



# City of Rocklin

Planning Division  
3970 Rocklin Road  
Rocklin, California 95677  
Phone (916) 625-5160 FAX (916) 625-5195

## UNIVERSAL APPLICATION FORM

**NAME OF PROJECT:** WHITNEY RANCH - UNIT 1

**LOCATION:** NORTHWEST CORNER OF WILDCAT BOULEVARD & BRIDLEWOOD DRIVE

**ASSESSOR'S PARCEL NUMBERS:** 017-171-030

**DATE OF APPLICATION (STAFF):** 10/14/22 **RECEIVED BY (STAFF INITIALS):** NRA

**FILE NUMBERS (STAFF):** SD 2022-0002; GPA 2022-0004; PDG 2022-0004; Z 2022-0001; DR 2022-0015; DA-2001-01H **FEES:** \$17,293

**RECEIPT NO.:** R49987

**Pre-Application Meeting Requirements:**

It is required that a pre-application meeting be held with a Staff Planner prior to submitting most applications for planning entitlements and permits. The purpose of the pre-application meeting is to expedite application processing by enabling staff to work with the applicant to assure that the officially submitted application materials are in the proper format and that the applicant understands the City of Rocklin's goals, policies, and ordinances that may affect the project. A copy of these and other planning provisions is available at the applicant's request.

Generally, two sets of preliminary plans and a written description of the proposed project should be brought with the applicant to the pre-application meeting. To schedule this meeting, please contact a Staff Planner at the Rocklin Community Development Department by calling (916) 625-5160.

**DATE OF PRE-APPLICATION MEETING:** \_\_\_\_\_

**THIS APPLICATION IS FOR THE FOLLOWING ENTITLEMENTS: (CHECK APPROPRIATE SQUARES)**

<input checked="" type="checkbox"/> General Plan Amendment (GPA) Fee:	<input checked="" type="checkbox"/> Tentative Subdivision Map (SD) Fee:)	<input type="checkbox"/> Use Permit (U) <input type="checkbox"/> Minor (PC Approval – New Bldg) Fee: <input type="checkbox"/> Minor (PC Approval – Existing Bldg) Fee: <input type="checkbox"/> Major (CC Approval) Fee:
<input type="checkbox"/> BARRO Zone Application (BZ) Fee:	<input type="checkbox"/> Tentative Parcel Map (DL) Fee:	<input type="checkbox"/> Variance (V) Fee:
<input type="checkbox"/> Rezone (Reclassification) (Z) Fee:	<input checked="" type="checkbox"/> Design Review (DR) Commercial Fee: Residential Fee: Signs Fee:	<input type="checkbox"/> Oak Tree Preservation Plan Permit Planning Commission Fee: City Council Fee:
<input checked="" type="checkbox"/> Concurrent Application (2 or more entitlements) Fee: \$17,293 - Development Agreement Amendment - Tentative Subdivision Map - General Development Plan Amendment - General Plan Amendment -Design Review		<input type="checkbox"/> Modification to Approved Projects Fee: _____ File Number _____

**Environmental Requirements: (STAFF)**

<input type="checkbox"/> Exempt -	<input type="checkbox"/> Mitigated Negative Declaration -
<input type="checkbox"/> Negative Declaration -	<input type="checkbox"/> EIR – See Fee Schedule

## UNIVERSAL APPLICATION FORM (CONT.)

GENERAL PLAN DESIGNATION:	PROPERTY DATA:	UTILITIES:	
		EXISTING	PROPOSED
Existing: <u>MHDR</u>	Acres: <u>6.17</u>	<input type="checkbox"/> Pub. Sewer	<input checked="" type="checkbox"/> Pub. Sewer
Proposed: <u>MHDR &amp; BP</u>	Square Feet: <u>N/A</u>	<input type="checkbox"/> Septic Sewer	<input type="checkbox"/> Septic Sewer
<b>Zoning:</b>	Dimensions: <u>N/A</u>	<input type="checkbox"/> Pub. Water	<input checked="" type="checkbox"/> Pub. Water
Existing: <u>PD-12</u>	No. of	<input type="checkbox"/> Well Water	<input type="checkbox"/> Well Water
Proposed: <u>PD-12 &amp; PD-BP</u>	Units: <u>43 residential,</u> <u>1 business professional</u>	<input type="checkbox"/> Electricity	<input checked="" type="checkbox"/> Electricity
	Building	<input type="checkbox"/> Gas	<input checked="" type="checkbox"/> Gas
	Size: <u>N/A</u>	<input type="checkbox"/> Cable	<input checked="" type="checkbox"/> Cable
	Proposed Parking: <u>2/UNIT (residential)</u> <u>11 FOR LOT 44 (BP)</u>		
	Required Parking: <u>2/UNIT (residential)</u>		
	Access: <u>2</u>		

**PROJECT REQUEST:** \_\_\_\_\_

- TENTATIVE SUBDIVISION MAP

- GENERAL DEVELOPMENT PLAN AMENDMENT

- GENERAL PLAN AMENDMENT

- DEVELOPMENT AGREEMENT AMENDMENT

- DESIGN REVIEW

SEE ATTACHED PROJECT DESCRIPTION FOR FURTHER DETAILS.

*(Example: Request for approval of design review to construct a 10,000 square foot office building on 1.5 acres)*

NOTE: Annexations, Lot Line Adjustments, and Rocklin Ranch Industrial Park Specific Plan Use Permits require special application forms and additional submittal information available from the Planning Division.

**UNIVERSAL APPLICATION FORM (CONT.)**

**PLEASE PRINT OR TYPE:**

NAME OF PROPERTY OWNER: SUNSET RANCHOS INVESTORS, LLC

ADDRESS: 1478 Stone Point Drive, Suite 100

CITY: ROSEVILLE STATE: CA ZIP: 95661

PHONE NUMBER: (916) 778-0008

EMAIL ADDRESS: \_\_\_\_\_

FAX NUMBER: \_\_\_\_\_

**SIGNATURE OF OWNER** 

*(Signature Authorizing Application; provide owner's signature letter if signature is other than property owner.)*

NAME OF APPLICANT  
(If different than owner): UBORA ENGINEERING & PLANNING, INC.

CONTACT: DAVID BERRY

ADDRESS 2901 DOUGLAS BOULEVARD, SUITE 285

CITY: ROSEVILLE STATE: CA ZIP: 95661

PHONE NUMBER: (916) 780-2500 EXT. 208

EMAIL ADDRESS: DAVE@UBORAINC.COM

FAX NUMBER: N/A

**SIGNATURE OF APPLICANT** 

**AGENT AUTHORIZATION FORM**

Property owners desiring to authorize individuals to represent them in conjunction with any application or matter before the City shall provide written authorization using this form. A separate form shall be used for each individual or firm authorized, and shall specifically note any restrictions upon the authorized person.

Project Name: WHITNEY RANCH UNIT 1
Location: NORTHWEST CORNER OF WILDCAT BOULEVARD & BRIDLEWOOD DRIVE
Assessors Parcel Number(s): 017-171-030
Entitlements for which authorization is applicable (use permit, variance, tentative map, etc.): TENTATIVE SUBDIVISION MAP
Name of person and / or firm authorized to represent property owner (Please print): UBORA ENGINEERING & PLANNING, INC.
Address (Including City, State, and Zip Code): 2901 DOUGLAS BOULEVARD, SUITE 285 ROSEVILLE, CA 95661
Phone Number: (916) 780-2500 EXT. 208
Fax Number: N/A
Email Address: DAVE@UBORAINC.COM
The above named person or firm is authorized as: Agent ( <input checked="" type="checkbox"/> ) Buyer ( <input type="checkbox"/> ) Lessee ( <input type="checkbox"/> )
The above named person or firm is authorized to (check all that are applicable): ( <input checked="" type="checkbox"/> ) File any and all papers in conjunction with the aforementioned request, including signing the application ( <input checked="" type="checkbox"/> ) Speak on behalf of and represent the owner at any Staff meeting and/or public hearing. ( <input type="checkbox"/> ) Sign any and all papers in my stead, with the exception of the application form.
The duration and validity of this authorization shall be: ( <input checked="" type="checkbox"/> ) Unrestricted ( <input type="checkbox"/> ) Valid until:
Owners Authorization Signature & Date: 
Owners Name (Please Print): Sunset Ranchos Investors, LLC
Owners Address (Including City, State, and Zip Code): 1478 Stone Point Drive, Suite 100 Roseville, CA 95661
Phone Number: 916-778-0008
Email Address:



**STATE OF CALIFORNIA  
DEPARTMENT OF FISH AND GAME  
FILING FEES**

In 1990, the State adopted a fee pursuant to AB 3158 for the review of environmental documentation by the State Department of Fish and Game. Subsequently, in 1991, the fees were challenged. Then, in June 1995, the Department of Fish and Game instructed the jurisdictions to stop collecting fees. Following a great deal of court action and in a memorandum dated February 26, 1996, the State Clearinghouse, Office of Planning and Research, stated that the fees must again be collected.

On September 29, 2006, Senate Bill 1535 was passed increasing the amounts of filing fees collected by the Department, and requires the Department to adjust the fees annually pursuant to Fish and Game Code Section 713.

As of January 1, 2020, State law requires all applicants who have a Notice of Determination filed for a Negative Declaration to pay a \$2,406.75 fee and those with a Notice of Determination for an Environmental Impact Report to pay a \$3,343.25 fee. Both types must pay an additional \$50.00 administrative fee making the total fees \$2,456.75 and \$3,393.25 respectively. Applicants whose projects require the filing of a Notice of Exemption will need to pay a \$50.00 administrative fee. The City will notify each applicant which of the fees must be paid.

**PLEASE NOTE:** Effective January 1, 2008, the fee exemption for projects determined to have a *De Minimis Impact Finding* has been eliminated. (Section 711.4 Fish and Game Code).

The Fish and Game filing fee must be paid prior to the filing of the Notice of Determination with the County Clerk. Since the CEQA law requires a Notice of Determination to be filed with the County within 5 days of an action by the City, all applicants must remit to the City the necessary fee amount no later than the day of the final scheduled public hearing for the proposed project.

**PLEASE MAKE ALL CHECKS PAYABLE TO PLACER COUNTY.**

If you have any questions regarding this matter, please do not hesitate to contact the Planning Department at (916) 625-5160. Upon review of the above, please sign and return this document with your application.

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I, UBORA ENGINEERING & PLANNING, INC., the applicant or applicant's representative, have read the information above and understand its meaning.

  
Signature

8-8-22  
Date

**HAZARDOUS WASTE AND SUBSTANCES STATEMENT**

Pursuant to California Government Code Section 56962.5, I have consulted the Hazardous Waste and Substances Sites List (Cortese List), consolidated by the State of California, Environmental Protection Agency and find that;

The project, including any alternatives, \_\_\_\_\_ is,  is not (check which applies) located on a site which is included on the Hazardous Waste and Substances Sites List (Cortese List). If on the list, provide the following information:

Regulatory identification number: \_\_\_\_\_ Date of list: \_\_\_\_\_

Type of problem: \_\_\_\_\_

I declare under penalty of perjury of the laws of the State of California that the foregoing is true and correct.

Dated: 8-8-22

Applicant:   
DAVID BERRY - UBORA ENGINEERING & PLANNING, INC.

Applicants can verify this information by reviewing the Hazardous Waste and Substances Sites List (Cortese List), available for review at the City of Rocklin Planning Department counter, or at the California Department of Toxic Substance Control web site:  
<http://www.calepa.ca.gov/SiteCleanup/CorteseList/default.htm>

## MITIGATION FOR AIR QUALITY IMPACTS

The US Environmental Protection Agency (EPA) and the California Air Resources Board (CARB) have established air quality standards, referred to as the National Ambient Air Quality Standards (NAAQS) and the State Ambient Air Quality Standards (SAAQS) respectively. The federal Clean Air Act and State Clean Air Act both require that areas in violation of the ambient air quality standards adopt strategies to attain these standards. The Placer County Air Pollution Control District (APCD) has primary responsibility for planning and maintenance and/or attainment of air quality standards within Placer County. California is divided into 15 air basins for the purpose of monitoring air quality. Placer County is included in the Sacramento Valley Air Basin. Areas may be classified as attainment, non-attainment, or unclassified with regard to the adopted standards. The unclassified designation is assigned in cases where monitoring data is insufficient to make a definitive determination. Under the federal standards, all of Placer County, including Rocklin, is designated as non-attainment for ozone. All other pollutants are designated unclassified in Rocklin. Under the state standards, South Placer, including Rocklin, is designated as non attainment for ozone and PM10 and unclassified for hydrogen sulfide and visibility reducing particulate.

The project would have the following short-term construction impacts, if not mitigated:

- a. Construction activities, including grading, would generate a variety of pollutants, the most significant of which would be dust (PM10). This would exacerbate the existing PM10 non attainment condition if not mitigated.
- b. Construction equipment would produce short-term combustion emissions, and asphalt materials used for streets and driveways would produce pollutants during curing.

The mitigation measures listed below will reduce the short term impacts to less-than-significant. In the long-term, vehicle trips to and from the project site would generate Carbon Monoxide and ozone precursor emissions, thereby contributing to the non-attainment status of the local air basin. These incremental and cumulative adverse air quality impacts cannot be completely mitigated. However, these impacts were anticipated by the City of Rocklin General Plan, and were addressed through the 1991 Rocklin General Plan EIR and the North Rocklin Circulation and Traffic Study. Findings of overriding significance were adopted for the unmitigatable and unavoidable significant air quality impacts.

Therefore, I, as the applicant for the proposed project, agree that the mitigation measures listed below are incorporated as a part of my project description in order to mitigate for the short term impacts.

## MITIGATION FOR AIR QUALITY IMPACTS (CONT.)

### MITIGATIONS

1. The project shall conform with the requirements of the Placer County APCD.
2. Prior to commencement of grading, the applicant shall submit a dust control plan for approval by the City Engineer and the Placer County Air Pollution Control District. The plans shall specify measures to reduce dust pollution during all phases of construction.
3. Traffic speeds on all unpaved road surfaces shall be posted at 25 m.p.h. or less.
4. All grading operations shall be suspended when wind speeds exceed 25 m.p.h.
5. All trucks leaving the site shall be washed off to eliminate dust and debris.
6. All construction equipment shall be maintained in clean condition.
7. All exposed surfaces shall be revegetated as quickly as feasible.
8. If fill dirt is brought to the construction site, tarps or soil stabilizers shall be placed on the dirt piles to minimize dust problems.
9. Apply water or dust palliatives on all exposed earth surfaces as necessary to control dust. Construction contracts shall include dust control treatment as frequently as necessary to minimize dust.
10. Construction equipment shall be properly maintained and tuned.
11. Utilize low emission mobile construction equipment where possible.
12. Open burning of vegetative material is prohibited.

DAVID BERRY - UBORA ENGINEERING & PLANNING, INC.

\_\_\_\_\_  
Applicant's Name (printed)

  
\_\_\_\_\_  
Applicant's Signature

8.8.22

\_\_\_\_\_  
Date



# City of Rocklin

Planning Division  
3970 Rocklin Road  
Rocklin, California 95677  
Phone (916) 625-5160 FAX (916) 625-5195

**ENVIRONMENTAL  
INFORMATION SHEET**  
(To be completed by  
applicant)

**LOCATION OF PROJECT (ADDRESS)** UNIT 1 OF THE SUNSET RANCHOS PORTION OF THE  
NORTHWEST ROCKLIN GENERAL DEVELOPMENT PLAN

**ASSESSORS PARCEL #** 017-171-303

**NAME OF PROJECT** WHITNEY RANCH - UNIT 1

**CONTACT/APPLICANT** DAVID BERRY - UBORA ENGINEERING & PLANNING, INC.

**ADDRESS** 2901 DOUGLAS BOULEVARD, SUITE 285  
ROSEVILLE, CA 95661

**PHONE** (916) 780-2500 EXT. 208 **EMAIL** DAVE@UBORAINC.COM

**Project Description - Describe in detail. Add separate sheet if necessary.**

TENTATIVE SUBDIVISION MAP TO SUBDIVIDE WHITNEY RANCH UNIT 1 INTO 43 RESIDENTIAL LOTS & 1 BUSINESS PROFESSIONAL LOT. RESOLUTION 2018-27 PREVIOUSLY APPROVED A SMALL LOT TENTATIVE MAP WITH 51 ALLEY LOADED RESIDENTIAL LOTS & THE REMOVAL OF THE EXISTING WHITNEY RANCH WELCOME CENTER. THE PURPOSE OF THIS NEW TENTATIVE MAP APPLICATION IS TO ACCOMODATE LEAVING THE EXISTING WELCOME CENTER IN PLACE BY UTILIZING A BUSINESS PROFESSIONAL LAND USE, AND REPLACE THE PREVIOUSLY APPROVED ALLEY LOADED LOTS WITH CONVENTIONAL RESIDENTIAL LOTS. SEE ATTACHED PROJECT DESCRIPTION FOR FURTHER DETAILS.

Property size:	268,765 sf	6.17 ac
	Square Feet	Acres
Land Use:	business professional	business professional and residential
	Existing	Proposed

**RELATED PROJECTS:** If this project is a part or portion of a larger project, describe the previous project by name, general development plan number, or other project identification. \_\_\_\_\_  
PDG-99-02 ET AL NORTHWEST ROCKLIN GENERAL DEVELOPMENT PLAN

**PREVIOUS ENVIRONMENTAL DOCUMENTS:** If this project is part of a larger project for which a negative declaration or an environmental impact report has been prepared and certified, reference the document below. Include the date and SCH#, if possible: SCH# 99102012

**OTHER REQUIRED PERMITS OR APPROVALS:**

<u>Permit or Approval</u>	<u>Agency</u>	<u>Address</u>	<u>Contact Person/Phone</u>

**PREVIOUS LAND USES:** Describe existing and previous land uses of the site for the last 10 years or more: WHITNEY RANCH REAL ESTATE WELCOME CENTER

**SITE CHARACTERISTICS**

1. What natural features (trees, rock outcroppings etc.) presently exist on the site?  
NO NATURAL FEATURES, SITE PREVIOUSLY GRADED  
\_\_\_\_\_  
\_\_\_\_\_

2. What are the surrounding land uses?  
East RESIDENTIAL West RESIDENTIAL North DRAINAGE BASIN South RESIDENTIAL

3. Is the project proposed on land which contains fill or a slope of 10% or more? NO

4. Are there any existing erosion problems? NO

5. Is the site on expansive soils (as defined in Table 18 of the UBC) or immediately adjoining an area subject to slides, liquefaction, slope instability or other related hazards? NO  
If so, describe in detail, or refer to attached soils report.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

6. Grading, excavating or filling activities - Quantity of cubic yards to be:  
a. Moved within the site 11,000 CY  
b. Deposited on the site  
c. Removed from the site 6,900 CY  
Disposal site

7. Are there any streams or permanent water courses on the site? NO  
Describe  
\_\_\_\_\_  
\_\_\_\_\_

8. Will the proposed project change drainage patterns or the quality of groundwater?  
If so explain. If not, why not. \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

9. Will the project affect any drainage channel, creek, pond or any other water body?  
Describe below: NO  
\_\_\_\_\_  
\_\_\_\_\_

10. Is any portion of the property located in a flood plain? NO  
 If so describe \_\_\_\_\_  
 \_\_\_\_\_
11. Are there any jurisdictional wetlands or vernal pools on the site? If so how will they be impacted by the project? NO  
 \_\_\_\_\_  
 \_\_\_\_\_
12. Are there any trees or shrubs on the project site? NO  
 What types? \_\_\_\_\_  
 Are any to be removed or transplanted? \_\_\_\_\_  
 State the location of transplant site: \_\_\_\_\_  
 State the number & species to be removed: \_\_\_\_\_
13. Will the project affect the habitat of any endangered, threatened, or other special status species?  
NO  
 \_\_\_\_\_  
 \_\_\_\_\_
14. Will the project result in any new noise source, or will it place new residents in an area of high traffic noise or noise from any other source? CONSTRUCTION NOISE
15. What type of equipment will be associated with the project during construction?  
EARTHWORK GRADING AND ROADWAY BUILDING EQUIPMENT  
 \_\_\_\_\_  
 During permanent operation? \_\_\_\_\_
16. Describe any air pollutants, other than vehicle exhaust, which would be generated by this project, both during and after construction. Dust particulates are considered pollutants.  
CONSTRUCTION RELATED DUST  
 \_\_\_\_\_
17. Will the project produce new sources of dust, ash, smoke, fumes or objectionable odor? If yes, describe the source of the emission, methods to control emissions and means of mitigating those effects on adjacent properties: CONFORM TO PLACER COUNTY APCD STANDARDS
18. Will the project create any new light source, other than street lighting? If yes, describe below:  
RESIDENTIAL LOTS  
 \_\_\_\_\_
19. Is this property covered by a Williamson Act contract? NO
20. Has this property ever been used for agricultural purposes? NO If so, for what purpose and when? \_\_\_\_\_
21. Does the project involve the use of routine transport or disposal of hazardous materials?  
NO  
 \_\_\_\_\_
22. Are there any known mineral resources of value to the region and the residents of the state located on the site? If so, what types? NO
23. How close is the nearest school? SUNSET RANCH ELEMENTARY & WHITNEY HIGH SCHOOL

24. PROPOSED BUILDING CHARACTERISTICS (BOTH RESIDENTIAL AND NON-RESIDENTIAL)

Size of new structure(s) or addition in gross square feet: \_\_\_\_\_  
 Building height measured from ground to highest point in feet: \_\_\_\_\_  
 Number of floors/stories: \_\_\_\_\_  
 Height of other appurtenances (antennas, steeples, mechanical equipment, etc.) measured from ground: \_\_\_\_\_  
 Project site coverage: Building \_\_\_\_\_ sq.ft. \_\_\_\_\_ %  
                                   Landscaping \_\_\_\_\_ sq.ft. \_\_\_\_\_ %  
                                   Paving \_\_\_\_\_ sq.ft. \_\_\_\_\_ %  
 Exterior building materials: \_\_\_\_\_  
 Exterior building colors: \_\_\_\_\_  
 Wall and/or fencing material: \_\_\_\_\_  
 Total number of off-street parking spaces required: \_\_\_\_\_ Provided: \_\_\_\_\_  
 Total number of bicycle parking spaces: \_\_\_\_\_

25. Is there any exposed mechanical equipment associated with the project? \_\_\_\_\_  
 Location and screening method \_\_\_\_\_

26. RESIDENTIAL PROJECTS

Total lots 43 Total dwelling units 43  
 Density/acre 8.5 UNITS/AC Total acreage 5.08 ac (residential)

	Single Family	Two Family	Multi-Family (More than 2 units)
Number of Units	43	N/A	N/A
Size of lot/unit	2,925 MIN. LOT SIZE		
Studio	N/A		
1 Bedroom	T.B.D.		
2 Bedroom	T.B.D.		
3 Bedroom	T.B.D.		
4+ Bedroom	T.B.D.		

27. RETAIL, COMMERCIAL, INDUSTRIAL, INSTITUTIONAL OR OTHER PROJECT

Type of use(s): \_\_\_\_\_  
 Oriented to: Regional \_\_\_\_\_ City \_\_\_\_\_ Neighborhood \_\_\_\_\_  
 Hours of operation: \_\_\_\_\_  
 Total occupancy/Building capacity: \_\_\_\_\_  
 Gross floor area: \_\_\_\_\_ Number of fixed seats: \_\_\_\_\_  
 Number of employees (total): \_\_\_\_\_ Employees per shift: \_\_\_\_\_ Number of Shifts \_\_\_\_\_  
 Number of visitors/customers on site at busiest time (best estimate): \_\_\_\_\_  
 Other occupants (specify): \_\_\_\_\_

ALL PROJECTS

28. Approximately how many tons of solid waste will the project produce each year? UNIT 1  
 INCLUDED IN TABLE J-5 FOR SOLID WASTE GENERATION FOR ALL OF THE SUNET RANCHOS PORTION OF THE NORTHWEST ROCKLIN ANNEXATION EIR.

29. Will the proposed use involve any toxic or hazardous material? NO  
 Is the project site within 2,000 feet of an identified hazardous/toxic site? NO  
 Is the project site within 2,000 feet of a school or hospital? YES, SCHOOL  
 If the project involves any hazardous material, explain: \_\_\_\_\_  
 \_\_\_\_\_
30. How many new residents is the project estimated to generate? 43 UNITS X 2.6 = 112 PEOPLE
31. Will the project generate a demand for additional housing? NO
32. What is the current and estimated number of motor vehicles to arrive at the site as a result of the project? 43 D.U. x 9 TRIPS/D.U. = 387 A.D.T. new trips from residential lots; existing business professional lots are considered to have existing trips
33. Could the project increase traffic hazards to motor vehicles, bicyclists or pedestrians? NO  
 If yes, explain \_\_\_\_\_
34. How close is the project to the nearest public park or recreation area? 0.5 MILES TO MARGARET AZEVEDO PARK
35. What school districts will be affected by this project? R.U.S.D.
36. Describe energy-efficient features included in the project. \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_
37. Describe how the following services or utilities will be provided:  
 Power and Natural Gas PG&E  
 Telephone CONSOLIDATED COMMUNICATIONS  
 Water PLACER COUNTY WATER AGENCY  
 Sewer SOUTH PLACER MUNICIPAL UTILITY DISTRICT  
 Storm Drainage CITY OF ROCKLIN  
 Solid Waste RECOLOGY AUBURN PLACER
38. Will the project block any vista or view currently enjoyed by the public? NO
39. Are there any known historic or significant building features on or near the site? If so, will the project result in any impact to the building? NO
40. Are there any archaeological features on the site? NO If so, will the project result in any impact to these features? \_\_\_\_\_  
 \_\_\_\_\_  
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**WHITNEY RANCH UNIT 1  
ENTITLEMENTS APPLICATION  
PROJECT DESCRIPTION  
October 12, 2022**

**PROJECT DESCRIPTION:**

Project proposes a tentative subdivision map to subdivide Parcel 2, as shown on the map entitled “Parcel Map of Whitney Ranch Lot 1”, filed in Book 33 of Parcel Maps, Page 64, also known as Whitney Ranch Unit 1 into 43 residential lots, one business professional lot, three landscape parcels and one open space parcel. Resolution 2018-27 previously approved a small lot tentative map for Unit 1 with 51 alley loaded residential lots and the removal of the existing Whitney Ranch Information Center. The purpose of this new tentative map application has two objectives. The first is to accommodate leaving the existing Whitney Ranch Information Center in place by utilizing a business professional land use. The second objective is to replace the previously approved alley loaded style residential lots with conventional lots.

Lots 1 thru 43 are proposed as conventional single-family lots, proposed to developed consistent with the existing General Plan land use and zoning designations of MHDR and PD-12 respectively. Lot 44, which contains the existing roughly 2,100 square foot (gross floor area) Whitney Ranch Welcome Center, is proposed to be re-zoned PD-Business Professional. A small parking lot, consisting of 7 standard stalls, 3 compact stalls and one ADA accessible stall (11 total stalls), will be built on Lot 44 to serve the Welcome Center in accordance with Chapter 17.66.040.A “Off-street Parking” of the City of Rocklin municipal code. Three landscape lots are proposed. Lots “A” & “B” at the project’s Bridlewood Drive entry and Lot “C” which will accommodate a proposed water line and easement needed to complete the water system loop.

Vehicular access to the subdivision will be from Bridlewood Drive with an emergency vehicle access at the terminus of Road “D”, which will connect to the existing paved sanitary sewer access road along the north edge of the property, providing access back to Wildcat Boulevard. Stub streets “A” and “B” will not connect to the emergency vehicle access. These stub streets do not exceed 150 feet in length and thereby comply with Appendix D of the California Fire Code as “Fire Apparatus Access Road” without the need for a turnaround; similar to recently constructed stub streets in Whitney Ranch Units 42 and 50 (i.e., the east end of Broken Bit Lane and the west end of Grouse Ridge Way, respectively).

**DENSITY:**

The residential lots, landscape Lot C and corresponding public right of way for their roadways is approximately 5.08 acres. The 5.08 acres is exclusive of the open space Lot D (0.32 ac.), business professional Lot 44 (0.51 ac), business professional road right of way (0.18 ac), and landscape parcels A and B (0.08 ac). 43 residential lots / 5.08 acres yields 8.5 du/acre. Refer to the Land Use Exhibit Whitney Ranch Unit 1 provided for further clarity.

## **REQUESTED ENTITLEMENTS:**

- **Tentative Subdivision Map:**

- 43 Residential Lots
- 1 PD-Business Professional Lot (Lot# 44)
- 3 Landscape Lots (Lots A, B & C)
- 1 Open Space Lot (Lot D)

- **General Development Plan Amendment:**

Existing Zoning: PD-12 to remain for the proposed residential  
Proposed Zoning: PD-12 (Lots 1-43) and PD-BP (Lot 44)

- **General Plan Amendment:**

Existing General Plan: MHDR to remain for the proposed residential  
Proposed General Plan: MHDR (Lots 1-43) and BP (Lot 44)

- **Development Agreement Amendment:**

Extend the terms of the existing development agreement by three years. The operative date of the existing development agreement is currently through August 22, 2023. Applicant desires to extend the term of the development agreement to August 22, 2026.

- **Design Review:**

Design Review approvals for the existing Whitney Ranch Welcome Center.

TENTATIVE SUBDIVISION MAP  
**WHITNEY RANCH UNIT 1**  
 SUBDIVIDING PARCEL 2, BOOK 33 PM 64  
 ROCKLIN, CA  
 OCTOBER 2022

SHEET INDEX

SHEET 1	TITLE SHEET
SHEET 2	LOTTING PLAN
SHEET 3	FENCING PLAN
SHEET 4	WATER AND SEWER PLAN
SHEET 5	GRADING AND DRAINAGE PLAN
SHEET 6	PRELIMINARY PLANTING PLAN
SHEET 7	PRELIMINARY PLANTING PLAN
SHEET 8	PRELIMINARY PLANTING DETAILS

OWNER/DEVELOPER

SUNSET RANCHOS INVESTORS, LLC  
 508 GIBSON DRIVE, STE. 260  
 ROSEVILLE, CA 95678  
 TEL (916) 778-0008

APPLICANT/ENGINEER

UBORA ENGINEERING AND PLANNING, INC.  
 2901 DOUGLAS BOULEVARD, SUITE 285  
 ROSEVILLE, CA 95661  
 TEL: (916) 780-2500  
 DAVID BERRY, P.E. LIC NO. C48811

PROJECT INFORMATION

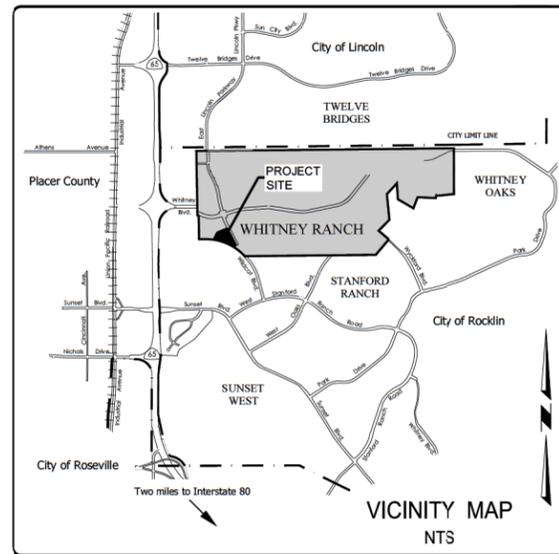
ASSESSOR PARCEL NUMBERS:	017-171-030
PARCEL SIZE:	6.17 ACRES
EXISTING GENERAL PLAN:	MHDR
EXISTING ZONING:	PD-12
PROPOSED GENERAL PLAN:	MHDR (1-43) & BP (44)
PROPOSED ZONING:	PD-12 (1-43) & PD-BP (44)

RESIDENTIAL LOT INFORMATION

MINIMUM LOT SIZE	2,925 SF
AVERAGE LOT SIZE	3,639 SF
MAXIMUM LOT SIZE	5,258 SF
MINIMUM LOT WIDTHS	45'
MINIMUM LOT DEPTH	65'

LAND USE SUMMARY

RESIDENTIAL LOTS & DENSITY:		
RESIDENTIAL LOTS	LOTS 1-43	3.62 AC
PUBLIC RIGHT-OF-WAY (PD-12)	R/W	1.43 AC
LANDSCAPE	LOT C	0.03 AC
TOTAL - RESIDENTIAL		5.08 AC
DWELLING UNITS	LOTS	43 DU
DENSITY		8.5 DU/AC
NON-RESIDENTIAL:		
BUSINESS PROFESSIONAL	LOT 44	0.51 AC
PUBLIC RIGHT-OF-WAY (PD-BP)	R/W	0.18 AC
LANDSCAPE	LOT A	0.02 AC
LANDSCAPE	LOT B	0.06 AC
OPEN SPACE	LOT D	0.32 AC
TOTAL		6.17 AC



LEGEND:

	PROJECT BOUNDARY
	PROPOSED LOT LINE
	PROPOSED 12.5' P.U.E. (FRONT) 10' P.U.E. (SIDE)
	PROPOSED RIGHT-OF-WAY
10	LOT NUMBER

GENERAL NOTES

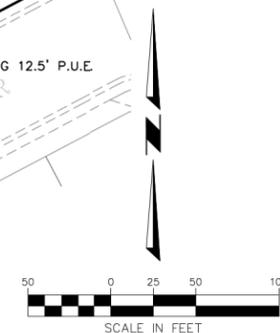
- SEPTIC SYSTEM**  
THERE ARE NO KNOWN EXISTING WELLS, ABANDONED WELLS, SUMPS, OR ANY OTHER UNDERGROUND SYSTEMS ON THE PROPERTY.
- TENTATIVE MAP**  
DIMENSIONS AND AREAS SHOWN ARE APPROXIMATE AND SUBJECT TO CHANGE.
- FINAL MAP**  
PURSUANT TO GOVERNMENT CODE SECTION 66456.1 THE SUBDIVIDER MAY FILE MULTIPLE FINAL MAPS BASED ON THIS TENTATIVE MAP.

UTILITY PROVIDERS

WATER	PLACER COUNTY WATER AGENCY
SEWER	SOUTH PLACER MUNICIPAL UTILITY DISTRICT
GAS & ELECTRIC	PACIFIC GAS & ELECTRIC
TELEPHONE	CONSOLIDATED COMMUNICATIONS
CABLE TV	WAVE BROADBAND

SERVICE PROVIDERS

SCHOOL DISTRICT	ROCKLIN UNIFIED SCHOOL DISTRICT
FIRE PROTECTION	CITY OF ROCKLIN
POLICE PROTECTION	CITY OF ROCKLIN
STORM DRAINAGE	CITY OF ROCKLIN
SOLID WASTE	RECOLOGY AUBURN-PLACER



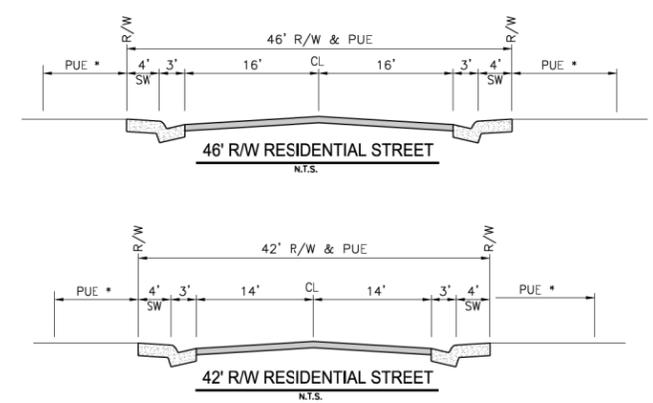
Sheet 1 of 8  
 TITLE SHEET

**UBORA** ENGINEERING & PLANNING  
 "EXCELLENCE"  
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 ROSEVILLE, CA 95661 (916) 780-2500  
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TENTATIVE SUBDIVISION MAP  
 WHITNEY RANCH UNIT 1  
 SUBDIVIDING PARCEL 2, BOOK 33 PM 64  
 ROCKLIN, CA  
 OCTOBER 2022



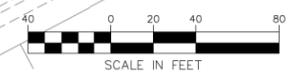
- LEGEND:**
- PROJECT BOUNDARY
  - PROPOSED LOT LINE
  - PROPOSED 12.5' P.U.E. (FRONT) 10' P.U.E. (SIDE)
  - PROPOSED RIGHT-OF-WAY
  - LOT NUMBER & AREA



\* 12.5' PUE (FRONT) AND 10' PUE (SIDE)

Sheet 2 of 8  
 LOTTING PLAN

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TENTATIVE SUBDIVISION MAP  
**WHITNEY RANCH UNIT 1**  
 SUBDIVIDING PARCEL 2, BOOK 33 PM 64  
 ROCKLIN, CA  
 OCTOBER 2022

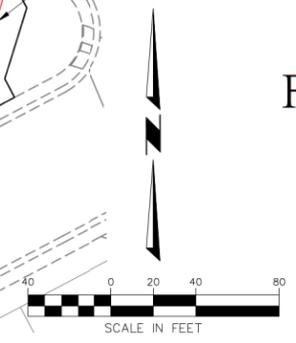


- LEGEND:**
- PROJECT BOUNDARY
  - PROPOSED LOT LINE
  - - - PROPOSED 12.5' P.U.E. (FRONT) 10' P.U.E. (SIDE)
  - PROPOSED RIGHT-OF-WAY
  - - - - PROPOSED SOUNDWALL
  - - - - PROPOSED WOOD PRIVACY FENCE
  - - - - EXISTING WOOD PRIVACY FENCE
  - - - - EXISTING SOUNDWALL
  - △ - - - EXISTING IRON FENCE & CORNER MONUMENT
  - 10 LOT NUMBER

**NOTE:**  
 GOOD NEIGHBOR FENCE ON ALL SIDE &  
 REAR PROPERTY LINES THAT DO NOT  
 HAVE SOUNDWALL.

Sheet 3 of 8  
**FENCING PLAN**

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TENTATIVE SUBDIVISION MAP  
 WHITNEY RANCH UNIT 1  
 SUBDIVIDING PARCEL 2, BOOK 33 PM 64  
 ROCKLIN, CA  
 OCTOBER 2022

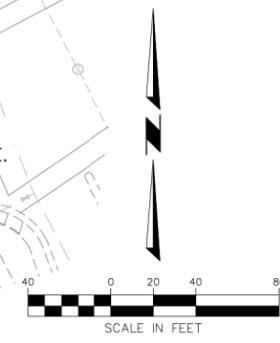


**LEGEND:**

	PROJECT BOUNDARY
	PROPOSED LOT LINE
	PROPOSED 12.5' P.U.E. (FRONT) 10' P.U.E. (SIDE)
	PROPOSED RIGHT-OF-WAY
10	LOT NUMBER
	PROPOSED WATER LINE
	PROPOSED FIRE HYDRANT ASSEMBLY
	PROPOSED SANITARY SEWER LINE
	PROPOSED SANITARY SEWER MANHOLE
	EXISTING WATER LINE
	EXISTING FIRE HYDRANT ASSEMBLY
	EXISTING SANITARY SEWER LINE
	EXISTING SANITARY SEWER MANHOLE

Sheet 4 of 8  
 WATER &  
 SEWER PLAN

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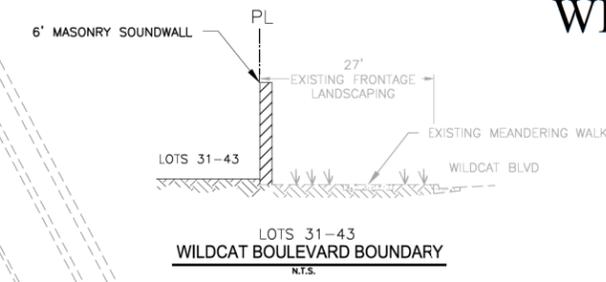
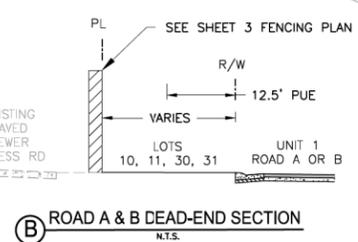
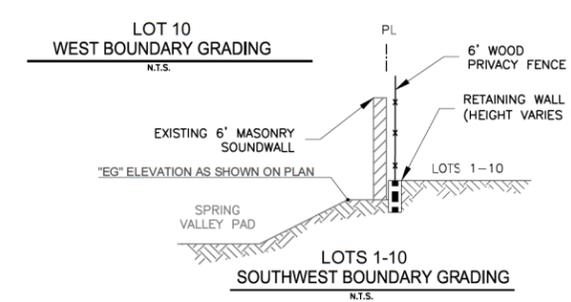
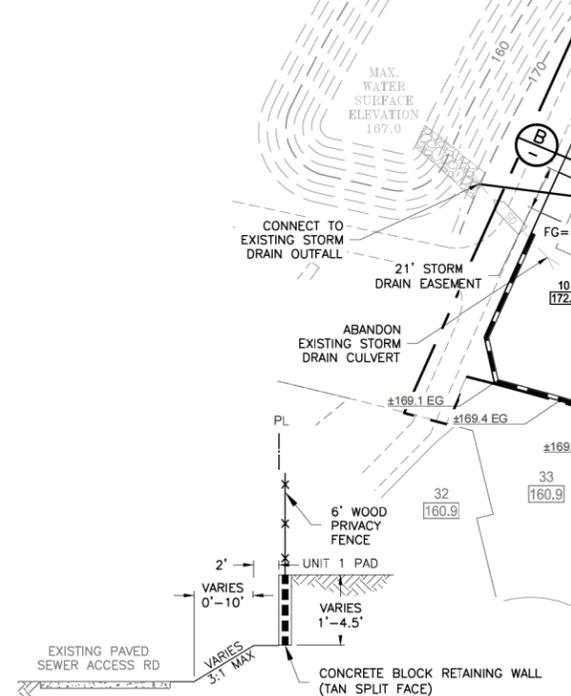
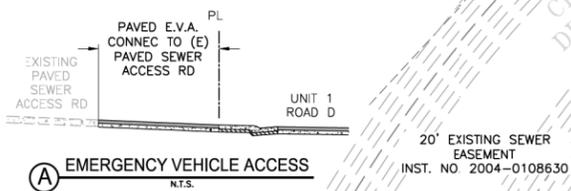
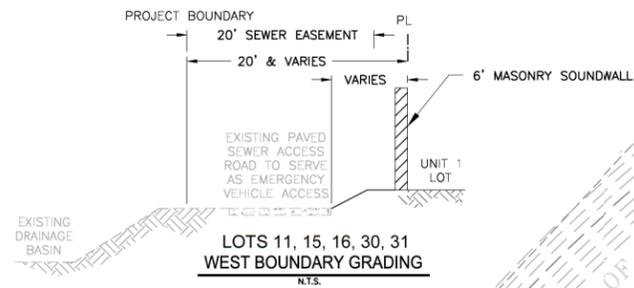


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**GRADING NOTES**

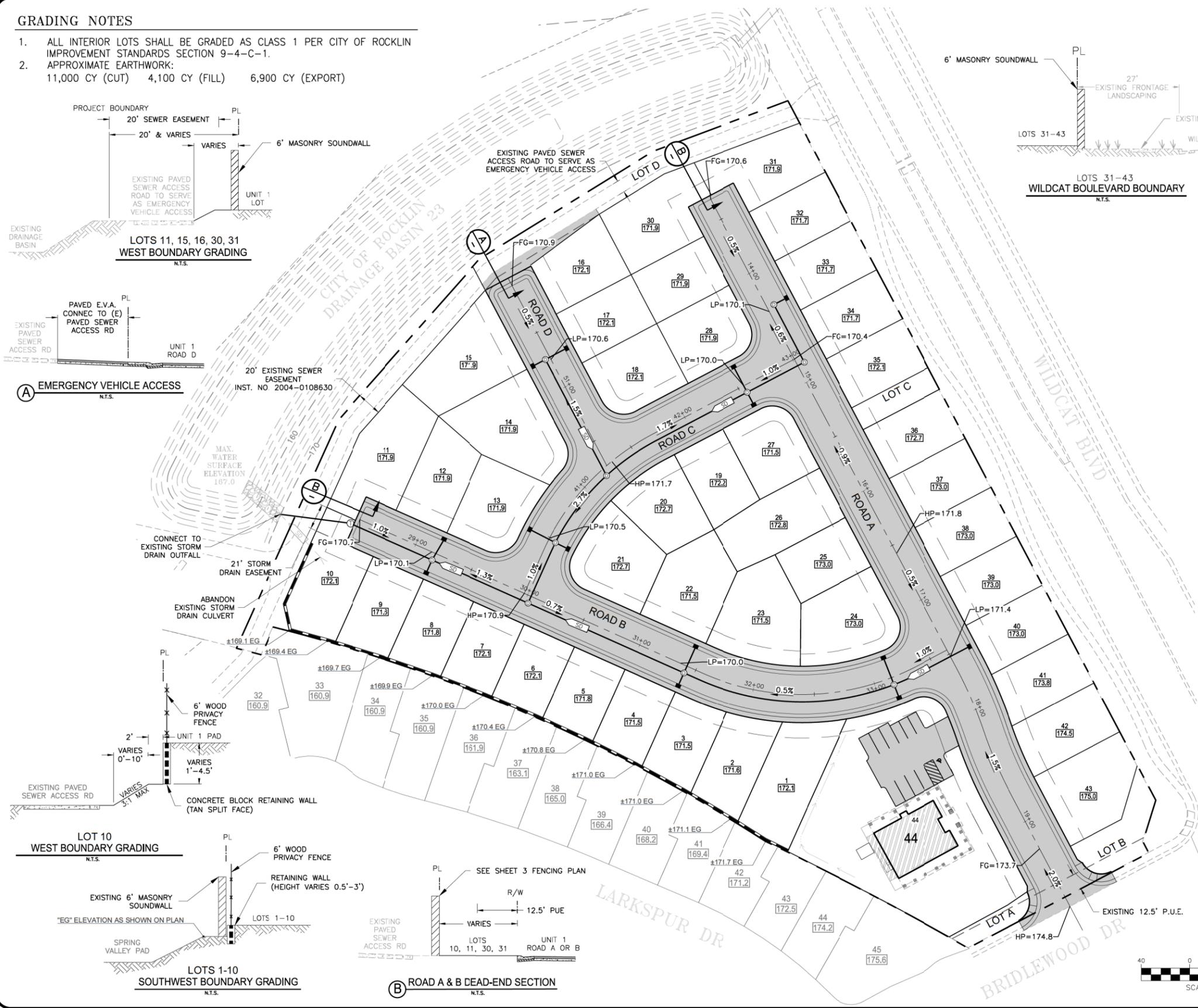
- ALL INTERIOR LOTS SHALL BE GRADED AS CLASS 1 PER CITY OF ROCKLIN IMPROVEMENT STANDARDS SECTION 9-4-C-1.
- APPROXIMATE EARTHWORK:  
11,000 CY (CUT) 4,100 CY (FILL) 6,900 CY (EXPORT)

**TENTATIVE SUBDIVISION MAP  
WHITNEY RANCH UNIT 1**  
SUBDIVIDING PARCEL 2, BOOK 33 PM 64  
ROCKLIN, CA  
OCTOBER 2022



**LEGEND:**

- PROJECT BOUNDARY
- PROPOSED LOT LINE
- PROPOSED RIGHT-OF-WAY
- LP= LOW POINT ELEVATION
- HP= HIGH POINT ELEVATION
- FG= FINISH GRADE ELEVATION
- 360 --- EXISTING GROUND CONTOUR LINE
- PROPOSED RETAINING WALL
- 10 [172.1] LOT NUMBER & PAD ELEVATION
- ±170.6 EG EXISTING SPOT ELEV. ALONG SOUNDWALL
- SD PROPOSED STORM DRAIN LINE
- ⊙ PROPOSED STORM DRAIN MANHOLE
- ⊙ PROPOSED WATER QUALITY TREATMENT STRUCTURE
- PROPOSED DRAIN INLET
- SD EXISTING STORM DRAIN LINE



Sheet 5 of 8  
**GRADING & DRAINAGE PLAN**

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TENTATIVE SUBDIVISION MAP  
**WHITNEY RANCH UNIT 1**  
 SUBDIVIDING PARCEL 2, BOOK 33 PM 64  
 ROCKLIN, CA  
 OCTOBER 2022

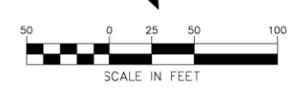


PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	SIZE	WATER USE	QTY
	LAGERSTROEMIA INDICA X FAJRIEI 'TUSCARORA' TUSCARORA CRAPE MYRTLE	15 GAL.	L	7
	TILIA CORDATA 'GREENSPIRE' GREENSPIRE LITTLELEAF LINDEN	15 GAL.	M	2

CONCEPT PLANT SCHEDULE

- FOUNDATION/SCREENING SHRUBS  
 ABELIA X GRANDIFLORA 'DWARF7' / DWARF GLOSSY ABELIA  
 CEANOTHUS X 'CONCHA' / CONCHA WILD LILAC  
 RHAMNUS CALIFORNICA 'MOUND SAN BRUNO' / CALIFORNIA COFFEEBERRY
- FILLER  
 ARCTOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN' / HOWARD MCMINN MANZANITA  
 CALLISTEMON VIMINALIS 'LITTLE JOHN' / DWARF WEEPING BOTTLEBRUSH  
 DIETES BICOLOR / FORTNIGHT LILY  
 GREVILLEA X 'NOELLI' / GREVILLEA  
 RHAPHIOLEPIS UMBELLATA 'MINOR' / YEDDA HAWTHORN
- ACCENT SHRUBS/GRASSES  
 ACACIA COGNATA 'ACCOG01' / COUSIN ITT LITTLE RIVER WATTLE  
 CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS  
 MUEHLENBERGIA CAPILLARIS / PINK MUHLY  
 ROSA X 'RED' / RED CARPET ROSE  
 SALVIA GREGGII 'HOT LIPS' / AUTUMN SAGE
- GROUNDCOVERS  
 COTONEASTER DAMMERI 'LOWFAST' / LOWFAST BEARBERRY COTONEASTER  
 HYPERICUM CALYCIUM / CREEPING ST. JOHN'S WORT  
 JUNIPERUS HORIZONTALIS 'BLUE CHIP' / BLUE CHIP JUNIPER  
 MYOPORUM PARVIFOLIUM 'PUTAH CREEK' / PUTAH CREEK MYOPORUM  
 TEUCRIUM CHAMAEDRYS 'PROSTRATUM' / PROSTRATE GERMANDER



SHEET 6 OF 8  
 PRELIMINARY  
 PLANTING PLAN

**FUHRMAN LEAMY  
 LAND GROUP**  
 DESIGN • SERVICE • SOLUTIONS  
 2140 PROFESSIONAL DRIVE, SUITE 115 ROSEVILLE, CA 95661  
 (916) 783-5263 info@fllandgroup.com

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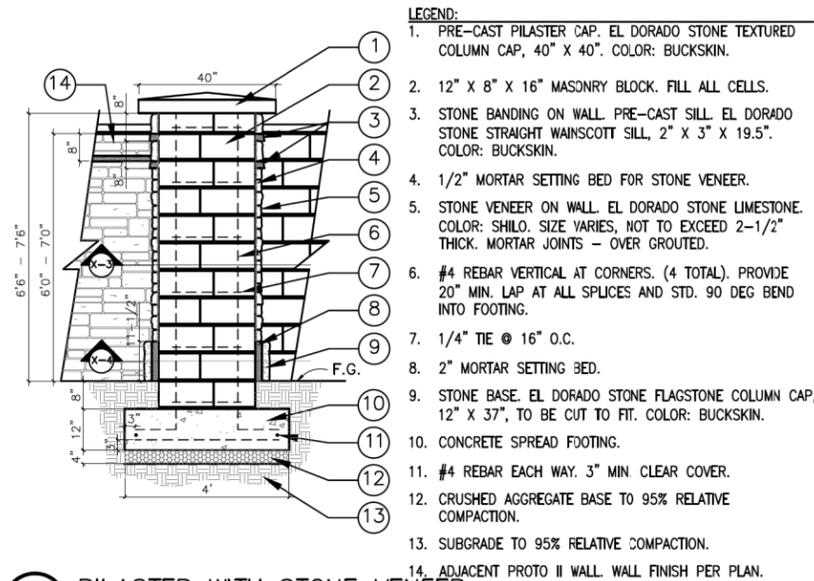


# TENTATIVE SUBDIVISION MAP WHITNEY RANCH UNIT 1

SUBDIVIDING PARCEL 2, BOOK 33 PM 64

ROCKLIN, CA

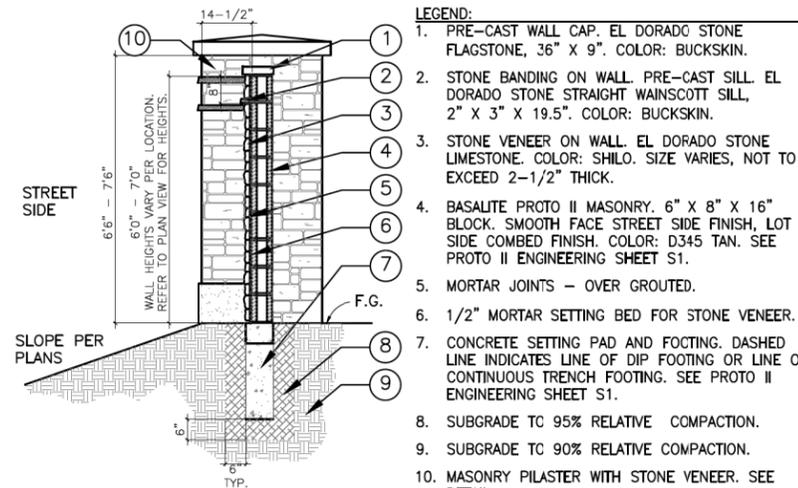
OCTOBER 2022



**LEGEND:**

1. PRE-CAST PILASTER CAP. EL DORADO STONE TEXTURED COLUMN CAP, 40" X 40". COLOR: BUCKSKIN.
2. 12" X 8" X 16" MASONRY BLOCK. FILL ALL CELLS.
3. STONE BANDING ON WALL. PRE-CAST SILL. EL DORADO STONE STRAIGHT WAINSCOTT SILL, 2" X 3" X 19.5". COLOR: BUCKSKIN.
4. 1/2" MORTAR SETTING BED FOR STONE VENEER.
5. STONE VENEER ON WALL. EL DORADO STONE LIMESTONE. COLOR: SHILO. SIZE VARIES, NOT TO EXCEED 2-1/2" THICK. MORTAR JOINTS - OVER GROUTED.
6. #4 REBAR VERTICAL AT CORNERS. (4 TOTAL). PROVIDE 20" MIN. LAP AT ALL SPLICES AND STD. 90 DEG BEND INTO FOOTING.
7. 1/4" TIE @ 16" O.C.
8. 2" MORTAR SETTING BED.
9. STONE BASE. EL DORADO STONE FLAGSTONE COLUMN CAP, 12" X 37", TO BE CUT TO FIT. COLOR: BUCKSKIN.
10. CONCRETE SPREAD FOOTING.
11. #4 REBAR EACH WAY. 3" MIN. CLEAR COVER.
12. CRUSHED AGGREGATE BASE TO 95% RELATIVE COMPACTION.
13. SUBGRADE TO 95% RELATIVE COMPACTION.
14. ADJACENT PROTO II WALL. WALL FINISH PER PLAN.

**(A) PILASTER WITH STONE VENEER**  
SCALE: 1/2" = 1' - 0"



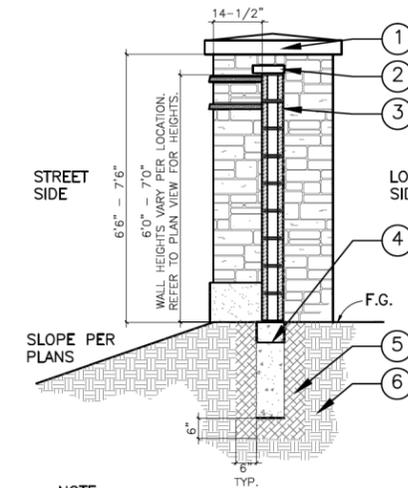
**LEGEND:**

1. PRE-CAST WALL CAP. EL DORADO STONE FLAGSTONE, 36" X 9". COLOR: BUCKSKIN.
2. STONE BANDING ON WALL. PRE-CAST SILL. EL DORADO STONE STRAIGHT WAINSCOTT SILL, 2" X 3" X 19.5". COLOR: BUCKSKIN.
3. STONE VENEER ON WALL. EL DORADO STONE LIMESTONE. COLOR: SHILO. SIZE VARIES, NOT TO EXCEED 2-1/2" THICK.
4. BASALITE PROTO II MASONRY. 6" X 8" X 16" BLOCK. SMOOTH FACE STREET SIDE FINISH, LOT SIDE COMBED FINISH. COLOR: D345 TAN. SEE PROTO II ENGINEERING SHEET S1.
5. MORTAR JOINTS - OVER GROUTED.
6. 1/2" MORTAR SETTING BED FOR STONE VENEER.
7. CONCRETE SETTING PAD AND FOOTING. DASHED LINE INDICATES LINE OF DIP FOOTING OR LINE OF CONTINUOUS TRENCH FOOTING. SEE PROTO II ENGINEERING SHEET S1.
8. SUBGRADE TO 95% RELATIVE COMPACTION.
9. SUBGRADE TO 90% RELATIVE COMPACTION.
10. MASONRY PILASTER WITH STONE VENEER. SEE DETAIL.

**NOTE:**

ALL COMMUNITY WALLS TO BE 6' TALL MEASURED FROM THE HIGH SIDE (I.E. EITHER THE STREET OR THE LOT SIDE), UNLESS A 7' WALL IS NECESSARY AS NOTED ON THE PLANS OR PER SHEET 1 OF EXHIBIT D IN SUBDIVISION RESOLUTION 2004-311.

**(B) PROTO II WALL WITH STONE VENEER**  
SCALE: 1/2" = 1' - 0"



**LEGEND:**

1. MASONRY PILASTER WITH STONE VENEER. SEE DETAIL.
2. PRE-CAST WALL CAP. EL DORADO STONE FLAGSTONE, 36" X 9". COLOR: BUCKSKIN.
3. BASALITE PROTO II MASONRY. 6" X 8" X 16" BLOCK. SPLIT FACE STREET SIDE FINISH, LOT SIDE COMBED FINISH. COLOR: D345 TAN. SEE PROTO II ENGINEERING SHEET S1.
4. CONCRETE SETTING PAD AND FOOTING. DASHED LINE INDICATES LINE OF DIP FOOTING OR LINE OF CONTINUOUS TRENCH FOOTING. SEE PROTO II ENGINEERING SHEET S1.
5. SUBGRADE TO 95% RELATIVE COMPACTION.
6. SUBGRADE TO 90% RELATIVE COMPACTION.

**NOTE:**

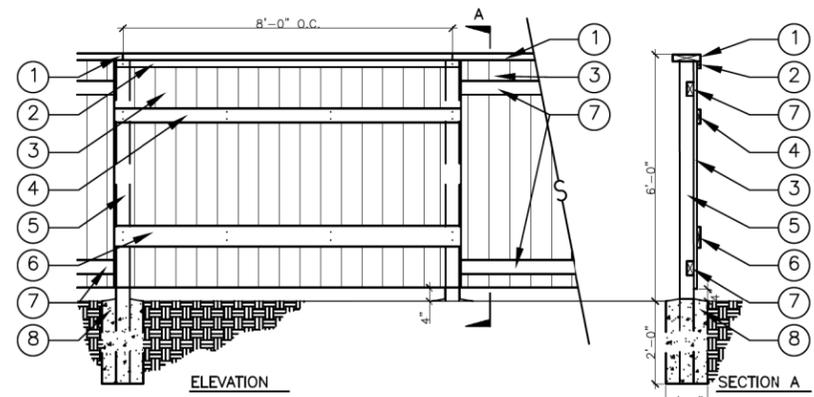
ALL COMMUNITY WALLS TO BE 6' TALL MEASURED FROM THE HIGH SIDE (I.E. EITHER THE STREET OR THE LOT SIDE), UNLESS A 7' WALL IS NECESSARY AS NOTED ON THE PLANS OR PER SHEET 1 OF EXHIBIT D IN SUBDIVISION RESOLUTION 2004-311.

**(C) PROTO II WALL**  
SCALE: 1/2" = 1' - 0"

**BOULDERS AND ROCK**

SYMBOL	TYPE	APPROXIMATE SIZE	QUANTITY	DEPTH
	FIELD STONE	30" DIAMETER		BURIED A MIN. OF 1/3 OF THE OVERALL BOULDER HEIGHT
	FIELD STONE	24" DIAMETER		
	FIELD STONE	18" DIAMETER		

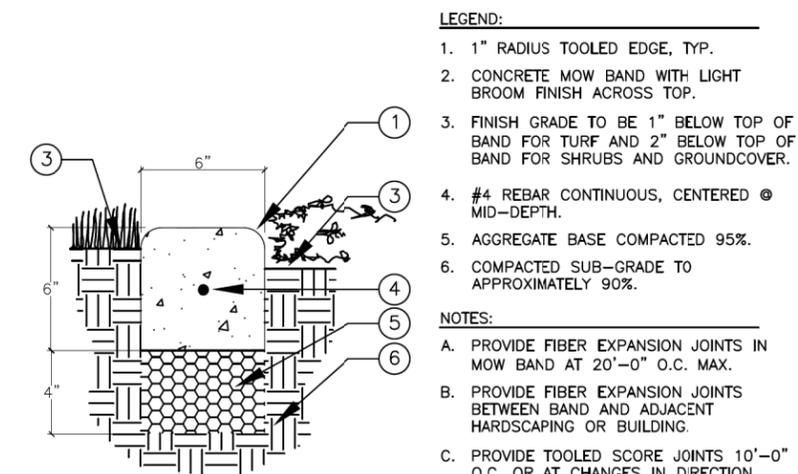
FIELD STONE BOULDERS MAY BE FROM THE WHITNEY RANCH SITE



**LEGEND:**

1. 2" x 8" CAP.
2. 1" x 2" PLANT-ON.
3. 1" x 6" FENCE BOARD, TYP.
4. 1" x 4" PLANT-ON.
5. 4" x 4" POST. PLACE POSTS 8'-0" O.C. MAXIMUM.
6. 1" x 6" PLANT-ON.
7. 2" x 4" STRINGER, TOP AND BOTTOM, TYP.
8. 12" x 24" CONCRETE FOOTING, TYP. SLOPE TOP AWAY FROM POST TO PREVENT STANDING WATER.

**(D) WOOD FENCE - GOOD NEIGHBOR**  
SCALE: 1/2" = 1' - 0"



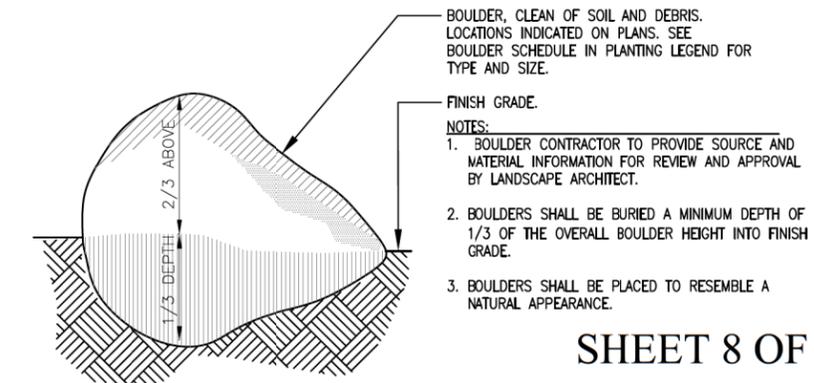
**LEGEND:**

1. 1" RADIUS TOOLED EDGE, TYP.
2. CONCRETE MOW BAND WITH LIGHT BROOM FINISH ACROSS TOP.
3. FINISH GRADE TO BE 1" BELOW TOP OF BAND FOR TURF AND 2" BELOW TOP OF BAND FOR SHRUBS AND GROUND COVER.
4. #4 REBAR CONTINUOUS, CENTERED @ MID-DEPTH.
5. AGGREGATE BASE COMPACTED 95%.
6. COMPACTED SUB-GRADE TO APPROXIMATELY 90%.

**NOTES:**

- A. PROVIDE FIBER EXPANSION JOINTS IN MOW BAND AT 20'-0" O.C. MAX.
- B. PROVIDE FIBER EXPANSION JOINTS BETWEEN BAND AND ADJACENT HARDSCAPING OR BUILDING.
- C. PROVIDE TOOLED SCORE JOINTS 10'-0" O.C. OR AT CHANGES IN DIRECTION.
- D. REFER TO SPECIFICATIONS AND PLAN SHEETS FOR MORE INFORMATION.

**(E) 6" CONCRETE MOW BAND**  
SCALE: 3" = 1' - 0"



BOULDER, CLEAN OF SOIL AND DEBRIS. LOCATIONS INDICATED ON PLANS. SEE BOULDER SCHEDULE IN PLANTING LEGEND FOR TYPE AND SIZE.

FINISH GRADE.

**NOTES:**

1. BOULDER CONTRACTOR TO PROVIDE SOURCE AND MATERIAL INFORMATION FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT.
2. BOULDERS SHALL BE BURIED A MINIMUM DEPTH OF 1/3 OF THE OVERALL BOULDER HEIGHT.
3. BOULDERS SHALL BE PLACED TO RESEMBLE A NATURAL APPEARANCE.

**(F) BOULDER PLACEMENT**  
SCALE: 1/2" = 1' - 0"

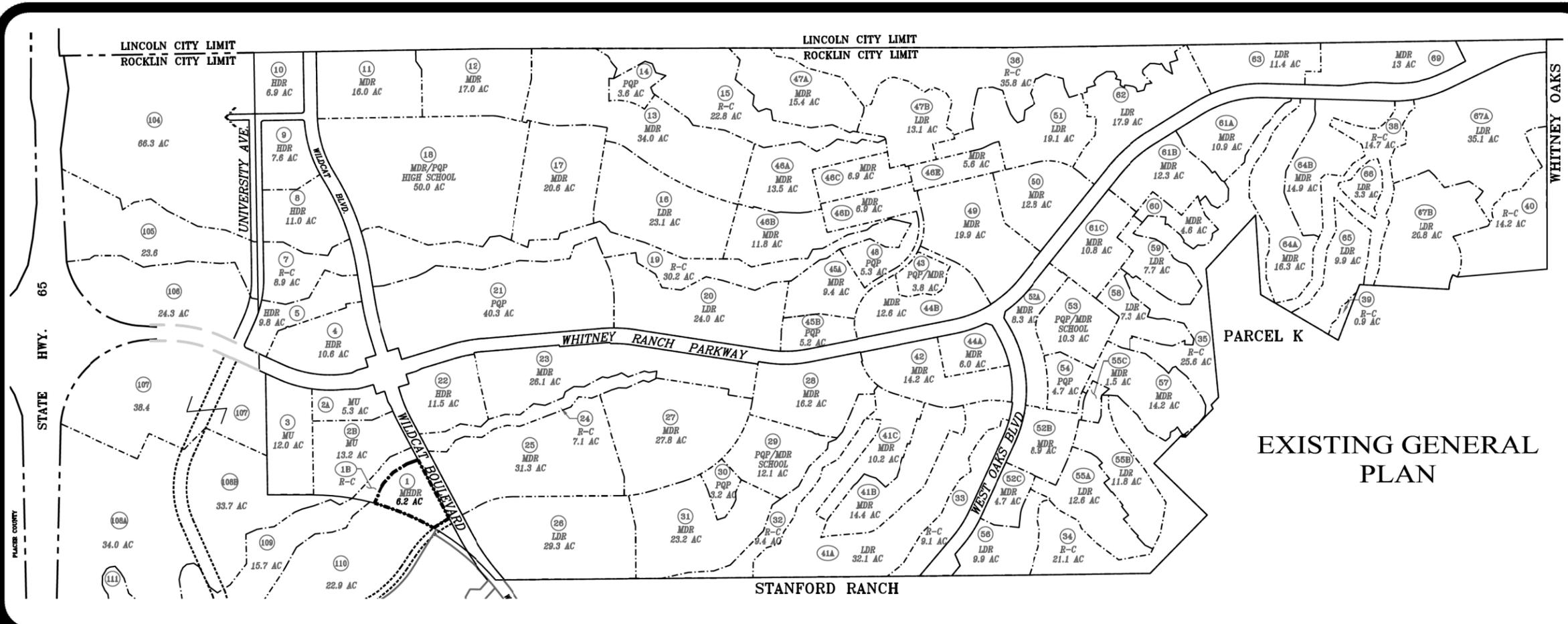
## SHEET 8 OF 8 PRELIMINARY PLANTING DETAILS

**FUHRMAN LEAMY  
LAND GROUP**  
DESIGN • SERVICE • SOLUTIONS  
2140 PROFESSIONAL DRIVE, SUITE 115 ROSEVILLE, CA 95661  
(916) 783-5263 info@fllandgroup.com

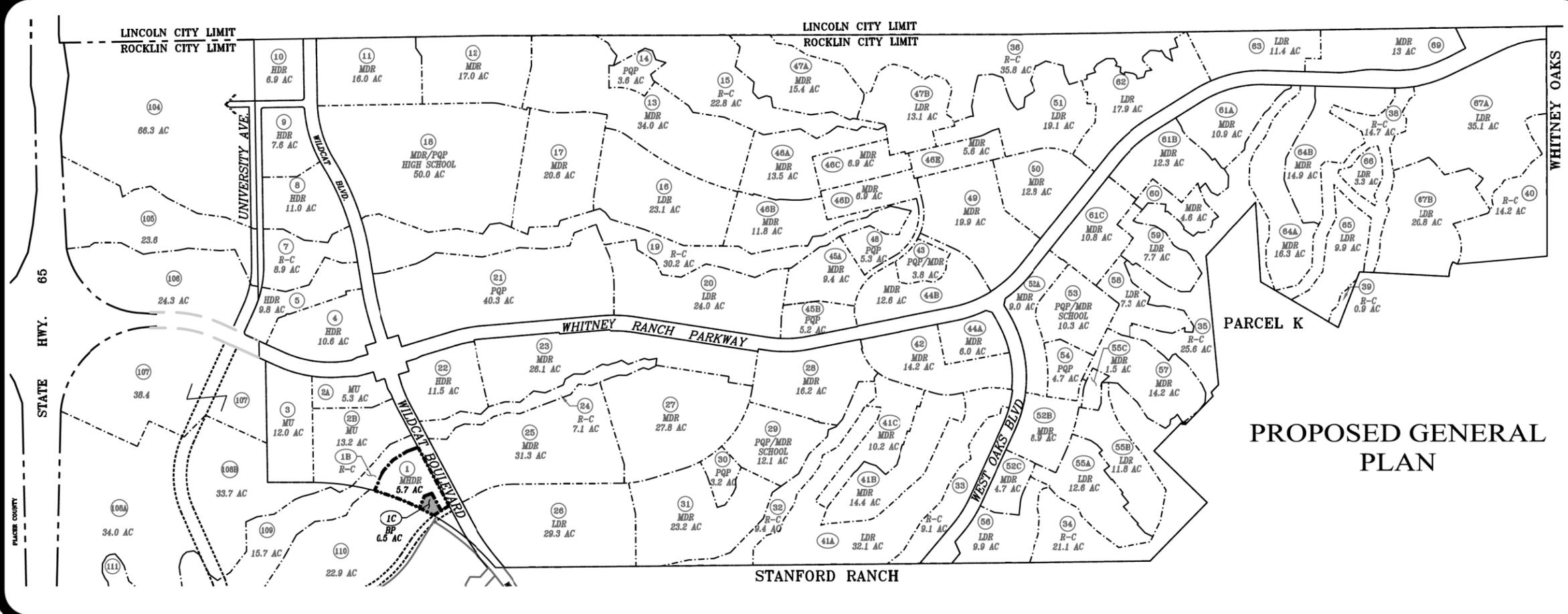
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N.W.R.A.  
**GENERAL PLAN**  
**EXHIBIT**  
 SEPTEMBER 2022



**EXISTING GENERAL PLAN**



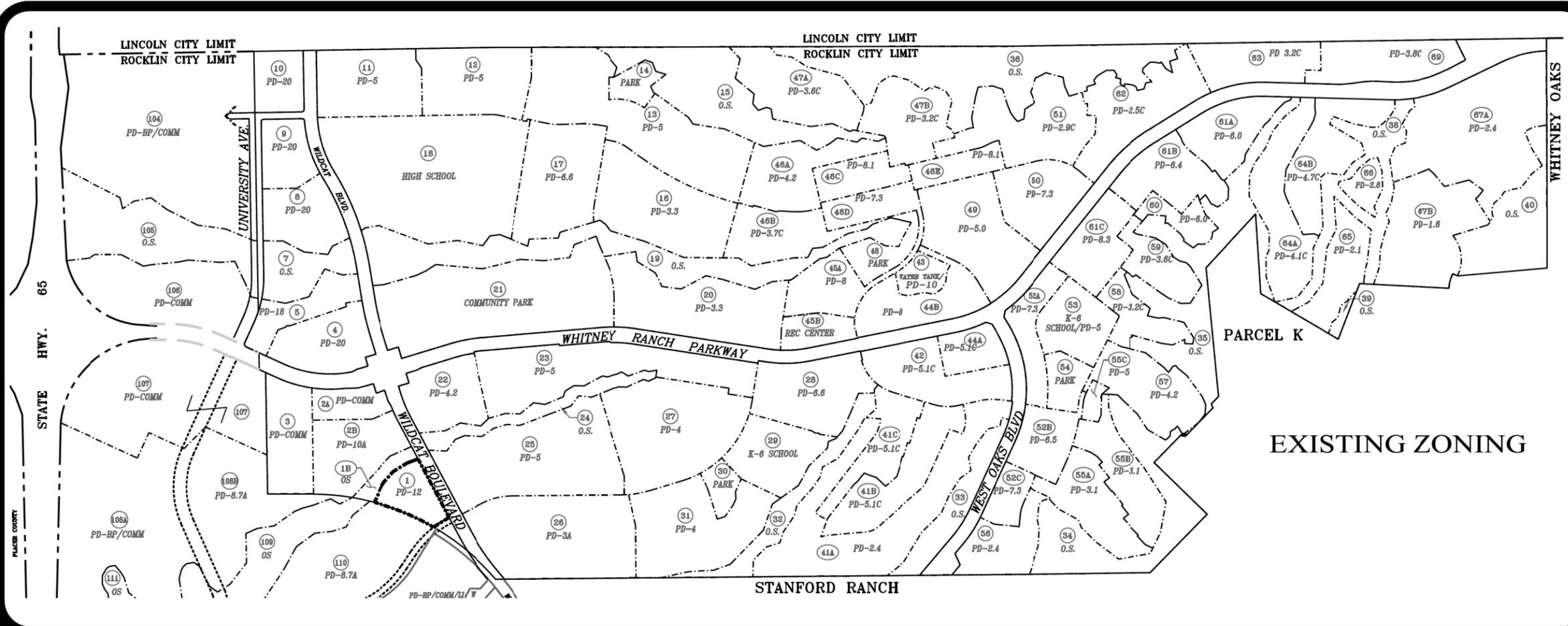
**PROPOSED GENERAL PLAN**

**LEGEND:**

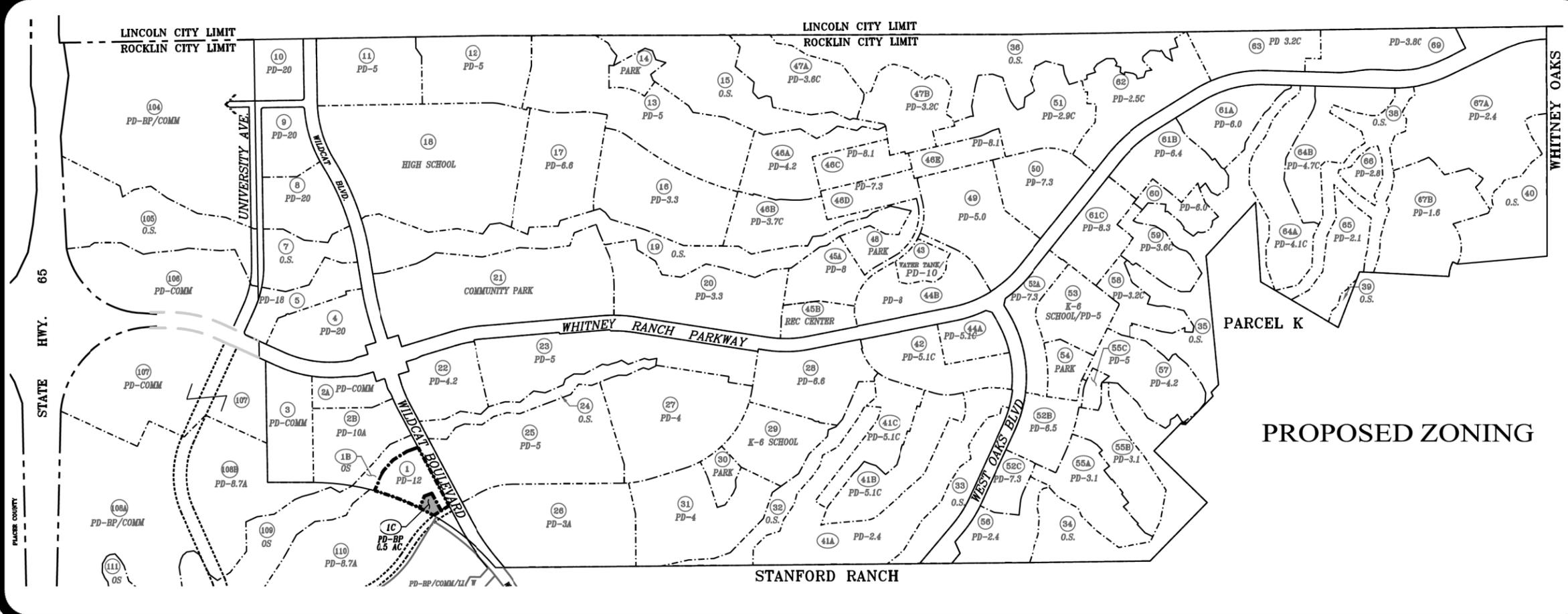
BP	BUSINESS PROFESSIONAL
LI	LIGHT INDUSTRIAL
HDR	HIGH DENSITY RESIDENTIAL
LDR	LOW DENSITY RESIDENTIAL
MDR	MEDIUM DENSITY RESIDENTIAL
MHDR	MEDIUM HIGH DENSITY RESIDENTIAL
PQP	PUBLIC QUASI PUBLIC
RC	RETAIL COMMERCIAL
R-C	RECREATIONAL CONSERVATION
—	CORE ROADS
XX	DEVELOPMENT AREA

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# N.W.R.A. GENERAL DEVELOPMENT PLAN ZONING EXHIBIT SEPTEMBER 2022



EXISTING ZONING



PROPOSED ZONING

**LEGEND:**

PD-#	PLANNED DEVELOPMENT RESIDENTIAL, # UNITS PER ACRE
PD-BP/COMM/LL/W	PLANNED DEVELOPMENT- BUSINESS PROFESSIONAL/COMMERCIAL/ LIGHT INDUSTRIAL
PD-BP/COMM	PLANNED DEVELOPMENT- BUSINESS PROFESSIONAL/COMMERCIAL
PD-BP	PLANNED DEVELOPMENT- BUSINESS PROFESSIONAL
PD-IP	PLANNED DEVELOPMENT INDUSTRIAL PARK
PD-COMM	PLANNED DEVELOPMENT-COMMERCIAL
PD-CO.COMM	PLANNED DEVELOPMENT- COMMUNITY COMMERCIAL
PD-NH.COMM	PLANNED DEVELOPMENT- NEIGHBORHOOD COMMERCIAL
PD-LI	PLANNED DEVELOPMENT- LIGHT INDUSTRIAL
BP	BUSINESS PROFESSIONAL
INDUSTRIAL	INDUSTRIAL AREA
COMM	COMMERCIAL
O.S.	OPEN SPACE
W	WETLAND

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# WHITNEY RANCH WELCOME CENTER DESIGN REVIEW EXHIBIT

OCTOBER 10, 2022

## SHEET INDEX

- 1 PLAN VIEW
- 2 EXISTING ELEVATION PHOTOS
- 3 BUILDING PERMIT COVER SHEET
- 4 PRELIMINARY PLANTING PLAN
- 5 PRELIMINARY PLANTING & FENCING PLAN

## PARKING REQUIREMENTS TABLE

### EXISTING FACILITY DATA

(SEE ATTACHED BUILDING PERMIT, SHEET G-001)

BUILDING AREA: 2,104SF

### PARKING REQUIRED

(PER CITY OF ROCKLIN MUNICIPAL CODE SECTION 17.66.040.A)

STALLS REQUIRED: 1 STALL PER 200 SF

TOTAL PARKING REQUIRED: 11 STALLS

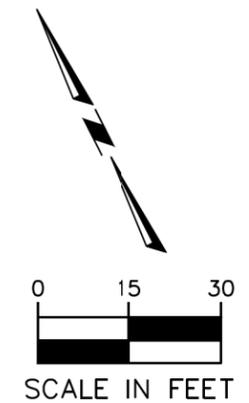
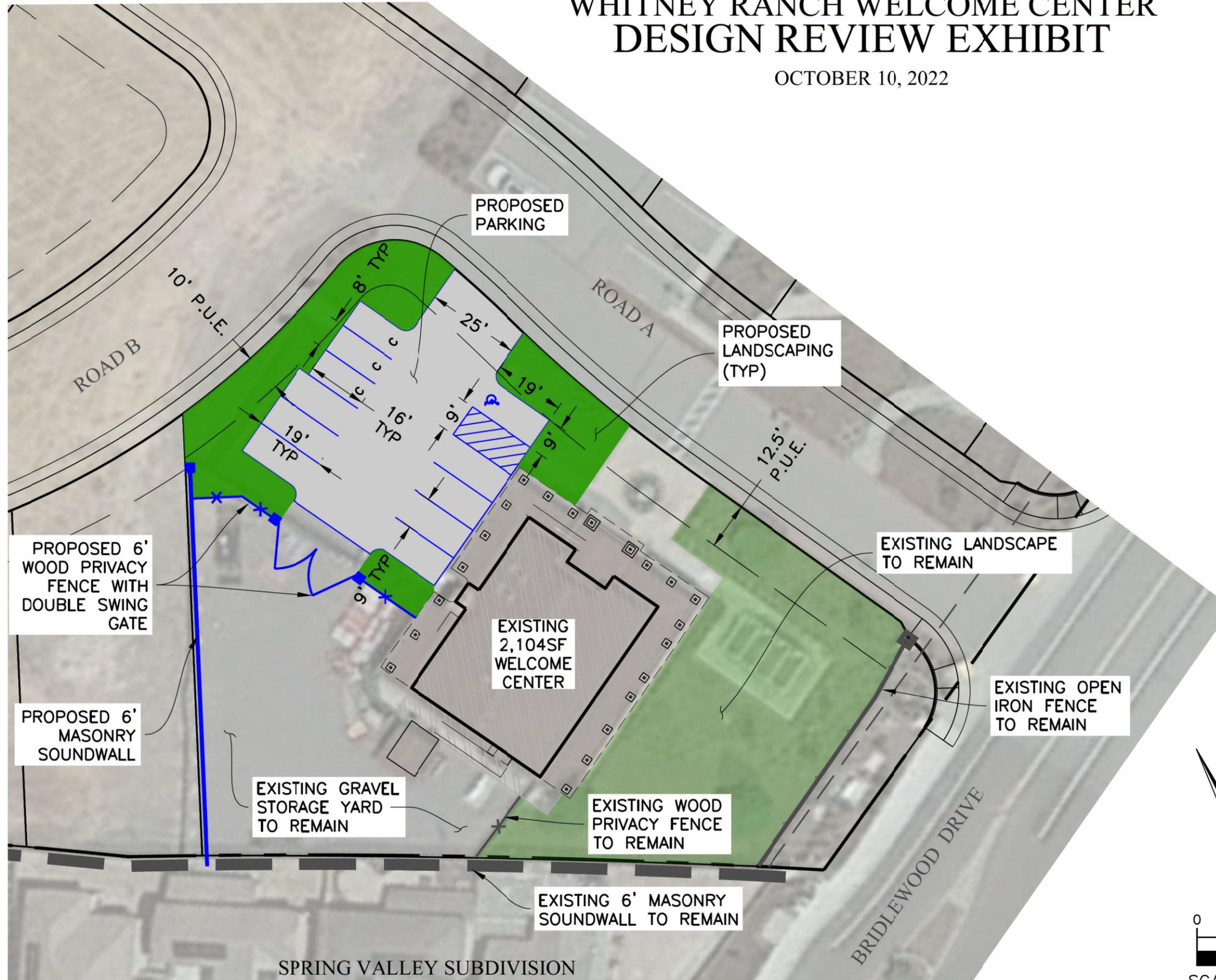
### PARKING PROVIDED

VAN ACCESSIBLE STALLS: 1 STALL

STANDARD STALLS: 7 STALLS

COMPACT STALLS: 3 STALLS

TOTAL PARKING PROVIDED: 11 STALLS



SHEET 1 OF 5

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P:\project\9-110.10 (Whitney Ranch)\Units\Unit 1\_CAD\T map>Welcome Center Design Review 2022.dwg

# WHITNEY RANCH WELCOME CENTER PHOTOS OF EXISTING BUILDING

OCTOBER 10, 2022



FRONT (EAST)



SIDE (SOUTH)



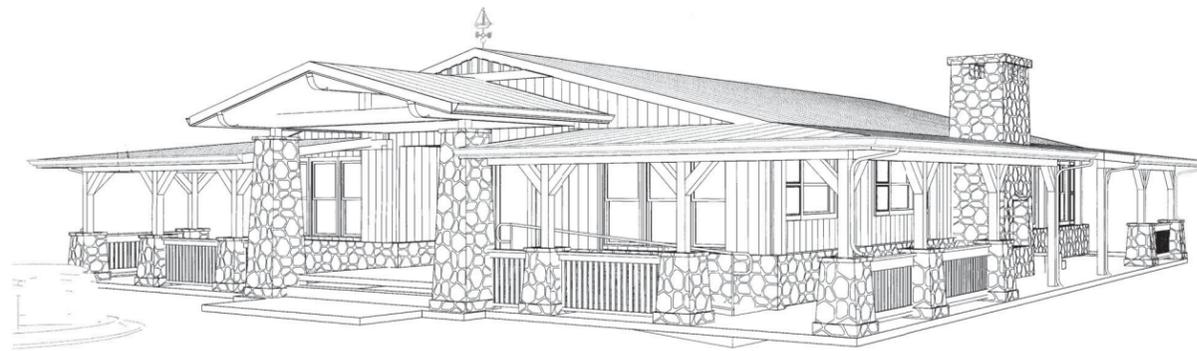
SIDE (NORTH)

SHEET 2 OF 5

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UBORA JOB#: 09-110.101



# Whitney Ranch Welcome Center

## BUILDING & SITE INFORMATION BUILDING & SITE CODE COMPLIANCE

SITE	BUILDING
PROJECT ADDRESS: 960 Wildcat Blvd. Rocklin, CA	ITEM: PROJECT DESCRIPTION: This project consists of site work, installation of a premanufactured home and installation of a freestanding porch to be used as a temporary Welcome and Information Center for the Whitney Ranch Development. The Welcome Center will be a Light Office environment with staff that will provide information about the area to potential home buyers. The Center will comply with ADA and T-24 access requirements.
ZONING: PD-BP	AUTOMATIC SPRINKLERS: NONE
PARCEL NUMBER (APN): 017-170-004	BUILDING AREA CALCULATION: BUILDING GROSS AREA: 2104 SQ.FT. DECK AREA: 1535 SQ.FT.
ACREAGE: 9.4 acres (410,263 SQ.FT.)	OCCUPANCY CLASSIFICATION: R-3/B
CODE REFERENCE: 2001 Uniform Building Code / California Building Code (California Code of Regulations, Title 24, Part 2) 2001 California Mechanical Code, Plumbing Code, Electrical Code, Fire Code as amended by the City of Rocklin	CONSTRUCTION TYPE: V-N (Type V, Non-rated)
	ROOF CONSTRUCTION: CLASS B

### 1 Project Information

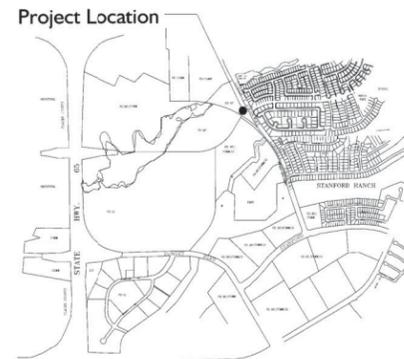
G-001 1/2" = 1'-0"

CLIENT: Newland Communities  
Contact: Don Burton  
1508 Eureka Road,  
Roseville, CA 95661  
p. 916.783.6272

ARCHITECT: mas | mojica architecture studio  
Ed Mojica, AIA  
2588 Rogue Way  
Roseville, CA 95747  
p. 916.783.6277  
f. 916.783.6211  
ed.mojica@designmas.com

STRUCTURAL ENGINEER: Buehler & Buehler  
William B. Rader, S.E.  
2237 Douglas Blvd., Suite 120  
Roseville, CA 95661  
p. 916.788.7171  
f. 916.788.7474  
wrader@bbse.com

LANDSCAPE ARCHITECT: Quadriga Landscape Architecture  
Marq Truscot, ASLA  
1808 Q 5 street  
Sacramento, CA 95814  
p. 916.441.2129



### 4 Vicinity Map

G-001 1/8" = 1'-0"

DEFERRED SUBMITTAL  
WATER FEATURE WILL NEED TO BE SUBMITTED FOR REVIEW AND APPROVAL IN ADVANCE AND THE WATER FEATURE WILL NEED TO BE INSTALLED AND OPERATIONAL PRIOR TO THE PLANNING DEPARTMENT FINAL INSPECTION.

A.B. ANCHOR BOLT	I.D. INSIDE DIAMETER (DIM.)
A/C AIR CONDITIONING	INCL. INCLUDING
ACOUS. ASPHALT CONCRETE	INDUS. INDUSTRIAL
ADJ. ADJUSTABLE	INSUL. INSULATION
AGG. AGGREGATE	INT. INTERIOR
ALUM./AL. ALUMINUM	J.H. JOIST HANGER
APPROX. APPROXIMATE	JSTS. JOISTS
ASPH. ASPHALT	JT. JOINT
B.N. BOUNDARY NAILING CF	LAM. LAMINATED
B.U.R. BUILT UP ROOFING	LAV. LAVATORY
BLDG. BUILDING	MAX. MAXIMUM
BLKG. BLOCKING	MECH. MECHANICAL
BM. BEAM	MED. CAB. MEDICINE CABINET
C.I. CAST IRON	MET. METAL
C.M.U. CONCRETE MASONRY UNIT	MIN. MINIMUM
CAB. CABINETS	MISC. MISCELLANEOUS
CEH.PLAS. CEMENT PLASTER	MOUNT. MOUNTED
CER. CERAMIC	(N) NEW
CFM CUBIC FEET PER MINUTE	N/A NOT APPLICABLE
C.J. CEILING JOIST	N.I.C. NOT IN CONTRACT
CL. CLOSET	N.T.S. NOT TO SCALE
CLG. CEILING	NO. NUMBER
CLR. CLEAR/CLEARANCE	NOM. NOMINAL
CNTRP. COUNTERTOP	ON CENTER
COL. COLUMN	O.D. OUTSIDE DIAMETER (DIM.)
CONC. CONCRETE	OPNG. OPENING
CONN. CONNECTION	P & S POLE AND SHELF
CONSTR. CONSTRUCTION	PC RECE
CONT. CONTINUOUS	P.D.F. POWDER DRIVEN FASTENER
CTR. CENTER	PERF. PERFORATED
D.S. DOWN SPOUT	P.LAM. PLASTIC LAMINATED
DBL. DOUBLE	PLAS. PLASTER
DIA. DIAMETER	PLYWD. PLYWOOD
DIM. DIMENSION	FR. FRAMING
DN. DOWN	PTD. PAINTED
DP. DEEP	R. RISER
DR. DOOR	RAD. RADIUS
EA. EACH	RB # ROOF BEAM #
EL/ELEV. ELEVATION	R.O. ROUGH OPENING
ELEC. ELECTRICAL	RDWD. REDWOOD
EN. EDGE NAILING OF	REINF. REINFORCING
EXP. EXPANSION	REQ'D. REQUIRED
EXT. EXTERIOR	RPL. REPLACE
FB # FLOOR BEAM #	S.C. SOLID CORE
F.O.C. FACE OF CONCRETE	S.M.S. SHEET METAL SCREW
F.O.S. FACE OF STUDS	SCHED. SCHEDULE
FIN. FINISH	SHLF. SHELF
FL. FLOOR	SHLVG. SHELVING
F.J. FLOOR JOIST	SHR.HD. SHOWER HEAD
FLR. FLOOR	SHT. SHEET
FNDN. FOUNDATION	SHTG. SHEETING
FURR. FURRING	SIM. SIMILAR
FX./FX. FIXED	SLDG. SLIDING
G.J/G.S.M. GALVANIZED SHEET METAL	SQ. SQUARE
GA. GAUGE	STD. STANDARD
GALV. GALVANIZED	STL. STEEL
GL. GLASS	THK. THICK
GYP. BD. GYPSUM BOARD	T + G TONGUE AND GROOVE
H.B. HOSE BIBB	T.O.C. TOP OF CURB
H.C. HANDICAPPED	T.O.P. TOP OF PLATE
H.C. HOLLOW CORE	TYP. TYPICAL
H.M. HOLLOW METAL	U.O.N. UNLESS OTHERWISE NOTED
HORIZ. HORIZONTAL	VERT. VERTICAL
HT. HEIGHT	W.C. WATER CLOSET
HVAC HEATING, VENTILATING, AIR CONDITIONING	WD. WOOD
	WP. WATERPROOF
	W.S. WOOD SCREW
	WT. WEIGHT
	W.W.F. WELDED WIRE FABRIC
	# WITH NUMBER

### 2 Abbreviations

G-001 1" = 1'-0"

### SYMBOLS

+, &	AND	---	CENTER LINES PROJECTING
@	AT	---	EXTERIOR ELEVATION LINES
d	PENNY NAIL	---	PROPERTY LINES,
R	PLATE OR PROPERTY LINE	---	BOUNDARY LINES
⊕	CENTER LINE	---	HIDDEN, FUTURE OR, EXISTING
#	NUMBER OR POUNDS	---	CONSTRUCTION TO BE REMOVED
□	SQUARE INCHES	---	TO INDICATE BREAK IN PART
1, 2	SQUARE FEET	---	OF DRAWING
∠	ANGLE	25.0'	EXISTING POINT ELEVATION
A, A'-B'	A FEET, B INCHES	25.0'	(PLAN)
A.B	A FEET B DECIMAL FEET	25	NEW OR REQUIRED POINT
(N)	NEW	25	ELEVATION
(E)	EXISTING	25	(E) CONTOURS - ELEVATION
∅	DIAMETER	25	NOTED ON HIGH SIDE
OV/	OVER	25	(N) CONTOURS - ELEVATION
		A21.1	NOTED ON HIGH SIDE
			SHEET NOTE INDICATED ON
			SPECIFIC PLAN

### 5 Symbols

G-001 1/2" = 1'-0"

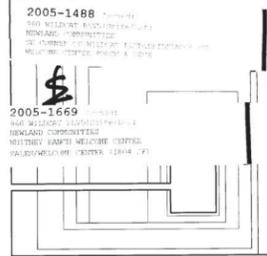
### 3 Project Team

G-001 1/2" = 1'-0"

SPOT HGT. A.F.F.	REFERENCE MARK	0	SECTION CUT NUMBER
CONDITION	MATCH LINE, SHADED	A-000	SHEET ON WHICH SECTION
	REVISION NUMBER	1	OCCURS
	CLOUD AROUND REVISION	2	INTERIOR ELEV. SYMBOL
	FLAG NOTE (REFER TO SCHEDULE)	3	ELEVATION NUMBER
	KEYNOTE	4	(UNFOLD CLOCKWISE, NO
	COLUMN REFERENCE GRIDS	02	ARROW MEANS ELEVATION
	WINDOW NUMBER		NOT SHOWN.
	OPENING NUMBER		SHEET ON WHICH
	DETAIL NUMBER		ELEVATION OCCURS.
	SHEET ON WHICH DETAIL		ROOM NAME
	OCCURS		ROOM NUMBER
			INDICATES HINGE SIDE
			ALIGN

### ARCHITECTURAL MATERIALS SYMBOLS

[Symbol]	EARTH/NATURAL	[Symbol]	METAL
[Symbol]	CONCRETE	[Symbol]	WOOD, FINISH
[Symbol]	SAND	[Symbol]	WOOD, ROUGH
[Symbol]	ROCK	[Symbol]	BLOCKING
[Symbol]	MASONRY BLOCK	[Symbol]	PLYWOOD
[Symbol]	COMMON/FACE BRICK	[Symbol]	GYPSUM WALLBOARD
[Symbol]	STUCCO, ELEV.	[Symbol]	METAL LATH & PLASTER SECTION
[Symbol]		[Symbol]	GLASS SECTION
[Symbol]		[Symbol]	GLASS BLOCK
[Symbol]		[Symbol]	INSULATION BATT/LOOSE FILL
[Symbol]		[Symbol]	INSULATION, RIGID
[Symbol]		[Symbol]	ACOUSTICAL TILE (LARGE SCALE)
[Symbol]		[Symbol]	CERAMIC TILE (LARGE SCALE)
[Symbol]		[Symbol]	CARPET & PAD



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roseville, california 95747

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f. 916.783.6211

www.designmas.com

### DRAWING INDEX

Sheet Number	Sheet Name
G-001	Cover Sheet
C1	Title Sheet
C2	General Notes
C3	General Notes
C4	Sections and Construction Details
C5	Sections and Construction Details
C6	Bridlewood Drive West Plan & Profile
C7	Horizontal Control Plan
C8	Grading and Drainage Plan
C9	Utility Plan
C10	Bridlewood Drive West Signing and Striping
C11	Erosion and Sediment Control Plan
C12	Erosion and Sediment Control Details
L0.00	COVER SHEET
L1.01	LAYOUT PLAN
L1.02	LAYOUT DETAILS
L1.03	LAYOUT DETAILS
L1.04	LAYOUT DETAILS
L2.01	IRRIGATION PLAN
L2.02	IRRIGATION NOTES AND DETAILS
L2.03	IRRIGATION DETAILS
L2.04	IRRIGATION DETAILS
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L3.02	PLANTING DETAILS
L3.03	PLANTING NOTES
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A-101	Floor Plan
A-102	ADA Bathroom Plans & Details
A-103	Roof Plan
A-201	Exterior Elevations & Sections
A-301	Building Details
S-100	Foundation Plan @ Deck
S-101	Roof Framing
S-MHC701	MFG STRUCTURAL FOUNDATION PLAN
E0.1	SYMBOL LEGEND, GENERAL NOTES
E0.2	TITLE 24 WORKSHEETS
E1.1	ELECTRICAL PLAN
E1.2	SITE PHOTOMETRIC PLAN
E2.1	ELECTRICAL FLOOR PLAN
E3.1	PANEL SCHEDULE, ONELINE DIAG., DETAILS

APPROVED  
CITY OF ROCKLIN BLDG DEPT  
DATE: 11/12/05  
OFFICE COPY

## Whitney Ranch Welcome Center

Rocklin, California

In addition to BUILDING DEPT inspections, you are responsible to coordinate the following inspections and approvals:  
PLANNING 625-5140  
FIRE 625-5300  
ENGINEERING 625-5140  
SEWER 625-5877  
HEALTH 530-745-2300  
OTHER

Consultants

No.	Description	Date
1	Rocklin Bldg. No. 2005-1488	10-25-05
2	Rocklin Bldg. No. 2005-1669	10-05-05
3	Rocklin Fire Department #05-321	10-25-05
4	Rocklin Planning No. 2005-1488	11-01-05
5	Rocklin Bldg. No. 2005-1488/1669	11-15-05



Project Number: a0412  
Date: 12.12.05  
Drawn By: Author  
Checked By: EM  
Scale: As indicated

SHEET 3 OF 5

G-001  
Cover Sheet



# WHITNEY RANCH WELCOME CENTER DESIGN REVIEW EXHIBIT

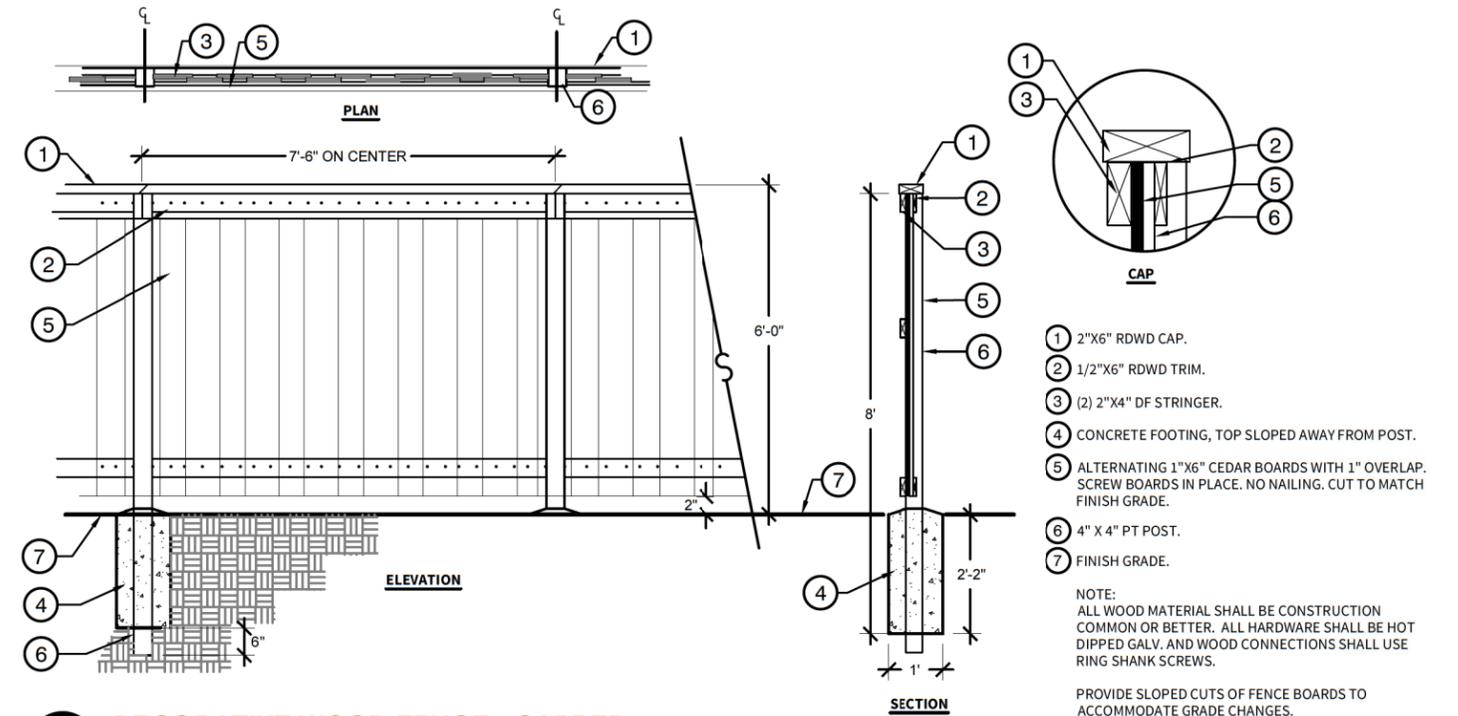
OCTOBER 10, 2022

## PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	SIZE	WATER USE	QTY
	LAGERSTROEMIA INDICA X FAURIEI 'TUSCARORA' TUSCARORA CRAPE MYRTLE	15 GAL.	L	4
	TILIA CORDATA 'GREENSPIRE' GREENSPIRE LITTLELEAF LINDEN	15 GAL.	M	4

## CONCEPT PLANT SCHEDULE

	<b>FOUNDATION / SCREENING SHRUBS</b> ABELIA X GRANDIFLORA 'DWARF' / DWARF GLOSSY ABELIA CEANOTHUS X 'CONCHA' / CONCHA WILD LILAC RHAMNUS CALIFORNICA 'MOUND SAN BRUNO' / CALIFORNIA COFFEEBERRY
	<b>FILLER</b> ARCTOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN' / HOWARD MCMINN MANZANITA CALLISTEMON VIMINALIS 'LITTLE JOHN' / DWARF WEEPING BOTTLEBRUSH DIETES BICOLOR / FORTNIGHT LILY GREVILLEA X 'NOELLII' / GREVILLEA RHAPHIOLEPIS UMBELLATA 'MINOR' / YEDDA HAWTHORN
	<b>ACCENT SHRUBS/GRASSES</b> ACACIA COGNATA 'ACCOG01' / COUSIN ITT LITTLE RIVER WATTLE CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS MUHLENBERGIA CAPILLARIS / PINK MUHLY ROSA X 'RED' / RED CARPET ROSE SALVIA GREGGII 'HOT LIPS' / AUTUMN SAGE
	<b>GROUNDCOVERS</b> COTONEASTER DAMMERI 'LOWFAST' / LOWFAST BEARBERRY COTONEASTER HYPERICUM CALYGINUM / CREEPING ST. JOHN'S WORT JUNIPERUS HORIZONTALIS 'BLUE CHIP' / BLUE CHIP JUNIPER MYOPORUM PARVIFOLIUM 'PUTAH CREEK' / PUTAH CREEK MYOPORUM TEUCRIUM CHAMAEDRYS 'PROSTRATUM' / PROSTRATE GERMANDER
	<b>EXISTING PLANT MATERIAL TO REMAIN</b> -



**1 DECORATIVE WOOD FENCE - CAPPED**  
1/2" = 1'-0"

R-22030-06

SHEET 5 OF 5

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UBORA JOB#: 09-110.101

J:\\_R.RESIDENTIAL\RESIDENTIAL\_COMMUNITY\UBORA\_ENGINEERING & PLANNING\WR\_UNIT\_1\2\_DDL\_2\_LA\22030\_dds\site\_DR.dwg

LAND USE EXHIBIT  
 WHITNEY RANCH UNIT 1  
 SEPTEMBER 23, 2022

LAND USE SUMMARY

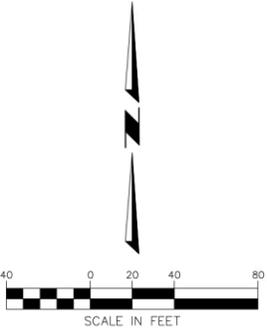
<b>RESIDENTIAL (PD-12)</b>	
Lots 1 - 43	5.05 Ac.
Lot "C" - Landscape	0.03 Ac.
<b>Subtotal - Residential</b>	<b>5.08 Ac.</b>
Dwelling Units	43 Du
Density	8.5 Du/Ac.
<b>Business Professional (PD-BP)</b>	
Lot 44	0.69 Ac.
Lot "A" - Landscape	0.03 Ac.
Lot "B" - Landscape	0.06 Ac.
<b>Subtotal - Business Professional</b>	<b>0.78 Ac.</b>
<b>Open Space (OS)</b>	
Lot D - Open Space	0.31 Ac.
<b>Total</b>	<b>6.17 Ac.</b>

LEGEND:

-  PROJECT BOUNDARY
-  PROPOSED LOT LINE
-  PROPOSED 12.5' P.U.E. (FRONT) 10' P.U.E. (SIDE)
-  PROPOSED RIGHT-OF-WAY
-  LOT NUMBER
-  LIMITS OF PROPOSED PD-BP



EXISTING SIGNAGE ON LOT B

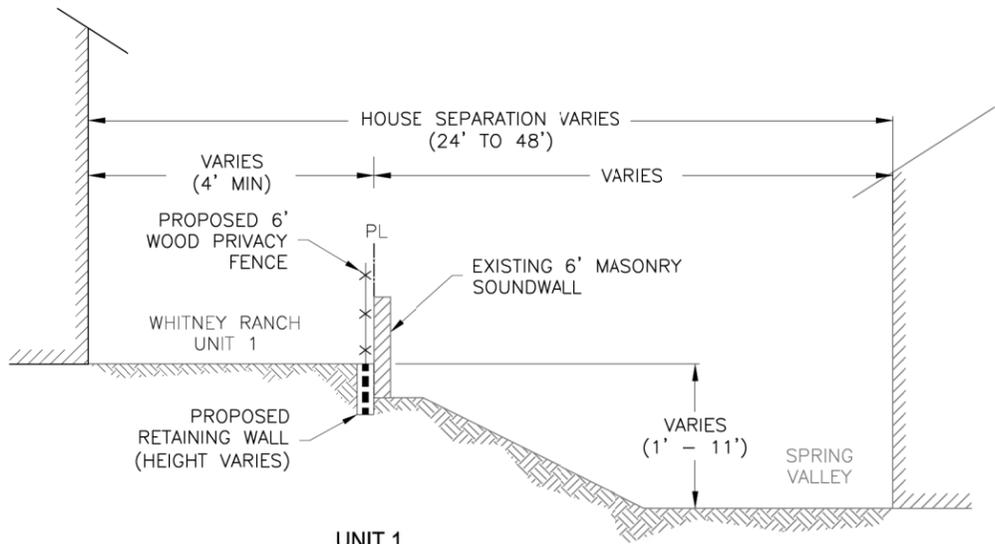


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P:\Projects\110-10\Whitney Ranch\Units\Unit 1\_CADD\map\unit 1A\_Tent Map.dwg

# WHITNEY RANCH UNIT 1 SPRING VALLEY INTERFACE EXHIBIT

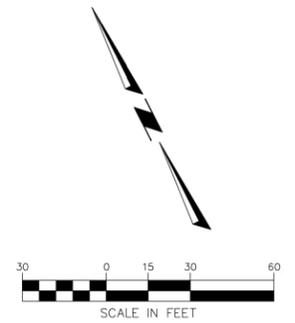
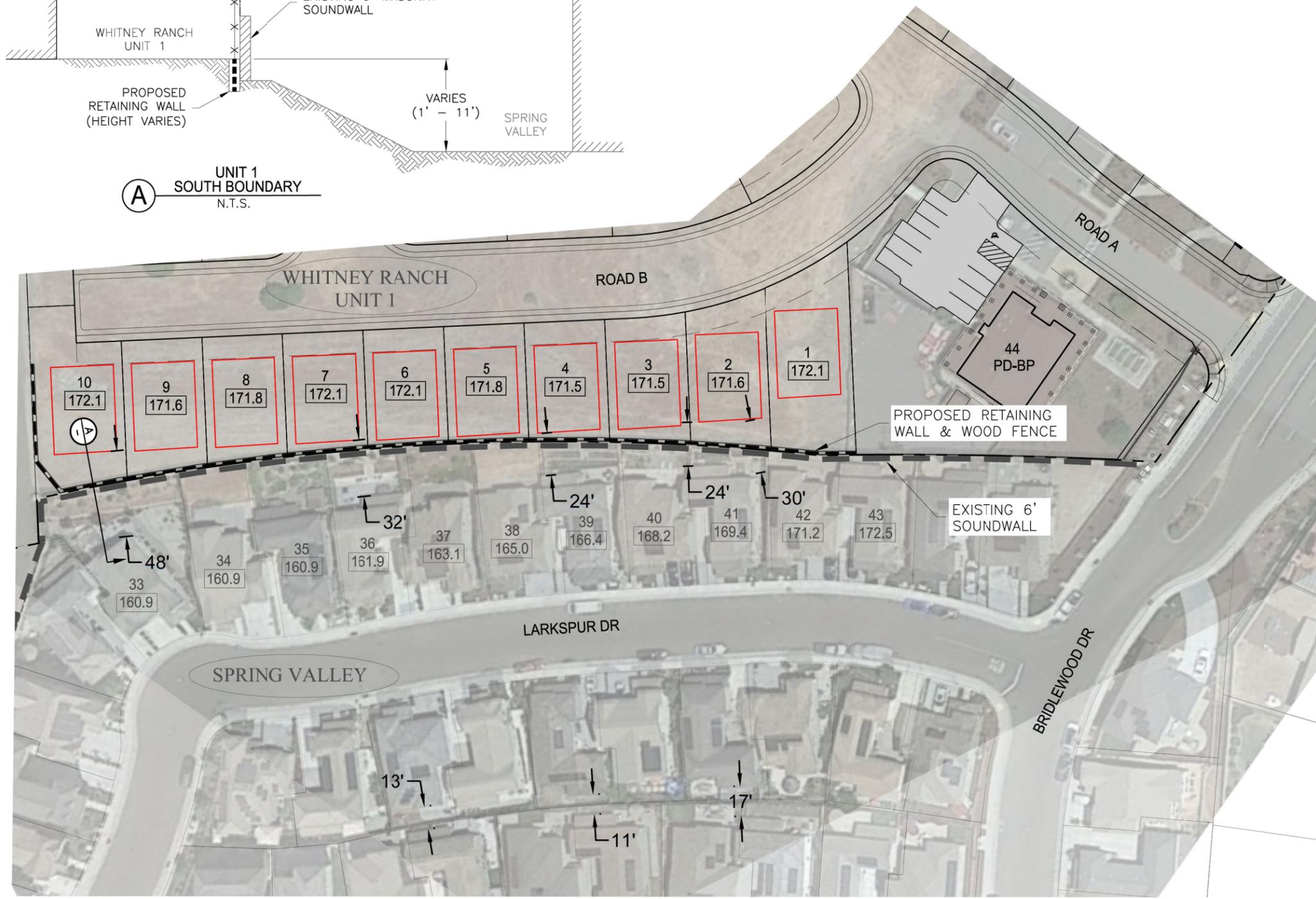
SEPTEMBER 27, 2022



**A** UNIT 1 SOUTH BOUNDARY  
N.T.S.

### LEGEND:

- EXISTING 6' SOUNDWALL
- PROPOSED RETAINING WALL
- 10 LOT NUMBER
- 172.1 PAD ELEVATION
- 35'x48' PROPOSED PRODUCT



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