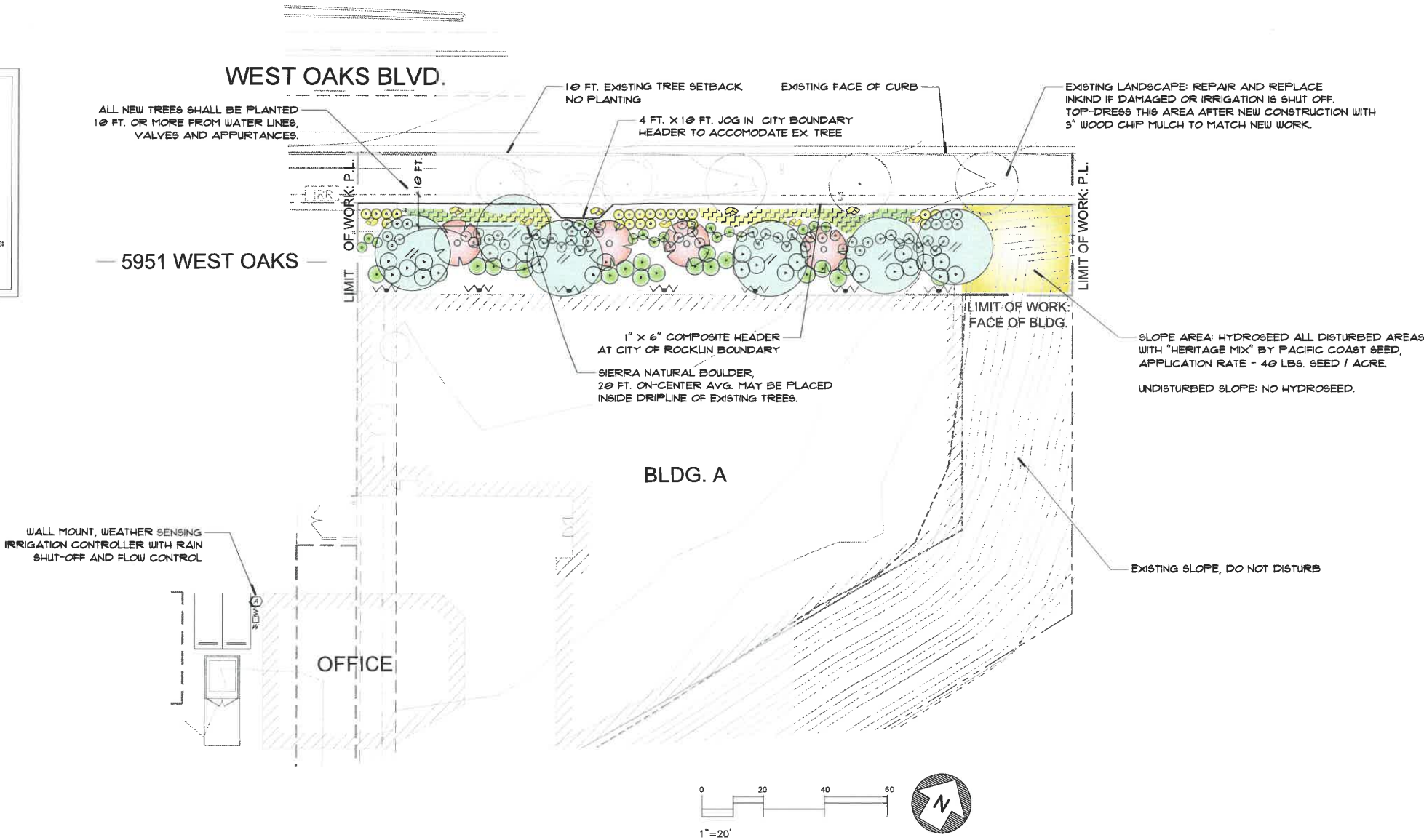
Landscape Concept Plan

SCALE:	PER DETAIL	CLIENT NO.:	
DATE:	22 MARCH, 2023	PROJECT NO.:	02822
DRAWN:			
APPROVED:			
FILE NAME:	_02822Concept.dwg		

L-1

IRRIGATION DESIGN STATEMENT

NEW WEATHER SENSING TECHNOLOGY, FLOW SENSING AND RAIN SHUTOFF TECHNOLOGY WILL BE INCORPORATED INTO THE FINAL DESIGN OF LANDSCAPE. MOST PLANTING SUCH AS SHRUBS AND GROUND-COVERS WILL BE IRRIGATED WITH POINT-SPECIFIC, LOW FLOW DRIP IRRIGATION. ALL DRIP LINES TO BE STAKED AND COVERED BY HARDWOOD CHIP MULCH, 3" MIN. FINAL LANDSCAPE PLANS SHALL MEET OR EXCEED A.B. 1881 (MWELO) ORDINANCE. THERE WILL BE NO TURF AREAS ON THIS PROJECT. NEWLY PLANTED TREES WILL BE IRRIGATED USING NETAFIM MULTISEMITTER COLLARS TO PREVENT RUNOFF. TREES WILL BE IRRIGATED SEPARATELY FROM SHRUBS AND GROUNDCOVERS. ALL WATER QUALITY BASINS SHALL BE IRRIGATED FOR VEGETATION ESTABLISHMENT ONLY. ALL HYDRO-ZONES (BASED ON SUN EXPOSURE AND PLANT TYPE) WILL BE IRRIGATED SEPARATELY. MAX. DESIGN FLOW: 30 G.P.M. MAX IN 1-1/2" PRESSURE MAIN. MIN. DESIGN PRESSURE AT DISTRIBUTION: 20 PSI. OWNER SHALL PROVIDE AUDIT OF FINISHED IRRIGATION SYSTEM BY A CERTIFIED THIRD PARTY, TO INCLUDE RECOMMENDED MAX. SEASONAL RUN TIMES (AULT) AND QUARTERLY ADJUSTMENTS TO SCHEDULE. TOTAL AREA OF IRRIGATED LANDSCAPE AS SHOWN: 4,910 S.F.



PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	QUANTITY	WUCOL	SYMBOL	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	QUANTITY	WUCOL
TREES						VINES					
	PLATANUS COLUMBIA (25 FT. DIA. 1,256 S.F.)	COLUMBIA PLANE TREE	15 GAL.	6	M		FN FICUS NITIDA	CLINGING FIG	5 GAL.	5	M
	LAGERSTROMIA MUSKOGEE (15 FT. DIA. 490 S.F.)	LAVENDER CRAPE MYRTLE	15 GAL.	4	M	GRASSES					
SHRUBS AND PERENNIALS							MC MUHLENBERGIA CAPILLARIS	COTTON CANDY GRASS	1 GAL.	12	L
GC	ELAEAGNUS PUNGENS	PINE GREVILLEA	5 GAL.	42	L	GROUND COVER					
NP	NERIUM 'PETITE RED'	DWARF OLEANDER	5 GAL.	17	L		VINCA MINOR	CREEPING BLUE STAR	1 GALLON 36" ON CENTER	585 SQ. FT.	L
LF	DIETES LEMON DROPS	YELLOW FORTNIGHT LILY	5 GAL.	32	L	BOULDER					
RT	ROSMARINUS TUSCAN BLUE	UPRIGHT ROSEMARY	5 GAL.	19	L		SIERRA NATURAL BY LYNGSO OR SIMILAR 24" X 36" NOMINAL SIZE MIN. FINAL LOCATION PER CONSTRUCTION PLANS AND DETAILS.		585 SQ. FT.	--	
LL	RHAPIOLEPIS CLARA	INDIAN LAUREL	1 GAL.	21	L						

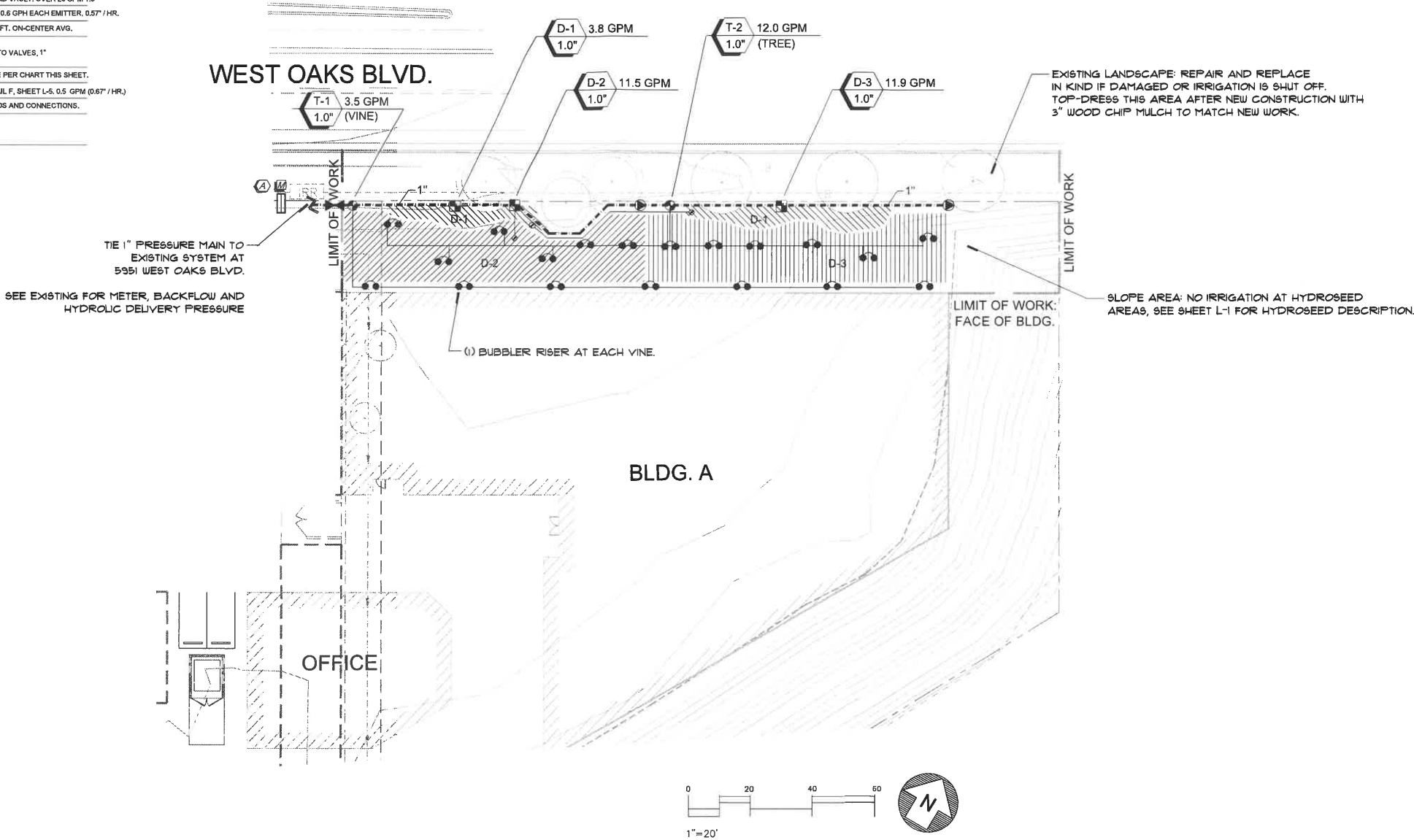
DESIGN NOTES:

- NEW PLANTING TO RESEMBLE EXISTING TO THE WEST.
- CITY STREETScape TO REMAIN, SEE SETBACK NOTES ABOVE.
- BOULDERS SHOWN FOR QUANTITY ONLY, FINAL PLACEMENT PER LANDSCAPE IMPROVEMENT PLANS.

IRRIGATION EQUIPMENT LEGEND

SYMBOL	MANUF.	MODEL	DESCRIPTION
			SEE EXISTING AT EXISTING 'EXTRA SPACE' SELF STORAGE 5951 WEST OAKS BLVD.
			SEE EXISTING AT EXISTING 'EXTRA SPACE' SELF STORAGE 5951 WEST OAKS BLVD.
CONTROLLER (A)			SEE EXISTING AT EXISTING 'EXTRA SPACE' SELF STORAGE 5951 WEST OAKS BLVD.
	APPROVED		LINE-SIZE BRASS BALL VALVE @12 ROUND VALVE BOX PER DETAIL E, SHEET L-4.
	HUNTER	IC2-101	DRIP CONTROL ZONE KIT, INCLUDES 1" GLOBE VALVE, WYE FILTER, PRESET 20 PSI REGULATOR, STANDARD LID AND HANDLE.
	HUNTER	ICV-101G/151G	REMOTE CONTROL VALVE, STANDARD LID AND VAULT, OVER 20 GPM 1.5'
	TORO	DL 2000	LATERAL ROWS: 18" O.C. EMITTERS: 12" O.C., 0.5 GPH EACH EMITTER, 0.57" / HR.
	RAINBIRD	44NP	QUICK COUPLER PER DETAIL F, SHT. L-4, 100 FT. ON-CENTER AVG.
	APPROVED	CLASS 315	PRESSURIZED IRRIGATION MAINLINE, P.O.C. TO VALVES, 1"
	APPROVED	SCH 40-RCLM	PVC IRRIGATION LATERAL LINE, 3/4" MIN. SIZE PER CHART THIS SHEET.
	TORO	ADJ. #570	TREE BUBBLER NOZZLE/MANIFOLD PER DETAIL F, SHEET L-5, 0.5 GPM (0.67" / HR.)
			DRIP GRID ATTACHMENT SEE DETAILS A, C-E, SHEET L-5 FOR DRIP GRIDS AND CONNECTIONS.

T-1 16 GPM  
3/4" INDICATES STATION NUMBER/TYPE (T-TREE, D-DRIP, S-SPRAY)  
INDICATES GALLONS PER MINUTE  
INDICATES CONTROL VALVE SIZE



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Project Owner:  
EXTRA SPACE

Project Location:  
West Oaks S.S.  
Frontage Landscape Improvements  
5951 West Oaks Blvd., Rocklin CA 95765

ARCHITECTS STAMP:



MARK	DATE	DESCRIPTION

Irrigation Plan

SCALE:	PER DETAIL	CLIENT NO.:	
DATE:	31 JAN., 2023	PROJECT NO.:	02822
DRAWN:			
APPROVED:			
FILE NAME:	_02822irrpPin.dwg		

L-2

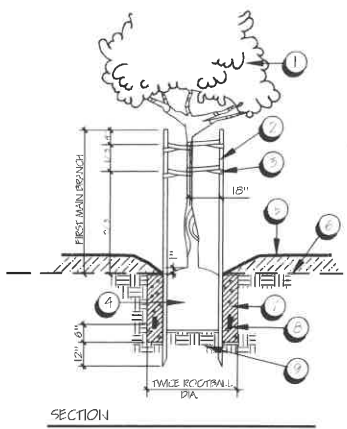
"I HAVE COMPLIED WITH THE CRITERIA OF THE MWELO, AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN AND IRRIGATION PLAN."

Scott E. Palmer  
C.L.A. 4740

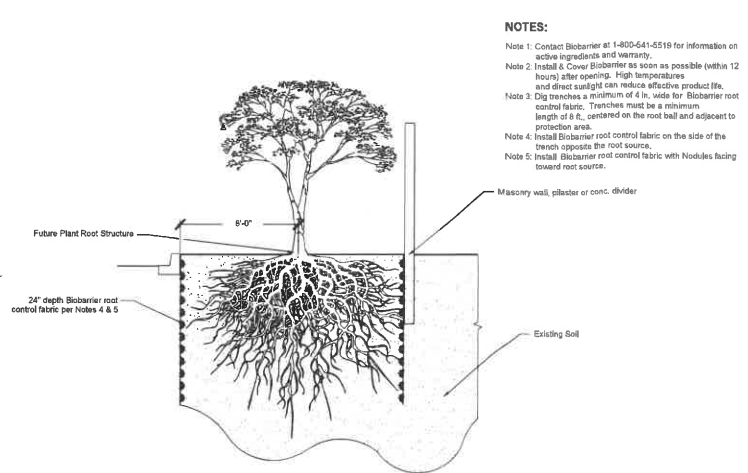


SEE SHEET L-1 FOR PLANTING PLAN  
SEE SHEET L-4 TO L-5 FOR IRRIGATION DETAILS





- PLAN
- 1 TREE
  - 2 2" DIA. LODGEPOLE PINE STAKE-SET OPPOSITE TO PREVAILING WIND, REMOVE WHEN TREE IS SELF-STABLE
  - 3 RUBBER TWIST TIES, KNOT AND ATTACH TO STAKE
  - 4 TREE ROOTBALL, SET TOP OF ROOTBALL 1" ABOVE FINISH GRADE.
  - 5 3" DEEP LAYER OF WOOD CHIP MULCH
  - 6 FINISH GRADE
  - 7 PREPARED BACKFILL, 50% AMENDMENT, 50% NATIVE SOIL
  - 8 AD-MIX 80 GRAMS GRANULAR, SLOW RELEASE FERTILIZER AND PLANT TABS INTO BACKFILL PER SOIL ANALYSIS, TOP-PRESS WITH MULCH PER PLANTING NOTES L-S.
  - 9 UNDISTURBED NATIVE SOIL



NOTES:

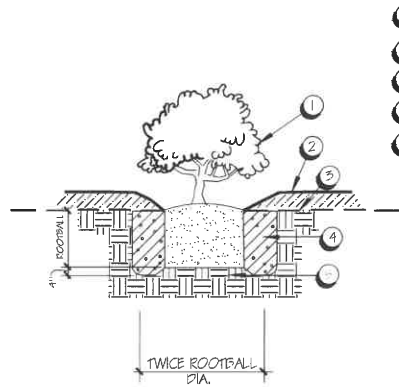
Note 1: Contact Biobarrier at 1-800-641-5519 for information on active ingredients and warranty.

Note 2: Install & Cover Biobarrier as soon as possible (within 12 hours) after opening. High temperatures and direct sunlight can reduce effective product life.

Note 3: Dig trenches a minimum of 4 in. wide for Biobarrier root control fabric. Trenches must be a minimum length of 8 ft., centered on the root ball and adjacent to protection area.

Note 4: Install Biobarrier root control fabric on the side of the trench opposite the root source.

Note 5: Install Biobarrier root control fabric with Nodules facing toward root source.



- 1 SET CROWN 1" ABOVE FINISH GRADE
- 2 3" WOOD CHIP MULCH
- 3 FINISHED GRADE
- 4 AMENDED BACKFILL PER SHEET L-S
- 5 SET ROOTBALL ON UNDISTURBED SOIL

NOTE:

1. SCARIFY SIDES OF PLANTING PIT.
2. PRE-WATER PLANTING PIT 24 HR. PRIOR TO PLANTING. IF PIT DOES NOT DRAIN IN 24 HR., NOTIFY LANDSCAPE ARCHITECT.

## A TREE PLANTING

N.T.S.

## B BIOBARRIER AT TREE PLANTING

NOT TO SCALE

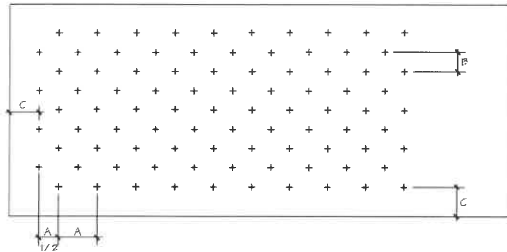
## C SHRUB PLANTING

N.T.S.

### PLANT SPACING SCHEDULE:

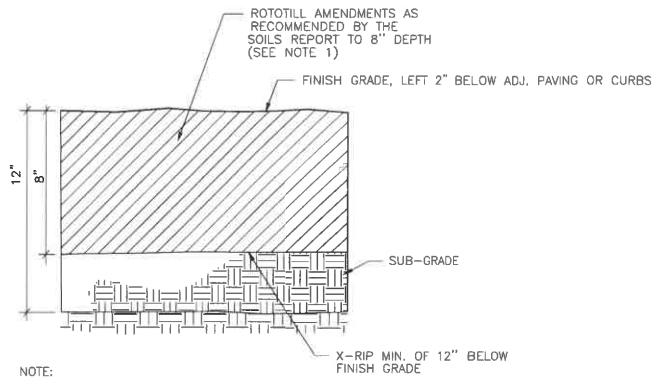
A - TRIANGULAR SPACING	B - ROW SPACING	C - PERIMETER SET-BACK
6"	5 1/2"	4"
12"	10 1/2"	10"
18"	16"	12"
24"	21"	18"
36"	24"	24"

### PLANTING GRID:



## D G.C. LAYOUT

N.T.S.

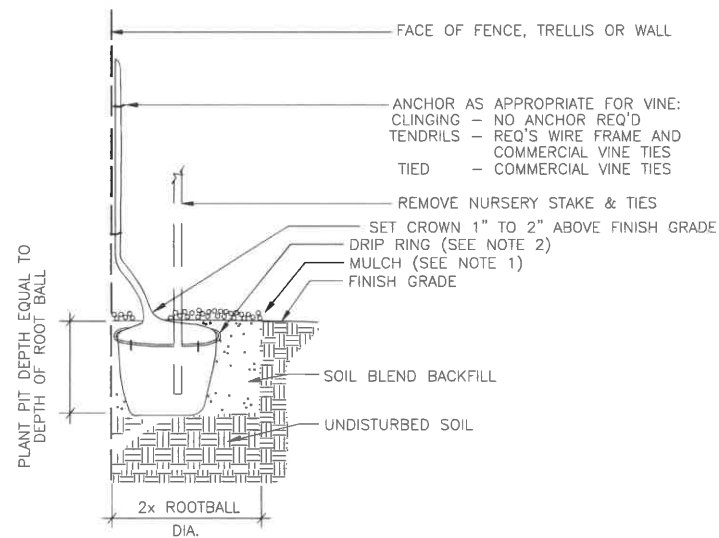


NOTE:

1. ADD AMENDMENTS AND X-RIP SOIL IN PLANTING AREAS PER SOIL REPORT. SOIL REPORT TO BE PROVIDED FROM ORIGINAL SOIL BY CONTRACTOR PRIOR TO TILLING OR AMENDMENT. REPORT TO INCLUDE: SOIL TEXTURE, INFILTRATION RATE, pH, TOTAL SOLUBLE SALTS, SODIUM, % ORGANIC MATTER, AMENDMENT RECOMMENDATIONS.

## E SOIL AMENDMENT: SECTION

N.T.S.



NOTE:

1. 3" DEEP LAYER OF MULCH MATERIAL AS PER SPECIFICATIONS. KEEP 3" AWAY FROM ROOT CROWN.
2. INSTALL AS PER TREE PLANTING DRIP RING.

## G VINE PLANTING

N.T.S.

Great Valley Design, Inc.  
Regionally Appropriate Landscapes  
1219 Spruce Lane  
Davis, CA  
(530) 231.5890  
www.grvalley.com  
California Registered Landscape Architects # 4740  
Nevada Registered Landscape Architects # 989

Project Owner:  
EXTRA SPACE

Project Location:  
West Oaks S.S.  
Frontage Landscape Improvements  
5951 West Oaks Blvd., Rocklin CA 95765

ARCHITECTS STAMP:



MARK	DATE	DESCRIPTION

### Planting Details

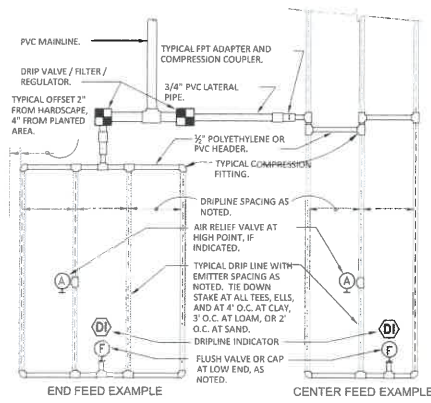
SCALE:	PER DETAIL	CLIENT NO.:	
DATE:	31 JAN, 2023	PROJECT NO.:	02822
DRAWN:			
APPROVED:			
FILE NAME:	_02822PrintDtl.dwg		

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FILE NAME: \_02822 IrrgDet.dwg

L-4

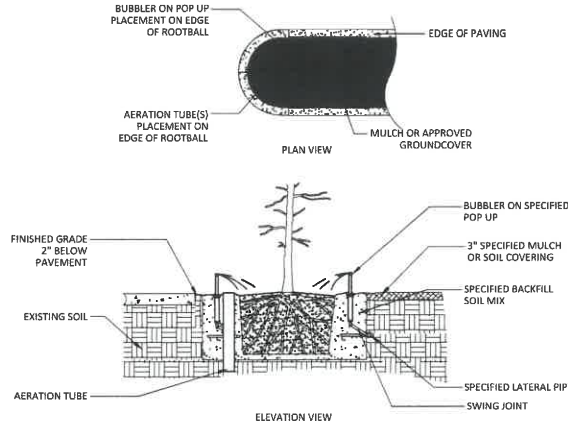
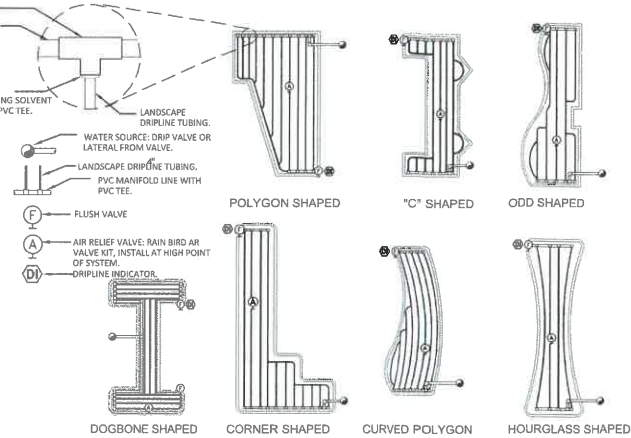


PSI	MAXIMUM LATERAL LENGTH (FEET)			
	12" SPACING 0.6 GPM	18" SPACING 0.6 GPM	24" SPACING 0.6 GPM	24" SPACING 0.6 GPM
10	125 96	175 135	218 171	218 171
20	249 191	350 271	442 340	442 340
30	373 286	525 406	663 510	663 510
40	500 386	700 546	884 680	884 680
50	625 486	875 686	1105 860	1105 860
60	750 586	1050 786	1326 1000	1326 1000

EMITTER SPACING	GRID PRECIPITATION RATES (IN/HR)		MAXIMUM FLOW PER ZONE	
	12"	18"	MAX GPM	PSI LOSS
12"	12	18	1.2	4.7 GPM 7.7 PSI
18"	18	27	1.8	3.4" 8.3 GPM 5.6 PSI
24"	24	36	2.4	1" 13.5 GPM 4.2 PSI
30"	30	45	3.0	1-1/2" 33.9 GPM 2.9 PSI
36"	36	54	3.6	2" 52.4 GPM 1.9 PSI

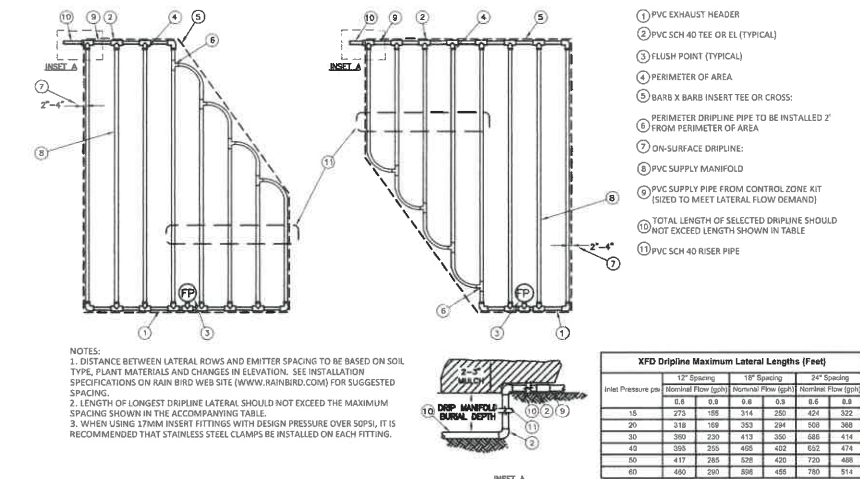
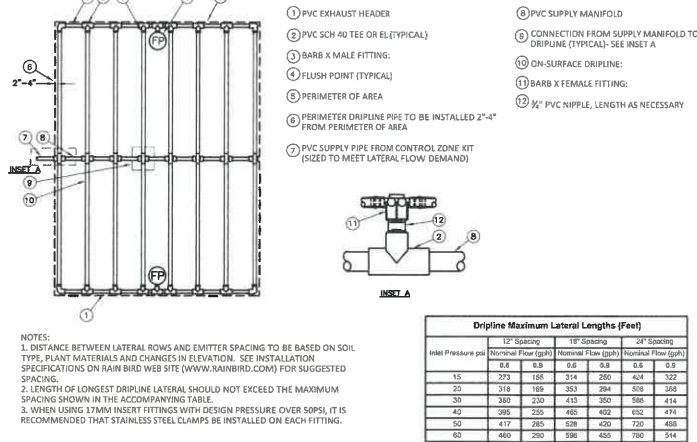
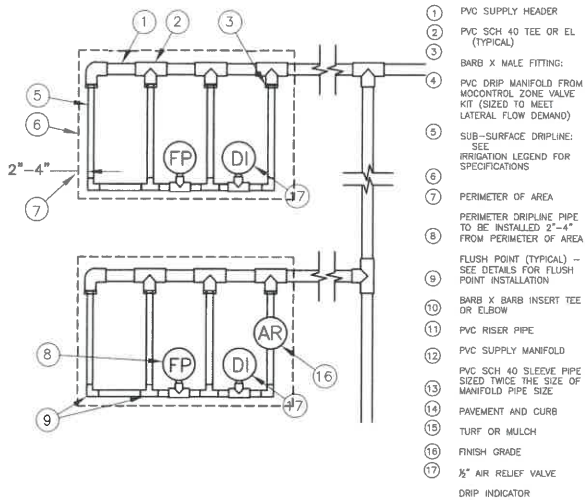
EMITTER SPACING	LATERAL FLOW PER 100 FT (GPM)		POLY PIPE HEADER SIZE	
	12"	18"	1/2"	3/4"
0.6 GPM	1.0 GPM	0.67 GPM	0.50 GPM	0.75 GPM
0.9 GPM	1.5 GPM	1.0 GPM	0.75 GPM	1.1 GPM
1.2 GPM	2.0 GPM	1.3 GPM	1.0 GPM	1.5 GPM
1.5 GPM	2.5 GPM	1.7 GPM	1.25 GPM	1.9 GPM

- SLOPED CONDITION NOTE:
1. DRIPLINE LATERALS SHOULD FOLLOW THE CONTOURS OF THE SLOPE WHENEVER POSSIBLE.
  2. INSTALL AIR RELIEF VALVE AT HIGHEST POINT.
  3. NORMAL SPACING WITHIN THE TOP 1/3 OF SLOPE.
  4. INSTALL DRIPLINE AT 25% GREATER SPACING AT THE BOTTOM 1/3 OF THE SLOPE.
  5. WHEN ELEVATION CHANGE IS 10 FT OR MORE, ZONE THE BOTTOM 1/3 ON A SEPARATE VALVE.



## A TYPICAL DRIPLINE SYSTEM REQUIREMENTS NOT TO SCALE

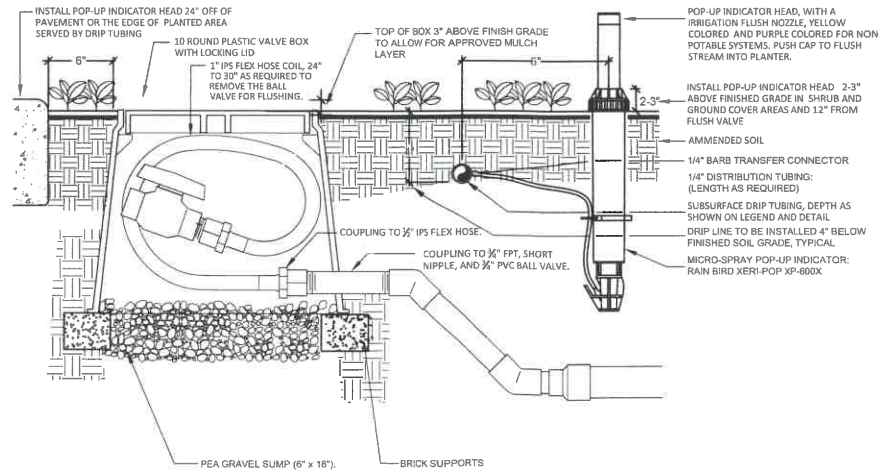
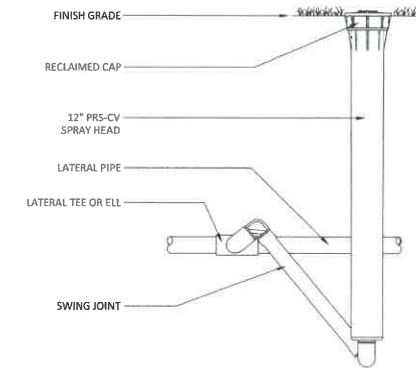
## B TREE BUBBLER NOT TO SCALE



## C DRIP SUPPLY HEADER NOT TO SCALE

## D CENTER FEED DRIP SYSTEM NOT TO SCALE

## E DRIP SYSTEM-IRREGULAR PLANTING AREA NOT TO SCALE



NOTE: INSTALL INDICATOR HEAD 24" MAX FROM THE EDGE OF PAVING OR THE PLANTER EDGE. INSTALL YELLOW COLORED INDICATOR CAP ON XERI POP HEAD. FOR RECYCLED WATER USE A PURPLE IRRIGATION CAP.

## F PRS-CV POP-UP RISER AT TREE / VINE BUBBLERS NOT TO SCALE

## G POP-UP DRIP FUNCTION INDICATOR NOT TO SCALE

Great Valley Design, Inc.  
Regionally Appropriate Landscapes  
1219 Spruce Lane  
Davis, CA  
(530) 231.5890  
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California Registered Landscape Architects # 4740  
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FILE NAME:	_02822 IrrDet.dwg		

L-5



WORK CONDUCT AND PROCESS SPECIFICATIONS

1.

THE CONTRACTOR SHALL PROVIDE ALL LABOR, EQUIPMENT AND MATERIALS TO FURNISH AND INSTALL LANDSCAPE IMPROVEMENTS AS INDICATED BY THE DRAWINGS.

2.

THE CONTRACTOR SHALL MAINTAIN THE PROJECT SITE THROUGHOUT THE PROCESS OF WORK (DEEMED ACCEPTED BY OWNER OR GOVERNING AGENCY) IN A REASONABLE, DRY, WORKABLE CONDITIONS, FREE OF SURFACE WATER OR NON-SOURCE POINT SEDIMENT. THE CONTRACTOR SHALL CONFORM TO THE TERMS OF ALL USE PERMITS, STORM WATER PERMITS, SITE ACCESS, SITE SECURITY, HOURS OF WORK AND SPECIAL PROVISIONS SUCH AS HABITAT PROTECTION, SWWP OR MWLO.

3.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF PERSONS AND PROPERTY RELATED TO THE WORK, AND INITIATE MAINTAIN AND SUPERVISE ALL PRECAUTIONS AND PROGRAMS IN CONNECTION WITH PERFORMANCE OF THE CONTRACT. THE CONTRACTOR SHALL TAKE PRECAUTIONS FOR THE SAFETY OF, AND PROVIDE REASONABLE PROTECTION TO PREVENT DAMAGE, INJURY OR LOSS TO: EMPLOYEES ON THE SITE AND OTHER PERSONS WHO MAY BE AFFECTED THEREBY; THE WORK, MATERIALS, EQUIPMENT AND PROCESSES TO BE INCORPORATED THEREIN, WHETHER IN TRANSPORT, STORAGE ON OR OFF SITE, UNDER CARE, CUSTODY OR CONTROL OF THE CONTRACTOR OR SUB-CONTRACTORS, OR FEATURES AT OTHER PROPERTY ADJACENT TO THE SITE SUCH AS PAVEMENT, ROADWAYS, STRUCTURES, UTILITIES, TREES, SHRUBS, TURF, IRRIGATION OR DRAINAGE.

4.

THE CONTRACTOR SHALL CONFORM TO THE TERMS OF ALL TREE PROTECTION MEASURES PLACED ON THE PROJECT.

5.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND/OR PLACEMENT OF ALL SLEEVES AND PIPES, AS SHOWN ON LAYOUT AND IRRIGATION PLANS, OR IN RESPONSE TO AS-BUILT CONDITIONS, PRIOR TO THE INSTALLATION OF PAVING, FENCING, SOIL COMPACTION, OR OTHER SITE IMPROVEMENTS.

6.

LANDSCAPE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR DAMAGE TO HIS WORK CAUSED BY THE WORK, MATERIALS OR EQUIPMENT (VEHICLES, SCAFFOLDING, HOSES, ROOFING OR CLADDING) OF OTHER TRADES.

7.

THE BOTTOM OF TRENCHES FOR DRAINAGE AND IRRIGATION SHALL BE GRADED AND COMPACTED TO PROVIDE AN EVEN, FIRM AND UNIFORM BEARING SURFACE THROUGHOUT THE ENTIRE LENGTH OF PIPE.

8.

THE SITE PLAN IS NOT SURVEYED, SITE ELEMENTS ARE ASSUMED FROM PLANS AND INFORMATION PROVIDED BY OWNER. CONFIRM ALL ELEMENTS SHOWN ON THE PLANS PRIOR TO CONSTRUCTION.

9.

ALLOWABLE SLOPES FOR PAVING (CONCRETE AND COMPACTED AGGREGATE, D.G., MODIFIED SOILS) SHALL BE AS FOLLOWS:

MINIMUM

MAXIMUM

LONGITUDINAL SLOPES:

5%

5%

CROSS SLOPES:

1%

2%

DRAIN LINES:

0.5%

5%

10.

GRADE BREAK TRANSITIONS CONSTRUCTED AT LANDSCAPE AND PAVED AREAS SHALL BE SMOOTH, WITHOUT ANY NOTICEABLE HINGE POINT. NO LANDSCAPE RETAINING UNLESS SHOWN ON PLANS IS ANTICIPATED, ANY SLOPES REQUIRED IN PLANTING AREAS OVER 20% NOTIFY LANDSCAPE ARCHITECT.

11.

THE OWNER'S REPRESENTATIVE SHALL APPROVE IN PLACE ALL PAVING FORMS, LAYOUT, SECTION DEPTHS AND REINFORCING METHODS, PRIOR TO THE PLACEMENT OF CONCRETE, ASPHALT, D.G. OR MODIFIED SOIL.

IRRIGATION NOTES

1.

THE IRRIGATION SYSTEM SHALL BE INSTALLED BY THE CONTRACTOR TO CONFORM WITH ALL APPLICABLE STATE LAWS AND WATER EFFICIENT LANDSCAPE ORDINANCES, WHICHEVER IS MORE STRINGENT.

2.

THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND FEES RELATED TO IRRIGATION WORK.

3.

ALL IRRIGATION COMPONENTS SHOWN ARE SCHEMATIC. CONTRACTOR SHALL FURNISH ALL MATERIALS, EQUIPMENT, SERVICES AND LABOR NECESSARY TO INSTALL A COMPLETE IRRIGATION SYSTEM INCLUDING: SERVICE MANUALS, RECORD DRAWINGS, CONNECTIONS, TIES, STAKES, NOZZLES AND EMITTERS, INSTALLATION AND GUARANTEE. GUARANTEE SHALL EXTEND ONE YEAR FROM ACCEPTANCE AND INCLUDE DEFECTS IN WORKMANSHIP, MATERIALS, EQUIPMENT. GUARANTEE SHALL ALSO INCLUDE REMEDY TO LEAKS AND SETTLING OF TRENCHES AND PROVIDE PROMPT REPAIR OF DEFECTS AND DAMAGE AT NO COST TO THE OWNER, INCLUDING THE RESTORATION OF PLANTING, PAVING, STRUCTURES OR THEIR IMPROVEMENTS. MANUFACTURER'S WARRANTIES DO NOT RELIEVE LIABILITY UNDER THE GUARANTEE.

4.

DO NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN IF OBSTRUCTIONS, UTILITIES, CHANGES TO ELECTRICAL OR WATER CONNECTION LOCATIONS, GRADE DIFFERENCES OR DIMENSIONAL DIFFERENCES EXIST THAT WERE NOT KNOWN AT THE TIME OF IRRIGATION SYSTEM DESIGN. NOTIFY OWNER OF SUCH DISCREPANCIES. IN THE EVENT NOTIFICATION OF SUCH DISCREPANCIES IS NOT PERFORMED, THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR NECESSARY REPAIRS OR REVISIONS TO IRRIGATION SYSTEM.

5.

NO IRRIGATION LATERAL LINES, DRIP LINES IN AREAS LESS THAN 1 FT. IN WIDTH.

6.

NO IRRIGATION SPRAY HEADS WITHIN 24 INCHES OF CURBS, PAVING, WALLS PER MWLO. ADJUST ALL IRRIGATION COMPONENTS FOR NO OVERSPRAY AT PAVING.

7.

THE IRRIGATION SYSTEM DESIGN IS BASED ON A MINIMUM PRESSURE AND A MAXIMUM FLOW DEMAND, AS STATED ON THE PLANS FOR EACH POINT OF CONNECTION. VERIFY STATIC WATER PRESSURE, SERVICE LINE SIZE, AND WATER METER LOCATION AND SIZE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE ACTUAL WATER PRESSURE, SERVICE SIZE AND METER SIZE WITH THAT INDICATED ON THE PLANS SHALL BE IMMEDIATELY REPORTED TO THE OWNER PRIOR TO BEGINNING WORK.

8.

ALL PRESSURE SUPPLY (MAIN) PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE PLANS. WHERE IRRIGATION LATERALS DOWNSTREAM FROM AN IRRIGATION CONTROL VALVE ARE NOT SIZED ON THE PLANS, 3/4 INCH PIPE SHALL BE USED. SUBSTITUTIONS OF SMALLER PVC PIPE SHALL NOT BE ALLOWED.

9.

COMPACT ALL IRRIGATION TRENCHES WITH SUITABLE APPROVED SOIL WITHOUT CLOUDS OR ROCKS OVER 1 INCH IN SIZE. COMPACT TRENCHES TO 90% RELATIVE COMPACTION.

10.

IRRIGATION MAINS AND IRRIGATION CONTROL WIRE SHALL BE SLEEVED SEPARATELY BENEATH PAVING AND WALLS IN SCH. 315 P.V.C. PIPE. MAINS SHALL BE SLEEVED IN PIPE TWICE THE DIAMETER OF THE MAIN OR PER DIRECTION OF GOVERNING AGENCY. REASONABLE LOCATIONS AND QUANTITIES OF SLEEVES FOR MAINS AND CONTROL WIRE ARE SHOWN ON THE PLANS, ADJUST OR ADD TO LOCATIONS AND DEPTH IN THE FIELD TO ACCOUNT FOR PAVING SECTION, SPECIAL CONDITIONS (ACCESS ROUTES FOR OVER-WEIGHT VEHICLES), ENHANCED COMPACTION, UNUSUAL SOIL OR FILL TYPES, SEPARATIONS FROM WATER, SEWER, GAS AND OTHER UTILITIES.

11.

ALL NEW IRRIGATION CONTROL WIRE (18 GA. OR TWO-WIRE) SHALL HAVE 4 FT. LOOPS OF EXTRA WIRE AT EACH VALVE BOX. ALL SPLICES OF CONTROL WIRE SHALL BE MADE WITHIN VALVE BOXES MARKED "SB" (SPlice BOX), NOT IN-GRADE. SPLICES SHALL BE MADE WITH COPPER CRIMP-TYPE CONNECTOR, INSTALLED WITHIN "SM" (SBY SEAL PACk OR MANUFACTURER APPROVED EQUAL. DO NOT SPICE TWO-WIRE CONTROL IF POSSIBLE.

12.

EXACT LOCATION OF CONTROL WIRE IS NOT SHOWN, RUN ATOP MAIN IF POSSIBLE.

GENERAL CONSTRUCTION NOTES

1.

ALL CONSTRUCTION SHALL BE INSTALLED BY LICENSED CONTRACTORS AND EXPERIENCED WORKERS.

2.

CONTRACTOR TO OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND FEES RELATED TO HIS WORK.

3.

LOCATIONS OF UTILITIES SHOWN ARE INFORMATIONAL ONLY AND PROVIDED BY OTHERS. CONTRACTOR SHALL LOCATE AND STAKE LOCATIONS OR CONFIRM LOCATIONS PRIOR TO CONSTRUCTION BY CALLING U.S.A. NORTH 811 (800) 642-2444. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ALL DAMAGES INCURRED.

4.

THE DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE, SURFACE OR CONDITION. ALL STAKING, SITE LAYOUT, BRACING, TEMPORARY SUPPORT, SHORING, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

5.

ALL DIMENSIONS ARE TAKEN FROM BACK OF CURB, FACE OF WALL OR PROPERTY LINE PROVIDED BY OTHERS UNLESS OTHERWISE NOTED ON PLANS. DIMENSIONS ARE SHOWN FOR RELATIONSHIP OF BUILT ELEMENTS AND TAKE PRECEDENT OVER SCALED DRAWINGS. ALL RADII AND CURVES SHALL HAVE CONTINUOUS AND SMOOTH TRANSITIONS WITHOUT ABRUPT CHANGES OR BENDS.

6.

CONDITIONS NOT SPECIFICALLY SHOWN ON THE PLANS SHALL BE CONSTRUCTED ACCORDING TO THE DETAILS FOR RESPECTIVE OR SIMILAR MATERIALS.

7.

DESIGN, MATERIALS, PRODUCTS, FINISHES, APPLICATION METHODS OR EQUIPMENT OTHER THAN THOSE DESCRIBED IN THE PLANS, NOTES OR SPECIFICATIONS MAY BE CONSIDERED FOR USE PROVIDED PRIOR APPROVAL IS OBTAINED IN WRITING FROM THE OWNER'S REPRESENTATIVE, LANDSCAPE ARCHITECT AND GOVERNING AGENCY. NO VARIATION FROM DESIGN, MATERIALS, PRODUCTS, FINISHES, APPLICATION METHODS OR EQUIPMENT SHALL BE ALLOWED WITHOUT SUCH APPROVALS.

GENERAL GRADING AND DRAINAGE NOTES

1.

CONTRACTOR SHALL VERIFY ALL SPOT ELEVATIONS, FLOOR ELEVATIONS, PAD ELEVATIONS AND GRADES PER CIVIL ENGINEER AND LANDSCAPE ARCHITECT. CONTACT OWNER IMMEDIATELY IN THE CASE OF A DISCREPANCY.

2.

EROSION CONTROL AND WATER QUALITY CONTROL MEASURES (SWWP) SHALL BE IN PLACE PRIOR TO LANDSCAPE MOBILIZATION, IN ACCORDANCE WITH LOCAL CODES AND CONDITIONS OF APPROVAL. CONTRACTOR SHALL NOT MODIFY OR REMOVE SUCH EROSION CONTROL MEASURES WITHOUT THE APPROVAL OF THE OWNER.

3.

AFTER RAIN EVENTS, ALL SILT, DEBRIS AND STANDING WATER SHALL BE REMOVED FROM STREETS, GUTTERS, SIDEWALKS AND CATCH BASINS. THIS REQUIREMENT SHALL REMAIN IN EFFECT UNTIL FINAL ACCEPTANCE OF THE PROJECT.

4.

CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING LANDSCAPE SURFACE DRAINAGE TO INLETS OR CURBS EVEN DURING INTERIM SITE PREPARATION. THE CONTRACTOR SHALL VERIFY IN WRITING THAT LANDSCAPE GRADING AND DRAINAGE WAS COMPLETED UNDER HIS DIRECTION, AND IN CONFORMANCE WITH THE PLANS AND LOCAL CODES.

5.

ALL DRAINAGE FEATURES, SURFACE AND SUB-SURFACE SHALL BE KEPT FREE OF SILT AND DEBRIS TO ENSURE PROPER FLOW UNTIL PROJECT ACCEPTANCE.

6.

GRADES AT SWALES AND FLOWLINES ARE TO BE CONSTANT AND UNIFORM BETWEEN SPOT ELEVATIONS AND DRAINAGE FEATURES. LIMITS OF DRAINAGE SWALES SHALL BE NO CLOSER THAN 3 FT. FROM WALKS, WALLS AND PROPERTY LINES.

7.

THE CONTRACTOR SHALL CONSTRUCT FINISH GRADES OF LANDSCAPE AREAS TO DIRECT WATER TOWARDS DRAINAGE STRUCTURES AND SURFACE FLOW LINES AS APPLICABLE. PROVIDE 1% MIN. SLOPE IN ALL LANDSCAPE AREAS. NOTIFY LANDSCAPE ARCHITECT OF GRADES LESS THAN 1%.

8.

LANDSCAPE GRADES IN PLANTER AREAS SHALL BE 3" BELOW TOP OF GRADE, CURB OR PAVING.

MWLO NOTES

1.

CERTIFICATE OF COMPLETION REQUIREMENTS –

a.

UPON COMPLETION OF LANDSCAPE AND IRRIGATION INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL SUBMIT THE FOLLOWING AS REQUIRED BY CALIFORNIA MWLO AND LANDSCAPE ARCHITECT FOR THIS PROJECT ACCORDING TO THE APPROVED LANDSCAPE DOCUMENTATION PACKAGE -

- SOIL ANALYSIS AND SOIL MANAGEMENT REPORT

- RECEIPTS FOR ALL SOIL AMENDMENTS

- LANDSCAPE MAINTENANCE PLAN

- IRRIGATION MAINTENANCE PLAN

- IRRIGATION SCHEDULE FOR NEW AND ESTABLISHED PLANT MATERIALS

- CERTIFICATE OF COMPLETION (COC) FORM.

b.

THE LANDSCAPE CONTRACTOR SHALL PROVIDE AN AUDIT OF COMPLETED IRRIGATION SYSTEM, CONDUCTED BY A CERTIFIED THIRD PARTY, INDICATING COMPLIANCE OF ALL INSTALLED IRRIGATION EQUIPMENT WITH MWLO GUIDELINES, SITE IRRIGATION EFFICIENCY, IRRIGATION DISTRIBUTION UNIFORMITY

c.

AUDIT TO INCLUDE RECOMMENDED MAX. SEASON (JULY) RUN TIMES FOR EACH VALVE AND QUARTERLY ADJUSTMENTS TO IRRIGATION SCHEDULE FOR EACH VALVE. INCLUDE AUDIT DATE, PROJECT NAME, PROJECT LOCATION OR PERMIT NUMBER, APPLICANT OR OWNER NAME, APPLICANT CONTACT TELEPHONE, EMAIL, MAILING ADDRESS. INCLUDE SAMPLE IRRIGATION SCHEDULING FOR LANDSCAPE ESTABLISHMENT (YR. ONE), CYCLE SOAK RECOMMENDATIONS TO ELIMINATE RUNOFF BASED ON SOIL TYPE AND SLOPE, IRRIGATION AUDIT DATA (NUMBER OF SAMPLES, CATCH-CANS, WEATHER CONDITIONS AT AUDIT, ETC.), AUDITOR OBSERVATIONS AND DESCRIPTION OF AS-BUILT CONDITIONS AS NOTED BY AUDITOR.

2.

THE LANDSCAPE CONTRACTOR SHALL CONTACT LOCAL ENFORCING AGENCY TO OBTAIN CURRENT, APPROVED SUBMITTAL FORMS AND PROCEDURES.

3.

THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES, INSPECTIONS AND SUBMITTALS TO CONFORM WITH MWLO AND LOCAL WATER USE REQUIREMENTS

4.

THESE PLANS HAVE BEEN PREPARED BY A LICENSED OR CERTIFIED INDIVIDUAL AND ARE MEANT AS A GUIDE TO THE WORK ONLY: PIPING, SLEEVING AND VALVE PLACEMENT ON PLANS ARE SCHEMATIC, AND MAY BE FIELD-LOCATED BASED ON ADJACENT USES, EXISTING CONDITIONS (UTILITIES, RESISTANT SOILS, TREES) FUTURE PHASING OR EFFICIENCY IN GROUPING IRRIGATION COMPONENTS.

5.

SLEEVING AT STREETS AND HARDSCAPE MUST BE COORDINATED WITH OTHER TRADES AND INSTALLED AT A MINIMUM AS SHOWN. THE LANDSCAPE CONTRACTOR SHALL USE SPECIFIED SLEEVING MATERIALS AND COVER DEPTHS.

6.

LANDSCAPE CONTRACTOR SHALL SUPPLY POINT OF CONNECTION (P.O.C.) TO APPROVED WATER SUPPLY (SEE CIVIL ENG. OR LANDSCAPE ARCH. PLANS FOR APPROX. LOCATION). LANDSCAPE CONTRACTOR TO VERIFY ACTUAL LOCATION, SIZE FLOW, STATIC AND OPERATING PRESSURES AVAILABLE AND NOTIFY THE OWNER AND LANDSCAPE ARCHITECT OF ANY NECESSARY CHANGES REQUIRED SO THE IRRIGATION SYSTEM PERFORMS AT AN EFFICIENCY OF MINIMUM 81 PERCENT.

7.

LANDSCAPE CONTRACTOR TO SUPPLY IRRIGATION SYSTEM OPERATING PRESSURE MAXIMUM OF 80 PSI AT P.O.C. INSTALL PRESSURE REDUCER IF PRESSURES EXCEED EQUIPMENT MANUFACTURER'S SUGGESTED OPERATING PRESSURE RANGE.

8.

LANDSCAPE CONTRACTOR TO SUPPLY IRRIGATION SYSTEM OPERATING PRESSURE MINIMUM OF 40 PSI AT FURTHEST IRRIGATION CONTROL VALVE.

9.

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND PROGRAMMING A SELF-ADJUSTING, WEATHER OR SOIL MOISTURE SENSING IRRIGATION CONTROLLER, AND PROGRAMMING IT NOT TO EXCEED ESTIMATED TOTAL WATER USE (ETWU). A RAIN SENSOR IS TO BE INSTALLED WHERE AN EXISTING OR OFF-SITE CONTROLLER IS USED. ANY EXISTING CONTROLLER THAT IS NOT WEATHER OR SOIL MOISTURE SENSING AND SELF-ADJUSTING SHALL BE REPLACED.

10.

ALL SPECIFIED FLOW SENSORS, MASTER VALVES AND RAIN/SOIL MOISTURE SENSORS SHALL BE INSTALLED AND TESTED BY THE LANDSCAPE CONTRACTOR PER MANUFACTURER'S RECOMMENDATIONS.

11.

LANDSCAPE CONTRACTOR SHALL SUPPLY AN AS-BUILT DIAGRAM OF THE IRRIGATION SYSTEM SHOWING: NUMBERED IRRIGATION CONTROL VALVES, NUMBERED COLOR-CODED DISTRIBUTION ZONES, MAINLINE AND SHUT-OFF VALVE LOCATIONS, IRRIGATION CONTROLLER AND P.O.C., WATER PURVEYOR CONTACT INFORMATION. THE AS-BUILT DIAGRAM SHALL BE KEPT AT LEGIBLE, WATER-PROOF, 8" X 11" FORMAT WITH THE CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.

12.

CHECK VALVES ARE REQUIRED ON ALL SPRINKLERS, BUBBLERS AND DRIP DEVICES WHERE LOW HEAD DRAINAGE COULD OCCUR.

13.

PRESSURE REGULATING DEVICES AREA REQUIRED IF OPTIMUM WATER PRESSURE OF THE SPECIFIED IRRIGATION EQUIPMENT EXCEEDS THE OPERATING RECOMMENDATIONS.

14.

NO OVERHEAD IRRIGATION IS PERMITTED IN LANDSCAPE AREAS LESS THAN 10 FT. IN WIDTH. DRIP OR LOW FLOW DEVICES MUST BE USED AS AN ALTERNATIVE.

15.

NO OVERHEAD IRRIGATION SHALL BE INSTALLED WITHIN 24 INCHES OF PAVING, D.G., CURBS, WALKS OR WALLS.

16.

LANDSCAPE CONTRACTOR TO PROTECT ALL EXISTING TREES DURING TRENCHING AND SOIL PREPARATION. CONSULT WITH ARBORIST OR LANDSCAPE ARCHITECT WHEN ENCOUNTERING ANY TREE ROOTS, PRIOR TO CUTTING OR REMOVAL.

NOTE: ALL PLANTING (HYDROZONE) AND IRRIGATION ZONES HAVE BEEN LAID OUT AND APPROVED BY ENFORCING AGENCY BASED ON TOTAL PLANT WATER USE (ETWU) AND NOT TO EXCEED MAXIMUM ALLOWABLE WATER ALLOWANCE (MAWA). THE OWNER OR LANDSCAPE CONTRACTOR SHALL ASSUME LIABILITY AND COSTS FOR CHANGES TO PLANTING OR IRRIGATION DESIGN THAT RESULT IN ADDITIONAL WATER USE OVER THE LIFE OF THE IRRIGATION SYSTEM, AND ALL COSTS ASSOCIATED WITH ADDITIONAL WATER USES OR REPAIRS TO BRING LANDSCAPE BACK INTO MWLO COMPLIANCE.

GENERAL PLANTING NOTES

1.

CONTRACTOR SHALL VERIFY ALL PLANT MATERIALS QUANTITIES 30 WORKING DAYS PRIOR TO INSTALLATION. CONTRACTOR SHALL ARRIVE AT HIS OWN QUANTITIES REGARDLESS OF ANY QUANTITIES SHOWN ON PLANS.

2.

ACTUAL NUMBER OF PLANT SYMBOLS SHALL TAKE PRECEDENCE OVER DESIGNATED QUANTITIES. WHILE PLANT SYMBOLS ARE SHOWN TO SCALE AND IN PROPER DENSITY, CONTRACTOR MUST REVIEW FIELD CONDITIONS AND NOTIFY LANDSCAPE ARCHITECT IF ANY MAJOR REVISIONS ARE REQUIRED.

3.

PRIOR TO PLANTING, CONTRACTOR SHALL SUBMIT SOURCES OF ALL PLANT MATERIALS TO OWNER. ALL PLANT MATERIALS SHALL CONFORM TO ANSI Z60.1 (AMERICAN STAND FOR NURSERY STOCK). UPON AWARD OF CONTRACT, CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY PLANT MATERIALS AREA UNAVAILABLE DUE TO SEASON, QUARANTINE OR OTHER REASONS. PLANT SUBSTITUTIONS SHALL NOT ALTER THE CONTRACTORS BID.

4.

VERIFY FINISH/FINE GRADES IN THE FIELD PRIOR TO PLANTING AS CONDITIONS MAY CHANGE. CONTRACTOR SHALL LEAVE GRADES WITHIN ONE TENTH (1/10) OF A FOOT OF FINISH GRADE AS SHOWN ON PLANS. THE CONTRACTOR SHALL LEAVE GRADES WITHIN 1 INCH BELOW TOP OF CURB OR PAVING AT TURF AREAS, AND 3 INCHES BELOW TOP OF CURB OR PAVING AT SHRUB/GROUND COVER AREAS AND TREE OF WEEDS, ROCKS, CLOUDS, CONSTRUCTION DEBRIS. CONTRACTOR SHALL REMOVE ALL EXCESS SOIL FROM THE SITE NEEDED TO ACHIEVE DESCRIBED GRADES.

5.

PRIOR TO PLANTING, IRRIGATION SYSTEMS SHALL BE FULLY OPERATIONAL. RUN THE IRRIGATION SYSTEM AS NEEDED TO THOROUGHLY SATURATE SOILS TO PLANTING DEPTHS (12 INCHES AT GROUNDCOVERS AND SHRUBS, 24 TO 36 INCHES AT TREES) AREAS AND SUPPLY SUPPLEMENTAL WATER AS NEEDED. PRIOR TO PLANTING, RE-SATURATE ALL PLANTING AT INSTALLATION TO INSURE EVEN MOISTURE AT ROOT BALLS AND AMENDED SOILS, OR IN RESPONSE TO EXTREME WEATHER EVENTS (HIGH WINDS, TEMPERATURES ABOVE 90 DEG. F, OR BELOW 36 DEG. F).

6.

AT THE TIME OF PLANT DELIVERY TO THE SITE, ALL PLANT MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER'S REPRESENTATIVE. PLANT MATERIALS REJECTED FROM THE PROJECT DUE TO TRANSIT DAMAGE, ASYMMETRY, UNDER SIZING, ROOT BOUND CONDITIONS OR INCORRECT SPECIES OR VARIETY SHALL IMMEDIATELY BE REMOVED FROM THE SITE.

7.

THE CONTRACTOR SHALL PROVIDE AN AGRICULTURAL ANALYSIS OF SITE SOILS IN A TIMELY MANNER ONCE SITE CONDITIONS ALLOW SAMPLING OF UNDISTURBED, UN-AMENDED SOILS, IN NUMBER AND LOCATION AS SPECIFIED BY THE OWNER. SOIL SAMPLE(S) SHALL BE SUBMITTED TO A CERTIFIED LABORATORY APPROVED BY THE OWNER. ANALYSIS SHALL INCLUDE AT MINIMUM: pH, SALINITY, SOIL TEXTURE (SAND, LOAM, CLAY) INFILTRATION RATE, EXISTING N-P-K, POTASSIUM, CALCIUM, IRON, MAGNESIUM AND ANY SIGNIFICANT MICRO-NUTRIENTS KNOWN TO CAUSE PLANT MORTALITY (e.g. BORON OR ARSENIC). SOIL ANALYSIS SHALL INCLUDE RECOMMENDATIONS FOR TYPES AND QUANTITIES OF AMENDMENT SUFFICIENT TO PROVIDE GROWING MEDIUM FOR CONVENTIONAL LANDSCAPE SUCH AS THAT SHOWN ON PLANS. CONTRACTOR TO PROVIDE SAMPLES AND ANALYSIS OF AMENDMENTS TO OWNER FOR APPROVAL PRIOR TO INCORPORATION AT SITE.

8.

THE FOLLOWING AMENDMENTS ARE FOR BIDDING PURPOSES ONLY. THE CONTRACTOR SHALL AMEND SITE SOILS PER THE RECOMMENDATIONS OF ANALYSIS PER #6, ABOVE.

AMOUNT PER 1,000 SQ. FT.

-4 CU. YDS. NITROGEN STABILIZED COMPOST

-35 LBS. 6-20-20 GRANULAR FERTILIZER

-100 LBS. AGRICULTURAL GYPSUM

-13 LBS. PELLETTIZED SULPHUR

9.

PLANTING PITS FOR TREES AND SHRUBS SHALL BE EXCAVATED TO TWICE THE DIAMETER OF THE ROOTBALL, AS SHOWN ON PLANTING DETAILS. SIDES OF PLANTING PITS SHALL BE SCARIFIED AND THE ROOTBALL SHALL SET ON UNDISTURBED SITE SOIL. CROWN OF TREE OR SHRUB SHALL BE SET 1 INCH ABOVE FINISH GRADE AFTER COMPACTION AND SATURATION OF AMENDED BACKFILL. BACKFILLED PLANTING PITS SHALL BE MULCHED WITH 3 INCHES OF HARDWOOD CHIP MULCH.

BACKFILL FOR TREES AND SHRUBS SHALL CONSIST OF THE FOLLOWING:

-6 PARTS ON-SITE SOIL

-4 PARTS AMENDMENT PER #7, ABOVE

10.

THIRTY DAYS AFTER INSTALLATION, AND EVERY 60 DAYS THEREAFTER UNTIL ACCEPTANCE, LANDSCAPE AREAS SHALL BE FERTILIZED WITH 16-6-8 GRANULAR FERTILIZER APPLIED AT A RATE OF SIX LBS. PER 1,000 SQ. FT.

11.

ALL TREES TO RECEIVE SLOW RELEASE FERTILIZER TABLETS PER PLANTING DETAILS, 21 GRAM TABLETS, 20-10-5, "AGRIFORM" OR EQUAL IN QUANTITIES AS FOLLOWS: 15 GALLON – 4 TABLETS, 24" BOX OR LARGER – 1 TABLET PER 4 INCHES OF BOX SIZE.

12.

ALL AREAS OF TREE, SHRUB AND PERENNIAL PLANTING SHALL BE TOP-DRESSED WITH A CONTINUOUS 3 INCH DEPTH LAYER OF NATURAL COLOR HARDWOOD CHIP MULCH, NO CONSTRUCTION WASTE OR DYED BARK PRODUCTS. GROUNDCOVER AREAS SHALL BE MULCHED WITH 1 INCH WOOD CHIP MULCH, OR PER GOVERNING AGENCY. NO MULCH SHALL BE PLACED IN FLOW LINES, WATER QUALITY BASINS OR ON SLOPES GREATER THAN 4:1 WITHOUT NOTIFYING OWNER. LOCAL TREE CHIPPINGS ARE ACCEPTABLE BUT MUST BE BLENDED TO MATCH ACROSS THE ENTIRE SITE.

13.

MIN. TREE SETBACKS SHALL BE:

-3 FT. FROM CURBS AND PAVING

-5 FT. FROM WATER METERS, JOINT TRENCH AND UTILITY VAULTS

-10 FT. FROM PUBLIC LIGHT FIXTURES AND STORM DRAINS\*

-15 FT. FROM MAIN SANITARY SEWERS\*

\*CAN BE LESS AT SINGLE FAMILY CONDITIONS WITH ADDITION OF ROOT BARRIER, SEE #13.

14.

ALL TREES PLANTED WITHIN 8 FT. OF PAVING, WATER METERS OR JOINT TRENCH SHALL RECEIVE 24 INCH MIN. DEPTH "TYPAR" ROOT BARRIER OR SIMILAR, 10 LIN. FT. BOTH SIDES OF TREE.

Great Valley Design, Inc.

Regionally Appropriate Landscapes

1219 Spruce Lane

Davis, CA

(530) 231.5890

www.gvtdesign.com

California Registered Landscape Architects # 4740

Nevada Registered Landscape Architects # 989

Project Owner:

EXTRA SPACE

Project Location:

West Oaks S.S.

Frontage Landscape Improvements

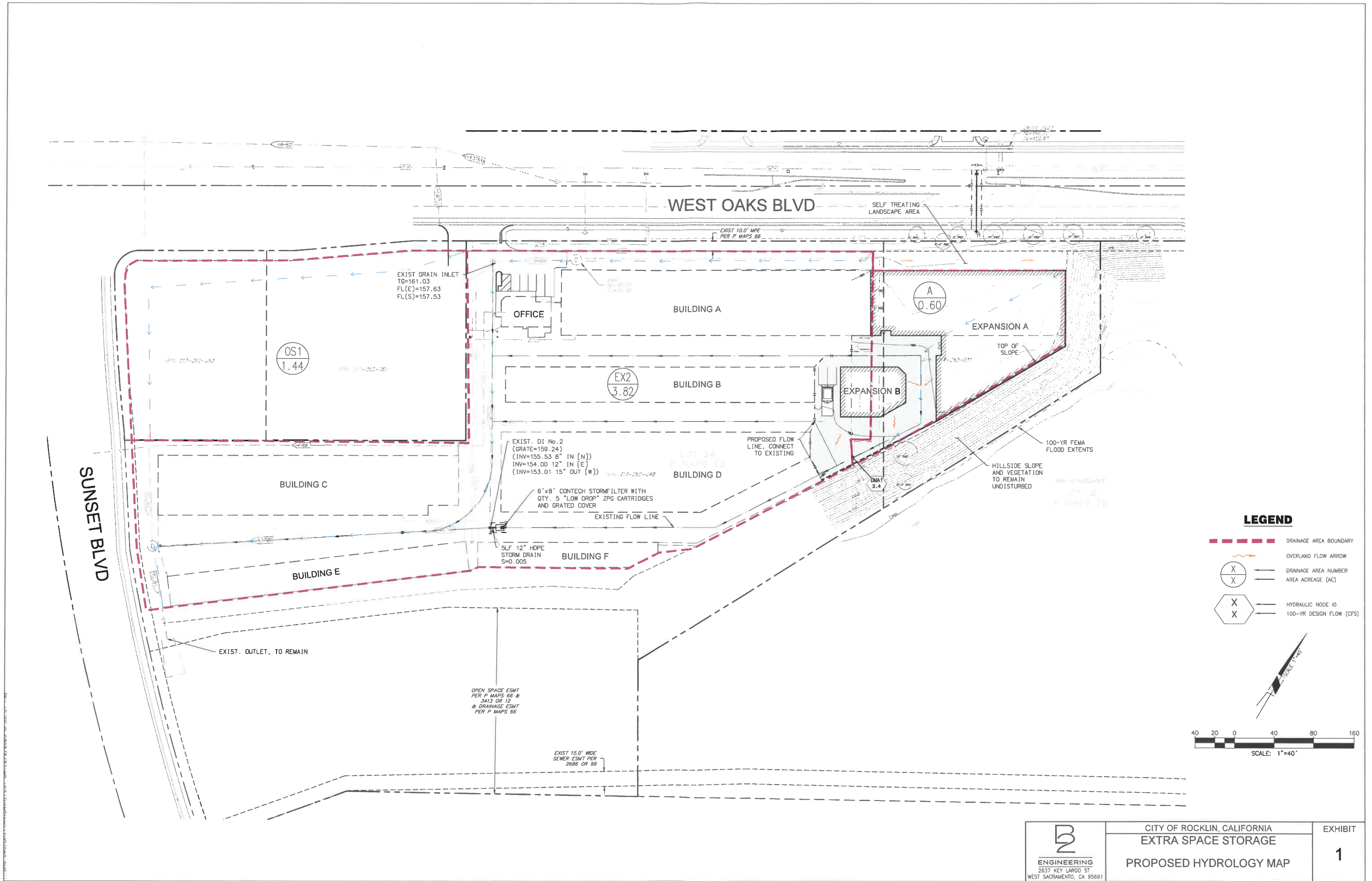
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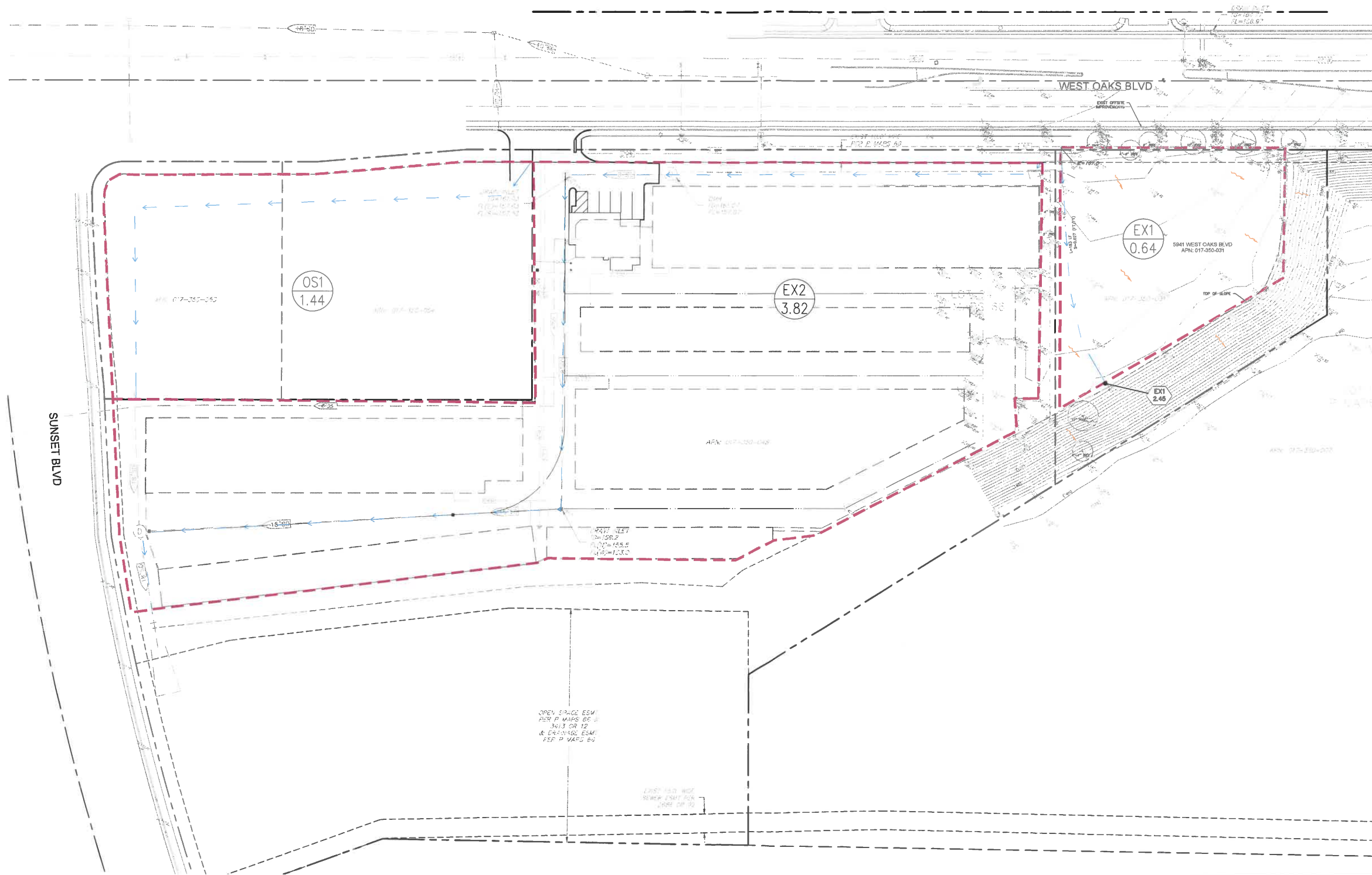
ARCHITECT'S STAMP:

General Notes and Specifications

SCALE:	PER DETAIL	CLIENT NO.:	
DATE:	31 JAN., 2023	PROJECT NO.:	02822
DRAWN:			
APPROVED:			
FILE NAME:	_02822GenNotes.dwg		

L-6





# LEGEND

- DRAINAGE AREA BOUNDARY
- OVERLAND FLOW ARROW
- X  
X DRAINAGE AREA NUMBER  
AREA ACREAGE (AC)
- X  
X HYDRAULIC NODE ID  
DESIGN FLOW (CFS)

