



**CITY OF ROCKLIN**  
COMMUNITY DEVELOPMENT DIRECTOR HEARING  
City Hall – Council Chambers  
3970 Rocklin Road, Rocklin, CA 95677  
Website: [www.rocklin.ca.us](http://www.rocklin.ca.us)

**DATE: July 16, 2026**  
**TIME: 9:00 AM**

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*Pursuant to Chapter 17.59.050 of the Rocklin Municipal Code, the Community Development Director has the authority to approve Design Review and Conditional Use Permit projects located within the Business Attraction, Retention, and Revitalization Overlay (BARRO) Zone.*

### **AMERICANS WITH DISABILITIES ACT**

In compliance with the Americans with Disabilities Act, the City of Rocklin encourages those with disabilities to participate fully in the public hearing process. If you have a special need in order to allow you to attend or participate in our public meeting and public hearing processes, including receiving notices, agendas, and other writings in appropriate alternative formats, please contact our office at (916) 625-5560 well in advance of the public meeting or public hearing you wish to attend so that we may make every reasonable effort to accommodate you.

### **COURT CHALLENGES AND APPEAL PERIOD**

Court challenges to any public hearing items may be limited to only those issues which are raised at the public hearing described in the notice or in written correspondence delivered to the City at or prior to the public hearing. (Government Code Section 65009)

There is a 10-day appeal period for most Community Development Director decisions. Appeals can be made by any interested party upon payment of the appropriate fee and submittal of the appeal request to the Rocklin City Clerk or the Planning Department, 3970 Rocklin Road, Rocklin.

### **FURTHER INFORMATION**

Any person interested in an agenda item may contact the Planning Staff prior to the meeting date, at 3970 Rocklin Road, Rocklin, CA 95677 or by phoning (916) 625-5160 for further information.

### **POSTING OF AGENDA**

In accordance with Government Code Section 54954.2(a) this agenda was posted on the City's bulletin board at City Hall, 3970 Rocklin Road, Rocklin, and City of Rocklin website at [www.rocklin.ca.us](http://www.rocklin.ca.us).

## **AGENDA**

### **1. CALL TO ORDER**

## **2. PUBLIC HEARINGS**

### **2.A. Rocklin Public Market (U2025-0004 / DR2025-0008 / ENV2025-0014)**

Entitlements for the construction and operation of a mixed-use center, consisting of four buildings, a central plaza, and parking area on 3±acres within the Planned Development – General Service Commercial (PD-C-4) within the BARRO Zone, the Rocklin Civic Center General Development Plan (GDP) area, and located within the and Quarry Architectural District. Location: 5255 Pacific Street / APN: 010-170-026.

**Recommendation:** Staff recommends the Community Development Director of the City of Rocklin approve the following:

- A. Administrative Determination Approving a Notice of Exemption (Rocklin Public Market / ENV2025-0014);
- B. Administrative Determination Approving a Design Review within the BARRO Zone (Rocklin Public Market / DR2025-0008); and
- C. Administrative Determination Approving a Conditional Use Permit within the BARRO Zone (Rocklin Public Market / U2025-0004).

## **3. ADJOURNMENT**



**Community Development  
Director  
Staff Report**

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Subject: **Rocklin Public Market**  
DR2025-0008; U2025-0004; ENV2025-0014

Date: July 16, 2026

Submitted By: Nathan Anderson, Principal Planner

Department: Community Development Department

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**Recommendation:**

Staff recommends that the Community Development Director of the City of Rocklin approve the following:

- 1) Administrative Determination Approving a Notice of Exemption (Rocklin Public Market / ENV2025-0014)
- 2) Administrative Determination Approving a Design Review within the BARRO Zone (Rocklin Public Market / DR2025-0008)
- 3) Administrative Determination Approving a Conditional Use Permit within the BARRO Zone (Rocklin Public Market / U2025-0004)

**Application Request / Project Description:**

The Rocklin Public Market is a request for a Design Review and Conditional Use Permit to construct and operate a mixed-use center within the Business Attraction, Retention, and Revitalization Overlay (BARRO) Zone. The project would consist of four (4) buildings and a central plaza on a site overlooking Quarry Park. The development includes a two-story retail building, a two-story market hall, a three-story mixed-use building with twenty (20) residential units above ground-floor commercial space, and a two-story brewery and restaurant. The project also includes a new parking lot designed to function with nearby City-owned public parking areas.

**Project Location:**

The approximately 3-acre project site is located at 5255 Pacific Street, identified as Assessor's Parcel Number (APN) 010-170-026 (see **Figure 1**). The property is located within the Business Attraction, Retention, and Revitalization Overlay (BARRO) Zone, which was established by the City Council in 2012 and amended in 2024.

**Figure 1 - Project Location**



**Property Applicant and Ownership:**

The project applicant is G3 Concepts, Inc. (c/o Taylor Judkins). The property owner is the Successor Agency to the Redevelopment Agency of the City of Rocklin.

**Site Characteristics / Background:**

The subject property is known as the Big Gun site. Located directly behind City Hall, the Big Gun Quarry was the last operational granite quarry in the area. For decades, the site contained several large quarry structures, including the Big Gun cutting shed, related buildings, and various mining equipment. These structures and equipment were removed from the property by the City in 2017.

The Big Gun site is owned by the Successor Agency to the former Redevelopment Agency for the City of Rocklin. On January 23, 2024, the City Council, acting as the Successor Agency, approved a purchase and sale agreement transferring the property to G3 Concepts, the project applicant.

G3 Concepts is a development firm that specializes in commercial and multifamily

projects, including the SLO Public Market in San Luis Obispo, which they own and operate and which features more than 20 business types.

Their proposal for the Big Gun site is the Rocklin Public Market, a mixed-use project that includes a public market building with food and beverage vendors on the first floor and an open second floor space for events and overflow seating. A second standalone building would accommodate a brewery/restaurant, along with a private covered outdoor patio. Additional buildings would provide traditional retail and office space, as well as 20 residential units.

The project requires approval of a Design Review and a Conditional Use Permit (CUP). Per RMC Section 17.59.050, the Community Development Director serves as the approving authority for CUPs within the BARRO Zone following a noticed public hearing. While Design Review within the BARRO Zone would normally be approved administratively without a public hearing, a CUP requires a noticed public hearing. Accordingly, the Community Development Director will consider both entitlements concurrently as part of the same public hearing.

**Surrounding Uses:**

The property is surrounded by a mix of vacant and developed properties. To the north is a vacant parcel, with a gas station and office building located beyond. Quarry Park Adventures is located to the south and east. To the west is Pacific Street, with additional vacant and commercial properties beyond. See Table 1.

**Table 1. Site and Surrounding Uses**

	<b>General Plan</b>	<b>Zoning</b>	<b>Existing Land Use</b>
Project Site	Mixed Use (MU)	Planned Development – General Retail Service Commercial (PD-C-4) w/in the Rocklin Civic Center General Development Plan (GDP) area. W/in the BARRO Overlay.	Former Quarry
North	Mixed Use (MU)	PD-C-4 w/in the Rocklin Civic Center GDP and the BARRO Zone and/or the Residential Minimum Density Overlay (RMDO - MU10+) Zone	Vacant, Gas Station w/ Convenience Market, and Offices
East	Mixed Use (MU)	PD-C-4 w/in the Rocklin Civic Center GDP	Quarry Park Adventures
South	Mixed Use (MU)	PD-C-4 w/in the Rocklin Civic Center GDP	Quarry Park Adventures
West	Mixed Use (MU)	C-4 w/in the RMDO (MU10+ / MU24+) Zone	Vacant and Commercial

**General Plan / Zoning Compliance:**  
*General Plan*

The project site has a General Plan land use designation of Mixed Use (MU), which is intended to support development and revitalization of areas that are economically underutilized. Pursuant to the General Plan, MU-designated parcels may be all residential, all non-residential, or a mix of residential and non-residential uses. If residential development is proposed, the density must be within the 10 to 40 dwelling units per acre range.

The project includes twenty (20) multi-family residential units in Building 3, which would be located above approximately 10,800 square feet of ground floor commercial use, in addition to three additional commercial buildings which include another approximately 36,800 square feet of commercial development.

As the proposed project would be mixed-use, the proposed site density is calculated only for the proposed mixed-use residential/commercial building (Building 3). As the Project would include four buildings, Building 3 would reasonably represent roughly one-quarter of the Project site. Therefore, the proposed 20 dwelling units on approximately 0.95 acre would result in a density of approximately 21 du/acre, which falls within the density allowed on the MU land use designation.

*Zoning*

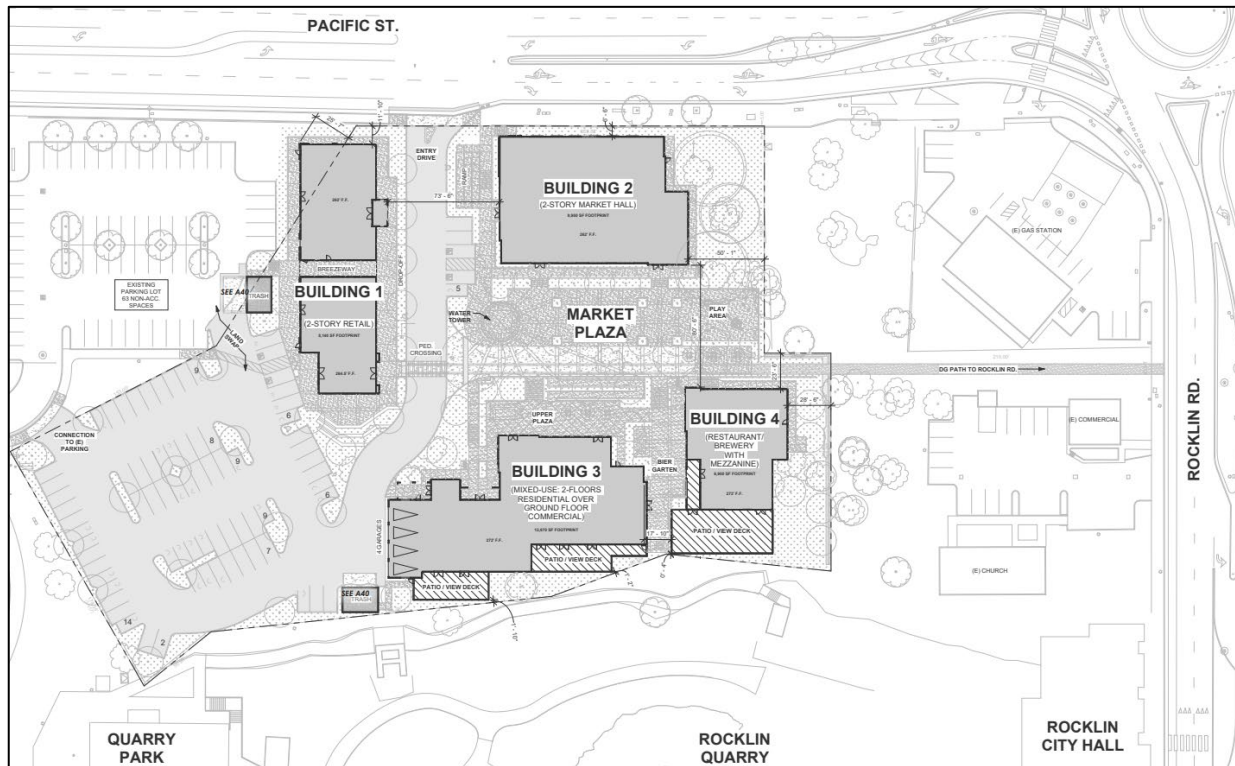
The project site is zoned Planned Development - General Retail Service Commercial (PD-C-4) located within the Rocklin Civic Center General Development Plan (GDP) area. The site is also located within the Business Attraction, Retention, and Revitalization Overlay (BARRO) Zone. The BARRO Zone, under RMC Section 17.59.080, permits residential structures and uses to promote active street life, enhance business vitality, and reduce vehicular traffic.

**Design Review:**

*General Design and Site Layout*

The project consists of four (4) buildings and a central plaza on a site overlooking Quarry Park. The development includes a two-story retail building, a two-story market hall, a three-story mixed-use building with twenty (20) residential units above ground-floor commercial space, and a two-story brewery and restaurant. The project also includes a new parking lot designed to function with nearby City-owned public parking areas.

**Figure 2 - Project Site Plan**



### *Access and Circulation*

The project is designed to provide safe and efficient vehicular and pedestrian circulation while supporting the mixed-use nature of the Rocklin Public Market. Primary vehicular access is provided from Pacific Street via a new full-access driveway located near the center of the project's northern frontage. Internal circulation is organized around a loop drive that provides access to the on-site parking areas, building entrances, loading areas, and passenger drop-off locations.

Parking is concentrated on the western portion of the site, with additional residential parking located adjacent to Building 3. The project provides 85 on-site parking spaces, including dedicated residential parking, and is connected to an adjacent existing public parking lot to the west through a new internal access drive. In addition, the project will improve the existing unimproved parking area immediately southwest of the site, creating approximately 88 additional shared parking spaces. Pursuant to the approved Shared Use Parking Lot Agreement referenced below, the project also has access to 63 existing public parking spaces located adjacent to Pacific Street. See "Parking" section for more information.

Pedestrian circulation is a defining element of the site design. A central pedestrian paseo extends south from Pacific Street into the heart of the development, connecting the Market Plaza with the surrounding buildings, outdoor dining areas, and public gathering spaces. Enhanced pedestrian crossings, landscaped walkways, and plazas provide safe connections between the parking areas and individual buildings. The Market Plaza serves as the primary focal point of the project, providing flexible gathering space that supports outdoor dining, community events, and pedestrian activity throughout the development.

A pedestrian paseo extends north-south through the center of the site, connecting the public plaza with the surrounding buildings, parking areas, and a decomposed granite (DG) trail which connects the project to Rocklin Road to the east.

Overall, the proposed access, circulation, and parking plan is designed to balance vehicle access with a pedestrian-oriented environment consistent with the vision of the Quarry District and the intent of the BARRO Zone.

### *Architecture*

The project is located within the Quarry Architectural District. The district guidelines envision the area as a safe, walkable, and inviting village that serves as a gathering place anchored by Quarry Park. New development is expected to respect the district's historic character while contributing to a vibrant, contemporary village environment.

The Quarry District encourages buildings that reflect Rocklin's historic heritage through the use of durable materials, varied building forms, and industrial-inspired architectural elements. Rather than replicating historic buildings, the project interprets these themes in a contemporary manner while establishing a distinctive identity for the development.

The buildings incorporate a combination of fiber cement siding, brick, stone veneer, exposed structural steel elements, metal roofing, extensive glazing, and heavy timber accents. These materials provide texture and visual interest while drawing inspiration from the industrial character historically associated with Rocklin's granite industry. The use of natural stone at the base of the buildings and along the site frontage further reinforces the project's relationship to the surrounding Quarry District.

Building massing is broken into multiple articulated volumes with varied roof forms, parapet heights, and recessed building planes, avoiding the appearance of long, uninterrupted facades. Architectural features such as tower elements, exposed cross-bracing, canopies, balconies, rooftop trellises, and large storefront windows create a pedestrian-scaled environment and contribute to an active streetscape along Pacific Street and within the internal plaza.

The overall composition emphasizes high-quality materials, architectural variety, and human-scale design while maintaining a cohesive architectural vocabulary throughout the

site. The combination of industrial detailing, masonry, timber accents, metal elements, and contemporary storefront architecture successfully reflects the character envisioned by the Quarry Architectural District and is compatible with the surrounding Quarry Park Adventures development and adjacent historic quarry setting.

The project was presented to the Architectural Review Committee (ARC) on December 4, 2025. Following its review and a presentation by the project architect, the ARC found that the proposed architecture exemplifies the intent of the Quarry Architectural District guidelines and recommended approval of the architectural design as proposed.

**Figure 3 – Project Architecture (Pacific Street)**



### *Parking*

As a project located within the BARRO Zone, the City's standard parking requirements do not apply. Instead, pursuant to Section 17.59.060 of the Rocklin Municipal Code, required parking is determined on a project-specific basis by the Community Development Director after consideration of the parking standards contained in the Code, the physical constraints of the site, and the availability of nearby parking facilities. Following review by Planning staff, the Community Development Director, and the City

Manager's Office, the proposed parking plan has been determined to be consistent with the intent and provisions of the BARRO Zone.

On January 27, 2026, the City Council adopted Resolution No. 2026-006 approving a Shared Use Parking Lot Agreement between the City of Rocklin and G3 Concepts, Inc. The agreement provides shared parking opportunities for the project while facilitating improvements to an existing unimproved City-owned parking lot at no cost to the City. The City retains the ability to utilize both shared parking areas for public events, including Quarry Park Amphitheatre concerts and emergency situations, while Quarry Adventure Park will continue to have access to both parking areas.

Pursuant to the agreement, the project will provide 85 on-site parking spaces, including 37 residential spaces consisting of four private garages, 16 covered carport spaces, and 17 uncovered spaces. In addition, the project will improve the adjacent unimproved parking lot, resulting in approximately 88 additional parking spaces. The agreement also provides the project with shared access to 63 existing public parking spaces immediately adjacent to the site (**Figure 4**).

Collectively, these parking resources provide adequate parking to serve the proposed development while improving the City's existing parking inventory and supporting parking demand associated with surrounding commercial uses, Quarry Adventure Park, and Quarry Park events.

**Figure 4 – Project Site and Shared Use Parking Lots**



Below is an analysis using the City’s normal parking standards on the project showing the benefit of this shared use agreement.

**Table 2 – Parking Calculations**

<u>Project Use</u>	<u>Parking Standard</u>	<u>Typical Required Parking Spaces [1]</u>
20 1-Bedroom Apartment Units	1.5 Spaces per 1 bedroom unit + 25% visitor parking	38
47,597 Sq. Ft. Mixed Commercial Uses	1 space per 200 sq. ft.	238
Total Required Parking Spaces		276
Total Parking Inventory (RPM)		236

1. Per Rocklin Municipal Code 17.59.060 C – Special Standards – Parking, the Community Development Director shall determine parking requirements on a project specific basis.

Application of the standard parking requirements contained in the Rocklin Municipal Code would result in a requirement for approximately 276 parking spaces. As proposed, the project would have direct access to 236 parking spaces through a combination of 85 on-site parking spaces, 88 spaces within the improved shared parking lot, and 63 existing shared parking spaces adjacent to Pacific Street.

As discussed above, however, projects within the BARRO Zone are not required to comply with the City's standard parking ratios. Instead, Section 17.59.060 of the Rocklin Municipal Code authorizes the Community Development Director to establish parking requirements on a project-specific basis after considering the proposed uses, the physical constraints of the site, and the availability of nearby parking facilities.

In 2017, the Planning Commission reviewed and approved the Rocklin Adventure at Quarry Park project. As part of that review, the City evaluated the parking inventory within the surrounding area and determined that approximately 970 on- and off-street parking spaces were available within one-half mile of the project site. That inventory included 98 parking spaces located within the City Hall/Quarry Park parking lot, approximately 300 feet east of the site.

Staff finds that the combination of on-site parking, shared parking facilities, and the substantial public parking inventory available within the Quarry District is sufficient to accommodate the proposed project. Although the onsite parking provided is less than the amount that would otherwise be required under the City's standard parking regulations, the proposed parking supply is consistent with the flexibility afforded by the BARRO Zone and is adequate to serve the project's anticipated parking demand.

*Landscaping*

The project includes a comprehensive landscape plan designed to reinforce the Quarry District's pedestrian-oriented character and create a central gathering space for visitors. The site is organized around a flexible public plaza featuring a water tower and stage, outdoor seating areas, a fire pit, children's play area, and landscaped gathering spaces intended to support community events and everyday use.

The landscape plan proposes the preservation of existing trees where feasible and the installation of 54 new trees, including 29 shade trees and 25 ornamental street trees, supplemented by approximately 35,000 square feet of shrubs and groundcover. Parking lots are extensively landscaped with shade trees and planter islands to reduce the visual impact of parking while enhancing pedestrian comfort. Outdoor dining areas are incorporated adjacent to Buildings 3 and 4 to capitalize on views overlooking Quarry Park. Overall, the proposed landscape design is consistent with the Quarry Architectural District's vision of creating a walkable, inviting village environment anchored by high-quality public spaces and landscaping.

**Conditional Use Permit**

The project consists of four buildings containing a mix of retail, restaurant, commercial, and residential uses, as follows:

**Table 3 – Building / Use Information**

<b>Building</b>	<b>Stories</b>	<b>Square Footage</b>	<b>Proposed Uses</b>
Building 1	2	21,845 SF	Retail
Building 2	2	13,765 SF	Market Hall
Building 3	3	16,608 SF & 20 1-Bedroom Units	Ground Floor Commercial, outdoor decks, and garages, with two floors of Residential Units above
Building 4	2	5,633 SF	Restaurant/Brewery w/ outdoor deck/dining
Total Proposed	2-3 stories	68,381 SF (gross)	-

The majority of the proposed uses, including those within Buildings 1 and 3, are permitted by right within the Business Attraction, Retention, and Revitalization Overlay (BARRO) Zone. Pursuant to Section 17.59.080 of the Rocklin Municipal Code (RMC), all permitted and conditionally permitted uses within the underlying C-4 (General Retail Service Commercial) zoning district are permitted within the BARRO Zone. Residential uses are also permitted within the BARRO Zone.

Several of the proposed uses, however, require approval of a Conditional Use Permit pursuant to the Rocklin Municipal Code. Although the project is intended to function primarily as a mixed-use retail, restaurant, and residential destination rather than a late-night entertainment venue, certain proposed uses and activities warrant additional review due to their operational characteristics. The following sections describe each applicable use, including its anticipated operations, hours, events, and other characteristics relevant to the Conditional Use Permit findings.

***Brewery / Microbrewery / Micro-Distillery (Building 4)***

**Primary Use:** A full-service restaurant incorporating a brewery/microbrewery, with the potential for a micro-distillery component. Beverage production would be conducted on-site at a small scale and would primarily serve the restaurant, with limited retail sales and off-site distribution.

• **Hours of Operation:**

Daily, 11:00 a.m. to 11:00 p.m.

• **Operational Characteristics:**

- Brewing and distilling operations shall occur entirely within the building in compliance with all applicable health, safety, and fire regulations.
- Production shall remain incidental and subordinate to the primary restaurant use.
- Retail sales may include on-site consumption, growler/crowler fills, packaged product sales, and other sales permitted by applicable state and local regulations.

• **Events and Activities:**

- Regular accessory events, including trivia nights, bingo, cornhole tournaments, themed community events, and similar activities customarily associated with a restaurant or brewery.
- Periodic live entertainment, including acoustic performances and local bands, generally occurring on a bi-weekly or monthly basis.
- All events shall remain accessory to the primary restaurant use and be conducted in a manner compatible with surrounding uses.

***Winery / Tasting Room Uses (Building 2)***

**Primary Use:** Small-format winery tasting rooms located within the market hall. No wine production is proposed on-site.

• **Hours of Operation:**

Consistent with the approved market hall hours.

• **Operational Characteristics:**

- Tasting rooms shall operate as accessory tenant spaces within the market hall.
- Activities shall be limited to wine tasting, retail sales, and related uses permitted by applicable state and local regulations.
- Customer volumes are anticipated to be consistent with a boutique tasting room and integrated into the overall market hall operations.

- No outdoor amplification, entertainment, or standalone bar operations are proposed as part of the tasting room use.

***Live Music (Buildings 2 and 4; Outdoor Gathering Areas)***

**Primary Use:** Accessory live music associated with the market hall, restaurant/brewery, and outdoor gathering areas.

- **Type of Performances:**

- Solo musicians, acoustic performers, duos, jazz trios, small local bands, and similar low-impact entertainment.
- Large concerts, festival-style productions, and similar high-intensity events are not proposed.

- **Frequency of Events:**

- Live music may be provided as part of recurring market programming, seasonal events, holiday celebrations, and other community-oriented activities.
- The restaurant/brewery may also host occasional live performances as an accessory use, generally on a bi-weekly or monthly basis.
- Outdoor live music events of a larger scale are anticipated to occur no more than once per month.

- **Hours of Operation:**

- Live entertainment shall generally occur during normal business hours and conclude no later than 10:00 p.m. outdoors and 11:00 p.m. indoors.

- **Operational Characteristics:**

- Live music is intended to function as an accessory amenity to the primary retail, restaurant, and market hall uses and is not intended to establish the project as a nightclub or primary entertainment venue.
- Indoor and outdoor performances shall comply with applicable City noise regulations.
- Outdoor performances shall be limited in frequency and scale to minimize impacts on surrounding properties.

***Event Center / Private Event Space (Building 2 – Second Floor)***

**Primary Use:** The second-floor mezzanine of the market hall is intended to serve as both public seating during normal business hours and an accessory private event space outside of, or concurrent with, regular market operations.

- **Daily Operations:**

- Open seating for patrons of the market hall during normal business hours.

- **Private Events:**

- The space may be reserved for private events, including business meetings, nonprofit functions, rehearsal dinners, receptions, birthday parties, showers, community gatherings, and similar events.
- Food and beverage service shall be provided by on-site market tenants or other approved vendors.

- **Frequency of Events:**

- Approximately four to five private events per month during most of the year.
- Approximately 10 to 12 private events per month during November and December, reflecting increased demand for holiday gatherings.
- **Operational Characteristics:**
  - Events are anticipated to consist primarily of small- to medium-sized private gatherings.
  - The event space is located entirely within the building and is self-contained.
  - Events shall generally conclude by 11:00 p.m.
  - The event space is intended to function as an accessory use to the market hall and is not proposed as a standalone banquet or event facility.

#### ***Artisan Food & Beverage Production / Tasting Rooms (Buildings 2 and 4)***

**Primary Use:** The project includes limited on-site food and beverage production associated with the restaurant, brewery, and potential micro-distillery uses.

- **Operational Characteristics:**
  - Brewing and any distilling activities shall be limited to the brewery/micro-distillery located within Building 4.
  - Food preparation within the remaining tenant spaces shall consist of customary restaurant and commercial kitchen operations.
  - Food and beverage tenants are anticipated to occupy a range of spaces, from small market stalls to full-service restaurant suites.
  - No large-scale food or beverage manufacturing, processing, or distribution operations are proposed.

#### ***Alcohol Service and Accessory Entertainment Uses***

**Primary Use:** The project includes restaurants, a market bar, brewery, tasting rooms, and other food and beverage establishments where the service of alcoholic beverages is accessory to the primary restaurant or market use.

- **Hours of Operation:**
  - Food and beverage establishments shall generally operate between 11:00 a.m. and 11:00 p.m.
  - No late-night or after-hours operations are proposed.
- **Operational Characteristics:**
  - Alcohol service shall be accessory to the primary restaurant, brewery, tasting room, or market hall use.
  - The project is intended to function as a mixed-use dining and retail destination and is not proposed as a nightclub, dance club, or other late-night entertainment venue.
  - Live entertainment, when provided, shall remain accessory to the primary use and shall be limited in scale and frequency as described above.
  - No DJ-driven nightclub operations, dance floors, large amplified concerts, or similar high-intensity entertainment activities are proposed.

The proposed Conditional Use Permit uses are intended to complement the project's retail, restaurant, and market hall uses while providing accessory food, beverage, entertainment, and event opportunities. The applicant has indicated that the project is not intended to function as a nightclub, dance club, or other late-night entertainment venue. As described above, the proposed hours of operation, event frequency, and operational characteristics are intended to maintain compatibility with the surrounding area and the performance standards of the BARRO Zone.

**Environmental / California Environmental Quality Act (CEQA):**

The project qualifies for the Class 32 Categorical Exemption (In-Fill Development Projects) pursuant to Section 15332 of the California Environmental Quality Act (CEQA) Guidelines. The project consists of the redevelopment of an underutilized infill site less than 5 acres in size and located within the City of Rocklin's urbanized area. The site is surrounded by existing urban development and the project is consistent with the applicable General Plan designation and zoning regulations. The project site has no value as habitat for endangered, rare or threatened species, can be adequately served by existing public utilities and services, and staff has determined that approval of the project will not result in any significant environmental effects relating to traffic, noise, air quality, or water quality.

To support this determination, Helix Environmental Planning prepared a Class 32 Categorical Exemption Review dated February 2026, which included an Arborist Report, Traffic Impact Study, Noise and Vibration Report, and Air Quality and Greenhouse Gas Emissions Analysis. The review concluded that the project qualifies for the Class 32 Categorical Exemption and identified several project recommendations, primarily related to traffic and circulation. Those recommendations have been incorporated into the proposed Design Review Conditions of Approval to ensure the project is developed consistent with the findings of the environmental review. The complete Class 32 Categorical Exemption Review and supporting technical studies are available for public review upon request during normal business hours at the Community Development Department 3970 Rocklin Road.

Accordingly, the project is exempt from further environmental review pursuant to CEQA Guidelines Section 15332.

**Recommendation:**

Based on the analysis above, the proposed project is consistent with the General Plan, the BARRO Zone, and the Quarry Architectural District Design Guidelines. The proposed architecture, site planning, landscaping, and public gathering spaces further the City's vision for the Quarry District as a vibrant, walkable mixed-use destination. The proposed Conditional Use Permit uses are compatible with the surrounding area and, as conditioned, are not expected to adversely affect the public health, safety, or welfare.

The proposed use at this location aligns with the goals, policies, and land use designations outlined in the General Plan, as well as all applicable zoning standards, regulations, and restrictions, subject to the approval of Conditional Use Permit (CUP) and Design Review (DR) entitlements. The General Plan designates the site as Mixed Use (MU). According to Table 4-2 of the City of Rocklin General Plan Land Use Element, the MU designation is intended to support land use patterns and mixed-use developments that integrate residential and non-residential uses, enabling residents to walk or bike easily to shopping, services, employment, and leisure activities.

Accordingly, staff recommends that the Community Development Director adopt the attached resolutions approving the Notice of Exemption for CEQA, Design Review and Conditional Use Permit, subject to the attached Conditions of Approval.

ADMINISTRATIVE DETERMINATION  
AD-2026-0003

ADMINISTRATIVE DETERMINATION  
OF THE COMMUNITY DEVELOPMENT DIRECTOR  
OF THE CITY OF ROCKLIN APPROVING A NOTICE OF EXEMPTION  
(Rocklin Public Market / ENV2025-0014)

The Community Development Director of the City of Rocklin does resolve as follows:

Section 1. The Community Development Director of the City of Rocklin finds and determines that:

A. The City of Rocklin's Environmental Coordinator has reviewed the Rocklin Public Market, a Design Review (DR2025-0014), Conditional Use Permit (U2025-0004), and Notice of Exemption (ENV2025-0014) ("Project") and determined that it is exempt from review under the California Environmental Quality Act pursuant to California Code of Regulations Section 15332 – In-fill Development Projects; and

B. A Notice of Exemption has been prepared for the Project.

Section 2. Based on the review and determination of the Environmental Coordinator, and for the reasons stated in the Notice of Exemption, attached hereto and incorporated by reference herein as Exhibit 1, the Community Development Director of the City of Rocklin finds that the Project is exempt from review under the California Environmental Quality Act.

Section 2. A Notice of Exemption is approved for the Project.

Section 3. Upon approval of the Project by the Community Development Director, the Environmental Coordinator may file the Notice of Exemption with the County Clerk of Placer County and with the State Office of Planning and Research, pursuant to the provisions of Section 21152(b) of the Public Resources Code and the State CEQA Guidelines adopted pursuant thereto.

PASSED AND ADOPTED this 16<sup>th</sup> day of July, 2026, by the Community Development Director of the City of Rocklin.

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David Mohlenbrok  
Director of Community Development

ATTEST

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Terry Stemple  
Administrative Assistant



that totals approximately 3 gross acre in size and is substantially surrounded by urban uses; and (c) the site has been previously developed but is now vacant, and is not considered to be environmentally sensitive, or have value as habitat for endangered, rare or threatened species; and (d) approval of the project allowing the development and operations of a mixed use project would not result in any significant impacts relating to traffic, noise, air quality, or water quality beyond what has been contemplated in the General Plan; and (e) the site and can be adequately served by all required utilities and public services.

**Contact Person:** David Mohlenbrok, Director of Community Development

**Date received for Filing:** \_\_\_\_\_

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**Signature:** David Mohlenbrok, Director of Community Development

ADMINISTRATIVE DETERMINATION  
AD-2026-0004

ADMINISTRATIVE DETERMINATION  
OF THE COMMUNITY DEVELOPMENT DIRECTOR  
OF THE CITY OF ROCKLIN APPROVING A DESIGN REVIEW WITHIN THE  
BUSINESS ATTRACTION, RETENTION, AND REVITALIZATION  
OVERLAY (BARRO) ZONE  
(Rocklin Public Market / DR2025-0008)

The Community Development Director of the City of Rocklin does resolve as follows:

Section 1. The Community Development Director of the City of Rocklin finds and determines that:

A. This Design Review within the Business Attraction, Retention, and Revitalization Overlay (BARRO) Zone approves the site design, landscaping, architectural design, building colors and materials, and associated site improvements for the Rocklin Public Market, a mixed-use development consisting of four buildings surrounding a central public plaza on approximately 3 acres located at 5255 Pacific Street (APN 010-170-026). The project includes: (1) a two-story retail building; (2) a two-story market hall; (3) a three-story mixed-use building containing 20 residential units above ground-floor commercial space; and (4) a two-story restaurant and brewery with mezzanine.

B. Section 17.59.050 (A) of the Rocklin Municipal Code (RMC) authorizes the Community Development Director of the City of Rocklin to approve applications for entitlements within the Business Attraction, Retention, and Revitalization Overlay (BARRO) Zone.

C. A Notice of Exemption has been approved for this project by the Community Development Director of the City of Rocklin (ENV2025-0014).

D. The design of the site is compatible with the surrounding development, natural features, constraints, and traffic flow. The architectural design, colors and materials, and landscaping of the proposed multifamily complex is consistent with Quarry Architectural District. The architectural design of the site will have no impact to natural features within the area or traffic flow.

E. The height, bulk, area, color scheme, and materials of the buildings and structures are compatible with surrounding development. The project is consistent with the Citywide Design Guidelines and all applicable objective design standards pursuant to the project.

F. The Architectural Review Committee (ARC) voted 5-0 to recommend the project architecture for approval on December 4, 2025.

G. The buildings and structures have been oriented with consideration given to minimizing energy consumption and maximizing use of natural lighting. The project design incorporates sustainable features consistent with the California Green Building Standards Code ("CALGreen"). The project provides electric vehicle charging spaces consistent with CALGreen. The project shall be consistent with all California Building Code requirements. The project is consistent with the style, type, and orientation of lighting with nearby residential developments, as well as with the requirements of the Citywide Design Guidelines.

H. As a project located within the BARRO Zone, the City's standard parking requirements do not apply. Instead, pursuant to Section 17.59.060 of the Rocklin Municipal Code, required parking is determined on a project-specific basis by the Community Development Director after consideration of the parking standards contained in the Code, the physical constraints of the site, and the availability of nearby parking facilities. Following review by Planning staff, the Community Development Director, and the City Manager's Office, the proposed parking plan has been determined to be consistent with the intent and provisions of the BARRO Zone.

I. On January 27, 2026, the City Council adopted Resolution No. 2026-006 approving a Shared Use Parking Lot Agreement between the City of Rocklin and G3 Concepts, Inc. Development of this project would be consistent with that agreement.

J. The construction and operation of the use in this location is consistent with the goals, policies, and land use designations in the General Plan and with all zoning standards, regulations, and restrictions applicable to the property subject to the approval of Conditional Use Permit and Design Review entitlements. The General Plan Land Use designation is Mixed Use (MU). Pursuant to Table 4-2 of the City of Rocklin General Plan Land Use Element, the purpose of the MU designation is to provide for land use patterns and mixed-use development that integrate residential and non-residential land uses such that residents may easily walk or bicycle to shopping, services, employment, and leisure activities. This mixed-use project has been designed to comply with this purpose.

K. The landscaping design is compatible with surrounding developments and has been designed with provisions for minimizing water usage and maintenance needs. The landscaping is also consistent with the requirements of the Citywide Design Guidelines. The landscape concept is water-efficient, low maintenance, and will complement the buildings and make a positive contribution to the site's overall aesthetics. Low-profile shrubs, including screening shrubs, are planned along with shade and canopy trees. The planting design features various drought-tolerant, and fire-resistant species to create layers of color and texture to complement the architectural style and setting. HVAC units will be roof-mounted and screened from sight to create more areas for landscaping.

Section 2. The BARRO Zone Design Review Entitlement for the Rocklin Public Market / DR2025-0008 as depicted in Exhibit A, attached hereto and by this reference incorporated herein, is hereby approved subject to the conditions listed below. The approved Exhibit A shall govern the design and construction of the project. Any condition directly addressing an element incorporated into Exhibit A shall be controlling and shall modify Exhibit A. All other plans, specifications, details, and information contained within Exhibit A shall be specifically applicable to the project and shall be construed as if directly stated within the conditions for approval. Unless otherwise expressly stated, the applicant / developer shall be solely responsible for satisfying each condition prior to a final Building Permit Inspection or Issuance of a Certificate of Occupancy as applicable. The agency and / or City department(s) responsible for ensuring implementation of each condition is indicated in parenthesis with each condition.

B. Conditions

1. Conditions Matrix

Prior to or concurrently with the submittal of improvement plans, the applicant shall provide a Conditions Matrix, which addresses/identifies when and how each of the required conditions of approvals and mitigation measures will be completed.

2. Utilities

- a. All utilities, including but not limited to water, sewer, telephone, gas, electricity, and conduit for cable television shall be provided to the project in compliance with all-applicable standards and requirements of the applicable provider. (APPLICABLE UTILITY)
- b. Solid Waste Disposal – The applicant shall install masonry trash enclosures with solid metal gates to the satisfaction of the Community Development Director. The location and design of trash enclosures shall provide for a minimum clear width and gate opening of 11 feet, a minimum interior depth of 14 feet (to accommodate two trash bins), and gates designed to clear adjacent curbing to the satisfaction of Recology Auburn Placer. (RECOLOGY AUBURN PLACER, ENGINEERING, BUILDING, PLANNING)
- c. Prior to issuance of improvement plans, the project shall obtain necessary easements, on- and off-site, as required to accommodate water services, to the satisfaction of Placer County Water Agency (“PCWA”). (PCWA)
- d. Prior to issuance of improvement plans, the project shall obtain necessary easements, on- and off-site, as required to accommodate sewer services, to the satisfaction of South Placer Municipal Utility District (“SPMUD”). (SPMUD)

3. Finance

Prior to issuance of the first building permit, the project shall be included in the appropriate City financing districts, as needed, to provide fire protection and suppression services and ambulance and paramedic services, and operation and maintenance of publicly owned parks, parkways, landscaping and street/parkway lighting, to the satisfaction of the City Finance Officer. It is anticipated that the project will be required to annex into Community Facilities District (CFD) No. 1 and CFD No. 5.

4. Schools

At the time of issuance of a building permit, the developer shall pay to the Rocklin Unified School District all fees required under Education Code section 17620 and Government Code Section 65995. (ROCKLIN UNIFIED SCHOOL DISTRICT, BUILDING)

5. Fire

- a. Fire sprinkler risers for each building shall be located in a room which conforms to the requirements of the current California Fire Code and Rocklin Fire Department "Fire Control Room" standard. If a fire pump is required, the Fire Control Room shall meet the requirements for a dedicated fire pump room. A Knox box shall be provided on the front of each building and at each Fire Control Room. (FIRE)
- b. Fire apparatus access roads and an approved water supply for fire protection, either temporary or permanent, shall be made available as soon as combustible building materials arrive on site, and a minimum fire flow of 500 gallons per minute shall be provided. The fire hydrant used to provide this fire flow supply shall be within 500 feet of the combustible building materials, as measured along an approved fire apparatus access lane. Where the site configuration is such that one fire hydrant cannot be located within 500 feet of all combustible building materials, additional fire hydrants shall be required to provide coverage. Full fire-flow is required upon commencement of combustible vertical construction. Fire department access roadways shall be paved upon commencement of vertical construction. (FIRE)
- c. A Site Safety Plan which complies with the current California Fire Code is required to be approved by Rocklin Fire Department prior to permit issuance of the first building permit. (FIRE)
- d. Fire Department approval of proposed address numbers, way-finding signage and unit signage for the buildings is required. Addressing for the project shall comply with the California Fire Code and Rocklin Fire

Department “Premises Identification-Posting of Building Addresses” guidelines. (FIRE)

- e. If the project is to be phased, a phasing plan with a detailed exhibit showing how emergency access and access to fire hydrants will be maintained throughout all phases, will be required to the satisfaction of the Fire Chief, prior to issuance of the first building permit. (FIRE)
- f. Fire hydrant locations and distribution shall be provided in accordance with 2022 CFC, Appendix C. (FIRE)
- g. The water system for the full parcel is required to be looped through the project and provide two separate points of connection to the public water system. (FIRE)
- h. FDC address shall be as follows - Sign shall have minimum dimensions of 5” x 8” and shall be constructed of steel or aluminum and attached to the appliance(s) with a “U”-bolt or bent all thread. Sign shall be painted red or red vinyl with all white lettering, minimum 1-inch in height and shall indicate which building the FDC serves. (FIRE)
- i. An Emergency Responder Communication Enhancement System (ERCES) is required to the satisfaction of the Fire Department. Testing of the communication coverage within the buildings is required to be conducted by an approved third-party contractor once the building enclosure — including exterior walls, windows, doors, and roofing — is substantially complete, to ensure accurate and representative test results. Should testing determine that a full ERCES installation is required, a separate permit for the ERCES system is required to be reviewed and approved prior to installation. (FIRE)

6. Improvements / Improvement Plans

Prior to any grading, site improvements, or other construction activities associated with this project, improvement plans shall be prepared consistent with the exhibits and conditions incorporated as a part of this entitlement, and in compliance with all applicable city standards, for the review and approval of the City Engineer, Public Works Director and/or the Community Development Director.

Improvement plans shall be valid for a period of two years from date of approval by the City Engineer. If substantial work has not been commenced within that time, or if the work is not diligently pursued to completion thereafter, the City Engineer may require the improvement plans to be resubmitted and/or modified to reflect changes in the standard specifications or other circumstances.

The project improvement plans shall include the following:  
(ENGINEERING, PUBLIC WORKS, PLANNING)

- a. A detailed grading and drainage plan prepared by a registered civil engineer, in substantial compliance with the approved project exhibit(s) and in accord with the City of Rocklin Post-Construction Manual. The grading and drainage plan shall include the following:
  - 1) Stormwater Management
    - a) Prior to issuance of improvement plans, to ensure compliance with the National Pollutant Discharge Elimination System MS4s General Permit and the regulations and orders of the State Water Resources Control Board, the applicant shall prepare and implement an approved Stormwater Control Plan and Stormwater Management Facility Operation and Maintenance Plan in accordance with the City of Rocklin Post-Construction Manual for the on-site treatment systems and hydromodification controls (if any, or acceptable alternative) to the satisfaction of the City Engineer and Public Services Department. All specified treatment systems and hydromodification controls shall be privately owned and maintained. (BUILDING, PUBLIC WORKS)
    - b) Unless an alternative timeline is agreed upon or the requirement is waived by the City Engineer and the Environmental Services Division, prior to issuance of improvement plans, the developer shall grant a Stormwater Management Compliance Easement over the project site to the City of Rocklin, in a form acceptable to the City Attorney. The Stormwater Management Compliance Easement shall be recorded with the Placer County Clerk's office and a copy of the recorded document shall be provided to the Environmental Services division. Said easement shall provide for the following: (CITY ATTORNEY, BUILDING, PUBLIC WORKS)
      - i. Grant site access to City employees for the purpose of performing operations and maintenance inspections of the installed treatment system(s) and hydromodification control(s) (if any).
      - ii. Grant site access to City employees for the purpose of performing operations and maintenance work on the installed treatment system(s) and hydromodification control(s) (if any) in the event that that the Director of Public Works determines, based upon the inspection results, that said work is not being performed

adequately and has or will compromise the system's ability to function as required.

- iii. A statement that the City may, at its option, cause the operational and maintenance responsibilities set forth in the Stormwater Management Facility Operation and Maintenance Plan to be performed and place a special assessment against the project site to recover the costs to the City in the event the project is not operated and maintained in accord with the approved Stormwater Management Facility Operation and Maintenance Plan. (RMC §8.30.150).
  - c) All storm drainage inlets shall be stamped with City Engineer approved wording indicating that dumping of waste is prohibited and identifying that the inlets drain into the creek system.
  - d) Site design measures for detaining run off at pre-development levels, including location and specifications of oversized pipes, on-site or off-site detention basins, if any, or other acceptable methods.
  - e) Individual lot drainage management areas including individual drainage features, such as lined drainage swales.
  - f) The developer shall prepare a Storm Water Pollutant Protection Plan (SWPPP) for review and approval by the State Regional Water Quality Control Board as part of the project's drainage improvement plans.
- 2) Prior to the commencement of grading operations, and if the project site will not balance with respect to grading, the contractor shall identify the site where any excess earthen material shall be deposited. If the deposit site is within the City of Rocklin, the contractor shall submit a report issued by a technical engineer to verify that the exported materials are suitable for the intended fill and show proof of all approved grading plans. Haul routes to be used shall be specified. If the site requires importing of earthen material, then prior to the commencement of grading operations, the contractor shall identify the site where the imported earthen material is coming from and the contractor shall submit a report issued by a technical engineer to verify that the imported materials are suitable for the intended fill and show proof of all approved grading plans. Haul routes to be used shall be specified.

- 3) If at any time during the course of grading or construction activities evidence of the existence of old wells, septic systems or other similar features or any other evidence of soil and/or groundwater contamination with hazardous material is encountered, work shall be halted within 100 feet of the find and the City of Rocklin Engineer shall be notified. The City Engineer shall make a determination as to the nature of the feature(s) (and/or contamination, the appropriate size for a buffer around the feature beyond which work could continue on the balance of the site, and which outside agencies, if any, should be notified and involved in addressing and / or remediation of the feature or contamination. At the discretion of the City Engineer and at the applicant's expense, a qualified consultant(s) shall be retained to assess and characterize the feature or contamination and to determine appropriate remediation, if any. Remediation of the feature including obtaining any special permits and/or approvals as needed shall be completed and documented to the satisfaction of the City Engineer and any responsible agencies, such as but not limited to the Placer County Department of Environmental Health, and the Central Valley Regional Water Quality Control Board, prior to completion of grading / construction in the affected area.
- b. All on-site standard improvements, including but not limited to:
- 1) All access and grading improvements as shown on Exhibit A. (PLANNING, ENGINEERING)
  - 2) Paving, curbs (including concrete curbs to contain all landscape areas adjacent to vehicle parking areas or travel lanes), gutters, sidewalks, drainage improvements, irrigation improvements (main lines and distribution where located under paved areas), utility improvements, parking lot lights, fire hydrants, retaining walls, fences, pilasters, enhanced pavement treatments, trash enclosures, etc. (PLANNING, ENGINEERING)
  - 3) All necessary easements for drainage, access, utilities, etc. shall be shown and offered for dedication (or Irrevocable Offer of Dedication provided) with the improvement plans. (PLANNING, ENGINEERING)
  - 4) To the extent possible underground facilities such as but not limited to electrical, gas, water, drainage, and irrigation lines shall be located outside of or to the edge of areas designated for landscaping so as to minimize impacts to the viability of these areas. (PLANNING, ENGINEERING)

- c. A detailed parking lot signage and striping plan designed per City standards that indicates all parking spaces, aisles, entrances, and exits, including on-site signage and any required offsite signage in the public right-of-way. (PLANNING, ENGINEERING)
- d. Prior to any grading or construction activities including issuance of improvement plans, the developer shall submit a design-level soil investigation for the review and approval of the City Engineer and Chief Building Official that evaluates soil and rock conditions, particularly the potential for expansive soils. The professional engineer that prepared the soil investigation shall recommend appropriate roadway construction and foundation techniques and other best practices that are to be implemented by the project during construction. These techniques and practices shall address expansive soils or other geological concerns requiring remediation, including but not limited to:
- Recommendations for building pad and footing construction;
  - Use of soil stabilizers or other additives; and
  - Recommendations for surface drainage.

(BUILDING, ENGINEERING)

- e. Notes addressing conformance with the development standards and requirements of the City of Rocklin shall be included on the project improvement plans, including but not limited to the following: (PLANNING, ENGINEERING)
- 1) Prior to commencement of grading, the developer shall submit a Construction Emission / Dust Control Plan for approval by the City Engineer and the Placer County Air Pollution Control District (“Placer County APCD”). This plan must address how the project meets the minimum requirements of sections 300 and 400 of Rule 228-Fugitive Dust.
  - 2) Any diesel-powered equipment used during project construction shall be Air Resources Board (“ARB”) certified.
  - 3) The prime contractor shall submit to the Placer County Air Pollution Control District a comprehensive inventory (e.g., make, model, year, emission rating) of all the heavy-duty off-road equipment (50 horsepower or greater) that will be used in aggregate of 40 or more hours for the construction project. If any new equipment is added after submission of the inventory, the prime contractor shall contact the Placer County APCD prior to the new equipment being utilized. At least three business days prior to the use of subject heavy-duty off-road equipment, the project representative shall provide the

Placer County APCD with the anticipated construction timeline including start date, name, and phone number of the property owner, project manager, and on-site foreman.

- 4) Construction equipment exhaust emissions shall not exceed Placer County APCD Rule 202 Visible Emission limitations. Operators of vehicles and equipment found to exceed opacity limits are to be immediately notified by Placer County APCD to cease operations and the equipment must be repaired within 72 hours.
- 5) Processes that discharge 2 pounds per day or more of air contaminants, as defined by California State Health and Safety Code Section 39013, to the atmosphere may require a permit. Developers / Contractors should contact the Placer County APCD prior to construction or use of equipment and obtain any necessary permits.
- 6) During construction, the contractor shall minimize idling time to a maximum of 5 minutes for all diesel-powered equipment.
- 7) Traffic speeds on all unpaved road surfaces shall be posted at 15 mph or less.
- 8) During construction the contractor shall utilize existing power sources (e.g., power poles) or clean fuel (e.g., gasoline, biodiesel, natural gas) generators to minimize the use of temporary diesel power generators.
- 9) All construction equipment shall be maintained in clean condition.
- 10) The prime contractor shall be responsible for keeping adjacent public thoroughfares clean of silt, dirt, mud, and debris, and shall “wet broom” the streets (or use another method to control dust as approved by the City) if silt, dirt mud or debris is carried over to adjacent public thoroughfares.
- 11) If fill dirt is brought to or exported from the construction site, tarps or soil stabilizers shall be placed on the dirt piles to minimize dust problems.
- 12) All grading operations shall be suspended when fugitive dust emissions exceed Placer County APCD Rule 228-Fugitive Dust limitations. The prime contractor shall be responsible for having an individual who is California Air Resources Board (“CARB”) certified to perform Visible Emissions Evaluations (“VEE”). This individual shall evaluate compliance with Rule 228 on a weekly basis.

- 13) Fugitive dust emissions shall not exceed 40% opacity and shall not go beyond the property boundary at any time. If lime or other drying agents are utilized to dry out wet grading areas, the developer shall ensure such agents are controlled so as not to exceed Placer County APCD Rule 228-Fugitive Dust limitations.
  - 14) The prime contractor shall suspend all grading operations when wind speeds (including instantaneous gusts) are excessive and dust is impacting adjacent properties.
  - 15) Water shall be applied to control fugitive dust, as needed, to prevent impacts offsite. Operational water trucks shall be onsite to control fugitive dust. Construction vehicles leaving the site shall be cleaned to prevent dust, silt, mud, and dirt from being released or tracked off-site.
  - 16) In order to minimize wind driven dust during construction, the prime contractor shall apply methods such as surface stabilization, establishment of a vegetative cover, paving, (or use another method to control dust as approved by the City).
  - 17) Open burning of any kind shall be prohibited. All removed vegetative material shall be either chipped on site or taken to an appropriate recycling site, or if a site is not available, a licensed disposal site.
  - 18) Chemical soil stabilizers, vegetative mats, or other appropriate best management practices to prevent erosion, in accordance with manufacturers' specifications, shall be applied to all-inactive construction areas (previously graded areas which remain inactive for 96 hours).
  - 19) All exposed surfaces shall be revegetated as quickly as feasible.
- a. The following shall be included in the project notes on the improvement plans:
- 1) The discharge of fuels, oils, or other petroleum products, chemicals, detergents, cleaners, or similar chemicals to the surface of the ground or to drainage ways on, or adjacent to, the site is prohibited. (ENGINEERING, PUBLIC WORKS, PLACER COUNTY ENVIRONMENTAL HEALTH)
  - 2) If Best Management Practices are required for control of urban runoff pollutants, then any hazardous materials collected shall be disposed of in accordance with all applicable hazardous materials laws and

regulations. (ENGINEERING, PUBLIC WORKS, PLACER COUNTY ENVIRONMENTAL HEALTH)

- b. The applicant shall comply with the following which shall be Included as project notes on the improvement plans:
- 1) If an inadvertent discovery of cultural materials (e.g., unusual amounts of shell, charcoal, animal bone, bottle glass, ceramics, burned soil, structure/building remains) or tribal cultural resources is made during project-related construction activities, ground disturbances in the area of the find shall be halted and a qualified professional archaeologist, the Environmental Services Manager and the Native American Heritage Commission shall be notified regarding the discovery. The archaeologist shall determine whether the resource is potentially significant as per CEQA (i.e., whether it is a historical resource, a unique archaeological resource, a unique paleontological resource, or a tribal cultural resource) and shall develop specific measures to ensure preservation of the resource or to mitigate impacts to the resource if it cannot feasibly be preserved in light of costs, logistics, technological considerations, the location of the find, and the extent to which avoidance and/or preservation of the find is consistent or inconsistent with the design and objectives of the project. Specific measures for significant or potentially significant resources would include, but are not necessarily limited to, preservation in place, in-field documentation, archival research, subsurface testing, and excavation. The specific type of measure necessary would be determined according to evidence indicating degrees of resource integrity, spatial and temporal extent, and cultural associations, and would be developed in a manner consistent with CEQA guidelines for preserving or otherwise mitigating impacts to archaeological and cultural artifacts and tribal cultural resources. (PLANNING, ENGINEERING)
  - 2) In the event of the accidental discovery or recognition of any human remains, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains, until compliance with the provisions of Sections 15064.5 (e) (1) and (2) of the CEQA Guidelines, as well as Public Resources Code Section 5097.98, has occurred. If any human remains are discovered, all work shall stop in the immediate vicinity of the find and the County Coroner shall be notified, according to Section 7050.5 of the California Health and Safety Code. The City's Environmental Services Manager shall also be notified. If the remains are Native American, the Coroner will notify the Native American Heritage Commission, which in turn will inform a most likely descendant. The descendant will then recommend to the

landowner appropriate disposition of the remains and any grave goods, and the landowner shall comply with the requirements of AB2641 (2006). (PLANNING, ENGINEERING)

7. Improvements in the Public Right-of-Way

- a. The applicant shall obtain an encroachment permit for all improvements within the public right-of-way. Applicant shall post a performance bond and labor and materials payment bond (or other equivalent financial security) in the amount of 100% of the cost of the improvements to be constructed in the public right-of-way as improvement security to ensure the faithful performance of all duties and obligations required of applicant in the construction of the improvements. Such improvement security shall be in a form acceptable to the City Attorney. Such security shall be either a corporate surety bond, a letter of credit, or other instrument of credit issued by a banking institution subject to regulation by the State or Federal government and pledging that the funds necessary to carry out this Agreement are on deposit and guaranteed for payment, or a cash deposit made either directly with the City or deposited with a recognized escrow agent for the benefit of the City. (PUBLIC WORKS)

8. Landscaping

- a. Final landscape plans shall be provided by the developer and approved by the Community Development Director, prior to issuance of a building permit for the first building. The landscape plans shall comply with the following requirements (PLANNING):
  - 1) The landscaping plan shall be prepared by a landscape architect and shall include:
    - a) A legend of the common and botanical names of specific plant materials to be used. The legend shall indicate the size of plant materials and appropriate numbers of plants and spacing for groundcovers.
    - b) Shrubs shall be a minimum 5 gallon and trees a minimum of 15 gallon and meet the minimum height specified by the American Standards for Nursery Stock.
    - c) A section diagram of proposed tree staking.
    - d) An irrigation plan including an automatic irrigation system. The plan shall include drip irrigation wherever possible.

- e) Berming of landscape strips along the public right-of-way and the installation of shrubs to screen the undercarriages of vehicles as viewed from off-site.
  - f) Provision for the shading of the visitor parking lot, including parking spaces, maneuvering areas, driveways and drive aisles, by shade trees of appropriate size(s) and characteristic(s) in locations to achieve 50% shading at maturity (15 years from planting). Include a calculation demonstrating compliance with this condition on the plan.
  - g) Granite or moss rock boulders along the planting strips.
  - h) Use of plastic composite-style header boards.
  - i) Use of walk-on bark in all planter areas.
- 2) The plan shall be certified by the landscape architect that the landscape plan meets the requirements of the Water Conservation in Landscaping Act. Government Code §65591, et seq.
- b. The parking/site lighting plan shall be designed to accommodate shade trees and provide for illumination of the parking and circulation areas. Light standards and underground utilities shall be located such that required parking lot shade trees can still be planted. (ENGINEERING, BUILDING, PLANNING)
  - c. All landscaping shall be installed and the landscape architect shall certify, in writing, that the landscaping and irrigation system have been installed in full compliance with the approved plans prior to issuance of a Certificate of Occupancy. (PLANNING)
  - d. Any area disturbed by construction activities but not developed or landscaped shall be hydroseeded (with a drought tolerant mix of wild flowers and grasses) prior to final inspection / acceptance of improvements. (PLANNING, BUILDING, ENGINEERING)

9. Lighting

- a. All exterior lighting shall be designed and installed to avoid adverse glare on adjacent properties. Cut-off shoebox type or decorative lighting fixtures, or equivalent, shall be used and mounted such that all light is projected directly toward the ground. Light poles shall be decorative and designed to maintain consistency with the Quarry Architectural District aesthetics. The lighting design plan shall be approved by Community Development Director for compliance with this condition. (PLANNING)

10. Design

- a. The back or rear of any parapet wall that may be visible from an adjacent right of way or property shall be painted the same color as the front of the parapet wall to provide a more finished appearance. (PLANNING)
- b. Developer installed play equipment shall include either poured in place or rubberized tile flooring, or approved alternative, for accessibility purposes. (BUILDING)

11. Signs

All signs shall conform to the Sign Ordinance of the City of Rocklin and the sign designs and locations as shown on Exhibit A. (PLANNING, ENGINEERING, FIRE)

12. Screening of Mechanical Equipment

- a. All mechanical and/or related equipment, such as but not limited to, roof hatch railings, RTUs, vents, HVAC units, whether ground- or roof-mounted shall be screened from view from all public rights-of-way to the satisfaction of the Community Development Director. To the greatest extent feasible, parapet walls should be used to screen roof-mounted equipment. The design of the screening shall be in harmony with the architectural design of the building. (PLANNING)
- b. The appearance of large utility features such as double detector check valves shall be minimized through the use of utility blankets or other acceptable screening methods. The developer shall also demonstrate that these facilities have been moved as far as possible from the public right-of-way. (PLANNING)

13. Fences and Gates

- a. Tubular metal fences shall have flat top pickets (or have a smooth rail at the top), be powder-coated (black/brown/dark green), and be constructed of medium gauge, or better, steel or aluminum. (PLANNING / PUBLIC WORKS)
- b. All gate codes shall be provided to the Rocklin Police and Fire Departments. (FIRE, POLICE, PUBLIC WORKS)

14. Security

- a. Prior to building permit issuance, the applicant shall prepare a security plan for review by the Rocklin Police Department, and shall provide the Rocklin Police Department with the name(s) and telephone number(s) of a

responsible party to contact / the president of the homeowner's association.  
(POLICE)

- b. Prior to building / unit occupancy the property owner, or each tenant, shall obtain and maintain at all times, an Alarm System Permit for each security system installed and operated in the building / shopping center / complex, if any, in accord with the requirements of Chapter 9.44 of the Rocklin Municipal Code. (POLICE)

15. Outdoor Storage

All incidental and miscellaneous outdoor storage areas shall be completely screened from public view by a decorative masonry or concrete wall or approved equal. All gates shall be solid and view obstructing, constructed of metal or other durable and sturdy materials acceptable to the Community Development Director.  
(PLANNING)

16. Maintenance

- a. The property owner shall remove within 72 hours all graffiti placed on any fence, wall, existing building, paved area or structure on the property consistent with the provisions of Rocklin Municipal Code Section 9.32. Prior to removal of said graffiti, the property owner shall report the graffiti vandalism to the Rocklin Police Department. (PLANNING, POLICE)
- b. The project, including but not limited to paving, landscaping, structures, and improvements shall be maintained by the property owners, to the standard of similarly situated properties in equivalent use zones, to the satisfaction of the Community Development Director. (PLANNING)

17. Parks

- a. Park fees shall be paid as required by the Rocklin Municipal Code Chapter 17.71 and Chapter 16.28. (ENGINEERING)
- b. Community Park Fees shall be paid based on the appropriate square footage calculation for the Park Improvement Impact Fee, the Trail Impact Fee, and the Community and Recreation Facilities Impact Fee pursuant to Article VI of Rocklin Municipal Code Chapter 3.16 and City Council Resolution No. 2022-144. (BUILDING)

18. Noise

- a. All "self-powered" construction equipment and stationary noise sources (i.e., pumps, electrical generators, etc.) shall be equipped with noise control

devices (e.g., mufflers) and shall be maintained in good working order. (ENGINEERING, BUILDING)

- b. Equipment “warm-up” areas, water storage tanks, equipment storage areas, and stationary noise-generating machinery (i.e., pumps, electrical generators, etc.) shall be located away from existing residences and other sensitive noise receptors to the extent feasible. Equipment staging and “warm up” areas shall be identified or noted on the improvement plans and building plans. (ENGINEERING, BUILDING)
- c. All phases of project development shall be subject to the City of Rocklin Municipal Code (RMC) Chapter 9.52 (Noise Standards), including restricting construction-related noise generating activities that generate any discernable noise in or within 100 feet of an occupied residence between 7:00 a.m. and 7:00 p.m. on weekdays, and between 8:00 a.m. and 7:00 p.m. on weekends. The Community Development Director may grant exceptions to any of the noise restrictions in RMC Chapter 9.52 if special and unusual circumstances exist that make strict adherence infeasible or impracticable. (ENGINEERING, BUILDING)
- d. The developer shall provide a Noise Coordinator and adhere to the following: (ENGINEERING, BUILDING)
  - 1) As a function of on-site project management, an on-site Noise Coordinator shall be employed by the property owner or designee, and their name, e-mail address and telephone number along with instructions on how to file a noise complaint shall be posted conspicuously around the project site, and at all vehicle entrances to public streets, during all project construction phases. The posted signage shall include the city’s construction activity hours restrictions set forth in Section 9.52.030 (A)(1). The signs shall be weather proof and a minimum size of 4’ x 4’ and include 3-inch-tall minimum lettering.
  - 2) The Noise Coordinator’s duties shall include fielding and documenting noise complaints, determining the source of the complaint (e.g., piece of construction equipment), determining whether noise levels at the project boundary are within acceptable limits consistent with the General Plan hourly noise standards and with this condition noted in Section 9.52.030 (A)(1), and reporting complaints to the City with documented noise levels at the time of complaint via email.
  - 3) The Noise Coordinator shall work, to the extent feasible, with the surrounding residents and project contractors to schedule activities to minimize disturbance of residents during the daytime hours. Prior

to commencement of any early morning or night time work required by the contractor, the City or utility companies, approval from the Community Development Director is required. The request for approval shall be submitted not less than 72 hours in advance of the work commencing and the Noise Coordinator shall provide documentation of notification to the neighboring property owners.

19. Phasing

- a. A phasing plan showing the sequence of site improvements shall be submitted for review and approval by the Community Development Director. The phasing plan shall show the following:
  - 1) The building or buildings to be constructed and all appurtenant structures (walls, fencing, site amenities, etc.) with each Phase;
  - 2) A Temporary Fencing Plan that shows how the residents of the occupied units will be kept from entering active construction areas;
  - 3) Emergency Vehicle access through the site and available fire suppression services for each Phase, to be approved by the Fire Department;
- b. The Community Development Director may condition the phasing to ensure each phase shall function independently. (ENGINEERING, BUILDING, PLANNING)

20. Americans with Disabilities Act Compliance

Unless waived by the City Engineer, the Developer shall retain and furnish to the project a Certified Access Specialist (CAsp) Inspector as certified by the California Division of State Architect (DSA). The scope of work for the CAsp Inspector is to certify ADA compliance of Developer-constructed work on private property that will be owned and maintained by private owners prior to issuance of a certificate of occupancy for the project or acceptance of improvements, whichever comes first. The CAsp Inspector shall provide a written, signed CAsp Inspection Report of their findings and conclusions, and provide said report to the City confirming that all elements of the project are ADA compliant. Any non-ADA compliant work shall be rejected and corrected. Non-compliant work shall be reinspected and a new CAsp inspection report submitted to the City. The CAsp inspection performed in accordance with the Construction-Related Accessibility Standards Compliance Act (CRASCA) shall provide "qualified defendant" status.

21. Nesting Birds

- a. If Project construction activities occur during the nesting bird season (February 1 to August 31), a qualified biologist shall conduct a pre-construction nesting bird survey no more than 14 days before the initiation of Project activities. The survey area shall include suitable raptor nesting habitat within 500 feet of the Project boundary (inaccessible areas outside of the Project site can be surveyed from the site or from public roads using binoculars or spotting scopes). Areas that have been inactive for more than 14 days during the avian breeding season shall be re-surveyed before the resumption of Project activities. If no active nests are identified, no further management action is required. If active nests are identified, the following action shall be implemented.
  - i. A species-specific buffer (typically up to 100 feet for non-raptor birds and up to 500 feet for raptors or up to 0.25 mile for Swainson's hawks) would be established by a qualified biologist around active nests and no construction activities within the buffer would be allowed until a qualified biologist has determined that the nest is no longer active (i.e., the nestlings have fledged and are no longer reliant on the nest, or the nest has failed). Encroachment into the buffer may occur at the discretion of a qualified biologist. Any encroachment into the buffer would be monitored by a qualified biologist to determine whether nesting birds are being impacted. (PLANNING)

22. Oak Trees

- a. Prior to the issuance of any grading permit for any portion of the project site, the developer shall retain a certified arborist to review the design of the project improvements and recommend measures to protect trees that are designated to remain, both during construction and afterwards. These measures shall be incorporated into the project's grading and / or improvement plans, for review and approval of the City Engineer. The protection measures shall include appropriate fencing around those trees to remain. The protection measures shall be approved prior to the issuance of improvement plans or a grading permit for all or any portion of the project. (ENGINEERING, PLANNING)
- b. Prior to the removal of a healthy oak tree on-site, the Project applicant shall prepare and submit a Tree Preservation Plan Permit pursuant to the City of Rocklin's Tree Protection Ordinance, which is comprised of the Oak Tree Preservation Ordinance (Section 17.77 of the Rocklin Municipal Code) and the Oak Tree Preservation Guidelines dated April 2006. The application for a Tree Preservation Plan Permit shall be made on forms issued by the City's Community Development Director. Completed applications shall be filed,

processed and acted upon as part of the Project development application. Healthy oak trees shall be permitted to be removed following approval of the Tree Preservation Plan Permit and upon building permit issuance. (ENGINEERING, PLANNING)

- c. Prior to issuance of the required Tree Preservation Plan Permit, the following tree protection BMPs shall be integrated into the construction documents to protect oak trees to be preserved on-site during construction:
- i. Tree Protection Fencing, consisting of four-foot-tall, high-visibility plastic fencing, shall be placed around the perimeter of the tree protection zone (TPZ) (dripline radius + 3 feet). The TPZ is the minimum distance for placing protective fencing. Tree protection fencing should be placed as far outside of the TPZ as possible. Two-foot square signs shall be placed along the fence denoting this as a Tree Protection Zone that shall not be moved until construction is complete. In cases where proposed work infringes on TPZ, fence shall be placed at edge of work.
  - ii. Whenever possible, fence multiple trees together in a single TPZ. Tree protection fencing shall not be moved without prior authorization from the City of Rocklin;
  - iii. No parking, portable toilets, dumping or storage of any construction materials, grading, excavation, trenching, or other infringement by workers or domesticated animals is allowed in the TPZ. No signs, ropes, cables, or any other item shall be attached to a protected tree, unless recommended by an International Society of Arboriculture (ISA) Certified Arborist;
  - iv. Underground utilities should be avoided in the TPZ, but, if necessary, shall be bored or drilled. If boring is impossible, all trenching will be done by hand under the supervision of an ISA Certified Arborist;
  - v. No cut or fill within the dripline of protected trees is permitted. If cut or fill within the dripline is unavoidable, any mitigation requirements shall be determined by the City of Rocklin;
  - vi. Pruning of living limbs or roots over two inches in diameter shall be done under the supervision of an ISA Certified Arborist;
  - vii. All wood plant material less than six inches in diameter shall be mulched on site. The resulting mulch shall be spread in a layer four to six inches deep in the TPZ of preserved trees. Mulch shall not be placed touching the trunk of preserved trees;
  - viii. At the discretion of the Project applicant and arborist, indirectly impacted trees should be deep watered once per month in July, August, September, and October to a soil saturation depth of 16-18 inches; and
  - ix. Appropriate fire prevention techniques shall be employed around all protected trees to be preserved. This includes cutting tall grass, removing flammable debris within the TPZ, and prohibiting

the use of tools that may cause sparks, such as metal-bladed trimmers or mowers.  
(ENGINEERING, PLANNING)

- d. Prior to the removal of a healthy oak tree on-site, the applicant shall retain a certified arborist to prepare and implement an inspection plan providing for the periodic inspection of the site during grading and construction, and verification to the City Engineer that the approved protection measures are properly implemented. (ENGINEERING, PLANNING)
- f. Upon completion of a project and prior to a final inspection / issuance of a certificate of occupancy, the project arborist shall prepare a final list of all oak trees removed to accommodate development of the project. Prior to a final inspection / issuance of a certificate of occupancy the developer shall mitigate for all oak trees removed as a result of the project as set forth in the City of Rocklin Oak Tree Ordinance. (ENGINEERING, PLANNING)

23. Public Art

Prior to issuance of the first building permit, the applicant shall coordinate with the Community Development Department regarding opportunities to incorporate public art installations and other cultural placemaking elements into the project. Such elements shall reflect the historic character of the Quarry District and the site's cultural and industrial heritage, and may include public art, interpretive displays, wayfinding, historical markers, or other features that contribute to the project's identity and enhance the public realm, subject to review by the Rocklin Arts Commission and approval by the Community Development Director.  
(PLANNING)

24. Special Conditions

- a. Prior to issuance of a Certificate of Occupancy for the first building, the developer shall comply with all requirements noted within the Shared Use Parking Agreement (Resolution No. 2026-006), including but not limited to the following:
  - 1. The developer shall, at its sole cost and expense, cause the Parking Lot identified in the Shared Use Parking Agreement (APN: 010-170-001-000) to be paved, striped and lit in accordance with the following requirements:
    - a. All parking spaces, aisles, entrances, exits, fire access lanes, and on-site signage (e.g., stop signs at driveways) shall be designed in accordance with applicable City standards.

- b. Landscaping within the parking lot shall be provided to achieve effective shading of parking spaces, drive aisles, maneuvering areas, and driveways. Shade trees of appropriate size and species shall be planted in locations that will achieve at least 50 percent shading coverage at tree maturity (15 years after planting).
  - c. The parking lot lighting plan shall be designed to accommodate shade trees while ensuring proper illumination of parking and circulation areas. Light standards and underground utilities shall be sited to allow for the required tree plantings.
  - d. Lighting throughout the parking area shall provide a minimum illumination level of one (1) footcandle. All lighting shall be designed and installed to prevent glare or spillover onto adjacent properties. Fixtures shall be cut-off shoebox-style or decorative equivalents, and shall be mounted to direct all light downward.
  - e. Light poles shall be decorative and designed to maintain consistency with the Quarry Architectural District aesthetics, subject to the approval of the Community Development Director. The maximum pole height shall be 25 feet, measured from finished grade to the top of the fixture.  
(PLANNING, CITY MANAGER)
2. Prior to contracting for paving and striping improvements of the Parking Lot (APN: 010-170-001-000), the developer shall submit the scope of work to the City Manager for review and approval.  
(PLANNING, CITY MANAGER)
- b. Prior to issuance of a building permit for the first building, the applicant shall dedicate, or otherwise provide to the satisfaction of the Parks and Recreation Director and City Engineer, a 10-foot-wide access easement measured from the outside edge of the existing sidewalk along the project's frontage adjacent to Quarry Park. The easement shall be maintained free of permanent obstructions and shall provide sufficient access for aerial lift equipment utilized by the City for annual OSHA inspections and maintenance of Quarry Park Adventures facilities. The final location and legal description of the easement shall be subject to review and approval by the Parks and Recreation Director and City Engineer. (PLANNING, PARKS AND RECREATION, CITY ENGINEER)
  - c. Prior to issuance of a certificate of occupancy for the first building, the applicant shall coordinate with the City to address pedestrian crossings on

Pacific Street at Bush Street, consistent with the recommendations of the Traffic Impact Study (Kimley-Horn, dated February 20, 2026). The applicant shall either: (1) install permanent pedestrian barriers at the northwest and southwest corners of the Pacific Street/Bush Street intersection, together with California R49 "NO PEDESTRIAN CROSSING – USE CROSSWALK" signs oriented parallel to Pacific Street; or (2) construct a midblock pedestrian crossing on Pacific Street. The selected improvement shall be subject to the review and approval of the City Engineer and shall be completed prior to issuance of a certificate of occupancy for the first building. (PLANNING, CITY ENGINEER)

- d. Prior to approval of improvement plans, the applicant shall redesign the retaining wall along the project's Pacific Street frontage, as necessary, to provide adequate sight distance for vehicles entering and exiting the site, unless an alternative is agreed upon by the City Engineer. The final design shall be subject to the review and approval of the City Engineer and shall be consistent with the recommendations of the Traffic Impact Study (Kimley-Horn, dated February 20, 2026). (PLANNING, CITY ENGINEER)
- e. Prior to issuance of improvement plans, the applicant shall restrict the project's Pacific Street driveway to right-turn movements only. To implement this restriction, the applicant shall construct a mountable raised median on the project driveway approach to Pacific Street and install appropriate regulatory signage, unless an alternative is agreed upon by the City Engineer. The final design and signage shall be subject to the review and approval of the City Engineer and shall be consistent with the recommendations of the Traffic Impact Study (Kimley-Horn, dated February 20, 2026). (PLANNING, CITY ENGINEER)
- f. Prior to issuance improvement plans, the applicant shall install a gull-wing median on Pacific Street adjacent to the Quarry Park Adventures access driveway to reinforce the existing lane geometry and pavement striping, unless an alternative is agreed upon by the City Engineer. The final design, location, and dimensions of the median shall be subject to the review and approval of the City Engineer and shall be consistent with the recommendations of the Traffic Impact Study (Kimley-Horn, dated February 20, 2026). (PLANNING, CITY ENGINEER)

25. Indemnification and Duty to Defend

As a condition for project approval, Owner or an agent of Owner acceptable to City shall defend, indemnify, and hold harmless the City and its agents, officers, and employees from any claim, action, or proceeding, against the City or its agents, officers, and employees; including all costs, attorneys' fees, expenses, and liabilities incurred in the defense of such claim, action, or proceeding to attack, set aside, void or annul an approval by the City and its agents, officers, and

employees, or other City advisory agency, appeal board, or legislative body concerning this project approval. City shall promptly notify owner of any such claim, action, or proceeding and shall cooperate fully in the defense of said claim, action, or proceeding. (CITY ATTORNEY)

26. Validity

- a. This entitlement shall expire three (3) years from the date of approval unless prior to that date a building permit has been issued or a time extension has been granted. (PLANNING)
- b. Approval of this entitlement does not relieve the developer of the need to obtain subsequent permits and approvals, such as but not limited to grading permits, improvement plans, and building permits. (PLANNING)

PASSED AND ADOPTED this 16<sup>th</sup> day of July, 2026, by the Community Development Director of the City of Rocklin, as authorized by Rocklin Municipal Code Section 17.59.

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David Mohlenbrok  
Community Development Director

ATTEST

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Terry Stemple  
Administrative Assistant

EXHIBIT A

Rocklin Public Market (DR2025-0008)



PERSPECTIVE VIEW - VIEW LOOKING SOUTHEAST FROM PACIFIC STREET

# ROCKLIN PUBLIC MARKET

## VICINITY MAP



SITE

## ZONING MAP



## PROJECT DIRECTORY

**OWNER:** TAYLOR JUDKINS, G3 REAL ESTATE  
3845 S HIGUERA ST, SUITE 210  
SAN LUIS OBISPO, CA 93401

**ARCHITECT:** RRM DESIGN GROUP  
3765 S. HIGUERA STREET, SUITE 102  
SAN LUIS OBISPO, CA 93401  
CONTACT: SCOTT MARTIN  
PHONE: (805)-543-1794  
SAMARTIN@RRMDESIGN.COM

**LANDSCAPE:** RRM DESIGN GROUP  
3765 S. HIGUERA STREET, SUITE 102  
SAN LUIS OBISPO, CA 93401  
CONTACT: CHRIS DUFOUR  
PHONE: (805)-903-1241  
CBDUFOUR@RRMDESIGN.COM

**CIVIL ENGINEER:** CARTWRIGHT NOR CAL, INC.  
3010 LAVA RIDGE C, SUITE 160  
ROSEVILLE, CA 95661  
CONTACT: MONICA WUEBKER-JARWIN  
PHONE: (916)-978-4001  
MONICAW@CARTWRIGHTENGINEERS.COM

**PROJECT ADDRESS:** PACIFIC STREET, ROCKLIN, CA 95677

**APN:** 010-170-026

## PROJECT DESCRIPTION

ROCKLIN PUBLIC MARKET IS THE PROPOSED DEVELOPMENT OF 4 BUILDINGS AND A CENTRAL PLAZA, ON A SITE OVERLOOKING QUARRY PARK. THE BUILDINGS INCLUDE A 2-STORY RETAIL BUILDING, A 2-FLOOR MARKET HALL, A 3-STORY MIXED-USE BUILDING COMPOSED OF 2 FLOORS OF RESIDENTIAL UNITS OVER GROUND-FLOOR COMMERCIAL, AND A 2-STORY BREWERY AND RESTAURANT. THE PROJECT PROPOSES ITS OWN PARKING LOT, AND ALSO INCLUDES A LAND SWAP PROPOSAL TO SHARE THE ADJACENT QUARRY PARK PARKING LOT WITH THIS PROJECT.

OF NOTE, A HEIGHT ALLOWANCE PERMIT ALLOWS THE MAXIMUM TO BE INCREASED UP TO FIFTY FEET, AND THE MAXIMUM NUMBER OF STORIES TO BE INCREASED UP TO FOUR.

## PROJECT STATISTICS

<b>ZONING</b>	PD-C-4
<b>PARCEL SIZE:</b>	2.9 ACRES (129,850 SF)
<b>BUILDING GROSS AREA</b>	68,381 SF
<b>GROUND FLOOR</b>	32,960 SF
<b>SECOND FLOOR</b>	25,021 SF
<b>THIRD FLOOR</b>	10,400 SF
<b>PROPOSED COVERAGE:</b>	25% (GROUND FLOOR/PARCEL SIZE)
<b>LANDSCAPE AREA</b>	27,044 SF
<b>IMPERVIOUS SURFACE:</b>	106,689 SF
<b>TOTAL AREA CALCS INCLUDING CONNECTIONS TO EXISTING PARKING LOT:</b>	133,733 SF
<b>MAX. ALLOWED HEIGHT:</b>	50 FT. (PER ROCKLIN MUNICIPAL CODE 17.50.040)
<b>MAX. PROPOSED HEIGHT:</b>	50 FT.
<b>YARD SETBACKS</b>	<b>REQUIRED</b> <b>PROPOSED</b>
	<b>FRONT</b> 5 FT      5FT
	<b>SIDE</b> 0 FT      0FT
	<b>REAR</b> 10 FT     10FT

**OCCUPANCY TYPES & AREA (NET SQUARE FOOTAGE):**

<b>RESIDENTIAL</b>	16,608 SF & 20 UNITS
<b>GENERAL RETAIL</b>	21,485 SF
<b>RESTAURANT</b>	5,633 SF
<b>MARKET</b>	13,765 SF

## RESIDENTIAL STATISTICS

<b>RESIDENTIAL UNITS</b>	20 1-BEDROOM UNITS
<b>TOTAL RESIDENTIAL UNITS</b>	20 1-BEDROOM UNITS

## COMMERCIAL AREAS

<b>BUILDING 1</b>		
<b>GROUND FLOOR</b>	7,423 GSF (6,123 NET)	
<b>SECOND FLOOR</b>	6,980 GSF (6,606 NET)	
<b>BUILDING 2</b>		
<b>GROUND FLOOR</b>	9,956 GSF (8,622 NET)	
<b>SECOND FLOOR</b>	5,784 GSF (5,143 NET)	
<b>BUILDING 3</b>		
<b>GROUND FLOOR</b>	10,814 GSF (8,756 NET)	
<b>SECOND FLOOR</b>	N/A (RESIDENTIAL)	
<b>THIRD FLOOR</b>	N/A (RESIDENTIAL)	
<b>BUILDING 4</b>		
<b>GROUND FLOOR</b>	4,767 GSF (4,029 NET)	
<b>SECOND FLOOR</b>	1,870 GSF (1,604 NET)	
<b>TOTAL</b>	47,594 GSF (40,883 NET)	

## PARKING

<b>AUTO PARKING</b>	CALCULATION	SPACE COUNT
<b>COMMERCIAL PARKING REQUIRED:</b>		191
<b>C-4</b>	1 SPACE PER 250 SQFT GROSS FLOOR AREA (PER ROCKLIN MUNICIPAL CODE 17.50.090)	
	47,594 GSF * (1 SPACE/250 SQFT)	
<b>RESIDENTIAL PARKING REQUIRED*:</b>		30
	1.5 SPACES PER 1-BED UNIT +25% FOR VISITOR PARKING (PER ROCKLIN MUNICIPAL CODE 17.66.020)	7
<b>TOTAL RESIDENTIAL TOTAL REQUIRED FOR PROPOSED:</b>		37
<b>PARKING PROVIDED</b>	STANDARD SPACES	49
	ACCESSIBLE SPACES	4
	COMPACT SPACES	25
	GARAGE	4
	NON-ACC. SPACES	63
<b>(78 ON-SITE) (4 GARAGE) (63 OFF-SITE)</b>		<b>145 TOTAL</b>

\*ROCKLIN MUNICIPAL CODE 17.75.070.C.2, SECTION C ALLOWS OFF-STREET PARKING FOR NEW DEVELOPMENTS IN THE BARRO ZONE DISTRICT. COMMERCIAL USES MAY PROPOSE TO TRANSFER UP TO THEIR ENTIRE ON-SITE PARKING OBLIGATION TO PUBLIC PARKING LOTS SO LONG AS IT MAINTAINS ACCESSIBLE PARKING ON THE PROPERTY.

PLEASE ALSO SEE PARKING NARRATIVE SUPPORTING DOCUMENT

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A4	EXISTING CITY PHOTOS
A5	INSPIRATION PHOTOS
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A8	BUILDING 1 (RETAIL) - SECOND FLOOR PLAN
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L3	PLANT PALETTE
L4	MATERIALS AND FURNISHINGS



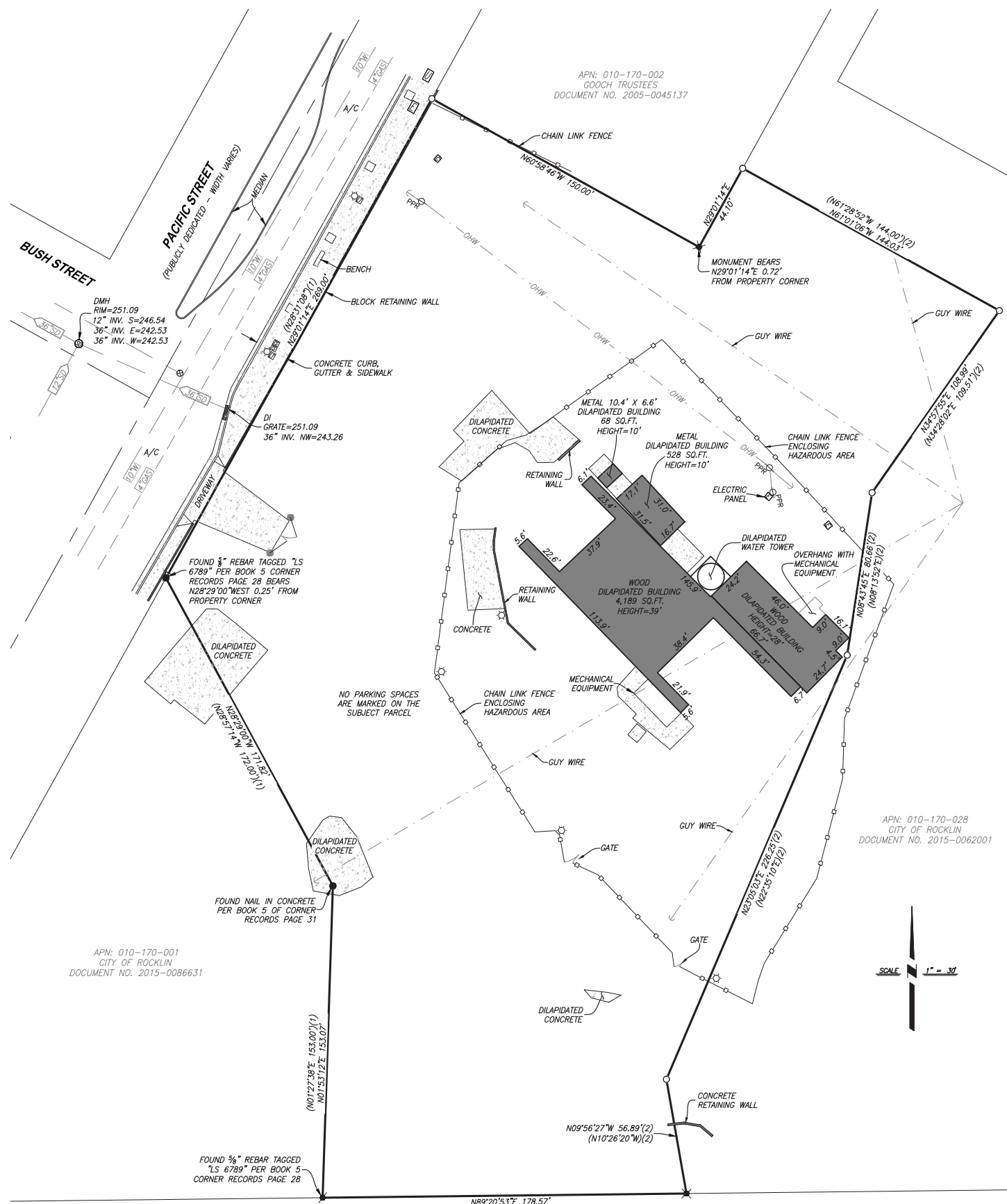
TITLE SHEET

ROCKLIN PUBLIC MARKET

06 FEBRUARY 2026

3233-01-CO23

T1

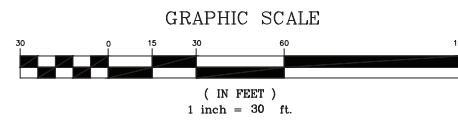
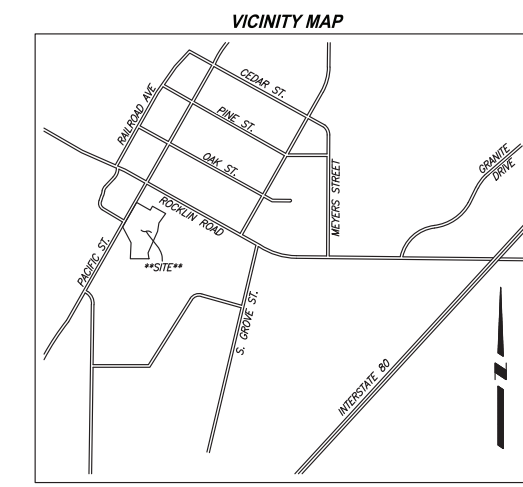


**LEGEND**

□	COMMUNICATIONS BOX
■	DRAIN INLET
■	STORM DRAIN INLET
□	ELECTRIC BOX
○	GUY ANCHOR
PPR	POWER POLE WITH RISER
⊕	SIGN POST
⊕	STREET LIGHT
⊕	STREET LIGHT BOX
⊕	TRAFFIC SIGNAL BOX
⊕	UNKNOWN UTILITY BOX
⊕	WATER VALVE
○	DIMENSION POINT
●	FOUND MONUMENT AS NOTED
●	FOUND RAILROAD SPIKE (NO RECORD)
●	FOUND 1-1/2" IRON PIPE CAPPED "LS 8575" (NO RECORD)
A/C	ASPHALTIC CONCRETE
OHW	OVERHEAD WIRES
(1)	RECORD DATA PER 9 R.S. 103
(2)	RECORD DATA PER TITLE REPORT

**EXCEPTIONS:**  
THERE ARE NO EASEMENTS LISTED IN THE TITLE REPORT

**LEGAL DESCRIPTION**  
REAL PROPERTY IN THE CITY OF ROCKLIN, COUNTY OF PLACER, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:  
THAT PROPERTY DESCRIBED IN THE GRANT DEED TO THE CITY OF ROCKLIN, RECORDED DECEMBER 3, 2010 AS DOCUMENT NO. 2010-0100792, PLACER COUNTY RECORDS, EXCEPTING THEREFROM THE FOLLOWING DESCRIBED PARCEL:  
BEING A PORTION OF BLOCK 10 AS SAID BLOCK IS SHOWN ON THE OFFICIAL MAP OF THE TOWN OF ROCKLIN, FILED IN THE OFFICE OF THE COUNTY RECORDER OF PLACER COUNTY ON AUGUST 9, 1893 IN BOOK "A" OF MAPS AT PAGE 28, DESCRIBED AS FOLLOWS:  
BEGINNING AT A POINT ON THE SOUTHERLY LINE OF ROCKLIN ROAD (FORMERLY GRANITE STREET) DISTANT THEREON 150.00 FEET ALONG SAID LINE FROM THE INTERSECTION WITH THE EASTERLY LINE OF PACIFIC STREET; THENCE EASTERLY, ALONG SAID SOUTHERLY LINE, SOUTH 61°28'52" EAST 20.00 FEET; THENCE LEAVING SAID LINE AT RIGHT ANGLES, SOUTH 28°31'08" WEST 150.00 FEET; THENCE PARALLEL TO SAID SOUTHERLY LINE, SOUTH 61°28'52" EAST 150.00 FEET; THENCE AT RIGHT ANGLES, NORTH 28°31'08" EAST 65.00 FEET TO THE SOUTHERLY LINE OF THE PARCEL OF LAND DEEDED TO THE CITY OF ROCKLIN AS RECORDED IN VOLUME 2774, AT PAGE 340 PLACER COUNTY RECORDS; THENCE ALONG SAID LINE THE FOLLOWING THREE (3) COURSES:  
1. SOUTH 61°28'52" EAST 158.82 FEET;  
2. SOUTH 28°31'08" WEST 65.00 FEET; AND  
3. SOUTH 61°28'52" EAST 15.00 FEET TO THE NORTHWEST CORNER OF THAT CERTAIN PARCEL TO THE CITY OF ROCKLIN RECORDED MARCH 30, 1990 IN BOOK 3863, AT PAGE 296 PLACER COUNTY RECORDS;  
THENCE ALONG THE WESTERLY AND SOUTHERLY LINES OF SAID PARCEL (3863/296) THE FOLLOWING SEVEN (7) COURSES:  
1. SOUTH 16°34'21" WEST 110.00 FEET;  
2. SOUTH 73°25'39" EAST 20.00 FEET;  
3. SOUTH 37°34'44" EAST 40.78 FEET;  
4. SOUTH 28°42'08" WEST 50.00 FEET;  
5. SOUTH 61°28'52" EAST 5.00 FEET;  
6. SOUTH 28°42'08" WEST 20.00 FEET; AND  
7. SOUTH 64°30'44" EAST 182.04 FEET TO THE WESTERLY LINE OF THAT PROPERTY DESCRIBED IN THE GRANT DEED TO THE CITY OF ROCKLIN, RECORDED DECEMBER 22, 1987 IN BOOK 3323, AT PAGE 356 PLACER COUNTY RECORDS;  
THENCE LEAVING SAID SOUTHERLY LINE (3863/296) ALONG SAID WESTERLY LINE (3323/356), SOUTH 28°31'08" WEST 111.18 FEET TO THE CENTER OF SECTION LINE OF SECTION 19, OF TOWNSHIP 11 NORTH, RANGE 7 EAST, MOUNT DIABLO BASE AND MERIDIAN, AS SAID LINE IS SHOWN ON THE RECORD OF SURVEY NO. 1026, FILED IN BOOK 9 OF SURVEYS AT PAGE 103, PLACER COUNTY RECORDS; THENCE WESTERLY ALONG SAID CENTER OF SECTION LINE, SOUTH 88°51'00" WEST 449.10 FEET; THENCE LEAVING SAID CENTER OF SECTION LINE, NORTH 10°26'20" WEST 56.89 FEET; THENCE NORTH 22°35'10" EAST 226.25 FEET; THENCE NORTH 08°13'52" EAST 80.66 FEET; THENCE NORTH 34°28'02" EAST 109.51 FEET TO A POINT ON A LINE THAT IS PARALLEL WITH AND SOUTHERLY 210.00 FEET FROM SAID SOUTH LINE OF ROCKLIN ROAD (GRANITE STREET); THENCE ALONG SAID PARALLEL LINE, NORTH 61°28'52" WEST 144.00 FEET TO A POINT ON A LINE THAT IS PARALLEL WITH AND EASTERLY 100.00 FEET FROM THE EASTERLY LINE OF SAID PACIFIC STREET; THENCE ALONG SAID PARALLEL LINE, NORTH 28°31'08" EAST 210.00 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION.  
THIS LEGAL DESCRIPTION IS MADE PURSUANT TO THAT CERTAIN APPROVING A LOT LINE ADJUSTMENT OF RESULTANT PARCEL A, RECORDED JULY 17, 2015, AS INSTRUMENT NO. 2015-62000, OF OFFICIAL RECORDS.  
APN: 010-170-026-000



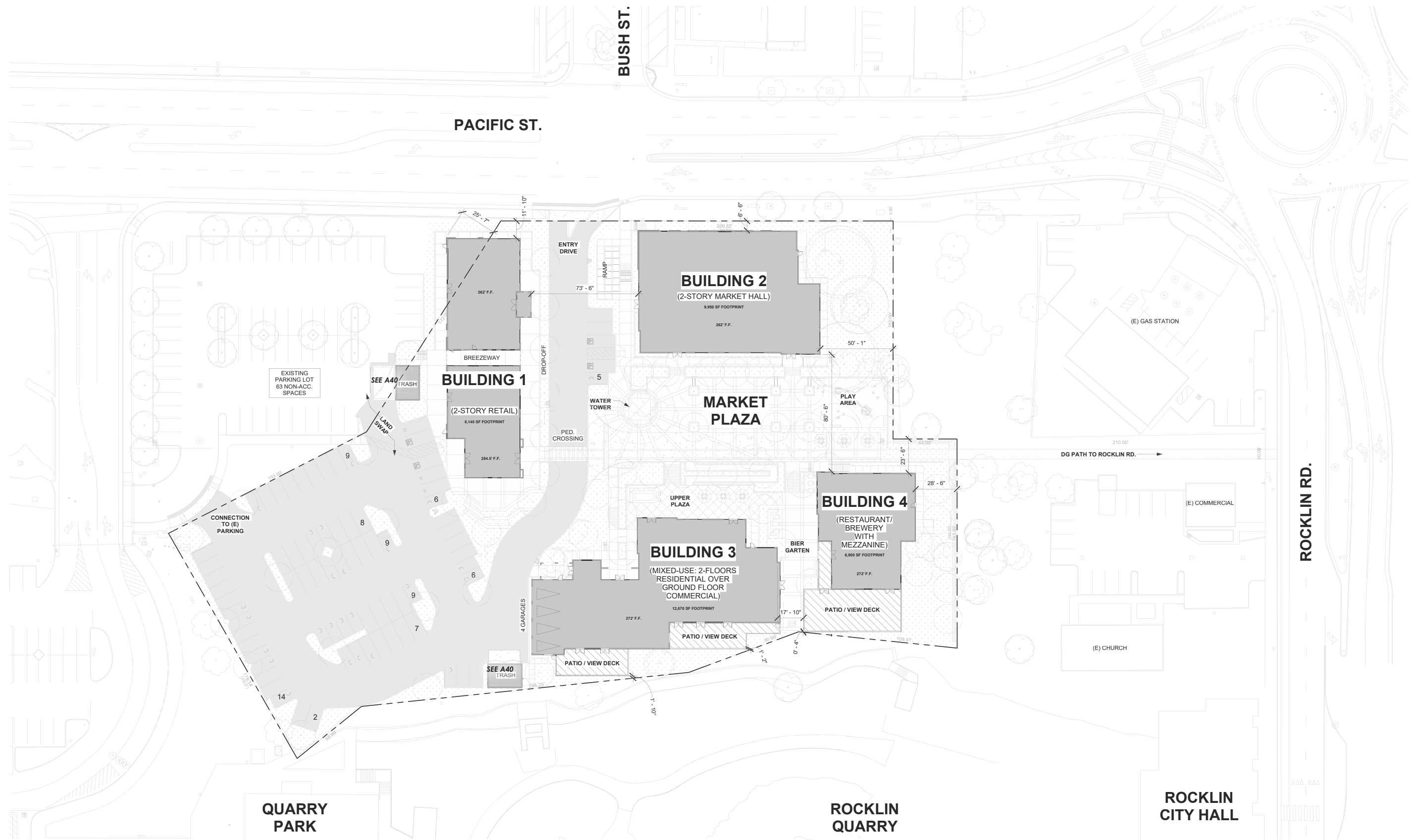
PREPARED UNDER THE DIRECTION OF:

NO	REVISIONS	DATE	APPROVED

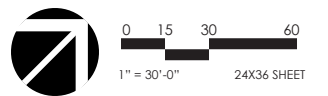
**CenterPoint Engineering, Inc.**  
Civil Engineering & Land Surveying  
1217 Pleasant Grove Blvd., Suite 130 • Roseville, CA 95678  
Phone: 916-773-4008 • Fax: 916-773-4458

**ALTA/NSPS LAND TITLE SURVEY**  
**A PORTION OF BLOCK 10, A.B.M. 28**  
CITY OF ROCKLIN, COUNTY OF PLACER,  
STATE OF CALIFORNIA

JOB NO 182000  
DATE 2-9-17  
DR BY BB  
CK BY MH  
SCALE 1" = 30'  
SHEET NUMBER  
**1**  
OF 2 SHEETS



1 PROPOSED SITE PLAN  
 1" = 30'-0" (24 X 36 SHEET)

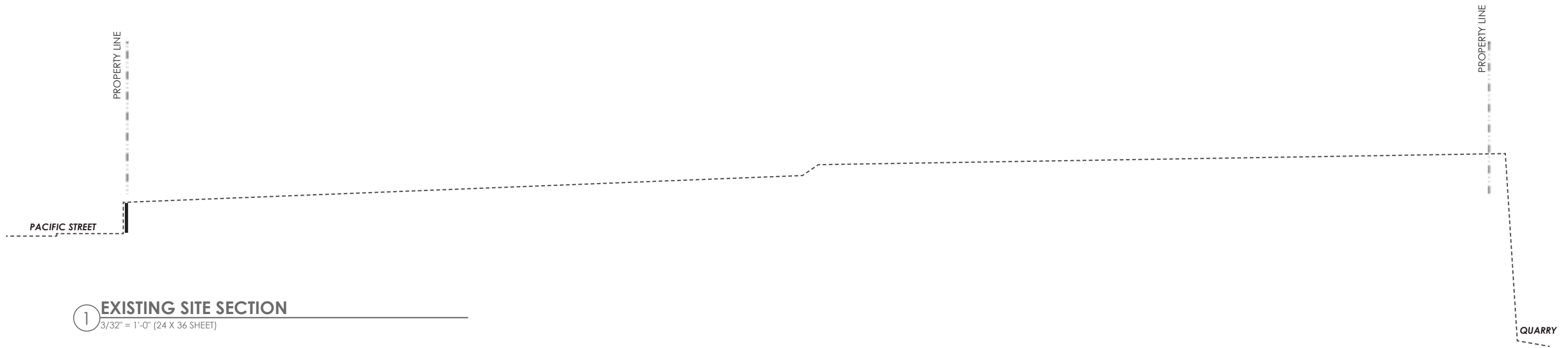


**PROPOSED SITE PLAN**  
**ROCKLIN PUBLIC MARKET**

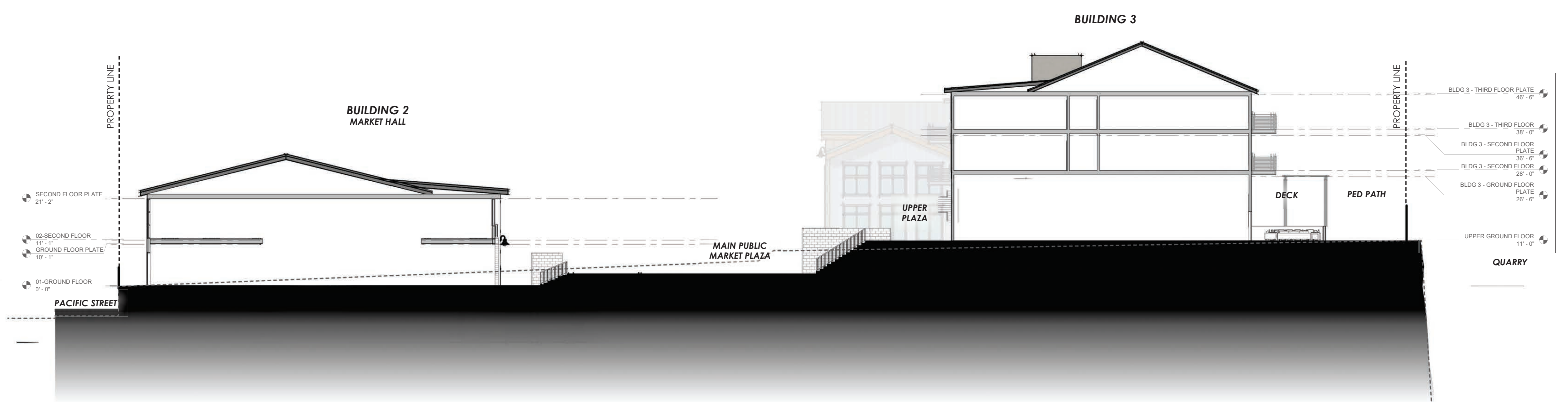
06 FEBRUARY 2026

3233-01-CO23

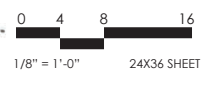
**A2**



1 EXISTING SITE SECTION  
 3/32" = 1'-0" (24 X 36 SHEET)



2 PROPOSED SITE SECTION  
 3/32" = 1'-0" (24 X 36 SHEET)





QUARRY DISTRICT

VISION:

THE DISTRICT IS A SAFE, WALKABLE, AND INVITING VILLAGE: A GATHERING PLACE ANCHORED BY QUARRY PARK. THE ARCHITECTURE IS RUSTIC AND VERNACULAR FEATURING GRANITE, EXPOSED WOOD ELEMENTS, AND REMINISCENT OF ITS MINING HERITAGE. THE VILLAGE IS CHARMING AND RESPECTFUL TO THE COMMUNITY'S HISTORY ROOTS YET ALSO VIBRANT AND BOLD MEETING CITIZEN'S EXPECTATIONS FOR HOUSING, RETAIL SHOPPING, AND ENTERTAINMENT.



IMAGES BY OTHERS



EXISTING CITY PHOTOS  
ROCKLIN PUBLIC MARKET

06 FEBRUARY 2026

3233-01-CO23

A4



INSPIRATION PHOTOS  
**ROCKLIN PUBLIC MARKET**

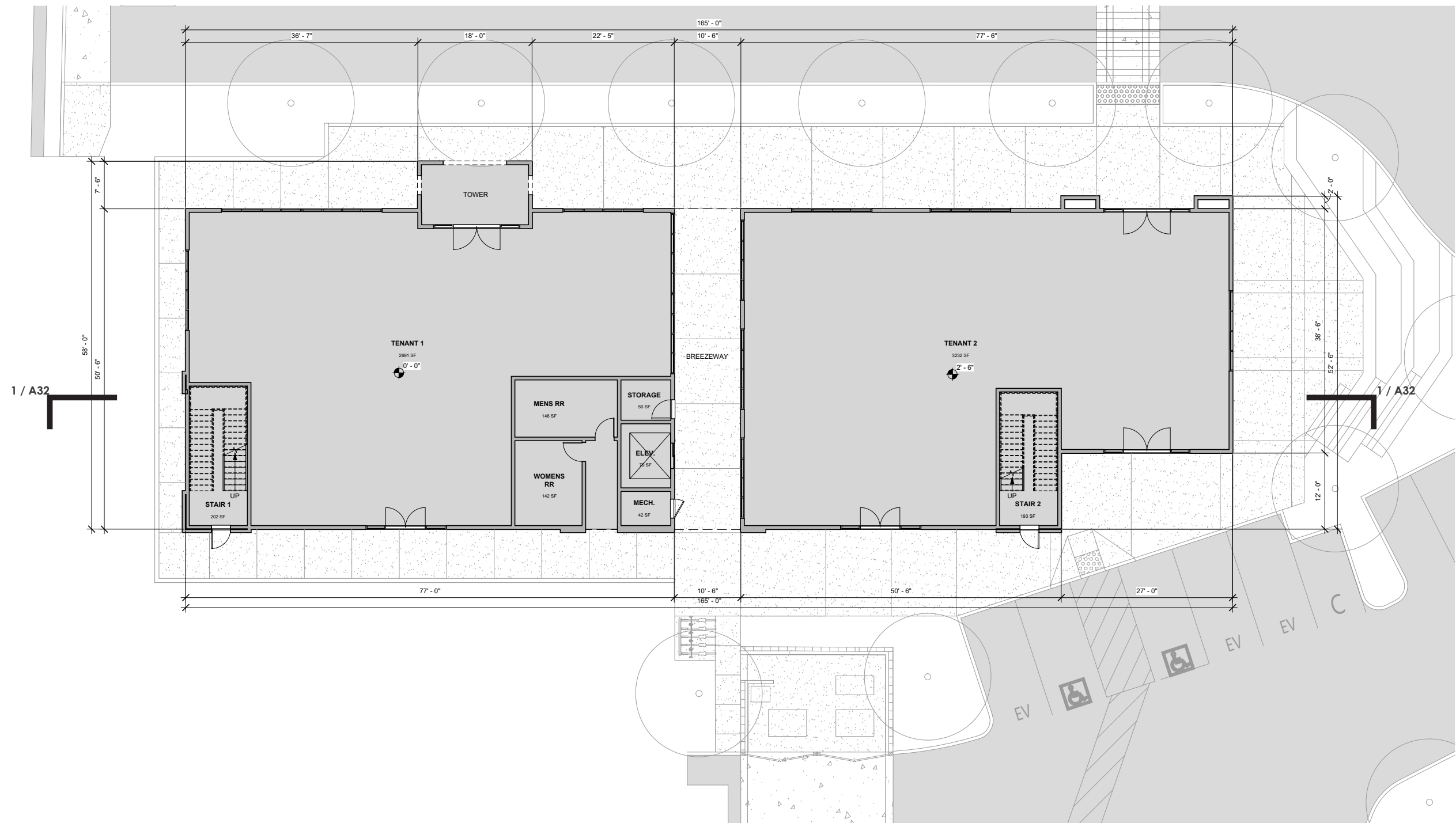
IMAGES BY OTHERS

06 FEBRUARY 2026

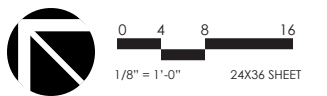
3233-01-CO23

**A5**





1 GROUND FLOOR PLAN  
 1/8" = 1'-0" (24 X 36 SHEET)

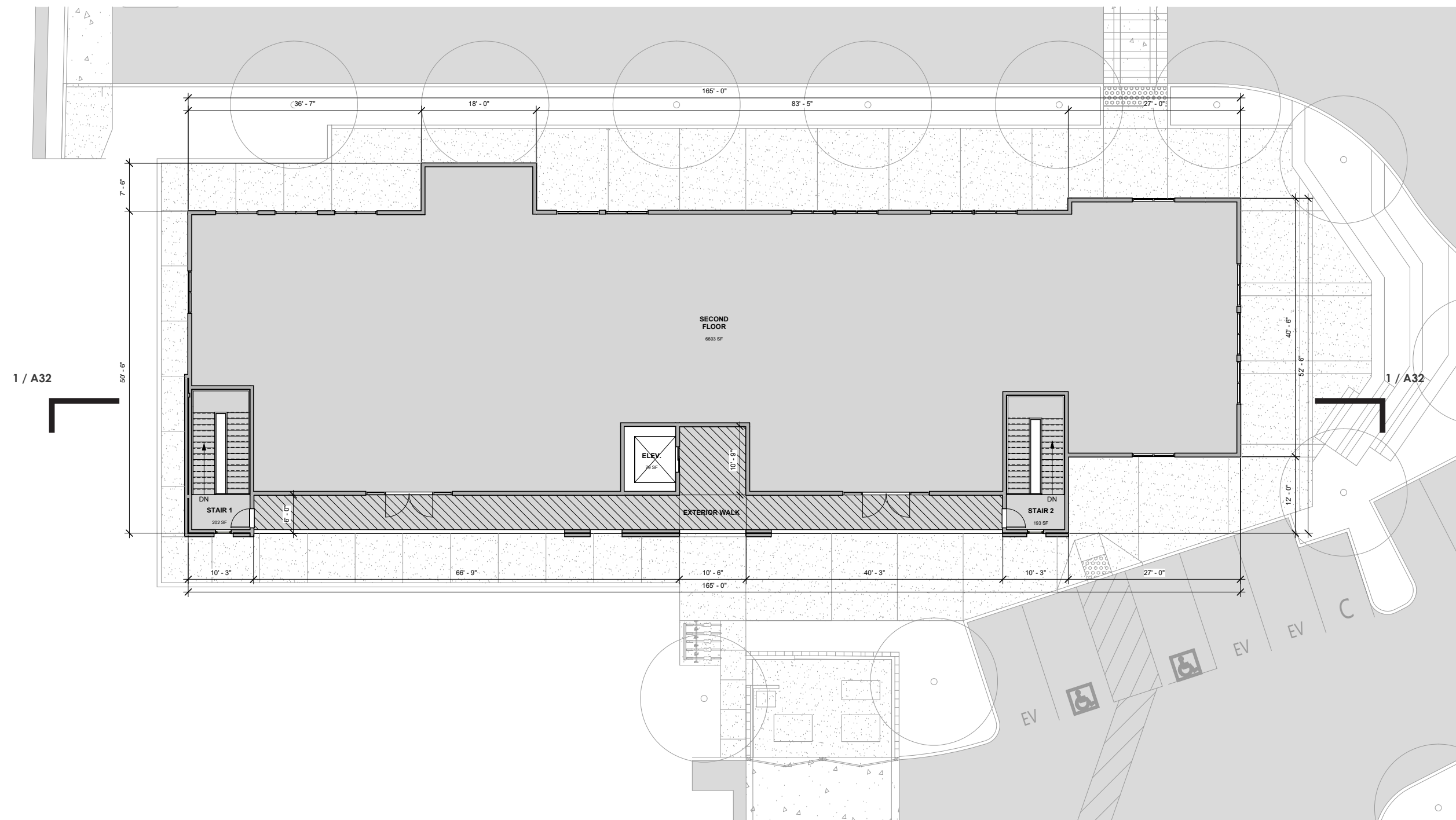


**BUILDING 1 (RETAIL) - GROUND FLOOR PLAN**  
**ROCKLIN PUBLIC MARKET**

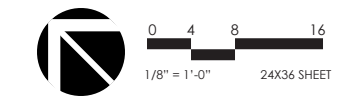
06 FEBRUARY 2026

3233-01-CO23

**A7**



2 SECOND FLOOR PLAN  
 1/8" = 1'-0" (24 X 36 SHEET)

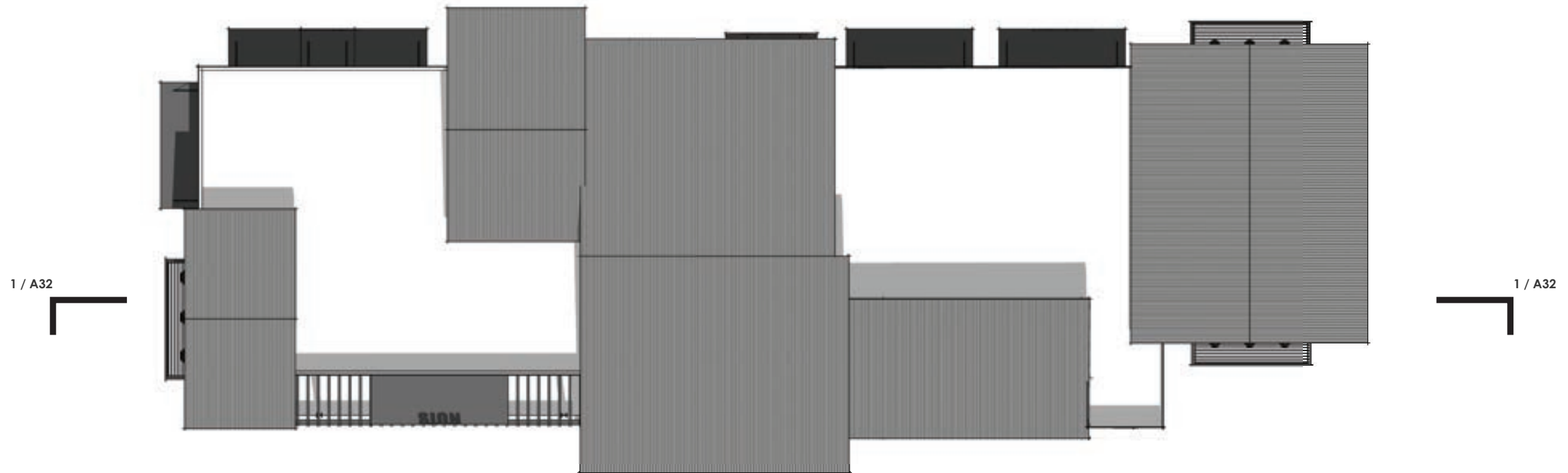


**BUILDING 1 (RETAIL) - SECOND FLOOR PLAN**  
**ROCKLIN PUBLIC MARKET**

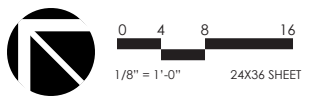
06 FEBRUARY 2026

3233-01-CO23

**A8**



3 **ROOF PLAN**  
 1/8" = 1'-0" (24 X 36 SHEET)



**BUILDING 1 (RETAIL) - ROOF PLAN**  
**ROCKLIN PUBLIC MARKET**

06 FEBRUARY 2026

3233-01-CO23

**A9**



③ **SOUTHEAST ELEVATION**  
1/8" = 1'-0" (24 X 36 SHEET)



① **NORTHEAST ELEVATION**  
1/8" = 1'-0" (24 X 36 SHEET)

MAX HEIGHT  
41'-9"

FLOOR PLATE  
26'-6"

SECOND FLOOR  
16'-6"

FLOOR PLATE  
14'-6" FF

UPPER GROUND LEVEL  
2'-6" FF

LOWER GROUND LEVEL  
0'-0" FF



④ **NORTHWEST ELEVATION**  
1/8" = 1'-0" (24 X 36 SHEET)



② **SOUTHWEST ELEVATION**  
1/8" = 1'-0" (24 X 36 SHEET)

MAX HEIGHT  
41'-9"

FLOOR PLATE  
26'-6"

SECOND FLOOR  
16'-5"

FLOOR PLATE  
14'-6" FF

UPPER GROUND LEVEL  
2'-6" FF

LOWER GROUND LEVEL  
0'-0" FF

0 4 8 16  
1/8" = 1'-0" 24X36 SHEET



**BUILDING 1 (RETAIL) - ELEVATIONS**  
**ROCKLIN PUBLIC MARKET**

06 FEBRUARY 2026

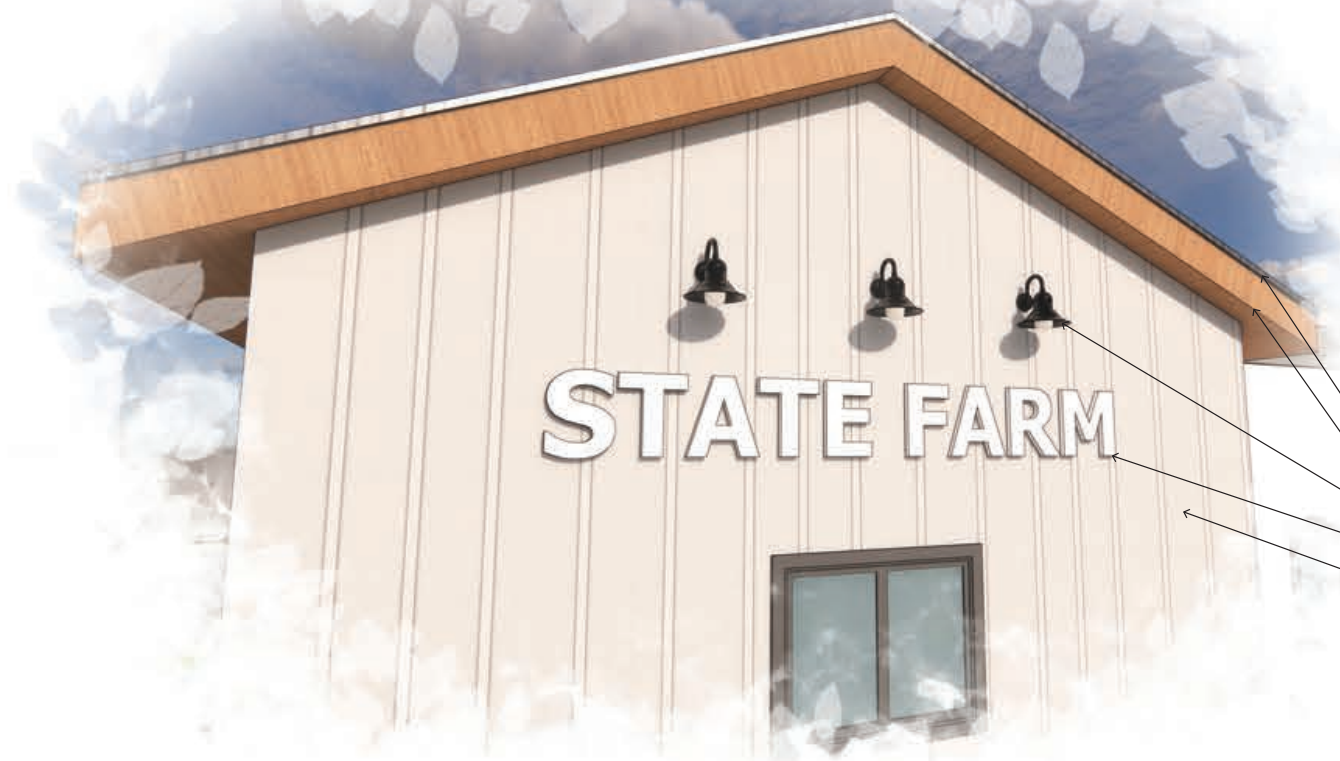
3233-01-CO23 **A10**



- BOARD AND BATT
- STEEL AWNING
- STEEL DECORATIVE FRAME
- MURAL BY OTHERS
- STONE SITE WALL



- FIBER CEMENT PARAPET TRIM
- CEDAR BRACKET
- BOARD AND BATT
- STEEL CABLE SUPPORT
- STEEL AWNING
- ALUMINUM SIGNAGE BY OTHERS
- STUCCO



- STANDING SEAM ROOF
- CEDAR-LOOK FASCIA AND SOFFIT
- SCONCE LIGHTS
- COMMERCIAL SIGNAGE BY OTHERS
- BOARD AND BATT



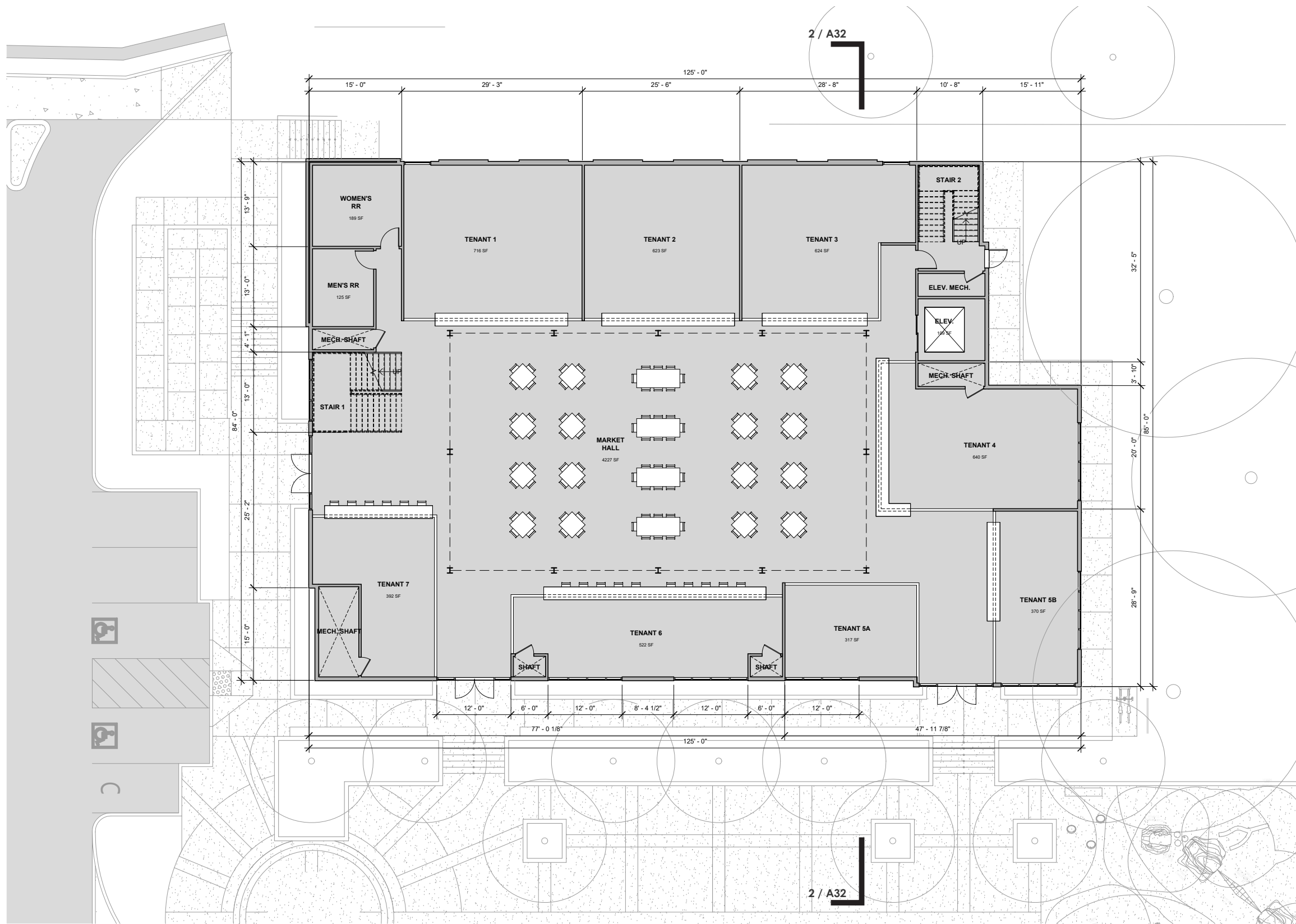
**BUILDING 1 (RETAIL) - DETAIL VIGNETTES**  
**ROCKLIN PUBLIC MARKET**

06 FEBRUARY 2026

3233-01-CO23

**A11**





1 **GROUND FLOOR PLAN**  
 1/8" = 1'-0" (24 X 36 SHEET)

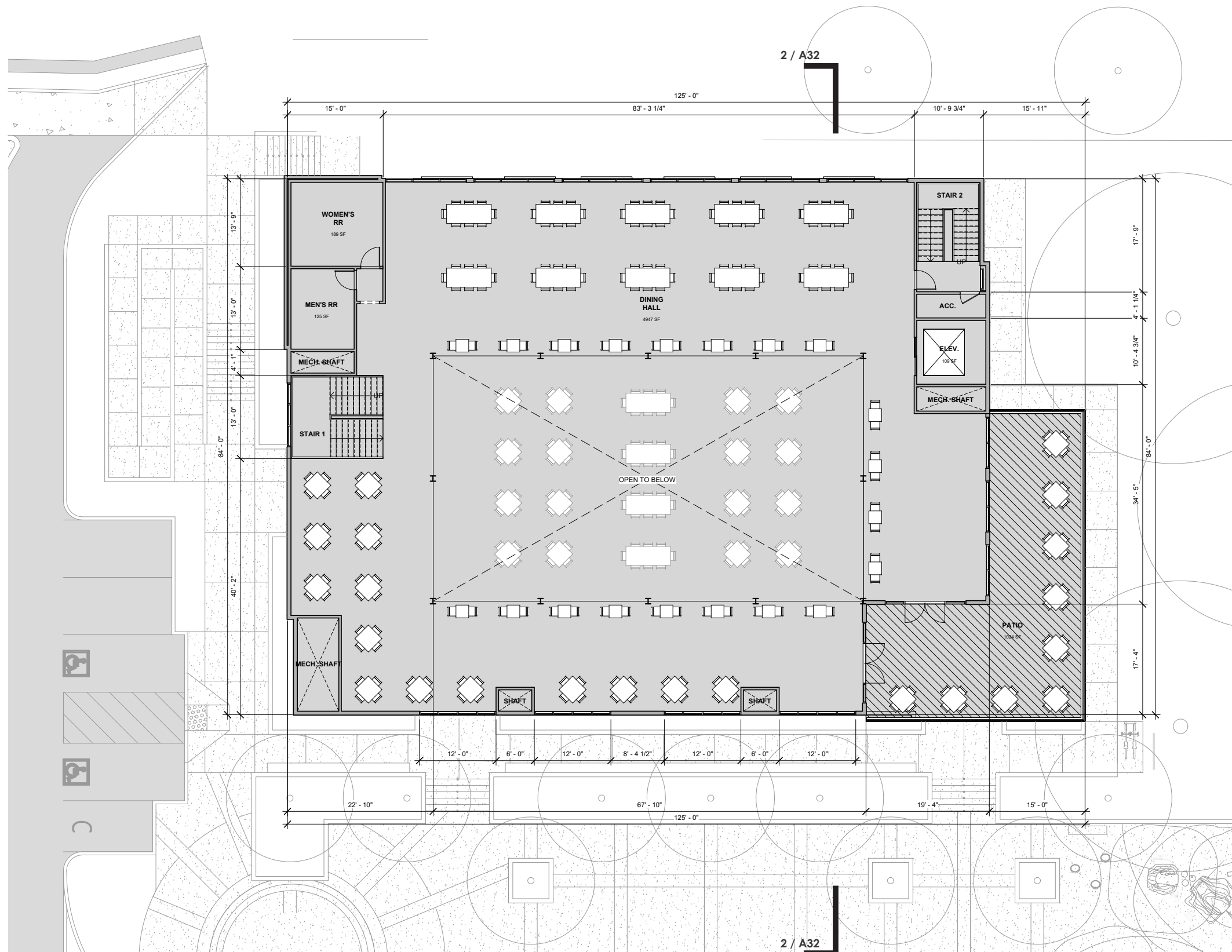


**BUILDING 2 (MARKET HALL) - GROUND FLOOR PLAN**  
**ROCKLIN PUBLIC MARKET**

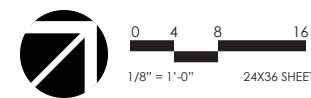
06 FEBRUARY 2026

3233-01-CO23

**A13**



2 SECOND FLOOR PLAN  
 1/8" = 1'-0" (24 X 36 SHEET)

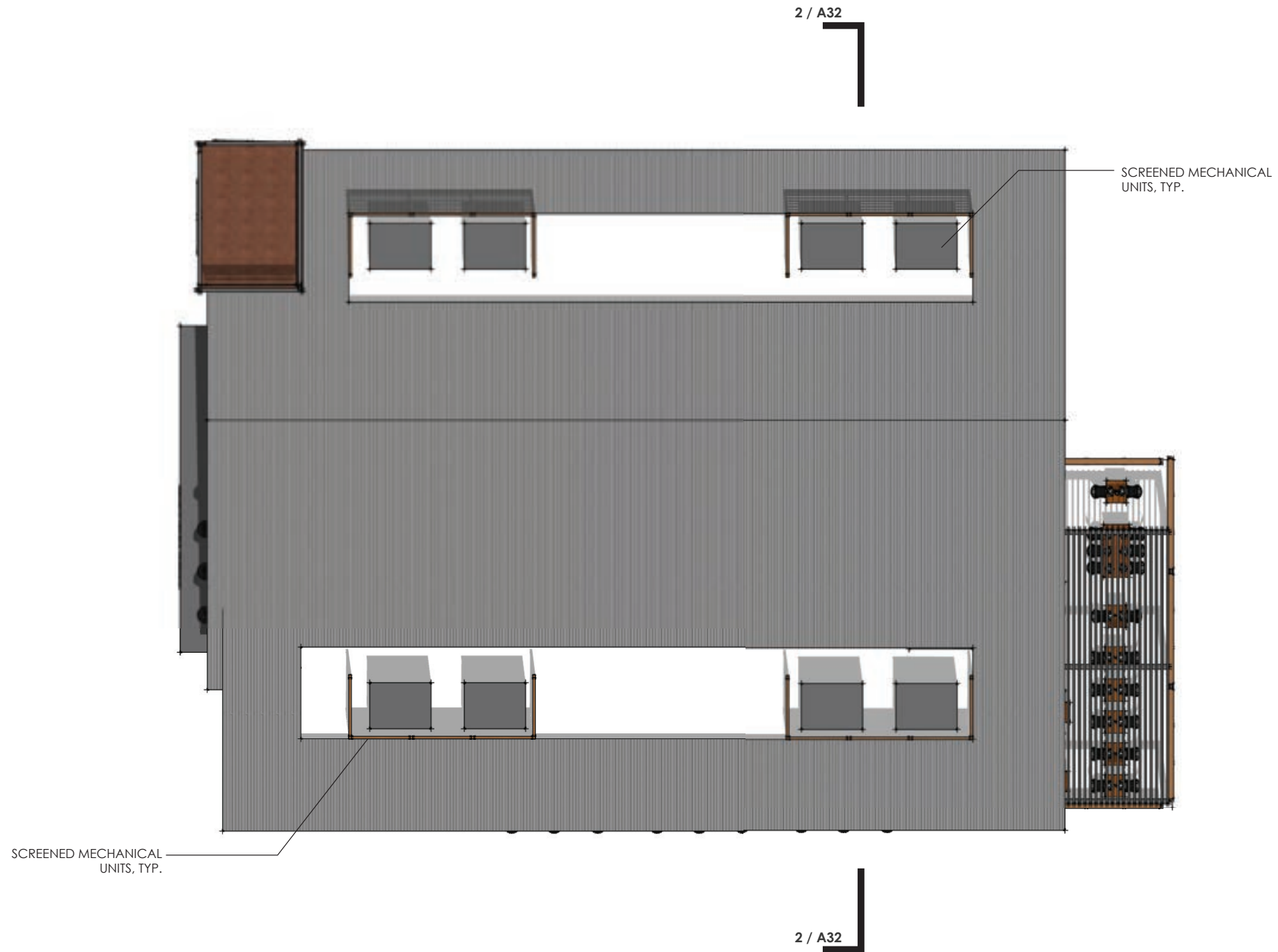


**BUILDING 2 (MARKET HALL) - SECOND FLOOR PLAN**  
**ROCKLIN PUBLIC MARKET**

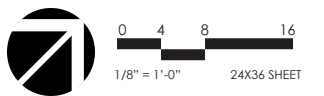
06 FEBRUARY 2026

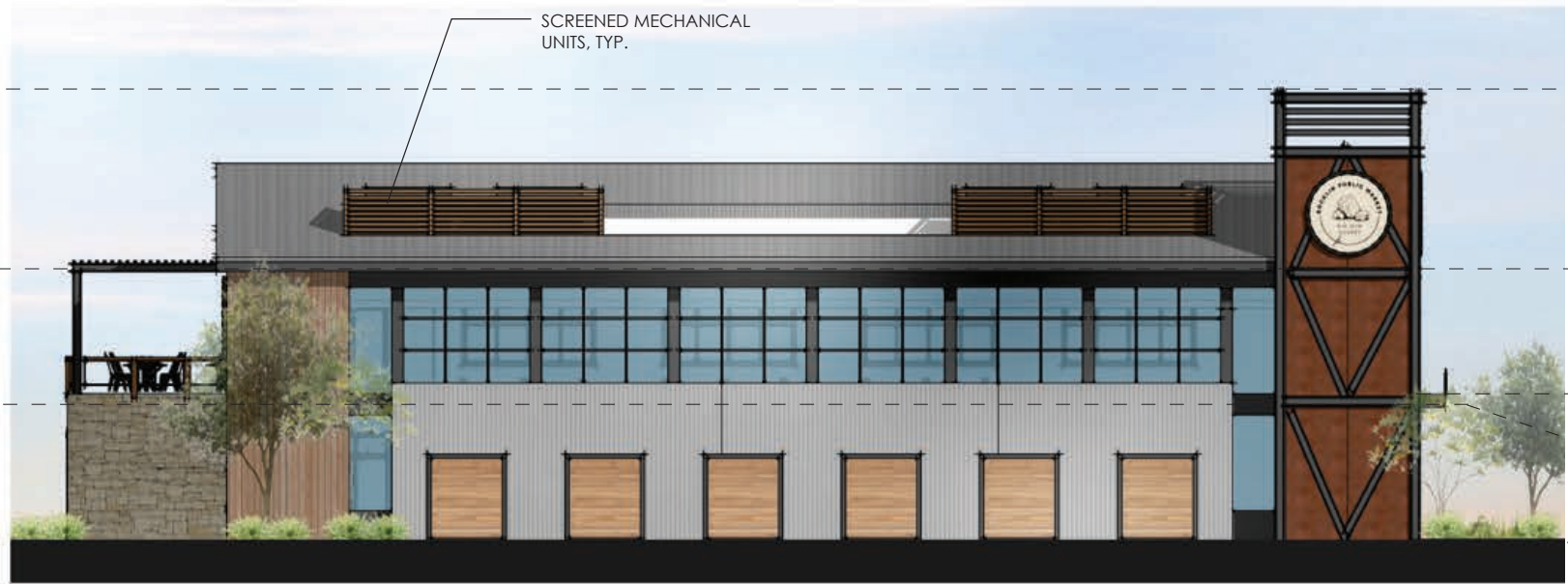
3233-01-CO23

**A14**



3 ROOF PLAN  
 1/8" = 1'-0" (24 X 36 SHEET)





3 **NORTHEAST ELEVATION**  
1/8" = 1'-0" (24 X 36 SHEET)

1 **NORTHWEST ELEVATION**  
1/8" = 1'-0" (24 X 36 SHEET)



4 **SOUTHWEST ELEVATION**  
1/8" = 1'-0" (24 X 36 SHEET)

2 **SOUTHEAST ELEVATION**  
1/8" = 1'-0" (24 X 36 SHEET)

0 4 8 16  
1/8" = 1'-0" 24X36 SHEET



**BUILDING 2 (MARKET HALL) - ELEVATIONS**  
**ROCKLIN PUBLIC MARKET**

06 FEBRUARY 2026

3233-01-CO23

**A16**

- STEEL FRAMING
- CORTEN METAL
- ALUMINUM SIGNAGE BY OTHERS
- WIDE-FLANGE STEEL FRAMING
- CEDAR-LOOK MECHANICAL SCREEN



- WIDE FLANGE BEAM
- STEEL TRELLIS MEMBERS
- WIDE FLANGE COLUMN
- STOREFRONT SYSTEM
- HOGWIRED CEDAR-LOOK RAILING
- STONE VENEER



- CORRUGATED METAL VENEER
- CEDAR-LOOK LAP SIDING
- STOREFRONT SYSTEM
- FIBER CEMENT TRIM
- ACCENT LAP SIDING - CEDAR-LOOK

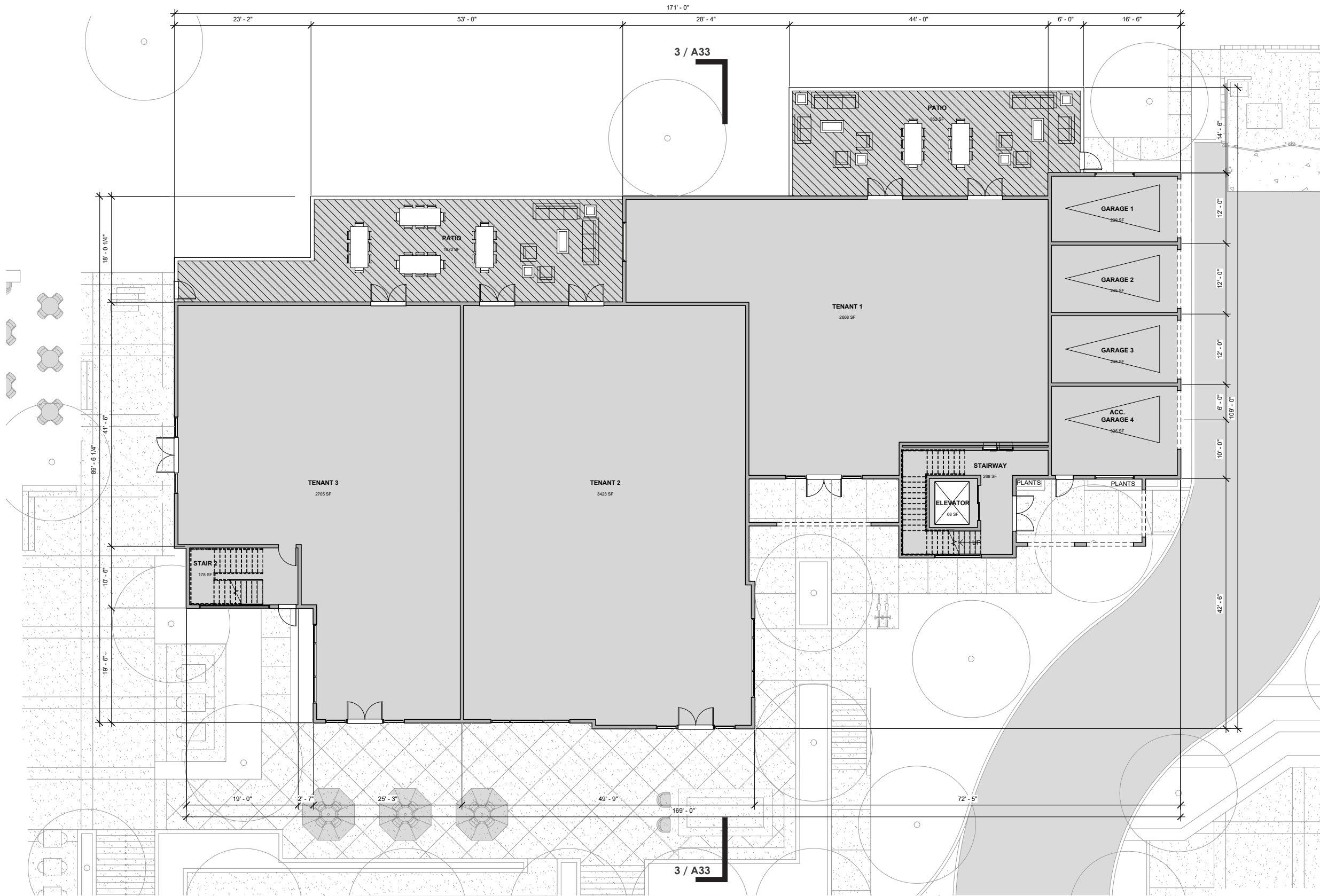


**BUILDING 2 (MARKET HALL) - DETAIL VIGNETTES**  
**ROCKLIN PUBLIC MARKET**

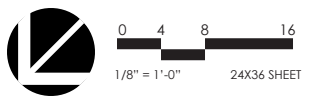
06 FEBRUARY 2026

3233-01-CO23 **A17**





1 GROUND FLOOR PLAN  
 1/8" = 1'-0" (24 X 36 SHEET)

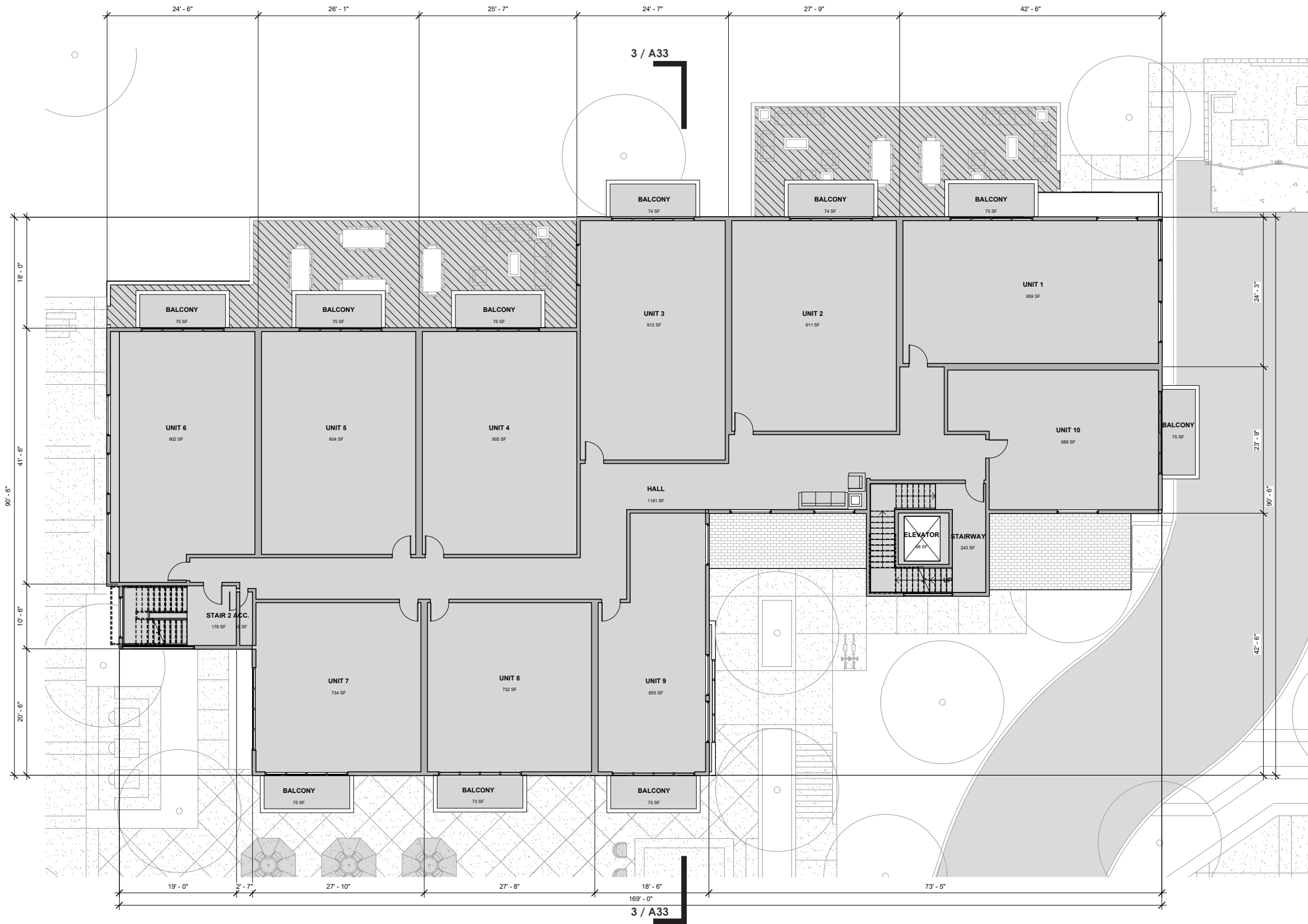


**BUILDING 3 (MIXED-USE) - GROUND FLOOR PLAN**  
**ROCKLIN PUBLIC MARKET**

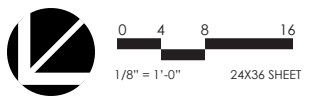
06 FEBRUARY 2026

3233-01-CO23

**A19**



2 SECOND FLOOR PLAN  
 1/8" = 1'-0" (24 X 36 SHEET)

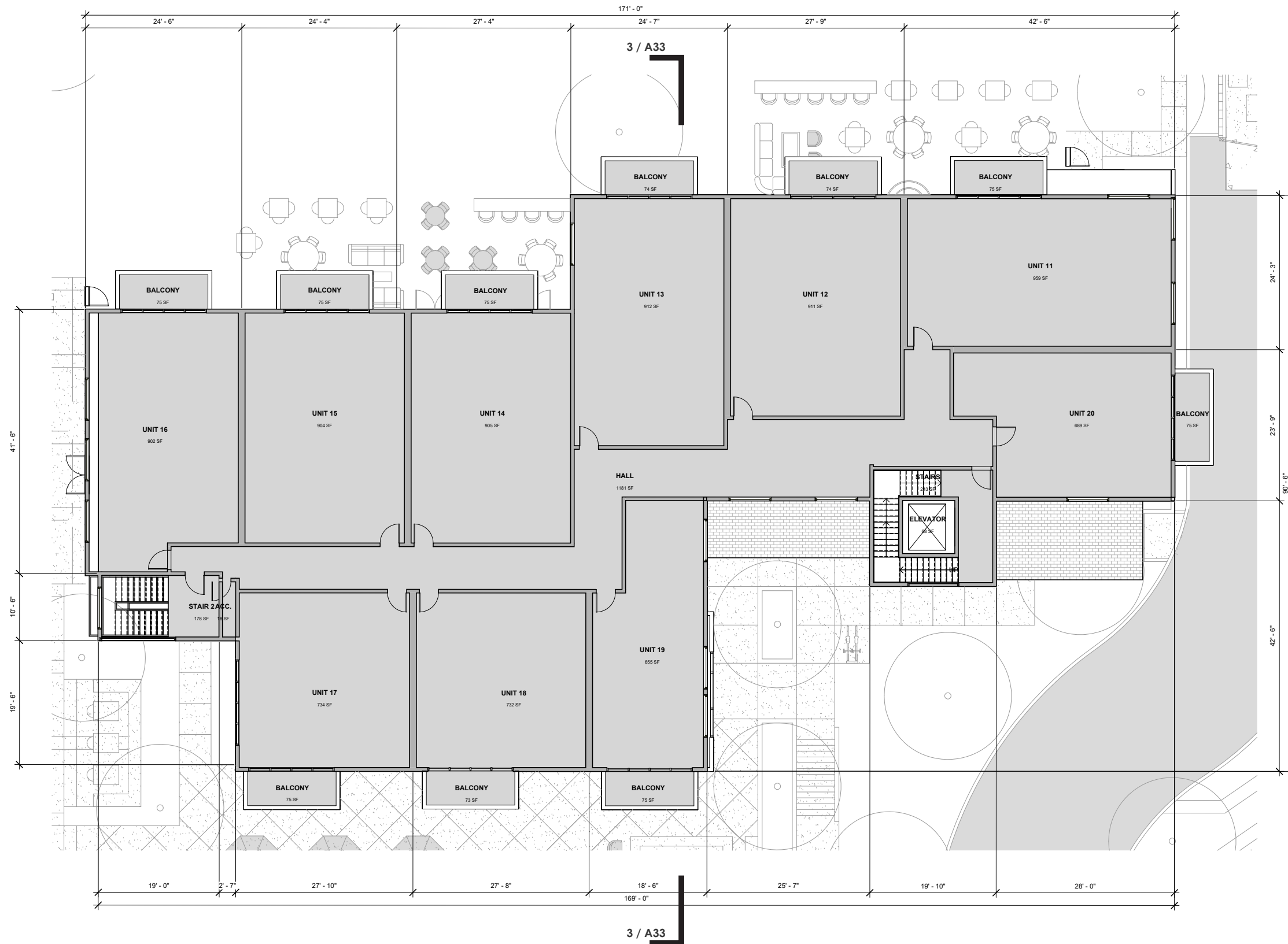


**BUILDING 3 (MIXED-USE) - SECOND FLOOR PLAN**  
**ROCKLIN PUBLIC MARKET**

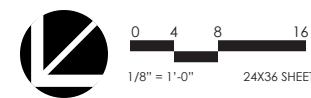
06 FEBRUARY 2026

3233-01-CO23

**A20**



**3 THIRD FLOOR PLAN**  
 1/8" = 1'-0" (24 X 36 SHEET)



**BUILDING 3 (MIXED-USE) - THIRD FLOOR PLAN**  
**ROCKLIN PUBLIC MARKET**

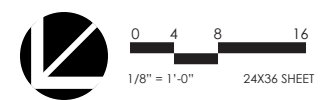
06 FEBRUARY 2026

3233-01-CO23

**A21**



4 ROOF PLAN  
 1/8" = 1'-0" (24 X 36 SHEET)



**BUILDING 3 (MIXED-USE) - ROOF PLAN**  
**ROCKLIN PUBLIC MARKET**

06 FEBRUARY 2026

3233-01-CO23

**A22**



1 **NORTHWEST ELEVATION**  
1/8" = 1'-0" (24 X 36 SHEET)



2 **NORTHEAST ELEVATION**  
1/8" = 1'-0" (24 X 36 SHEET)

0 4 8 16  
1/8" = 1'-0" 24X36 SHEET



**BUILDING 3 (MIXED-USE) - ELEVATIONS**  
**ROCKLIN PUBLIC MARKET**

06 FEBRUARY 2026

3233-01-CO23

**A23**



1 **SOUTHEAST ELEVATION**  
1/8" = 1'-0" (24 X 36 SHEET)



2 **SOUTHWEST ELEVATION**  
1/8" = 1'-0" (24 X 36 SHEET)

0 4 8 16  
1/8" = 1'-0" 24X36 SHEET



**BUILDING 3 (MIXED-USE) - ELEVATIONS**  
**ROCKLIN PUBLIC MARKET**

06 FEBRUARY 2026

3233-01-CO23

**A24**

- GSM PARAPET CAP
- CORRUGATED METAL VENEER
- SCONCE LIGHTS
- ALUMINUM SIGNAGE BY OTHERS
- CEDAR-LOOK LAP SIDING AND SOFFIT
- STEEL RAILING
- STEEL BALCONY FRAMING

- STUCCO
- CORRUGATED METAL VENEER
- STEEL BALCONY AND RAILING
- STANDING SEAM METAL ROOF
- CEDAR-LOOK FASCIA AND SOFFITS
- CORTEN METAL

- STUCCO
- CEDAR-LOOK FASCIA AND SOFFIT
- WIDE FLANGE BEAM
- WIDE FLANGE COLUMN
- STONE VENEER LOW WALLS



**BUILDING 3 (MIXED-USE) - DETAIL VIGNETTES**  
**ROCKLIN PUBLIC MARKET**

06 FEBRUARY 2026

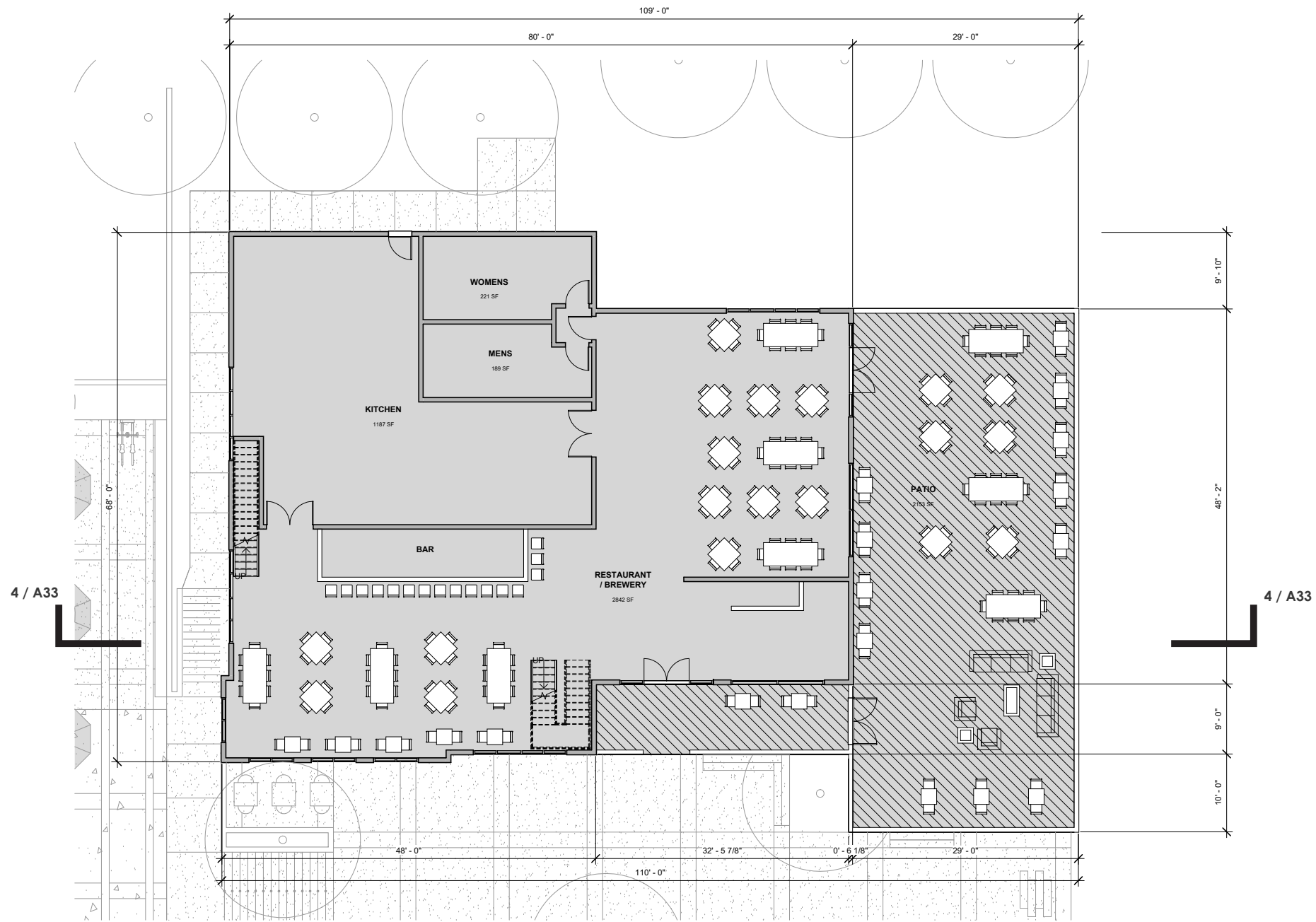
3233-01-CO23 **A25**



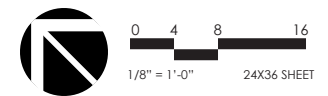
**BUILDING 4 (BREWERY) - PERSPECTIVE**  
**ROCKLIN PUBLIC MARKET**

06 FEBRUARY 2026

3233-01-CO23 **A26**



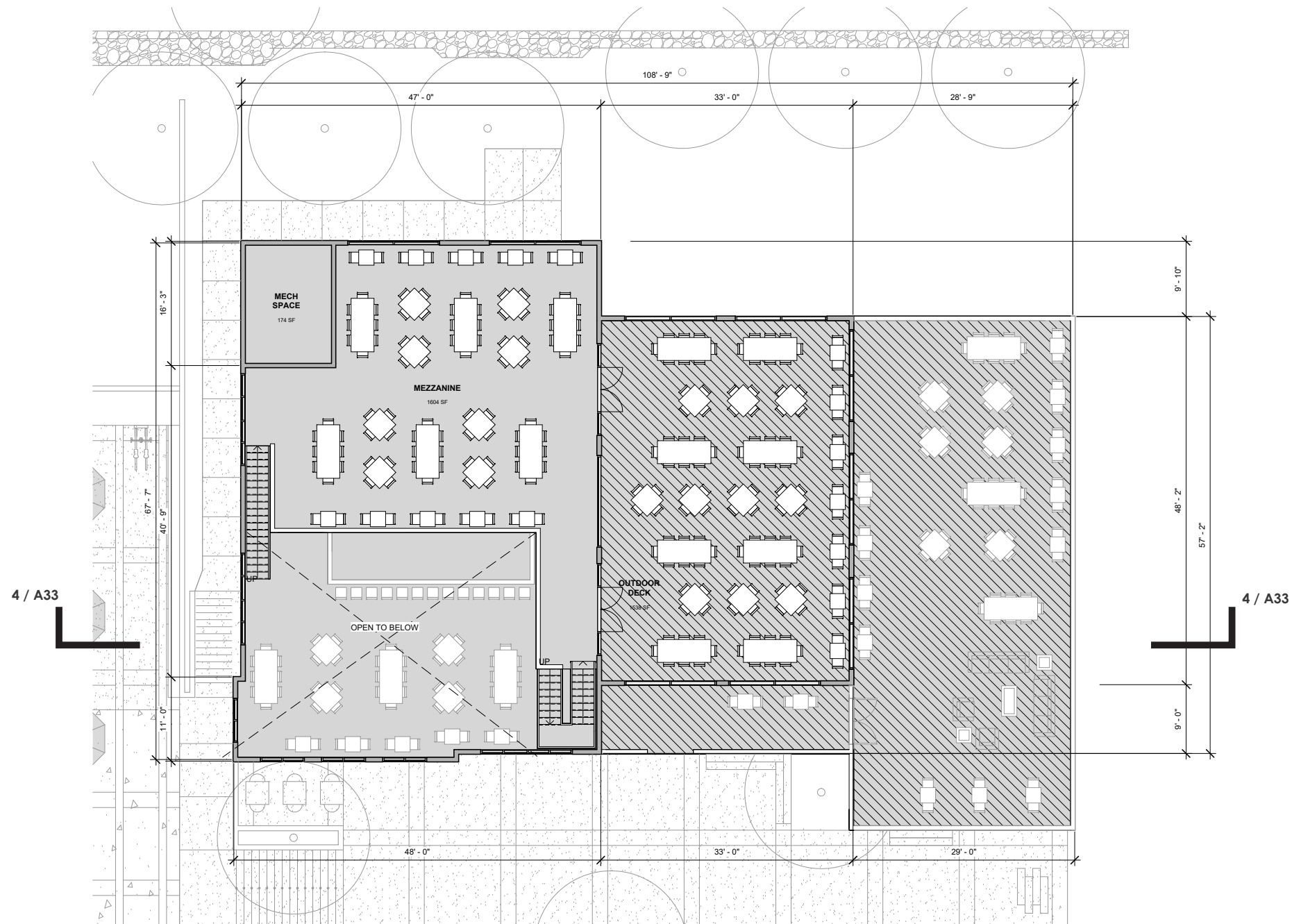
1 GROUND FLOOR PLAN  
 1/8" = 1'-0" (24 X 36 SHEET)



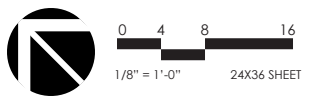
**BUILDING 4 (BREWERY) - GROUND FLOOR PLAN**  
**ROCKLIN PUBLIC MARKET**

06 FEBRUARY 2026

3233-01-CO23 **A27**



2 SECOND FLOOR PLAN  
 1/8" = 1'-0" (24 X 36 SHEET)

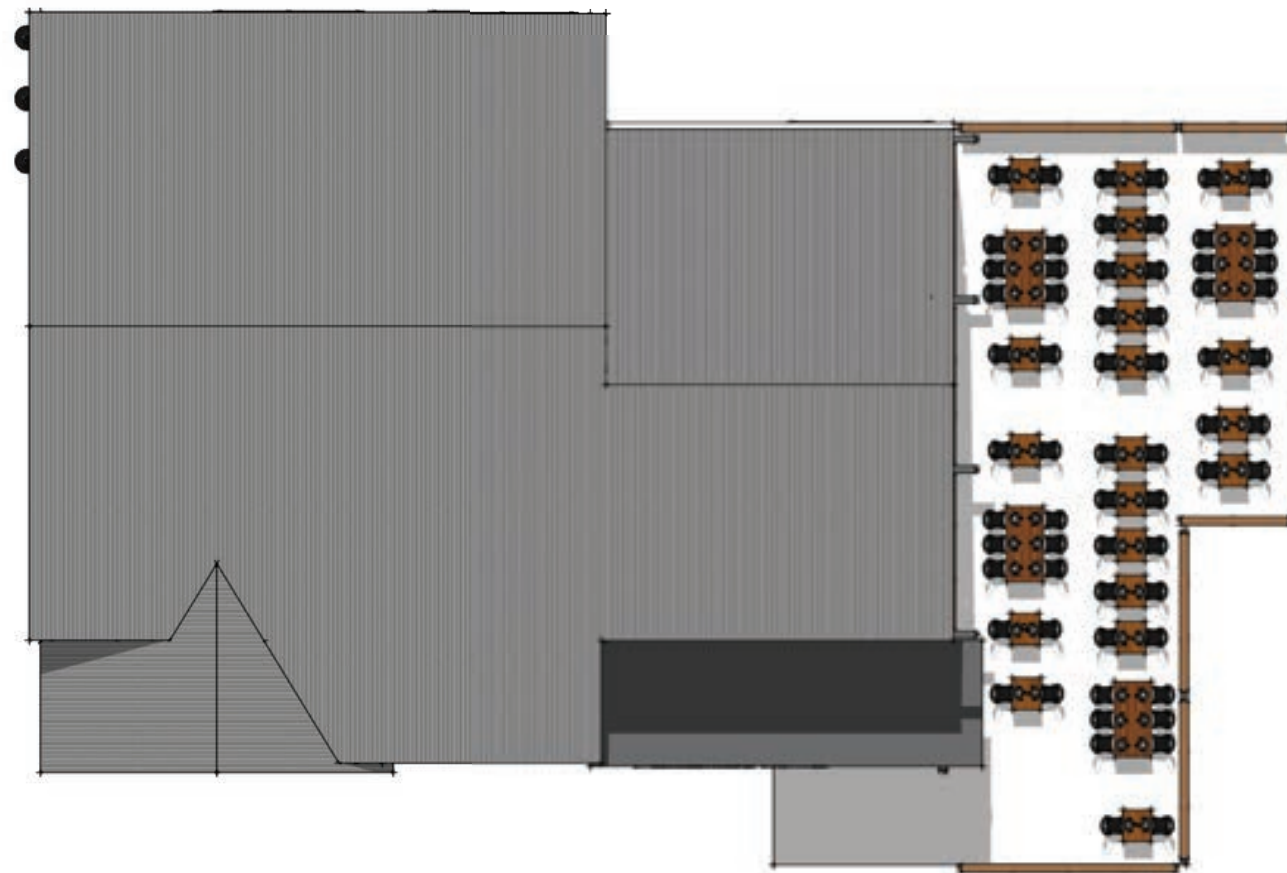


**BUILDING 4 (BREWERY) - SECOND FLOOR PLAN**  
**ROCKLIN PUBLIC MARKET**

06 FEBRUARY 2026

3233-01-CO23

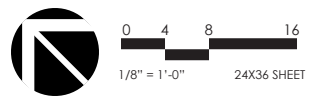
**A28**



4 / A33

4 / A33

3 **ROOF PLAN**  
1/8" = 1'-0" (24 X 36 SHEET)



**BUILDING 4 (BREWERY) - ROOF PLAN**  
**ROCKLIN PUBLIC MARKET**

06 FEBRUARY 2026

3233-01-CO23

**A29**



3 **SOUTHEAST ELEVATION**  
1/8" = 1'-0" (24 X 36 SHEET)



1 **SOUTHWEST ELEVATION**  
1/8" = 1'-0" (24 X 36 SHEET)



4 **NORTHWEST ELEVATION**  
1/8" = 1'-0" (24 X 36 SHEET)



2 **NORTHEAST ELEVATION**  
1/8" = 1'-0" (24 X 36 SHEET)

MAX HEIGHT  
35'-3"  
FLOOR PLATE  
26'-0"  
SECOND FLOOR  
16'-0"  
FLOOR PLATE  
12'-0" FF  
GROUND LEVEL  
0'-0" FF

0 4 8 16  
1/8" = 1'-0" 24X36 SHEET

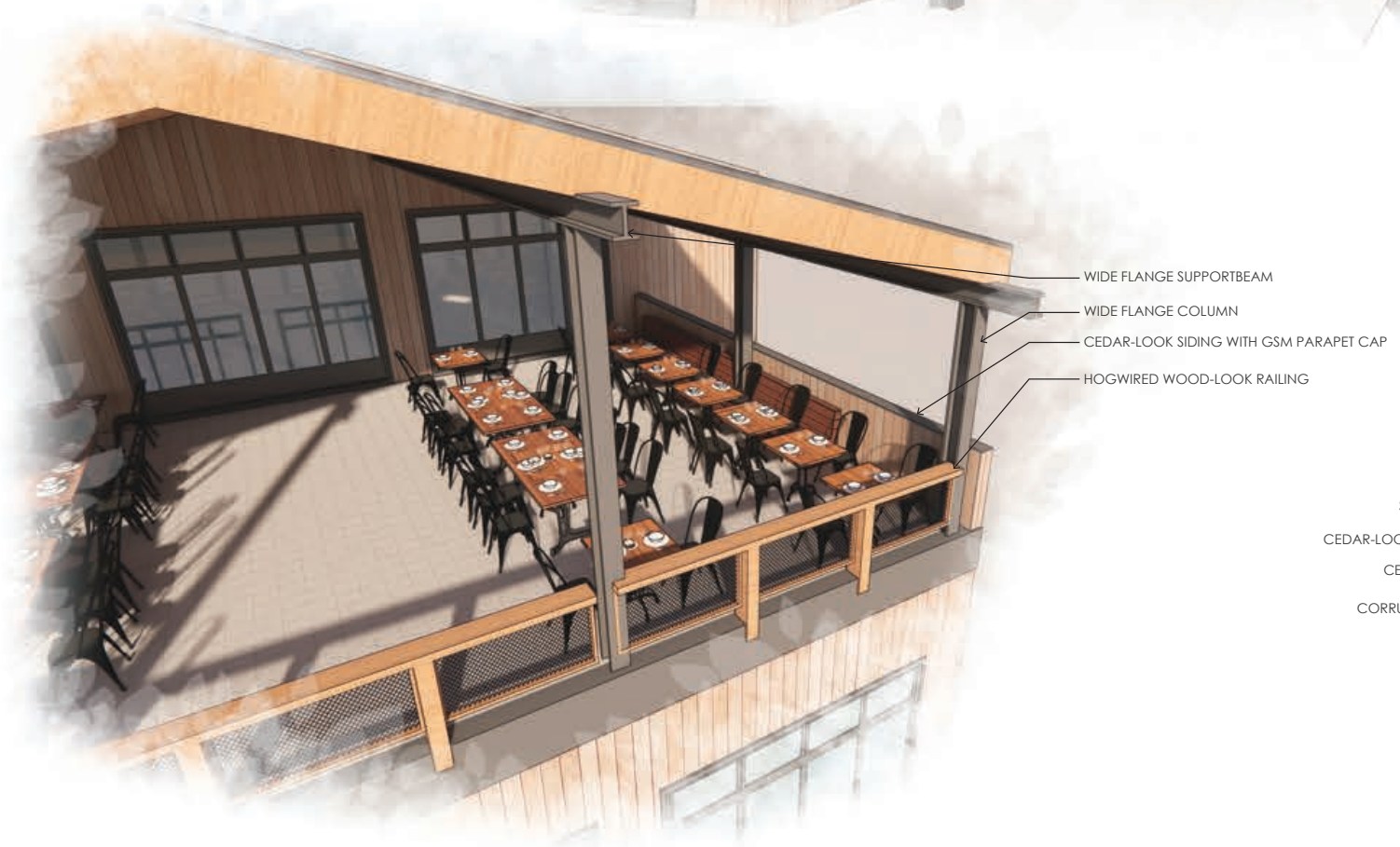


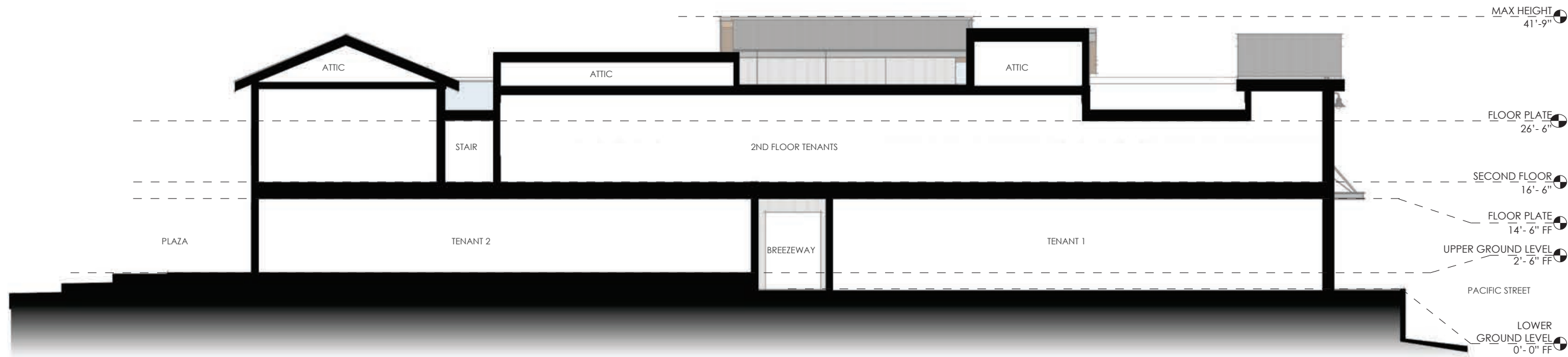
**BUILDING 4 (BREWERY) - ELEVATIONS**  
**ROCKLIN PUBLIC MARKET**

06 FEBRUARY 2026

3233-01-CO23

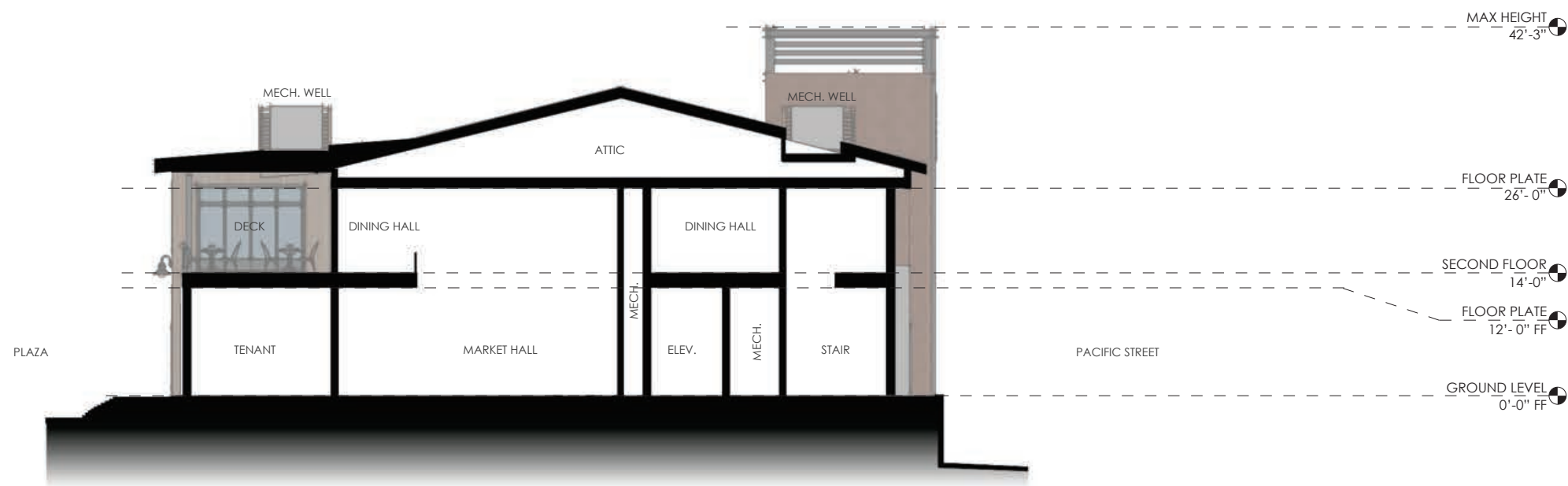
**A30**





1 **BUILDING 1 SECTION**

1/8" = 1'-0" (24 X 36 SHEET)

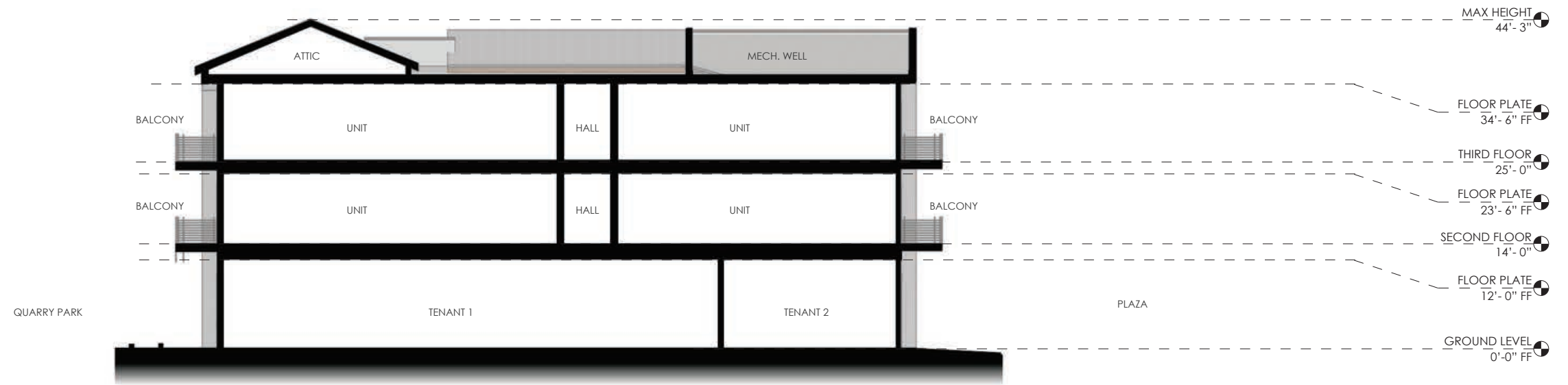


2 **BUILDING 2 SECTION**

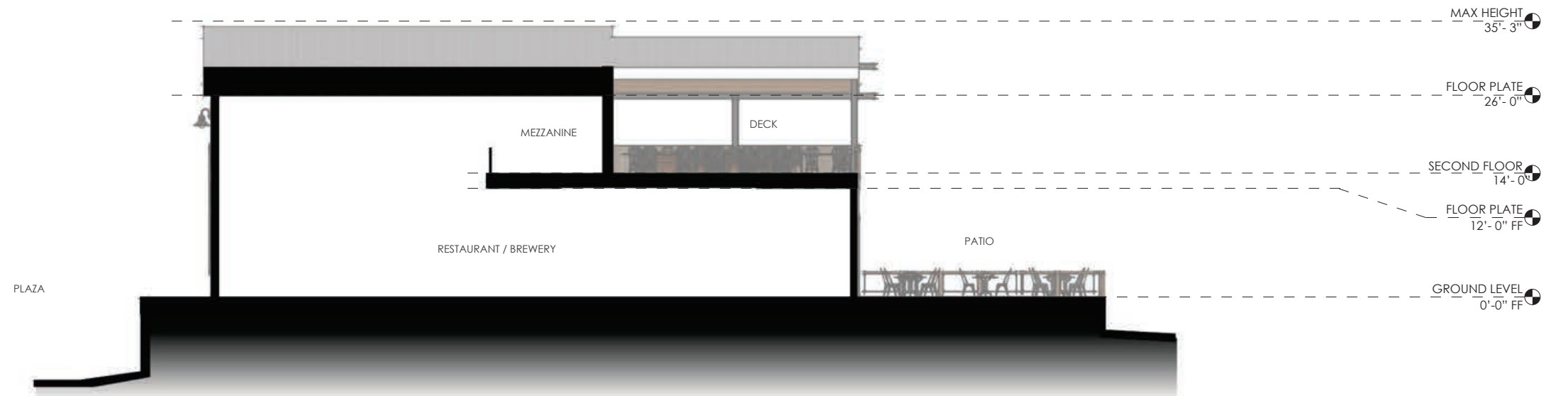
1/8" = 1'-0" (24 X 36 SHEET)

0 4 8 16  
1/8" = 1'-0" 24X36 SHEET

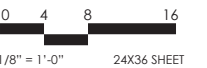




**3 BUILDING 3 SECTION**  
 1/8" = 1'-0" (24 X 36 SHEET)



**4 BUILDING 4 SECTION**  
 1/8" = 1'-0" (24 X 36 SHEET)





**STREET VIEWS**  
**ROCKLIN PUBLIC MARKET**

06 FEBRUARY 2026

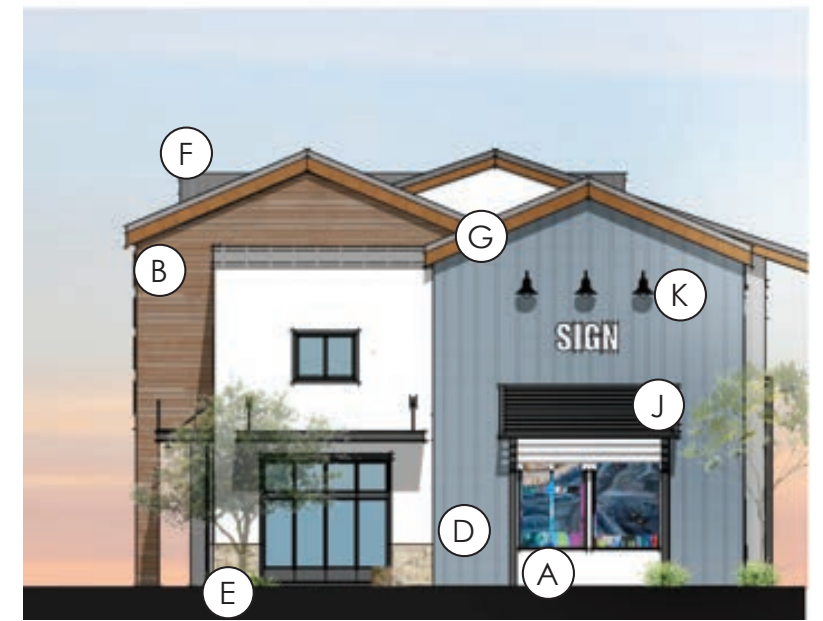
3233-01-CO23

**A34**

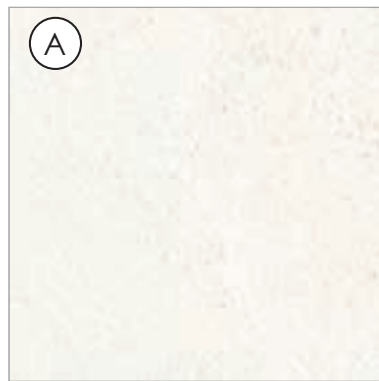




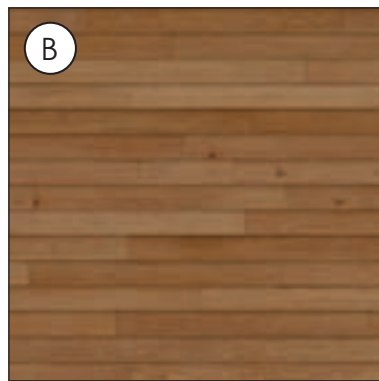
1 **NORTHEAST ELEVATION**  
NTS



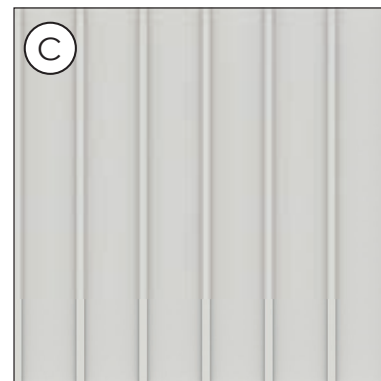
2 **NORTHWEST ELEVATION**  
NTS



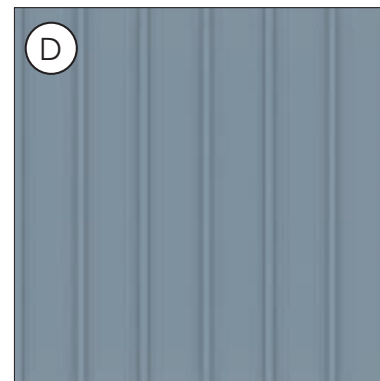
**A**  
STUCCO  
WHITE



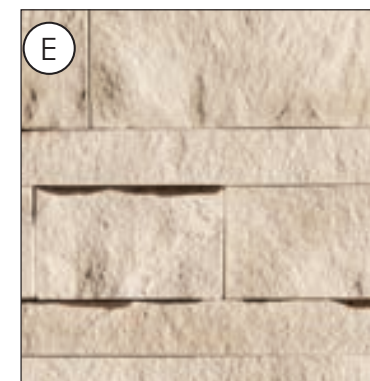
**B**  
LAP SIDING  
CEDAR-LOOK



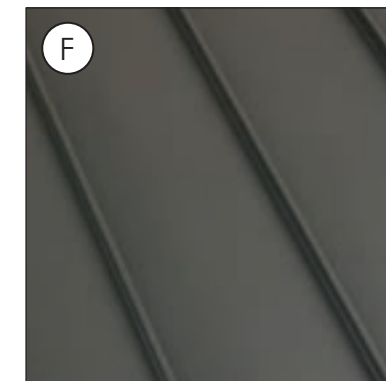
**C**  
BOARD AND BATTEN  
WHITE



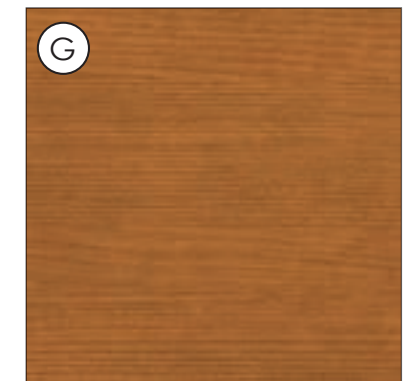
**D**  
BOARD AND BATTEN  
LIGHT BLUE



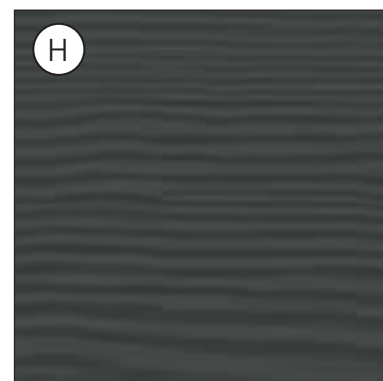
**E**  
STONE VENEER  
BEIGE ROUGH CUT



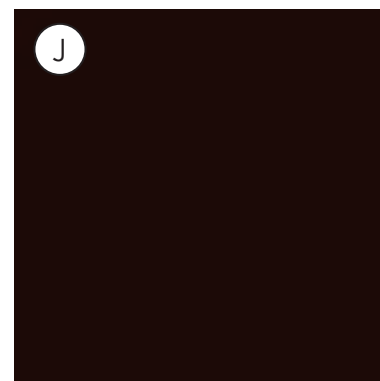
**F**  
STANDING SEAM  
GRAY



**G**  
FASCIA AND BRACKETS  
CEDAR-LOOK



**H**  
FIBER CEMENT TRIM  
DARK GRAY



**J**  
STEEL, WINDOWS, STOREFRONT  
DARK BRONZE

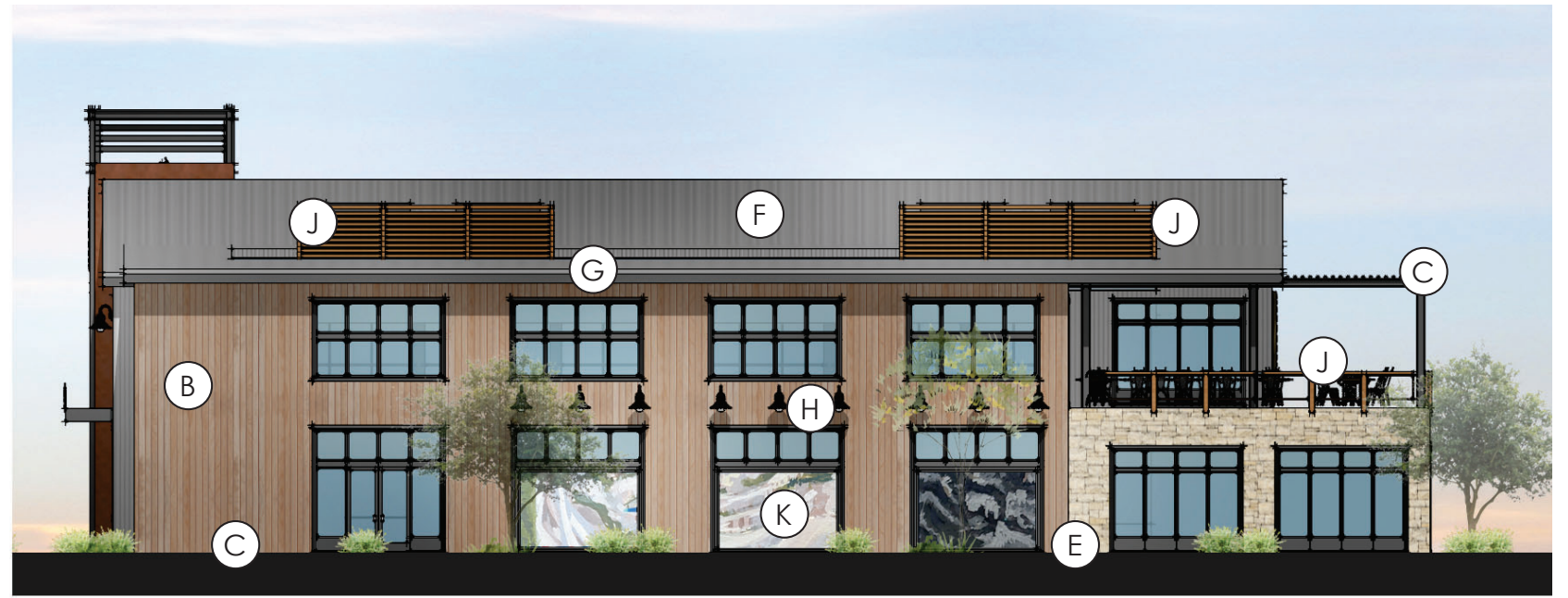


**K**  
EXTERIOR SCONCE  
BLACK FARMHOUSE STYLE

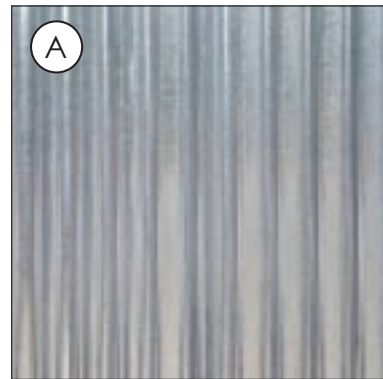




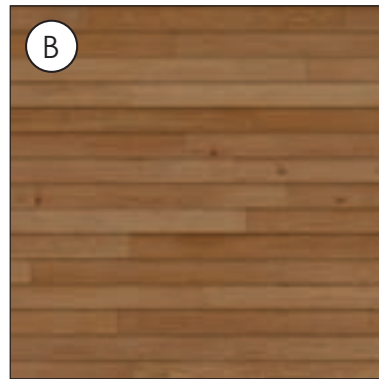
1 **SOUTHWEST ELEVATION**  
NTS



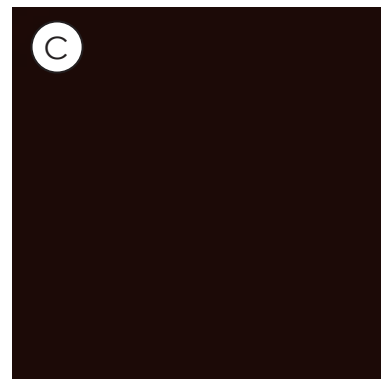
2 **SOUTHEAST ELEVATION**  
NTS



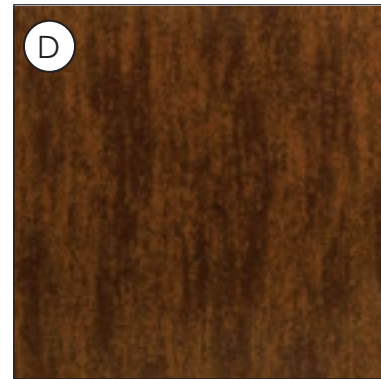
**A**  
CORRUGATED METAL  
SILVER



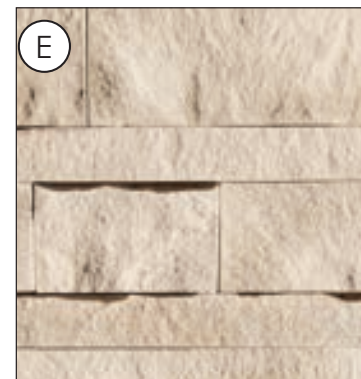
**B**  
LAP SIDING  
CEDAR-LOOK



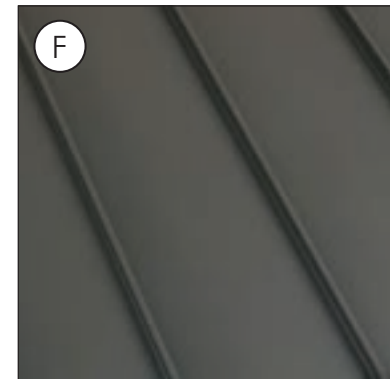
**C**  
STEEL, WINDOWS, STOREFRONT  
DARK BRONZE



**D**  
CORTEN METAL  
COR-TEN



**E**  
STONE VENEER  
BEIGE ROUGH CUT



**F**  
STANDING SEAM  
GRAY



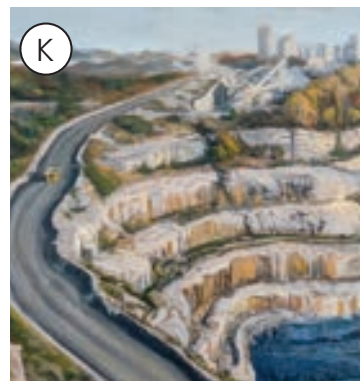
**G**  
FIBER CEMENT TRIM/FASCIA  
DARK GRAY



**H**  
EXTERIOR SCONCE  
BLACK FARMHOUSE STYLE



**J**  
HOGWIRED WOOD RAILING  
CEDAR-LOOK



**K**  
MURAL OPPORTUNITIES  
BY OTHERS



**J**  
MECHANICAL SCREENS  
CEDAR-LOOK

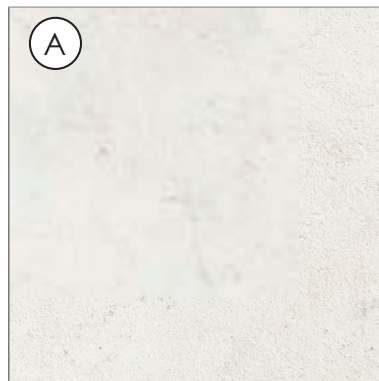




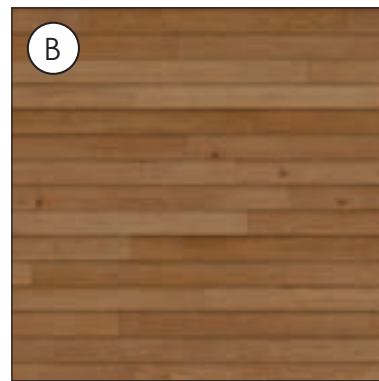
1 **SOUTHEAST ELEVATION**  
NTS



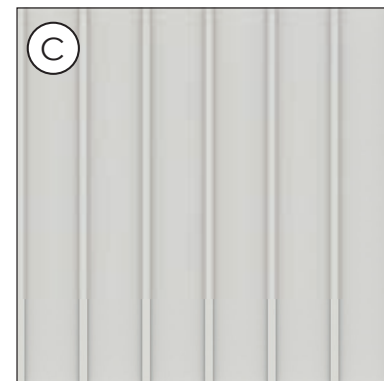
2 **SOUTHWEST ELEVATION**  
NTS



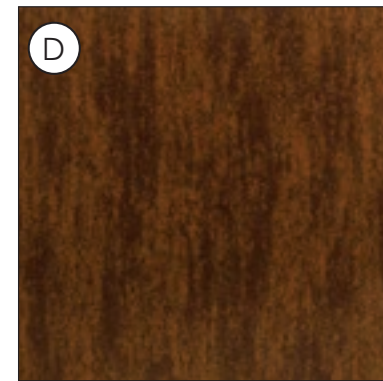
**A**  
STUCCO  
OFF-WHITE



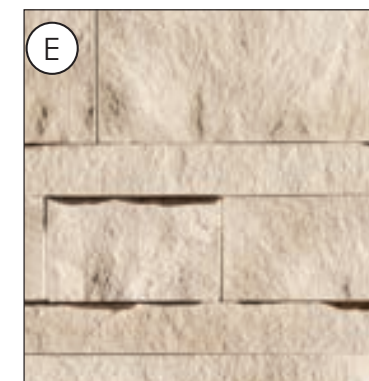
**B**  
LAP SIDING  
CEDAR-LOOK



**C**  
BOARD AND BATTEN  
WHITE



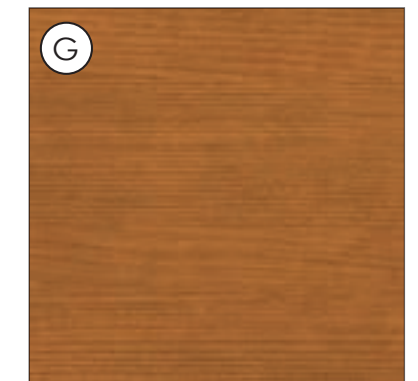
**D**  
COR TEN METAL  
COR TEN



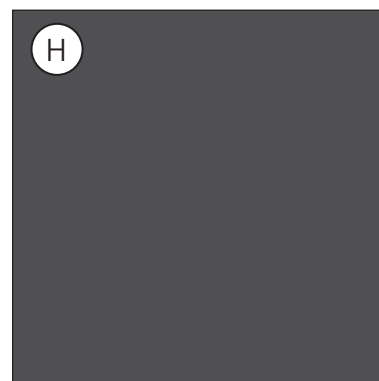
**E**  
STONE VENEER  
BEIGE ROUGH CUT



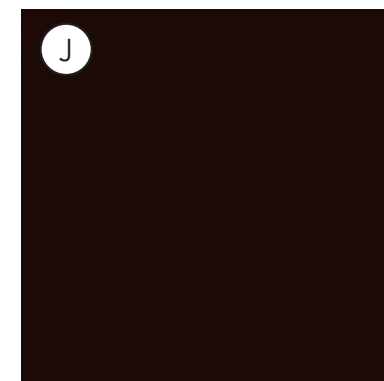
**F**  
STANDING SEAM  
GRAY



**G**  
FASCIA AND BRACKETS  
CEDAR-LOOK



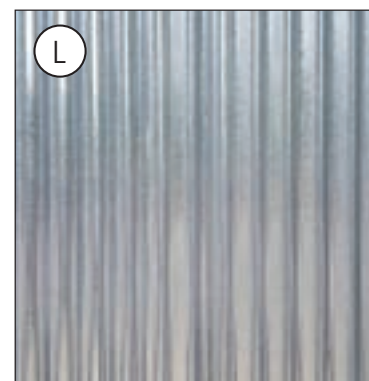
**H**  
FIBER CEMENT TRIM  
DARK GRAY



**J**  
STEEL, WINDOWS, STOREFRONT  
DARK BRONZE



**K**  
EXTERIOR SCENCE  
BLACK FARMHOUSE STYLE



**L**  
CORRUGATED METAL  
SILVER



**M**  
HOGWIRED WOOD RAILING  
CEDAR-LOOK





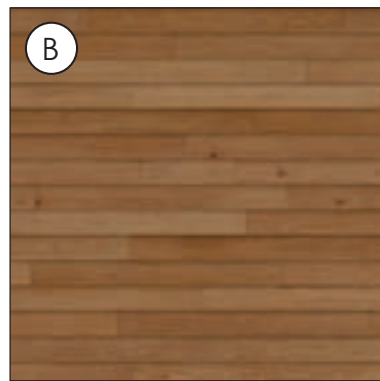
1 <sup>NTS</sup> NORTHWEST ELEVATION



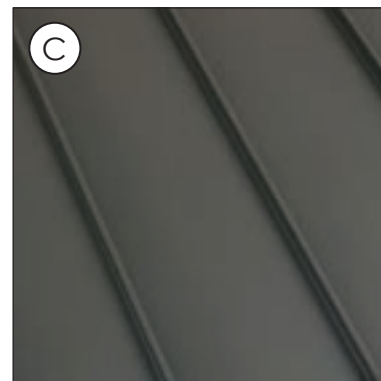
2 <sup>NTS</sup> SOUTHWEST ELEVATION



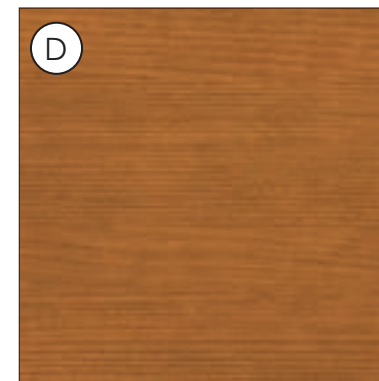
CORRUGATED METAL  
SILVER



LAP SIDING  
CEDAR-LOOK



STANDING SEAM  
GRAY



FASCIA AND BRACKETS  
CEDAR-LOOK



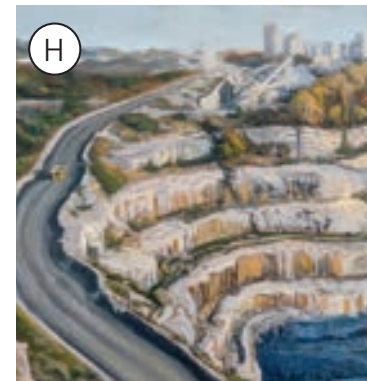
STEEL, WINDOWS, STOREFRONT  
DARK BRONZE



EXTERIOR SCONCE  
BLACK FARMHOUSE STYLE

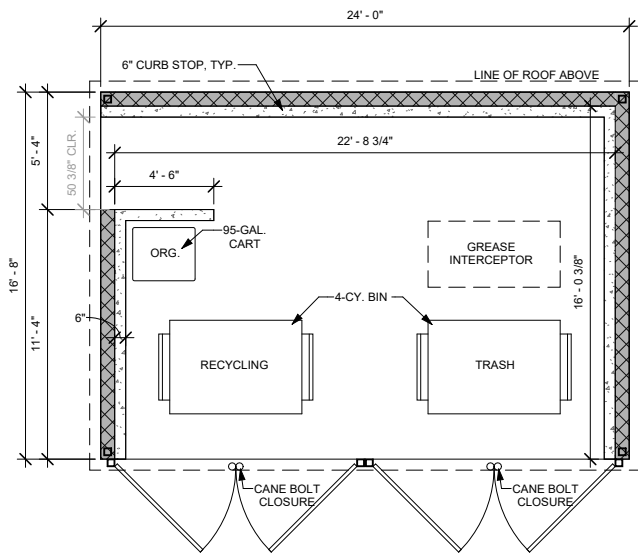


HOGWIRED WOOD RAILING  
CEDAR-LOOK

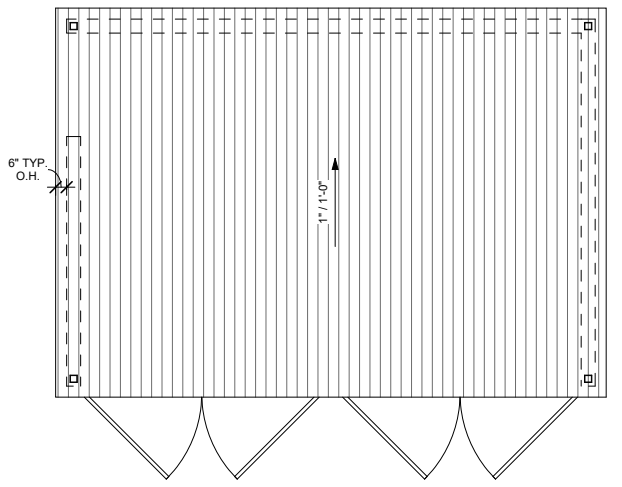


MURAL OPPORTUNITY  
BY OTHERS

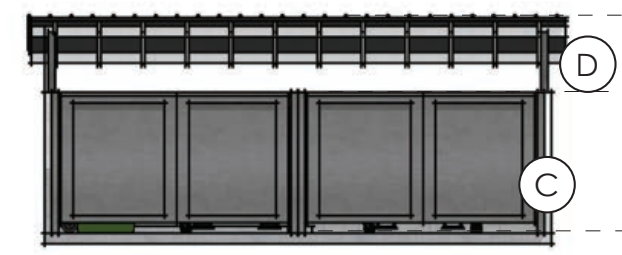




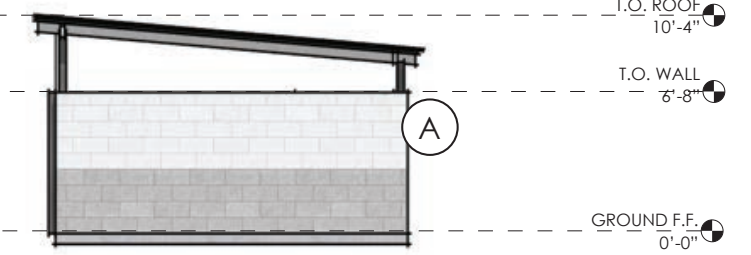
**1 ENCLOSURE FLOOR PLAN**  
1/4" = 1'-0" (24 X 36 SHEET)



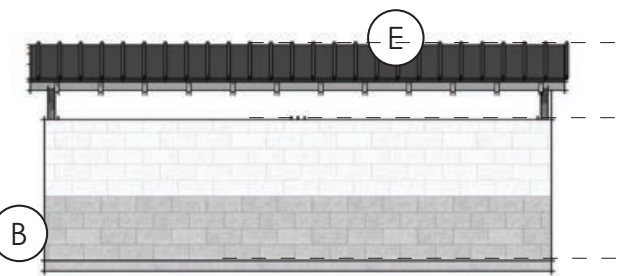
**2 ENCLOSURE ROOF PLAN**  
1/4" = 1'-0" (24 X 36 SHEET)



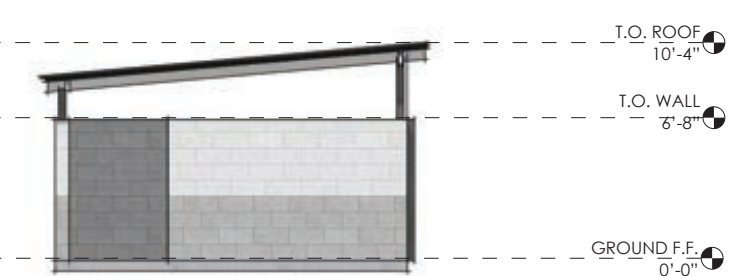
**3 FRONT ELEVATION**  
1/4" = 1'-0" (24 X 36 SHEET)



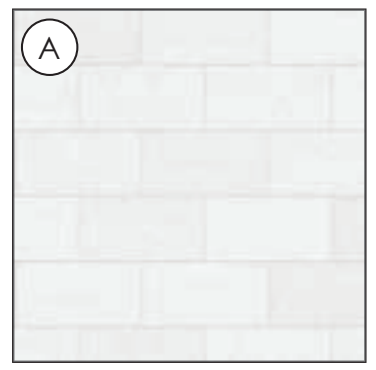
**6 RIGHT ELEVATION**  
1/4" = 1'-0" (24 X 36 SHEET)



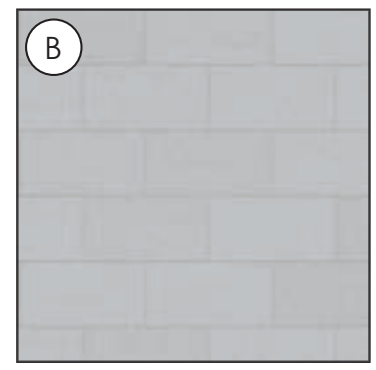
**4 REAR ELEVATION**  
1/4" = 1'-0" (24 X 36 SHEET)



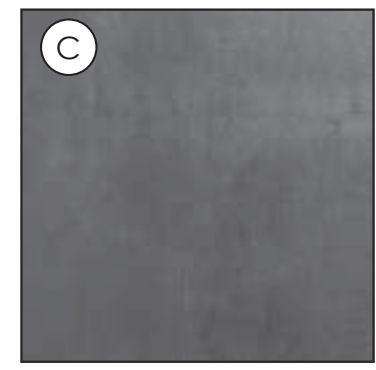
**5 LEFT ELEVATION**  
1/4" = 1'-0" (24 X 36 SHEET)



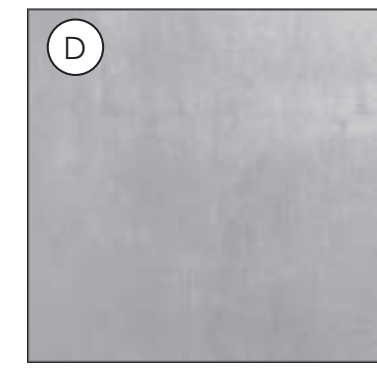
**A**  
CMU BLOCK  
PAINTED WHITE



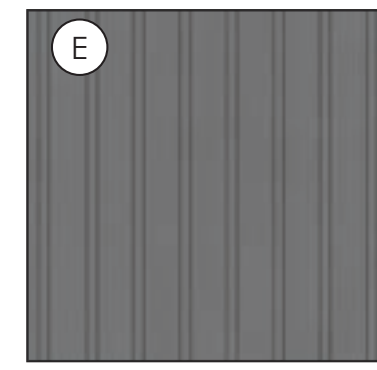
**B**  
CMU BLOCK  
PAINTED GRAY



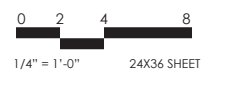
**C**  
METAL GATES AND POSTS  
DARK GRAY

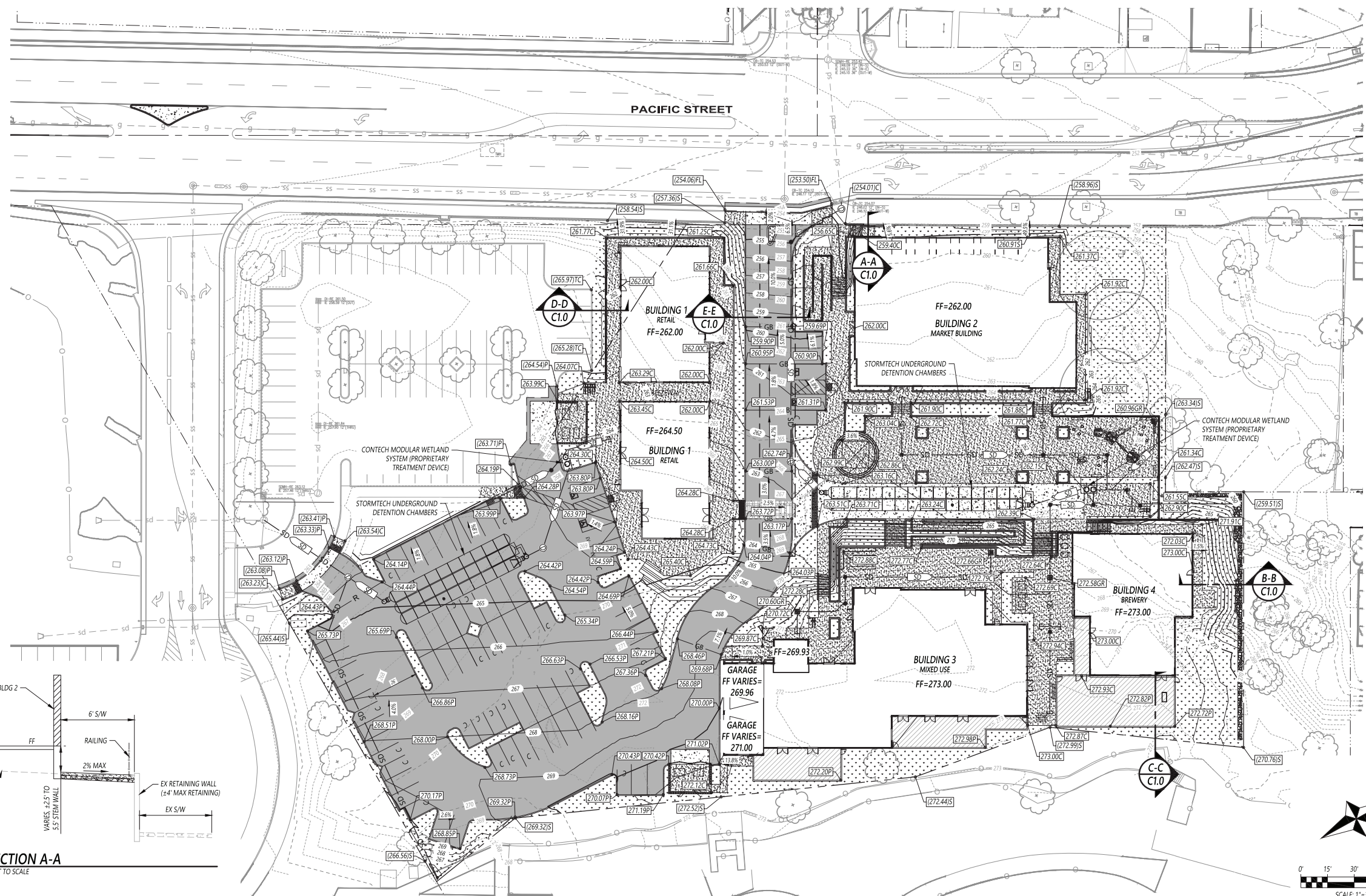


**D**  
METAL RAFTERS  
LIGHT GRAY



**E**  
STANDING SEAM ROOFING  
GRAY





- GRADING LEGEND:**
- 34 --- EXISTING 1-FT CONTOUR
  - 35 --- EXISTING 5-FT CONTOUR
  - 34 --- PROPOSED 1-FT CONTOUR
  - 35 --- PROPOSED 5-FT CONTOUR
  - - - - - EXISTING EASEMENT
  - - - - - PROPOSED EASEMENT
  - SD --- PROPOSED STORM DRAIN LINE
  - PROPOSED DRAIN INLET
  - ⊙ PROPOSED STORM DRAIN MANHOLE
  - ⊙ EXISTING STORM DRAIN MANHOLE
  - 272C --- CONCRETE ELEVATION
  - 272FL --- FLOWLINE ELEVATION
  - 272P --- PAVEMENT ELEVATION
  - 272RIM --- RIM ELEVATION
  - 272S --- GROUND ELEVATION
  - 272TC --- TOP OF CURB ELEVATION
  - FF=??? BUILDING FINISHED FLOOR ELEVATION
  - X.X% --- PROPOSED GROUND SLOPE
  - (X.X%) --- EXISTING GROUND SLOPE
  - R --- R --- RIDGE LINE/ HIGH POINT
  - GB --- GB --- GRADE BREAK

**NOTES:**

- FINISH FLOOR ELEVATIONS (FFE) ARE PRELIMINARY AND SUBJECT TO CHANGE.

- LEGEND**
- --- PROPERTY LINE
  - --- EXISTING ADJACENT PROPERTY LINE
  - --- PROPOSED LANDSCAPE
  - --- PROPOSED ASPHALT PAVEMENT
  - --- PROPOSED CONCRETE
  - --- PROPOSED HEAVY DUTY CONCRETE
  - --- PROPOSED CONCRETE PATIO

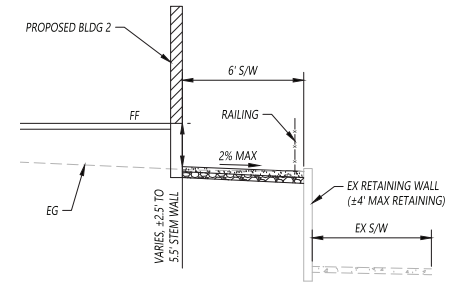
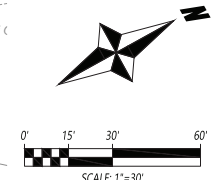
**PARCEL AREA:**

EXISTING LOT AREA:	129,975 SF / 2.98 AC
PROPOSED PERVIOUS AREA:	27,044 SF / 0.62 AC
PROPOSED IMPERVIOUS AREA:	106,689 SF / 2.45 AC

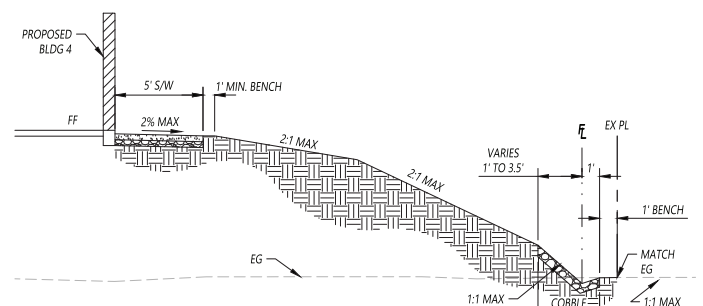
**PRELIMINARY ENGINEERS OPINION OF EARTHWORK**

	CUT (CY)	FILL (CY)	NET (CY)
TOTAL	±10,985	±2,870	±8,115 (CUT/EXPORT)

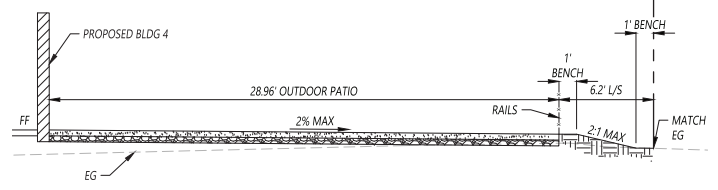
NOTE: ENGINEERS ESTIMATE OF EARTHWORK ARE RAW VOLUMES BASED ON EXISTING GROUND SURFACE OF THE SITE AT THE TIME OF THE SURVEY AND PROPOSED FINISH GROUND SURFACE ELEVATIONS. IT INCLUDES ESTIMATED EXCAVATION FOR ASSUMED SECTIONS OF NEW ON-SITE FLATWORK, ASPHALT PAVEMENT, AND BUILDING SLAB SUBGRADE. THE ESTIMATE DOES NOT INCLUDE ANY PAVEMENT OR BUILDING FOUNDATION REMOVAL AS PART OF DEMOLITION. EXCAVATION FOR CONTINUOUS FOOTINGS OR TOPPING SLAB SUBGRADE, TRENCH SPOILS, OR SHRINK OR SWELL FACTORS. IT SHALL BE THE RESPONSIBILITY OF THE EARTHWORK CONTRACTOR TO VERIFY ALL EARTHWORK QUANTITIES PRIOR TO BID.



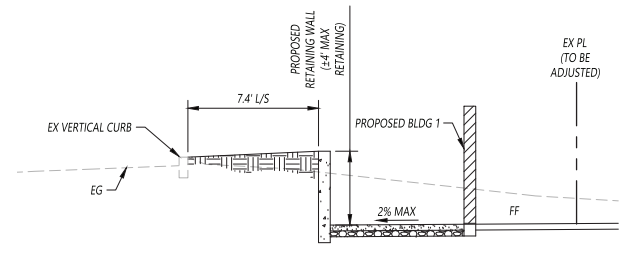
**A-A SECTION A-A**  
C1.0 NOT TO SCALE



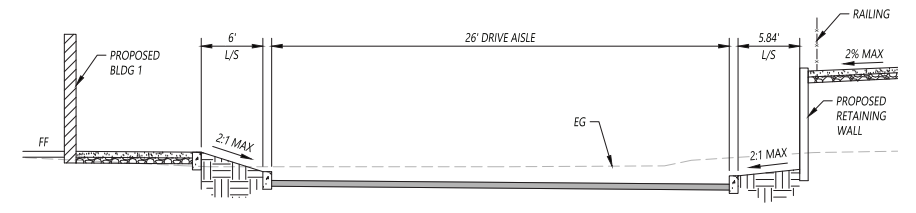
**B-B SECTION B-B**  
C1.0 NOT TO SCALE



**C-C SECTION C-C**  
C1.0 NOT TO SCALE



**D-D SECTION D-D**  
C1.0 NOT TO SCALE

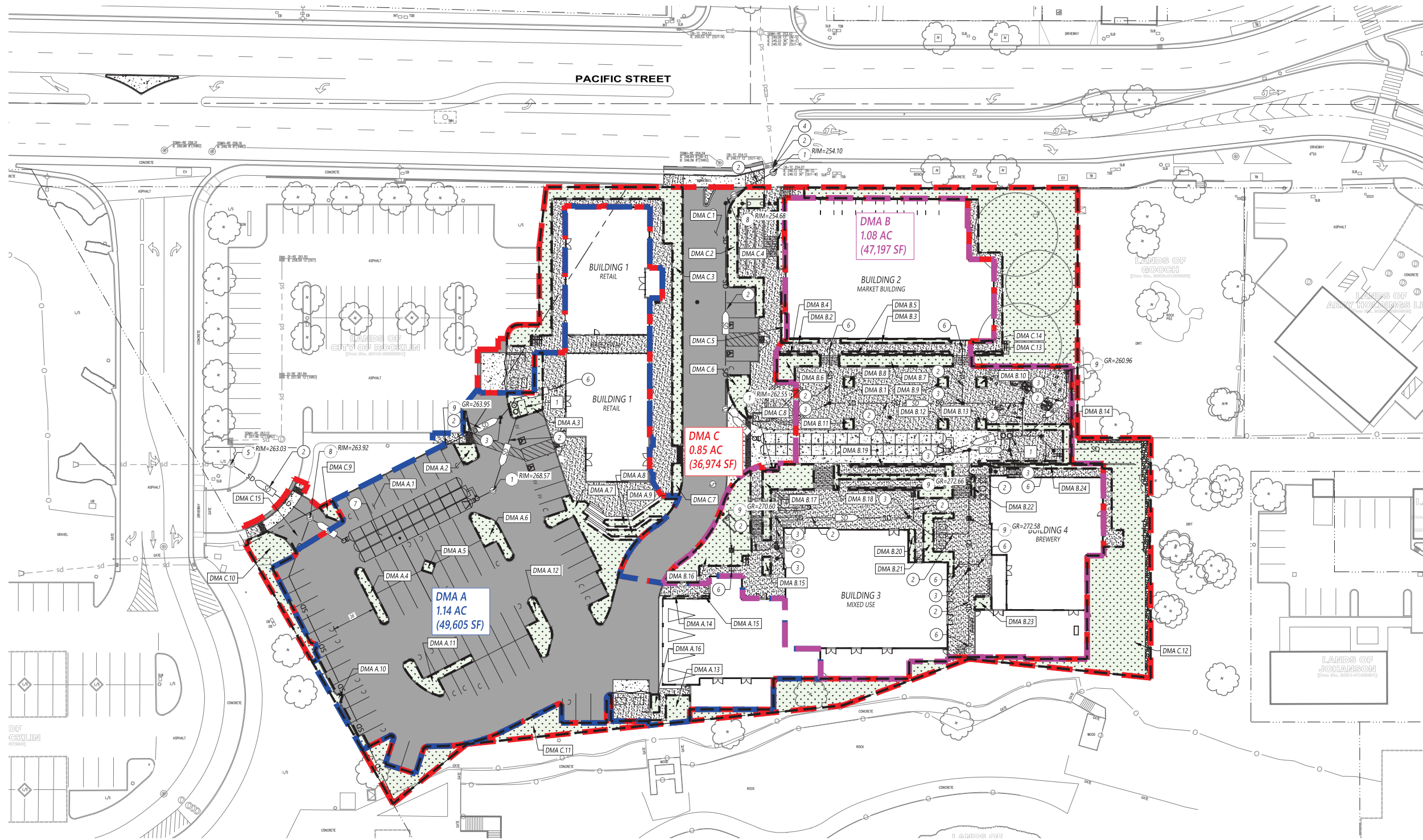


**E-E SECTION E-E**  
C1.0 NOT TO SCALE

**PRELIMINARY GRADING PLAN  
ROCKLIN PUBLIC MARKET**

5255 PACIFIC STREET  
ROCKLIN, CA

Log# Name: emman  
 Plot Date: February 06, 2026 - 11:46 am  
 File Name: U:\24002-Rocklin Public Market\CAD\Production Drawings\24002-SD-GRAB.dwg



**LEGEND**

- EXISTING PROPERTY LINE
- EXISTING EASEMENT
- EXISTING ADJACENT PROPERTY LINE
- OVERALL DMA-A BOUNDARY
- OVERALL DMA-B BOUNDARY
- OVERALL DMA-C BOUNDARY
- SD --- SD --- PROPOSED STORM DRAIN LINE
- sd --- sd --- EXISTING STORM DRAIN LINE
- ⊕ PROPOSED STORM DRAIN INLET
- ⊕ PROPOSED STORM DRAIN MANHOLE
- DMA XX  
X.XX AC
- IMPERVIOUS SURFACE (CONCRETE, ASPHALT)
- PERVIOUS LANDSCAPE DMA

**PRELIMINARY STORM DRAIN KEYNOTES:**

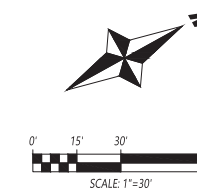
- 1 PROPOSED STORM DRAIN MANHOLE
- 2 PROPOSED PVC STORM DRAIN PIPE. SIZE TO BE CONFIRMED AS PART OF CONSTRUCTION DOCUMENTS.
- 3 PROPOSED STORM DRAIN CLEANOUT.
- 4 CONNECT PROPOSED STORM DRAIN PIPE TO EXISTING STORM DRAIN INLET.
- 5 CONNECT PROPOSED STORM DRAIN PIPE TO EXISTING STORM DRAIN MANHOLE.
- 6 PROPOSED STUB FOR CONNECTION TO ROOF DRAIN LEADER - ROOF DRAIN LEADER LOCATIONS TO BE DETERMINED AS PART OF CONSTRUCTION DOCUMENTS.
- 7 PROPOSED STORMTECH UNDERGROUND DETENTION CHAMBERS.
- 8 PROPOSED STORM DRAIN FLOW CONTROL MANHOLE TO MITIGATE RELEASE RATE TO PRE-DEVELOPMENT LEVELS.
- 9 PROPOSED STORM DRAIN INLET.

**PRELIMINARY STORMWATER QUALITY KEYNOTES:**

- 1 PROPOSED CONTECH MODULAR WETLAND LINEAR UNIT - SEE STORMWATER CONTROL PLAN REPORT FOR DETAILS.  
NOTE: SEE STORMWATER CONTROL PLAN FOR DMA TABLES AND PRELIMINARY BIOCLEAN MODULAR WETLAND UNIT SIZING CALCULATIONS.

**PRELIMINARY DRAINAGE NOTES:**

1. DETENTION WILL BE REQUIRED. UNDERGROUND ADS STORMTECH CHAMBERS ARE PROPOSED FOR DETENTION TO MITIGATE THE 10 AND 100-YEAR PEAK FLOW. SEE PRELIMINARY DRAINAGE NARRATIVE FOR FURTHER INFORMATION.
2. LID WILL BE REQUIRED. CONTECH MODULAR WETLAND LINEAR UNITS ARE PROPOSED FOR LID. BIORETENTION IS NOT FEASIBLE DUE TO EXISTING LOW PERMEABILITY SOIL CONDITIONS AND BEDROCK PER GEOTECHNICAL REPORT PREPARED BY YOUNGDAHL CONSULTING GROUP, INC., DATED NOVEMBER 2017.

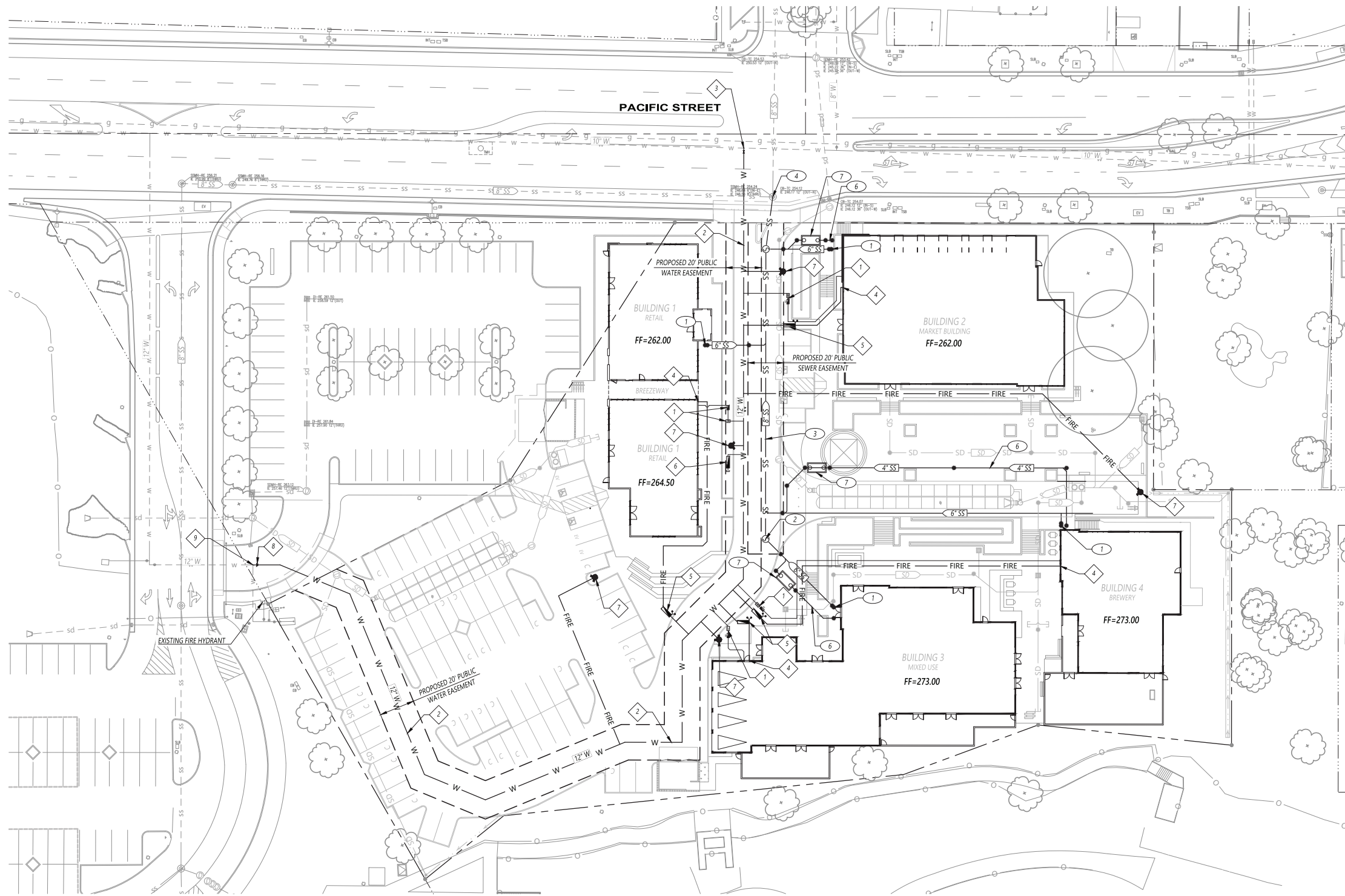


**PRELIMINARY DRAINAGE AND STORMWATER CONTROL PLAN  
ROCKLIN PUBLIC MARKET**

5255 PACIFIC STREET  
ROCKLIN, CA

**C2.0**

DATE: 2/6/2026  
SCALE: 1"=30'  
DRAWN BY: WY/RS



**LEGEND**

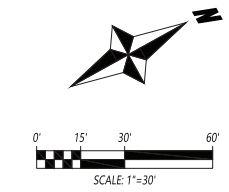
---	EXISTING PROPERTY LINE
---	EXISTING ADJACENT PROPERTY LINE
SS	EXISTING SANITARY SEWER LINE
SD	EXISTING STORM DRAIN LINE
W	EXISTING WATER LINE
G	EXISTING GAS LINE
E	EXISTING ELECTRICAL LINE
OE	EXISTING OVERHEAD LINE
JT	PROPOSED JOINT TRENCH
SS	PROPOSED SANITARY SEWER LINE
W	PROPOSED WATER LINE
⊙	PROPOSED SANITARY SEWER MANHOLE
●	PROPOSED SANITARY SEWER CLEANOUT
⊙	PROPOSED SANITARY SEWER TWO-WAY CLEANOUT
⊠	PROPOSED GREASE INTERCEPTOR
⊠	PROPOSED GATE VALVE
⊠	PROPOSED WATER METER
⊠	PROPOSED FIRE HYDRANT
⊠	EXISTING FIRE HYDRANT
⊠	PROPOSED RP/DCDA
⊠	PROPOSED FIRE DEPARTMENT CONNECTION
⊠	PROPOSED REDUCER

- PRELIMINARY WATER KEYNOTES:**
- 1 PROPOSED DOMESTIC WATER SERVICE, METER, AND BACKFLOW.
  - 2 PROPOSED 12" PUBLIC WATER LINE.
  - 3 CONNECT NEW 12" PUBLIC WATER LINE TO EXISTING 10" WATER LINE.
  - 4 PROPOSED FIRE WATER SERVICE BUILDING POC.
  - 5 PROPOSED DCDA AND PIV, SINGLE CHECK, FDC ASSEMBLY.
  - 6 PROPOSED IRRIGATION SERVICE, METER, AND BACKFLOW.
  - 7 PROPOSED FIRE HYDRANT.
  - 8 PROPOSED 12" X 10" REDUCER.
  - 9 CONNECT NEW 12" PUBLIC WATER LINE TO EXISTING 12" WATER LINE.

- PRELIMINARY SANITARY SEWER KEYNOTES:**
- 1 PROPOSED 6" PRIVATE SEWER SERVICE BUILDING POINT OF CONNECTION. LOCATION OF PROPOSED SEWER POINT OF CONNECTION IS APPROXIMATE.
  - 2 PROPOSED SANITARY SEWER MANHOLE.
  - 3 PROPOSED 6" PUBLIC SANITARY SEWER LINE.
  - 4 CONNECT NEW 6" PUBLIC SANITARY SEWER LINE TO EXISTING SANITARY SEWER MANHOLE.
  - 6 PROPOSED SANITARY SEWER GREASE SERVICE.
  - 7 PROPOSED GREASE INTERCEPTOR.

**CONCEPTUAL UTILITY NOTES:**

1. ALL PROPOSED UTILITIES SHOWN ARE CONCEPTUAL AND SUBJECT TO CHANGE PENDING FURTHER DESIGN COORDINATION.



**PRELIMINARY SEWER AND WATER LAYOUT  
ROCKLIN PUBLIC MARKET**

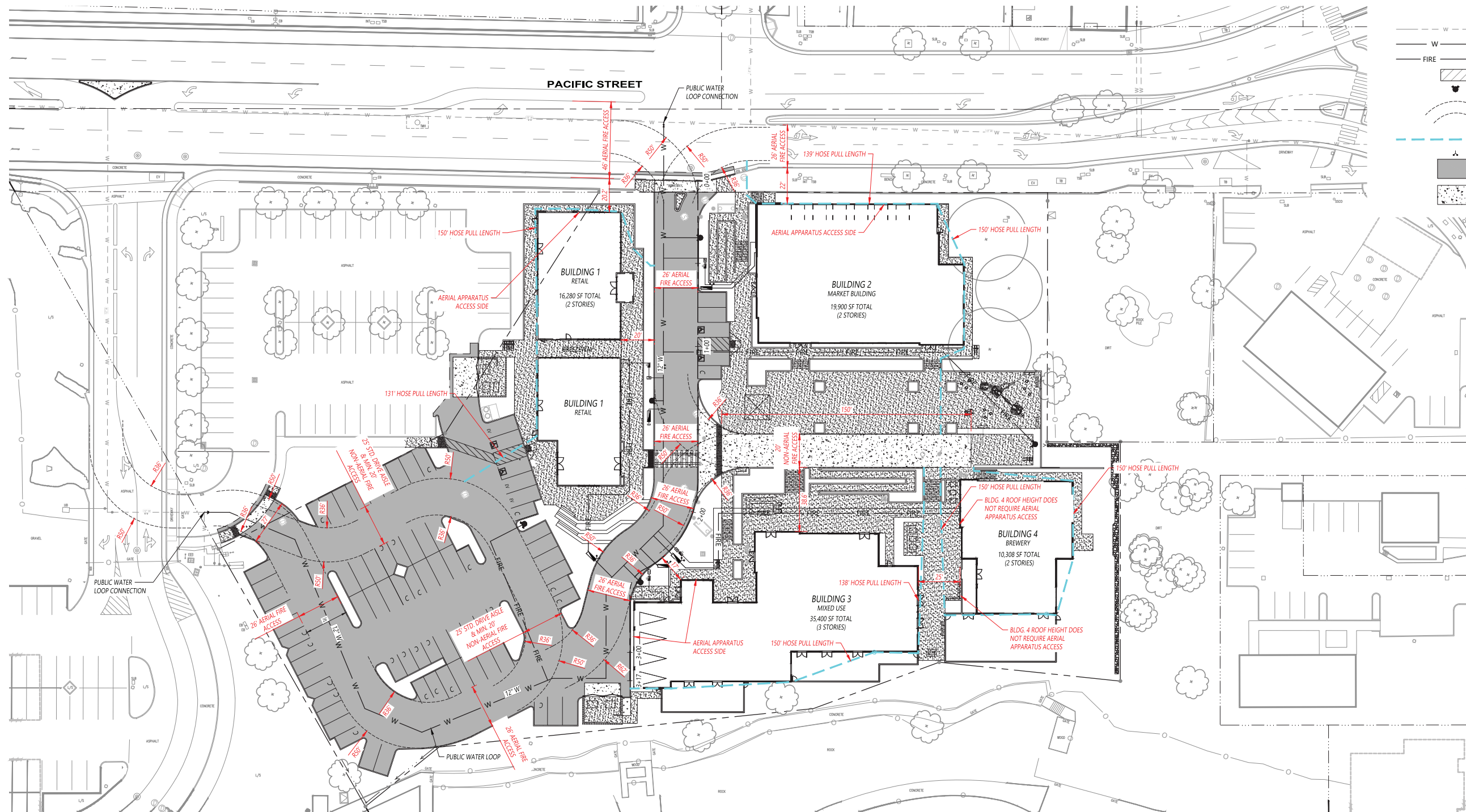
5255 PACIFIC STREET  
ROCKLIN, CA

**C3.0**

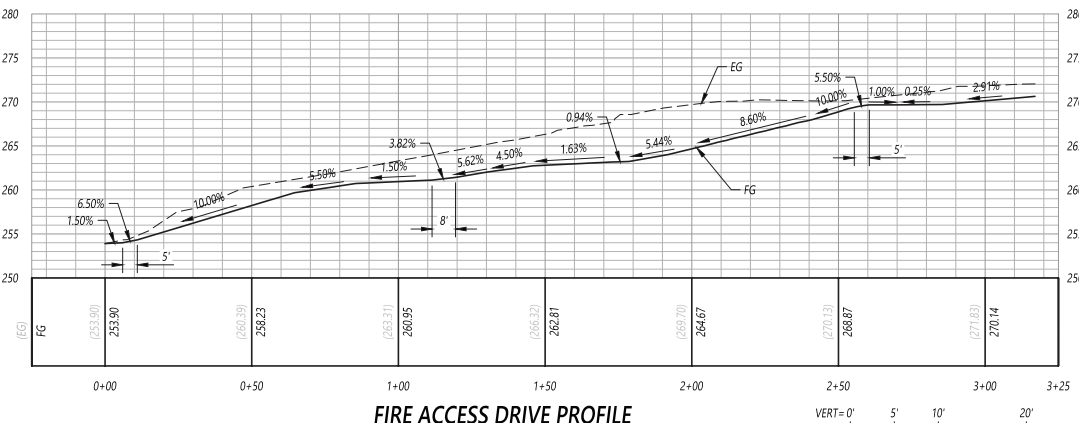
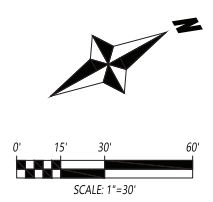
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DRAWN BY: WY/RS

**LEGEND:**

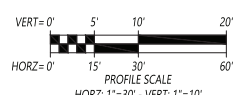
- W — W — EXISTING WATER MAIN
- W — W — PROPOSED WATER LINE
- FIRE — FIRE — PROPOSED FIRE SERVICE
- ▨ PROPOSED FIRE ACCESS ROUTE
- PROPOSED FIRE HYDRANT
- FIRE TURNING RADIUS 36 FEET INSIDE, 50 FEET OUTSIDE.
- FIRE HOSE LENGTH TO FURTHEST PORTION OF STRUCTURE
- PROPOSED FIRE DEPARTMENT CONNECTION
- ▨ PROPOSED ASPHALT
- ▨ PROPOSED CONCRETE



ROCKLIN ROAD



**FIRE ACCESS DRIVE PROFILE**



**PRELIMINARY FIRE ACCESS EXHIBIT  
ROCKLIN PUBLIC MARKET**

5255 PACIFIC STREET  
ROCKLIN, CA

**C4.0**

DATE: 2/6/2026  
SCALE: 1"=30'  
DRAWN BY: WY/RS

Log# Name: emmon  
 Plot Date: February 06, 2026 - 11:46 am  
 File Name: U:\24002-Rocklin Public Market\CAD\LD\Exhibits\24002-00-FIRE.dwg

**CARTWRIGHT NOR CAL**  
 CIVIL ENGINEERING & PROJECT MANAGEMENT  
 3010 LAVA RIDGE COURT, SUITE 160  
 ROSEVILLE, CALIFORNIA 95661  
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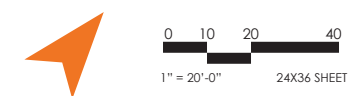


**CONCEPTUAL PLANT SCHEDULE**

- EXISTING TREES**
- CERCIS CANADENSIS 'TEXENSIS'
  - GINKGO BILOBA
  - PRUNUS CERASIFERA 'NEWPORT'
  - QUERCUS LOBATA
  - ULMUS PARVIFOLIA
- 29 PROPOSED TREES - 15 GAL SIZE, HEIGHT RANGE: 20'-50'**
- TEXAS REDBUD
  - MAIDENHAIR TREE
  - NEWPORT FLOWERING PLUM
  - VALLEY OAK
  - CHINESE ELM

- 25 PROPOSED STREET TREES - 15 GAL SIZE, HEIGHT RANGE: 15'-60'**
- CELTIS AUSTRALIS
  - CHILOPSIS LINEARIS 'SWEET BUBBA'
  - LAGERSTROEMIA INDICA 'WHIT II'
  - PISTACIA CHINENSIS 'KEITH DAVEY'
  - EUROPEAN HACKBERRY
  - SWEET BUBBA DESERT WILLOW
  - DYNAMITE CRAPE MYRTLE
  - KEITH DAVEY CHINESE PISTACHE
- 54 TOTAL PROPOSED TREES**

- PROPOSED SHRUBS - 35,043 SF TOTAL, 1-5 GAL SIZE, HEIGHT RANGE: 2'-5'**
- BUXUS SEMPERVIRENS 'MON ALEX'
  - SALVIA YANGII 'BLUE JEAN BABY'
  - CHONDRPETALUM TECTORUM 'EL CAMPO'
  - LOMANDRA HYSTRIX 'TROPIC BELLE'
  - MANGAVE 'RED WING'
  - MANGAVE 'SPOTTY DOTTY'
  - MUHLENBERGIA RIGENS
  - PENNISETUM SPATHIOLATUM
  - PHORMIUM TENAX
  - ROSA FLORIBUNA 'ICEBERG'
  - PETITE PILLAR DWARF COMMON BOXWOOD
  - BLUE JEAN BABY RUSSIAN SAGE
  - EL CAMPO CAPE RUSH
  - TROPIC BELLE MAT RUSH
  - RED WING MANGAVE
  - SPOTTY DOTTY MANGAVE
  - DEER GRASS
  - SLENDER VELD T GRASS
  - NEW ZEALAND FLAX
  - ICEBERG ROSE



**LANDSCAPE SITE PLAN CONCEPT**  
**ROCKLIN PUBLIC MARKET**

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**L1**



**PROPOSED TREES**



**PROPOSED STREET TREES**



**TREE PALETTE**  
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**L2**



**PLANT PALETTE**  
**ROCKLIN PUBLIC MARKET**

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**L3**



**PAVING**



**PLAYGROUND**



**SITE FURNISHINGS**



**MATERIALS AND FURNISHINGS**  
**ROCKLIN PUBLIC MARKET**

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