



New Project Information

The City of Rocklin is processing the below referenced application(s) for project approval. The request is now being reviewed for compliance with the requirements and regulations of relevant City, State, and Federal agencies, and Utility providers. Once any issues have been resolved a hearing date will be set and public notice provided to alert neighbors and interested parties of the hearing date, availability of project information, the opportunity to comment on the project.

Application Received: March 24, 2026

Project Name and Requested Approvals:

Midas Apartments

- Design Review (DR2026-0002)

Staff Description of Project:

Request for approval of a Design Review (DR2026-0002) to develop an approximately 7.1-acre undeveloped site with a 100-percent affordable multiple-family/apartment community. The project includes construction of three (3) multiple-family buildings, containing a total of 281 units, along with a new parking lot, drive aisles, community facility, playground, and associated infrastructure. The proposal also incorporates site landscaping, signage, lighting, and utility connections necessary to support operation of the multifamily facility. The site is approximately 7.1 acres, with access from both Pacific Street and Midas Avenue. A vicinity map and conceptual site plan are provided in the attached materials.

Location:

The project site is located northwest corner of Pacific Street and Midas Avenue, City of Rocklin (APNs: 010-010-016, -017, -028, and -029; and 010-040-040).

Land Use Designation(s)/Zoning:

The property has a general plan designation of High Density Residential (HDR). The property has a zoning designation of Planned Development Residential – 33 Dwellings Per Acre (PD-33) and Residential Minimum Density Overlay Zone – Residential, 24+ Dwellings Per Acre (RMDO-R24+) within the Rocklin Gateway General Development Plan.

This project does / XX does not require modification or change of the land use designations and regulations currently applicable to the project site.

Compliance with the California Environmental Quality Act:

A preliminary review of this project pursuant to the California Environmental Quality Act (CEQA) has tentatively identified a Categorical Exemption as the appropriate level of environmental review for this project.

Applicant & Property Owner:

The property owner is Bridger Rocklin AH, LLC. The applicant is Dave Rand.

Attached Information:

For additional detail, please visit the following link:

<https://www.rocklin.ca.us/post/>



PACIFIC STREET PERSPECTIVE



BUILDING B/CLUB HOUSE ENTRY PERSPECTIVE

HRGA

CEI
CYPRESS EQUITY INVESTMENTS



WATERFORD

MIDAS APTS

MIDAS & PACIFIC ST. ROCKLIN, CA 9577

03/23/2026

25043

2



BUILDING 1 - TYPE A SUMMARY:

LEVEL	GROSS AREA	NUMBER OF UNIT TYPES					TOTAL UNITS
		1 BED - A	2 BED - A	2 BED - B	3 BED - A	3 BED - B	
LEVEL 1	16,185 SF	9	-	4	4	-	17
LEVEL 2	16,185 SF	9	2	4	4	-	19
LEVEL 3	16,185 SF	9	2	4	4	-	19
LEVEL 4	16,185 SF	9	2	4	4	-	19
TOTAL	64,740 SF	36	6	16	16	-	74

* ALL UNITS ARE PROPOSED TO BE AFFORDABLE

BUILDING 2 - TYPE A SUMMARY:

LEVEL	GROSS AREA	NUMBER OF UNIT TYPES					TOTAL UNITS
		1 BED - A	2 BED - A	2 BED - B	3 BED - A	3 BED - B	
LEVEL 1	16,185 SF	9	-	4	4	-	17
LEVEL 2	16,185 SF	9	2	4	4	-	19
LEVEL 3	16,185 SF	9	2	4	4	-	19
LEVEL 4	16,185 SF	9	2	4	4	-	19
TOTAL	64,740 SF	36	6	16	16	-	74

* ALL UNITS ARE PROPOSED TO BE AFFORDABLE

BUILDING 3 - TYPE B SUMMARY:

LEVEL	GROSS AREA	NUMBER OF UNIT TYPES					TOTAL UNITS
		1 BED - A	2 BED - A	2 BED - B	3 BED - A	3 BED - B	
LEVEL 1	33,292 SF**	8	7	3	-	10	28
LEVEL 2	33,292 SF	10	9	4	2	10	35
LEVEL 3	33,292 SF	10	9	4	2	10	35
LEVEL 4	33,292 SF	10	9	4	2	10	35
TOTAL	133,168 SF	38	34	15	6	40	133

* ALL UNITS ARE PROPOSED TO BE AFFORDABLE

** LEVEL ONE INCLUDES THE 3,675 SF CLUBHOUSE

UNIT SUMMARY:

UNIT TYPE	NUMBER OF UNITS	RENTABLE UNIT SIZE	PERCENT
1 BED - A	110	559 SF	39 %
2 BED - A	46	732 SF	16 %
2 BED - B	47	818 SF	17 %
3 BED - A	38	1,026 SF	14 %
3 BED - B	40	1,170 SF	14 %
TOTAL	281*	-	100 %

*15% OF THE TOTAL UNITS ARE TO BE MOBILITY UNITS (281 X 15% = 43 UNITS)

TOTAL BUILDING SUMMARY:

LEVEL	GROSS AREA	NUMBER OF UNIT TYPES			TOTAL UNITS
		1 BED	2 BED	3 BED	
BUILDING 1	64,740 SF	36	22	16	74
BUILDING 2	64,740 SF	36	22	16	74
BUILDING 3	133,168 SF	38	49	46	133
TOTAL	262,648 SF	110	93	78	281

PARKING SUMMARY:

PROVIDED	RATIO TO UNITS
356 STALLS	356/281 = 1.27

EV PARKING REQUIREMENTS:

PROGRAM	TYPE	CODE REQUIREMENT	REQUIRED	PROVIDED
RESIDENTIAL	EV READY	CAL GREEN 4.106.4.2.2 (1 PER UNIT)	281	281
	EV CHARGERS (EVCS)	CAL GREEN 4.106.4.2.2 (25% OF UNASSIGNED STALLS) 356 STALLS - 281 EV READY = 75 75 X 25% = 19 STALLS	19	19

*NOTE ALL PARKING IS UNASSIGNED
NOTE:
- EV READY: SHALL BE PROVIDED WITH 208/240V RECEPTACLES
- EV CHARGERS: SHALL BE EQUIPPED WITH J1772 OR J3400 CONNECTORS

ACCESSIBLE EV PARKING REQUIREMENTS:

PROGRAM	CODE REQUIREMENT	REQUIRED	PROVIDED	
			VAN	STANDARD
RESIDENTIAL	CBC CODE 11B-228.3.2.1 5 TO 25 EVCS	2	1	1

ACCESSIBLE PARKING REQUIREMENTS:

PROGRAM	CODE REQUIREMENT	REQUIRED	PROVIDED
RESIDENTIAL	CBC CODE 11B-208.2.3.1 EQUAL TO UNITS WITH MOBILITY FEATURES (5% OF TOTAL UNITS = 15 UNITS) (10% OF UNITS ARE CAC MOBILITY UNITS AND NOT INCLUDED IN CALCULATION)	15	15

PROGRAM	CODE REQUIREMENT	REQUIRED	PROVIDED
RESIDENTIAL	CBC CODE 11B-208.2.3.2 (2% OF REMAINING STALLS) 356 STALLS - 281 STALLS - 19 EV STALLS = 56 56 X 2% = 1.12	2	2

RESIDENTIAL PROGRAM DATA

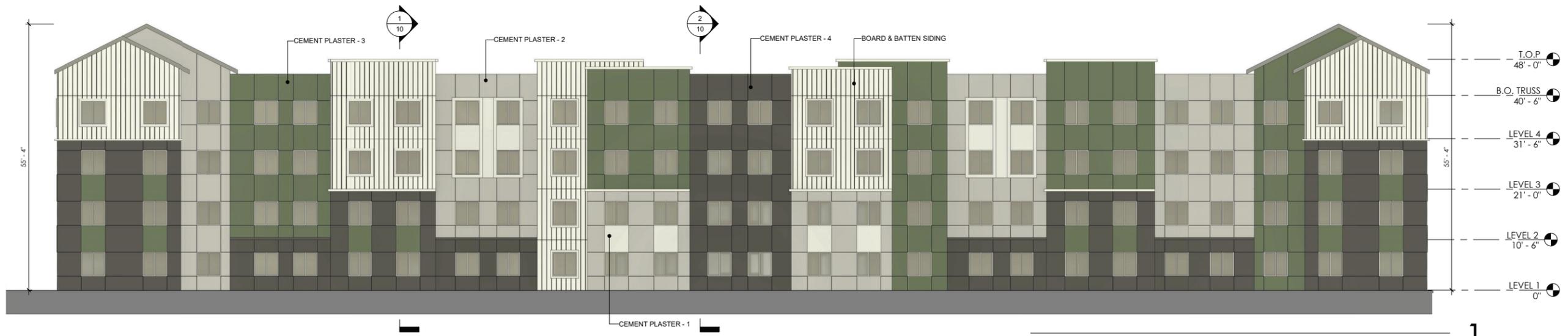


VICINITY MAP

PROJECT NAME:	MIDAS APTS
PROJECT LOCATION:	CORNER OF PACIFIC ST & MIDAS AVE ROCKLIN, CA 95677
ASSESSORS PARCEL #:	010-010-016, 010-010-017, 010-010-028, 010-010-029, 010-040-040
LOT SIZE:	1,348, 3,181, 2,312, 0.251 = 7.092 ACRES
ZONING:	RMDO-R24+ PD-33
GENERAL PLAN:	HIGH DENSITY RESIDENTIAL (HDR)
OCCUPANCY / USE:	R-2 MULTI-FAMILY (100% AFFORDABLE UNITS)
PARKING LOT SHADING:	MIN. 50%
SITE LIGHTING POLE HEIGHT:	MAX 20 FT
PARKING FOOT-CANDLES:	TBD
PEDESTRIAN WALKWAY FOOT-CANDLES:	TBD
SITE LIGHTING SHIELDING REQUIREMENTS:	MUST BE DARK SKY COMPLIANT

	ZONING REQUIREMENT:	PROVIDED:	MEETING CODE:
BUILDING HEIGHT:	MAX 50 FT	TOP OF PARAPET: 48'-0" TOP GABLE: 55'-4"	YES - SDBL STANDARD (BY-RIGHT)
FRONT SETBACK:	MIN. 20 FT	27'-8"	YES
STREET SIDE:	MIN. 15 FT	35'-6"	YES
INTERIOR SIDE SETBACK:	MIN 10 FT	79'-6"	YES
REAR SETBACK:	MIN. 15 FT	104'-4"	YES
FAR:	NO REQUIREMENT	.85	YES
LOT COVERAGE:	MAX. 60%	21%	YES
DENSITY:	MIN. 33 U/A	39.5 U/A	YES
OPEN SPACE:	NO REQUIREMENT	N/A	YES
PARKING STALL DIMENSIONS:	90 DEGREE STANDARD: 9 FT X 19 FT 90 DEGREE COMPACT: 8 FT X 16 FT	PROPOSED STANDARD: 9 FT X 18 FT	*INCENTIVE REQUESTED
DRIVE AISLE WIDTH:	25 FT / 26 FT FOR FIRE ACCESS AISLE	25 FT & 26 FT	YES
COMPACT PERCENTAGE:	MAX 30%	9%	YES
PARKING REQUIREMENT:	1.5 SPACES PER 1 BED/STUDIO UNIT = 165 2 SPACES PER 2 BED+ = 342	356	YES - SDBL STANDARD (BY-RIGHT)
	GUEST: 1 SPACE PER 25% OF UNITS	NO GUEST PARKING	YES - SDBL STANDARD (BY-RIGHT)
COVER PARKING:	1 SPACE PER UNIT SHALL BE COVERED	NO COVERED SPACES	YES - SDBL STANDARD (BY-RIGHT)
RESIDENTIAL BIKE PARKING:	LONG TERM: 1 SPACE PER 2 DWELLING UNITS = 141	70	*INCENTIVE REQUESTED
	SHORT TERM: 1 SPACE PER 10,000 SF, MIN 2 = 27	0	

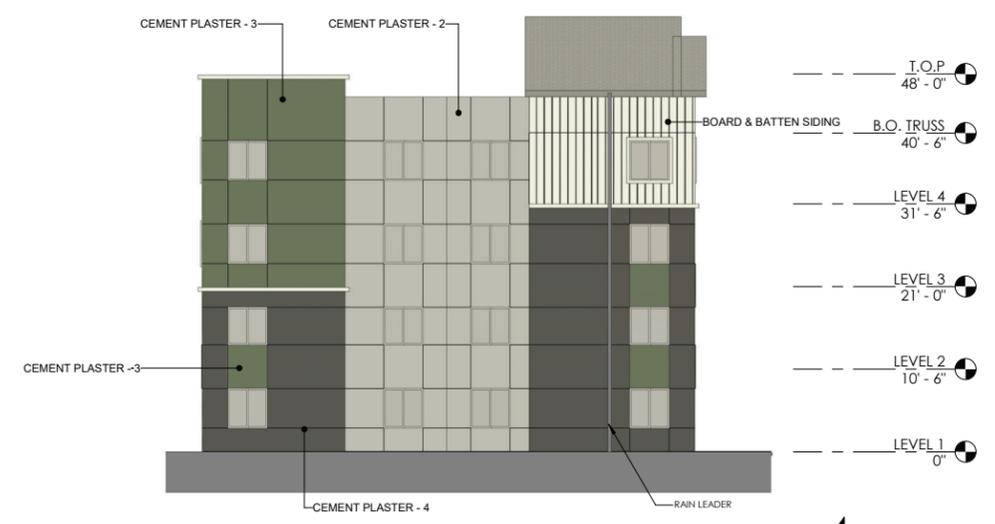
ZONING INFORMATION



BLDG 1 & 2 (TYPE A) - SOUTH ELEV. 3/32" = 1'-0" 1



BLDG 1 & 2 (TYPE A) - NORTH ELEV. 3/32" = 1'-0" 2



BLDG 1 & 2 (TYPE A) - WEST ELEV. 3/32" = 1'-0" 4



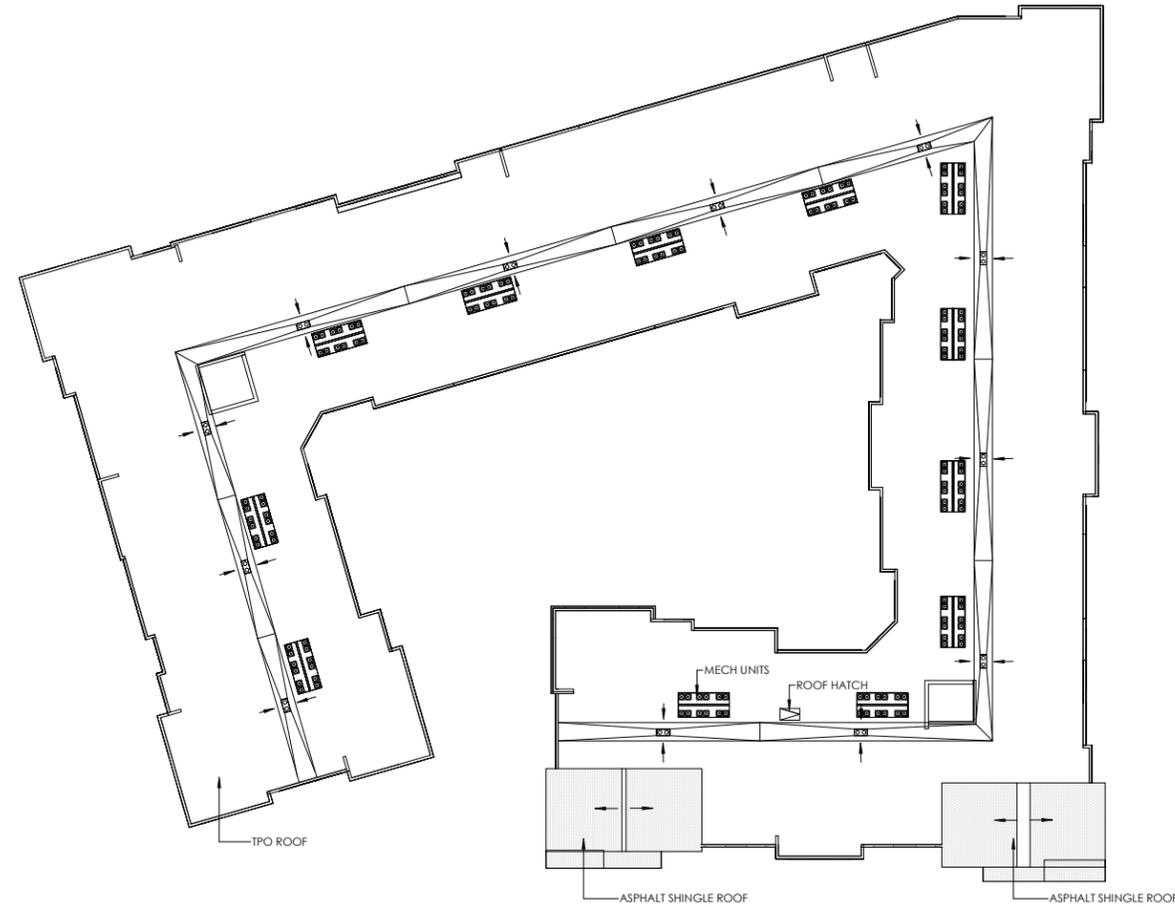
BLDG 1 & 2 (TYPE A) - EAST ELEV. 3/32" = 1'-0" 3



BLDG 3 (TYPE B) - LEVEL 2 - 4 $3/64" = 1'-0"$ **2**



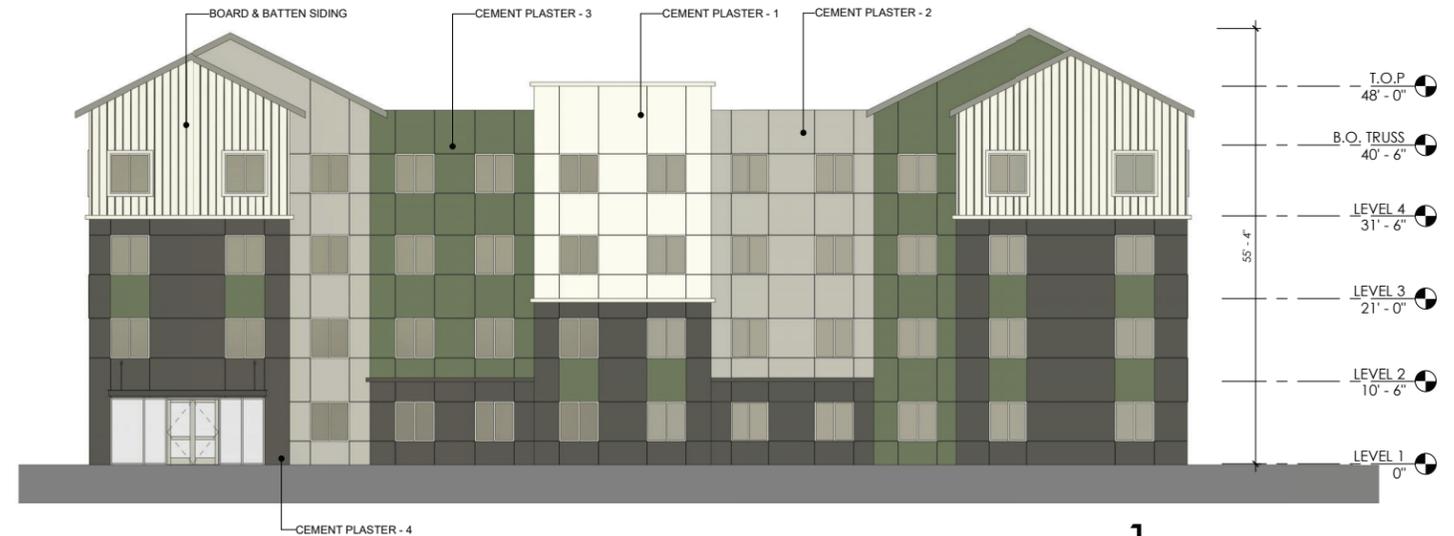
BLDG 3 (TYPE B) - LEVEL 1 $3/64" = 1'-0"$ **1**



BLDG 3 (TYPE B) - ROOF 3/64" = 1'-0" 1



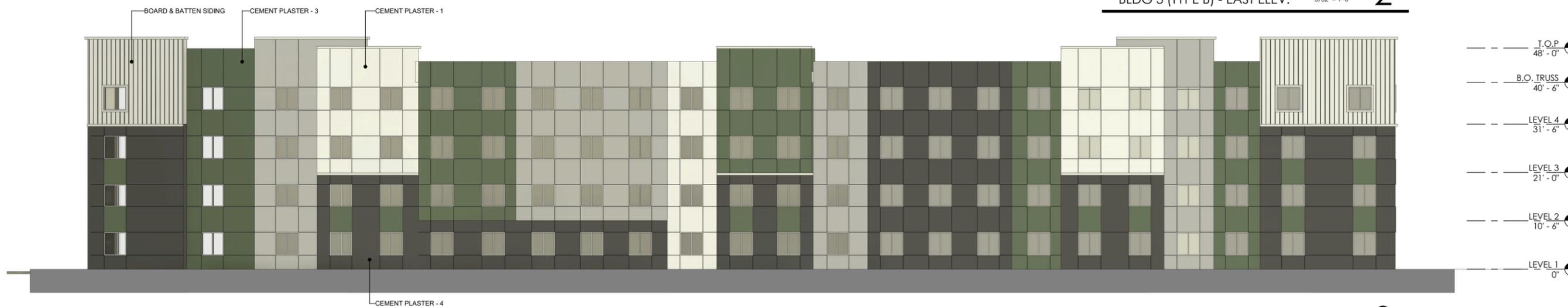
BLDG 3 (TYPE B) - WEST ELEV. 3/32" = 1'-0" 4



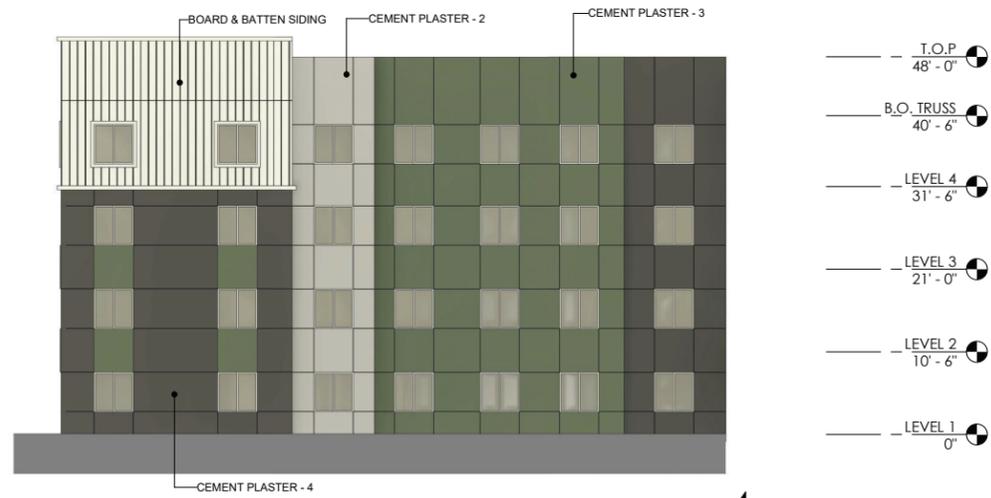
BLDG 3 (TYPE B) - SOUTH ELEV. 3/32" = 1'-0" 1



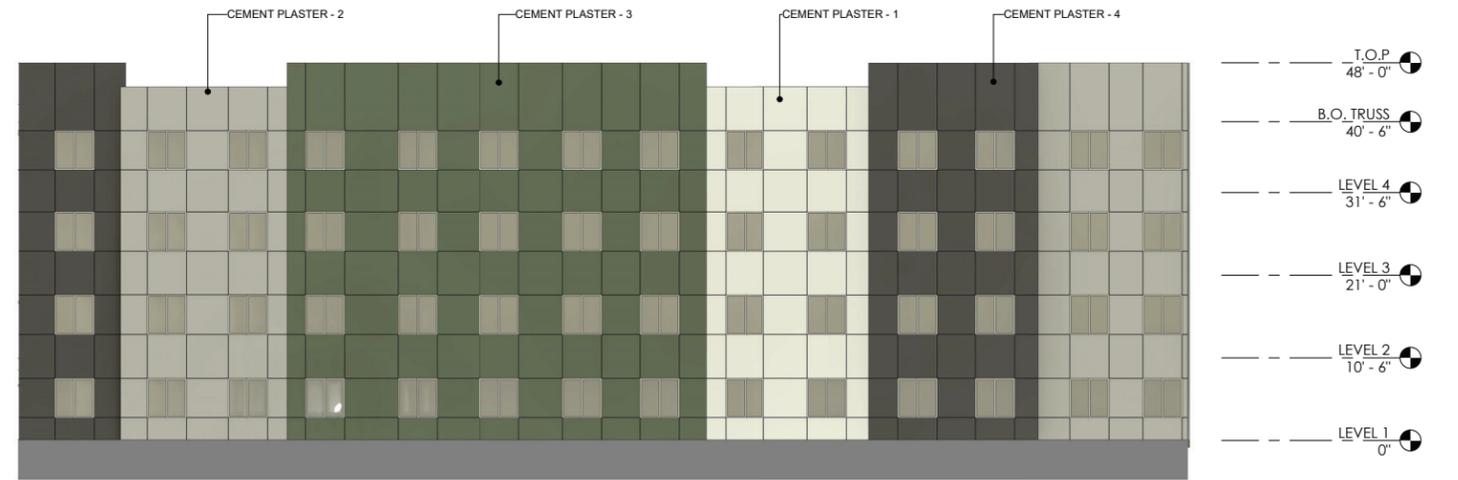
BLDG 3 (TYPE B) - EAST ELEV. 3/32" = 1'-0" 2



BLDG 3 (TYPE B) - NORTH ELEV. 3/32" = 1'-0" 3



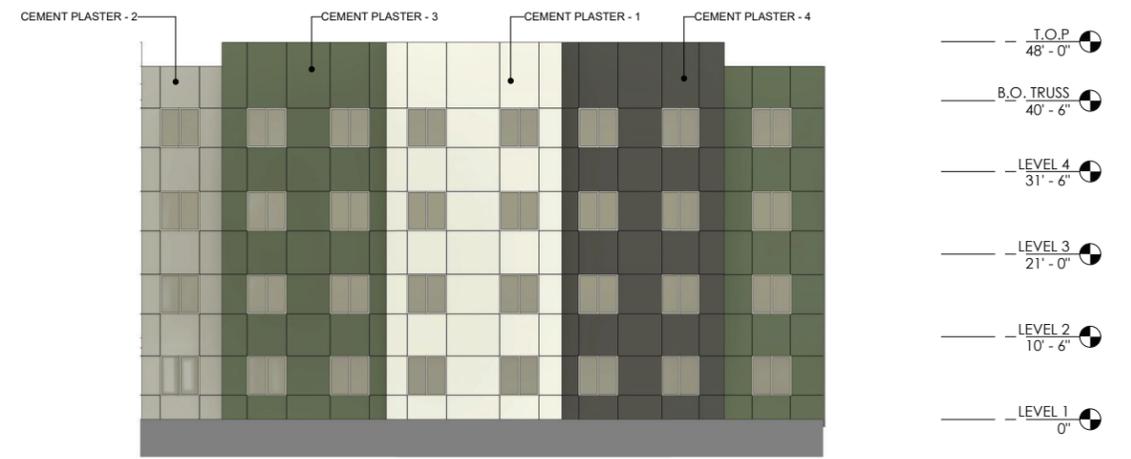
BLDG 3 (TYPE B) COURTYARD - ELEV. 4 3/32" = 1'-0" **4**



BLDG 3 (TYPE B) COURTYARD - ELEV. 1 3/32" = 1'-0" **1**



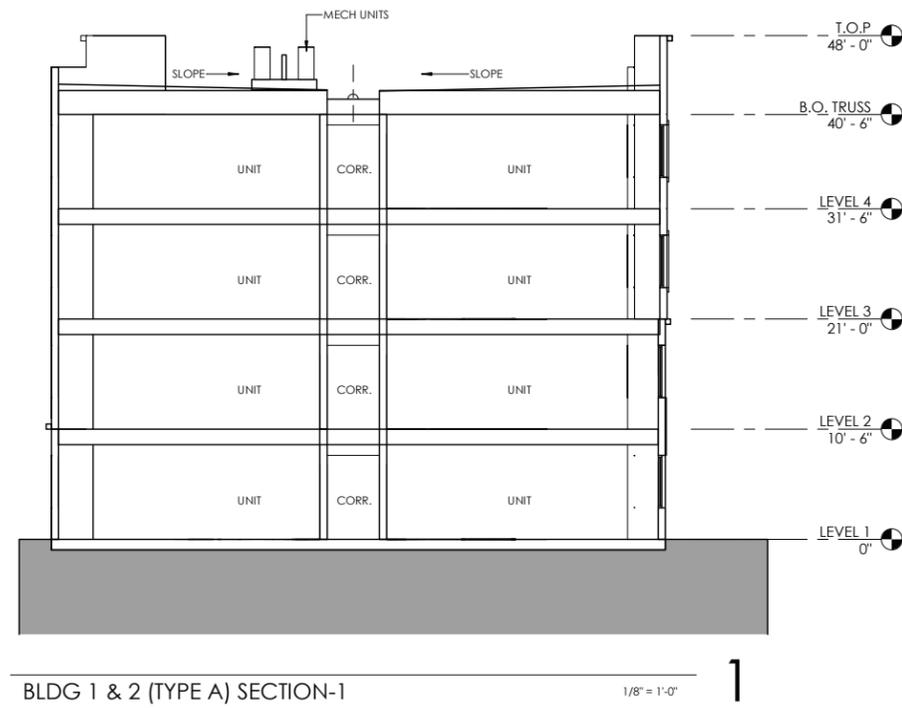
BLDG 3 (TYPE B) COURTYARD - ELEV. 5 3/32" = 1'-0" **5**



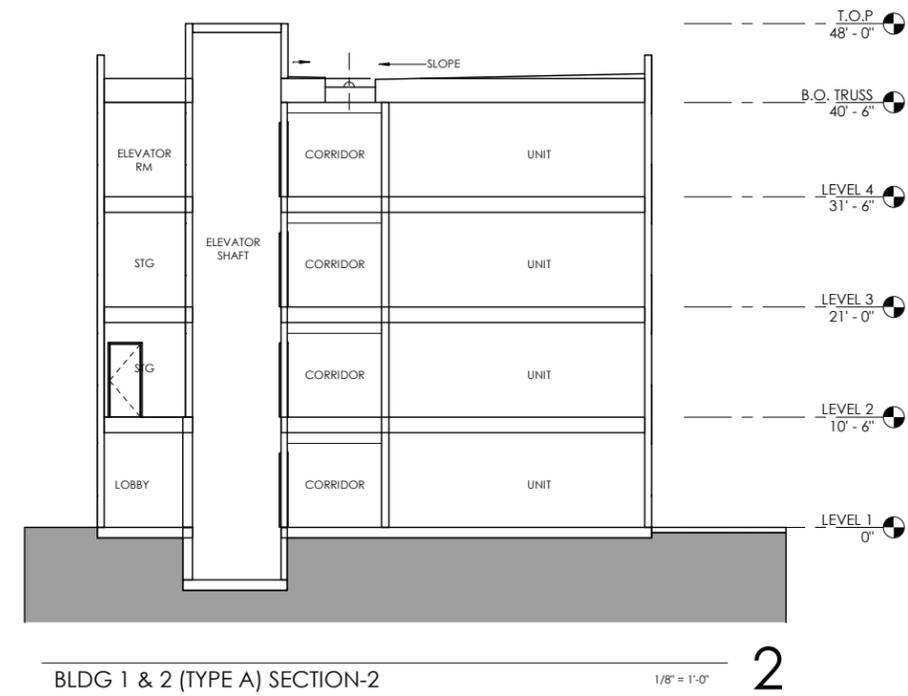
BLDG 3 (TYPE B) COURTYARD - ELEV. 2 3/32" = 1'-0" **2**



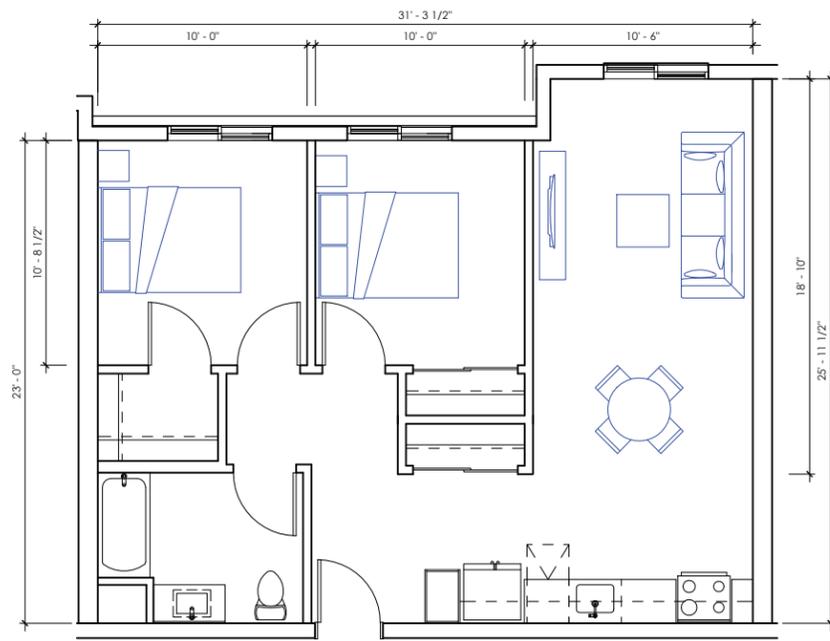
BLDG 3 (TYPE B) COURTYARD - ELEV. 3 3/32" = 1'-0" **3**



BLDG 1 & 2 (TYPE A) SECTION-1 1/8" = 1'-0" **1**



BLDG 1 & 2 (TYPE A) SECTION-2 1/8" = 1'-0" **2**

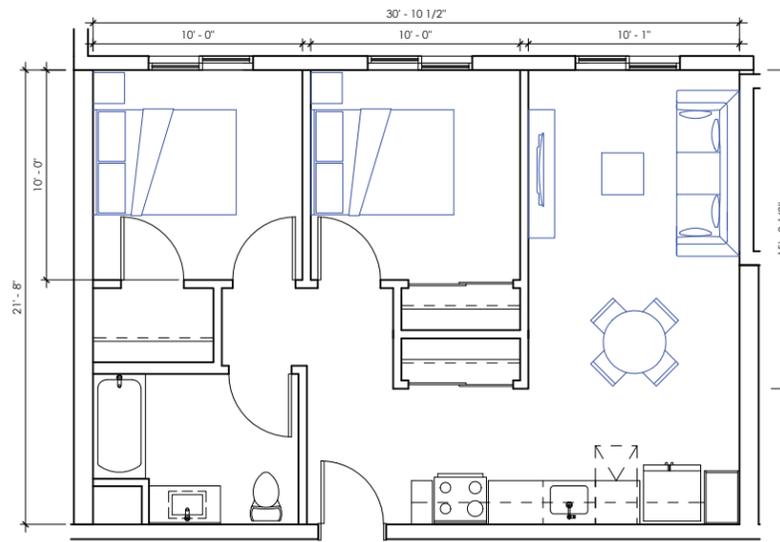


GROSS AREA: 818 SF

2 BED - B

1/4" = 1'-0"

3

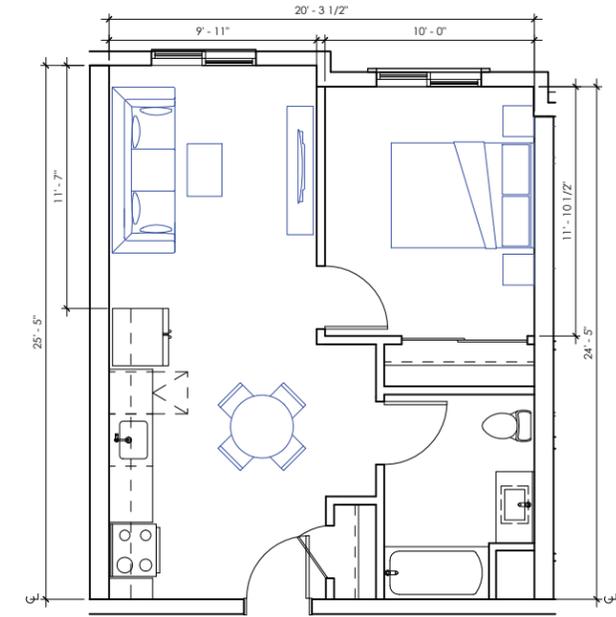


GROSS AREA: 732 SF

2 BED - A

1/4" = 1'-0"

2

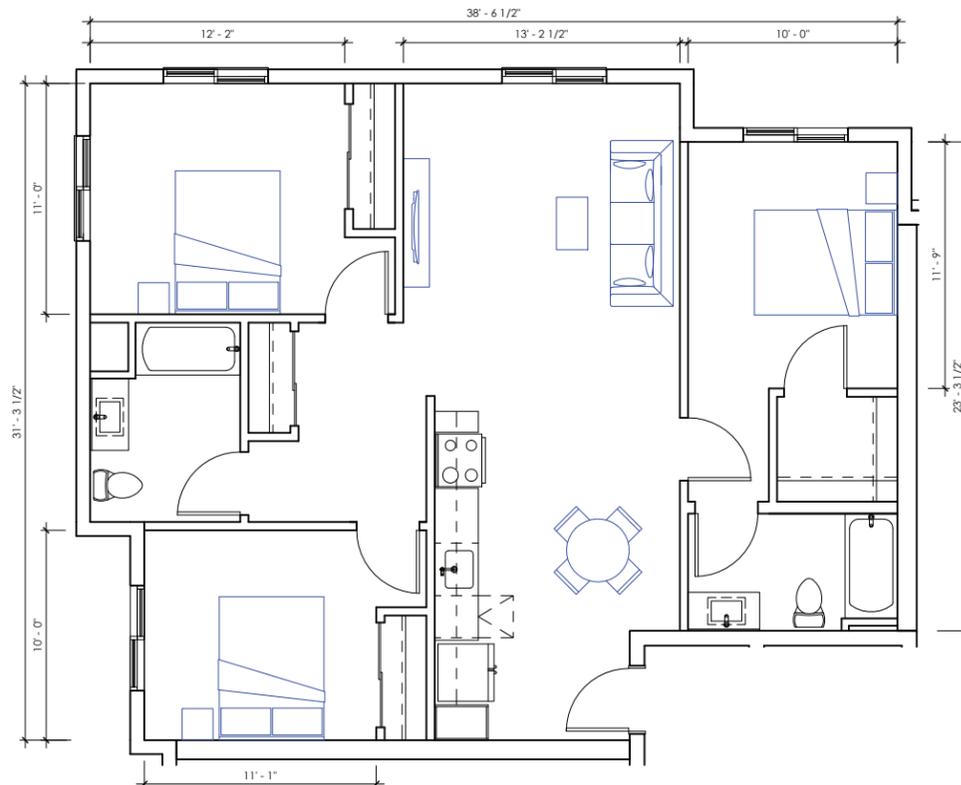


GROSS AREA: 599 SF

1 BED - A

1/4" = 1'-0"

1

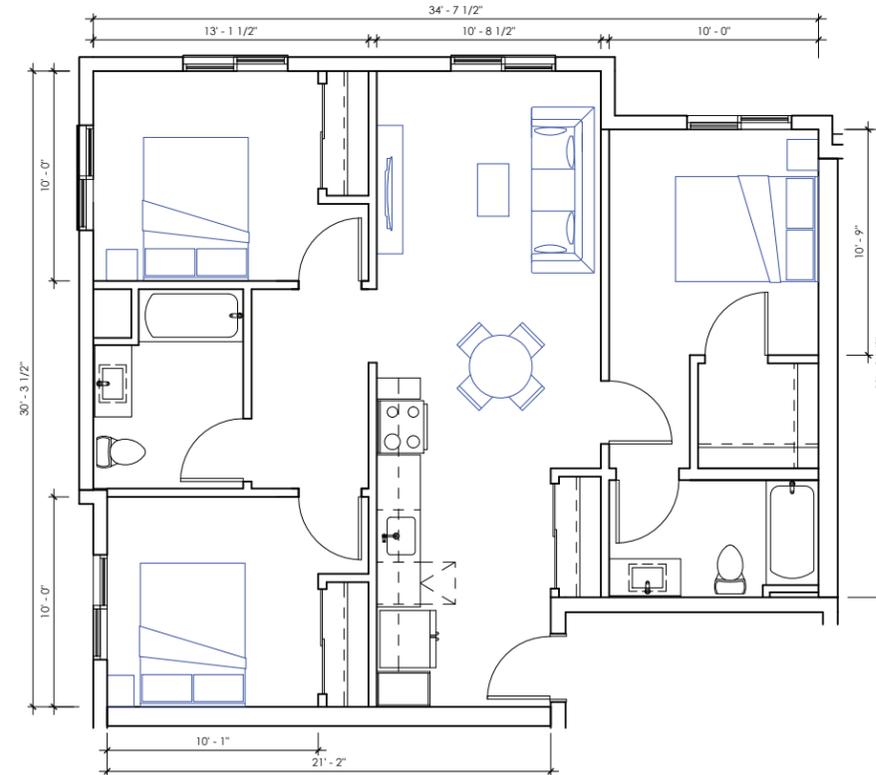


GROSS AREA: 1,170 SF

3 BED - B

1/4" = 1'-0"

5



GROSS AREA: 1,026 SF

3 BED - A

1/4" = 1'-0"

4

MATERIAL BOARD



BOARD & BATTEN SIDING
MANUFACTURE: JAMESHARDIE
PAINT COLOR: IGLOO - DEW 379



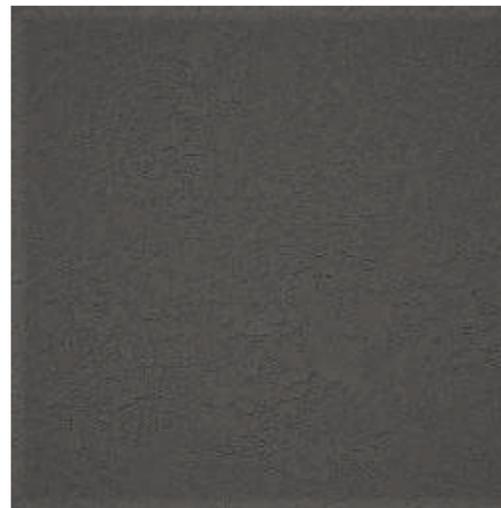
CEMENT PLASTER - 1
MANUFACTURE: DUNN-EDWARDS
COLOR: WHISPER - DEW 340



CEMENT PLASTER - 2
MANUFACTURE: DUNN-EDWARDS
COLOR: GRAY PEARL - DEC 795



CEMENT PLASTER - 3
MANUFACTURE: DUNN-EDWARDS
COLOR: GREENLAND - DE6286



CEMENT PLASTER - 4
MANUFACTURE: DUNN-EDWARDS
COLOR: STONISH - DE 6332



SITE CONTEXT



1 - VIEW FROM THE CORNER OF PACIFIC ST & MIDAS AVE



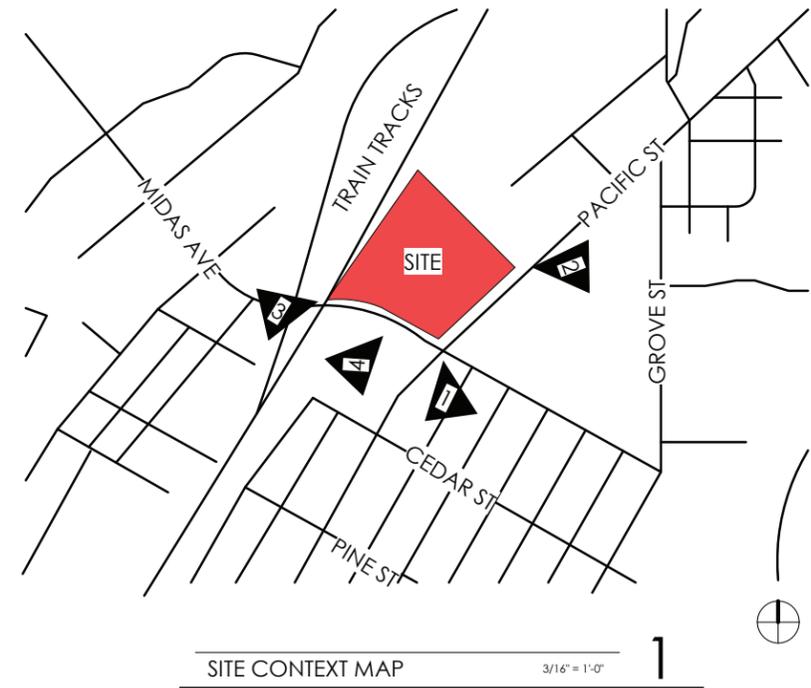
2 - VIEW FROM PACIFIC STREET

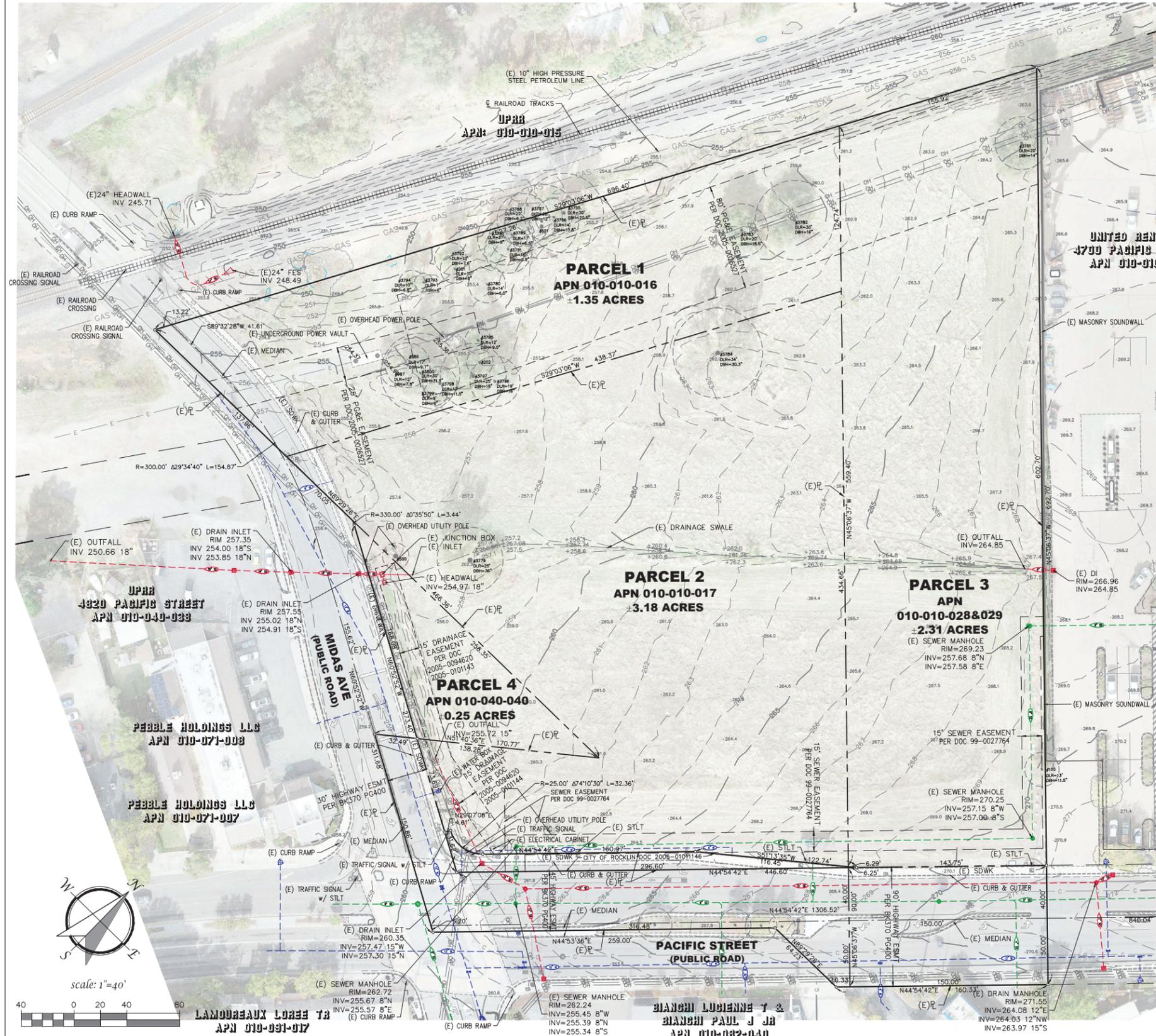


3 - VIEW FROM MIDAS AVE



4 - VIEW FROM MIDAS AVE





FEMA FLOOD ZONE:
 ZONE X (AREA OF MINIMAL FLOOD HAZARD) PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NO. 06061C0961H, EFFECTIVE 11/2/2018.

BASIS OF BEARING
 THE BASIS OF BEARINGS FOR THIS SURVEY IS IDENTICAL WITH RECORD OF SURVEY NO. 2661, FILED IN BOOK 18 OF SURVEYS, AT PAGE 114, PLACER COUNTY RECORDS, ESTABLISHED BETWEEN STATIONS "R 2-2" AND "R 7-9", THE BEARING OF WHICH WAS CALCULATED AS N47°45'05"W.

CITY OF ROCKLIN BENCHMARK
CITY OF ROCKLIN STATION
BENCHMARK - R 2-2 (NGVD29): 280.28 FEET
 BEING A FOUND PK NAIL & WASHER IN THE SOUTH END OF THE CONCRETE HEADWALL ON THE SOUTH SIDE OF SIERRA MEADOWS DRIVE AT SUCKER CREEK, AS SHOWN ON RECORD OF SURVEY NO. 2661, FILED IN BOOK 18 OF SURVEYS, AT PAGE 114, PLACER COUNTY RECORDS.
 (NAVD 88 CONVERSION = NGVD + 2.56 FT)

LEGAL DESCRIPTION

PARCEL A1: (APN 010-010-016)
 ALL THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 11 NORTH, RANGE 1 EAST, MOUNT DIABLO BASE AND MERIDIAN, DESCRIBED AS FOLLOWS:
 BEGINNING AT THE INTERSECTION OF THE SOUTHERLY LINE OF SAID SECTION 18 WITH A LINE LYING PARALLEL TO AND 5000 FEET SOUTHEASTERLY OF THE CENTERLINE OF THE EAST BOUND TRACT OF THE RECONSTRUCTION OF THE CENTRAL PACIFIC RAILROAD BETWEEN ROCKLIN AND COLFAX, AS SHOWN ON RAILROAD MAP NO. V-112/S-8B, THENCE ALONG SAID SOUTHEASTERLY LINE, NORTH 29 DEGREES 34 MINUTES 00 SECONDS EAST 540.48 FEET; THENCE LEAVING SAID SOUTHEASTERLY LINE, SOUTH 45 DEGREES 35 MINUTES 43 SECONDS EAST 124.74 FEET; THENCE SOUTH 28 DEGREES 34 MINUTES 00 SECONDS WEST 438.37 FEET TO A POINT ON SAID SOUTHERLY LINE; THENCE ALONG SAID SOUTHERLY LINE, SOUTH 89 DEGREES 00 MINUTES 20 SECONDS WEST 137.96 FEET TO THE POINT OF BEGINNING.

PARCEL A2: (APN 010-010-017)
 ALL THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 18, AND THE NORTHEAST QUARTER OF SECTION 19, TOWNSHIP 11 NORTH, RANGE 7 EAST, MOUNT DIABLO BASE AND MERIDIAN, DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT ON THE SOUTHERLY LINE OF SAID SECTION 18 FROM WHICH POINT THE INTERSECTION OF THE SOUTHERLY LINE OF SAID SECTION 18 WITH A LINE LYING PARALLEL TO AND 50.00 FEET SOUTHEASTERLY OF THE CENTERLINE OF THE EAST-BOUND TRACT OF THE RECONSTRUCTION OF THE CENTRAL PACIFIC RAILWAY BETWEEN ROCKLIN AND COLFAX, AS SHOWN ON RAILROAD MAP NO. V-112/S-8B BEARS SOUTH 89 DEGREES 00 MINUTES 20 SECONDS WEST 137.96 FEET; THENCE LEAVING SAID SOUTHERLY LINE NORTH 28 DEGREES 34 MINUTES 00 SECONDS EAST 438.37 FEET; THENCE SOUTH 45 DEGREES 35 MINUTES 43 SECONDS EAST 526.09 FEET TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY OF PACIFIC AVENUE (90 FEET WIDE); THENCE ALONG SAID SOUTHERLY RIGHT OF WAY SOUTH 44 DEGREES 24 MINUTES 30 SECONDS WEST 938 FEET TO A POINT ON SAID SOUTHERLY LINE; THENCE ALONG SAID SOUTHERLY LINE, SOUTH 89 DEGREES 00 MINUTES 20 SECONDS WEST 64.09 FEET TO A POINT ON THE CENTERLINE OF PACIFIC AVENUE; THENCE LEAVING SAID SOUTHERLY LINE, ALONG SAID CENTERLINE OF PACIFIC AVENUE, SOUTH 44 DEGREES 24 MINUTES 30 SECONDS WEST 259.78 TO THE INTERSECTION WITH SAID CENTERLINE OF PACIFIC AVENUE WITH THE CENTERLINE OF MIDAS AVENUE (60 FEET WIDE); THENCE LEAVING SAID CENTERLINE OF PACIFIC AVENUE ALONG SAID CENTERLINE OF MIDAS AVENUE, NORTH 61 DEGREES 18 MINUTES 30 SECONDS WEST 156.89 FEET, THENCE LEAVING SAID CENTERLINE OF MIDAS AVENUE, NORTH 51 DEGREES 11 MINUTES 30 SECONDS EAST 170.77 FEET TO A POINT ON SAID SOUTHERLY LINE OF SECTION 18, THENCE ALONG SAID SOUTHERLY LINE SOUTH 89 DEGREES 00 MINUTES 20 SECONDS WEST 328.40 FEET TO THE POINT OF BEGINNING.

PARCEL A3: (APN 010-010-028 AND 029)
 ALL THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 11 NORTH, RANGE 7 EAST, MOUNT DIABLO BASE AND MERIDIAN, DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT ON THE LINE LYING PARALLEL TO AND 50.00 FEET SOUTHEASTERLY OF THE CENTERLINE OF THE EAST-BOUND TRACT OF THE RECONSTRUCTION OF THE CENTRAL PACIFIC RAILWAY BETWEEN ROCKLIN AND COLFAX, AS SHOWN ON THE RAILROAD MAP NO. V-112/S-8B, FROM WHICH POINT THE INTERSECTION ON SAID SOUTHEASTERLY LINE WITH THE SOUTHERLY LINE OF SAID SECTION 18 BEARS SOUTH 28 DEGREES 34 MINUTES 00 SECONDS WEST 540.48 FEET, THENCE ALONG SAID SOUTHEASTERLY LINE NORTH 28 DEGREES 34 MINUTES 00 SECONDS EAST 155.92 FEET; THENCE LEAVING SAID SOUTHEASTERLY LINE, SOUTH 45 DEGREES 35 MINUTES 43 SECONDS EAST 693.39 FEET TO POINT ON THE SOUTHEASTERLY RIGHT OF WAY OF PACIFIC AVENUE (90 FEET WIDE); THENCE ALONG SAID SOUTHEASTERLY RIGHT OF WAY, SOUTH 44 DEGREES 24 MINUTES 30 SECONDS WEST 150.00 FEET; THENCE LEAVING SAID SOUTHEASTERLY RIGHT OF WAY, NORTH 45 DEGREES 35 MINUTES 43 SECONDS WEST 650.83 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THAT PORTION OF PROPERTY CONVEYED IN THE GRANT DEED TO THE CITY OF ROCKLIN RECORDED ON AUGUST 02, 2005, AS INSTRUMENT NO. 2005-101146 OF OFFICIAL RECORD.

THE ABOVE DESCRIPTIONS ARE DESCRIBED IN LOT LINE ADJUSTMENT RECORDED DECEMBER 23, 1988, SERIES NO. 98-0109015, OFFICIAL RECORDS.

EXCEPTING FROM ALL OF THE ABOVE DESCRIBED PARCELS:
 ALL MINERALS AND ALL MINERAL RIGHTS OF EVERY KIND AND CHARACTER NOW KNOWN TO DUST OR HEREAFTER DISCOVERED, INCLUDING, WITHOUT LIMITING THE GENERALITY OF THE FOREGOING, OIL AND GAS AND RIGHTS THERETO, TOGETHER WITH THE SOLE EXCLUSIVE AND PERPETUAL RIGHT TO EXPLORE FOR, REMOVE, AND DISPOSE OF SAID MINERALS BY ANY MEANS OR METHODS SUITABLE TO GRANTOR, ITS SUCCESSORS AND ASSIGNS, BUT WITHOUT ENTERING UPON OR USING THE SURFACE OF THE PROPERTY AND IN SUCH MANNER AS NOT TO DAMAGE THE SURFACE OF SAID LANDS OR TO INTERFERE WITH THE USE THEREOF BY GRANTEE, ITS SUCCESSORS OR ASSIGNS; AS RESERVED IN DEED RECORDED DECEMBER 31, 1998, SERIES NO. 98-0111831, OFFICIAL RECORDS.

PARCEL A-4: (APN 010-040-040)
 A PARCEL OF LAND SITUATED IN THE CITY OF ROCKLIN, COUNTY OF PLACER, STATE OF CALIFORNIA, BEING A PORTION OF THE NORTHEAST QUARTER OF SECTION 19, TOWNSHIP 11 NORTH, RANGE 7 EAST, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT ON THE WESTERLY LINE OF LAND OF SOUTHERN PACIFIC COMPANY THAT IS THE MOST WESTERLY CORNER OF BLOCK AS SHOWN ON THAT PLAT OF THE WHITNEY ADDITION TO THE TOWN OF ROCKLIN, RECORDED ON OCTOBER 22, 1888 IN BOOK A OF MAPS, PAGE 18, PLACER COUNTY RECORDS, SAID POINT A IS ALSO THE MOST WESTERLY CORNER OF BLOCK AS SHOWN ON DRAWING NO. 0-2092 FROM SOUTHERN PACIFIC COMPANY PACIFIC LINES, DATED OCTOBER 1, 1965, REVISED OCTOBER 27, 1965 AND FURTHER REVISED ON JANUARY 16, 1967.
 THENCE FROM STATE POINT OF BEGINNING NORTH 45 DEGREES 36 MINUTES 28 SECONDS EAST ALONG SAID NORTHWESTERLY LINE OF SAID BLOCK A, A DISTANCE OF 40.29 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY OF MIDAS AVENUE, THENCE CONTINUING ALONG SAID NORTHERLY RIGHT OF WAY THE FOLLOWING TWO (2) CONSECUTIVE COURSES:
 1) NORTH 89 DEGREES 44 MINUTES 00 SECONDS EAST A DISTANCE OF 35141 FEET, THENCE
 2) EASTERLY ON A CURVE TO THE RIGHT, HAVING A RADIUS OF 330.00 FEET, A CENTRAL ANGLE OF 29 DEGREES 42 MINUTES 00 SECONDS (TANGENT TO SAID CURVE AT LAST MENTIONED POINT IS LAST DESCRIBED COURSE) AN ARC DISTANCE OF 171.06 FEET (CHORD = SOUTH 75 DEGREES 25 MINUTES 00 SECONDS EAST, 189.15 FEET) TO THE TRUE POINT OF BEGINNING THENCE FROM SAID TRUE POINT OF BEGINNING, CONTINUING ALONG SAID NORTHERLY RIGHT OF WAY OF MIDAS AVENUE SOUTH 61 DEGREES 18 MINUTES 30 SECONDS EAST A DISTANCE OF 168.20 FEET TO A POINT COMMON WITH THE BOUNDARY OF PARCEL A-2 AND THE NORTHERLY RIGHT OF WAY OF MIDAS AVENUE AS SAID PARCEL #25 SHOWN ON THAT LOT LINE ADJUSTMENT APPROVAL RECORDED PER DOCUMENT NUMBER 98-0109015 AND RECORDED IN A DEED PER DOCUMENT NUMBER 98-0111831; THENCE LEAVING SAID NORTHERLY RIGHT OF WAY OF MIDAS AVENUE AND CONTINUING ALONG THE BOUNDARY OF SAID PARCEL #2 THE FOLLOWING TWO (2) CONSECUTIVE COURSES:
 1) NORTH 51 DEGREE 11 MINUTES 30 SECONDS EAST A DISTANCE OF 138.30 FEET TO A POINT COMMON WITH THE NORTH SECTION OF SECTION 19, THENCE
 2) SOUTH 89 DEGREES 00 MINUTES 20 SECONDS WEST A DISTANCE OF 258.02 FEET ALONG SAID NORTH SECTION LINE TO A POINT COMMON WITH THE NORTHERLY RIGHT OF WAY OF MIDAS AVENUE, THENCE FOLLOWING SAID NORTHERLY RIGHT OF WAY OF MIDAS AVENUE, ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 330.00 FEET, A CENTRAL ANGLE OF 00 DEGREES 31 MINUTES 32 SECONDS A DISTANCE OF 3.03 FEET (CHORD: SOUTH 61 DEGREES 34 MINUTES 16 SECONDS EAST, 3.03 FEET) TO THE TRUE POINT OF BEGINNING.

MIDAS APARTMENTS
 NWC PACIFIC STREET & MIDAS AVE
 ROCKLIN CA 9577

Proposed By: **CEI**
 CYPRESS EQUITY INVESTMENTS
 12121 WILSHIRE BLVD, SUITE 801
 LOS ANGELES, CA 90025

In Association With: **WATERFORD**
 WATERFORD PROPERTY COMPANY
 100 BAYVIEW CIRCLE, SUITE 4500
 NEWPORT BEACH, CA 92660

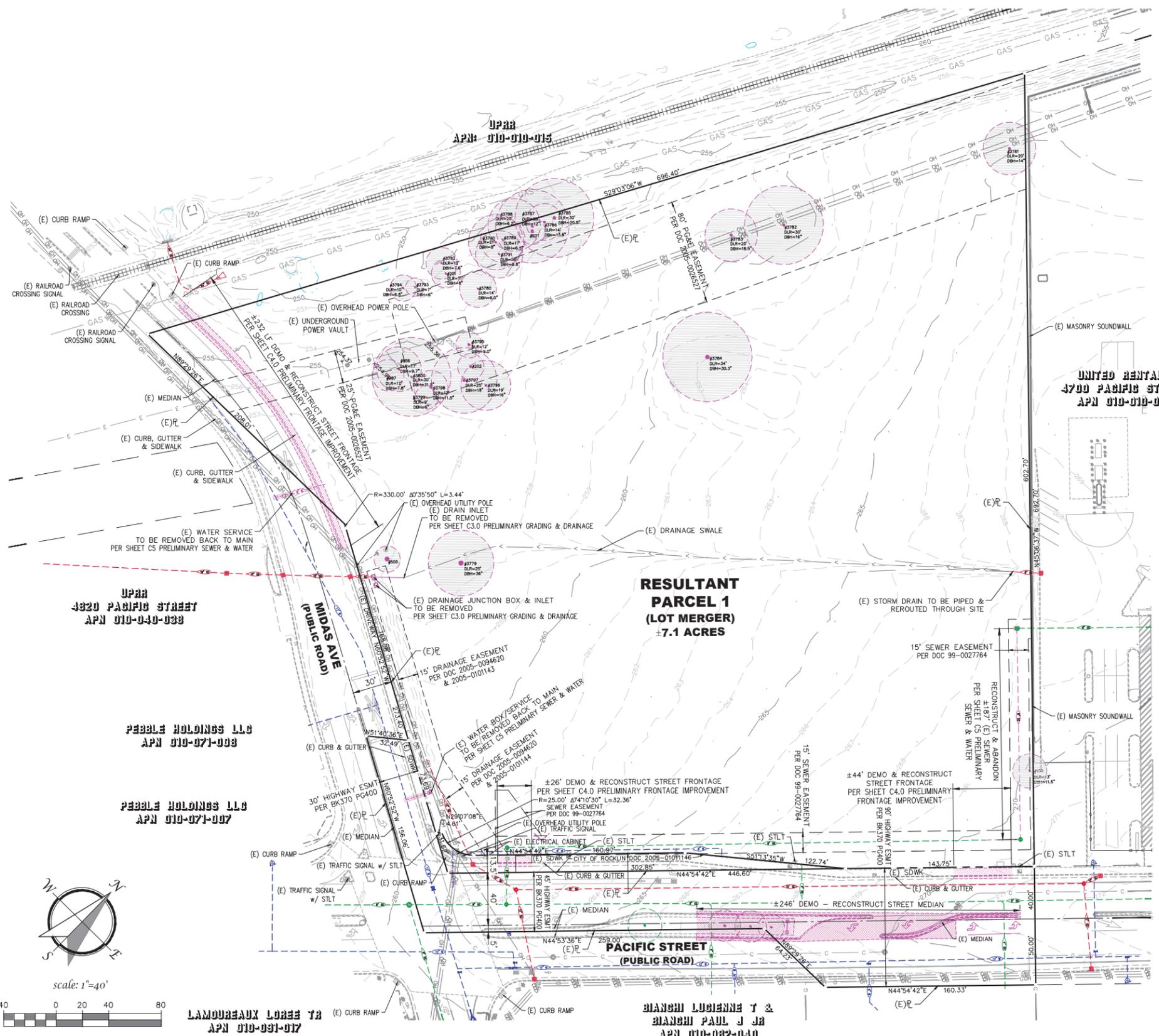
Architect: **HRGA**
 Landscape Architect: **FUHRMAN LEAMY LAND GROUP**
 785 Orchard Drive, Suite #110
 Folsom, CA 95630
 Phone: (916) 608-0707
 Fax: (916) 608-0701
 MARCH 23, 2026

DEMO LEGEND:

	TREE TO REMAIN		PROTECTED TREE TO BE REMOVED
	UNPROTECTED TREE TO BE REMOVED		

986	3781
987	3782
3780	3783
3781	3784 (472)
3782	3785 (471)
3783	3786
100	3787
200	3788
201	3789
201	3790
202	3791
500	3792
501	3793
3779	3794
	3795
	3796
	3797
	3798
	3799
	3800

- LINEWORK AS SHOWN IN MAGENTA INDICATES IMPROVEMENTS AND/OR UTILITIES PROPOSED FOR DEMOLITION.
- EXISTING UTILITIES THAT ARE NO LONGER USED FOR PROPOSED PROJECT ARE PROPOSED TO BE ABANDONED BACK TO THE MAIN.
- PUBLIC SEWER FROM ADJACENT PROPERTY (UNITED RENTALS, 4700 PACIFIC STREET, APN 010-010-019) SHALL BE RECONSTRUCTED PER PROPOSED SHEET C5 PRELIMINARY SEWER & WATER EXHIBIT. EXISTING SEWER SHALL BE ABANDONED PER SPM/UD STANDARDS.
- OFFSITE STORM DRAIN FROM ADJACENT PROPERTY (UNITED RENTALS, 4700 PACIFIC STREET, APN 010-010-019) SHALL BE PIPED UNDERGROUND AND REROUTED THROUGH THE SITE PER SHEET C3.0 GRADING AND DRAINAGE EXHIBIT.
- (E) PCWA WATER SERVICE (DISCONTINUED) SHALL BE REMOVED BACK TO THE MAIN PER PCWA STANDARDS.



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With: **HRGA** ARCHITECT
FUHRMAN LEAMY LAND GROUP LANDSCAPE ARCHITECT

TS&D ENGINEERING, INC.
 785 Orchard Drive, Suite #110
 Folsom, CA 95630
 Phone: (916) 608-0707
 Fax: (916) 608-0701

MARCH 23, 2026

GRADING AND DRAINAGE NOTES

D1 ADJACENT UNITED RENTALS PROPERTY IS AN UPLAND DRAINAGE SHED CONSISTING OF ±1.6 ACRES OF IMPERVIOUS SURFACE (YARD, PARKING LOT, AND BUILDING). THIS DRAINAGE SHED DISCHARGES ONTO THE SUBJECT PROPERTY VIA 8" STORM DRAIN. BISECTING THE PROPERTY IS A MANMADE GRADED DITCH IN WHICH STORMWATER FLOWS FROM BOTH THE ADJACENT PROPERTY AND PORTION OF THE SUBJECT PROPERTY CONVEYED TOWARDS MIDAS AVE. WHERE THIS SURFACE FLOW ENTERS THE PUBLIC STORM DRAIN SYSTEM.

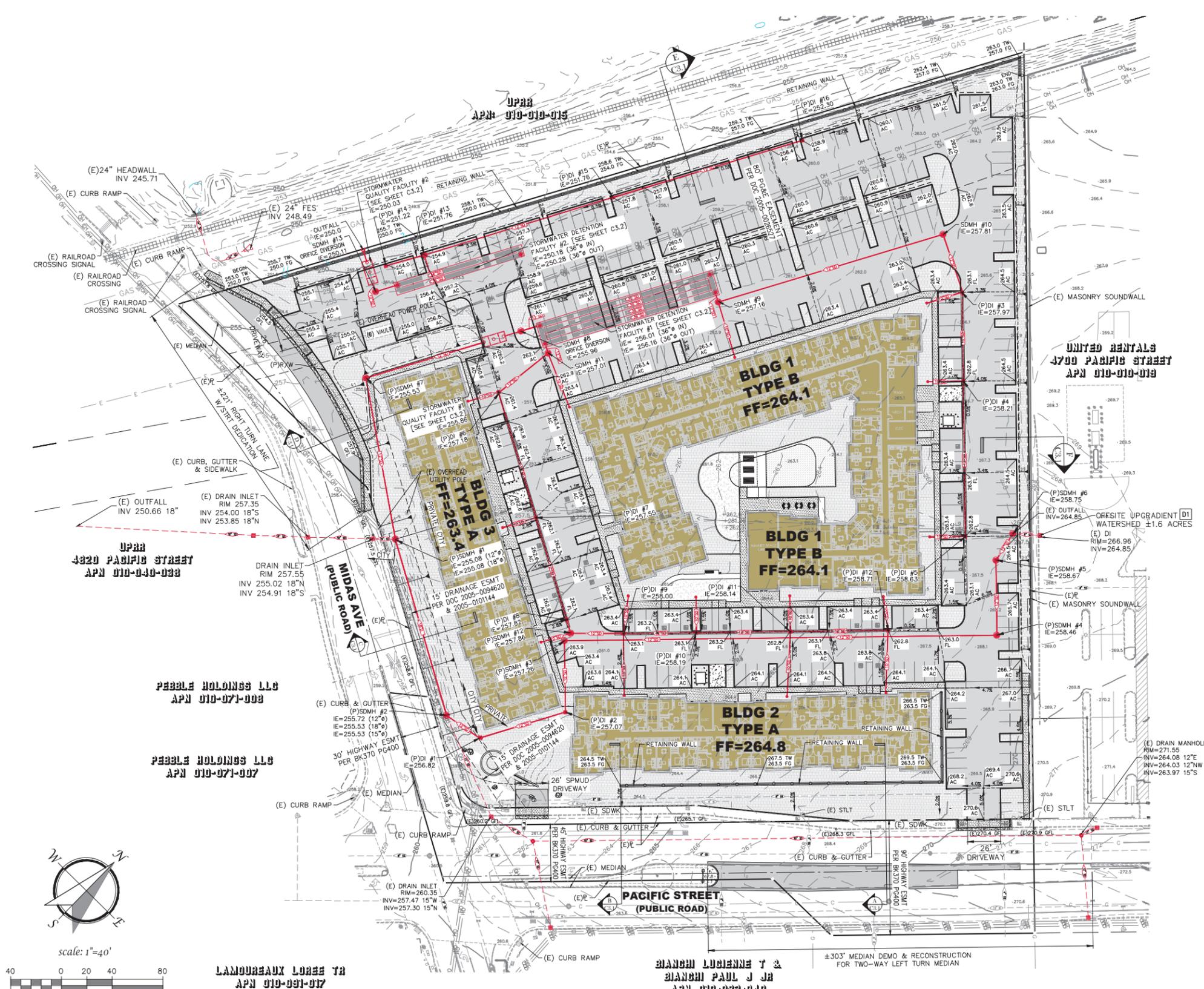
PROJECT PROPOSES STAND ALONE STORM DRAIN SYSTEM TO CONVEY DRAINAGE THROUGH SUBJECT PROJECT.

GRADING AND DRAINAGE LEGEND

DESCRIPTION	PROPOSED	EXISTING
DESIGN ELEVATION	130.0 FG	(98.0) GFL
CONTOUR	130	130
STORM DRAIN (PRIVATE)	12" SD	12" SD
STORM DRAIN (PUBLIC)	12" SD	12" SD
MANHOLE	●	●
DROP INLET	■	■
GRADE BREAK	---	---

SITE LEGEND:

	ASPHALT PAVEMENT
	BUILDING AREA
	LANDSCAPE AND EXISTING VEGETATION AREAS
	CONCRETE SIDEWALK/HARDSCAPE
	CONCRETE PAVEMENT



UNITED RENTALS
4700 PACIFIC STREET
APN 010-010-019

UPRR
3320 PACIFIC STREET
APN 010-040-033

PEBBLE HOLDINGS LLC
APN 010-071-008

PEBBLE HOLDINGS LLC
APN 010-071-007

LAMOUREAUX LOREE TR
APN 010-091-017

BIANCHI LUCIENNE T & BIANCHI PAUL J JR
APN 010-032-040

MIDAS APARTMENTS PRELIMINARY GRADING & DRAINAGE C3.0

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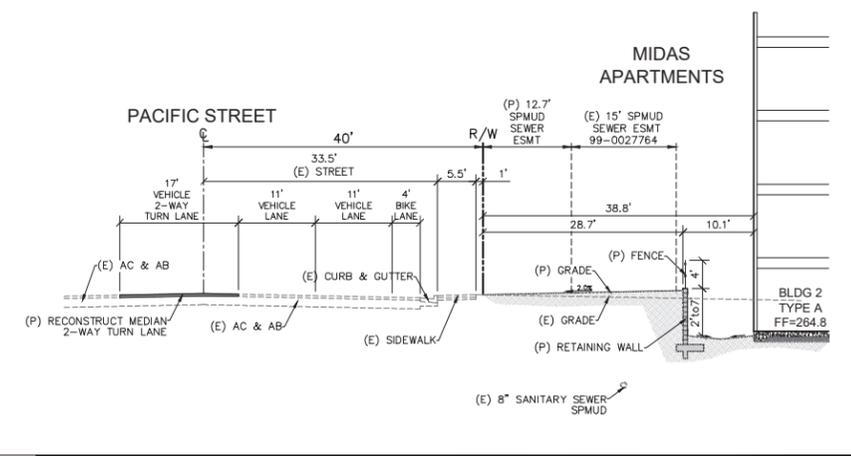
Proposed By: **CEI** CYPRESS EQUITY INVESTMENTS
12121 WILSHIRE BLVD, SUITE 801
LOS ANGELES, CA 90025

WATERFORD
WATERFORD PROPERTY COMPANY
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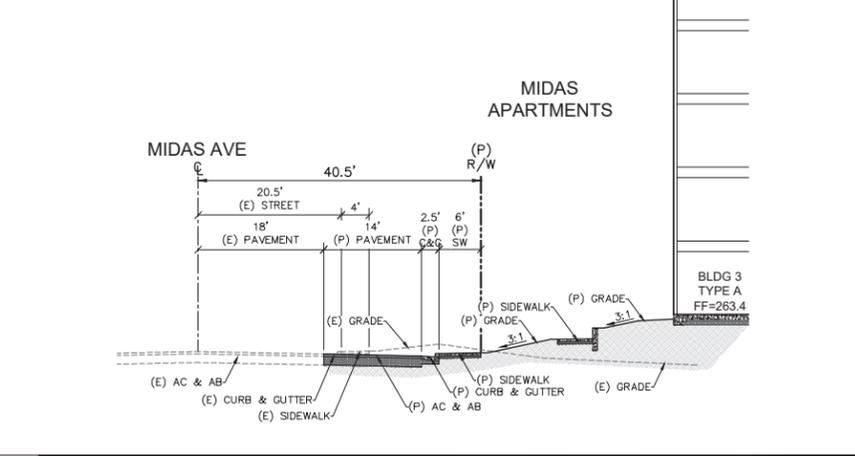
In Association With: **HRGA** ARCHITECT
FUHRMAN LEAMY LAND GROUP LANDSCAPE ARCHITECT

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MARCH 23, 2026

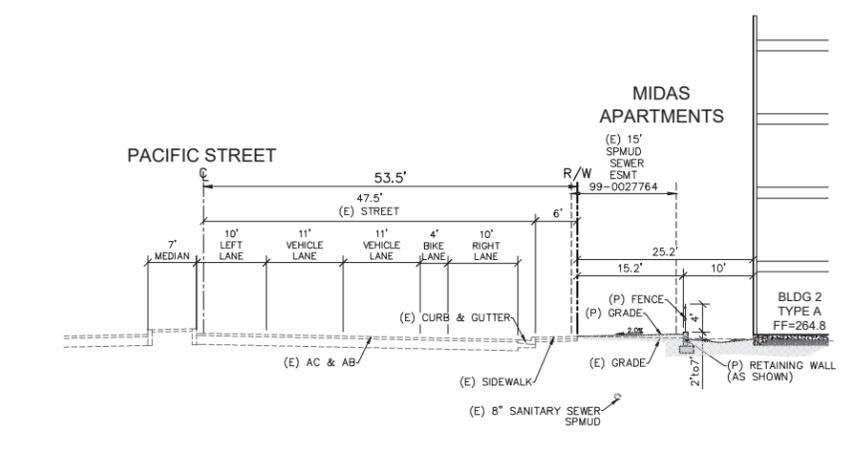
TYPICAL SECTION A/C3.1



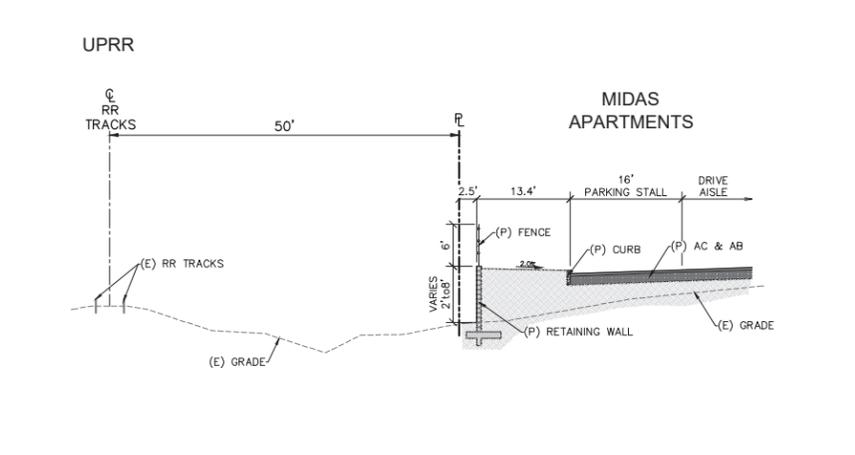
TYPICAL SECTION D/C3.1



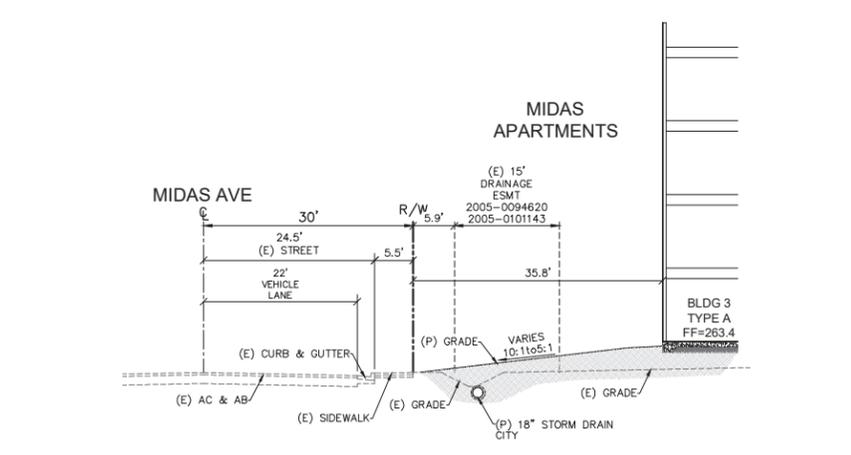
TYPICAL SECTION B/C3.1



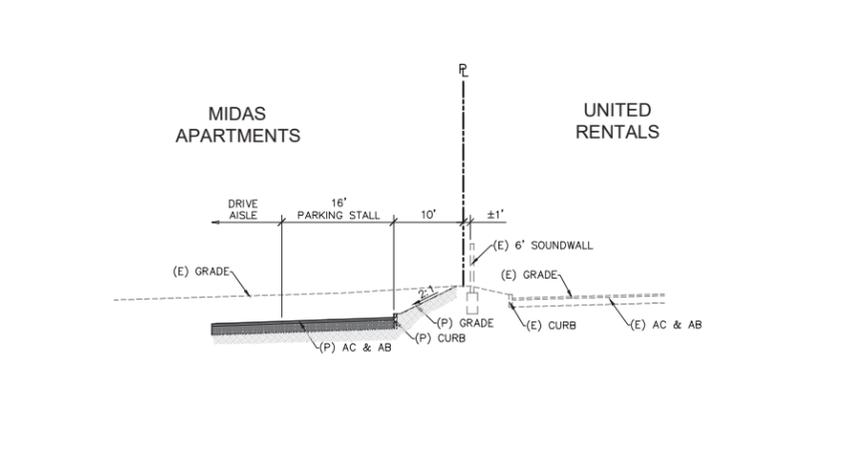
TYPICAL SECTION E/C3.1



TYPICAL SECTION C/C3.1



TYPICAL SECTION F/C3.1



MIDAS APARTMENTS

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CONCEPTUAL GRADING & DRAINAGE SECTIONS C3.1

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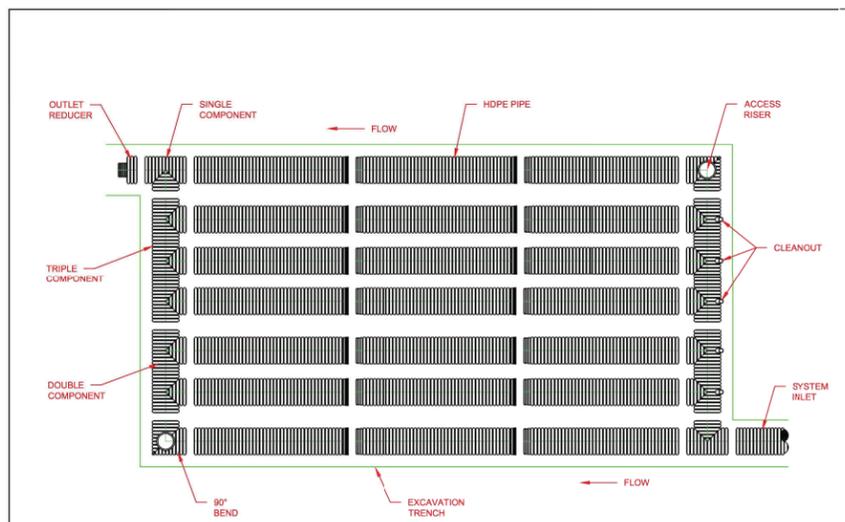
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In Association With:
HRGA
ARCHITECT

FUHRMAN LEAMY LAND GROUP
DESIGN • SERVICE • SOLUTIONS
LANDSCAPE ARCHITECT

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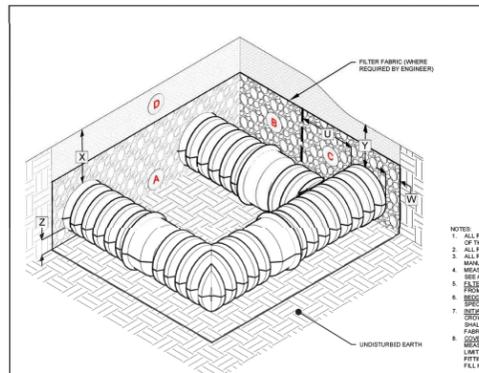
STORMWATER DETENTION FACILITY: ADS



NOTES:
1. FOR INSTALLATION RECOMMENDATIONS, SEE 702 RETENTION-DETENTION SYSTEM (CROSS-SECTION) AND 703 RETENTION-DETENTION SYSTEM (RISER AND CLEANOUTS)

2	GENERAL UPDATES AND RENAMED	TJR	02/19/16		
REV	DESCRIPTION	BY	MMDDYY	CHKD	

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NOMINAL DIAMETER	
12-24"	30-36"
(300-600 mm)	(750-900 mm)
U MIN. FITTINGS EMBEDMENT LIMIT	12" (305 mm)
W TYPICAL SIDE WALL	8-10" (203-254 mm)
X MIN. PIPE COVER DEPTH UNDER NON-TRAFFIC	12" (305 mm)
Y MIN. PIPE COVER DEPTH UNDER TRAFFIC	12" (305 mm)
Z BEDDING DEPTH	4" (102 mm)

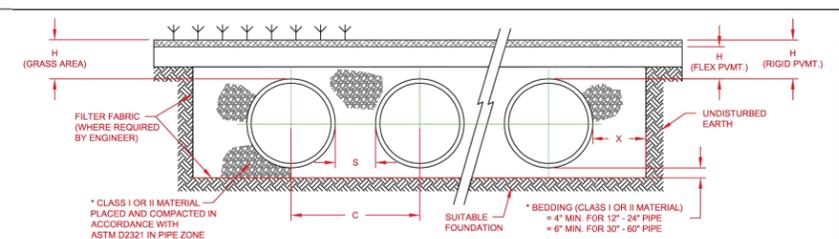
NOTES:
1. ALL REFERENCES TO CLASS I OR II MATERIAL ARE PER ASTM D2321 "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
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3. MEASURES SHOULD BE TAKEN TO PREVENT THE MIGRATION OF NATIVE FINES INTO THE BACKFILL MATERIAL, WHEN REQUIRED. SEE ASTM D2321.
4. FILTER FABRIC: A GEOTEXTILE FABRIC MAY BE USED AS SPECIFIED BY THE ENGINEER TO PREVENT THE MIGRATION OF FINES FROM THE NATIVE SOIL INTO THE SELECT BACKFILL MATERIAL.
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MATERIAL LOCATION	ASTM MATERIAL CLASSIFICATION	AASHTO MATERIAL CLASSIFICATION	COMPACTION / DENSITY REQUIRED
D	NA ¹	NA ¹	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE SPECIFIC MATERIAL AND PREPARATION REQUIREMENTS.
C	CLASS I OR II ²	AASHTO M145 A1, A3 OR AASHTO M43 AS, A6, A56, A57, A67	COMPACT IN MAXIMUM 8" (203 mm) LOOSE LIFTS TO A MINIMUM OF 95% OF MAXIMUM STANDARD PROCTOR DENSITY
B	CLASS I OR II	AASHTO M145 A1, A3 OR AASHTO M43 AS, A6, A56, A57, A67	COMPACT PER THE LATEST EDITION OF ASTM D2321 SPECIFICATIONS
A	CLASS I OR II ²	AASHTO M145 A1, A3 OR AASHTO M43 AS, A6, A56, A57, A67	COMPACT TO 90% STANDARD PROCTOR DENSITY

PLEASE NOTE:
1. MINIMUM PIPE SYSTEMS ARE LIMITED TO ASTM D2321 CLASS I (AASHTO M43 AS OR A6) BACKFILL MATERIALS ONLY.
2. MATERIAL SPECIFICATIONS INCLUDE ANY SOLID ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS, CHECK PLANS FOR PAVEMENT SURFACE REQUIREMENTS.

REV	DESCRIPTION	BY	MMDDYY	CHKD	
2	GENERAL UPDATES AND RENAMED	TJR	02/19/16		

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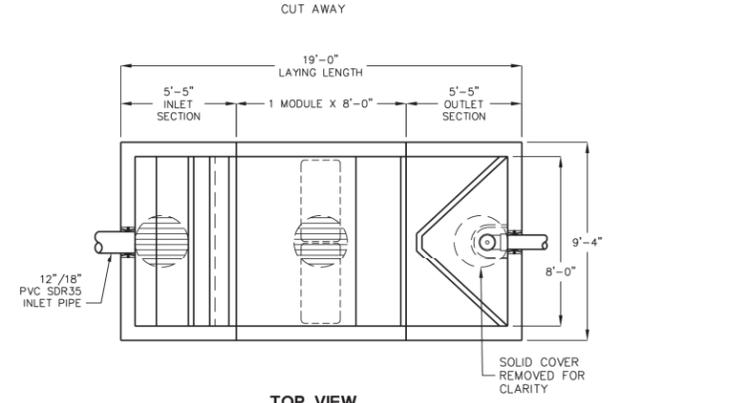
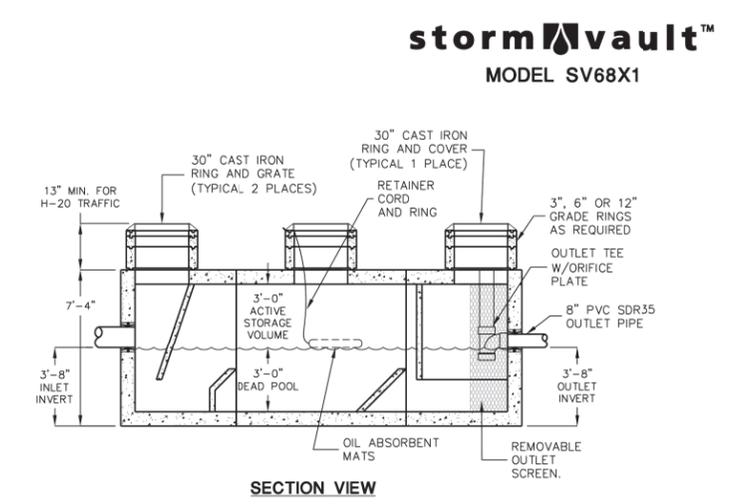
NOMINAL DIAMETER	NOMINAL O.D.	TYPICAL SPACING "S"	NOMINAL SPACING "C"	TYPICAL SIDE WALL "X"	H (NON-TRAFFIC)	H (TRAFFIC)
12"	12.5"	11"	23.5"	8"	12"	12"
18"	18.5"	11"	31.5"	8"	12"	12"
24"	24.5"	14"	38"	8"	12"	12"
30"	30.5"	18"	45"	8"	12"	12"
36"	36.5"	22"	52"	8"	12"	12"
42"	42.5"	26"	59"	8"	12"	12"
48"	48.5"	30"	66"	8"	12"	12"
54"	54.5"	34"	73"	8"	12"	12"
60"	60.5"	38"	80"	8"	12"	12"
66"	66.5"	42"	87"	8"	12"	12"
72"	72.5"	46"	94"	8"	12"	12"
78"	78.5"	50"	101"	8"	12"	12"
84"	84.5"	54"	108"	8"	12"	12"
90"	90.5"	58"	115"	8"	12"	12"
96"	96.5"	62"	122"	8"	12"	12"
102"	102.5"	66"	129"	8"	12"	12"
108"	108.5"	70"	136"	8"	12"	12"
114"	114.5"	74"	143"	8"	12"	12"
120"	120.5"	78"	150"	8"	12"	12"
126"	126.5"	82"	157"	8"	12"	12"
132"	132.5"	86"	164"	8"	12"	12"
138"	138.5"	90"	171"	8"	12"	12"
144"	144.5"	94"	178"	8"	12"	12"
150"	150.5"	98"	185"	8"	12"	12"

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REV	DESCRIPTION	BY	MMDDYY	CHKD	

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STORMWATER QUALITY FACILITY: JENSEN - STORM VAULT



U.S. PATENT NO. 6,350,374
OTHER U.S. AND FOREIGN PATENTS PENDING.

FOR COMPLETE DESIGN AND PRODUCT INFORMATION CONTACT JENSEN PRECAST.
1/15/03
sv68x1.dwg
© 2003 Jensen Precast

COVERS AND RISERS REMOVED
DESIGN LOAD: H-20 TRAFFIC FROM 13" TO 6' SOIL COVER.

NOTE:
ACCESS TO ALL VAULT SECTIONS WILL BE PROVIDED BY 30" MANHOLES UNLESS OTHERWISE SPECIFIED.



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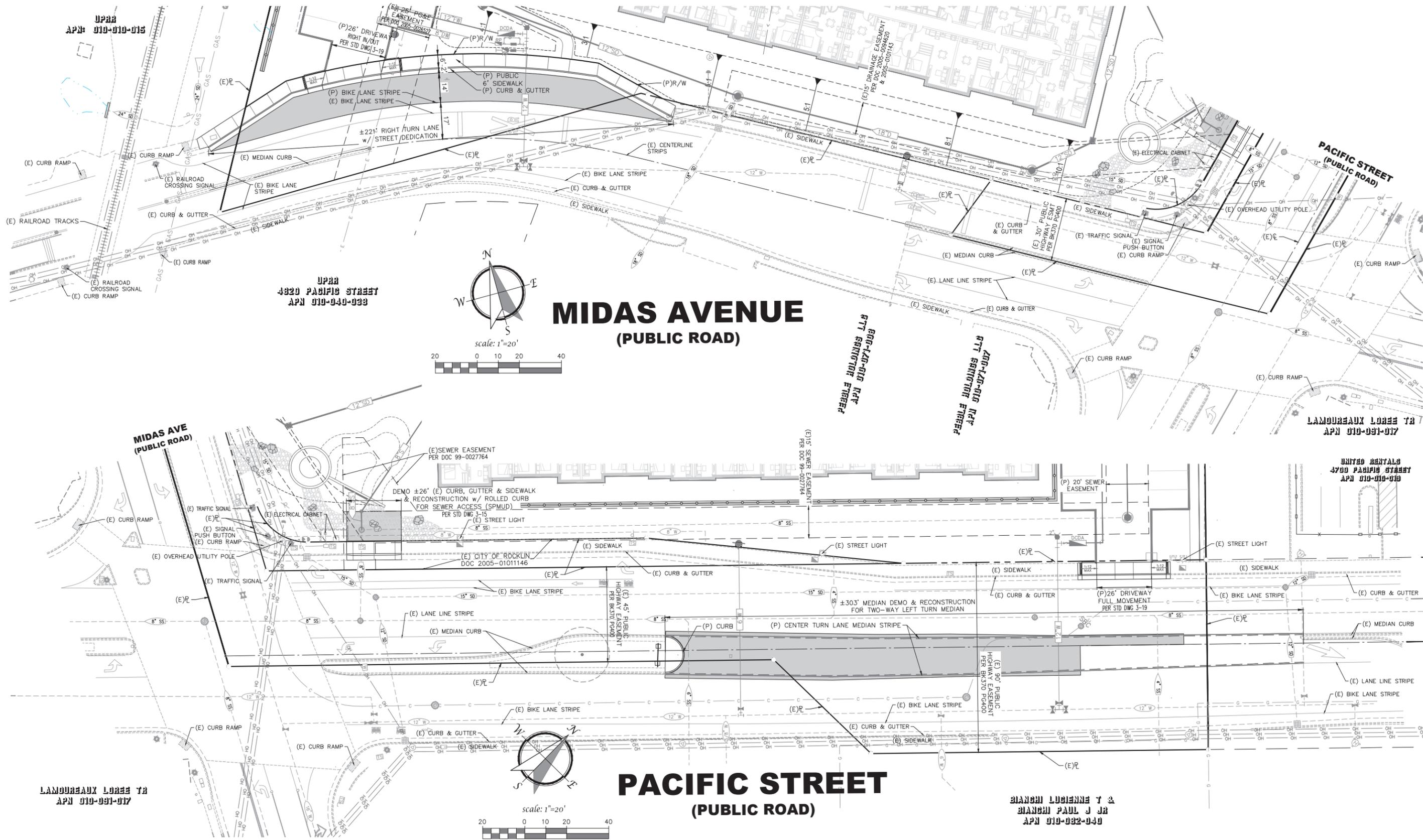
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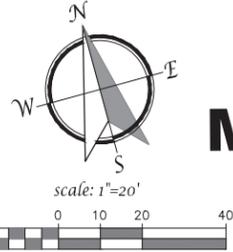
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MARCH 23, 2026



UPRR
APN 010-010-015

UPRR
4320 PACIFIC STREET
APN 010-040-033



MIDAS AVENUE (PUBLIC ROAD)

PACIFIC STREET
(PUBLIC ROAD)

LAMOUREAUX LOREE TR
APN 010-091-017

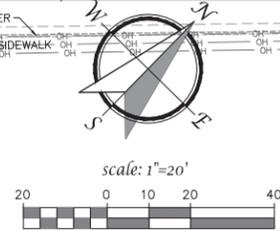
UNITED RENTALS
4700 PACIFIC STREET
APN 010-010-010

MIDAS AVE
(PUBLIC ROAD)

PACIFIC STREET (PUBLIC ROAD)

LAMOUREAUX LOREE TR
APN 010-091-017

DIANNE LUCIENNE T &
SHAWN PAUL J JR
APN 010-032-040



MIDAS APARTMENTS

NWC PACIFIC STREET & MIDAS AVE
ROCKLIN CA 9577

PRELIMINARY FRONTAGE IMPROVEMENTS C4.0

Proposed By:
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LOS ANGELES, CA 90025

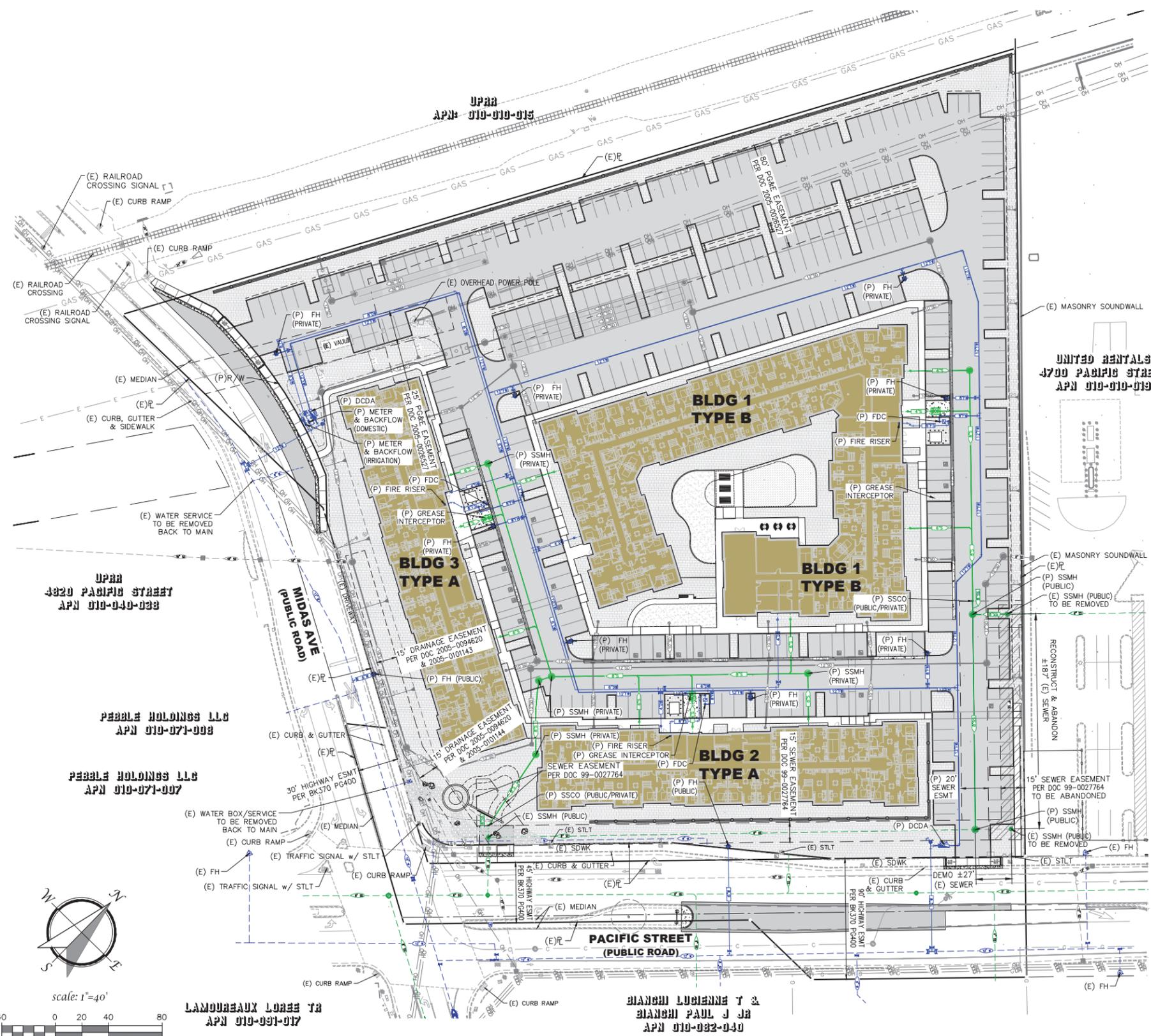
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SEWER & WATER LEGEND		
DESCRIPTION	PROPOSED	EXISTING
SEWER LINE (SPUMID)		
SEWER LINE (PRIVATE)		
SEWER MANHOLE		
SEWER CLEANOUT		
WATER MAIN (PCWA)		
FIRE WATER (PRIVATE)		
DOMESTIC WATER LINE (PRIVATE)		
FIRE SERVICE (PRIVATE)		
FIRE HYDRANT		
FIRE DEPARTMENT CONNECTION		
FIRE WATER BACKFLOW		
METER & BACKFLOW DEVICE		



scale: 1"=40'
 40 0 20 40 80

MIDAS APARTMENTS

NWC PACIFIC STREET & MIDAS AVE
 ROCKLIN CA 9577

PRELIMINARY SEWER & WATER C5

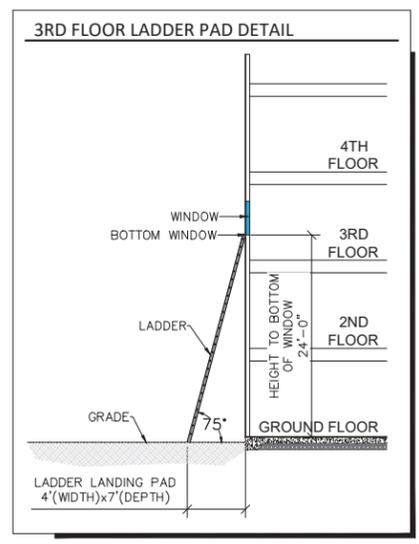
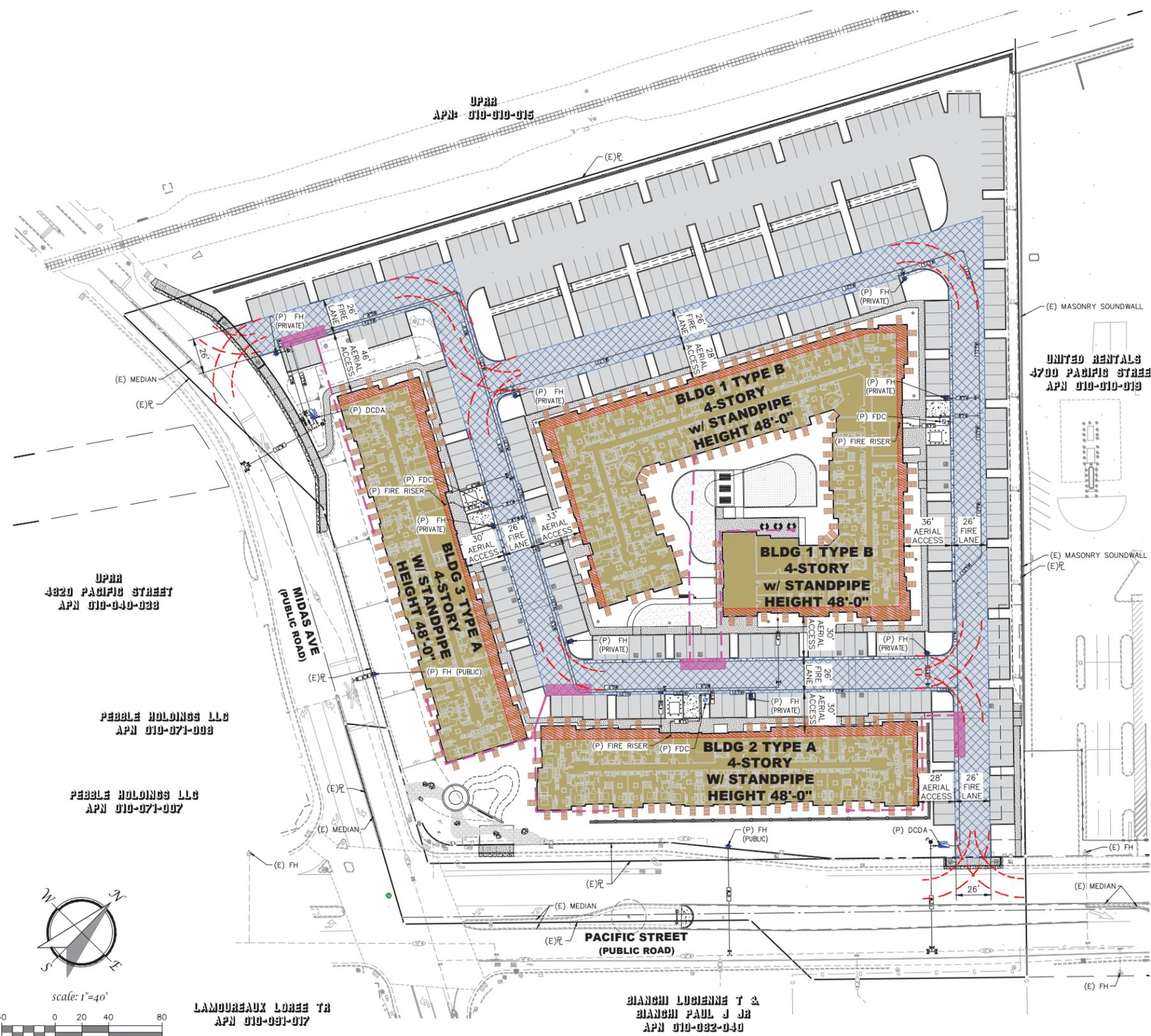
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FIRE & WATER LEGEND

DESCRIPTION	PROPOSED	EXISTING
WATER MAIN (PCWA)		
FIRE WATER (PRIVATE)		
DOMESTIC WATER LINE (PRIVATE)		
FIRE SERVICE (PRIVATE)		
FIRE HYDRANT		
FIRE DEPARTMENT CONNECTION		
FIRE WATER BACKFLOW		
METER & BACKFLOW DEVICE		
FIRE APPARATUS TURN RADIUS		
R-50' OUTSIDE		
R-36' INSIDE		
FIRE LANE WIDTH - 26 FOOT (BLDG 30-FOOT OR HIGHER)		
FIRE SETBACK CFC D105.3 - 15 MIN AND 30' MAX		
GROUND LADDER LANDING TO ACCESS SECOND & THIRD FLOOR RESCUE WINDOWS ACHIEVING A 75-DEGREE CLIMBING ANGLE.		
FIRE LANE		
150' FIRE HOSE REACH		
POSSIBLE FIRE ENGINE APPARATUS STAGING AREA		
AERIAL ACCESS SIDE OF BLDG		

FIRE ACCESS LANE NOTES

AERIAL APPARATUS ACCESS ROADS SHALL COMPLY WITH THE FOLLOWING:

APPENDIX D OF THE 2025 CFC

FIRE APPARATUS ACCESS ROADS SHALL BE CAPABLE OF SUPPORTING AN IMPOSED VEHICLE LOAD OF 75,000 GVW, BE COMPACTED TO 95%, AND BE SURFACED TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES.

ROAD SHALL EXTEND TO WITHIN 150' OF ALL PORTIONS OF THE BUILDING AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR.

THE REQUIRED TURNING RADIUS FOR FIRE APPARATUS ACCESS ROADS IS 36' INSIDE AND 50' OUTSIDE. RADII SHALL BE ILLUSTRATED ON PLANS.

FIRE LANES SHALL BE PAINTED RED AND NO PARKING - FIRE LANE MARKED IN WHITE PAINTED, SPACED EVERY 25 FEET ON CENTER OR NO PARKING - FIRE LANE SIGNS SHALL BE PROVIDED, SPACED EVERY 50 FEET ON-CENTER.

AERIAL APPARATUS ACCESS SHALL BE PROVIDED IN ACCORDANCE 2022 CFC, APPENDIX D, SECTION D105.3. ILLUSTRATE DISTANCES FROM ACCESS ROAD TO ROOF FOR EACH APARTMENT BUILDING.

APPARATUS ACCESS ROADS SHALL NOT EXCEED 10% SLOPE AND SHALL NOT EXCEED A DELTA CHANGE OF 5% OVER 5'.

FIRE CODE SITE/BUILDING ANALYSIS:

BUILDING	GROSS AREA	OCCUPANCY TYPE	CONSTRUCTION TYPE	BUILDING HEIGHT	# OF STORIES
TYPE A	64,740 SF	R2	V-A	55'-6"	4
TYPE B	133,168 SF	R2	V-A	55'-6"	4

BUILDING IS SPRINKLERED. ALL BUILDINGS WILL HAVE A FIRE ALARM SYSTEM. 2025 CBC, 2025 CMC, 2025 CPC, 2022 CEC, 2025 CFC, 2025 CGBSC. AND 2025 CFC

2025 CFC SITE FIRE FLOW REQUIREMENTS:
 APPENDIX B - TABLE B105.1(2) SITE FIRE-FLOW = 6,500 GPM FOR 4 HOURS
 REDUCTION TO 25% OF SITE FIRE FLOW, NO LESS THAN 1,500 = 1,625 GPM FOR 4 HOURS

TABLE C102.1 - NUMBER & DISTRIBUTION OF FIRE HYDRANTS = MINIMUM 1
 TABLE C102.1 - AVERAGE SPACING OF FIRE HYDRANTS = 500 FT.

MIDAS APARTMENTS

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PRELIMINARY FIRE ACCESS PLAN C6

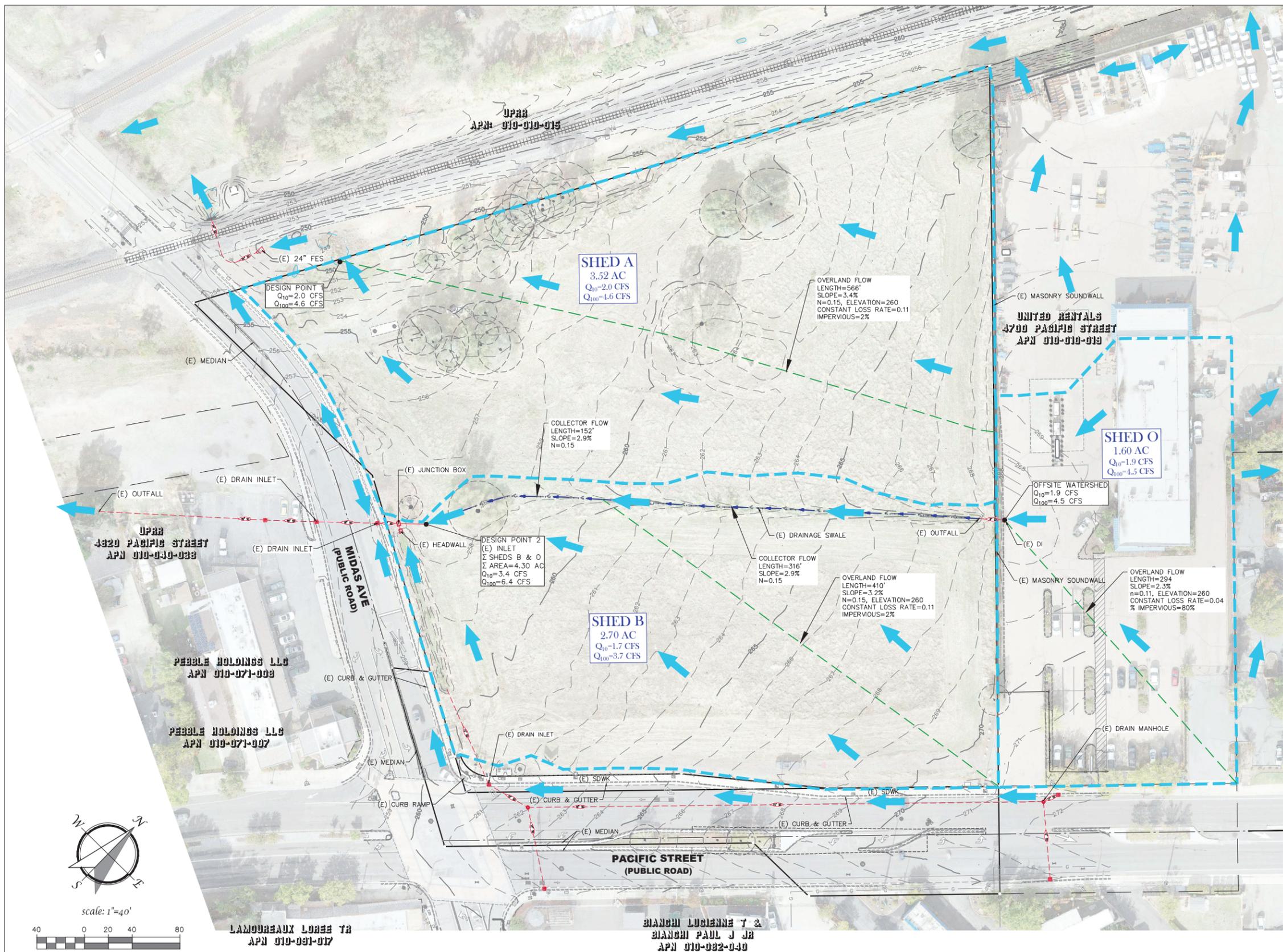
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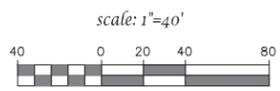
CITY OF ROCKLIN BENCHMARK
CITY OF ROCKLIN STATION
BENCHMARK - R 2-2 (NGVD29): **280.28 FEET**
 BEING A FOUND PK NAIL & WASHER IN THE SOUTH END OF THE CONCRETE HEADWALL ON THE SOUTH SIDE OF SIERRA MEADOWS DRIVE AT SUCKER CREEK, AS SHOWN ON RECORD OF SURVEY NO. 2661, FILED IN BOOK 18 OF SURVEYS, AT PAGE 114, PLACER COUNTY RECORDS.
 (NAVD 88 CONVERSION = NGVD + 2.56 FT)

KEY FEATURES LEGEND:

	EXISTING STORM DRAIN
	PROPOSED STORM DRAIN
	EXIST./PROP. STORM DRAIN MANHOLE
	EXIST./PROP. DRAIN INLET
	SHED BOUNDARY
	OVERLAND FLOW ARROW

PRELIMINARY DRAINAGE CALCULATIONS & ESTIMATES

1. 10-YR & 100-YR STORM PEAK FLOWS ESTIMATED PER COUNTY PLACER STORMWATER MANAGEMENT MANUAL (SWMM)



MIDAS APARTMENTS PRELIMINARY EXISTING SHED MAP C7.0

NWC PACIFIC STREET & MIDAS AVE
 ROCKLIN CA 9577

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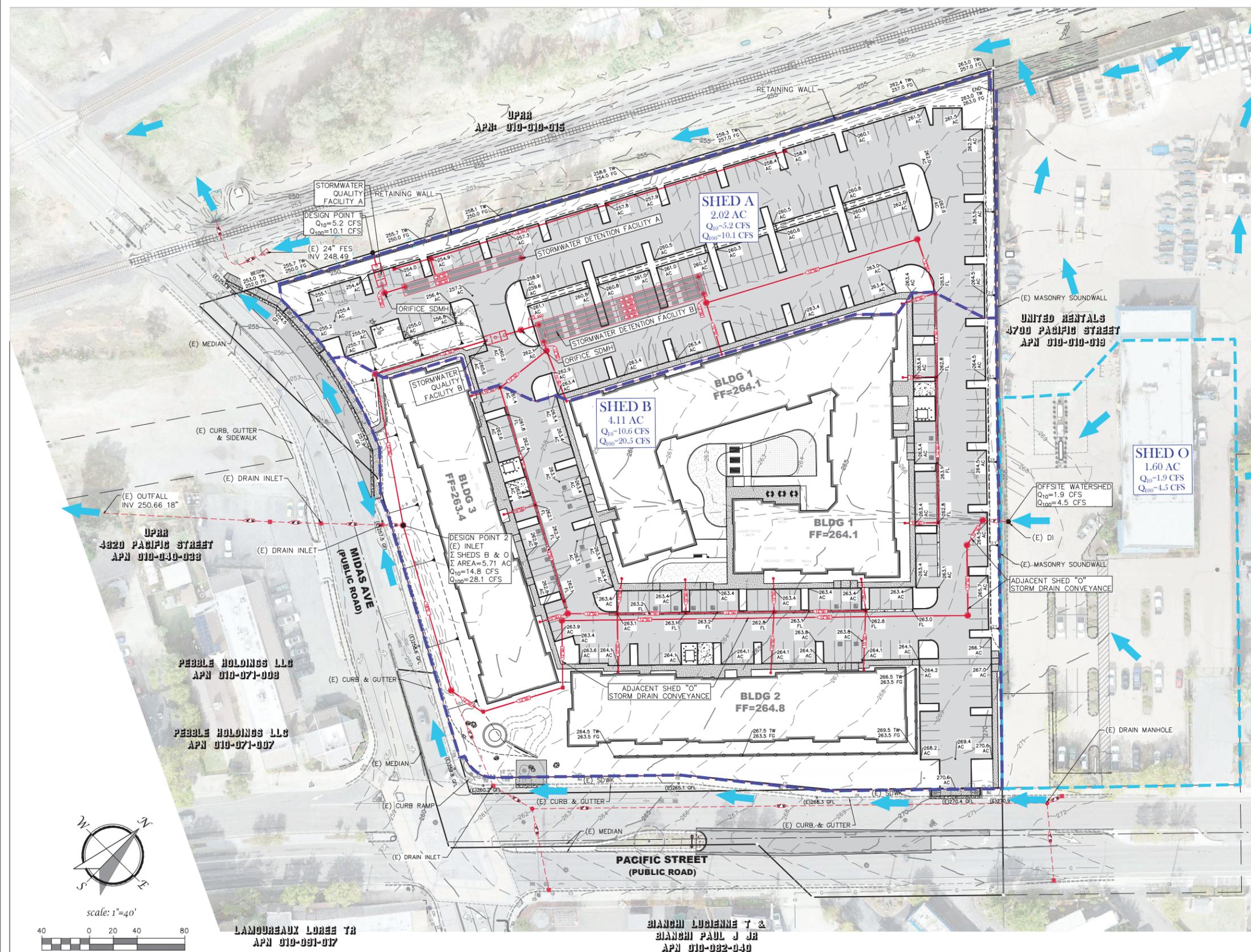
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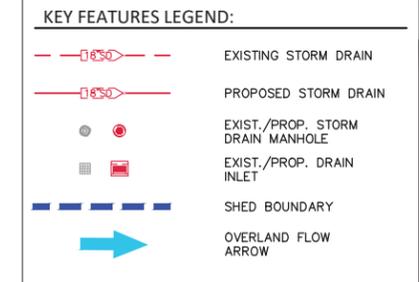
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CITY OF ROCKLIN BENCHMARK
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 (NAVD 88 CONVERSION = NGVD + 2.56 FT)



- STORMWATER REQUIREMENTS**
DESIGN CRITERIA:
- CONVEY RUNOFF GENERATED BY THE 10YR & 100YR STORM EVENT (PER PLACER COUNTY STORMWATER MANAGEMENT MANUAL)
 - STORMWATER QUALITY TREATMENT (PER CITY OF ROCKLIN POST-CONSTRUCTION MANUAL)
 - VAULT-BASED HIGH-FLOWRATE MEDIA FILTERS
 - NON-LID TREATMENT FACILITY
 - PROVIDE ONSITE DRAINAGE DETENTION, TO REDUCE DESIGN FLOWS TO PRE-PROJECT LEVELS
 - UTILIZE UNDERGROUND STORMWATER DETENTION FACILITIES FOR STORAGE
 - ORIFICES AT POC/DESIGN POINTS, SIZED TO LIMIT FLOW TO PRE-PROJECT LEVELS

- PRELIMINARY DRAINAGE CALCULATIONS & ESTIMATES**
1. 10-YR & 100-YR STORM PEAK FLOWS ESTIMATED PER COUNTY PLACER STORMWATER MANAGEMENT MANUAL (SWMM)
 2. THE FOLLOWING HYDROLOGIC PARAMETERS WERE APPLIED TO THE PROPOSED SHEDS:
 - ELEVATION=260
 - CONSTANT LOSS RATE=0.04
 - IMPERVIOUSNESS=80%
 - RESPONSE TIME=5 MINUTES
 3. PRELIMINARY ORIFICE SIZING:

ASSUMPTIONS:

 - HEADWATER ELEVATION=3.0 FT
 - TAILWATER=0 FT
 - DISCHARGE COEFFICIENT=0.61

DP #1

 - EXISTING Q_{100} =4.6 CFS
 - PROPOSED UNMITIGATED Q_{100} =10.1 CFS
 - MITIGATION ORIFICE SIZE=10.0 in

DP #2

 - EXISTING Q_{100} =6.4 CFS
 - PROPOSED UNMITIGATED Q_{100} =28.5 CFS
 - MITIGATION ORIFICE SIZE=11.8 in

MIDAS APARTMENTS PRELIMINARY DEVELOPED SHED MAP C7.1

NWC PACIFIC STREET & MIDAS AVE
 ROCKLIN CA 9577

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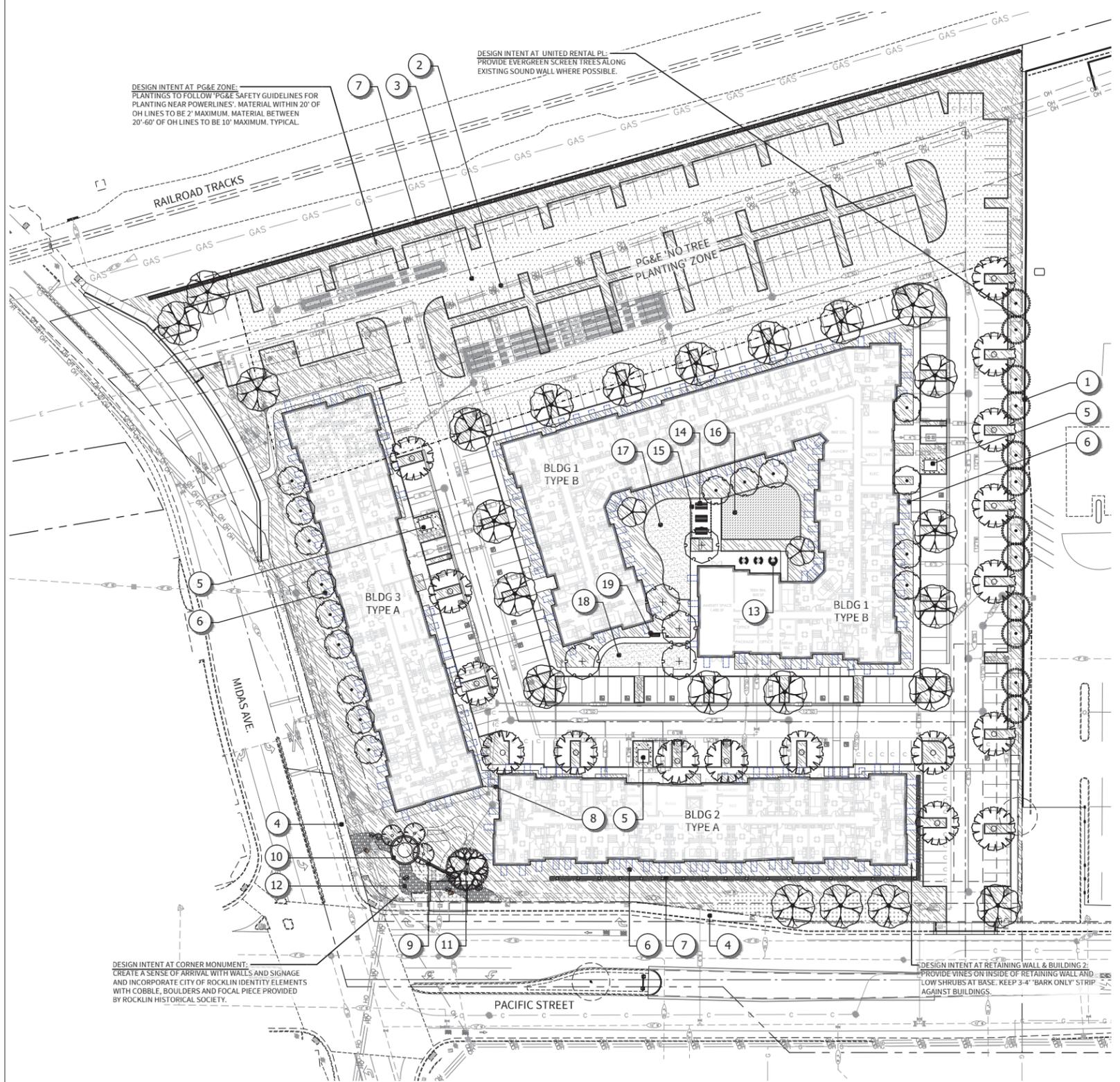
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TREE SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	SIZE	WATER USE	QTY.
	ACER RUBRUM 'REDPOINTE' REDPOINTE MAPLE (40'X20')	15 GAL.	MOD	16
	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY RED MAPLE (40'X35')	15 GAL.	MOD	23
	CHIONANTHUS RETUSUS CHINESE FRINGE TREE (20'X15')	15 GAL.	MOD	2
	COTINUS COGGYGRIA 'ROYAL PURPLE' ROYAL PURPLE SMOKE TREE (15'X15')	15 GAL.	LOW	3
	PODOCARPUS GRACILIOR FERN PINE (40'X20')	15 GAL.	MOD	12
	QUERCUS PHELLOS WILLOW OAK (50'X40')	60" BOX	LOW	1
	TILIA CORDATA 'GREENSPIRE' GREENSPIRE LINDEN (40'X25')	15 GAL.	MOD	5
	ULMUS PARVIFOLIA 'DRAKE' DRAKE LACEBARK ELM (50'X35')	15 GAL.	MOD	17

CONCEPT PLANT SCHEDULE

SHRUB AREA

SYMBOL	BOTANICAL / COMMON NAME	SIZE
	CISTUS X SKANBERGII / CORAL ROCKROSE (3'X6')	5 GAL.
	EPILOBIUM CANUM / CALIFORNIA FUCHSIA (18"X3')	5 GAL.
	GREVILLEA X 'NOELLII' / NOEL GREVILLEA (4'X5')	5 GAL.
	RHAMNUS CALIFORNICA 'MOUND SAN BRUNO' / CALIFORNIA COFFEEBERRY (5'X8')	5 GAL.
	RHAPHIOLEPIS UMBELLATA 'MINOR' / DWARF YEDDA HAWTHORNE (4'X4')	5 GAL.
	CALLISTEMON VIMINALIS 'LITTLE JOHN' / LITTLE JOHN WEEPING BOTTLEBRUSH (3'X3')	5 GAL.
	CISTUS X PURPUREUS / ORCHID ROCKROSE (4'X4')	5 GAL.
	DIANELLA TASMANICA 'VARIEGATA' / VARIEGATED FLAX LILY (4'X3')	5 GAL.
	DIETES BICOLOR / FORTNIGHT LILY (3'X3')	5 GAL.
	LAURUS NOBILIS 'MONRIK' / LITTLE RAGU SWEET BAY (5'X7')	5 GAL.
	LEYMUS CONDENSATUS 'CANYON PRINCE' / CANYON PRINCE GIANT WILD RYE (3'X3')	5 GAL.
	LOMANDRA LONGIFOLIA PLATINUM BEAUTY / PLATINUM BEAUTY LOMANDRA (3'X3')	5 GAL.
	MUHLENBERGIA RIGENS / DEER GRASS (4'X4')	5 GAL.
	PRUNUS CAROLINIANA 'MONUS' TM / BRIGHT 'N TIGHT LAUREL CHERRY (8'X6')	5 GAL.
	RHAPHIOLEPIS INDICA 'PINK DANCER' / PINK DANCER INDIAN HAWTHORN (2'X4')	5 GAL.

GROUND COVER AREA

	ACACIA REDOLENS 'LOW BOY' / LOW BOY PROSTRATE ACACIA (2'X8')	1 GAL.
	BACCHARIS PILULARIS 'PIGEON POINT' / PIGEON POINT COYOTE BRUSH (2'X8')	1 GAL.
	CEANOETHUS G. H. 'DIAMOND HEIGHTS' / DIAMOND HEIGHTS CARMEL CREEPER (12"X5')	1 GAL.
	COPROSMA KIRKII 'VERDE VISTA' / VERDE VISTA CREEPING COPROSMAT (3'X6')	1 GAL.
	COTONEASTER DAMMERI 'LOWFAST' / LOWFAST BEARBERRY COTONEASTER (8"X6')	1 GAL.
	LANTANA MONTEVIDENSIS / PURPLE TRAILING LANTANA (2'X4')	1 GAL.
	TEUCRIUM X LUCIDRYS PROSTRATUM / GERMANDER (6"X3')	1 GAL.
	DIANELLA REVOLUTA 'DTN03' / BABY BLISS FLAX LILY (12"X12")	1 GAL.
	MYOPORUM PARVIFOLIUM 'WHITE' / WHITE TRAILING MYOPORUM (6"X6')	1 GAL.
	NEPETA X FASSENII 'LIMELIGHT' / LIMELIGHT CATMINT (8"X2')	1 GAL.
	WESTRINGIA FRUTICOSA 'MUNDI' / LOW COAST ROSEMARY (18"X5')	1 GAL.

TURF

	TURF SOD 90/10 TALL FESCUE / FESCUE BLEND
	TURF SOD MOW FREE / DROUGHT TOLERANT FESCUE BLEND

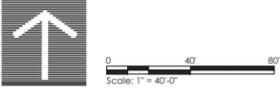
TOTAL SITE AREA:	308,840 SF
TOTAL LANDSCAPE AREA:	72,485 SF (23%)

REFERENCE NOTES

- | CODE | DESCRIPTION |
|------|--|
| 1 | EXISTING WALL TO REMAIN. VERIFY IN FIELD. |
| 2 | EXISTING OVERHEAD POWERLINES TO REMAIN. VERIFY IN FIELD. |
| 3 | EXISTING PG&E OVERHEAD POWERLINE "NO TREE PLANTING" ZONE. |
| 4 | EXISTING CONCRETE SIDEWALK TO REMAIN. VERIFY IN FIELD. |
| 5 | PROPOSED TRANSFORMER. SEE CIVIL PLANS. |
| 6 | PROPOSED LADDER PADS. SEE FIRE ACCESS PLAN. |
| 7 | PROPOSED RETAINING WALL WITH OPEN METAL FENCE. SEE CIVIL PLANS. |
| 8 | PROPOSED 42" HIGH OPEN METAL FENCE. |
| 9 | PROPOSED CORNER MONUMENT SIGN WALL WITH MOUNDED PLANTING. |
| 10 | PROPOSED 24" RAISED PLANTER WITH CENTER CONCRETE PAD FOR "FOCAL POINT" EQUIPMENT FROM THE ROCKLIN HISTORICAL SOCIETY. EQUIPMENT TBD. |
| 11 | PROPOSED SPECIMEN OAK TREE. |
| 12 | PROPOSED COBBLE AND BOULDERS. BOULDERS TO BE SALVAGED AND RETAINED ON SITE DURING CONSTRUCTION. |
| 13 | PROPOSED CONCRETE PATIO WITH ROUND PICNIC TABLES (BY OWNER). |
| 14 | PROPOSED CONCRETE PATIO WITH RECTANGULAR PICNIC TABLES (BY OWNER). |
| 15 | PROPOSED PERGOLA SHADE STRUCTURE (BY OWNER). |
| 16 | PROPOSED 2-12 PLAY AREA WITH ENGINEERED FIBAR. |
| 17 | PROPOSED OPEN TURF AREA. |
| 18 | PROPOSED PET RELIEF AREA WITH TURF AND CONCRETE WALK. |
| 19 | PROPOSED BENCH WITH ADJACENT ADA PAD. |

PRELIMINARY LANDSCAPE DESIGN NOTES

- ALL LANDSCAPE AREAS SHALL BE IRRIGATED USING AN AUTOMATIC IRRIGATION SYSTEM THAT WILL BE COMPLIANT WITH THE STATE WATER EFFICIENT LANDSCAPE ORDINANCE.
- ALL ON-SITE TREES TO BE REMOVED. SEE CIVIL PLANS AND ARBORIST REPORT.
- TREE PLANTING LOCATIONS, INCLUDING WELLS, ISLANDS, PARKWAYS, MEDIANS, ETC. SHALL PROVIDE ADEQUATE UNCOMPACTED SOIL AREA AMENABLE TO ROOT GROWTH. THE DEPTH OF SUITABLE SOIL SHALL BE A MINIMUM OF 24 INCHES AND A MAXIMUM OF 36 INCHES UNLESS OTHERWISE APPROVED.
- ALL LANDSCAPE AREAS SHALL RECEIVE A 3" LAYER OF BARK MULCH TOP DRESSING.
- GROUND COVERS SHALL NOT BE INSTALLED WITHIN A 4' RADIUS OF A TREE TRUNK.
- SHRUBS SHALL BE PLANTED SO AS NOT TO BLOCK FIRST-STORY WINDOWS.
- SHRUBS & TREES SHALL BE COORDINATED WITH LADDER PAD LOCATIONS.
- SCREEN PLANTING TO BE PROVIDED ALONG RAILROAD PROPERTY LINE.
- ALL GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED USING EVERGREEN PLANT MATERIAL.
- FINAL TREE PLACEMENTS TO BE CONFIRMED SO AS NOT TO BLOCK BUILDING ADDRESSES.
- OWNER WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL PLANT MATERIAL AND THE IRRIGATION SYSTEM.



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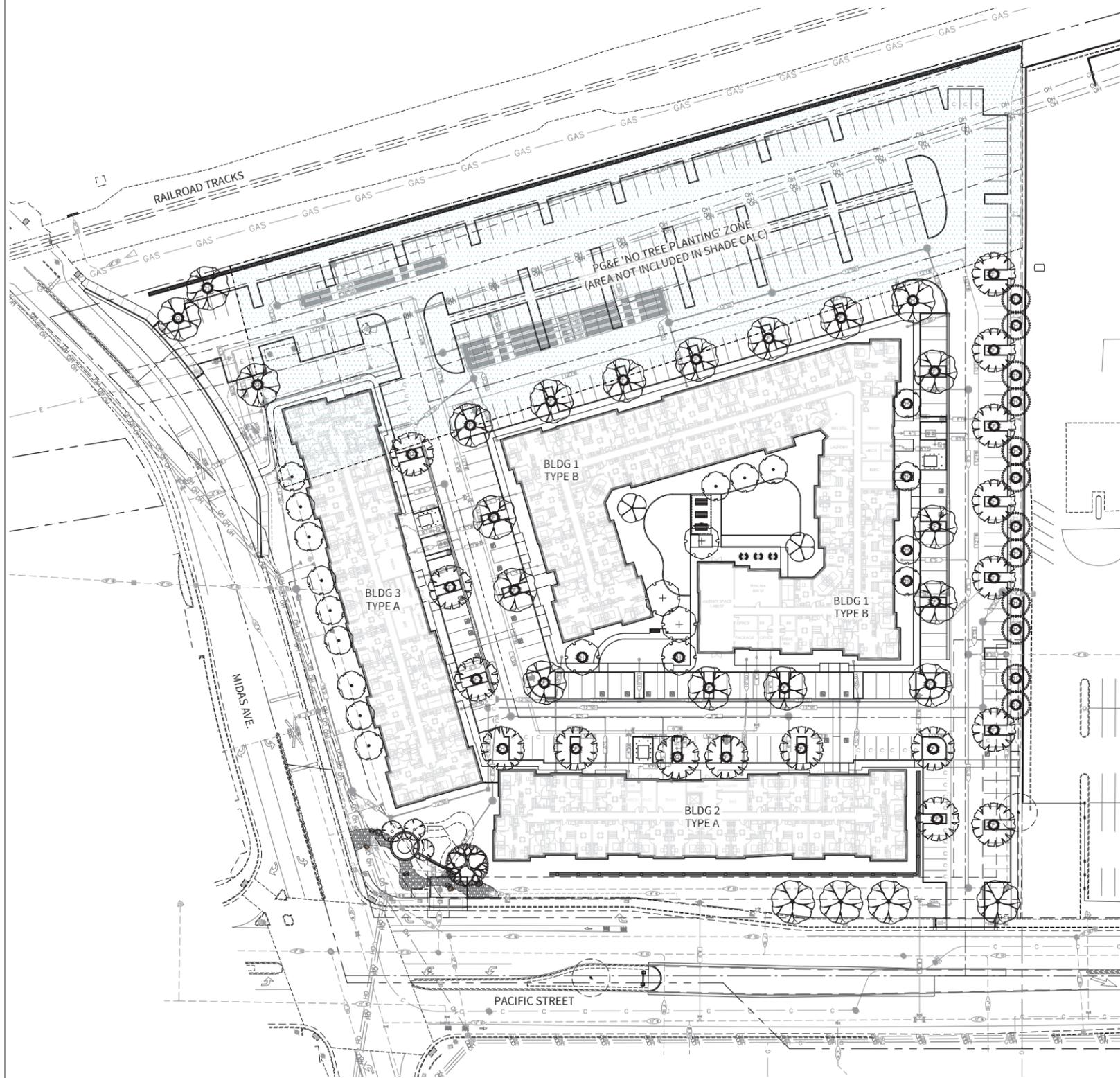
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SHADE CALCULATIONS

TOTAL PAVED AREA: 48,398 S.F.

NOTE: DOES NOT INCLUDE PG&E TREE/PLANTING CLEARANCE AREA

TOTAL SHADE REQUIRED (50%): 24,199 S.F.

TOTAL SHADE PROVIDED (72.2%): 34,945 S.F.

DIA.	QTY.	S.F.	TOTAL S.F.
30 - 35' TREES (ACER, ULMUS)			
100%	29	962	27,898
75%	0	722	0
50%	3	481	1,443
25%	4	240	960
25 - 30' TREES (TILIA)			
100%	0	706	0
75%	0	530	0
50%	2	354	708
25%	0	177	0
20 - 25' TREES (ACER, PODOCARPUS)			
100%	0	491	0
75%	0	368	0
50%	16	246	3,936
25%	0	123	0
TOTAL SHADE PROVIDED BY TREES:			34,945 S.F.

MAWA & ETWU CALCULATIONS

Maximum Allowed Water Allowance & Estimated Total Water Use

PROJECT NAME: MIDAS APARTMENTS
 PROJECT LOCATION: ROCKLIN, CA
 COUNTY: Placer
 CITY/NEAREST CITY: Rocklin
 YEARLY ETO: 55.2

MAWA = (ETO) (0.62) [(0.45 x LA) + (0.15 x SLA)]

ETO Per Year	Conversion Factor	ET Adjustment Factor	Total Landscape Area (S.F.)	SLA ET Adjustment Factor	Special Landscape Area (S.F.)	
55.2	0.62	0.45	71,555	0.55	2,580	
					MAWA: Gallons/Year	1,150,568

1. Total Landscape Area should include square footage of the Special Landscape Area (SLA).
 4. Special Landscape Area (SLA) means an area of the landscape dedicated solely to edible plants, areas irrigated with recycled water, water features (preferably using recycled water), and areas dedicated to active play such as parks, sports fields, golf courses, and where turf provides a playing surface.

ETWU = (ETO) (0.62) [(HA x Ks/IE) + SLA]

HYDROZONE	ETO Per Year	Conversion Factor (S.F. to Gal)	Hydrozone Area (S.F.)	Plant Species Factor (Ks)	Irrigation Efficiency (IE)	Special Landscape Area (S.F.)	ETWU (Gal/Yr)	
Shrubs - Low	55.2	0.62	69665	0.3	0.81		832340	
Trees - Med	55.2	0.62	760	0.5	0.81		16056	
No Mow Turf - Med	55.2	0.62	2550	0.5	0.81		53871	
Turf - High	55.2	0.62		0.8	0.75	2580	88298	
							ETWU: Gallons/Year	990,565

1. Hydrozone Area should NOT include square footage of the Special Landscape Area (SLA).
 2. All temporary irrigated areas shall be considered Low water use and water features shall be considered High water use.
 3. IE: .81 BUBBLERS/DRIP, .75 STREAM/SPRAY/ROTER
 4. Special Landscape Area (SLA) means an area of the landscape dedicated solely to edible plants, areas irrigated with recycled water, water features (preferably using recycled water), and areas dedicated to active play such as parks, sports fields, golf courses, and where turf provides a playing surface.



MIDAS APARTMENTS

NWC PACIFIC STREET & MIDAS AVE
 ROCKLIN CA 9577

PRELIMINARY LANDSCAPE PLAN: CALCULATIONS PL2

Proposed By: **CEI**
 CYPRESS EQUITY INVESTMENTS
 CYPRESS EQUITY INVESTMENTS
 12121 WILSHIRE BLVD, SUITE 801
 LOS ANGELES, CA 90025

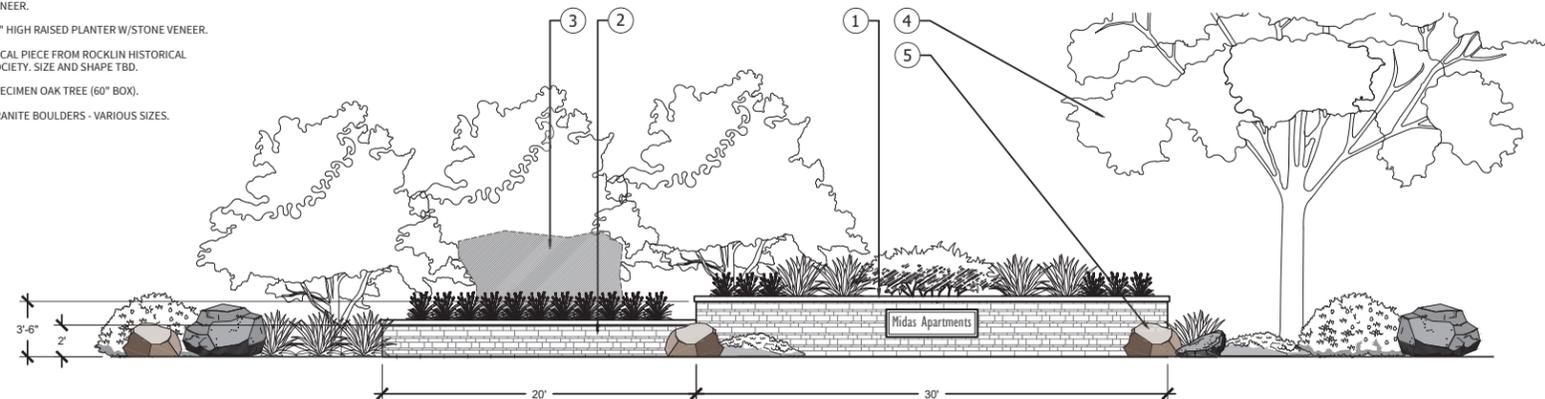
WATERFORD
 WATERFORD PROPERTY COMPANY
 100 BAYVIEW CIRCLE, SUITE 4500
 NEWPORT BEACH, CA 95660

In Association With: **HRGA**
 ARCHITECT

FUHRMAN LEAMY LAND GROUP
 DESIGN • SERVICE • SOLUTIONS
 LANDSCAPE ARCHITECT

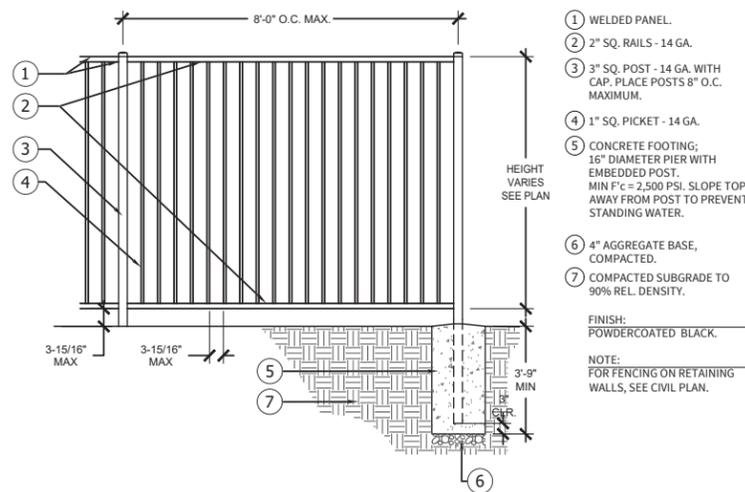
TSD ENGINEERING, INC.
 expect more.
 785 Orchard Drive, Suite #110
 Folsom, CA 95630
 Phone: (916) 608-0707
 Fax: (916) 608-0701

- ① 42" HIGH SIGN WALL, RETAINING, W/STONE VENEER.
- ② 24" HIGH RAISED PLANTER W/STONE VENEER.
- ③ FOCAL PIECE FROM ROCKLIN HISTORICAL SOCIETY. SIZE AND SHAPE TBD.
- ④ SPECIMEN OAK TREE (60" BOX).
- ⑤ GRANITE BOULDERS - VARIOUS SIZES.



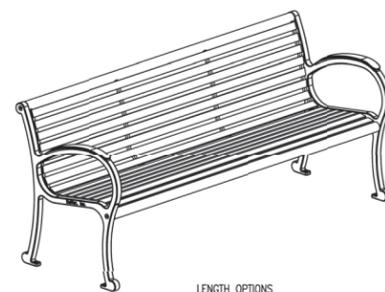
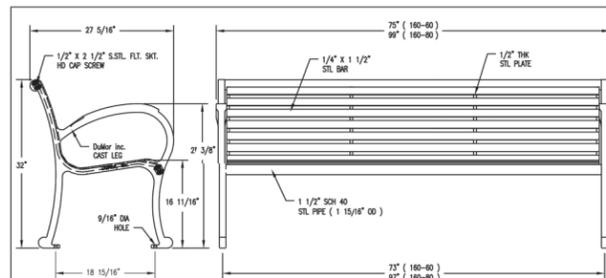
A CORNER MONUMENT
3/16" = 1'-0"

R-25054-02



B TUBULAR METAL FENCE
1/2" = 1'-0"

R-25054-29

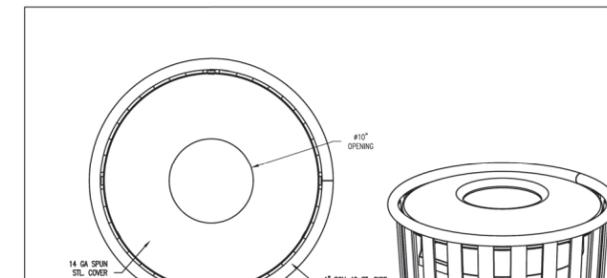


LENGTH OPTIONS
 6' BENCH
 8' BENCH

- NOTES:
- 1.) ALL STL. MEMBERS COATED W/ ZINC RICH COATING THEN POLYESTER POWDER COATED.
 - 2.) BENCH IS SHIPPED UNASSEMBLED.
 - 3.) 1/2" X 3 3/4" EXPANSION ANCHOR BOLTS PROVIDED.

 DuMor, inc. P.O. Box 142 Mifflintown, PA 17059-0142	SCALE: NONE	TITLE: BENCH	SHEET 1 OF 2
	DATE DRAWN: 7/2/03	REV. DRAWING NUMBER: 160 SERIES	
	DRAWN BY: J.SB	REV. BY: AMH	
	DATE REV.: 3/20/07		

C BENCH
N.T.S.



- NOTES:
- 1.) ALL STL. MEMBERS COATED W/ ZINC RICH EPOXY THEN FINISHED W/ POLYESTER POWDER COATING.
 - 2.) 1/2" X 3 3/4" EXPANSION ANCHOR BOLTS PROVIDED.
 - 3.) ALL WELDS CONT. THEN GROUND SMOOTH.
 - 4.) RECEPTACLE FULLY ASSEMBLED AT FACTORY.

 DuMor, inc. P.O. Box 142 Mifflintown, PA 17059-0142	SCALE: NONE	TITLE: RECEPTACLE	SHEET 1 OF 2
	DATE DRAWN: 05/16/11	REV. DRAWING NUMBER: 432-32-FTO	
	DRAWN BY: REB	REV. BY: J.SB	
	DATE REV.: 12/14/12		

D TRASH RECEPTACLE
N.T.S.

MIDAS APARTMENTS

NWC PACIFIC STREET & MIDAS AVE
ROCKLIN CA 9577

PRELIMINARY LANDSCAPE PLAN: DETAILS PL3

Proposed By: **CEI**
 CYPRESS EQUITY INVESTMENTS
 CYPRESS EQUITY INVESTMENTS
 12121 WILSHIRE BLVD, SUITE 801
 LOS ANGELES, CA 90025

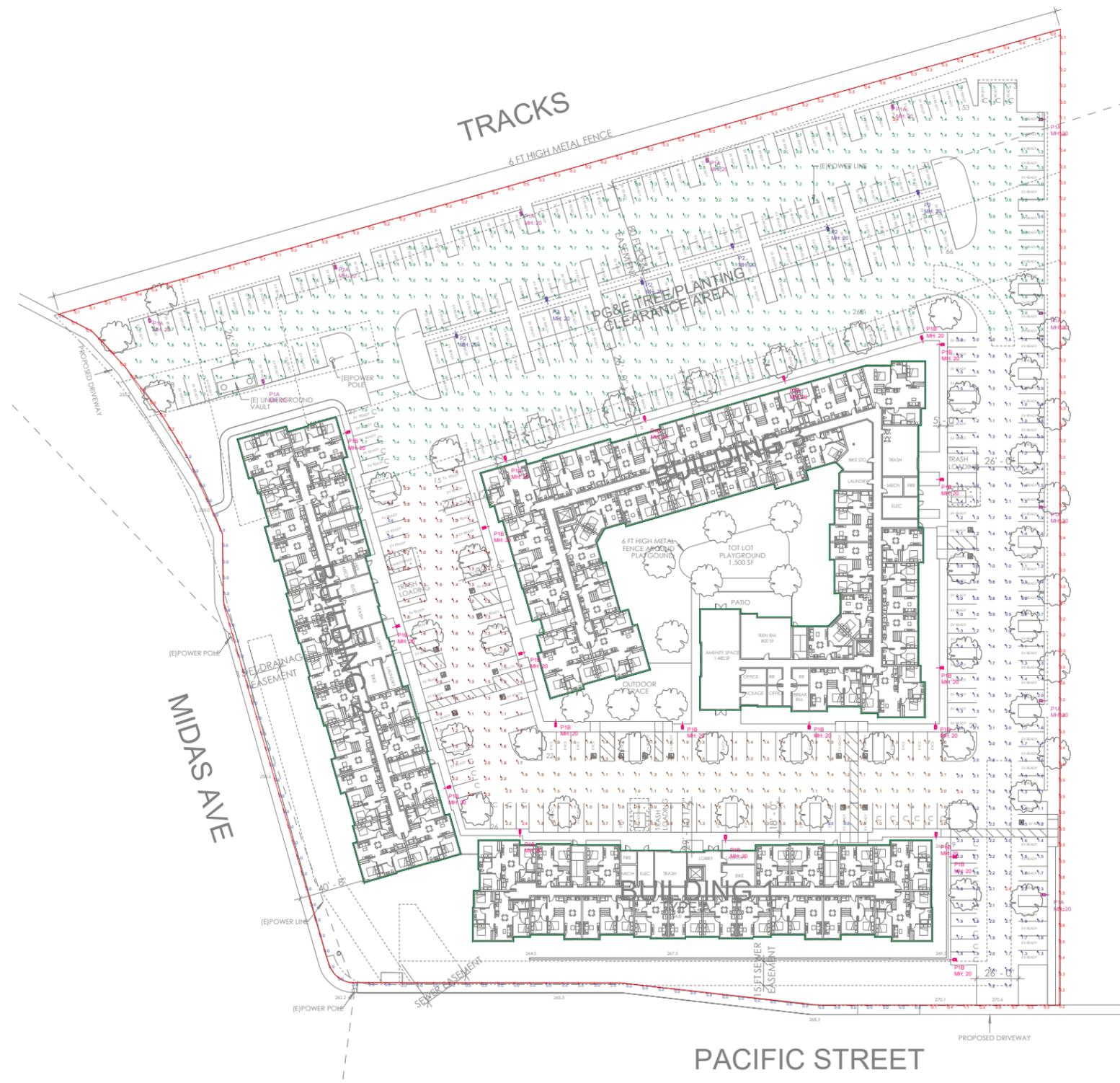
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 WATERFORD PROPERTY COMPANY
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 NEWPORT BEACH, CA 95660

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MARCH 23, 2026

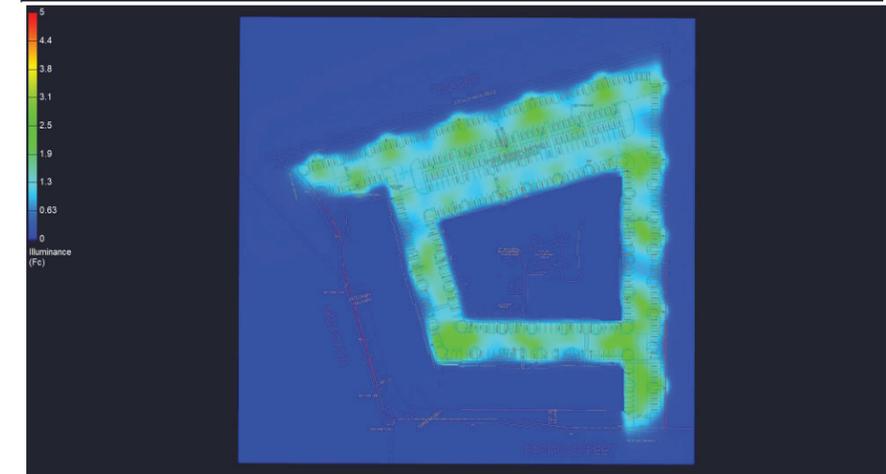
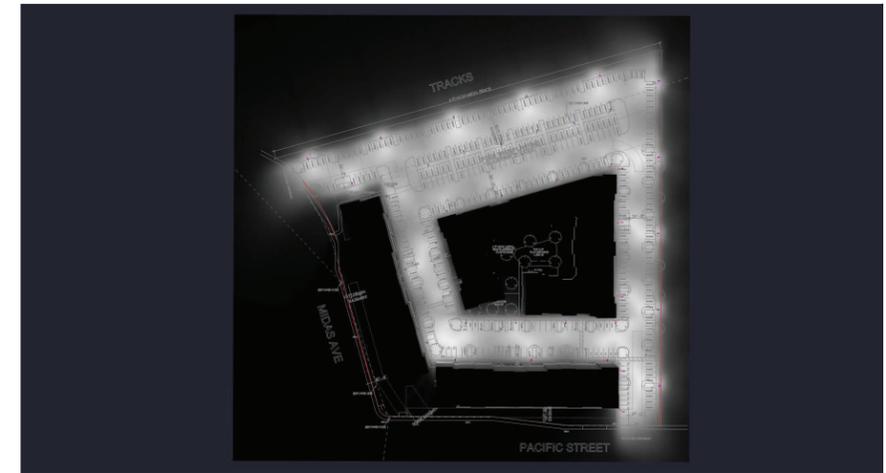
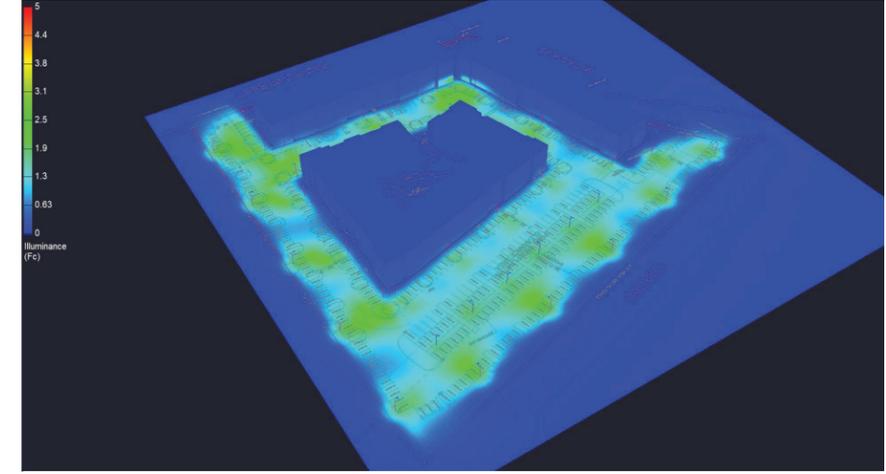
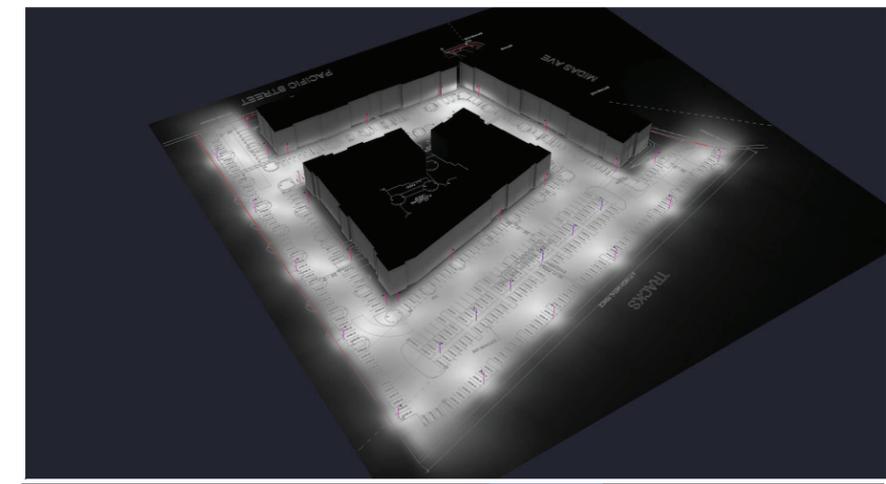


PHOTOMETRIC PLAN VIEW
Scale: 1 inch= 30 Ft.

Luminaire Schedule		Qty	Label	[MANUFAC]	Description	Mounting Height	LLF	LLD	LDD	BF	Luminaire Lumens	Luminaire Watts	Arrangement Watts	Arrangement Luminaire Lumens	BUG Rating	Max UGR
□	P1A	11	P1A	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-PATA-740-U-T4W	20	0.900	1.000	1.000	1.000	7484	54	54	7484	B2-U0-G2	38.5
□	P1B	21	P1B	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-PATA-740-U-T4W-HSS	20	0.900	1.000	1.000	1.000	5420	54	54	5420	B1-U0-G2	38.9
□	P2	6	P2	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-PATA-740-U-SWQ	20	0.900	1.000	1.000	1.000	7831	54	54	7831	B3-U0-G2	37.6

Calculation Summary		CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Label		ILLUMINANCE	Fc	0.27	1.5	0.0	N.A.	N.A.
100 PERIMETER AT FLOOR		ILLUMINANCE	Fc	1.35	2.4	0.6	2.25	4.00
101 NORTH PARKING LOT AT FLOOR		ILLUMINANCE	Fc	1.53	2.4	0.7	2.19	3.43
102 EAST PARKING LOT AT FLOOR		ILLUMINANCE	Fc	1.37	2.4	0.6	2.28	4.00
103 WEST PARKING LOT AT FLOOR		ILLUMINANCE	Fc	1.39	2.4	0.6	2.32	4.00
104 SOUTH PARKING LOT AT FLOOR		ILLUMINANCE	Fc					

All values shown are maintained horizontal footcandle at grade level.
The lighting calculations provided in this report approximate the light levels expected within the space as defined and are based on the information provided to Cal Lighting. Please verify the data to assure the accuracy of the report. Cal Lighting is not responsible for light output of lamps and ballasts, or design variables.



#	Date	Comments

Application Designer: AK
 Designer: Cynthia Ullrich
 Date: 03/02/2026
 Title: EXTERIOR PHOTOMETRIC PLAN