



City of Rocklin

Planning Division
3970 Rocklin Road
Rocklin, California 95677
Phone (916) 625-5160 FAX (916) 625-5195

UNIVERSAL APPLICATION FORM

NAME OF PROJECT: WHITNEY RANCH - UNIT 1

LOCATION: NORTHWEST CORNER OF WILDCAT BOULEVARD & BRIDLEWOOD DRIVE

ASSESSOR'S PARCEL NUMBERS: 017-171-030

DATE OF APPLICATION (STAFF): 10/14/22 RECEIVED BY (STAFF INITIALS): NRA

FILE NUMBERS (STAFF): SD 2022-0002; GPA 2022-0004; PDG 2022-0004; Z 2022-0001; DR 2022-0015; DA-2001-01H FEES: \$17,293

RECEIPT NO.: 249987

Pre-Application Meeting Requirements:

It is required that a pre-application meeting be held with a Staff Planner prior to submitting most applications for planning entitlements and permits. The purpose of the pre-application meeting is to expedite application processing by enabling staff to work with the applicant to assure that the officially submitted application materials are in the proper format and that the applicant understands the City of Rocklin's goals, policies, and ordinances that may affect the project. A copy of these and other planning provisions is available at the applicant's request.

Generally, two sets of preliminary plans and a written description of the proposed project should be brought with the applicant to the pre-application meeting. To schedule this meeting, please contact a Staff Planner at the Rocklin Community Development Department by calling (916) 625-5160.

DATE OF PRE-APPLICATION MEETING: _____

THIS APPLICATION IS FOR THE FOLLOWING ENTITLEMENTS: (CHECK APPROPRIATE SQUARES)

- | | | |
|---|---|---|
| <input checked="" type="checkbox"/> General Plan Amendment (GPA)
Fee: | <input checked="" type="checkbox"/> Tentative Subdivision Map (SD)
Fee:) | <input type="checkbox"/> Use Permit (U)
<input type="checkbox"/> Minor (PC Approval - New Bldg) Fee:
<input type="checkbox"/> Minor (PC Approval - Existing Bldg) Fee:
<input type="checkbox"/> Major (CC Approval) Fee: |
| <input type="checkbox"/> BARRO Zone Application (BZ)
Fee: | | |
| <input type="checkbox"/> Rezone (Reclassification) (Z)
Fee: | <input type="checkbox"/> Tentative Parcel Map (DL)
Fee: | <input type="checkbox"/> Variance (V)
Fee: |
| <input checked="" type="checkbox"/> General Development Plan (PDG)
Fee: | <input checked="" type="checkbox"/> Design Review (DR)
Commercial Fee:
Residential Fee:
Signs Fee: | <input type="checkbox"/> Oak Tree Preservation Plan Permit
Planning Commission Fee:
City Council Fee: |
| <input checked="" type="checkbox"/> Concurrent Application (2 or more entitlements)
Fee: \$17,293
- Development Agreement Amendment - Tentative Subdivision Map
- General Development Plan Amendment - General Plan Amendment -Design Review | | <input type="checkbox"/> Modification to Approved Projects
Fee: _____
File Number _____ |

Environmental Requirements: (STAFF)

- | | |
|---|---|
| <input type="checkbox"/> Exempt - | <input type="checkbox"/> Mitigated Negative Declaration - |
| <input type="checkbox"/> Negative Declaration - | <input type="checkbox"/> EIR - See Fee Schedule |

UNIVERSAL APPLICATION FORM (CONT.)

GENERAL PLAN DESIGNATION:	PROPERTY DATA:	UTILITIES:	
Existing: <u>MHDR</u>	Acres: <u>6.17</u>	EXISTING	PROPOSED
Proposed: <u>MHDR & BP</u>	Square Feet: <u>N/A</u>	<input type="checkbox"/> Pub. Sewer	<input checked="" type="checkbox"/> Pub. Sewer
Zoning:	Dimensions: <u>N/A</u>	<input type="checkbox"/> Septic Sewer	<input type="checkbox"/> Septic Sewer
Existing: <u>PD-12</u>	No. of	<input type="checkbox"/> Pub. Water	<input checked="" type="checkbox"/> Pub. Water
Proposed: <u>PD-12 & PD-BP</u>	Units: <u>43 residential,</u> <u>1 business professional</u>	<input type="checkbox"/> Well Water	<input type="checkbox"/> Well Water
	Building	<input type="checkbox"/> Electricity	<input checked="" type="checkbox"/> Electricity
	Size: <u>N/A</u>	<input type="checkbox"/> Gas	<input checked="" type="checkbox"/> Gas
	Proposed	<input type="checkbox"/> Cable	<input checked="" type="checkbox"/> Cable
	Parking: <u>2/UNIT (residential)</u> <u>11 FOR LOT 44 (BP)</u>		
	Required		
	Parking: <u>2/UNIT (residential)</u>		
	Access: <u>2</u>		

PROJECT REQUEST: _____

- TENTATIVE SUBDIVISION MAP

- GENERAL DEVELOPMENT PLAN AMENDMENT

- GENERAL PLAN AMENDMENT

- DEVELOPMENT AGREEMENT AMENDMENT

- DESIGN REVIEW

SEE ATTACHED PROJECT DESCRIPTION FOR FURTHER DETAILS.

(Example: Request for approval of design review to construct a 10,000 square foot office building on 1.5 acres)

NOTE: Annexations, Lot Line Adjustments, and Rocklin Ranch Industrial Park Specific Plan Use Permits require special application forms and additional submittal information available from the Planning Division.

UNIVERSAL APPLICATION FORM (CONT.)

PLEASE PRINT OR TYPE:

NAME OF PROPERTY OWNER: SUNSET RANCHOS INVESTORS, LLC

ADDRESS: 1478 Stone Point Drive, Suite 100

CITY: ROSEVILLE STATE: CA ZIP: 95661

PHONE NUMBER: (916) 778-0008

EMAIL ADDRESS: _____

FAX NUMBER: _____

SIGNATURE OF OWNER John Jewett
(Signature Authorizing Application; provide owner's signature letter if signature is other than property owner.)

NAME OF APPLICANT
(If different than owner): UBORA ENGINEERING & PLANNING, INC.

CONTACT: DAVID BERRY

ADDRESS 2901 DOUGLAS BOULEVARD, SUITE 285

CITY: ROSEVILLE STATE: CA ZIP: 95661

PHONE NUMBER: (916) 780-2500 EXT. 208


EMAIL ADDRESS: DAVE@UBORAINC.COM

FAX NUMBER: N/A

SIGNATURE OF APPLICANT [Signature]

AGENT AUTHORIZATION FORM

Property owners desiring to authorize individuals to represent them in conjunction with any application or matter before the City shall provide written authorization using this form. A separate form shall be used for each individual or firm authorized, and shall specifically note any restrictions upon the authorized person.

Project Name: WHITNEY RANCH UNIT 1
Location: NORTHWEST CORNER OF WILDCAT BOULEVARD & BRIDLEWOOD DRIVE
Assessors Parcel Number(s): 017-171-030
Entitlements for which authorization is applicable (use permit, variance, tentative map, etc.): TENTATIVE SUBDIVISION MAP
Name of person and / or firm authorized to represent property owner (Please print): UBORA ENGINEERING & PLANNING, INC.
Address (Including City, State, and Zip Code): 2901 DOUGLAS BOULEVARD, SUITE 285 ROSEVILLE, CA 95661
Phone Number: (916) 780-2500 EXT. 208
Fax Number: N/A
Email Address: DAVE@UBORAINC.COM
The above named person or firm is authorized as: Agent (<input checked="" type="checkbox"/>) Buyer (<input type="checkbox"/>) Lessee (<input type="checkbox"/>)
The above named person or firm is authorized to (check all that are applicable): (<input checked="" type="checkbox"/>) File any and all papers in conjunction with the aforementioned request, including signing the application (<input checked="" type="checkbox"/>) Speak on behalf of and represent the owner at any Staff meeting and/or public hearing. (<input type="checkbox"/>) Sign any and all papers in my stead, with the exception of the application form.
The duration and validity of this authorization shall be: (<input checked="" type="checkbox"/>) Unrestricted (<input type="checkbox"/>) Valid until:
Owners Authorization Signature & Date: 
Owners Name (Please Print): Sunset Ranchos Investors, LLC
Owners Address (Including City, State, and Zip Code): 1478 Stone Point Drive, Suite 100 Roseville, CA 95661
Phone Number: 916-778-0008
Email Address:

**STATE OF CALIFORNIA
DEPARTMENT OF FISH AND GAME
FILING FEES**

In 1990, the State adopted a fee pursuant to AB 3158 for the review of environmental documentation by the State Department of Fish and Game. Subsequently, in 1991, the fees were challenged. Then, in June 1995, the Department of Fish and Game instructed the jurisdictions to stop collecting fees. Following a great deal of court action and in a memorandum dated February 26, 1996, the State Clearinghouse, Office of Planning and Research, stated that the fees must again be collected.

On September 29, 2006, Senate Bill 1535 was passed increasing the amounts of filing fees collected by the Department, and requires the Department to adjust the fees annually pursuant to Fish and Game Code Section 713.

As of January 1, 2020, State law requires all applicants who have a Notice of Determination filed for a Negative Declaration to pay a \$2,406.75 fee and those with a Notice of Determination for an Environmental Impact Report to pay a \$3,343.25 fee. Both types must pay an additional \$50.00 administrative fee making the total fees \$2,456.75 and \$3,393.25 respectively. Applicants whose projects require the filing of a Notice of Exemption will need to pay a \$50.00 administrative fee. The City will notify each applicant which of the fees must be paid.

PLEASE NOTE: Effective January 1, 2008, the fee exemption for projects determined to have a *De Minimis Impact Finding* has been eliminated. (Section 711.4 Fish and Game Code).

The Fish and Game filing fee must be paid prior to the filing of the Notice of Determination with the County Clerk. Since the CEQA law requires a Notice of Determination to be filed with the County within 5 days of an action by the City, all applicants must remit to the City the necessary fee amount no later than the day of the final scheduled public hearing for the proposed project.

PLEASE MAKE ALL CHECKS PAYABLE TO PLACER COUNTY.

If you have any questions regarding this matter, please do not hesitate to contact the Planning Department at (916) 625-5160. Upon review of the above, please sign and return this document with your application.

I, UBORA ENGINEERING & PLANNING, INC., the applicant or applicant's representative, have read the information above and understand its meaning.


Signature

8-8-22
Date

HAZARDOUS WASTE AND SUBSTANCES STATEMENT

Pursuant to California Government Code Section 56962.5, I have consulted the Hazardous Waste and Substances Sites List (Cortese List), consolidated by the State of California, Environmental Protection Agency and find that;

The project, including any alternatives, _____ is, ☒ is not (check which applies) located on a site which is included on the Hazardous Waste and Substances Sites List (Cortese List). If on the list, provide the following information:

Regulatory identification number: _____ Date of list: _____

Type of problem: _____

I declare under penalty of perjury of the laws of the State of California that the foregoing is true and correct.

Dated: 8-8-22

Applicant: 
DAVID BERRY - UBORA ENGINEERING & PLANNING, INC.

Applicants can verify this information by reviewing the Hazardous Waste and Substances Sites List (Cortese List), available for review at the City of Rocklin Planning Department counter, or at the California Department of Toxic Substance Control web site:
<http://www.calepa.ca.gov/SiteCleanup/CorteseList/default.htm>

MITIGATION FOR AIR QUALITY IMPACTS

The US Environmental Protection Agency (EPA) and the California Air Resources Board (CARB) have established air quality standards, referred to as the National Ambient Air Quality Standards (NAAQS) and the State Ambient Air Quality Standards (SAAQS) respectively. The federal Clean Air Act and State Clean Air Act both require that areas in violation of the ambient air quality standards adopt strategies to attain these standards. The Placer County Air Pollution Control District (APCD) has primary responsibility for planning and maintenance and/or attainment of air quality standards within Placer County. California is divided into 15 air basins for the purpose of monitoring air quality. Placer County is included in the Sacramento Valley Air Basin. Areas may be classified as attainment, non-attainment, or unclassified with regard to the adopted standards. The unclassified designation is assigned in cases where monitoring data is insufficient to make a definitive determination. Under the federal standards, all of Placer County, including Rocklin, is designated as non-attainment for ozone. All other pollutants are designated unclassified in Rocklin. Under the state standards, South Placer, including Rocklin, is designated as non attainment for ozone and PM10 and unclassified for hydrogen sulfide and visibility reducing particulate.

The project would have the following short-term construction impacts, if not mitigated:

- a. Construction activities, including grading, would generate a variety of pollutants, the most significant of which would be dust (PM10). This would exacerbate the existing PM10 non attainment condition if not mitigated.
- b. Construction equipment would produce short-term combustion emissions, and asphalt materials used for streets and driveways would produce pollutants during curing.

The mitigation measures listed below will reduce the short term impacts to less-than-significant. In the long-term, vehicle trips to and from the project site would generate Carbon Monoxide and ozone precursor emissions, thereby contributing to the non-attainment status of the local air basin. These incremental and cumulative adverse air quality impacts cannot be completely mitigated. However, these impacts were anticipated by the City of Rocklin General Plan, and were addressed through the 1991 Rocklin General Plan EIR and the North Rocklin Circulation and Traffic Study. Findings of overriding significance were adopted for the unmitigatable and unavoidable significant air quality impacts.

Therefore, I, as the applicant for the proposed project, agree that the mitigation measures listed below are incorporated as a part of my project description in order to mitigate for the short term impacts.

MITIGATION FOR AIR QUALITY IMPACTS (CONT.)

MITIGATIONS

1. The project shall conform with the requirements of the Placer County APCD.
2. Prior to commencement of grading, the applicant shall submit a dust control plan for approval by the City Engineer and the Placer County Air Pollution Control District. The plans shall specify measures to reduce dust pollution during all phases of construction.
3. Traffic speeds on all unpaved road surfaces shall be posted at 25 m.p.h. or less.
4. All grading operations shall be suspended when wind speeds exceed 25 m.p.h.
5. All trucks leaving the site shall be washed off to eliminate dust and debris.
6. All construction equipment shall be maintained in clean condition.
7. All exposed surfaces shall be revegetated as quickly as feasible.
8. If fill dirt is brought to the construction site, tarps or soil stabilizers shall be placed on the dirt piles to minimize dust problems.
9. Apply water or dust palliatives on all exposed earth surfaces as necessary to control dust. Construction contracts shall include dust control treatment as frequently as necessary to minimize dust.
10. Construction equipment shall be properly maintained and tuned.
11. Utilize low emission mobile construction equipment where possible.
12. Open burning of vegetative material is prohibited.

DAVID BERRY - UBORA ENGINEERING & PLANNING, INC.

Applicant's Name (printed)


Applicant's Signature

8.8.22

Date



City of Rocklin

Planning Division
3970 Rocklin Road
Rocklin, California 95677
Phone (916) 625-5160 FAX (916) 625-5195

ENVIRONMENTAL INFORMATION SHEET (To be completed by applicant)

LOCATION OF PROJECT (ADDRESS) UNIT 1 OF THE SUNSET RANCHOS PORTION OF THE
NORTHWEST ROCKLIN GENERAL DEVELOPMENT PLAN

ASSESSORS PARCEL # 017-171-303

NAME OF PROJECT WHITNEY RANCH - UNIT 1

CONTACT/APPLICANT DAVID BERRY - UBORA ENGINEERING & PLANNING, INC.

ADDRESS 2901 DOUGLAS BOULEVARD, SUITE 285
ROSEVILLE, CA 95661

PHONE (916) 780-2500 EXT. 208 **EMAIL** DAVE@UBORAINC.COM

Project Description - Describe in detail. Add separate sheet if necessary.

TENTATIVE SUBDIVISION MAP TO SUBDIVIDE WHITNEY RANCH UNIT 1 INTO 43 RESIDENTIAL LOTS & 1 BUSINESS PROFESSIONAL LOT. RESOLUTION 2018-27 PREVIOUSLY APPROVED A SMALL LOT TENTATIVE MAP WITH 51 ALLEY LOADED RESIDENTIAL LOTS & THE REMOVAL OF THE EXISTING WHITNEY RANCH WELCOME CENTER. THE PURPOSE OF THIS NEW TENTATIVE MAP APPLICATION IS TO ACCOMODATE LEAVING THE EXISTING WELCOME CENTER IN PLACE BY UTILIZING A BUSINESS PROFESSIONAL LAND USE, AND REPLACE THE PREVIOUSLY APPROVED ALLEY LOADED LOTS WITH CONVENTIONAL RESIDENTIAL LOTS. SEE ATTACHED PROJECT DESCRIPTION FOR FURTHER DETAILS.

Property size:	268,765 sf	6.17 ac
	Square Feet	Acres
Land Use:	business professional	business professional and residential
	Existing	Proposed

RELATED PROJECTS: If this project is a part or portion of a larger project, describe the previous project by name, general development plan number, or other project identification. PDG-99-02 ET AL NORTHWEST ROCKLIN GENERAL DEVELOPMENT PLAN

PREVIOUS ENVIRONMENTAL DOCUMENTS: If this project is part of a larger project for which a negative declaration or an environmental impact report has been prepared and certified, reference the document below. Include the date and SCH#, if possible: SCH# 99102012

OTHER REQUIRED PERMITS OR APPROVALS:

Permit or Approval	Agency	Address	Contact Person/Phone
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PREVIOUS LAND USES: Describe existing and previous land uses of the site for the last 10 years or more: WHITNEY RANCH REAL ESTATE WELCOME CENTER

SITE CHARACTERISTICS

1. What natural features (trees, rock outcroppings etc.) presently exist on the site?
NO NATURAL FEATURES, SITE PREVIOUSLY GRADED

2. What are the surrounding land uses?
East RESIDENTIAL West RESIDENTIAL North DRAINAGE BASIN South RESIDENTIAL
3. Is the project proposed on land which contains fill or a slope of 10% or more? NO
4. Are there any existing erosion problems? NO
5. Is the site on expansive soils (as defined in Table 18 of the UBC) or immediately adjoining an area subject to slides, liquefaction, slope instability or other related hazards? NO
If so, describe in detail, or refer to attached soils report.

6. Grading, excavating or filling activities - Quantity of cubic yards to be:
 - a. Moved within the site 11,000 CY
 - b. Deposited on the site _____
 - c. Removed from the site 6,900 CY
Disposal site _____
7. Are there any streams or permanent water courses on the site? NO
Describe _____

8. Will the proposed project change drainage patterns or the quality of groundwater?
If so explain. If not, why not. _____

9. Will the project affect any drainage channel, creek, pond or any other water body?
Describe below: NO

10. Is any portion of the property located in a flood plain? NO
If so describe _____

11. Are there any jurisdictional wetlands or vernal pools on the site? If so how will they be impacted by the project? NO

12. Are there any trees or shrubs on the project site? NO
What types? _____
Are any to be removed or transplanted? _____
State the location of transplant site: _____
State the number & species to be removed: _____
13. Will the project affect the habitat of any endangered, threatened, or other special status species?
NO

14. Will the project result in any new noise source, or will it place new residents in an area of high traffic noise or noise from any other source? CONSTRUCTION NOISE

15. What type of equipment will be associated with the project during construction?
EARTHWORK GRADING AND ROADWAY BUILDING EQUIPMENT

During permanent operation? _____
16. Describe any air pollutants, other than vehicle exhaust, which would be generated by this project, both during and after construction. Dust particulates are considered pollutants.
CONSTRUCTION RELATED DUST

17. Will the project produce new sources of dust, ash, smoke, fumes or objectionable odor? If yes, describe the source of the emission, methods to control emissions and means of mitigating those effects on adjacent properties: CONFORM TO PLACER COUNTY APCD STANDARDS

18. Will the project create any new light source, other than street lighting? If yes, describe below:
RESIDENTIAL LOTS

19. Is this property covered by a Williamson Act contract? NO

20. Has this property ever been used for agricultural purposes? NO If so, for what purpose and when? _____
21. Does the project involve the use of routine transport or disposal of hazardous materials?
NO

22. Are there any known mineral resources of value to the region and the residents of the state located on the site? If so, what types? NO

23. How close is the nearest school? SUNSET RANCH ELEMENTARY & WHITNEY HIGH SCHOOL

24. PROPOSED BUILDING CHARACTERISTICS (BOTH RESIDENTIAL AND NON-RESIDENTIAL)

Size of new structure(s) or addition in gross square feet: _____

Building height measured from ground to highest point in feet: _____

Number of floors/stories: _____

Height of other appurtenances (antennas, steeples, mechanical equipment, etc.) measured from ground:

Project site coverage: Building _____ sq.ft. _____ %

Landscaping _____ sq.ft. _____ %

Paving _____ sq.ft. _____ %

Exterior building materials: _____

Exterior building colors: _____

Wall and/or fencing material: _____

Total number of off-street parking spaces required: _____ Provided: _____

Total number of bicycle parking spaces: _____

25. Is there any exposed mechanical equipment associated with the project?_____

Location and screening method _____

26. RESIDENTIAL PROJECTS

Total lots 43 Total dwelling units 43

Density/acre 8.5 UNITS/AC Total acreage 5.08 ac (residential)

	Single Family	Two Family	Multi-Family (More than 2 units)
Number of Units	43	N/A	N/A
Size of lot/unit	2,925 MIN. LOT SIZE		
Studio	N/A		
1 Bedroom	T.B.D.		
2 Bedroom	T.B.D.		
3 Bedroom	T.B.D.		
4+ Bedroom	T.B.D.		

27. RETAIL, COMMERCIAL, INDUSTRIAL, INSTITUTIONAL OR OTHER PROJECT

Type of use(s): _____

Oriented to: Regional _____ City _____ Neighborhood _____

Hours of operation: _____

Total occupancy/Building capacity: _____

Gross floor area: _____ Number of fixed seats: _____

Number of employees (total): _____ Employees per shift: _____ Number of Shifts _____

Number of visitors/customers on site at busiest time (best estimate): _____

Other occupants (specify): _____

ALL PROJECTS

28. Approximately how many tons of solid waste will the project produce each year? UNIT 1

INCLUDED IN TABLE J-5 FOR SOLID WASTE GENERATION FOR ALL OF THE SUNET RANCHOS PORTION OF THE NORTHWEST ROCKLIN ANNEXATION EIR.

29. Will the proposed use involve any toxic or hazardous material? NO
Is the project site within 2,000 feet of an identified hazardous/toxic site? NO
Is the project site within 2,000 feet of a school or hospital? YES, SCHOOL
If the project involves any hazardous material, explain: _____

30. How many new residents is the project estimated to generate? 43 UNITS X 2.6 = 112 PEOPLE
31. Will the project generate a demand for additional housing? NO
32. What is the current and estimated number of motor vehicles to arrive at the site as a result of the project? 43 D.U. x 9 TRIPS/D.U. = 387 A.D.T. new trips from residential lots; existing business professional lots are considered to have existing trips
33. Could the project increase traffic hazards to motor vehicles, bicyclists or pedestrians? NO
If yes, explain _____
34. How close is the project to the nearest public park or recreation area? 0.5 MILES TO MARGARET AZEVEDO PARK
35. What school districts will be affected by this project? R.U.S.D.
36. Describe energy-efficient features included in the project. _____

37. Describe how the following services or utilities will be provided:
Power and Natural Gas PG&E
Telephone CONSOLIDATED COMMUNICATIONS
Water PLACER COUNTY WATER AGENCY
Sewer SOUTH PLACER MUNICIPAL UTILITY DISTRICT
Storm Drainage CITY OF ROCKLIN
Solid Waste RECOLOGY AUBURN PLACER
38. Will the project block any vista or view currently enjoyed by the public? NO
39. Are there any known historic or significant building features on or near the site? If so, will the project result in any impact to the building? NO
40. Are there any archaeological features on the site? NO If so, will the project result in any impact to these features? _____

NO

**WHITNEY RANCH UNIT 1
ENTITLEMENTS APPLICATION
PROJECT DESCRIPTION
October 12, 2022**

PROJECT DESCRIPTION:

Project proposes a tentative subdivision map to subdivide Parcel 2, as shown on the map entitled “Parcel Map of Whitney Ranch Lot 1”, filed in Book 33 of Parcel Maps, Page 64, also known as Whitney Ranch Unit 1 into 43 residential lots, one business professional lot, three landscape parcels and one open space parcel. Resolution 2018-27 previously approved a small lot tentative map for Unit 1 with 51 alley loaded residential lots and the removal of the existing Whitney Ranch Information Center. The purpose of this new tentative map application has two objectives. The first is to accommodate leaving the existing Whitney Ranch Information Center in place by utilizing a business professional land use. The second objective is to replace the previously approved alley loaded style residential lots with conventional lots.

Lots 1 thru 43 are proposed as conventional single-family lots, proposed to developed consistent with the existing General Plan land use and zoning designations of MHDR and PD-12 respectively. Lot 44, which contains the existing roughly 2,100 square foot (gross floor area) Whitney Ranch Welcome Center, is proposed to be re-zoned PD-Business Professional. A small parking lot, consisting of 7 standard stalls, 3 compact stalls and one ADA accessible stall (11 total stalls), will be built on Lot 44 to serve the Welcome Center in accordance with Chapter 17.66.040.A “Off-street Parking” of the City of Rocklin municipal code. Three landscape lots are proposed. Lots “A” & “B” at the project’s Bridlewood Drive entry and Lot “C” which will accommodate a proposed water line and easement needed to complete the water system loop.

Vehicular access to the subdivision will be from Bridlewood Drive with an emergency vehicle access at the terminus of Road “D”, which will connect to the existing paved sanitary sewer access road along the north edge of the property, providing access back to Wildcat Boulevard. Stub streets “A” and “B” will not connect to the emergency vehicle access. These stub streets do not exceed 150 feet in length and thereby comply with Appendix D of the California Fire Code as “Fire Apparatus Access Road” without the need for a turnaround; similar to recently constructed stub streets in Whitney Ranch Units 42 and 50 (i.e., the east end of Broken Bit Lane and the west end of Grouse Ridge Way, respectively).

DENSITY:

The residential lots, landscape Lot C and corresponding public right of way for their roadways is approximately 5.08 acres. The 5.08 acres is exclusive of the open space Lot D (0.32 ac.), business professional Lot 44 (0.51 ac), business professional road right of way (0.18 ac), and landscape parcels A and B (0.08 ac). 43 residential lots / 5.08 acres yields 8.5 du/acre. Refer to the Land Use Exhibit Whitney Ranch Unit 1 provided for further clarity.

REQUESTED ENTITLEMENTS:**• Tentative Subdivision Map:**

- 43 Residential Lots
- 1 PD-Business Professional Lot (Lot# 44)
- 3 Landscape Lots (Lots A, B & C)
- 1 Open Space Lot (Lot D)

• General Development Plan Amendment:

Existing Zoning: PD-12 to remain for the proposed residential
Proposed Zoning: PD-12 (Lots 1-43) and PD-BP (Lot 44)

• General Plan Amendment:

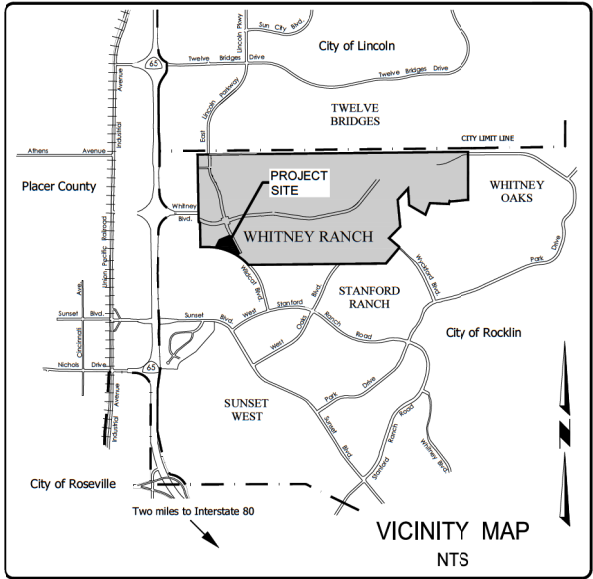
Existing General Plan: MHDR to remain for the proposed residential
Proposed General Plan: MHDR (Lots 1-43) and BP (Lot 44)

• Development Agreement Amendment:

Extend the terms of the existing development agreement by three years. The operative date of the existing development agreement is currently through August 22, 2023. Applicant desires to extend the term of the development agreement to August 22, 2026.

• Design Review:

Design Review approvals for the existing Whitney Ranch Welcome Center.



LEGEND:

- PROJECT BOUNDARY
- PROPOSED LOT LINE
- PROPOSED 12.5' P.U.E. (FRONT) 10' P.U.E. (SIDE)
- PROPOSED RIGHT-OF-WAY
- LOT NUMBER

GENERAL NOTES

- SEPTIC SYSTEM**
THERE ARE NO KNOWN EXISTING WELLS, ABANDONED WELLS, SUMPS, OR ANY OTHER UNDERGROUND SYSTEMS ON THE PROPERTY.
- TENTATIVE MAP**
DIMENSIONS AND AREAS SHOWN ARE APPROXIMATE AND SUBJECT TO CHANGE.
- FINAL MAP**
PURSUANT TO GOVERNMENT CODE SECTION 66456.1 THE SUBDIVIDER MAY FILE MULTIPLE FINAL MAPS BASED ON THIS TENTATIVE MAP.

UTILITY PROVIDERS

WATER	PLACER COUNTY WATER AGENCY
SEWER	SOUTH PLACER MUNICIPAL UTILITY DISTRICT
GAS & ELECTRIC	PACIFIC GAS & ELECTRIC
TELEPHONE	CONSOLIDATED COMMUNICATIONS
CABLE TV	WAVE BROADBAND

SERVICE PROVIDERS

SCHOOL DISTRICT	ROCKLIN UNIFIED SCHOOL DISTRICT
FIRE PROTECTION	CITY OF ROCKLIN
POLICE PROTECTION	CITY OF ROCKLIN
STORM DRAINAGE	CITY OF ROCKLIN
SOLID WASTE	RECOLOGY AUBURN-PLACER



SHEET INDEX

SHEET 1	TITLE SHEET
SHEET 2	LOTTING PLAN
SHEET 3	FENCING PLAN
SHEET 4	WATER AND SEWER PLAN
SHEET 5	GRADING AND DRAINAGE PLAN
SHEET 6	PRELIMINARY PLANTING PLAN
SHEET 7	PRELIMINARY PLANTING PLAN
SHEET 8	PRELIMINARY PLANTING DETAILS

OWNER/DEVELOPER

SUNSET RANCHOS INVESTORS, LLC
508 GIBSON DRIVE, STE. 260
ROSEVILLE, CA 95678
TEL (916) 778-0008

APPLICANT/ENGINEER

UBORA ENGINEERING AND PLANNING, INC.
2901 DOUGLAS BOULEVARD, SUITE 285
ROSEVILLE, CA 95661
TEL: (916) 780-2500
DAVID BERRY, P.E. LIC NO. C48811

PROJECT INFORMATION

ASSESSOR PARCEL NUMBERS:	017-171-030
PARCEL SIZE:	6.17 ACRES
EXISTING GENERAL PLAN:	MHDR
EXISTING ZONING:	PD-12
PROPOSED GENERAL PLAN:	MHDR (1-43) & BP (44)
PROPOSED ZONING:	PD-12 (1-43) & PD-BP (44)

RESIDENTIAL LOT INFORMATION

MINIMUM LOT SIZE	2,925 SF
AVERAGE LOT SIZE	3,639 SF
MAXIMUM LOT SIZE	5,258 SF
MINIMUM LOT WIDTHS	45'
MINIMUM LOT DEPTH	65'

LAND USE SUMMARY

RESIDENTIAL LOTS & DENSITY:		
RESIDENTIAL LOTS	LOTS 1-43	3.62 AC
PUBLIC RIGHT-OF-WAY (PD-12)	R/W	1.43 AC
LANDSCAPE	LOT C	0.03 AC
TOTAL - RESIDENTIAL		5.08 AC
DWELLING UNITS	LOTS	43 DU
DENSITY		8.5 DU/AC
NON-RESIDENTIAL:		
BUSINESS PROFESSIONAL	LOT 44	0.51 AC
PUBLIC RIGHT-OF-WAY (PD-BP)	R/W	0.18 AC
LANDSCAPE	LOT A	0.02 AC
LANDSCAPE	LOT B	0.06 AC
OPEN SPACE	LOT D	0.32 AC
TOTAL		6.17 AC

Sheet 1 of 8
TITLE SHEET

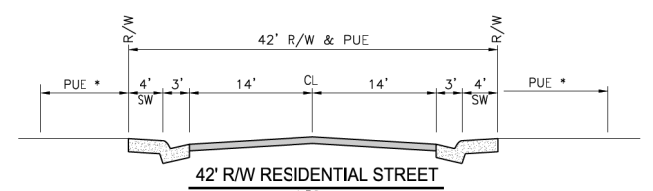
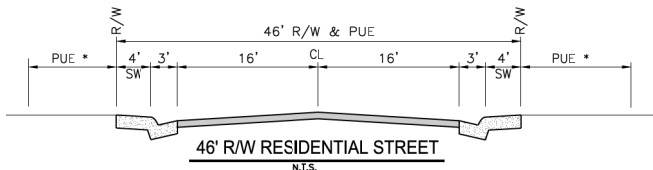
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TENTATIVE SUBDIVISION MAP
WHITNEY RANCH UNIT 1
SUBDIVIDING PARCEL 2, BOOK 33 PM 64
ROCKLIN, CA
OCTOBER 2022



- LEGEND:
- PROJECT BOUNDARY
 - PROPOSED LOT LINE
 - PROPOSED 12.5' P.U.E. (FRONT) 10' P.U.E. (SIDE)
 - PROPOSED RIGHT-OF-WAY
 - LOT NUMBER & AREA



* 12.5' PUE (FRONT) AND 10' PUE (SIDE)

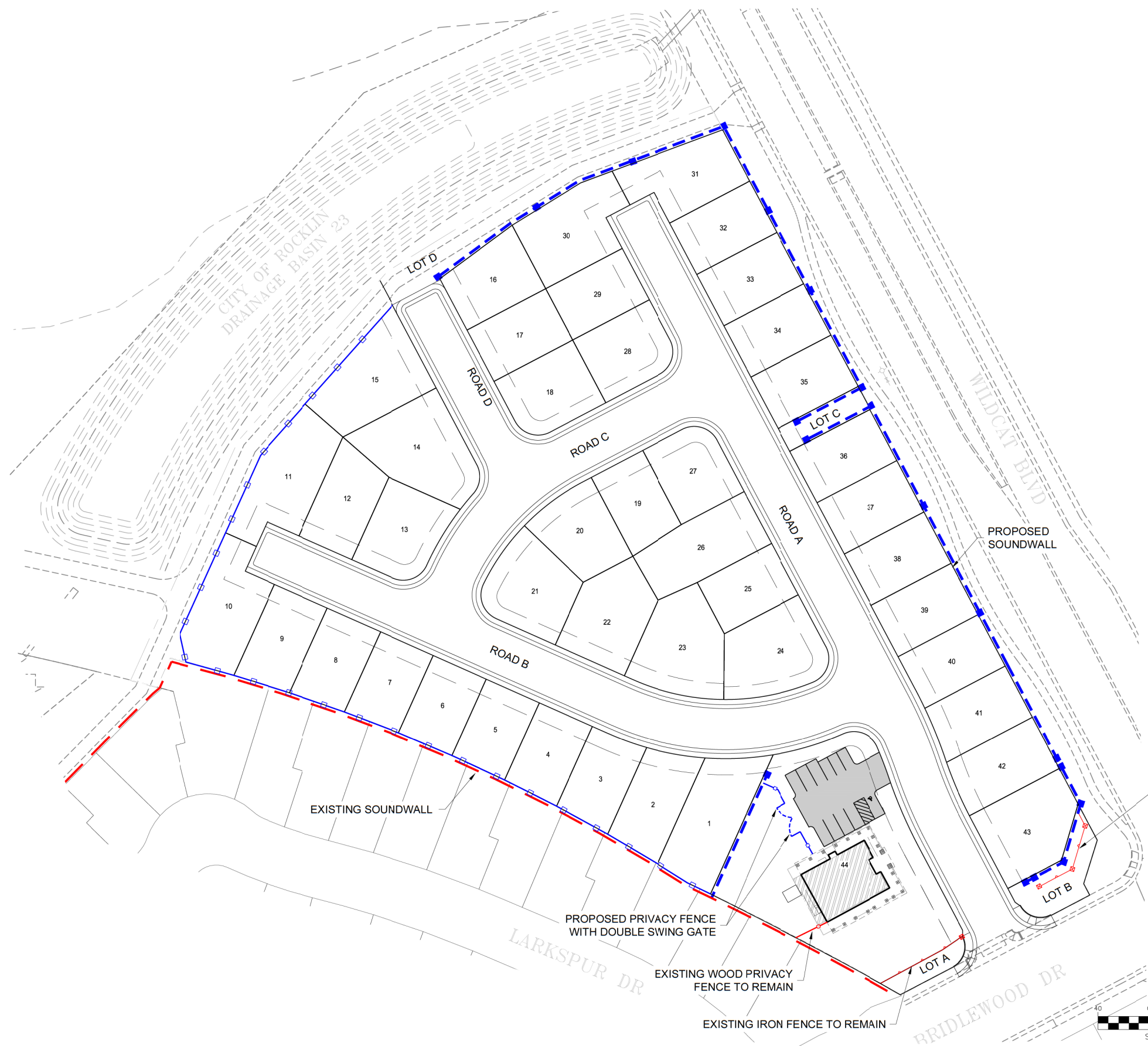
Sheet 2 of 8
LOTING PLAN

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TENTATIVE SUBDIVISION MAP
WHITNEY RANCH UNIT 1
SUBDIVIDING PARCEL 2, BOOK 33 PM 64
ROCKLIN, CA
OCTOBER 2022

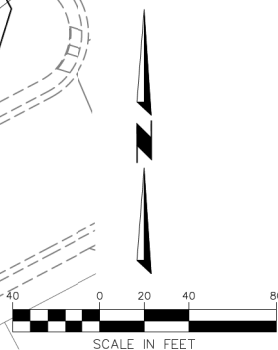


- LEGEND:
- PROJECT BOUNDARY
 - PROPOSED LOT LINE
 - PROPOSED 12.5' P.U.E. (FRONT) 10' P.U.E. (SIDE)
 - PROPOSED RIGHT-OF-WAY
 - PROPOSED SOUNDWALL
 - PROPOSED WOOD PRIVACY FENCE
 - EXISTING WOOD PRIVACY FENCE
 - EXISTING SOUNDWALL
 - EXISTING IRON FENCE & CORNER MONUMENT
 - LOT NUMBER

NOTE:
GOOD NEIGHBOR FENCE ON ALL SIDE &
REAR PROPERTY LINES THAT DO NOT
HAVE SOUNDWALL.

Sheet 3 of 8
FENCING PLAN

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TENTATIVE SUBDIVISION MAP
WHITNEY RANCH UNIT 1
SUBDIVIDING PARCEL 2, BOOK 33 PM 64
ROCKLIN, CA
OCTOBER 2022

LEGEND:

- PROJECT BOUNDARY
- PROPOSED LOT LINE
- PROPOSED 12.5' P.U.E. (FRONT) 10' P.U.E. (SIDE)
- PROPOSED RIGHT-OF-WAY
- LOT NUMBER
- PROPOSED WATER LINE
- PROPOSED FIRE HYDRANT ASSEMBLY
- PROPOSED SANITARY SEWER LINE
- PROPOSED SANITARY SEWER MANHOLE
- EXISTING WATER LINE
- EXISTING FIRE HYDRANT ASSEMBLY
- EXISTING SANITARY SEWER LINE
- EXISTING SANITARY SEWER MANHOLE

Sheet 4 of 8
WATER &
SEWER PLAN

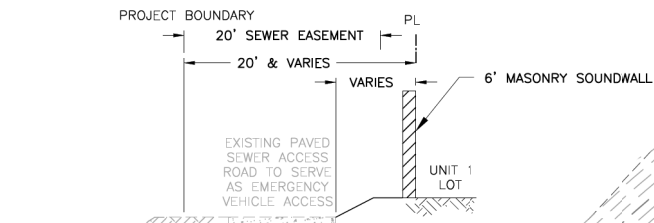
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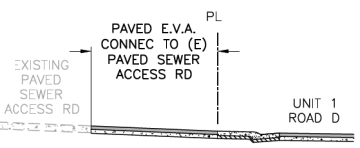


GRADING NOTES

1. ALL INTERIOR LOTS SHALL BE GRADED AS CLASS 1 PER CITY OF ROCKLIN IMPROVEMENT STANDARDS SECTION 9-4-C-1.
2. APPROXIMATE EARTHWORK:
11,000 CY (CUT) 4,100 CY (FILL) 6,900 CY (EXPORT)



LOTS 11, 15, 16, 30, 31
WEST BOUNDARY GRADING
N.T.S.

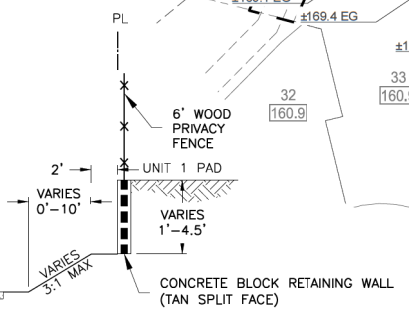


EMERGENCY VEHICLE ACCESS
N.T.S.

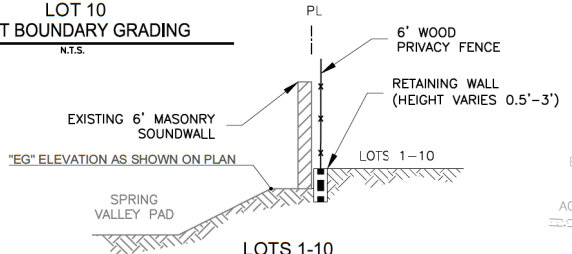
20' EXISTING SEWER EASEMENT
INST. NO. 2004-0108630

MAX. WATER SURFACE ELEVATION
167.0

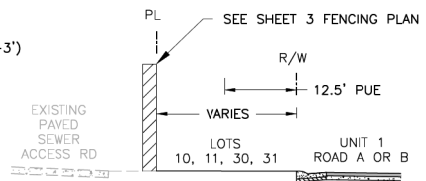
CONNECT TO EXISTING STORM DRAIN OUTFALL
21' STORM DRAIN EASEMENT
ABANDON EXISTING STORM DRAIN CULVERT



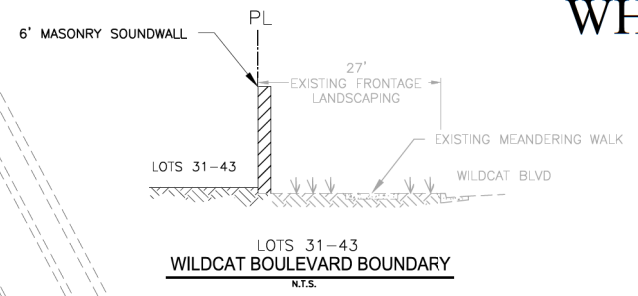
LOT 10
WEST BOUNDARY GRADING
N.T.S.



LOTS 1-10
SOUTHWEST BOUNDARY GRADING
N.T.S.



ROAD A & B DEAD-END SECTION
N.T.S.



TENTATIVE SUBDIVISION MAP
WHITNEY RANCH UNIT 1
SUBDIVIDING PARCEL 2, BOOK 33 PM 64
ROCKLIN, CA
OCTOBER 2022

LEGEND:

- PROJECT BOUNDARY
- PROPOSED LOT LINE
- PROPOSED RIGHT-OF-WAY
- LP= LOW POINT ELEVATION
- HP= HIGH POINT ELEVATION
- FG= FINISH GRADE ELEVATION
- EXISTING GROUND CONTOUR LINE
- PROPOSED RETAINING WALL
- LOT NUMBER & PAD ELEVATION
- EXISTING SPOT ELEV. ALONG SOUNDWALL
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED WATER QUALITY TREATMENT STRUCTURE
- PROPOSED DRAIN INLET
- EXISTING STORM DRAIN LINE

Sheet 5 of 8
GRADING & DRAINAGE PLAN

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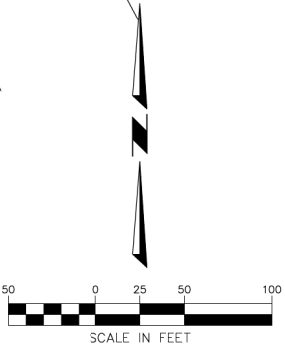
TENTATIVE SUBDIVISION MAP
WHITNEY RANCH UNIT 1
SUBDIVIDING PARCEL 2, BOOK 33 PM 64
ROCKLIN, CA
OCTOBER 2022

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	SIZE	WATER USE	QTY
	LAGERSTROEMIA INDICA X FAURIEI 'TUSCARORA' TUSCARORA CRAPE MYRTLE	15 GAL.	L	7
	TILIA CORDATA 'GREENSPIRE' GREENSPIRE LITTLELEAF LINDEN	15 GAL.	M	2

CONCEPT PLANT SCHEDULE

	FOUNDATION/SCREENING SHRUBS ABELIA X GRANDIFLORA 'DWARF' / DWARF GLOSSY ABELIA CEANOTHUS X 'CONCHA' / CONCHA WILD LILAC RHAMNUS CALIFORNICA 'MOUND SAN BRUNO' / CALIFORNIA COFFEEBERRY
	FILLER ARCTOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN' / HOWARD MCMINN MANZANITA CALLISTEMON VIMINALIS 'LITTLE JOHN' / DWARF WEEPING BOTTLEBRUSH DIETES BICOLOR / FORTNIGHT LILY GREVILLEA X 'NOELLI' / GREVILLEA RHAPHIOLEPIS UMBELLATA 'MINOR' / YEDDA HAWTHORN
	ACCENT SHRUBS/GRASSES ACACIA COGNATA 'ACCOG01' / COUSIN ITT LITTLE RIVER WATTLE CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS MUHLENBERGIA CAPILLARIS / PINK MUHLY ROSA X 'RED' / RED CARPET ROSE SALVIA GREGGII 'HOT LIPS' / AUTUMN SAGE
	GROUNDCOVERS COTONEASTER DAMMERI 'LOWFAST' / LOWFAST BEARBERRY COTONEASTER HYPERICUM CALYCINUM / CREEPING ST. JOHN'S WORT JUNIPERUS HORIZONTALIS 'BLUE CHIP' / BLUE CHIP JUNIPER MYOPORUM PARVIFOLIUM 'PUTAH CREEK' / PUTAH CREEK MYOPORUM TEUCRIUM CHAMAEDRYS 'PROSTRATUM' / PROSTRATE GERMANDER

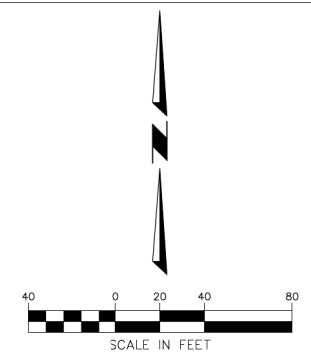
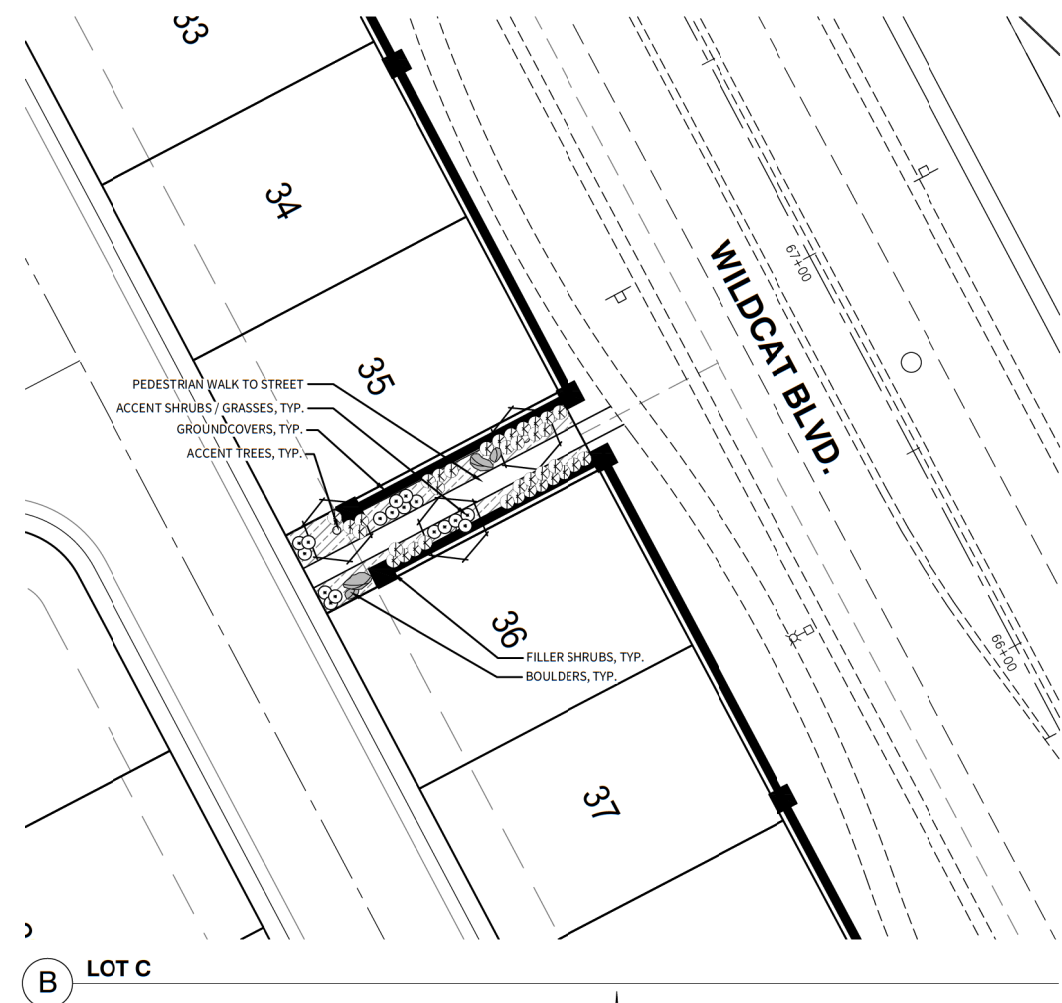
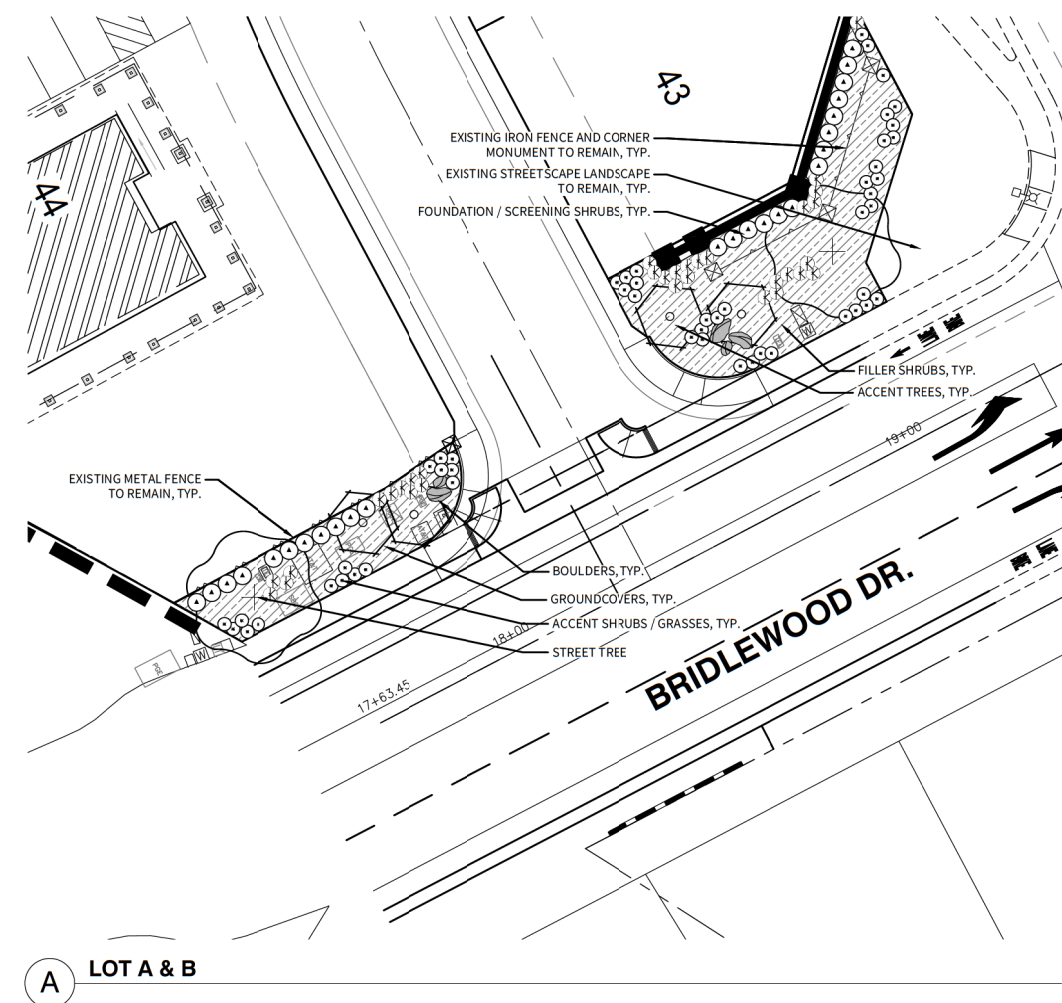


SHEET 6 OF 8
PRELIMINARY
PLANTING PLAN

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TENTATIVE SUBDIVISION MAP
WHITNEY RANCH UNIT 1
SUBDIVIDING PARCEL 2, BOOK 33 PM 64
ROCKLIN, CA
OCTOBER 2022



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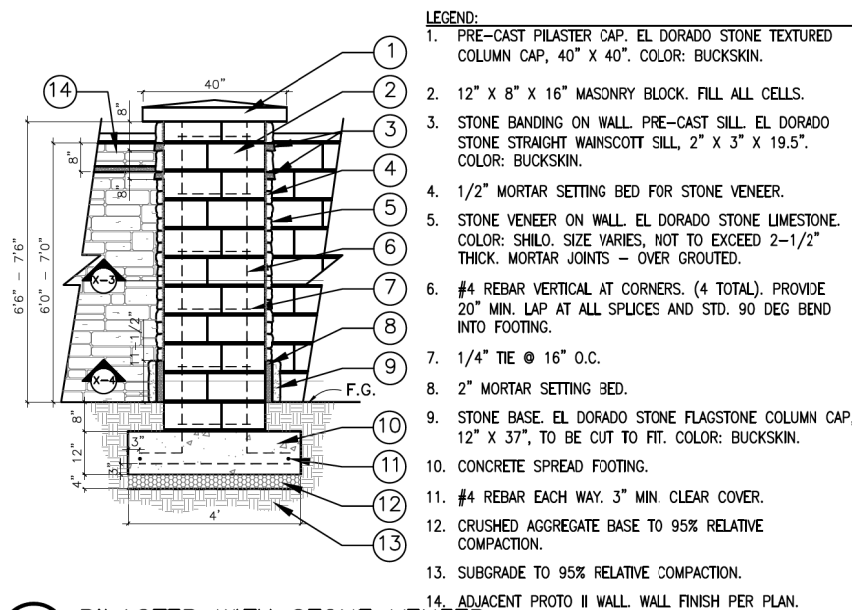
SHEET 7 OF 8
PRELIMINARY
PLANTING PLAN
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TENTATIVE SUBDIVISION MAP
WHITNEY RANCH UNIT 1

SUBDIVIDING PARCEL 2, BOOK 33 PM 64

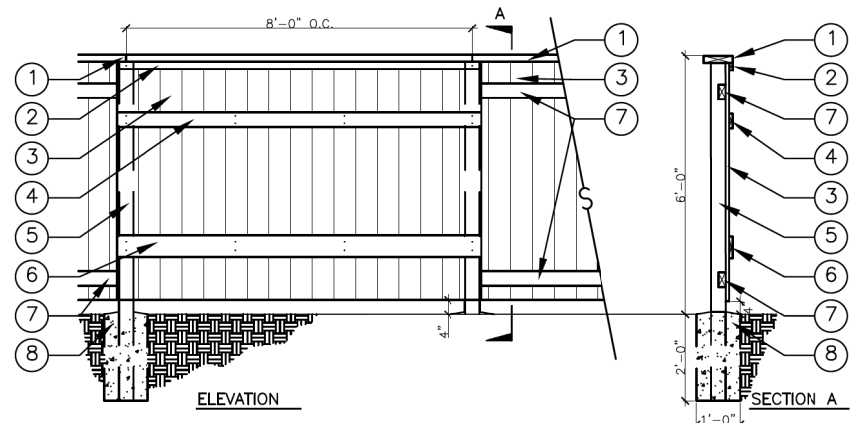
ROCKLIN, CA

OCTOBER 2022



A PILASTER WITH STONE VENEER

SCALE: 1/2" = 1' - 0"

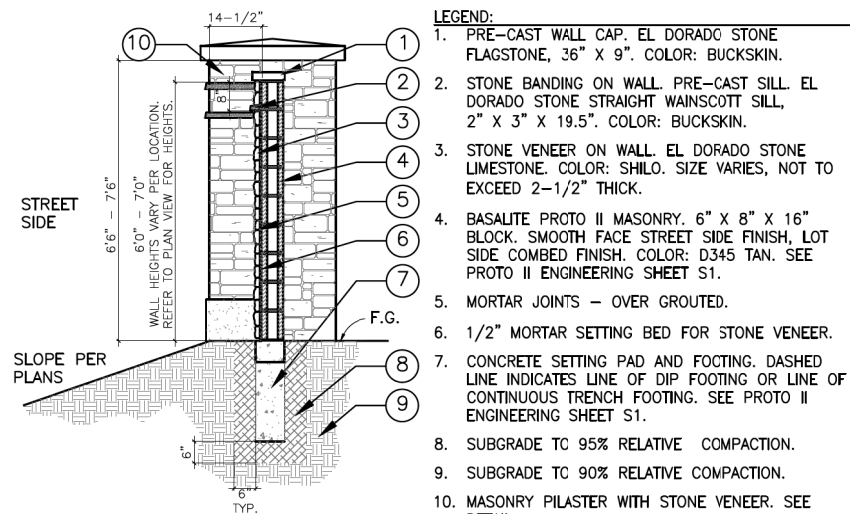


LEGEND:

1. 2" x 8" CAP.
2. 1" x 2" PLANT-ON.
3. 1" x 6" FENCE BOARD, TYP.
4. 1" x 4" PLANT-ON.
5. 4" x 4" POST. PLACE POSTS 8'-0" O.C. MAXIMUM.
6. 1" x 6" PLANT-ON.
7. 2" x 4" STRINGER, TOP AND BOTTOM, TYP.
8. 12" x 24" CONCRETE FOOTING, TYP. SLOPE TOP AWAY FROM POST TO PREVENT STANDING WATER.

D WOOD FENCE - GOOD NEIGHBOR

SCALE: 1/2" = 1' - 0"

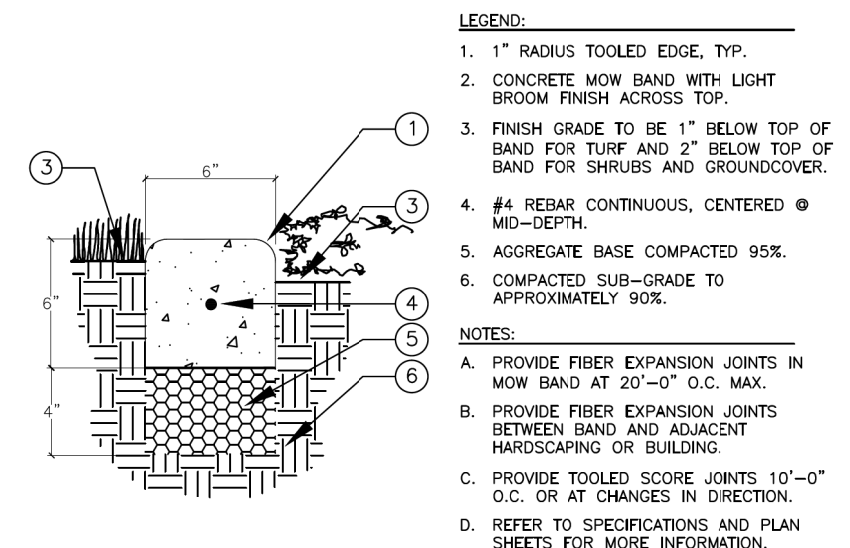


NOTE:

ALL COMMUNITY WALLS TO BE 6' TALL MEASURED FROM THE HIGH SIDE (I.E. EITHER THE STREET OR THE LOT SIDE), UNLESS A 7' WALL IS NECESSARY AS NOTED ON THE PLANS OR PER SHEET 1 OF EXHIBIT D IN SUBDIVISION RESOLUTION 2004-311.

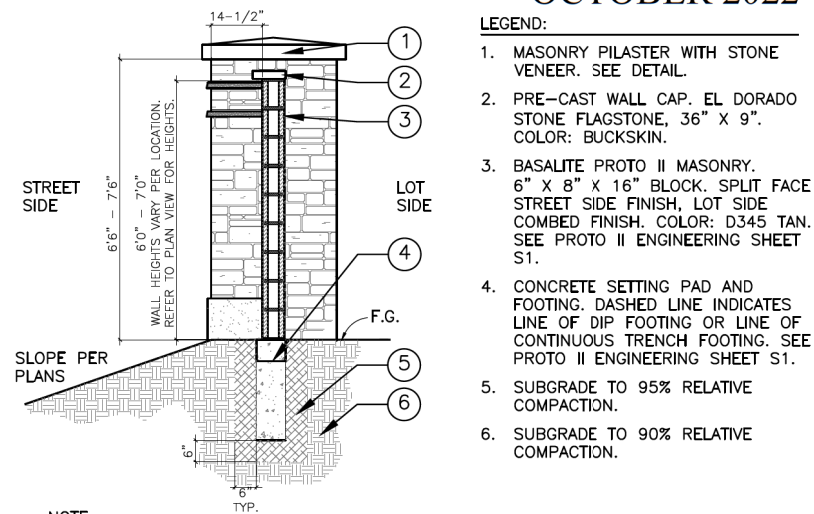
B PROTO II WALL WITH STONE VENEER

SCALE: 1/2" = 1' - 0"



E 6" CONCRETE MOW BAND

SCALE: 3" = 1' - 0"






NOTE:

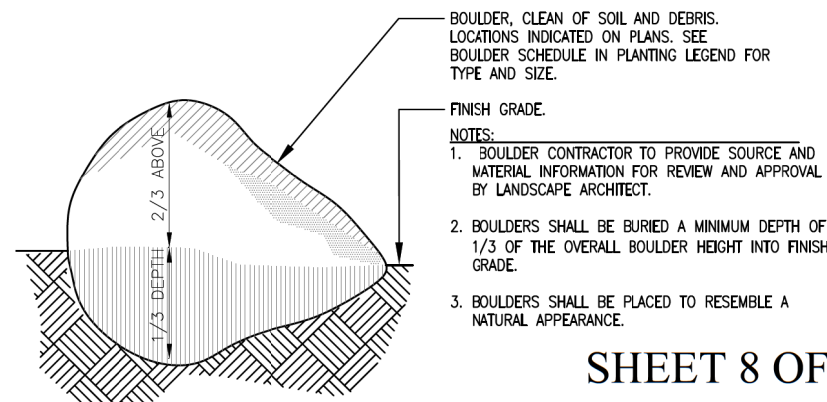
ALL COMMUNITY WALLS TO BE 6' TALL MEASURED FROM THE HIGH SIDE (I.E. EITHER THE STREET OR THE LOT SIDE), UNLESS A 7' WALL IS NECESSARY AS NOTED ON THE PLANS OR PER SHEET 1 OF EXHIBIT D IN SUBDIVISION RESOLUTION 2004-311.

C PROTO II WALL

SCALE: 1/2" = 1' - 0"

BOULDERS AND ROCK

SYMBOL	TYPE	APPROXIMATE SIZE	QUANTITY	DEPTH
	FIELD STONE	30" DIAMETER		BURIED A MIN. OF 1/3 OF THE OVERALL BOULDER HEIGHT
	FIELD STONE	24" DIAMETER		
	FIELD STONE	18" DIAMETER		
FIELD STONE BOULDERS MAY BE FROM THE WHITNEY RANCH SITE				



F BOULDER PLACEMENT

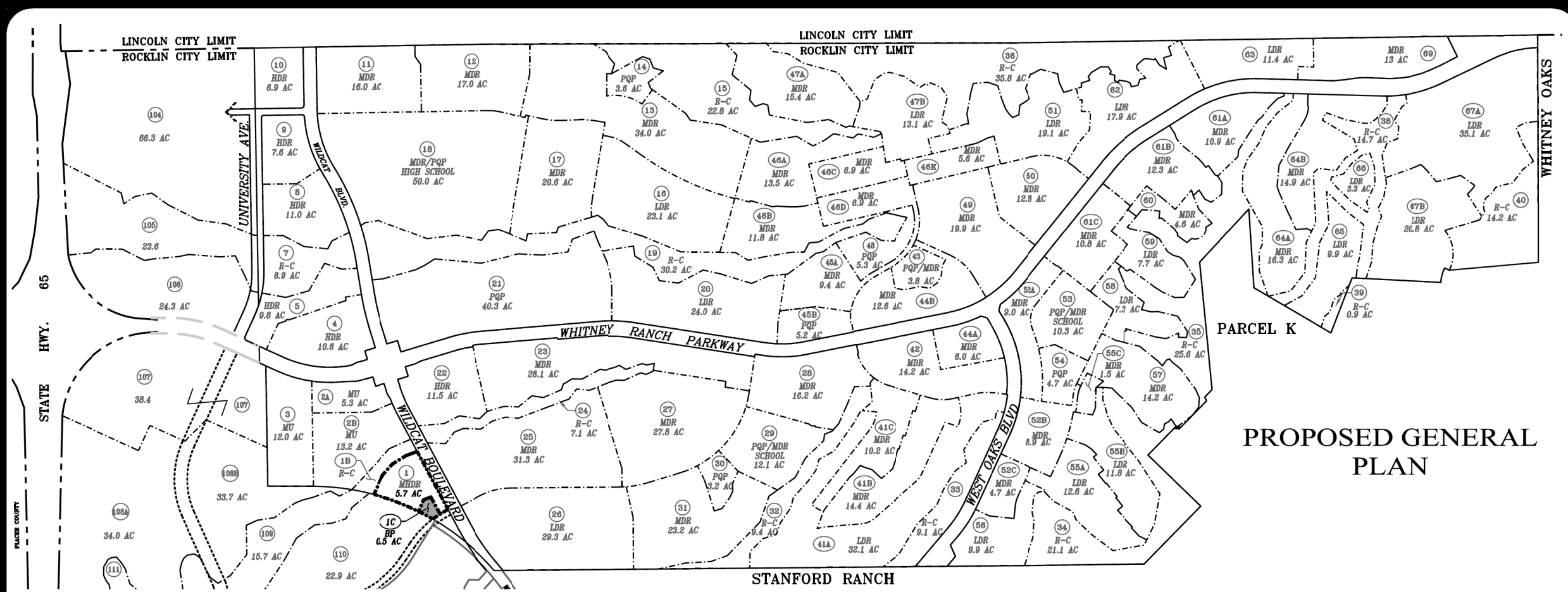
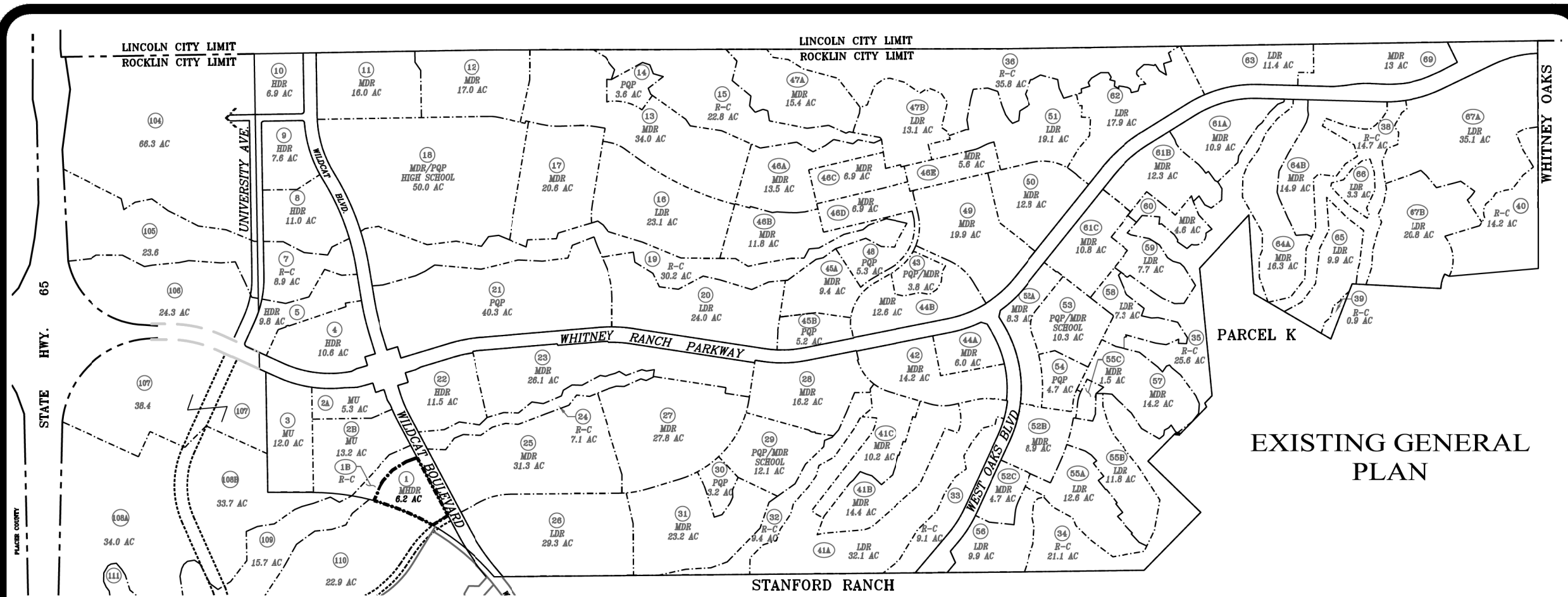
SCALE: 1/2" = 1' - 0"

SHEET 8 OF 8
PRELIMINARY
PLANTING DETAILS

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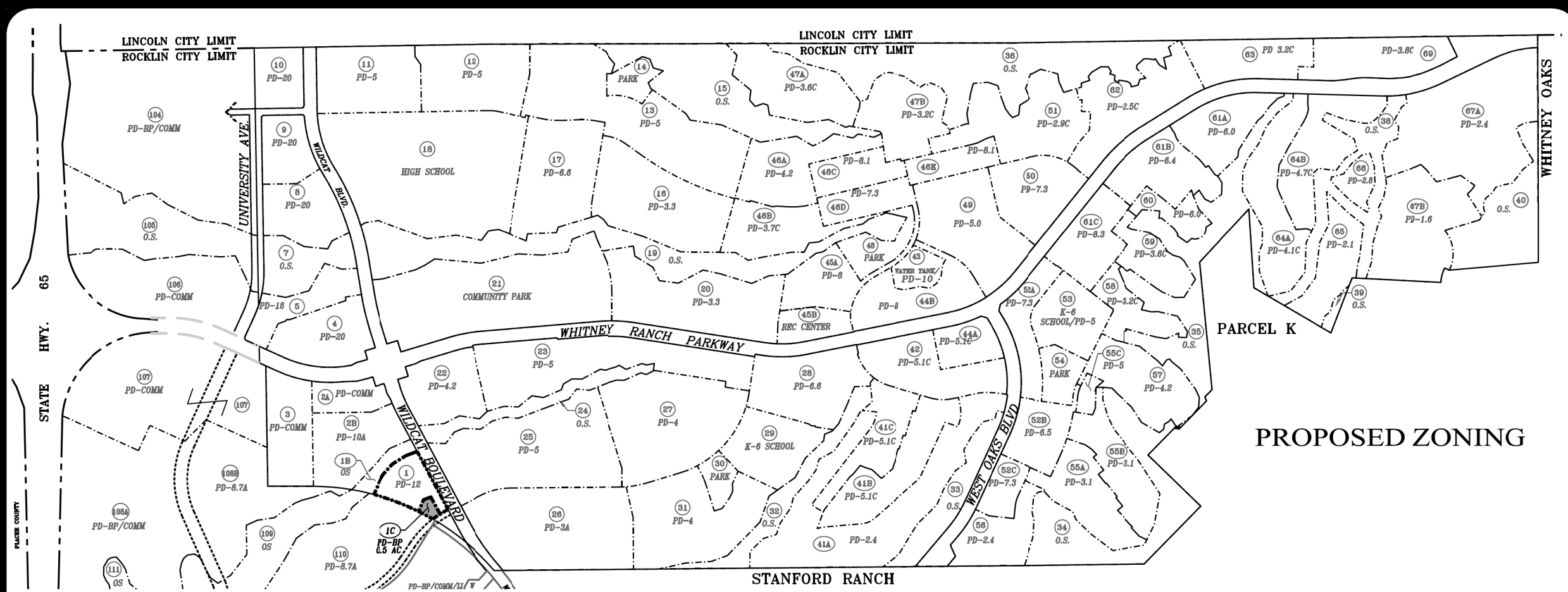
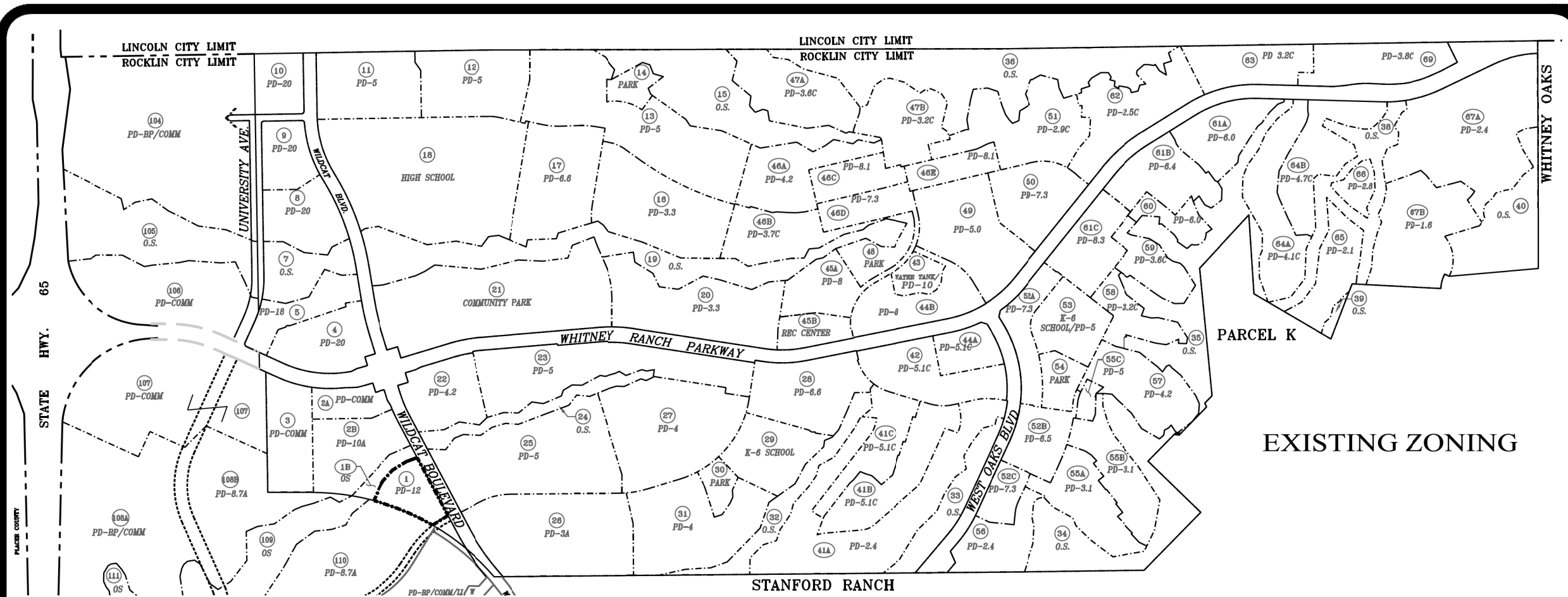
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N.W.R.A.
GENERAL PLAN
EXHIBIT
SEPTEMBER 2022

LEGEND:	
BP	BUSINESS PROFESSIONAL
LI	LIGHT INDUSTRIAL
HDR	HIGH DENSITY RESIDENTIAL
LDR	LOW DENSITY RESIDENTIAL
MDR	MEDIUM DENSITY RESIDENTIAL
MDR	MEDIUM HIGH DENSITY RESIDENTIAL
PQP	PUBLIC QUASI PUBLIC
RC	RETAIL COMMERCIAL
R-C	RECREATIONAL CONSERVATION
	CORE ROADS
	DEVELOPMENT AREA





N.W.R.A. GENERAL DEVELOPMENT PLAN ZONING EXHIBIT SEPTEMBER 2022

LEGEND:

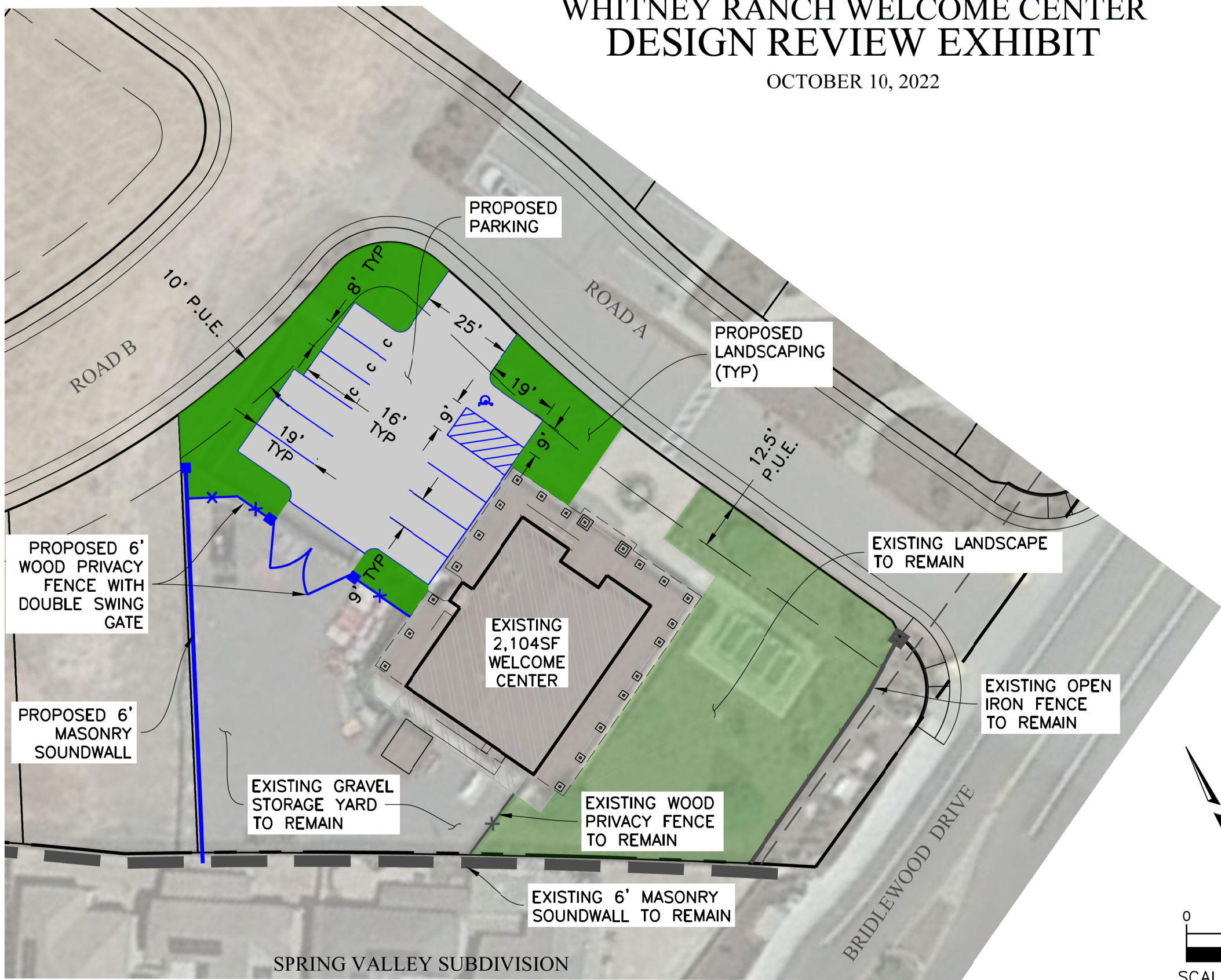
PD-#	PLANNED DEVELOPMENT RESIDENTIAL, # UNITS PER ACRE
PD-BP/COMM/LI	PLANNED DEVELOPMENT- BUSINESS PROFESSIONAL/COMMERCIAL/ LIGHT INDUSTRIAL
PD-BP/COMM	PLANNED DEVELOPMENT- BUSINESS PROFESSIONAL/COMMERCIAL
PD-BP	PLANNED DEVELOPMENT- BUSINESS PROFESSIONAL
PD-IP	PLANNED DEVELOPMENT INDUSTRIAL PARK
PD-COMM	PLANNED DEVELOPMENT-COMMERCIAL
PD-CO.COMM	PLANNED DEVELOPMENT- COMMUNITY COMMERCIAL
PD-NH.COMM	PLANNED DEVELOPMENT- NEIGHBORHOOD COMMERCIAL
PD-LI	PLANNED DEVELOPMENT- LIGHT INDUSTRIAL
BP	BUSINESS PROFESSIONAL
INDUSTRIAL	INDUSTRIAL AREA
COMM	COMMERCIAL
O.S.	OPEN SPACE
W	WETLAND



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WHITNEY RANCH WELCOME CENTER DESIGN REVIEW EXHIBIT

OCTOBER 10, 2022



SHEET INDEX

- 1 PLAN VIEW
- 2 EXISTING ELEVATION PHOTOS
- 3 BUILDING PERMIT COVER SHEET
- 4 PRELIMINARY PLANTING PLAN
- 5 PRELIMINARY PLANTING & FENCING PLAN

PARKING REQUIREMENTS TABLE

EXISTING FACILITY DATA

(SEE ATTACHED BUILDING PERMIT, SHEET G-001)

BUILDING AREA: 2,104SF

PARKING REQUIRED

(PER CITY OF ROCKLIN MUNICIPAL CODE SECTION 17.66.040.A)

STALLS REQUIRED: 1 STALL PER 200 SF

TOTAL PARKING REQUIRED: 11 STALLS

PARKING PROVIDED

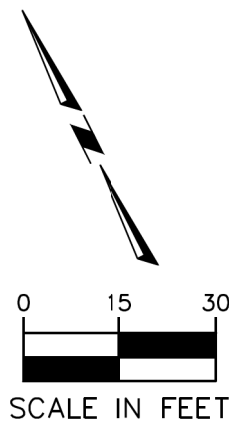
VAN ACCESSIBLE STALLS: 1 STALL

STANDARD STALLS: 7 STALLS

COMPACT STALLS: 3 STALLS

TOTAL PARKING PROVIDED: 11 STALLS

SHEET 1 OF 5



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WHITNEY RANCH WELCOME CENTER
PHOTOS OF EXISTING BUILDING

OCTOBER 10, 2022



FRONT (EAST)

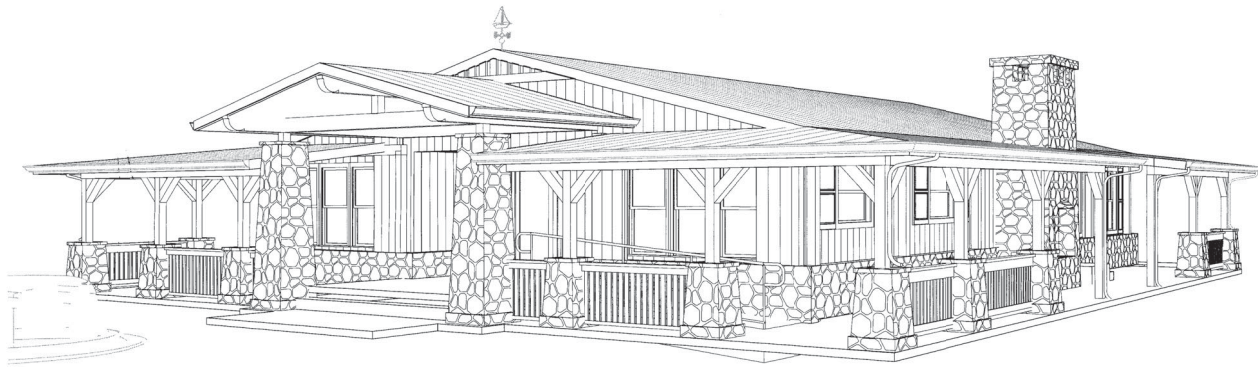


SIDE (SOUTH)



SIDE (NORTH)

SHEET 2 OF 5



Whitney Ranch Welcome Center

BUILDING & SITE INFORMATION BUILDING & SITE CODE COMPLIANCE

SITE	BUILDING
PROJECT ADDRESS: 960 Wildcat Blvd. Rocklin, CA	ITEM:
ZONING: PD-BP	PROJECT DESCRIPTION: This project consists of site work, installation of a premanufactured home and installation of a freestanding porch to be used as a temporary Welcome and Information Center for the Whitney Ranch Development. The Welcome Center will be a Light Office environment with staff that will provide information about the area to potential home buyers. The Center will comply with ADA and T-24 access requirements.
PARCEL NUMBER (APN): 017-170-004	AUTOMATIC SPRINKLERS: NONE
ACREAGE: 9.4 acres (410,263 SQ.FT.):	BUILDING AREA CALCULATION: BUILDING GROSS AREA: 2104 SQ.FT. DECK AREA: 1535 SQ.FT.
CODE REFERENCE: 2001 Uniform Building Code / California Building Code (California Code of Regulations, Title 24, Part 2) 2001 California Mechanical Code, Plumbing Code, Electrical Code, Fire Code as amended by the City of Rocklin	OCCUPANCY CLASSIFICATION: R-3/B CONSTRUCTION TYPE: V-N (Type V, Non-rated) ROOF CONSTRUCTION: CLASS B

1 Project Information

CLIENT: Newland Communities
Contact: Don Burton
1508 Eureka Road,
Roseville, CA 95661
p. 916.783.6272

ARCHITECT: mas | mojca architecture studio
Ed Mojca, AIA
2588 Rogue Way
Roseville, CA 95747
p. 916.783.6277
f. 916.783.6211
ed.mojca@designmas.com

STRUCTURAL ENGINEER: Buehler & Buehler
William B. Rader, S.E.
2237 Douglas Blvd., Suite 120
Roseville, CA 95661
p. 916.788.7171
f. 916.788.7474
wrader@bbes.com

LANDSCAPE ARCHITECT: Quadriga Landscape Architecture
Marq Truscott, ASLA
1808 Q Street
Sacramento, CA 95814
p. 916.441.2129

4 Vicinity Map



DEFERRED SUBMITTAL
WATER FEATURE WILL NEED TO BE SUBMITTED FOR REVIEW AND APPROVAL IN ADVANCE AND THE WATER FEATURE WILL NEED TO BE INSTALLED AND OPERATIONAL PRIOR TO THE PLANNING DEPARTMENT FINAL INSPECTION.

A.B.	ANCHOR BOLT	I.D.	INSIDE DIAMETER (DIM.)
A/C	AIR CONDITIONING	INCL.	INCLUDING
ACOUS.	ACOUSTICAL	INDUS.	INDUSTRIAL
ADJ.	ADJUSTABLE	INT.	INTERIOR
AGG.	AGGREGATE	J.H.	JOIST HANGER
ALUM./AL	ALUMINUM	JTS.	JOISTS
APPROX.	APPROXIMATE	JT.	JOINT
ASPH.	ASPHALT	LAM.	LAMINATED
B.N.	BOUNDARY NAILING CF	LAV.	LAVATORY
	STRUCTURAL PANEL	LAV.	LAVATORY
B.U.R.	BUILT UP ROOFING	MECH.	MECHANICAL
BLDG.	BUILDING	MED. CAB.	MEDICINE CABINET
BLK'G.	BLOCKING	MTL.	METAL
BM.	BEAM	MIN.	MINIMUM
C.I.	CAST IRON	MISC.	MISCELLANEOUS
C.M.U.	CONCRETE MASONRY UNIT	MTD.	MOUNTED
CAB.	CABINETS	(N)	NEW
CEH.PLAS.	CEMENT PLASTER	N/A	NOT APPLICABLE
CER.	CERAMIC	N.I.C.	NOT IN CONTRACT
CFM	CUBIC FEET PER MINUTE	N.T.S.	NOT TO SCALE
C.J.	CEILING JOIST	NO.	NUMBER
CL.	CLOSET	NOM.	NOMINAL
CLG.	CEILING	O.C.	ON CENTER
CLR.	CLEAR/CLEARANCE	O.D.	OUTSIDE DIAMETER (DIM.)
CNTRP.	COUNTERTOP	OPNG.	OPENING
COL.	COLUMN	P & S	POLE AND SHELF
CONC.	CONCRETE	PC	RECE
CONN.	CONNECTION	P.D.F.	POWDER DRIVEN FASTENER
CONSTR.	CONSTRUCTION	PERF.	PERFORATED
CONT.	CONTINUOUS	P.LAM.	PLASTIC LAMINATED
CTR.	CENTER	PLAS.	PLASTER
D.S.	DOWN SPOUT	PLYWD.	PLYWOOD
DBL.	DOUBLE	PR.	PAIR
DIA.	DIAMETER	PTD.	PAINTED
DIM.	DIMENSION	R.	RISER
DN.	DOWN	RAD.	RADIUS
DP.	DEEP	RB #	ROOF BEAM #
DR.	DOOR	R.O.	ROUGH OPENING
(E)	EXISTING	RDWD.	REDWOOD
EA.	EACH	REINF.	REINFORCING
EL/ELEV.	ELEVATION	REQ'D.	REQUIRED
ELEC.	ELECTRICAL	RPL.	REPLACE
EN.	EDGE NAILING OF	S.C.	SOLID CORE
	STRUCTURAL PANEL	S.M.S.	SHEET METAL SCREW
EXP.	EXPANSION	SCHED.	SCHEDULE
EXT.	EXTERIOR	SHLF.	SHELF
FB #	FLOOR BEAM #	SHLVG.	SHELVING
F.O.C.	FACE OF CONCRETE	SHR.HD.	SHOWER HEAD
F.O.S.	FACE OF STUDS	SHT.	SHEET
FIN.	FINISH	SHTG.	SHEETING
FL.	FLOOR	SIM.	SIMILAR
F.J.	FLOOR JOIST	SLDG.	SLIDING
FLR.	FLOOR	SQ.	SQUARE
FNDN.	FOUNDATION	STD.	STANDARD
FURR.	FURRING	STL.	STEEL
FX./FX.	FIXED	THK.	THICK
G.I./G.S.M.	GALVANIZED SHEET METAL	T + G	TONGUE AND GROOVE
GA.	GAUGE	T.O.C.	TOP OF CURB
GALV.	GALVANIZED	T.O.PL.	TOP OF PLATE
GL.	GLASS	TYP.	TYPICAL
GYP. BD.	GYP. BOARD	U.O.N.	UNLESS OTHERWISE NOTED
H.B.	HOSE BIBB	VERT.	VERTICAL
H.C.	HANDICAPPED	W.C.	WATER CLOSET
H.C.	HOLLOW CORE	WD.	WOOD
H.M.	HOLLOW METAL	WP.	WATERPROOF
HORIZ.	HORIZONTAL	W.S.	WOOD SCREW
HT.	HEIGHT	WT.	WEIGHT
HVAC	HEATING, VENTILATING, AIR CONDITIONING	W.W.F.	WELDED WIRE FABRIC
		W/	WITH
		#	NUMBER

2 Abbreviations

G-001 1" = 1'-0"

SYMBOLS

AND	CENTER LINES PROJECTING EXTERIOR ELEVATION LINES
AT	PROPERTY LINES, BOUNDARY LINES
PENNY NAIL	HIDDEN, FUTURE OR, EXISTING CONSTRUCTION TO BE REMOVED
PLATE OR PROPERTY LINE	TO INDICATE BREAK IN PART OF DRAWING
CENTER LINE	EXISTING POINT ELEVATION (PLAN)
NUMBER OR POUNDS	NEW OR REQUIRED POINT ELEVATION
SQUARE INCHES	(E) CONTOURS - ELEVATION NOTED ON HIGH SIDE
SQUARE FEET	(N) CONTOURS - ELEVATION NOTED ON HIGH SIDE
ANGLE	SHEET NOTE INDICATED ON SPECIFIC PLAN
A, A'-B"	
A, A'-B"	
(N)	
(E)	
EXISTING	
DIA.	
DIAMETER	
OV/	
OVER	

3 Project Team

G-001 1 1/2" = 1'-0"

SPOT HGT. A.F.F.	REFERENCE MARK	SECTION CUT NUMBER
CONDITION	MATCH LINE, SHADED	SHEET ON WHICH SECTION OCCURS
	REVISION NUMBER	INTERIOR ELEV. SYMBOL ELEVATION NUMBER (UNFOLD CLOCKWISE, NO ARROW MEANS ELEVATION NOT SHOWN)
	CLOUD AROUND REVISION	SHEET ON WHICH ELEVATION OCCURS.
	FLAG NOTE (REFER TO SCHEDULE)	ROOM NAME
	KEYNOTE	ROOM NUMBER
	COLUMN REFERENCE GRIDS	INDICATES HINGE SIDE
	WINDOW NUMBER	ALIGN
	OPENING NUMBER	
	DETAIL NUMBER	
	SHEET ON WHICH DETAIL OCCURS	

ARCHITECTURAL MATERIALS SYMBOLS

EARTH/NATURAL	METAL	GLASS, SECTION
CONCRETE	WOOD, FINISH	GLASS BLOCK
SAND	WOOD, ROUGH	INSULATION BATT/LOOSE FILL
ROCK	BLOCKING	INSULATION, RIGID
MASONRY BLOCK	PLYWOOD	ACOUSTICAL TILE (LARGE SCALE)
COMMON/FACE BRICK	GYP. WALLBOARD	CERAMIC TILE (LARGE SCALE)
STUCCO, ELEV.	METAL LATH & PLASTER SECTION	CARPET & PAD

5 Symbols

G-001 1 1/2" = 1'-0"

SHEET 3 OF 5

G-001



Cover Sheet

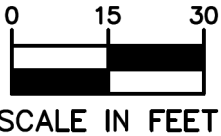
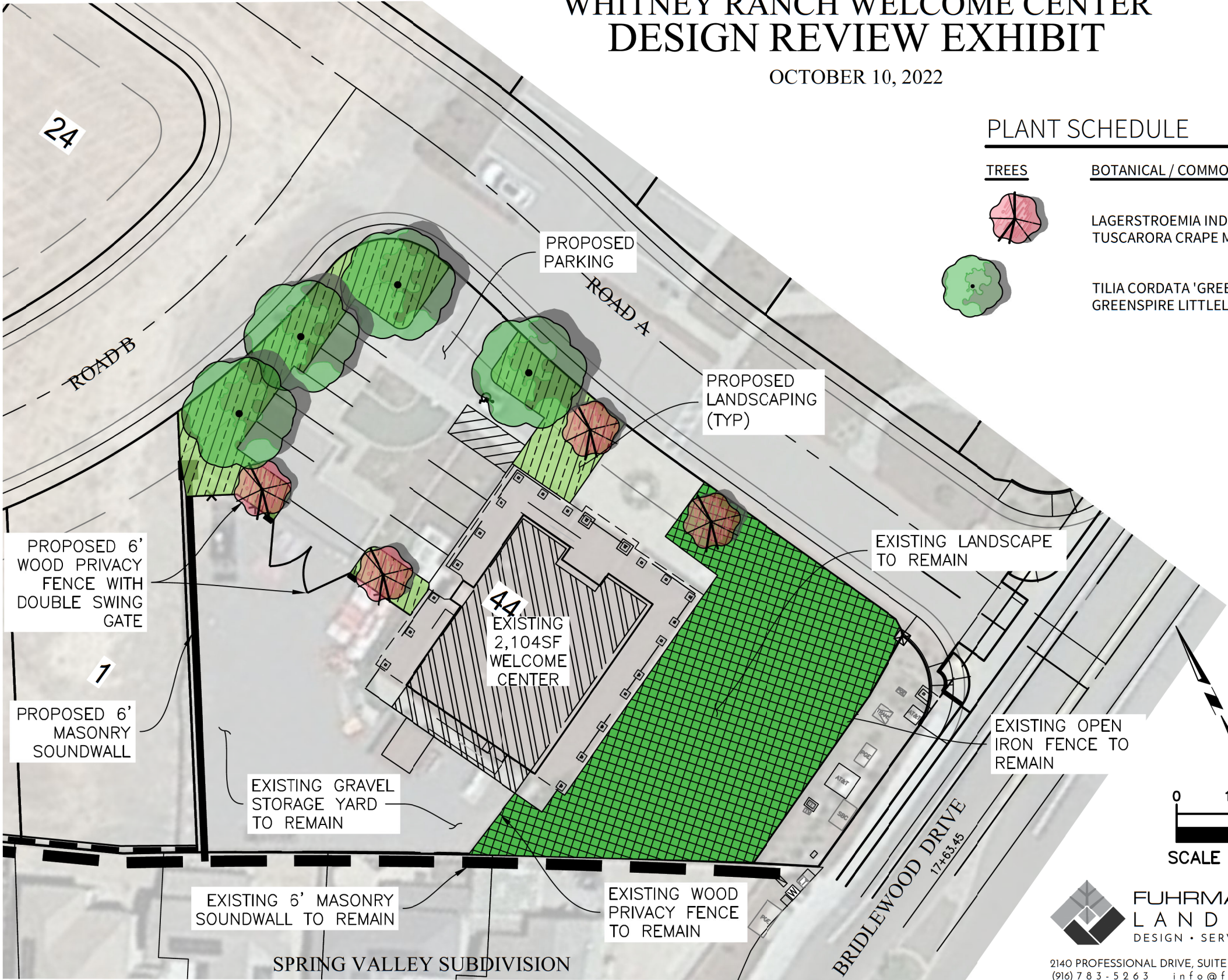
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WHITNEY RANCH WELCOME CENTER
DESIGN REVIEW EXHIBIT

OCTOBER 10, 2022

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	SIZE	WATER USE	QTY
	LAGERSTROEMIA INDICA X FAURIEI 'TUSCARORA' TUSCARORA CRAPE MYRTLE	15 GAL.	L	4
	TILIA CORDATA 'GREENSPIRE' GREENSPIRE LITTLELEAF LINDEN	15 GAL.	M	4



SHEET 4 OF 5



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WHITNEY RANCH WELCOME CENTER DESIGN REVIEW EXHIBIT

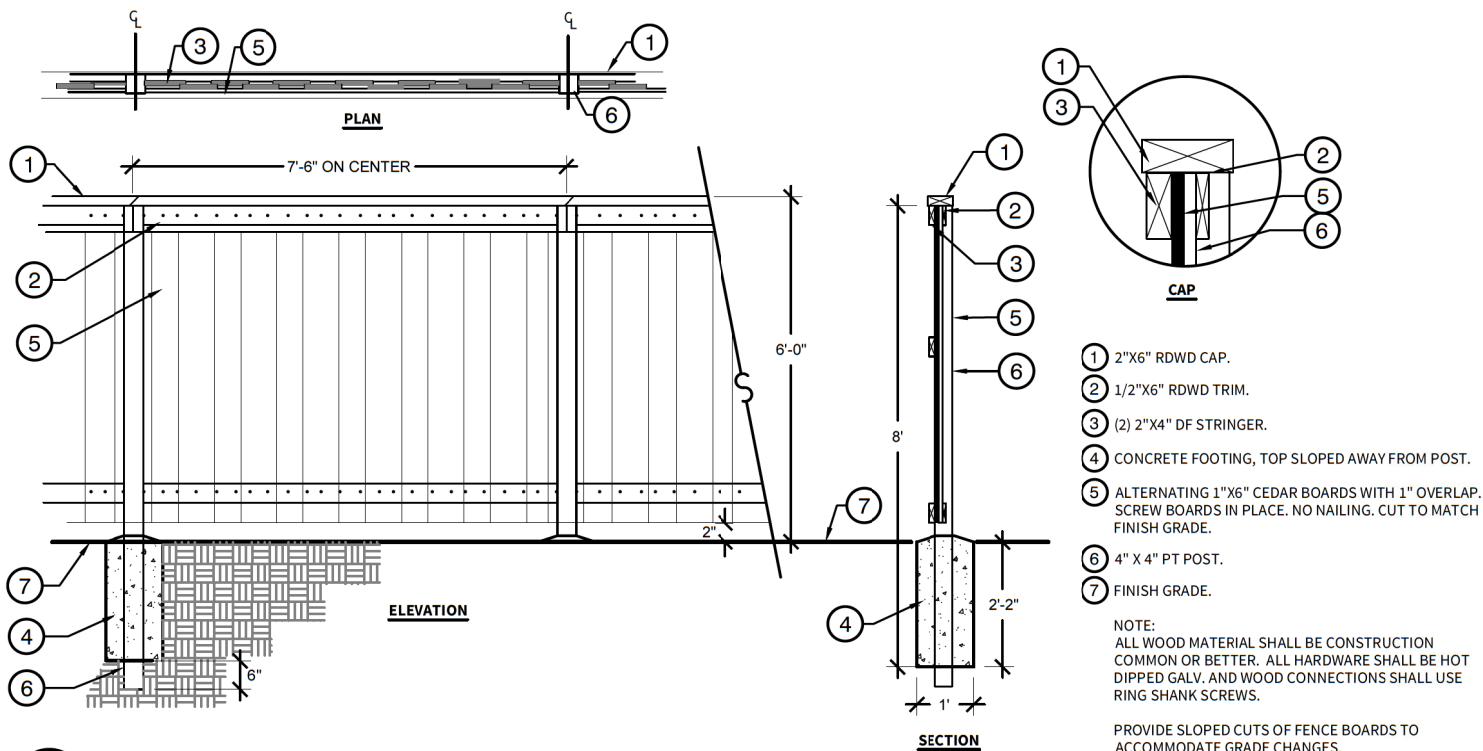
OCTOBER 10, 2022

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	SIZE	WATER USE	QTY
	LAGERSTROEMIA INDICA X FAURIEI 'TUSCARORA' TUSCARORA CRAPE MYRTLE	15 GAL.	L	4
	TILIA CORDATA 'GREENSPIRE' GREENSPIRE LITTLELEAF LINDEN	15 GAL.	M	4

CONCEPT PLANT SCHEDULE

	FOUNDATION / SCREENING SHRUBS ABELIA X GRANDIFLORA 'DWARF' / DWARF GLOSSY ABELIA CEANOTHUS X 'CONCHA' / CONCHA WILD LILAC RHAMNUS CALIFORNICA 'MOUND SAN BRUNO' / CALIFORNIA COFFEEBERRY
	FILLER ARCTOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN' / HOWARD MCMINN MANZANITA CALLISTEMON VIMINALIS 'LITTLE JOHN' / DWARF WEEPING BOTTLEBRUSH DIETES BICOLOR / FORTNIGHT LILY GREVILLEA X 'NOELLII' / GREVILLEA RHAPHIOLEPIS UMBELLATA 'MINOR' / YEDDA HAWTHORN
	ACCENT SHRUBS/GRASSES ACACIA COGNATA 'ACCOG01' / COUSIN ITT LITTLE RIVER WATTLE CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS MUHLENBERGIA CAPILLARIS / PINK MUHLY ROSA X 'RED' / RED CARPET ROSE SALVIA GREGGII 'HOT LIPS' / AUTUMN SAGE
	GROUNDCOVERS COTONEASTER DAMMERI 'LOWFAST' / LOWFAST BEARBERRY COTONEASTER HYPERICUM CALYCINUM / CREEPING ST. JOHN'S WORT JUNIPERUS HORIZONTALIS 'BLUE CHIP' / BLUE CHIP JUNIPER MYOPORUM PARVIFOLIUM 'PUTAH CREEK' / PUTAH CREEK MYOPORUM TEUCRIUM CHAMAEDRYS 'PROSTRATUM' / PROSTRATE GERMANDER
	EXISTING PLANT MATERIAL TO REMAIN -



1 DECORATIVE WOOD FENCE - CAPPED

1/2" = 1' - 0"

R-22030-06

SHEET 5 OF 5



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J:_R.RESIDENTIAL\RESIDENTIAL, COMMUNITY\R_UEP_UBORA ENGINEERING & PLANNING\R_UEP_22030_WR UNIT 1\2 DD\2 LA\22030_ddsite_DR.dwg

LAND USE EXHIBIT
WHITNEY RANCH UNIT 1
SEPTEMBER 23, 2022

LAND USE SUMMARY

RESIDENTIAL (PD-12)		
Lots 1 - 43	5.05	Ac.
Lot "C" - Landscape	0.03	Ac.
Subtotal - Residential	5.08	Ac.
Dwelling Units	43	Du
Density	8.5	Du/Ac.
Business Professional (PD-BP)		
Lot 44	0.69	Ac.
Lot "A" - Landscape	0.03	Ac.
Lot "B" - Landscape	0.06	Ac.
Subtotal - Business Professional	0.78	Ac.
Open Space (OS)		
Lot D - Open Space	0.31	Ac.
Total	6.17	Ac.

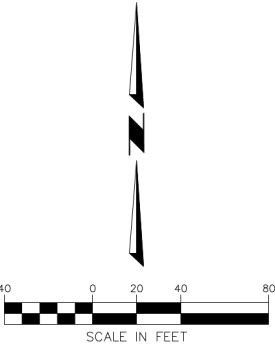
LEGEND:

	PROJECT BOUNDARY
	PROPOSED LOT LINE
	PROPOSED 12.5' P.U.E. (FRONT) 10' P.U.E. (SIDE)
	PROPOSED RIGHT-OF-WAY
43	LOT NUMBER
	LIMITS OF PROPOSED PD-BP



EXISTING SIGNAGE ON LOT B

EXISTING INFORMATION CENTER SIGNAGE (SEE PHOTO)



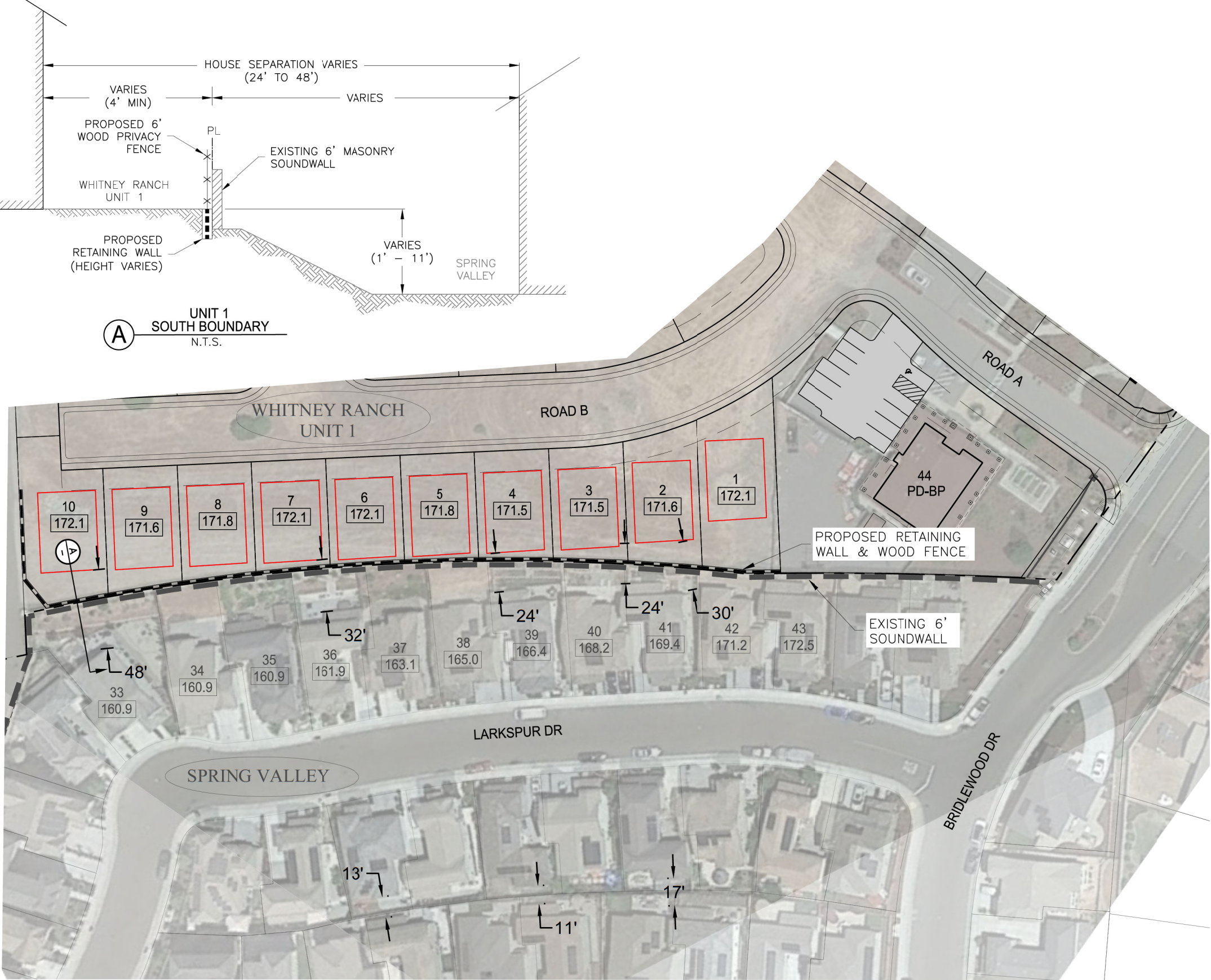
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WHITNEY RANCH UNIT 1
SPRING VALLEY
INTERFACE EXHIBIT

SEPTEMBER 27, 2022

LEGEND:

- EXISTING 6' SOUNDWALL
- PROPOSED RETAINING WALL
- 10 LOT NUMBER
- 172.1 PAD ELEVATION
- 35'x48' PROPOSED PRODUCT



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