



## New Project Information

The City of Rocklin is processing the below referenced application(s) for project approval. The request is now being reviewed for compliance with the requirements and regulations of relevant City, State, and Federal agencies, and Utility providers. Once any issues have been resolved a hearing date will be set and public notice provided to alert neighbors and interested parties of the hearing date, availability of project information, the opportunity to comment on the project.

**Application Received:** August 17, 2022

**Project Name and Requested Approvals:**

Volkswagen

Design Review – DR2022-0009

Use Permit – U2022-0003

**Staff Description of Project:**

The project is a request for approval of a Design Review to construct an approximately 45,300 square foot automotive sales and service facility with a 30,800 square foot roof parking deck on a 4.65-acre site within the City of Rocklin Automobile Overlay District. The project would include sales/showroom space, a 20-bay service shop, brushed vehicular wash, rooftop inventory storage for approximately 120 vehicles, customer parking lot, landscaping improvements, and trash enclosures. The project requires a Use Permit, as the proposed building exceeds the 35-foot maximum height within the Automotive Overlay District. The northern/eastern portion of the site is currently developed with the 43,500 square foot Audi Rocklin Dealership, which was constructed in 2016.

**Location:**

4448 Granite Drive; Assessor's Parcel Number (APN) 045-080-046.

**Land Use Designation(s)/Zoning:**

The property is designated Retail Commercial (RC) in the Rocklin General Plan and the zoning is Planned Development Commercial (PD-C) within the Automotive Overlay District.

This project      does /   XX   does not require modification or change of the land use designations and regulations currently applicable to the project site.

**Compliance with the California Environmental Quality Act:**

A preliminary review of this project pursuant to the California Environmental Quality Act (CEQA) has tentatively identified a Notice of Exemption as the appropriate level of environmental review for this project.

**Applicant & Property Owner:**

The property owner and applicant is Rocklin GW, LLC.

**Attached Information:**

For additional detail, please visit the following link:

<https://www.rocklin.ca.us/post/>



# City of Rocklin

Planning Division  
3970 Rocklin Road  
Rocklin, California 95677  
Phone (916) 625-5160 FAX (916) 625-5195



## UNIVERSAL APPLICATION FORM

**NAME OF PROJECT:** ROCKLIN VOLKSWAGEN

**LOCATION:** 4448 GRANITE DR. ROCKLIN, CA 95677

**ASSESSOR'S PARCEL NUMBERS:** 045-080-046-000

**DATE OF APPLICATION (STAFF):** July 29, 2022 **RECEIVED BY (STAFF INITIALS):** \_\_\_\_\_

**FILE NUMBERS (STAFF):** DR2022-0009 U2022-0003 **FEES:** \$12,940.00

**RECEIPT NO.:** R49678

### Pre-Application Meeting Requirements:

It is required that a pre-application meeting be held with a Staff Planner prior to submitting most applications for planning entitlements and permits. The purpose of the pre-application meeting is to expedite application processing by enabling staff to work with the applicant to assure that the officially submitted application materials are in the proper format and that the applicant understands the City of Rocklin's goals, policies, and ordinances that may affect the project. A copy of these and other planning provisions is available at the applicant's request.

Generally, two sets of preliminary plans and a written description of the proposed project should be brought with the applicant to the pre-application meeting. To schedule this meeting, please contact a Staff Planner at the Rocklin Community Development Department by calling (916) 625-5160.

**DATE OF PRE-APPLICATION MEETING:** 06-06-2022

### THIS APPLICATION IS FOR THE FOLLOWING ENTITLEMENTS: (CHECK APPROPRIATE SQUARES)

<input type="checkbox"/> General Plan Amendment (GPA) Fee: _____	<input type="checkbox"/> Tentative Subdivision Map (SD) Fee: _____	<input checked="" type="checkbox"/> Use Permit (U)
<input type="checkbox"/> BARRO Zone Application (BZ) Fee: _____	<input type="checkbox"/> Tentative Parcel Map (DL) Fee: _____	<input checked="" type="checkbox"/> Minor (PC Approval – New Bldg) Fee: _____
<input type="checkbox"/> Rezone (Reclassification) (Z) Fee: _____	<input type="checkbox"/> Design Review (DR) <input checked="" type="checkbox"/> Commercial Fee: <u>\$12,538.00</u>	<input type="checkbox"/> Minor (PC Approval – Existing Bldg) Fee: _____
<input type="checkbox"/> General Development Plan (PDG) Fee: _____	<input type="checkbox"/> Residential Fee: _____	<input type="checkbox"/> Major (CC Approval) Fee: _____
<input checked="" type="checkbox"/> Concurrent Application (2 or more entitlements) Fee: _____	<input type="checkbox"/> Signs Fee: _____	<input type="checkbox"/> Variance (V) Fee: _____
		<input checked="" type="checkbox"/> Oak Tree Preservation Plan Permit
		<input checked="" type="checkbox"/> Planning Commission Fee: _____
		<input type="checkbox"/> City Council Fee: _____
		<input type="checkbox"/> Modification to Approved Projects Fee: _____ File Number: _____

<b>Environmental Requirements:</b> <b>(STAFF)</b>	<input checked="" type="checkbox"/> Exempt - <u>\$402.00</u>	<input type="checkbox"/> Mitigated Negative Declaration –
	<input type="checkbox"/> Negative Declaration –	<input type="checkbox"/> EIR – See Fee Schedule

15162 Determination -

**UNIVERSAL APPLICATION FORM (CONT.)**

GENERAL PLAN DESIGNATION:	PROPERTY DATA:	UTILITIES:	
		EXISTING	PROPOSED
Existing: _____	Acres: _____	_____ Pub. Sewer <b>SPMUD</b>	_____ Pub. Sewer
Proposed: _____	Square Feet: _____	_____ Septic Sewer	_____ Septic Sewer
<b>ZONING:</b>	Dimensions: _____	_____ Pub. Water <b>PCWA</b>	_____ Pub. Water
Existing: _____	No. of Units: _____	_____ Well Water	_____ Well Water
Proposed: _____	Building Size: _____	_____ Electricity <b>PG&amp;E</b>	_____ Electricity
	Proposed Parking: _____	_____ Gas <b>PG&amp;E</b>	_____ Gas
	Required Parking: _____	_____ Cable <b>Comcast</b>	_____ Cable
	Access: _____		

**PROJECT REQUEST:**

This project request is for the approval of an approximately 45,300 sf Volkswagen automotive sales and service facility with a 30,800 sf roof parking deck on a 4.65 acre site within the City of Rocklin Automotive Overlay District. The project would include a sales/showroom space, a 20-bay service center, brushed vehicular wash, rooftop inventory storage for approximately 120 vehicles, a customer parking lot, landscaping improvements, and the addition of a trash enclosures. The building will require a conditional use permit as the proposed design exceeds the 35'-0" maximum height for the Automotive Overlay District. The eastern/north of the site is currently developed with the 43,500 sq ft Audi of Rocklin Dealership, which was constructed in 2016. An existing access easement along the northern property line will be abandoned.

*(Example: Request for approval of design review to construct a 10,000 square foot office building on 1.5 acres)*

NOTE: Annexations, Lot Line Adjustments, and Rocklin Ranch Industrial Park Specific Plan Use Permits require special application forms and additional submittal information available from the Planning Division.

UNIVERSAL APPLICATION FORM (CONT.)

PLEASE PRINT OR TYPE:

NAME OF PROPERTY OWNER: ROCKLIN GW, LLC

ADDRESS: 2233 Gellert Blvd

CITY: South San Francisco STATE: CA ZIP: 94080

PHONE NUMBER: 415-553-4268

EMAIL ADDRESS: ASH.ZAKI@EUROMOTORSCA.COM

FAX NUMBER: 916-836-1289

SIGNATURE OF OWNER   
*(Signature Authorizing Application; provide owner's signature letter if signature is other than property owner.)*

NAME OF APPLICANT   
(If different than owner): \_\_\_\_\_

CONTACT: \_\_\_\_\_

ADDRESS \_\_\_\_\_

CITY: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_

PHONE NUMBER: \_\_\_\_\_

EMAIL ADDRESS: \_\_\_\_\_

FAX NUMBER: \_\_\_\_\_

SIGNATURE OF APPLICANT 

AGENT AUTHORIZATION FORM

Property owners desiring to authorize individuals to represent them in conjunction with any application or matter before the City shall provide written authorization using this form. A separate form shall be used for each individual or firm authorized, and shall specifically note any restrictions upon the authorized person.

Project Name: ROCKLIN VOLKSWAGEN

Location: 4448 GRANITE DR., ROCKLIN, CA 95677

Assessors Parcel Number(s): 045-080-046-000

Entitlements for which authorization is applicable (use permit, variance, tentative map, etc.):  
\_\_\_\_\_

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Name of person and / or firm authorized to represent property owner (Please print):  
LUKE SMITH

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Address: 4448 Granite Dr.

City: Rocklin State: CA Zip: 95677

Phone Number: 415-686-3999 Fax Number: 916-836-1289

Email Address: LUKE.SMITH@AVS1ROCKLIN.COM

The above named person or firm is authorized as:  
Agent () Buyer (  ) Lessee (  )

The above named person or firm is authorized to (check all that are applicable):

(  ) File any and all papers in conjunction with the aforementioned request, including signing the application

(  ) Speak on behalf of and represent the owner at any Staff meeting and/or public hearing.

(  ) Sign any and all papers in my stead, with the exception of the application form.

The duration and validity of this authorization shall be:  
(  ) Unrestricted (  ) Valid until: \_\_\_\_\_

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Owners Authorization Signature & Date:

Signature:  Date: 7/29/2022

Owners Name (Please Print): Rocklin GW, LLC

Owners Address: 2233 Gellert Blvd.

City: South San Francisco State: CA Zip: 94080

Phone Number: 415-553-4268

Email Address: ash.zaki@euromotorsca.com

**NOTIFICATION OF  
OWNERS OF MINERAL RIGHTS**

Government Code section 6509a(a)(2) states that if the Subdivision Map Act requires notice to be given pursuant to Section 65091, in addition to noticing the surrounding property owners, notice must also be given to anyone who has filed with the County recorder's office a "notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code" on the subject property.

Therefore, mailing labels must be provided with this application for any owner of a mineral right pertaining to the subject real property who has recorded a notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code (Subdivision Map Act Section 65091(a)(2)).

**See page 24 of this application for instructions on how to submit mailing labels.**

Section 65091(a)(2)

"(2) When the Subdivision Map Act (Div. d 9commencing with Section 66410)) requires notice of a public hearing to be given pursuant to this section, notice shall also be given to any owner of a mineral right pertaining to the subject property who has recorded a notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code."

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There are X / are not \_\_\_\_\_ (check one) owner(s) of record of preserved mineral rights on the subject property and I, \_\_\_\_\_, the applicant or applicant's representative, have \_\_\_\_\_ / have not \_\_\_\_\_ (check one) provided the name and mailing address of record for any and all owners of mineral rights pursuant to Section 883.230 of the Civil Code.

Signature

Date

**STATE OF CALIFORNIA  
DEPARTMENT OF FISH AND GAME  
FILING FEES**

In 1990, the State adopted a fee pursuant to AB 3158 for the review of environmental documentation by the State Department of Fish and Game. Subsequently, in 1991, the fees were challenged. Then, in June 1995, the Department of Fish and Game instructed the jurisdictions to stop collecting fees. Following a great deal of court action and in a memorandum dated February 26, 1996, the State Clearinghouse, Office of Planning and Research, stated that the fees must again be collected.

On September 29, 2006, Senate Bill 1535 was passed increasing the amounts of filing fees collected by the Department, and requires the Department to adjust the fees annually pursuant to Fish and Game Code Section 713.

As of January 1, 2020, State law requires all applicants who have a Notice of Determination filed for a Negative Declaration to pay a \$2,406.75 fee and those with a Notice of Determination for an Environmental Impact Report to pay a \$3,343.25 fee. Both types must pay an additional \$50.00 administrative fee making the total fees \$2,456.75 and \$3,393.25 respectively. Applicants whose projects require the filing of a Notice of Exemption will need to pay a \$50.00 administrative fee. The City will notify each applicant which of the fees must be paid.

PLEASE NOTE: Effective January 1, 2008, the fee exemption for projects determined to have a *De Minimis Impact Finding* has been eliminated. (Section 711.4 Fish and Game Code).

The Fish and Game filing fee must be paid prior to the filing of the Notice of Determination with the County Clerk. Since the CEQA law requires a Notice of Determination to be filed with the County within 5 days of an action by the City, all applicants must remit to the City the necessary fee amount *no later than* the day of the final scheduled public hearing for the proposed project.

**PLEASE MAKE ALL CHECKS PAYABLE TO PLACER COUNTY.**

If you have any questions regarding this matter, please do not hesitate to contact the Planning Department at (916) 625-5160. Upon review of the above, please sign and return this document with your application.

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I, Ashraf Zaki, the applicant or applicant's representative, have read the information above and understand its meaning.

\_\_\_\_\_  
Signature

7/28/2022  
Date

**HAZARDOUS WASTE AND SUBSTANCES STATEMENT**

Pursuant to California Government Code Section 56962.5, I have consulted the Hazardous Waste and Substances Sites List (Cortese List), consolidated by the State of California, Environmental Protection Agency and find that;

The project, including any alternatives, \_\_\_\_\_ is,  is not (check which applies) located on a site which is included on the Hazardous Waste and Substances Sites List (Cortese List). If on the list, provide the following information:

Regulatory identification number: \_\_\_\_\_ Date of list: \_\_\_\_\_

Type of problem:

I declare under penalty of perjury of the laws of the State of California that the foregoing is true and correct.

Dated: 7/29/2022

Applicant: 

Applicants can verify this information by reviewing the Hazardous Waste and Substances Sites List (Cortese List), available for review at the City of Rocklin Planning Department counter, or at the California Department of Toxic Substance Control web site: <http://www.calepa.ca.gov/SiteCleanup/CorteseList/default.htm>

## MITIGATION FOR AIR QUALITY IMPACTS

The US Environmental Protection Agency (EPA) and the California Air Resources Board (CARB) have established air quality standards, referred to as the National Ambient Air Quality Standards (NAAQS) and the State Ambient Air Quality Standards (SAAQS) respectively. The federal Clean Air Act and State Clean Air Act both require that areas in violation of the ambient air quality standards adopt strategies to attain these standards. The Placer County Air Pollution Control District (APCD) has primary responsibility for planning and maintenance and/or attainment of air quality standards within Placer County. California is divided into 15 air basins for the purpose of monitoring air quality. Placer County is included in the Sacramento Valley Air Basin. Areas may be classified as attainment, non-attainment, or unclassified with regard to the adopted standards. The unclassified designation is assigned in cases where monitoring data is insufficient to make a definitive determination. Under the federal standards, all of Placer County, including Rocklin, is designated as non-attainment for ozone. All other pollutants are designated unclassified in Rocklin. Under the state standards, South Placer, including Rocklin, is designated as non attainment for ozone and PM10 and unclassified for hydrogen sulfide and visibility reducing particulate.

The project would have the following short-term construction impacts, if not mitigated:

- a. Construction activities, including grading, would generate a variety of pollutants, the most significant of which would be dust (PM10). This would exacerbate the existing PM10 non attainment condition if not mitigated.
- b. Construction equipment would produce short-term combustion emissions, and asphalt materials used for streets and driveways would produce pollutants during curing.

The mitigation measures listed below will reduce the short term impacts to less-than-significant. In the long-term, vehicle trips to and from the project site would generate Carbon Monoxide and ozone precursor emissions, thereby contributing to the non-attainment status of the local air basin. These incremental and cumulative adverse air quality impacts cannot be completely mitigated. However, these impacts were anticipated by the City of Rocklin General Plan, and were addressed through the 1991 Rocklin General Plan EIR and the North Rocklin Circulation and Traffic Study. Findings of overriding significance were adopted for the unmitigatable and unavoidable significant air quality impacts.

Therefore, I, as the applicant for the proposed project, agree that the mitigation measures listed below are incorporated as a part of my project description in order to mitigate for the short term impacts.

**MITIGATION FOR AIR QUALITY IMPACTS (CONT.)**

**MITIGATIONS**

1. The project shall conform with the requirements of the Placer County APCD.
2. Prior to commencement of grading, the applicant shall submit a dust control plan for approval by the City Engineer and the Placer County Air Pollution Control District. The plans shall specify measures to reduce dust pollution during all phases of construction.
3. Traffic speeds on all unpaved road surfaces shall be posted at 25 m.p.h. or less.
4. All grading operations shall be suspended when wind speeds exceed 25 m.p.h.
5. All trucks leaving the site shall be washed off to eliminate dust and debris.
6. All construction equipment shall be maintained in clean condition.
7. All exposed surfaces shall be revegetated as quickly as feasible.
8. If fill dirt is brought to the construction site, tarps or soil stabilizers shall be placed on the dirt piles to minimize dust problems.
9. Apply water or dust palliatives on all exposed earth surfaces as necessary to control dust. Construction contracts shall include dust control treatment as frequently as necessary to minimize dust.
10. Construction equipment shall be properly maintained and tuned.
11. Utilize low emission mobile construction equipment where possible.
12. Open burning of vegetative material is prohibited.

**Ashraf Zaki**

\_\_\_\_\_  
Applicant's Name (printed)

  
\_\_\_\_\_  
Applicant's Signature

  
\_\_\_\_\_  
Date



City of Rocklin

Planning Division
3970 Rocklin Road
Rocklin, California 95677
Phone (916) 625-5160 FAX (916) 625-5195

ENVIRONMENTAL
INFORMATION SHEET
(To be completed by applicant)

LOCATION OF PROJECT (ADDRESS) 4448 Granite Drive

CITY: Rocklin STATE: CA ZIP: 95677

ASSESSORS PARCEL #: 045-080-046-000

NAME OF PROJECT: Rocklin Volkswagen

CONTACT/APPLICANT NAME: Ash Zaki

ADDRESS: 2233 Gellert Blvd

CITY: South San Francisco STATE: CA ZIP: 94080

PHONE: 415-793-9970 EMAIL: ash.zaki@euromotorsca.com

Project Description - Describe in detail. Add separate sheet if necessary.

Adding a Volkswagen franchise to a parcel that already has an Audi Dealership located on it.

Table with 2 columns: Property size (191,664 SF / 4.4 Acres), Land Use (2.2 Existing / 2.2 Proposed)

RELATED PROJECTS: If this project is a part or portion of a larger project, describe the previous project by name, general development plan number, or other project identification:

PREVIOUS ENVIRONMENTAL DOCUMENTS: If this project is part of a larger project for which a negative declaration or an environmental impact report has been prepared and certified, reference the document below. Include the date and SCH#, if possible:

OTHER REQUIRED PERMITS OR APPROVALS:

Table with 3 columns: Permit or Approval Agency, Address, Contact Person/Phone. Row 1: City of Rocklin Conditional Use Permit, 3970 Rocklin Rd, Rocklin, CA 95677

PREVIOUS LAND USES: Describe existing and previous land uses of the site for the last 10 years or more:

Current Parcel is currently being used to house an Audi Dealership built in 2016.

**SITE CHARACTERISTICS**

1. What natural features (trees, rock outcroppings etc.) presently exist on the site?

Large oak tree on South side of property next to Granite Drive.

2. What are the surrounding land uses?

East Granite Drive West Church Property North Audi Dealership South Church

3. Is the project proposed on land which contains fill or a slope of 10% or more? Site slopes at 2% w/ a steep cut slope at north

4. Are there any existing erosion problems? No

5. Is the site on expansive soils (as defined in Table 18 of the UBC) or immediately adjoining an area subject to slides, liquefaction, slope instability or other related hazards? No  
If so, describe in detail, or refer to attached soils report.

6. Grading, excavating or filling activities - Quantity of cubic yards to be:

- a. Moved within the site: Approximately 8,000 cy
- b. Deposited on the site: Approximately 7,500 cy
- c. Removed from the site: \_\_\_\_\_
- d. Disposal site: \_\_\_\_\_

7. Are there any streams or permanent water courses on the site? No  
Describe: \_\_\_\_\_

8. Will the proposed project change drainage patterns or the quality of groundwater? No  
If so explain. If not, why not:  
The drainage pattern of the site will remain to drain to the storm drain facility in Warren Drive. This site will provide water quality structures to maintain the quality of groundwater.

9. Will the project affect any drainage channel, creek, pond or any other water body? No  
Describe below: \_\_\_\_\_

10. Is any portion of the property located in a flood plain? No  
If so describe: \_\_\_\_\_

11. Are there any jurisdictional wetlands or vernal pools on the site? No  
If so how will they be impacted by the project? \_\_\_\_\_
12. Are there any trees or shrubs on the project site? Yes  
What types? Large Oak Tree  
Are any to be removed or transplanted? No  
State the location of transplant site: \_\_\_\_\_  
State the number & species to be removed: 0
13. Will the project affect the habitat of any endangered, threatened, or other special status species?  
No
14. Will the project result in any new noise source, or will it place new residents in an area of high traffic noise or noise from any other source?  
No
15. What type of equipment will be associated with the project during construction?  
Standard Heavy Equipment to build a new building, pave and grade the lot, heavy vehicles for: transport vehicles for structural beams and columns, concrete pouring, glass delivery, aggregate dumps, etc. Light framing tools and transports (ie: forklifts, scissor lifts, transport carts, etc) and equipment for personnel use for all components besides large structure.  
During permanent operation?  
Brush car wash system in rear of property.
16. Describe any air pollutants, other than vehicle exhaust, which would be generated by this project, both during and after construction. Dust particulates are considered pollutants.  
Dust during grading
17. Will the project produce new sources of dust, ash, smoke, fumes or objectionable odor? dust during grading  
If yes, describe the source of the emission, methods to control emissions and means of mitigating those effects on adjacent properties:  
dust during grading: water trucks will follow grading vehicles to ensure minimized dust particulates enter the air
18. Will the project create any new light source, other than street lighting? yes  
If yes, describe below:  
Site and building lighting for the proposed parking lot and parking deck.
19. Is this property covered by a Williamson Act contract? No
20. Has this property ever been used for agricultural purposes? No  
If so, for what purpose and when? \_\_\_\_\_
21. Does the project involve the use of routine transport or disposal of hazardous materials? No
22. Are there any known mineral resources of value to the region and the residents of the state located on the site?  
If so, what types? \_\_\_\_\_
23. How close is the nearest school? 1.1 Miles, Rocklin Elementary School

24. PROPOSED BUILDING CHARACTERISTICS (BOTH RESIDENTIAL AND NON-RESIDENTIAL)

Size of new structure(s) or addition in gross square feet: 38,000 sf footprint, 76,000 sf total  
 Building height measured from ground to highest point in feet: 35'-10"  
 Number of floors/stories: 3

Height of other appurtenances (antennas, steeples, mechanical equipment, etc.) measured from ground:  
**Vehicle/Mechanical Screen: 27'-0"**

Project site coverage: Building 38,000 sq.ft. 39.6 %  
 Landscaping 14,186 sq.ft. 14.8 %  
 Paving 44,048 sq.ft. 45.9 %

Exterior building materials: Stucco, Metal Corrugated Panel, Aluminum Composite Panel, Glazing

Exterior building colors: White, Gray

Wall and/or fencing material: CMU

Total number of off-street parking spaces required: 0 Provided: 0

Total number of bicycle parking spaces: 2

25. Is there any exposed mechanical equipment associated with the project? Yes

Location and screening method:

**Within parapet on parking deck; parking completely screened with aluminum panel scr**

26. RESIDENTIAL PROJECTS

Total lots NA Total dwelling units NA  
 Density/acre \_\_\_\_\_ Total acreage \_\_\_\_\_

	Single Family	Two Family	Multi-Family (More than 2 units)
Number of Units			
Size of lot/unit			
Studio			
1 Bedroom			
2 Bedroom			
3 Bedroom			
4+ Bedroom			

27. RETAIL, COMMERCIAL, INDUSTRIAL, INSTITUTIONAL OR OTHER PROJECT

Type of use(s): Commercial Retail Automotive Dealership

Oriented to: Regional \_\_\_\_\_ City Rocklin Neighborhood RC

Hours of operation: M-F 7:30AM-8PM, Sat 8AM-7PM, Sun 10AM-6PM

Total occupancy/Building capacity: \_\_\_\_\_

Gross floor area: \_\_\_\_\_ Number of fixed seats: \_\_\_\_\_

Number of employees (total): 51 Employees per shift: 30 Number of Shifts: 2

Number of visitors/customers on site at busiest time (best estimate): 15

Other occupants (specify): \_\_\_\_\_

ALL PROJECTS

28. Approximately how many tons of solid waste will the project produce each year? +/- 125 tons/year

29. Will the proposed use involve any toxic or hazardous material? Yes

Is the project site within 2,000 feet of an identified hazardous/toxic site? No

Is the project site within 2,000 feet of a school or hospital? No

If the project involves any hazardous material, explain: **Motor oil, antifreeze, refrigerant, fuel**

30. How many new residents is the project estimated to generate? 0

31. Will the project generate a demand for additional housing? No

32. What is the current and estimated number of motor vehicles to arrive at the site as a result of the project?

Current: 0 Estimated: 32 trips/per day

33. Could the project increase traffic hazards to motor vehicles, bicyclists or pedestrians? No  
If yes, explain:

34. How close is the project to the nearest public park or recreation area? 0.6 Miles Sierra Meadows Park

35. What school districts will be affected by this project? \_\_\_\_\_

36. Describe energy-efficient features included in the project

LED fixtures, low flow faucets

37. Describe how the following services or utilities will be provided:

Power and Natural Gas: PG&E - Gas stubbed from Warren Dr along Audi Granite Dr. frontage, (e) transformer @ Audi

Telephone: AT&T - Facilities along Granite Dr.

Water: PCWA - Connect to Audi water loop and Public water main in Granite Dr.

Sewer: SPMUD - Public sewer on site

Storm Drainage: City of Rocklin - Stub to site from Audi

Solid Waste: Recology of Placer - Trash Enclosure provided on site

38. Will the project block any vista or view currently enjoyed by the public? No

39. Are there any known historic or significant building features on or near the site? No  
If so, will the project result in any impact to the building?

40. Are there any archaeological features on the site? No  
If so, will the project result in any impact to these features?

## Volkswagen Rocklin Operational Narrative

All vehicles will enter and exit on the west side of Granite Drive on a shared driveway with Audi Rocklin. Ample customer parking is provided along with a bicycle rack for the customers who choose to visit with one. All pedestrian accesses will be clearly marked.

### Service

- As a service customer enters the drive, they will turn south towards the covered service drive.
- The car will be dropped off and then driven into the service department.
  - a) The customer will wait for vehicle to be serviced in the customer lounge, be provided a loaner vehicle, or be picked up to return later.
- Once the service is completed, the vehicle will be driven through the automatic car wash on the lower level and then to the roof for a quick touch up. The vehicle will be parked on the roof if customer is not present to receive it.
- Once ready, the customer will take possession of their vehicle at the front of the store and exit the same way they entered.

### Parts

- A customer driving may park in front of the store or service area to visit the parts counter.
- Once assisted, the parts customer will exit the same way they arrived via car, bicycle or by foot.
- All parts deliveries will take place on the west side of the building which typically takes place at 5AM. This delivery typically takes 10 minutes or less.
- The delivery truck enters on the North side of the building and travels around toward the parts delivery area. They exit by continuing to travel in the same direction unit reaching Granite Dr.

### Sales

- All sales customers will be able to park in the customer parking in front of store.
- A customer will view a few of the vehicle in the display area or wait for a representative to drive a surplus unit off the roof of the building and parked in the vehicle display area for the customer to view. Some vehicles may be parked offsite and be driven to the sale display area for view.
- Once sold, the vehicle will travel through the automatic car wash and have the detail completed on the roof of the building.
- The sold vehicle will be driven back down the roof and parked in vehicle display area for delivery.
- Vehicle deliveries will take place on the North side of the building in the designated delivery area.
- These delivered vehicles will be driven to the service drive to be prepped by service and complete the vehicle readiness services. A 9-car carrier will take an average of 30 minutes to unload.

## Employees

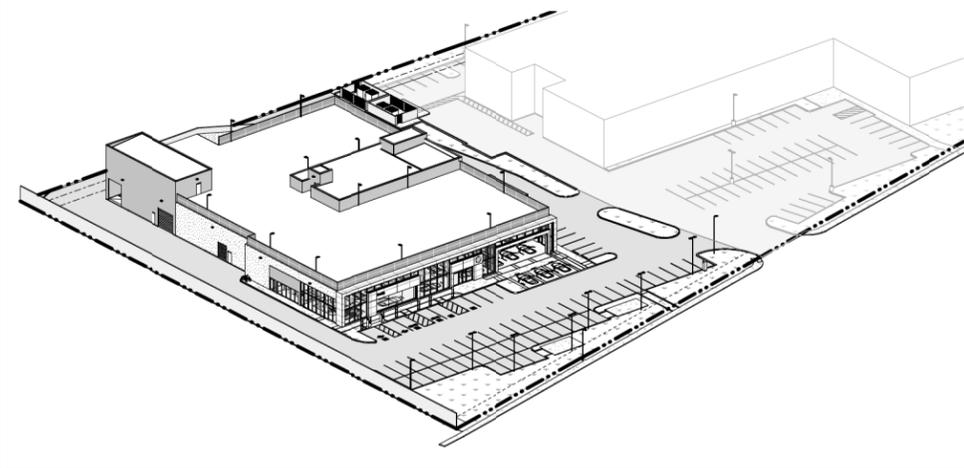
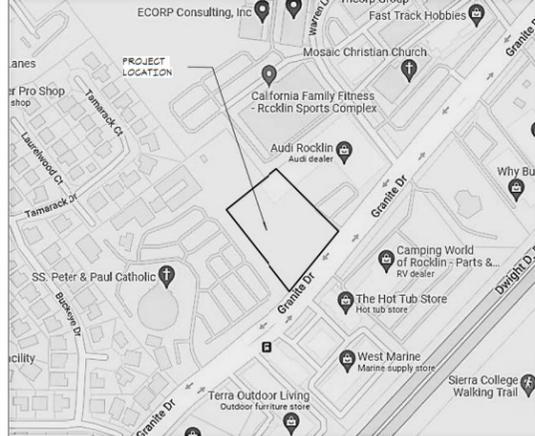
- Employees will enter the store to their respective departments via pedestrian accesses.
  - a) Service Technicians through the main doors in the Service Center
  - b) Parts employees will enter through the parts door/ storage area.
  - c) Salespeople enter through the Showroom entrance.
  - d) Admin personal will enter through Service, Showroom or through the stairwell.
- Employees will park offsite or be offered limited onsite parking if carpooling.

At any point in time regardless of part or vehicle delivery, a fire apparatus can reach all parts of the building conforming with Appendix D of the California fire code. (Maximum of 150 feet)

**GENERAL NOTES**

- ON-SITE VERIFICATION OF ALL DIMENSIONS AND DETAILS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR FOR HIS INDIVIDUAL WORK. THE OWNER OR ARCHITECT SHALL BE NOTIFIED IF ANY DISCREPANCIES ARE FOUND PRIOR TO COMMENCING ANY WORK. THE RESPONSIBILITY FOR WORK COMPLETED WITHOUT PROPER NOTIFICATION SHALL BE BORNE BY THE INDIVIDUAL CONTRACTOR INVOLVED.
- THE CONTRACT DOCUMENTS INDICATE THE EXTENT AND APPROXIMATE LOCATION OF ELEMENTS OF THE BUILDING AND SITE. CONDITIONS, LOCATIONS, DEVICES AND ELEMENTS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING THE WORK.
- ALL WORK PERFORMED IN CONNECTION WITH THESE CONTRACT DOCUMENTS SHALL COMPLY WITH THE AMERICAN WITH DISABILITIES ACT (ADA) ALL APPLICABLE STATE AND LOCAL CODES, ORDINANCES, AND ZONING REGULATIONS IN EFFECT AT THE TIME OF CONSTRUCTION. THIS PROJECT SHALL COMPLY WITH TITLE 24, 2018 CBC, CMC, CPC, CFC, CEG BASED ON THE 2019 CALIFORNIA ENERGY STANDARDS.
- IT SHALL BE UNDERSTOOD THAT THE INTENT OF THESE CONSTRUCTION DOCUMENTS IS TO PROVIDE THE FACILITY IN ACCORDANCE WITH THE APPLICABLE CODES AND ORDINANCES. SHOULD ANY CONDITION BE UNCOVERED OR DEVELOPED DURING THE EXECUTION OF THESE DOCUMENTS, WHICH IS NOT DEFINED HEREIN, THE CONTRACTOR SHALL CEASE WORK AND NOTIFY THE ARCHITECT AT ONCE.
- THE TYPICAL DETAILS SHOWN IN THESE PLANS SHALL APPLY IN ALL SIMILAR CASES UNLESS SPECIFICALLY NOTED OTHERWISE. WHERE NO DETAIL IS SHOWN, CONSTRUCTION SHALL BE AS INDICATED FOR OTHER SIMILAR WORK AND/OR APPLICABLE INDUSTRY PRACTICE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION OF INSTALLATION, INSPECTION, AND FINAL APPROVAL OF ALL UTILITIES.
- VERIFY ALL DIMENSIONS, EXISTING CONDITIONS, AND METHODS OF CONSTRUCTION PRIOR TO START OF ANY WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- IT IS NOT THE INTENT OF THESE CONTRACT DOCUMENTS TO SEPARATE THE WORK INTO SUBTRADE DIVISIONS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO DIVIDE THE WORK AND ORGANIZE ALL WORK AS REQUIRED TO COMPLETE THE WORK AS INTENDED BY THESE DOCUMENTS.
- SITE DEVELOPMENT AND GRADING SHALL PROVIDE ACCESS TO PRIMARY ENTRANCES AND NORMAL PATHS OF TRAVEL AND SHALL INCORPORATE PEDESTRIAN RAMPS, CURB RAMPS, ETC. ALL RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1:12, OR AS NOTED ON THESE CONSTRUCTION DOCUMENTS ANY PATH OF TRAVEL SHALL BE CONSIDERED A RAMP IF ITS SLOPE IS GREATER THAN 1 FT RISE IN 20 FT RUN (5%).
- EACH PARKING FACILITY WHERE PARKING IS PROVIDED FOR THE PUBLIC, GUESTS OR EMPLOYEES SHALL PROVIDE ACCESSIBLE PARKING AND LOADING STALLS DESIGNATED SPECIFICALLY FOR PERSONS WITH DISABILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE COMMENCEMENT OF WORK. HE SHALL BE RESPONSIBLE FOR THE LOCATION AND PRESERVATION OF ALL SUCH FACILITIES IN THE AREA OF CONSTRUCTION, AND SHALL NOTIFY UTILITY COMPANIES 48 HOURS IN ADVANCE OF ANY CONSTRUCTION (UNDERGROUND SERVICE ALERT 1-800-221-2600).
- EACH ACCESSIBLE PARKING SHALL BE IDENTIFIED BY A REFLECTORIZED SIGN PERMANENTLY POSTED IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL OR SPACE, CONSISTING OF A PROFILE VIEW OF A WHEELCHAIR OCCUPANT IN WHITE ON A BLUE BACKGROUND. THE SIGN SHALL NOT BE SMALLER THAN 10 SQ. IN. IN AREA AND, WHEN POSTED IN A PATH OF TRAVEL, SHALL BE A MINIMUM HEIGHT OF 80 INCHES FROM THE BOTTOM OF THE SIGN TO THE PARKING SPACE FINISH GRADE. IN ADDITION, A SIGN AS SPECIFIED IN TITLE 24 ACCESSIBILITY STANDARDS, SHALL BE POSTED IN A CONSPICUOUS PLACE, AT EACH ENTRANCE TO OFF-STREET PARKING FACILITIES, OR IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL OR SPACE. SAID SIGNS SHALL BE NOT LESS THAN 11 INCHES X 22 INCHES IN SIZE WITH LETTERING NOT LESS THAN 1 INCH HIGH.
- PROVIDE A CLEAR AND LEVEL LANDING ON EACH SIDE OF AN EXIT DOOR. THE LANDING SHALL BE 48 INCHES IN LENGTH WHERE THE DOOR SWINGS AWAY FROM THE LANDINGS, AND 60 INCHES IN LENGTH IN THE DIRECTION OF DOOR SWINGS AS MEASURED AT RIGHT ANGLES TO THE PLANE OF THE DOOR IN THE CLOSED POSITION.
- GENERAL DEMOLITION: WHENEVER EXISTING FACILITIES OR MATERIALS ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF WORK COVERED BY THE DRAWINGS AND SPECIFICATIONS, SAID FACILITIES AND MATERIALS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. SAID FACILITIES OR MATERIALS SHALL BE EQUAL TO OR BETTER THAN THE ORIGINAL FACILITIES OR MATERIALS. THE FINISH PRODUCT SHALL BE SUBJECT TO THE APPROVING JURISDICTION.
- NO WORK SHALL COMMENCE AT THE PROJECT SITE BEFORE A BUILDING PERMIT IS FULLY EXECUTED AND AVAILABLE FOR POSTING AT THE JOB SITE.
- CONSTRUCTION LIMITS: CONTRACTOR AND SUB-CONTRACTORS, WORKERS AND OTHER PERSONNEL RELATED TO THIS SCOPE OF WORK, SHALL BE CONFINED WITH THE AREAS DESIGNATED AS CONSTRUCTION LIMITS AS INDICATED BY THESE DRAWINGS AND RELATED AREAS. AREAS BEYOND THIS SCOPE OF WORK SHALL BE OFF LIMITS, AND THEIR USE SHALL BE PROHIBITED WITHOUT PRIOR AUTHORIZATION OF APPROVING JURISDICTION. THE GENERAL CONTRACTOR SHALL VERIFY THESE LIMITS AND BE RESPONSIBLE TO INFORM THE APPROPRIATE PERSONNEL AND ENFORCE THESE LIMITS.
- PROVIDE CONTINUOUS 16GA. X REQUIRED WIDTH (6" MIN.) FLAT BACKING STRAP AT WALLS WITH WALL MOUNTED EQUIPMENT, CASEWORK, AND/OR ACCESSORIES - TYPICAL UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS AND THE EXISTING FIELD CONDITIONS, AND SHALL AT ONCE REPORT TO THE ARCHITECT ANY ERROR, INCONSISTENCY, OR OMISSION HE MAY DISCOVER. THE CONTRACTOR SHALL PERFORM NO PORTION OF THE WORK AT ANY TIME WITHOUT APPROVED CONTRACT DOCUMENTS OR WHERE REQUIRED, APPROVED SHOP DRAWINGS, PRODUCT LITERATURE, DATA, SAMPLES OR INSTALLATION INSTRUCTIONS.
- THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT, WHERE APPLICABLE, FOR ANY WORK DONE WITHIN THE RIGHT-OF-WAY OR EASEMENTS FROM THE AUTHORITY HAVING JURISDICTION. THE CONTRACTOR SHALL NOTIFY THE OWNER 48 HOURS IN ADVANCE OF COMMENCEMENT OF THE WORK OR AS REQUIRED BY SAID PERMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING, FITTING, OR PATCHING THAT MAY BE REQUIRED TO COMPLETE THE INTENT OF THESE CONSTRUCTION DOCUMENTS. TO MAKE IT'S SEVERAL PARTS FIT TOGETHER PROPERLY. THE CONTRACTOR SHALL PATCH ARCHITECTURAL FINISHES AS NECESSARY TO ACCOMPLISH WORK DEFINED IN STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, AND ARCHITECTURAL DRAWINGS. EXISTING FIELD CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AND ACCEPTED AS CONDITIONS OF THIS SCOPE OF WORK.
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH FUSE AND/OR SERVICE PROVIDER FOR ANY NEW SERVICE INSTALLATIONS. THE CONTRACTOR SHALL COORDINATE THE SHUT DOWN OF THE FACILITIES WITH THE OWNER FOR AS MINIMAL DURATION AS POSSIBLE. INTERCEPT THE EXISTING SERVICE CONDUIT, EXTEND IT TO NEW TRANSFORMERS AND PAD (TO BE INSTALLED BY CONTRACTOR) AND EXTEND SECONDARY CONDUITS TO THE NEW SWITCHBOARD. COORDINATE WITH THE OWNER TO VERIFY LOCATION, PROVIDE TRAFFIC BARRIERS POSTS PER FUSE REQUIREMENTS.
- CONTRACTOR SHALL FLUSH ALL WATER, SEWER, AND DRAIN LINES PRIOR TO HOOK UP.
- DIMENSIONS SHALL BE MEASURED TO FACE OF FRAMING, UNLESS NOTED OTHERWISE.
- PROVIDE 2% SLOPE AWAY FROM THE BUILDING FOR 10'-0" AT FRONT ALL SIDES.
- NO DRAINAGE ACROSS OR ONTO ADJACENT PROPERTY; PROVIDE 2% SLOPE AWAY FROM THE BUILDING FOR 10'-0" AT ALL SIDES.
- DO NOT SCALE THE DRAWINGS.

**VICINITY MAP**



NEW VEHICLE DEALERSHIP FOR  
EUROMOTORS USA  
**VOLKSWAGEN OF ROCKLIN**  
4448 GRANITE DR.  
ROCKLIN, CA 95677  
PLANNING PACKAGE  
JULY 29, 2022



Architect:  
LDA PARTNERS, LLP  
Designers & Architects  
222 Central Court  
Stockton, CA 95204  
209.943.0405  
www.ldapartners.com



Client:  
**EUROMOTORS USA**  
4448 GRANITE DR.  
ROCKLIN, CA 95677  
(916) 836-1288

Project:  
**VOLKSWAGEN - ROCKLIN**  
4448 GRANITE DR.  
ROCKLIN, CA 95677

Project No.: 786-1-21  
Drawn By: EB, BC, CA  
Checked By: PR  
No. Description Date By

PLANNING PACKAGE  
7/29/2022

COVER SHEET, PROJECT DATA, GENERAL NOTES, SYMBOLS & ABBREVIATIONS

**G0.00**

**ABBREVIATIONS**

ABV	ABOVE	LAM	LAMINATE
ACOUS	ACOUSTICAL	LAV	LAVATORY
ACT	ACoustical CEILING TILE	LDS	LANDING
AD	AREA DRAIN	LT	LIGHT
ADJ	ADJUSTABLE	MEMB	MEMBRANE
AFB	ABOVE FINISH FLOOR	MFR	MANUFACTURER
ALT	ALTERNATE	MIN	MINIMUM
ARGH	ARCHITECT	MISC	MISCELLANEOUS
B.O.	BOTTOM OF	MO	MASONRY OPENING
BD	BOARD	MTD	MOUNTED
BET	BETWEEN	MTL	METAL
BLKS	BLOCKING	NEM	NEM
BM	BEAM	NIG	NOT IN CONTRACT
BOB	BOTTOM	NUMB	NUMBER
BRKT	BRACKET	NOT TO SCALE	
BUR	BUILT UP ROOF	O.P.	OVER-FLOW PIPE
C.S.	CORNER GUARD	OA	OVERALL
C.U.P.	CONDITIONAL USE PERMIT	OC	ON CENTER
CAB	CABINET	ODD	ODDSIDE DIAMETER
CALLS	CALLINGS	OPNS	OPENING
CER	CERAMIC	OPP	OPPOSITE
CJ	CONTROL JOINT	PERM	PERIMETER
CLOS	CLOSED	P6	PAINT GRADE
CLR	CLEAR	PLAM	PLASTIC LAMINATE
CO	CASED OPENING	PLAS	PLASTER
COL	COLUMN	FR	FAIR
CONC	CONCRETE	PT	PAINT
CONT	CONTINUOUS	R	RISER
CONT	CORNER	RADJ	RADIUS
CT	CERAMIC TILE	RCP	REFLECTED CEILING PLAN
CTR	CENTER	RD	ROOF DRAIN
DEMO	DEMOLISH	REF	REFRIGERATOR
DIA	DIAMETER	REIN	REINFORCED
DM	DIMENSION	REQD	REQUIRED
DN	DOWN	RESIL	RESILIENT
DR	DOOR	RTRS	RATING
DS	DOWNSPOUT	RO	ROUGH OPENING
DWG	DRAWINGS	RTU	ROOF TOP UNIT (MECH)
(E)	EXISTING	SAB	SOUND ATTENUATION FIBER BATT
EA	EACH	SC	SUPPER
EJ	EXPANSION JOINT	SOD	SEE CIVIL DRAWINGS
ELEV	ELEVATION	SCHED	SCHEDULE
EMER	EMERGENCY	SEAL	SEALANT
ENCL	ENCLOSURE	SECT	SECTION
EOS	EDGE OF SLAB	SED	SEE ELECTRICAL DRAWINGS
EQ	EQUAL	SF	SQUARE FOOT
EX	EACH WAY	SFP	SEE FIRE PROTECTION DRAWINGS
F.O.	FACE OF	SHT	SHEET
FA	FIRE ALARM	SIM	SIMILAR
FAP	FIRE ANNUNCIATOR PANEL	SJD	SEE LANDSCAPE DRAWINGS
FD	FLOOR DRAIN	SMD	SEE MECHANICAL DRAWINGS
FE	FIRE EXTINGUISHER	SPD	SEE PLUMBING DRAWINGS
FEC	FIRE EXTINGUISHER CABINET	SPEC	SPECIFICATION
FH	FIRE HYDRANT	SQ	SQUARE
FIN	FINISH	SS	STAINLESS STEEL
FRP	FIBER-REINFORCED PLASTIC	STD	SEE STRUCTURAL DRAWINGS
FT	FOOT OR FEET	STL	STANDARD
FUR	FURRING	STL	STEEL
G.S.M.	GALVANIZED SHEET METAL	STOR	STORAGE
GAL	GALLON	SUSP	SUSPENDED
GALV	GALVANIZED	SYM	SYMMETRICAL
GB	GRAB BAR	T	TREAD
GC	GENERAL CONTRACTOR	THK	THICK
GL	GLASS	THRESH	THRESHOLD
GND	GROUND	TO	TOP OF
GNB	GYP/SPUM BOARD	TYP	TYPICAL
GYP	GYP/SPUM	UC	UNDERCUT
H.W.	HOT WATER HEATER	UNFIN	UNFINISHED
HDWD	HARDWOOD	UNL	UNLESS NOTED OTHERWISE
HM	HOLLOW METAL	UN	UNLESS OTHERWISE NOTED
HT	HIGHT	UN	UNLESS OTHERWISE NOTED
ID	INSIDE DIAMETER	VCT	VINYL COMPOSITION TILE
INSUL	INSULATION	VER	VERIFY IN FIELD
INT	INTERIOR	VFR	VENT TERMINATION PIPE
JST	JOIST	VGC	VENTIL WALL COVERING
JT	JOINT	W	WITH
		W/O	WITHOUT
		WCL	WATERCLOSET
		WIND	WINDON
		WP	WATERPROOF
		WST	WAINSCOT
		WT	WEIGHT

**CONTACTS**

**OWNER:**  
EUROMOTORS USA  
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4448 GRANITE DR.  
ROCKLIN, CA 95667  
PHONE: (916) 836-1288  
CONTACT: ASH ZAKI  
EMAIL: ash.zaki@euromotorsusa.com

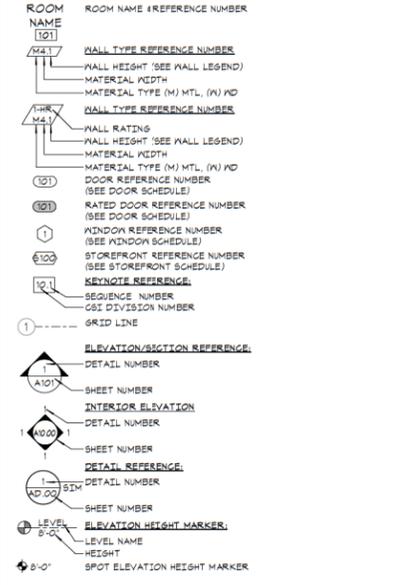
**ARCHITECT:**  
LDA PARTNERS, INC.  
ADDRESS:  
222 CENTRAL CT.  
STOCKTON, CA 95204  
PHONE: (209) 943-0405  
CONTACT: PETER ROSADO, ERIC BURFORD  
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**CIVIL ENGINEER:**  
TSD ENGINEERING, INC.  
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105 ORCHARD DR., SUITE 110  
FOLSOM, CA 95630  
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CONTACT: GABEY S. PEIKERT  
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**ELECTRICAL ENGINEER:**  
PEZZONI ENGINEERING, INC.  
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150 4TH ST. SUITE # 1419  
MODESTO, CA 95384  
PHONE: (209) 554-4602  
CONTACT: KEVIN PEZZONI  
EMAIL: kpezzoni@pezzeng.com

**LANDSCAPE ARCHITECT:**  
MELA LANDSCAPE ARCHITECTURE, INC.  
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506 CANYON FALLS DR.  
FOLSOM, CA 95630  
PHONE: (916) 954-9912  
CONTACT: MICHAEL SHULLAR  
EMAIL: mshullar@melsdesign.com

**SYMBOLS LEGEND**

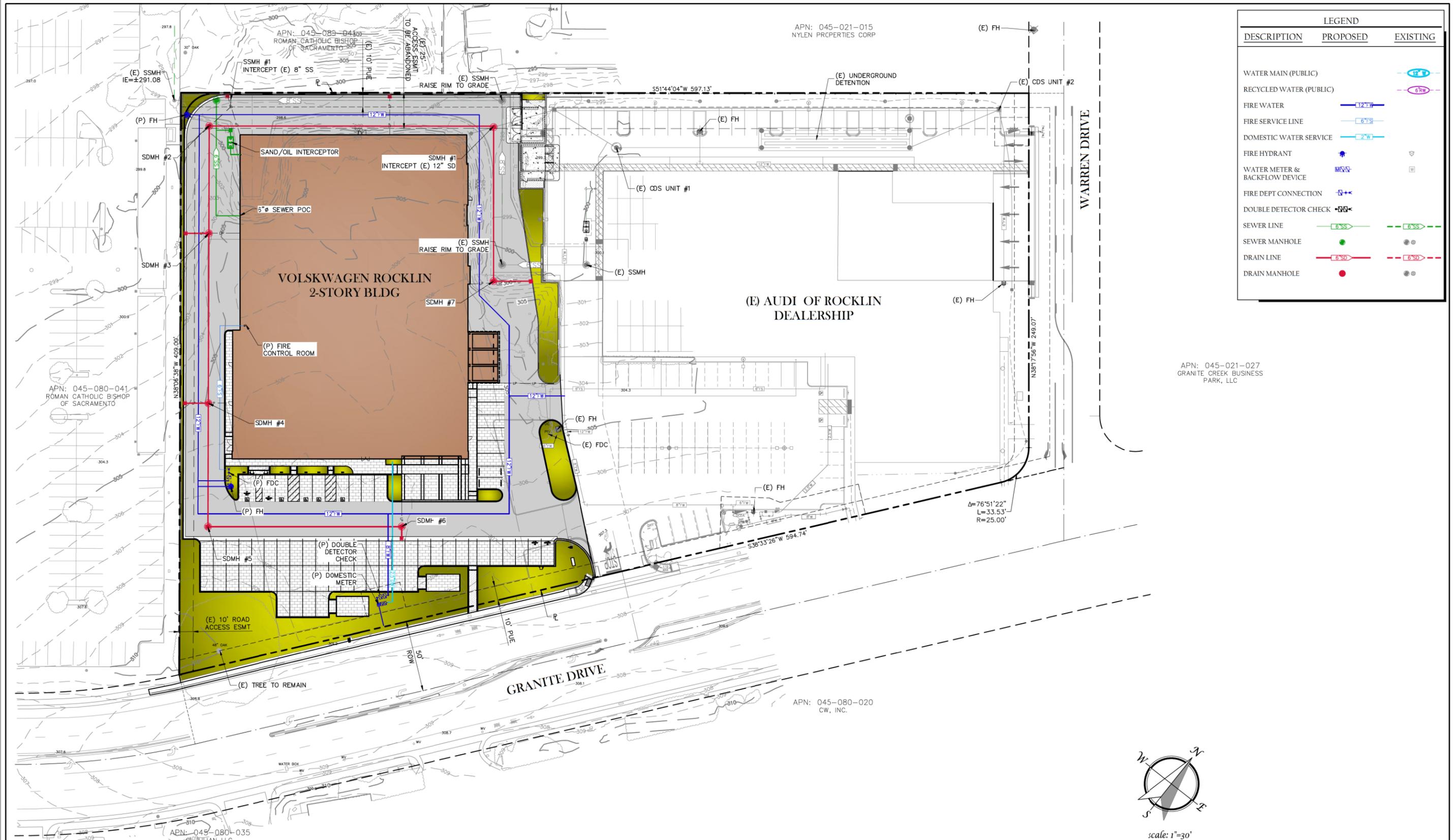


**PROJECT DATA**

REFERENCE	DESCRIPTION	INTERPRETATION
DESCRIPTION SCOPE		NEW DEALERSHIP ON EXISTING LOT ADJACENT TO AUDI STORE
LOCATION		4448 GRANITE DR. ROCKLIN, CA 95667
ZONING		PD-C
SPECIAL USE PERMIT		045-080-046
GENERAL INFORMATION		
1ST FLOOR AREA		38,000 SF
2ND FLOOR AREA		1,300 SF
ROOF DECK AREA		30,820
TOTAL BUILDING AREA		76,150 SF
ACTUAL NUMBER OF STORIES		3
OCCUPANCY		
CBG 302	CLASSIFICATION	B, S-1
CBG 800.3	AUTOMATIC FIRE SPRINKLERS	YES
CBG TABLE 601	CONSTRUCTION TYPE	II-B
CBG TABLE 504.3	ALLOWABLE BUILDING HEIGHT	C.U.P.
CBG TABLE 504.4	ALLOWABLE NUMBER OF STORIES	C.U.P.
CBG TABLE 506.2	ALLOWABLE BUILDING AREA	52,500 SF
CBG 506	OCCUPANCY GROUP B	
CBG 506.2.4	MULTI-OCCUPANCY, MULTISTORY BUILDINGS	
		As = (84,000 + (23,000 x I))
		I# = (I/P - 0.28) x (1/30)
		As = 84,000 + 0
CBG 506	OCCUPANCY GROUP S-1	
CBG 506.2.4	MULTI-OCCUPANCY, MULTISTORY BUILDINGS	
		As = (As + (Ns x I))
		I# = (I/P - 0.28) x (1/30)
		As = (____ + 0)
		As = 52,500

**APPLICABLE CODES**

- TITLE 19 CCR, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS
- TITLE 24 CCR, PART 1 - 2018 BUILDING STANDARDS ADMINISTRATIVE CODE
- TITLE 24 CCR, PART 2 - 2018 CALIFORNIA BUILDING CODE, VOL. 1 & 2 (CBC) (2018 IBC, AS AMENDED BY CA)
- TITLE 24 CCR, PART 3 - 2018 CALIFORNIA ELECTRICAL CODE (CEC) (2014 NEC, AS AMENDED BY CA)
- TITLE 24 CCR, PART 4 - 2018 CALIFORNIA MECHANICAL CODE (CMC) (2015 IAPMO UMS, AS AMENDED BY CA)
- TITLE 24 CCR, PART 5 - 2018 CALIFORNIA PLUMBING CODE (CPC) (2015 IAPMO UFC, AS AMENDED BY CA)
- TITLE 24 CCR, PART 6 - 2018 CALIFORNIA ENERGY CODE
- TITLE 24 CCR, PART 9 - 2018 CALIFORNIA FIRE CODE (CFC) (2015 IFC, AS AMENDED BY CA)
- TITLE 24 CCR, PART 11 - 2018 CALIFORNIA GREEN BUILDING STANDARDS CODE
- TITLE 24 CCR, PART 12 - 2018 CALIFORNIA REFERENCED STANDARDS (PARTIAL LIST - SEE CBC CH. 35 AND CFC CH. 80)
- 2022 NFPA 13, INSTALLATION OF SPRINKLER SYSTEMS (CA AMENDED)
- 2021 NFPA 11, DRY CHEMICAL EXTINGUISHING SYSTEMS
- 2022 NFPA 20, INSTALLATION OF STATIONARY PUMPS FOR FIRE PROTECTION
- 2022 NFPA 72, NATIONAL FIRE ALARM CODE (CA AMENDED); SEE UL STD. 1911 FOR "VISUAL DEVICES"
- 2022 NFPA 80, FIRE DOOR AND OTHER OPENING PROTECTIVES
- 2022 NFPA 2001, CLEAN AGENT FIRE EXTINGUISHING SYSTEMS



LEGEND		
DESCRIPTION	PROPOSED	EXISTING
WATER MAIN (PUBLIC)		
RECYCLED WATER (PUBLIC)		
FIRE WATER		
FIRE SERVICE LINE		
DOMESTIC WATER SERVICE		
FIRE HYDRANT		
WATER METER & BACKFLOW DEVICE		
FIRE DEPT CONNECTION		
DOUBLE DETECTOR CHECK		
SEWER LINE		
SEWER MANHOLE		
DRAIN LINE		
DRAIN MANHOLE		

APN: 045-021-027  
GRANITE CREEK BUSINESS PARK, LLC



# VOLKSWAGEN - ROCKLIN

4448 Granite Drive, Rocklin, California

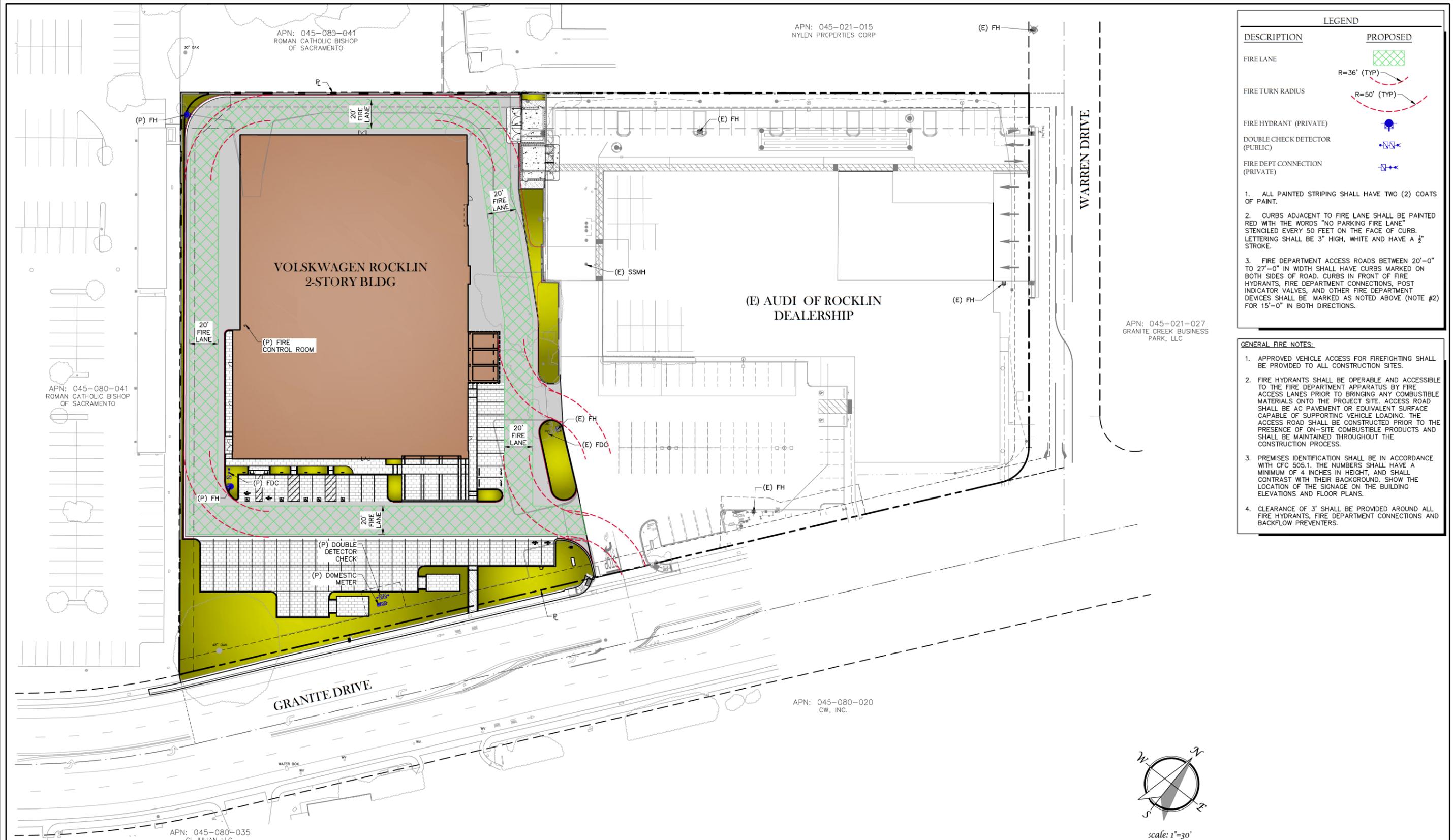
# PRELIMINARY UTILITY PLAN C I . 0

Proposed By: **Euromotors USA**

JULY 29, 2022  
INITIAL SUBMITTAL

**TSD ENGINEERING, INC.**  
expect more.  
785 Orchard Drive, Suite #110  
Folsom, CA 95630  
Phone: (916) 608-0707  
Fax: (916) 608-0701

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LEGEND	
DESCRIPTION	PROPOSED
FIRE LANE	
FIRE TURN RADIUS	
FIRE HYDRANT (PRIVATE)	
DOUBLE CHECK DETECTOR (PUBLIC)	
FIRE DEPT CONNECTION (PRIVATE)	

- ALL PAINTED STRIPING SHALL HAVE TWO (2) COATS OF PAINT.
- CURBS ADJACENT TO FIRE LANE SHALL BE PAINTED RED WITH THE WORDS "NO PARKING FIRE LANE" STENCILED EVERY 50 FEET ON THE FACE OF CURB. LETTERING SHALL BE 3" HIGH, WHITE AND HAVE A 1/2" STROKE.
- FIRE DEPARTMENT ACCESS ROADS BETWEEN 20'-0" TO 27'-0" IN WIDTH SHALL HAVE CURBS MARKED ON BOTH SIDES OF ROAD. CURBS IN FRONT OF FIRE HYDRANTS, FIRE DEPARTMENT CONNECTIONS, POST INDICATOR VALVES, AND OTHER FIRE DEPARTMENT DEVICES SHALL BE MARKED AS NOTED ABOVE (NOTE #2) FOR 15'-0" IN BOTH DIRECTIONS.

- GENERAL FIRE NOTES:**
- APPROVED VEHICLE ACCESS FOR FIREFIGHTING SHALL BE PROVIDED TO ALL CONSTRUCTION SITES.
  - FIRE HYDRANTS SHALL BE OPERABLE AND ACCESSIBLE TO THE FIRE DEPARTMENT APPARATUS BY FIRE ACCESS LANES PRIOR TO BRINGING ANY COMBUSTIBLE MATERIALS ONTO THE PROJECT SITE. ACCESS ROAD SHALL BE AC PAVEMENT OR EQUIVALENT SURFACE CAPABLE OF SUPPORTING VEHICLE LOADING. THE ACCESS ROAD SHALL BE CONSTRUCTED PRIOR TO THE PRESENCE OF ON-SITE COMBUSTIBLE PRODUCTS AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
  - PREMISES IDENTIFICATION SHALL BE IN ACCORDANCE WITH CFC 505.1. THE NUMBERS SHALL HAVE A MINIMUM OF 4 INCHES IN HEIGHT, AND SHALL CONTRAST WITH THEIR BACKGROUND. SHOW THE LOCATION OF THE SIGNAGE ON THE BUILDING ELEVATIONS AND FLOOR PLANS.
  - CLEARANCE OF 3' SHALL BE PROVIDED AROUND ALL FIRE HYDRANTS, FIRE DEPARTMENT CONNECTIONS AND BACKFLOW PREVENTERS.



# VOLKSWAGEN - ROCKLIN

4448 Granite Drive, Rocklin, California

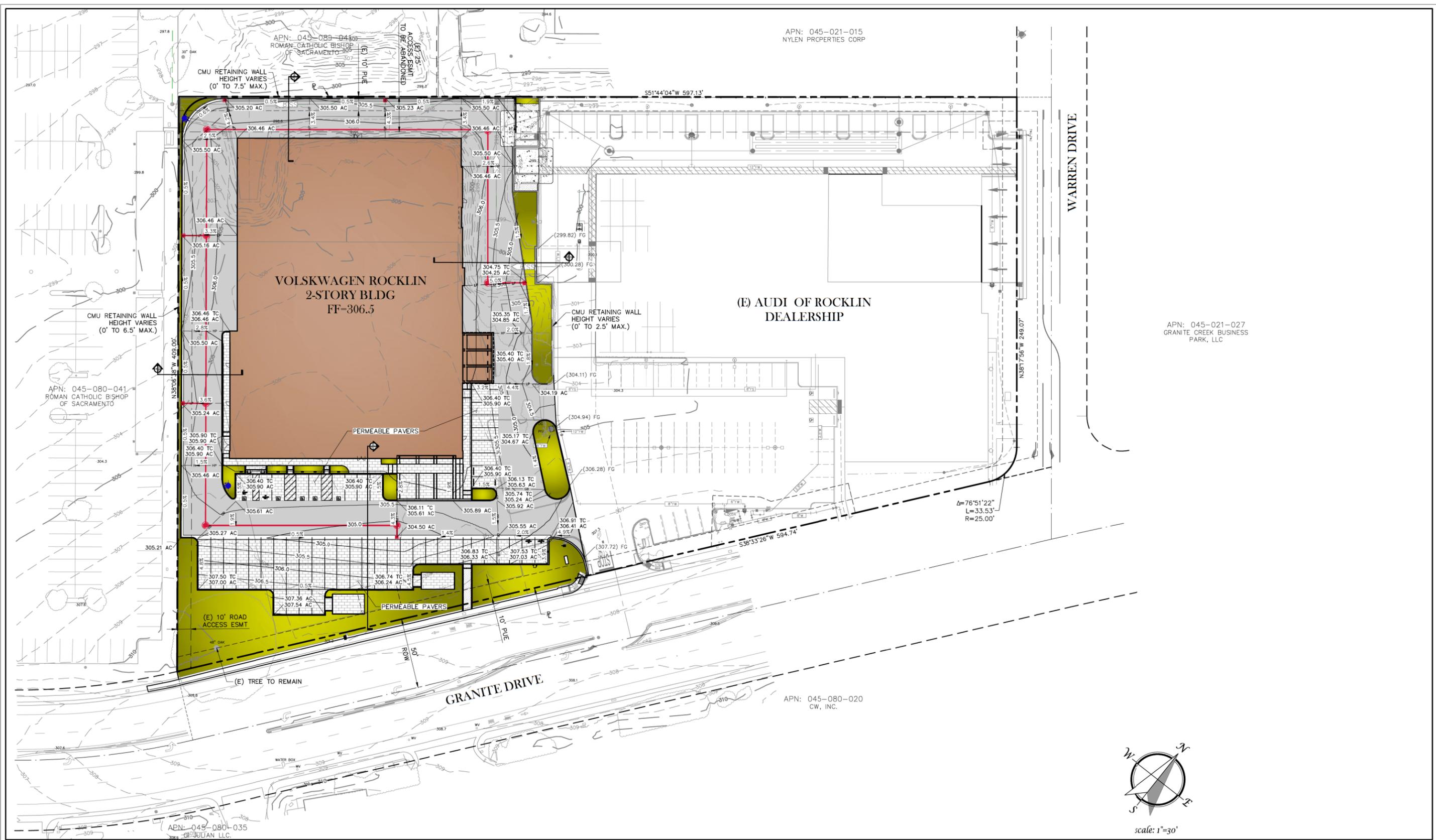
# PRELIMINARY FIRE ACCESS PLAN C I . I

Proposed By: **Euromotors USA**

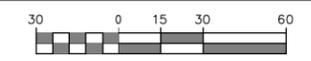
JULY 29, 2022  
INITIAL SUBMITTAL

**TSD ENGINEERING, INC.**  
expect more.  
785 Orchard Drive, Suite #110  
Folsom, CA 95630  
Phone: (916) 608-0707  
Fax: (916) 608-0701

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scale: 1"=30'



**TSD ENGINEERING, INC.**  
expect more.

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Folsom, CA 95630  
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JULY 29, 2022  
INITIAL SUBMITTAL

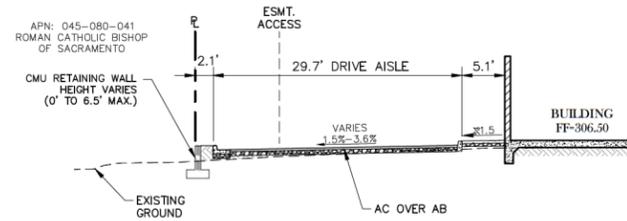
# VOLKSWAGEN - ROCKLIN

4448 Granite Drive, Rocklin, California

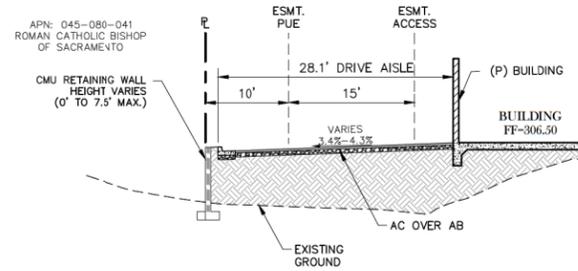
# PRELIMINARY GRADING PLAN C 2 . 0

Proposed By: **Euromotors USA**

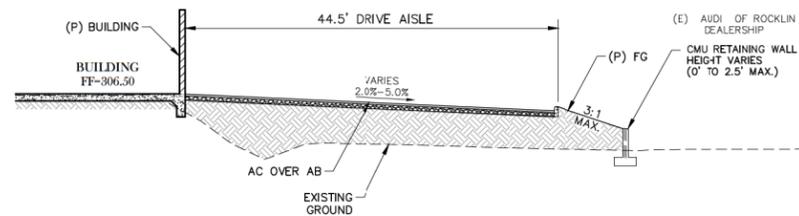
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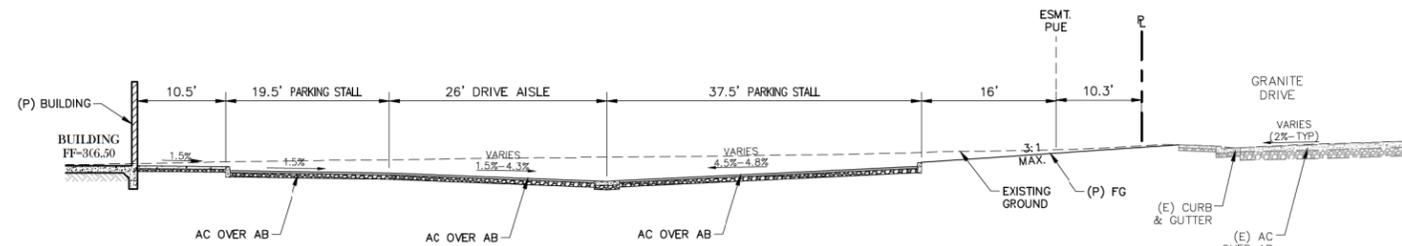
**A** TYPICAL SECTION  
SCALE: 1"=10'



**B** TYPICAL SECTION  
SCALE: 1"=10'



**C** TYPICAL SECTION  
SCALE: 1"=10'



**D** TYPICAL SECTION  
SCALE: 1"=10'

VOLKSWAGEN - ROCKLIN

4448 Granite Drive, Rocklin, California

Proposed By: **Euromotors USA**

PRELIMINARY SECTIONS C 2 . 1

JULY 29, 2022  
INITIAL SUBMITTAL

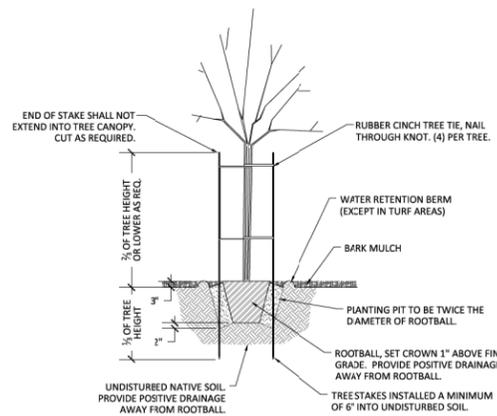
**TSD ENGINEERING, INC.**  
expect more.  
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Folsom, CA 95630  
Phone: (916) 608-0707  
Fax: (916) 608-0701

### PLANTING NOTES

1. PLANTING SHALL CONFORM TO CITY REQUIREMENTS FOR LANDSCAPE SITE DEVELOPMENT.
2. PROVIDE MINIMUM SLOPE OF 1 3/8% FOR POSITIVE DRAINAGE AWAY FROM CENTER IN ALL PLANTED AREAS.
3. THE PLANT QUANTITIES SHOWN ON THE DRAWINGS ARE INFORMATIONAL ONLY. THE CONTRACTOR IS RESPONSIBLE FOR FINAL QUANTITIES REQUIRED TO COMPLETE THE WORK. IN CASE OF DISCREPANCY, THE PLAN SHALL GOVERN.
4. ALL TREES SHALL BE PLANTED A MINIMUM OF 5' FROM UNDERGROUND UTILITIES.
5. ALL EXISTING TREES SHALL BE PROTECTED FROM DAMAGE OR INJURY. NO PARKING OR STACKING OF CONSTRUCTION MATERIAL IS ALLOWED WITHIN THE DRIPLINE OF AN EXISTING TREE.
6. IMMEDIATELY AFTER AWARD OF CONTRACT, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IF SPECIFIED PLANT MATERIAL IS AVAILABLE FROM COMMERCIAL NURSERIES. IN THE EVENT THAT A PLANT IS NOT AVAILABLE, THE LANDSCAPE ARCHITECT WILL PROVIDE ALTERNATE PLANT MATERIAL SELECTIONS. SUCH CHANGES WILL NOT ALTER THE CONTRACTOR'S ORIGINAL BID PRICE UNLESS A CREDIT IS DUE TO THE OWNER.
7. THE CONTRACTOR SHALL ENSURE THAT ALL EXCAVATED PLANT PITS HAVE POSITIVE DRAINAGE. PLANT PITS SHALL BE FULLY FILLED WITH WATER AND SHALL DRAIN WITHIN ONE (1) HOUR OF FILLING. THE CONTRACTOR SHALL EXCAVATE THROUGH ANY IMPERVIOUS LAYER IF ENCOUNTERED.
8. ALL PLANT MATERIAL SHALL COMPLY WITH ANSI Z601 'STANDARD FOR NURSERY STOCK'.
9. ROOT BARRIERS SHALL BE PROVIDED FOR ALL TREES WITHIN ANY PLANTING AREAS THAT ARE LESS THAN 10' WIDE.
10. ALL PLANTER AREAS SHALL RECEIVE A 3" LAYER OF BARK MULCH.
11. THE CONTRACTOR SHALL PROVIDE A SOILS REPORT PREPARED BY A QUALIFIED SOILS SPECIALIST AND SUBMIT TO THE OWNER FOR FINAL APPROVAL. SOILS SAMPLES SHALL BE COLLECTED AFTER ROUGH GRADING OPERATIONS AND PRIOR TO THE INSTALLATION OF PLANT MATERIAL. SOIL SAMPLES SHALL BE SUFFICIENTLY NUMEROUS TO ACCOUNT FOR ANY SOIL VARIATIONS THAT MAY BE PRESENT ON THE SITE. THE FOLLOWING MINIMUM ITEMS SHALL BE INCLUDED IN THE ANALYSIS:
  - A. INFILTRATION RATE.
  - B. SOIL TEXTURE.
  - C. CATION EXCHANGE CAPACITY.
  - D. SOIL FERTILITY INCLUDING TESTS FOR NITROGEN, POTASSIUM, PHOSPHORUS, PH, ORGANIC MATTER AND SPECIFIC CONDUCTANCE (S.C.).
12. PRIOR TO PLANTING, SOIL AMENDMENTS SHALL BE ADDED PER RECOMMENDATIONS OF THE SOILS REPORT. SOIL AMENDMENTS SHOWN ON THE PLANS ARE TO BE USED FOR BIDDING PURPOSES ONLY. THE RESULTS OF THE SOILS TESTS THE CONTRACTOR PERFORMS SHALL DETERMINE ACTUAL AMENDMENTS. FAILURE TO PERFORM SOILS ANALYSIS AND RECOMMENDED SOILS AMENDMENTS WILL RESULT IN REPLACEMENT OF PLANT MATERIAL. CONTRACTOR WILL BE REQUIRED TO REMOVE AND REPLACE ANY PLANT MATERIAL, BARK, ETC. INSTALLED PRIOR TO SOIL AMENDMENTS (AT CONTRACTOR'S EXPENSE) TO ALLOW FOR INSTALLATION OF REQUIRED AMENDMENTS.

### PLANT LEGEND

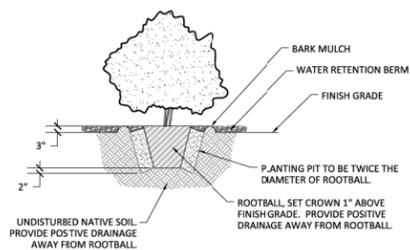
TREES					
SYMBOL	BOTANICAL/COMMON NAME	QTY	WATER USE*	MATURE SIZE (HxW)	REMARKS
<b>15 GALLON CONTAINERS</b>					
	PISTACIA CHINENSIS/CHINESE PISTACHE	13	LOW	30'x30'	30'x30'
SHRUBS/VINES					
SYMBOL	BOTANICAL/COMMON NAME	QTY	WATER USE*	MATURE SIZE (HxW)	REMARKS
	ARCTOSTAPHYLOS 'EMERALD CARPET'/MANZANITA	--	MED	--	
	DIETES VEGETA/FORTNIGHT LILY	--	LOW	30"x24"	
	CALLISTEMON 'LITTLE JOHN'/DWARF BOTTLE BRUSH	--	LOW	3'x3'	
	MULLENBERGIA RIGENS/DEER GRASS	--	LOW	3'x3'	
	ROSMARINUS OFFICINALIS/TUSCAN BLUE/ROSEMARY	--	LOW	5'x3'	
	WESTRINGIA FRUTICOSA/COAST ROSEMARY	--	LOW	5'x5'	
	FICUS PUMILA/ CREEP FIG	18	LOW	5'x5'	



- NOTES:
1. INSTALL A BLEND OF NATIVE SOIL AND AMENDED SOIL PER RECOMMENDATIONS OF SOILS REPORT AS BACKFILL.
  2. SCARIFY EDGES OF EXCAVATED TREE PIT TO MINIMUM DEPTHS TO CREATE AN UNEVEN SOIL TRANSITION BETWEEN BACKFILL MATERIAL AND UNDISTURBED NATIVE SOIL.

### TREE PLANTING DETAIL

NTS



### SHRUB PLANTING DETAIL

NTS

PROPOSED LANDSCAPE AREA (VOLKSWAGON): 13,245 SQUARE FEET  
 EXISTING LANDSCAPE AREA TO REMAIN (AUDI): 13,915 SQUARE FEET  
 TOTAL LANDSCAPE AREA: 27,160 SQUARE FEET  
 SITE AREA: 202,503 SQUARE FEET  
 TOTAL LANDSCAPE AREA: 13%

### LANDSCAPE DESIGN INTENT

THE LANDSCAPE LAYOUT HAS BEEN DESIGNED TO MATCH THE ADJACENT DEALERSHIP TO PROVIDE A SEAMLESS TRANSITION FROM THE EXISTING AUDI DEVELOPMENT. THE VOLKSWAGEN DEVELOPMENT IS PROPOSED WITHIN THE REMAINING PORTION OF THE EXISTING LOT THAT WAS PREVIOUSLY PARTIALLY DEVELOPED AS AN AUDI DEALERSHIP. THE PROPOSED LANDSCAPE AREA WAS MAXIMIZED BASED ON VOLKSWAGEN PROGRAMMING REQUIREMENTS FOR SITE DESIGN AND AREA CONSTRAINTS LIMITING THE AMOUNT OF AVAILABLE SPACE FOR LANDSCAPE WITHIN THE UNDEVELOPED AREA REMAINING ON THE PARCEL.



### PARKING LOT SHADE CALCULATIONS

Tree: Oak			
Coverage	Qty	SF	Total (square Feet)
100%	962	2	1,924
75%	721	0	0
50%	481	7	3,367
25%	240	0	0
Service Carport			
Coverage	SF	Total	
100%	1	3,325	3,325
Total Shade Provided:		8,616	
Parking Surface Area:		17,152	
Shade Percentage Provided:		50.2%	



Architect:  
 LDA Partners, LLP  
 Designers & Architects  
 222 Central Court  
 Stockton, CA 95204  
 209-943-0405  
 www.lsdpartners.com

Landscape Architect:  
  
 LANDSCAPE ARCHITECTURE, Inc.  
 306 Canyon Falls Dr. Folsom, CA 95630  
 916.989.3372 www.msladesign.com



Client:  
**EUROMOTORS USA**  
 4448 GRANITE DR.  
 ROCKLIN, CA 95677  
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Project:  
**VOLKSWAGEN - ROCKLIN**  
 4448 GRANITE DR.  
 ROCKLIN, CA 95677

Project No.: 786-1-21  
 Drawn By: EB, BO, CA  
 Checked By: PR, EB  
 No. Description Date By

DESIGN DEVELOPMENT  
 7/27/2022

PRELIMINARY  
 LANDSCAPE PLAN



**LEGEND**

- PROPERTY LINE
- EASEMENT
- LANDSCAPE/ TURF
- CONCRETE WALK/ FLAT WORK
- AC PAVING
- TRUNCATED DOMES
- PERMSABLE PAVERS
- DECORATIVE CRUSHED AGGREGATE
- TREE

- KEYNOTES**
- 2.1 EXISTING LIGHT STANDARD
  - 2.4 EXISTING TREE TO REMAIN
  - 2.6 EXISTING SIDEWALK
  - 2.7 EXISTING TRUNCATED DOMES
  - 4.1 EXISTING GAS - GROUND FACE
  - 26.1 EV CHARGING STATIONS - S.E.D.
  - 26.2 SITE LIGHT STANDARD - S.E.D.
  - 32.1 NET-SET TRUNCATED DOME TILES
  - 32.3 LANDSCAPE AND PLANTING MATERIAL - S.L.D.
  - 32.4 11'-0" LONG x 4'-0" WIDE ACCESSIBLE PARKING STALL IV/ ADJACENT 5'-0" MINIMUM WIDE ACCESS AISLE AND ISA SYMBOL
  - 32.5 11'-0" LONG x 4'-0" WIDE ACCESSIBLE VAN PARKING STALL IV/ ADJACENT 8'-0" MINIMUM WIDE ACCESS AISLE AND ISA SYMBOL
  - 32.6 ACCESSIBLE PARKING SIGNAGE - REF. TO DETAILS
  - 32.7 FEV/CLEAN AIR/VANPOOL PARKING
  - 32.12 11'-0" LONG x 12'-0" WIDE VAN ACCESSIBLE ELECTRIC VEHICLE CHARGING STALL IV/ ADJACENT 5'-0" WIDE ACCESS AISLE AND ISA SYMBOL
  - 32.13 11'-0" LONG x 4'-0" WIDE ACCESSIBLE ELECTRIC VEHICLE CHARGING STALL IV/ ADJACENT 5'-0" WIDE ACCESS AISLE AND ISA SYMBOL
  - 32.14 SHORT-TERM BICYCLE PARKING
  - 32.15 VAN Pylon SIGNAGE
  - 32.16 VAN DIRECTIONAL SIGNAGE

**PARKING CALCULATION**

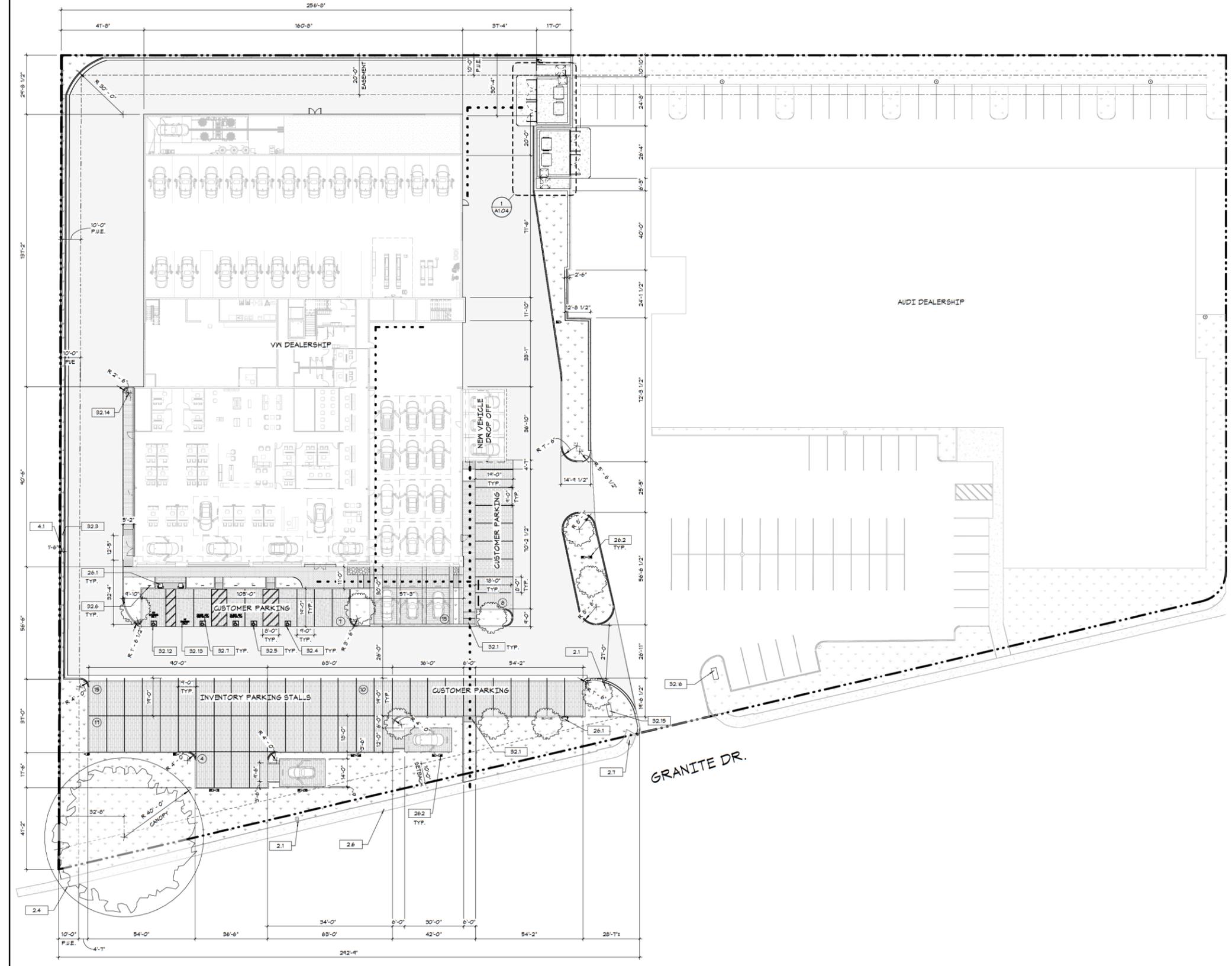
1. SALES FLOOR	2,080 SF
CODE RATIO	1 STALL/1,000 SF
	2,080 SF/1,000 SF = 2 STALLS
2. SERVICE	1,464 SF
CODE RATIO	1 STALL/400 SF
	1,464 SF/400 SF = 4 STALLS
3. PARTS STORAGE	
-1ST FLOOR	2,447 SF
-2ND FLOOR	3,107 SF
CODE RATIO	1 STALL/400 SF
	5,554 SF/400 SF = 14 STALLS
4. REPAIR BAYS	
-20 BAYS	6,875 SF
CODE RATIO	1 STALL/BAY
-20 BAYS	20 STALLS
<b>TOTAL:</b>	<b>40 STALLS</b>
<b>PROVIDED:</b>	<b>40 STALLS</b>

**AREAS**

VN DEALERSHIP FOOTPRINT	3720 S.F.
NEW VEHICLE DELIVERY	720 S.F.
TRASH ENCLOSURE	340 S.F.
SITE ACRES	4.8 ACRES

WARREN DR.

GRANITE DR.



1 VW ROCKLIN - PROPOSED SITE PLAN  
1" = 20'-0"



Project No.: 786-1-21  
Drawn By: EB  
Checked By: PR, EB

No.	Description	Date	By

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OVERALL SITE PLAN



**LEGEND**

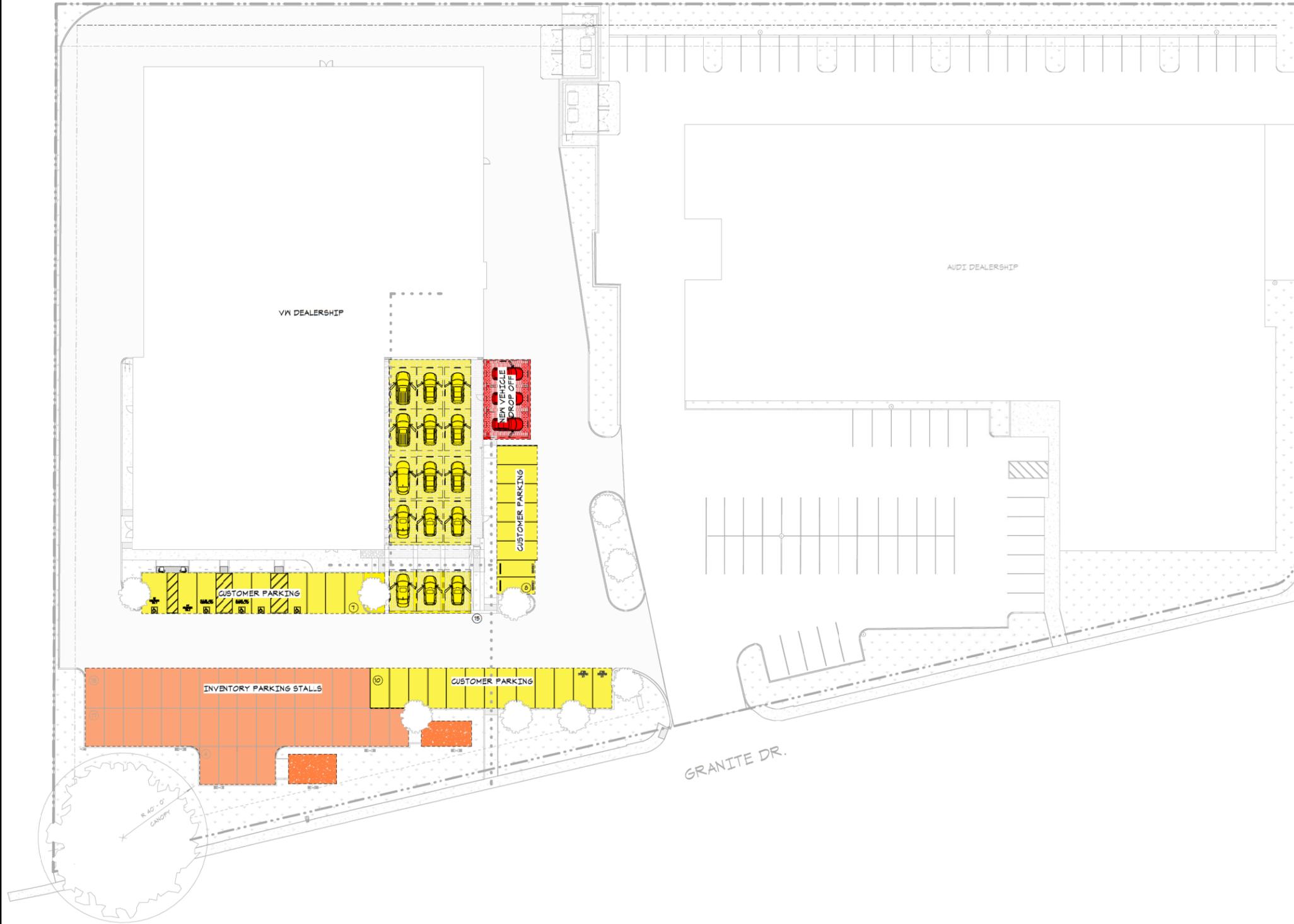
- CUSTOMER PARKING
- INVENTORY STORAGE
- NEW VEHICLE DROP OFF

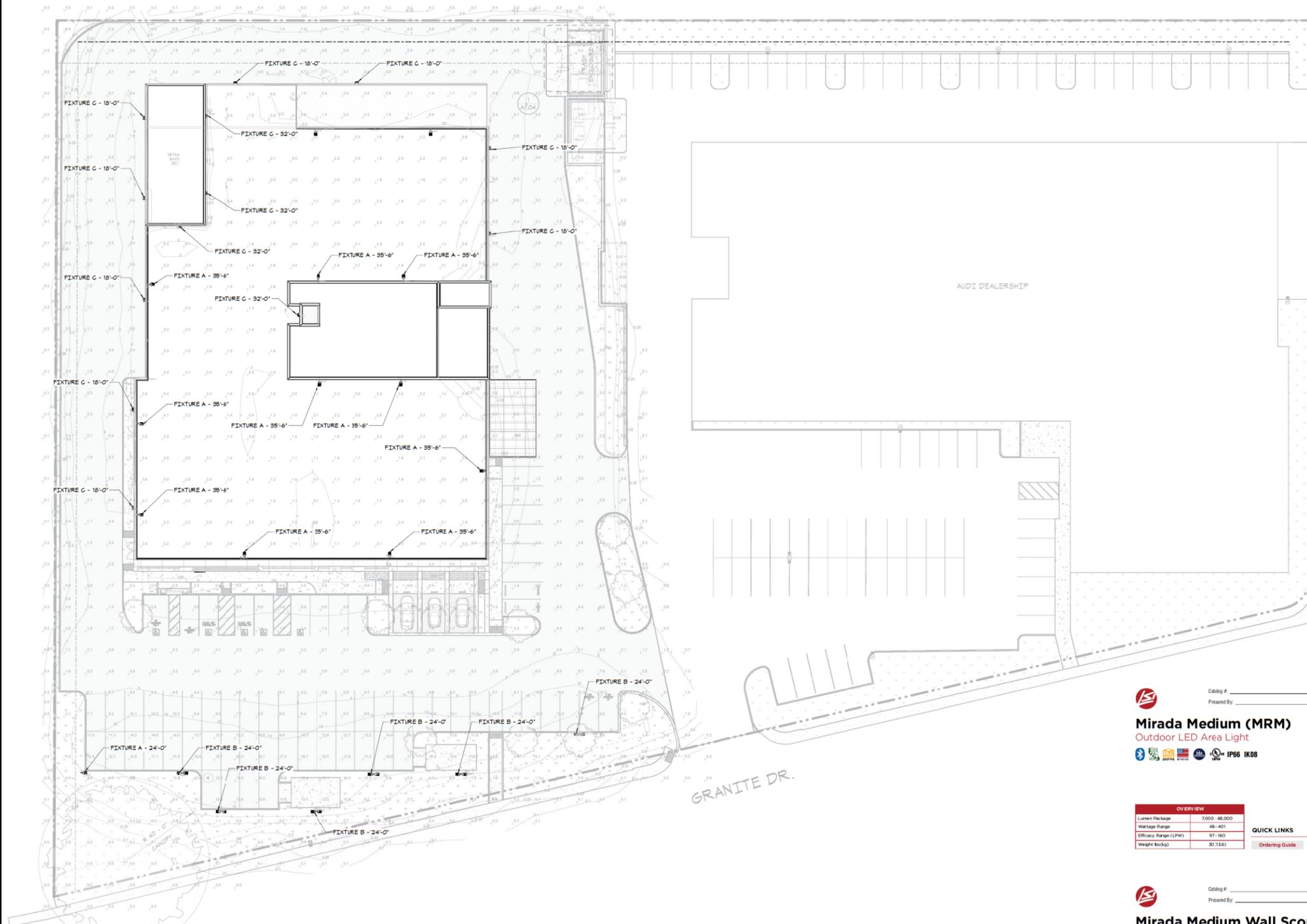
**PARKING CALCULATION**

1. SALES FLOOR	2,050 SF	1 STALL/1,000 SF
CODE RATIO	2,050 SF/1,000 SF = 2 STALLS	
2. SERVICE	1,464 SF	1 STALL/400 SF
CODE RATIO	1,464 SF/400 SF = 4 STALLS	
3. PARTS STORAGE	2,447 SF	1 STALL/400 SF
-1ST FLOOR	3,107 SF	1 STALL/400 SF
CODE RATIO	5,554 SF/400 SF = 14 STALLS	
4. REPAIR BAYS	6,875 SF	1 STALL/BAY
-20 BAYS	20 STALLS	
CODE RATIO	20 STALLS	
<b>TOTAL</b>	<b>40 STALLS</b>	
<b>PROVIDED:</b>	<b>40 STALLS</b>	

**40 TOTAL STALLS REQUIRED**

- ACCESSIBLE STALLS**  
REF: TABLE 11B-2002.2 2011 CAL BUILDING CODE  
26-50 STALLS + 2 ACC. STALLS
- LE/FEV+ LOW EMITTING FUEL EFFICIENT VEHICLE STALL + CAV+ CLEAN AIR VEHICLE STALLS**  
REF: TABLE 5.106.5.2  
2011 CAL GREEN BUILDING CODE  
26-50 STALLS + 3 EV/CAV/CARPOOL/VAN POOL STALLS
- EVG+ ELECTRIC VEHICLE CHARGING ONLY STALLS**  
REF: TABLE 45.106.5.3.3  
2011 CAL GREEN BUILDING CODE  
26-50 STALLS + 2 EV STALLS





Catalog #: \_\_\_\_\_ Project: \_\_\_\_\_  
Prepared By: \_\_\_\_\_ Date: \_\_\_\_\_ Type: \_\_\_\_\_

**Mirada Medium (MRM)**  
Outdoor LED Area Light

OVERVIEW	
Lumen Package	2,000 - 48,000
Wattage Range	48 - 401
Efficacy Range (LPW)	87 - 160
Weight (lbs)	30 - 1363

**QUICK LINKS**

[Ordering Guide](#)
[Performance](#)
[Photometrics](#)
[Dimensions](#)

Catalog #: \_\_\_\_\_ Project: \_\_\_\_\_  
Prepared By: \_\_\_\_\_ Date: \_\_\_\_\_ Type: \_\_\_\_\_

**Mirada Medium Wall Sconce (XWM)**  
Outdoor Wall Sconce

OVERVIEW	
Lumen Package	3,000 - 21,000
Wattage Range	25 - 175
Efficacy Range (LPW)	125 - 158
Weight (lbs)	30 - 1363

**QUICK LINKS**

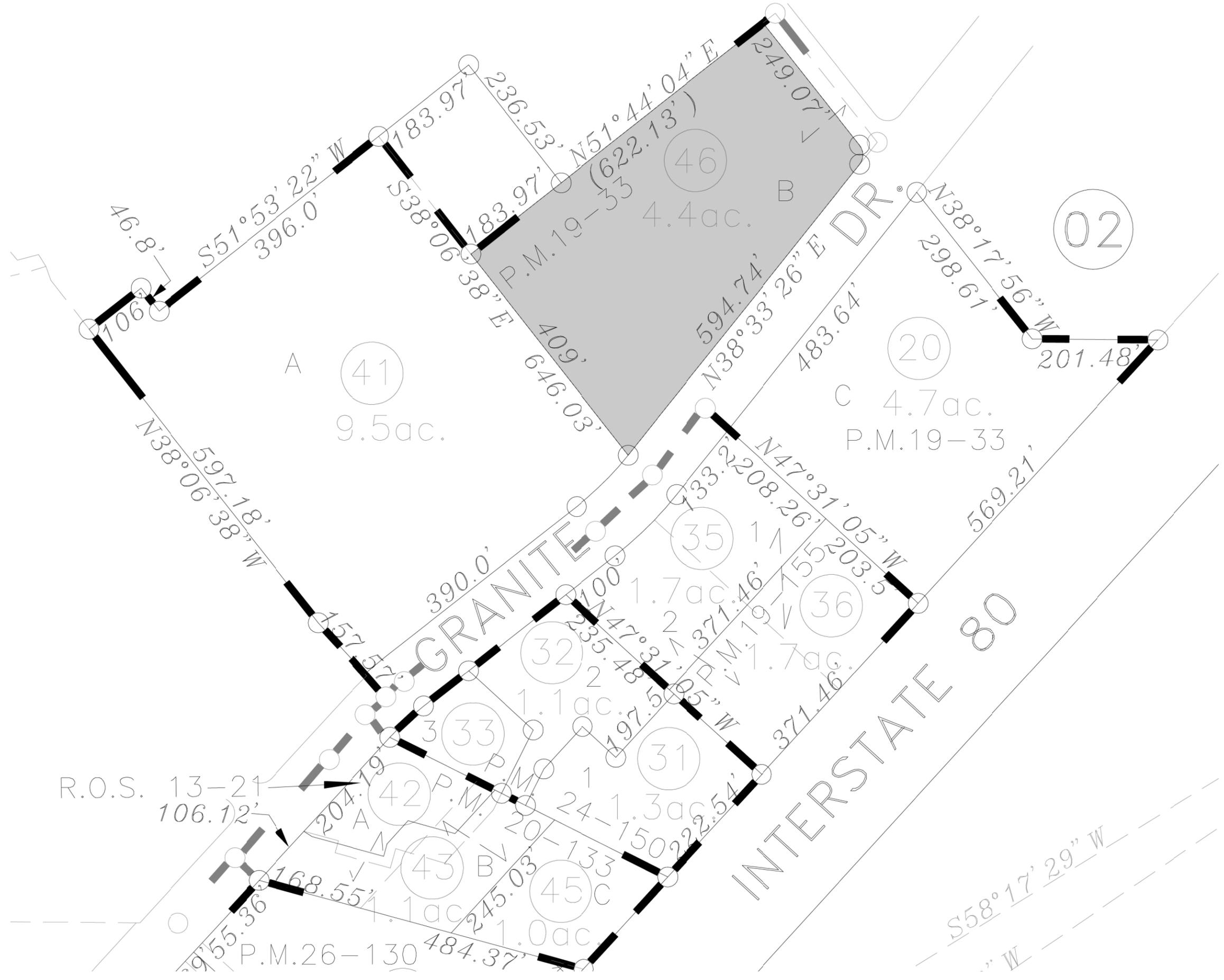
[Ordering Guide](#)
[Performance](#)
[Photometrics](#)
[Dimensions](#)

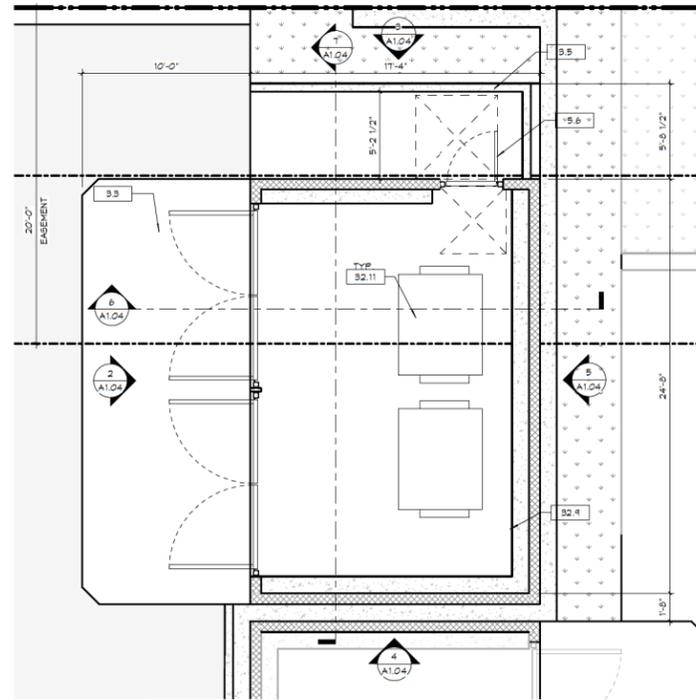
Project No.: 786-1-21  
Drawn By: EB  
Checked By: PR, EB

No. Description Date By

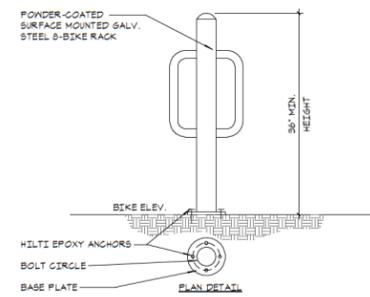
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7/29/2022

SITE LIGHTING EXHIBIT

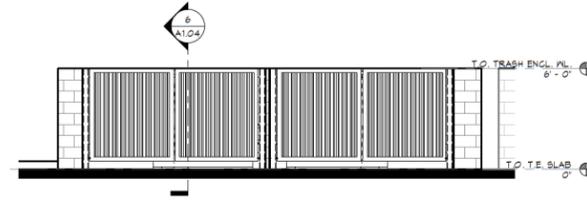




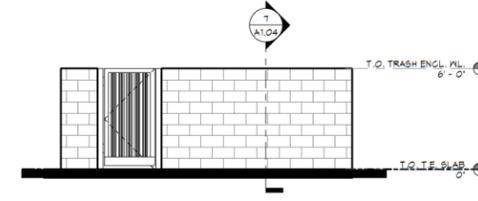
1 TRASH ENCLOSURE DIMENSION AND ANNOTATION PLAN  
1/4" = 1'-0"



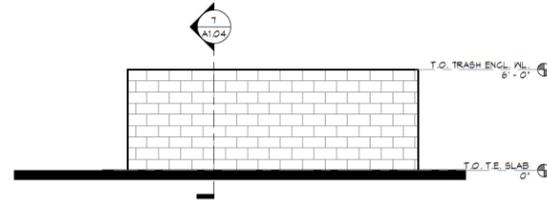
8 BIKE RACK DETAIL  
1" = 1'-0"



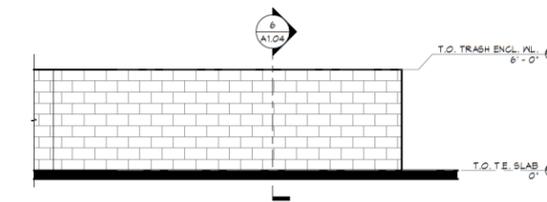
2 TRASH ENCLOSURE SOUTH ELEVATION  
1/4" = 1'-0"



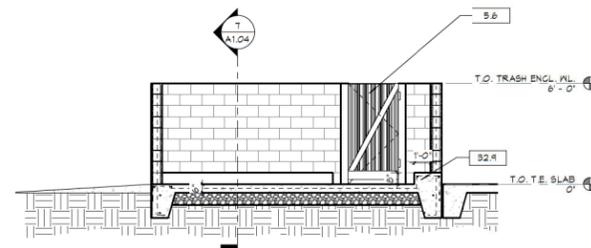
3 TRASH ENCLOSURE WEST ELEVATION  
1/4" = 1'-0"



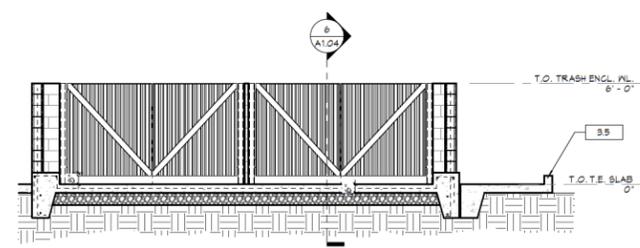
4 TRASH ENCLOSURE EAST ELEVATION  
1/4" = 1'-0"



5 TRASH ENCLOSURE NORTH ELEVATION  
1/4" = 1'-0"



6 TRASH ENCLOSURE SECTION 1  
1/4" = 1'-0"



7 TRASH ENCLOSURE SECTION 2  
1/4" = 1'-0"

- KEYNOTES**
- 3.5 CONCRETE APRON
  - 3.6 CONCRETE CURB
  - 5.6 TRASH ENCLOSURE GATE
  - 32.4 NEW CONCRETE CURB
  - 32.11 TRASH RECEPTACLE DUMPSTER - SIZED PER MUNICIPALITY OF ROCKLIN REQUIREMENTS



Architect:  
LDA Partners, LLP  
Designers & Architects  
222 Central Court  
Stockton, CA 95204  
209-943-0405  
www.ldapartners.com



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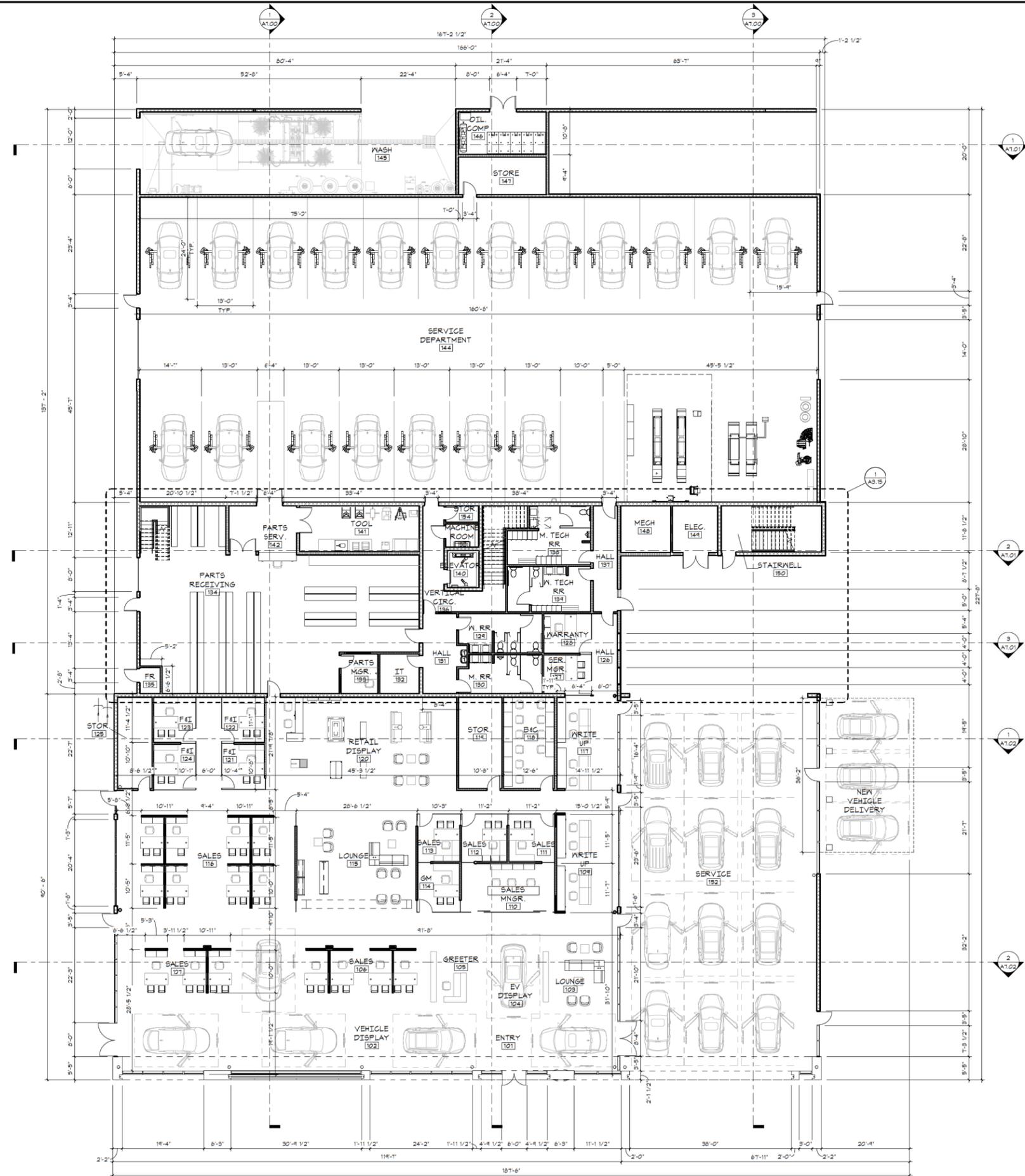
Project:  
**VOLKSWAGEN - ROCKLIN**  
4448 GRANITE DR.  
ROCKLIN, CA 95677

No.	Description	Date	By

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7/29/2022

TRASH ENCLOSURE AND BIKE RACK

**A1.04**



**LEGEND**

- NEW METAL STUD WALL
- NEW MASONRY WALL
- 1-HOUR RATED WALL

**GENERAL NOTES**

1. PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING, TV SUPPORT BRACKETS, BULLETING BOARDS, MARKER BOARDS AND BATHROOM FIXTURES.
2. PROVIDE FIRE BLOCKING EVERY 10'-0" VERTICALLY & HORIZONTALLY AT CONCEALED SPACES, WALLS, PARTITIONS, CEILINGS AND INTERSECTIONS - TYP.
3. MINIMUM 1/8" SLOPE FOR CONCRETE FLOORS WHERE FLOOR DRAIN OCCURS.
4. CONTRACTOR TO PROVIDE SHEATHING ON THE INTERIOR SIDE OF ALL WALLS WHERE STRUCTURAL SHEATHING OCCURS TO PROVIDE A CONTINUOUS AND FLUSH WALL SURFACE FOR THE ENTIRE WALL.
5. ALL INTERIOR DOORS SHALL HAVE MIN. 18" WIDTH CLEARANCE ON THE SIDE TO WHICH THE DOOR SWINGS FROM THE STRIKE EDGE OF THE DOOR.
6. ALL EXTERIOR DOORS SHALL HAVE MIN. 24" WIDTH LEVEL AREA ON THE SIDE TO WHICH THE DOOR SWINGS FROM THE STRIKE EDGE OF THE DOOR.
7. THE MAIN ENTRANCE SHALL COMPLY WITH THE REQUIREMENTS FOR ACCESS FOR THE DISABLED.
8. PROVIDE TACTILE EXIT SIGNS AT EACH EXIT PER 2010 CBC 10113.
9. REFER TO SHEET 84-00 FOR ACCESSIBILITY STANDARDS.

**SQUARE FOOTAGES**

1. FIRST FLOOR TOTAL	91,210 SF
2. SALES FLOOR	2,058 SF
3. SERVICE	1,484 SF
4. PARTS STORAGE	2,441 SF
-1ST FLOOR	3,101 SF
-2ND FLOOR	3,101 SF
REPAIR BAYS	6,875 SF
-20 BAYS	720 SF
NEW VEH. DELIVERY	2,058 SF
OFFICE/WRITE-UP	488 SF
UTILITY	475 SF
RETAIL DISPLAY	574 SF
STORAGE	1,440 SF
CAR WASH	1,440 SF



Architect:  
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Designers & Architects  
222 Central Court  
Stockton, CA 95204  
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Project:  
**VOLKSWAGEN - ROCKLIN**  
4448 GRANITE DR.  
ROCKLIN, CA 95677

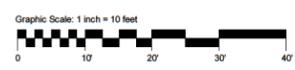
Project No.: 786-1-21  
Drawn By: EB  
Checked By: PR, EB

No.	Description	Date	By

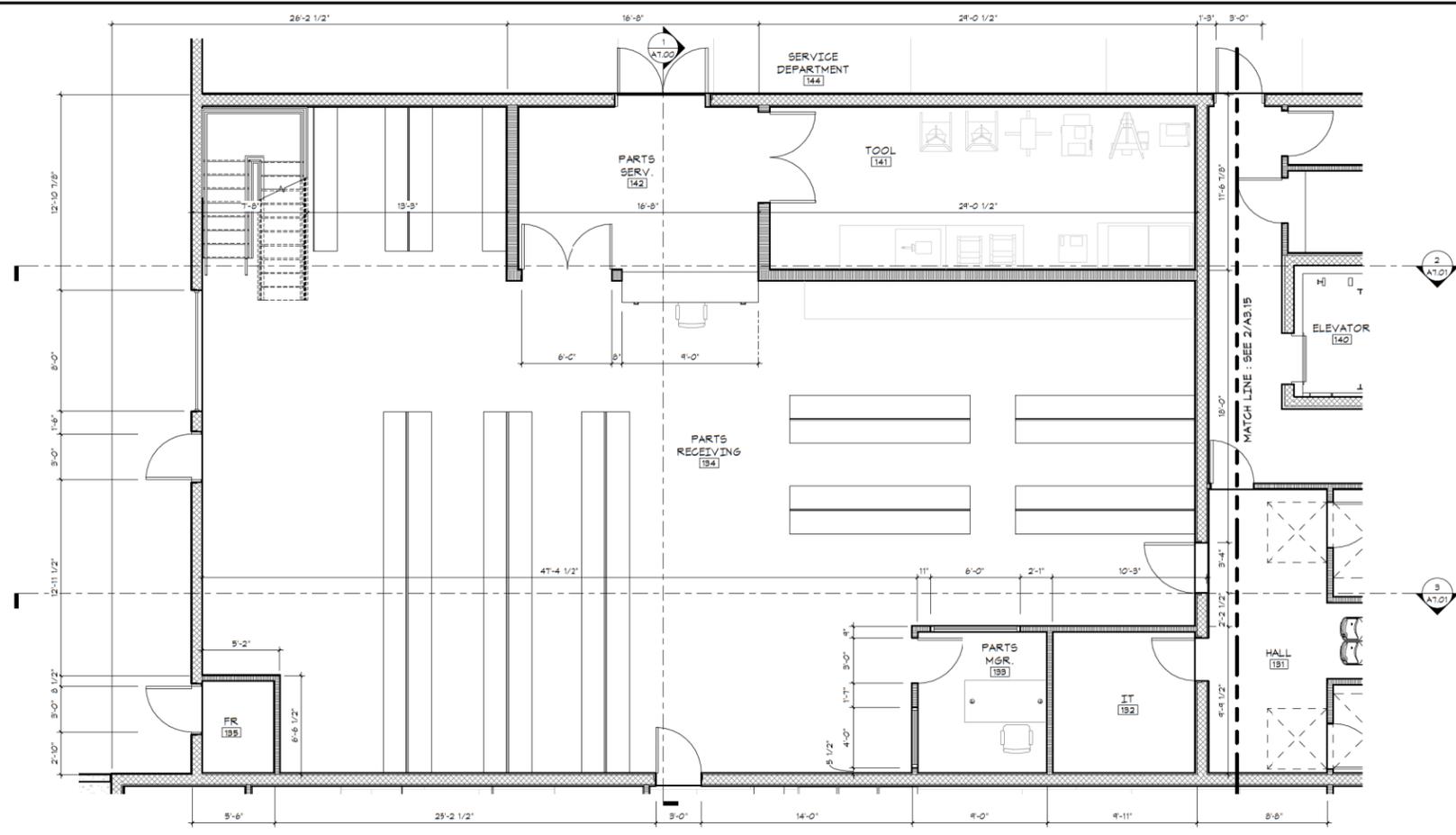
PLANNING PACKAGE  
7/29/2022

FIRST FLOOR DIMENSION PLAN

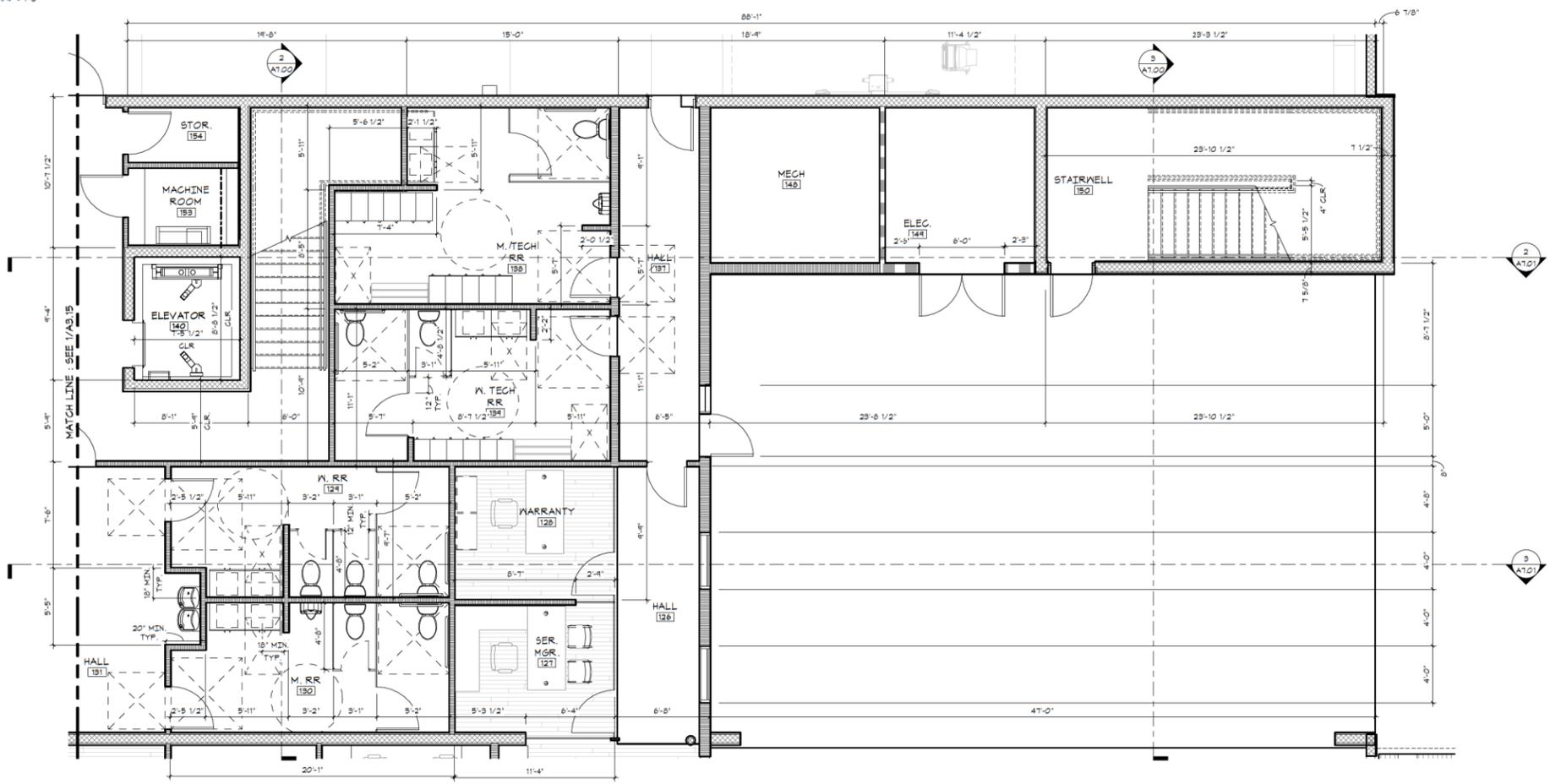
1 FIRST FLOOR DIMENSION PLAN  
A3.10  
1" = 10'-0"



**A3.10**



1 ENLARGED FIRST FLOOR PLAN (1 OF 2)  
AS.19 1/4" = 1'-0"



2 ENLARGED FIRST FLOOR PLAN (2 OF 2)  
AS.19 1/4" = 1'-0"

**LEGEND**  
 ■ NEW METAL STUD WALL  
 ■ NEW MASONRY WALL  
 ■ 1-HOUR RATED WALL



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 Designers & Architects  
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Project:  
**VOLKSWAGEN - ROCKLIN**  
 4448 GRANITE DR.  
 ROCKLIN, CA 95677

Project No.: 786-1-21  
 Drawn By: EB, BC, CA  
 Checked By: PR, EB

No.	Description	Date	By



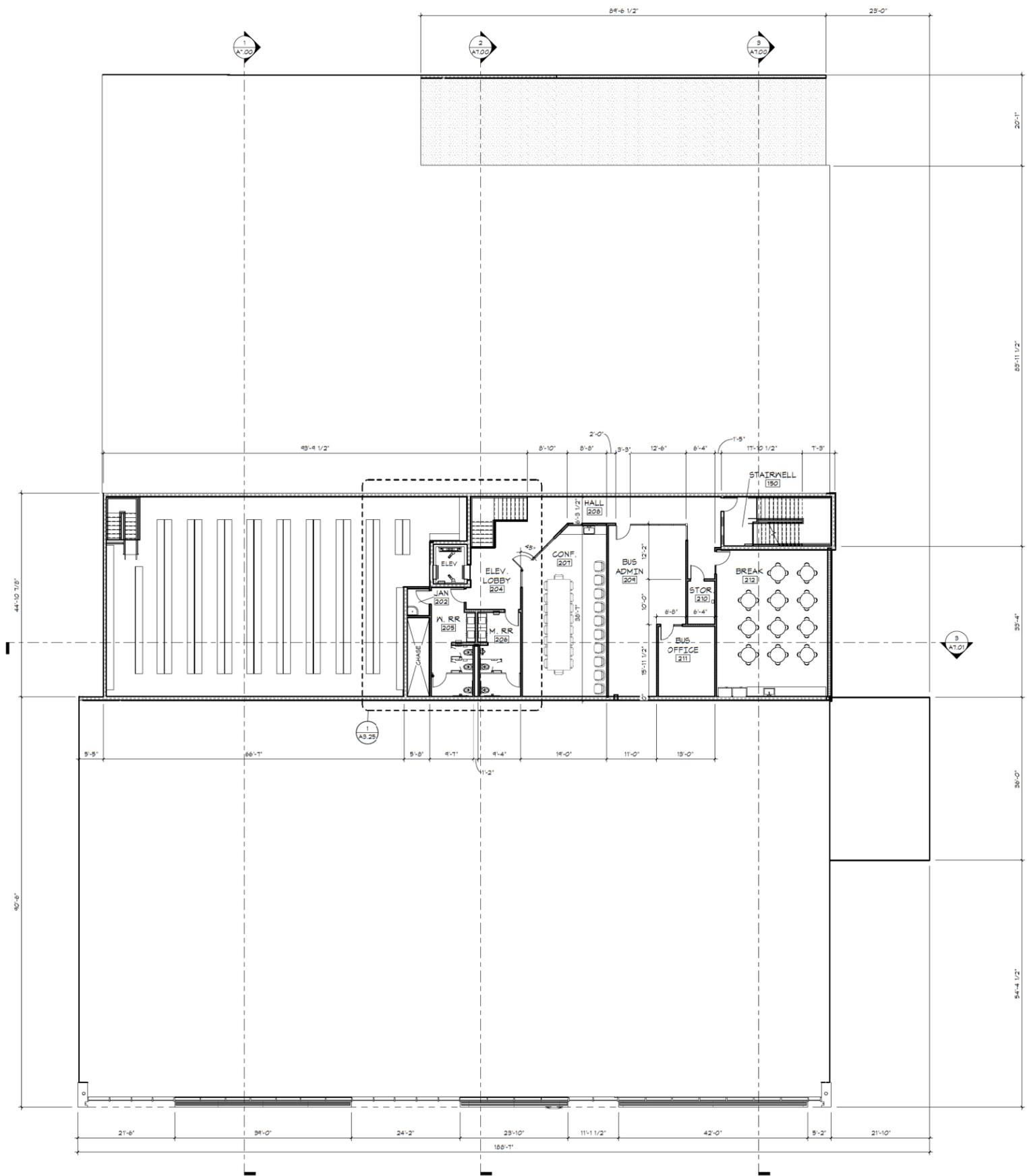


**LEGEND**

	NEW METAL STUD WALL
	NEW MASONRY WALL
	1-HOUR RATED WALL

**GENERAL NOTES**

1. PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING, TV SUPPORT BRACKETS, BULLETING BOARDS, MARKER BOARDS AND BATHROOM FIXTURES.
2. PROVIDE FIRE BLOCKING EVERY 10'-0" VERTICALLY & HORIZONTALLY AT CONCEALED SPACES, WALLS, PARTITIONS, CEILINGS AND INTERSECTIONS - TYP.
3. MEDIUM 1/8"12 SLOPE FOR CONCRETE FLOORS WHERE FLOOR DRAIN OCCURS.
4. CONTRACTOR TO PROVIDE SHEATHING ON THE INTERIOR SIDE OF ALL WALLS WHERE STRUCTURAL SHEATHING OCCURS TO PROVIDE A CONTINUOUS AND FLUSH WALL SURFACE FOR THE ENTIRE WALL.
5. ALL INTERIOR DOORS SHALL HAVE MIN. 18" WIDTH CLEARANCE ON THE SIDE TO WHICH THE DOOR SWINGS FROM THE STRIKE EDGE OF THE DOOR.
6. ALL EXTERIOR DOORS SHALL HAVE MIN. 24" WIDTH LEVEL AREA ON THE SIDE TO WHICH THE DOOR SWINGS FROM THE STRIKE EDGE OF THE DOOR.
7. THE MAIN ENTRANCE SHALL COMPLY WITH THE REQUIREMENTS FOR ACCESS FOR THE DISABLED.
8. PROVIDE TACTILE EXIT SIGNS AT EACH EXIT PER 2010 CBC 1011.3.
9. REFER TO SHEET 84.00 FOR ACCESSIBILITY STANDARDS.



**1** SECOND FLOOR DIMENSION PLAN  
1" = 10'-0"



**LEGEND**  
 [Pattern] NEW METAL STUD WALL  
 [Pattern] NEW MASONRY WALL  
 [Pattern] 1-HOUR RATED WALL



Architect:  
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 Designers & Architects  
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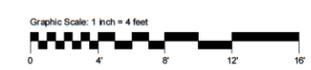
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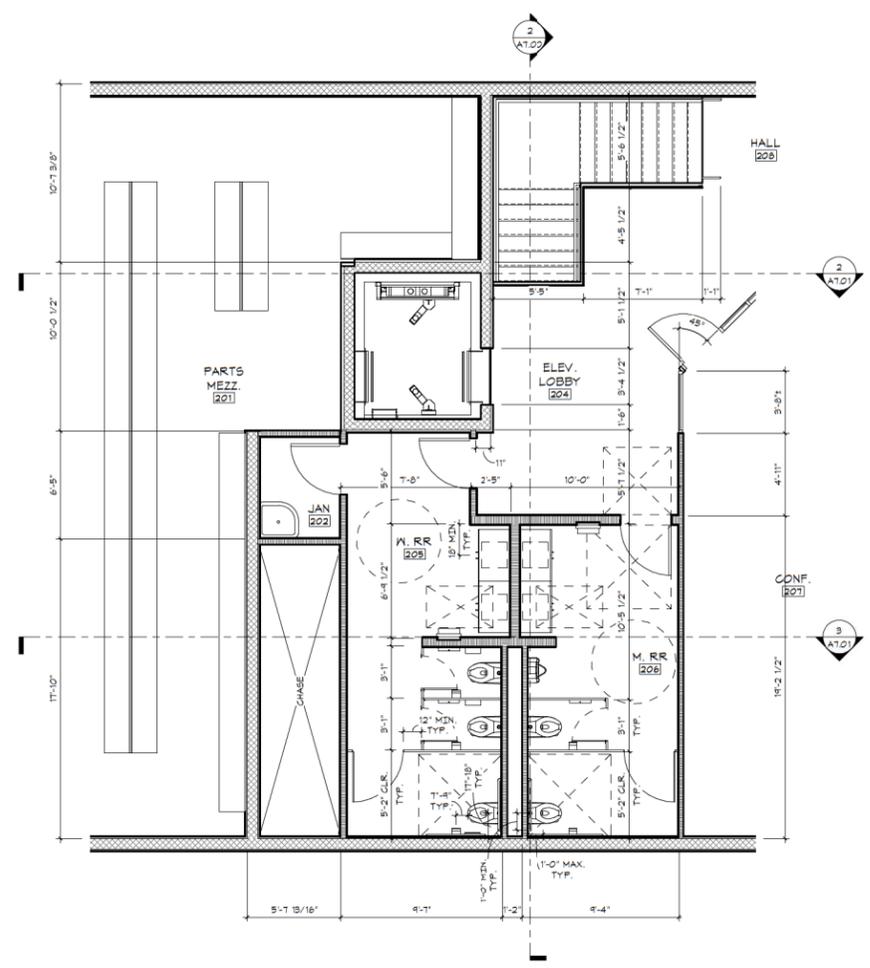
Project No.: 786-1-21  
 Drawn By: EB, BO, CA  
 Checked By: PR, EB

No.	Description	Date	By

PLANNING PACKAGE  
 7/29/2022  
 ENLARGED PLANS

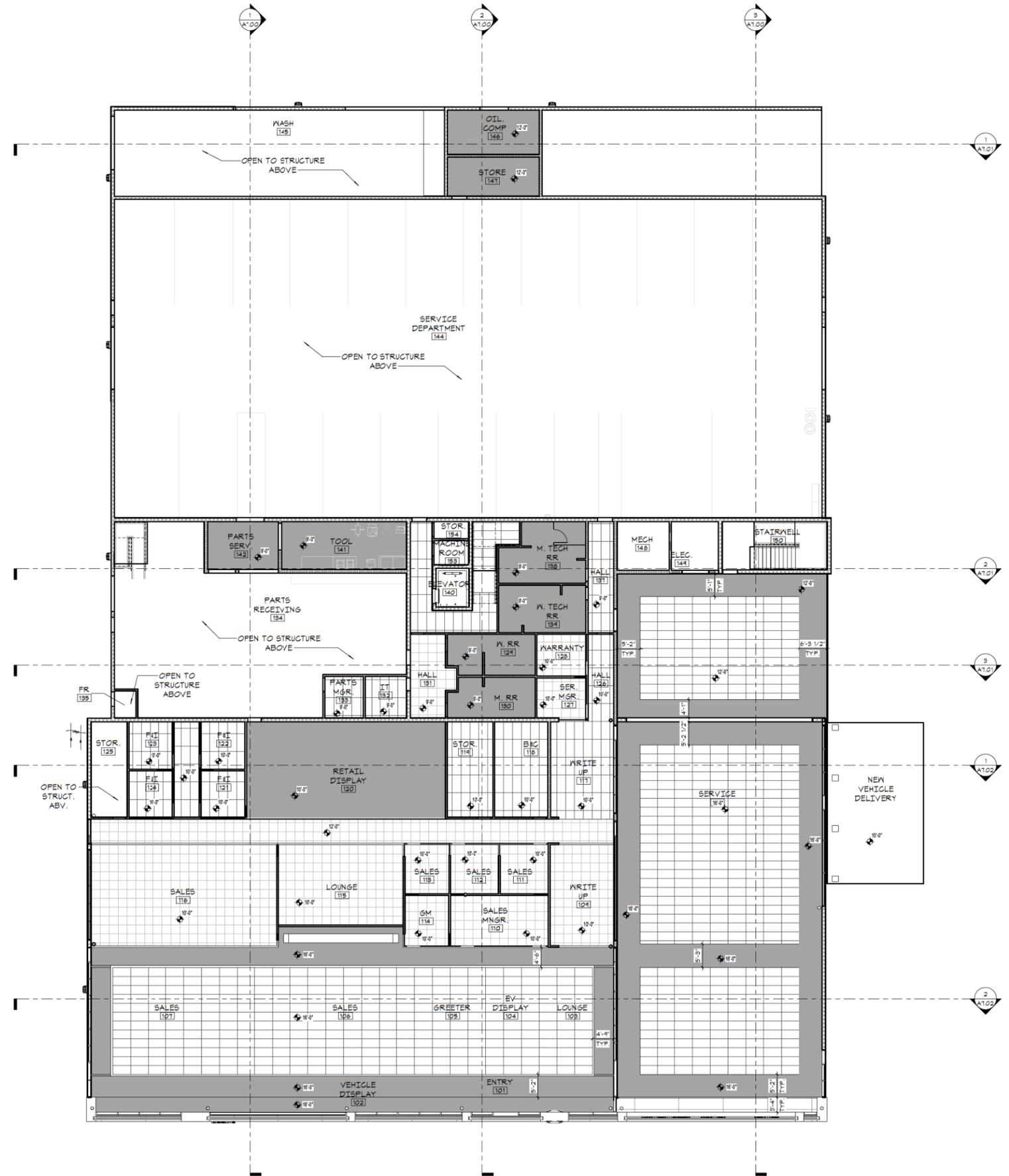


**A3.25**



**1** ENLARGED SECOND FLOOR PLAN  
 A3.25 1/4" = 1'-0"





- ### LEGEND
- 24 x 48' TEGULAR ACOUSTICAL CEILING PANEL
  - 5/8' TYPE 'X' GYPSUM BOARD, TEXTURE, PRIME & PAINT
  - METAL SOFFIT PANEL
  - SUPPLY AIR REGISTER, S.M.D.
  - RETURN AIR REGISTER, S.M.D.
  - EXHAUST AIR REGISTER, S.M.D.
  - LAY-IN LIGHT FIXTURE, S.E.D.
  - SURFACED MOUNTED LIGHT, S.E.D.
  - RECESSED DOWN LIGHT, S.E.D.

- ### GENERAL NOTES
1. CENTER CEILING FIXTURES & MECHANICAL GRILLS WITHIN THE CEILING TILE PATTERN - TYP.
  - FOR LIGHT FIXTURES AND MECHANICAL EQUIPMENT NOT REFERENCED REFER TO ELECTRICAL & MECHANICAL DRAWINGS.
  2. FIRE BLOCK EVERY 10'-0" VERTICALLY/HORIZONTALLY AT ALL CONCEALED SPACES, WALLS, PARTITIONS, CEILINGS, & INTERCONNECTIONS.

### KEYNOTES



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**LDA Partners, LLP**  
 Designers & Architects  
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 209-943-0405  
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Client:  
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Project:  
**VOLKSWAGEN - ROCKLIN**  
 4448 GRANITE DR.  
 ROCKLIN, CA 95677

Project No.: 786-1-21  
 Drawn By: EB, BO, CA  
 Checked By: PR, EB

No.	Description	Date	By

PLANNING PACKAGE  
 7/29/2022  
 FIRST FLOOR REFLECTED CEILING PLAN

1 FIRST FLOOR REFLECTED CEILING PLAN  
 A4.10  
 1" = 10'-0"





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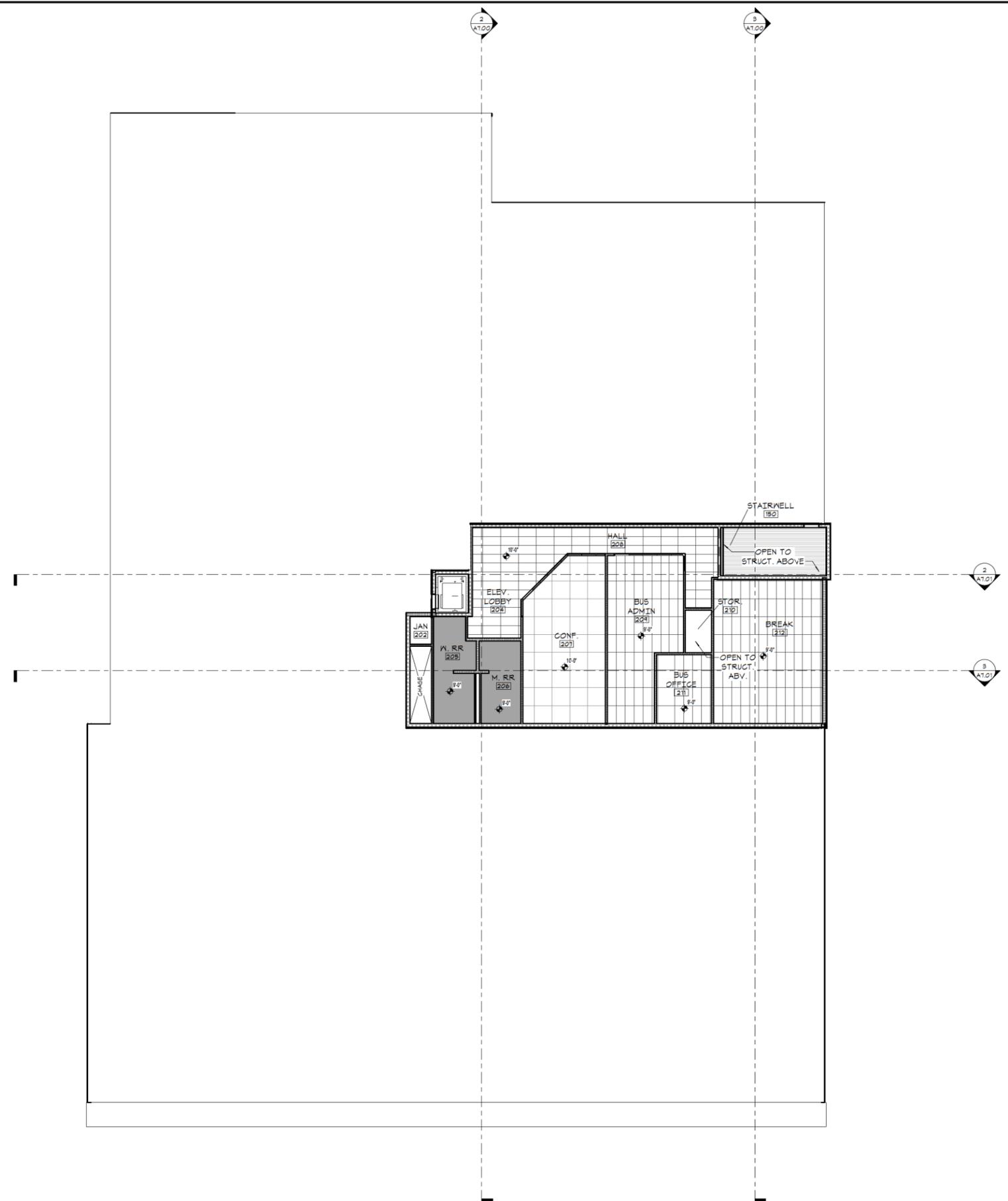
**LEGEND**

- 24" x 48" REGULAR ACOUSTICAL CEILING PANEL
- 5/8" TYPE 'X' GYPSUM BOARD, TEXTURE, PRIME & PAINT
- METAL SOFFIT PANEL
- SUPPLY AIR REGISTER, S.M.D.
- RETURN AIR REGISTER, S.M.D.
- EXHAUST AIR REGISTER, S.M.D.
- LA" IN LIGHT FIXTURE, S.E.D.
- SURFACED MOUNTED LIGHT, S.E.D.
- RECESSED DOWN LIGHT, S.E.D.

**GENERAL NOTES**

1. CENTER CEILING FIXTURES & MECHANICAL GRILLS WITHIN THE CEILING TILE PATTERN -TYP.
- FOR LIGHT FIXTURES AND MECHANICAL EQUIPMENT NOT REFERENCED REFER TO ELECTRICAL & MECHANICAL DRAWINGS.
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**KEYNOTES**



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**Project:**  
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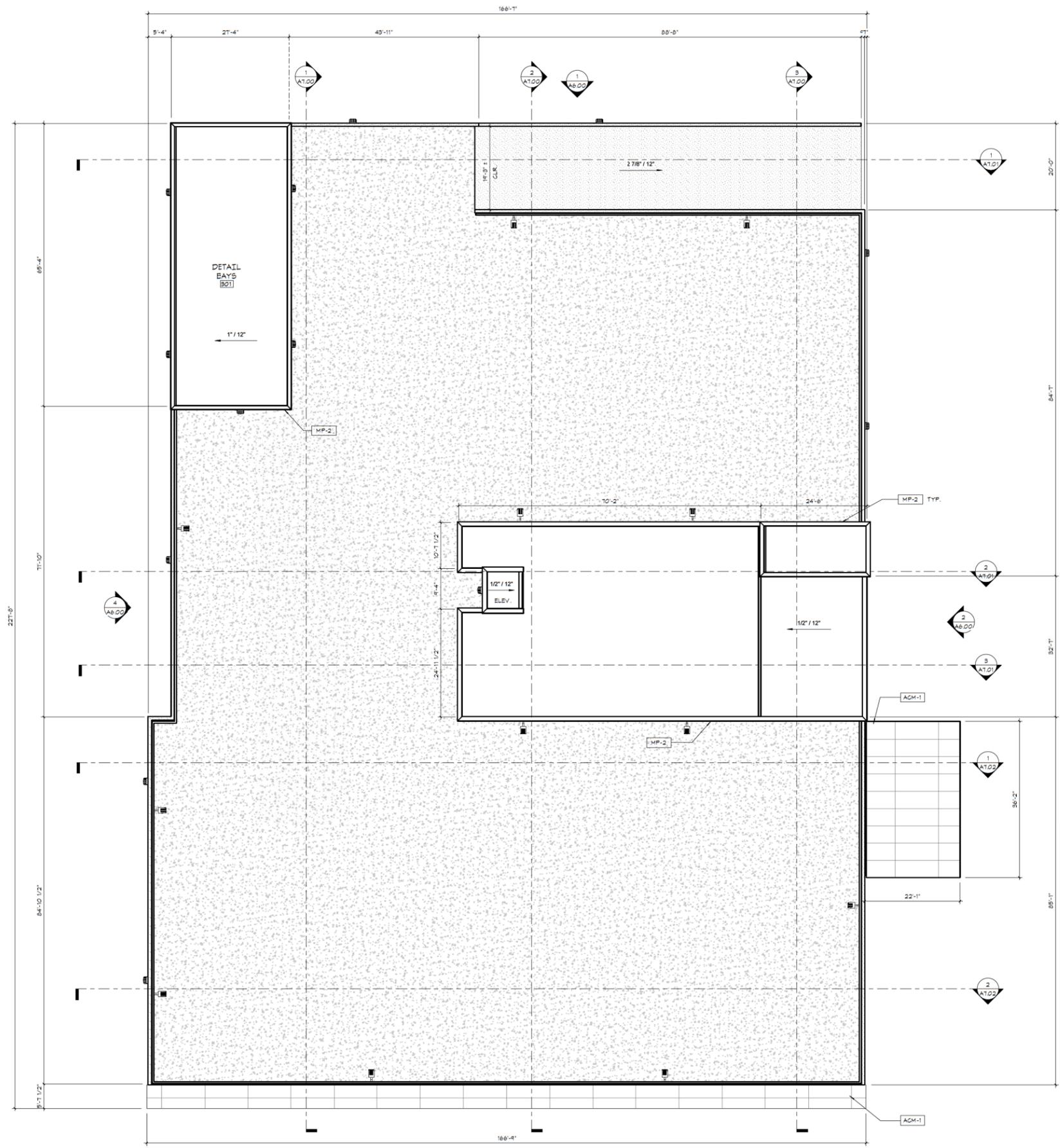
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No.	Description	Date	By

**PLANNING PACKAGE**  
 7/29/2022

**SECOND FLOOR REFLECTED CEILING PLAN**





**LEGEND**

- ◆ SPOT ELEVATION
-  CONCRETE DECK ASSEMBLY
-  SINGLE PLY ROOF MEMBRANE
-  ALUMINUM COMPOSITE PANEL ACM-1



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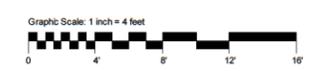
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**OVERALL ROOF PLAN**  
 1" = 10'-0"



PLANNING PACKAGE  
 7/29/2022

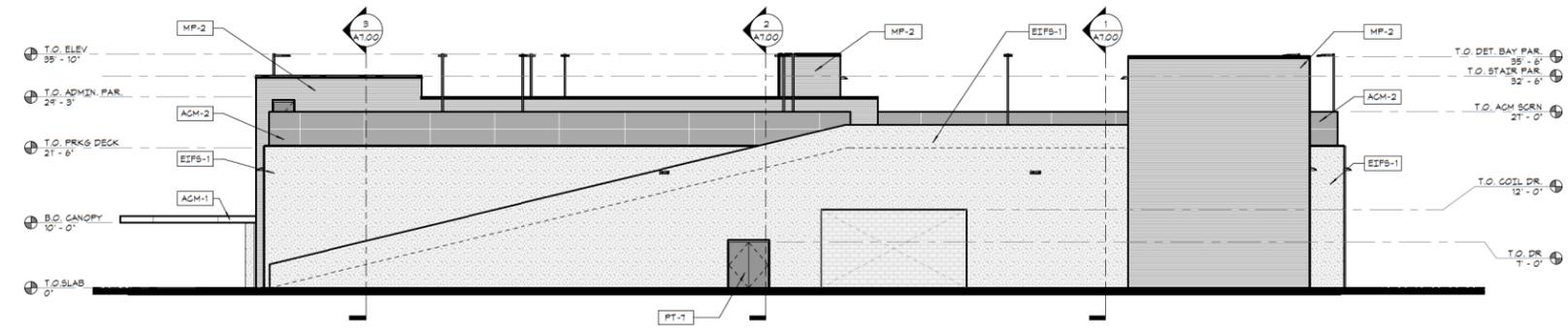
OVERALL ROOF PLAN

**A5.00**

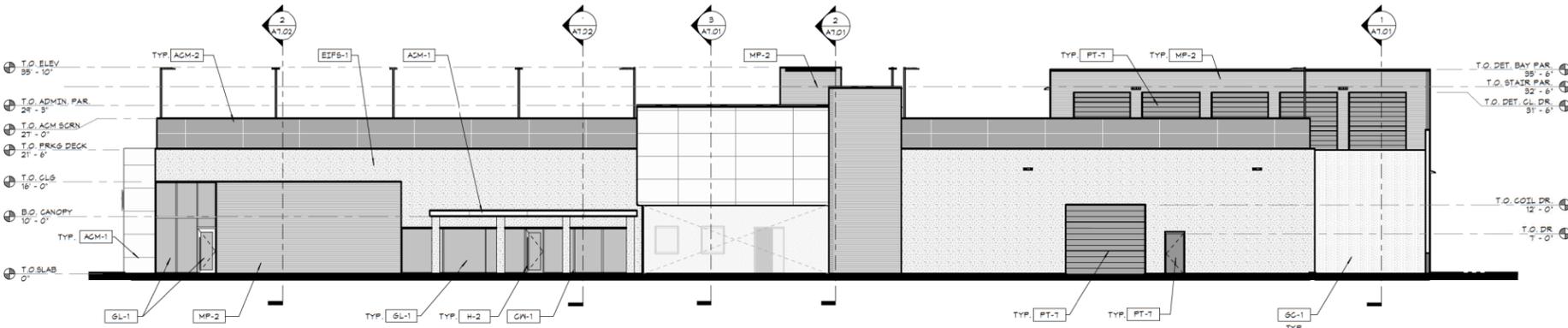


**KEYNOTES**

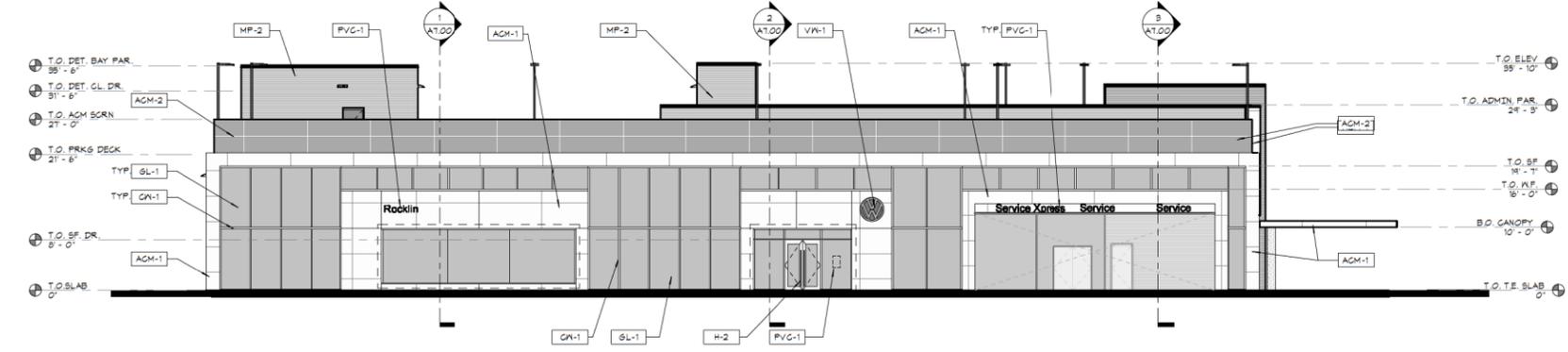
- ACM-1 BOBOTEC ALUMINUM COMPOSITE PANEL - COLOR: DAB WHITE, FINISH: 10% GLOSS
- ACM-2 BOBOTEC ALUMINUM COMPOSITE PANEL - COLOR: CADET GREY #A2003-D
- CN-1 CLEAR AND ALUM. CURTAIN WALL
- EIFS-1 EXTERIOR INSULATION FINISHING SYSTEM - WFR, STD 150/18/50/1
- GC-1 GRAY CONCRETE - CAST-IN-PLACE REINFORCED CONCRETE
- GL-1 GL-1 CLEAR INSULATED GLAZING SYSTEM
- H-2 EXTERIOR DOOR HARDWARE - SATIN FINISHED STAINLESS STEEL/ALUMINUM
- MP-2 NU PLAVE CORRUGATED METAL SIDING - COOL METALLIC SILVER - PRE-FIN. 20 GA. 1/8" DEEP CORRUGATED METAL SIDING
- PT-7 EXTERIOR PAINT (ACCENT) - METAL DOORS AND FRAMES - SHERKON WILLIAMS GRAY SHINGLE SW7010
- PVC-1 VINYL LETTERS BY SIGN VENDOR
- VW-1 VOLKSWAGEN LOGO MOUNTED RECESSED IN ACM PANEL



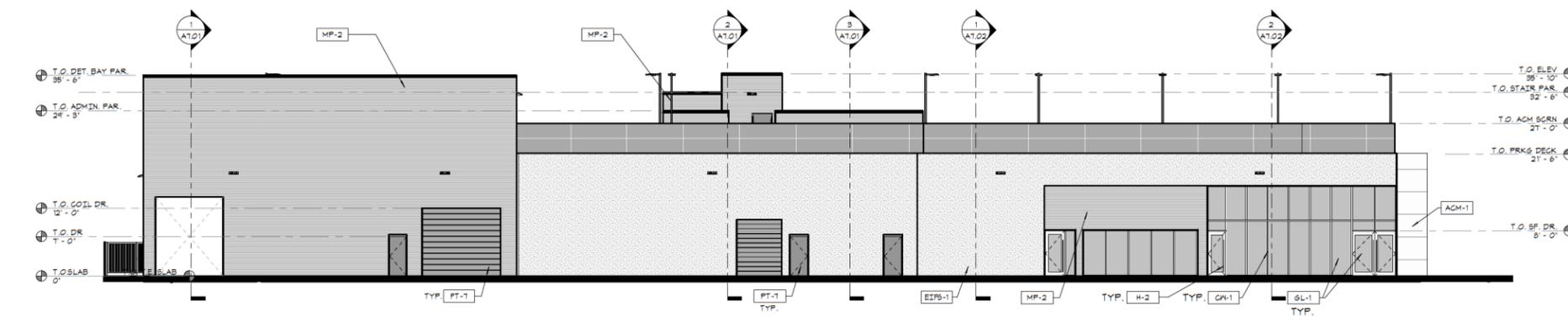
1 EXTERIOR ELEVATION - NORTH  
 1/8" = 10'-0"



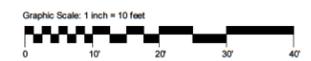
2 EXTERIOR ELEVATION - EAST  
 1/8" = 10'-0"



3 EXTERIOR ELEVATION - SOUTH  
 1/8" = 10'-0"



4 EXTERIOR ELEVATION - WEST  
 1/8" = 10'-0"





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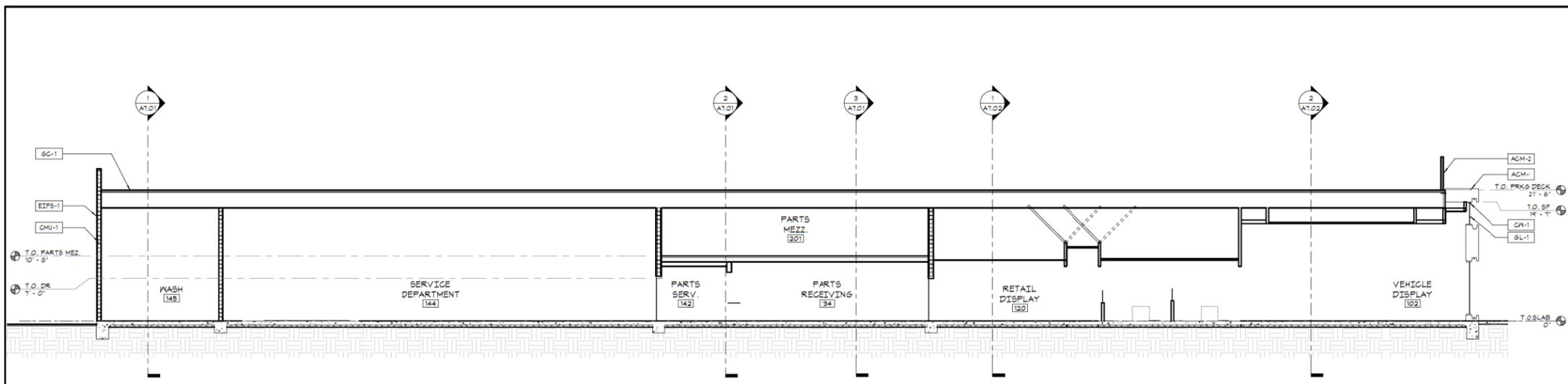
PLANNING PACKAGE  
 7/29/2022

BUILDING SECTIONS

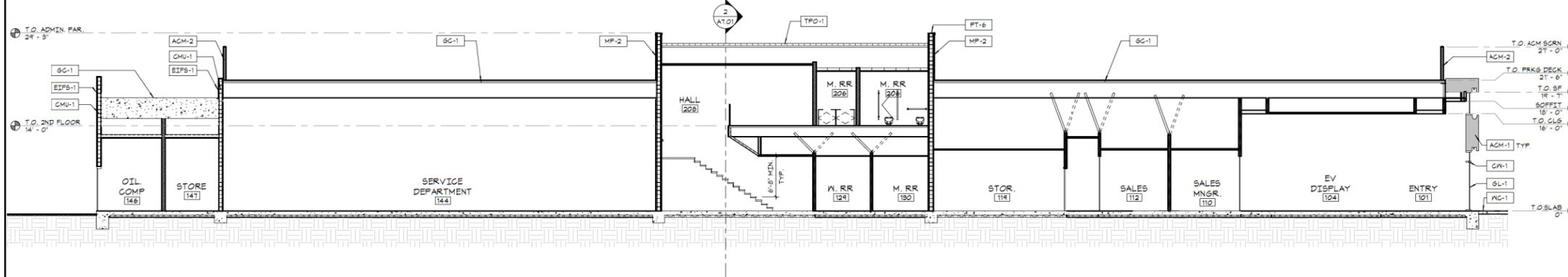
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**KEYNOTES**

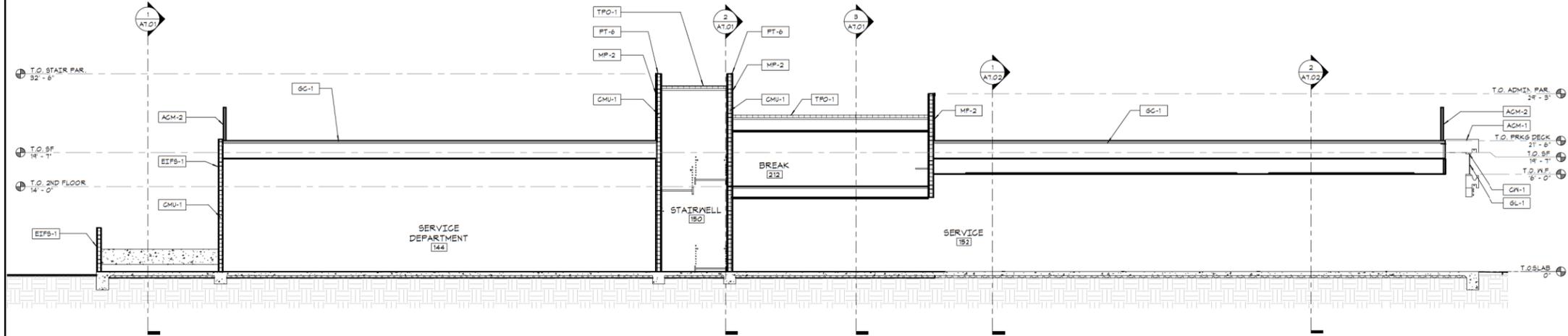
- ACM-1 SOBOTEG ALUMINUM COMPOSITE PANEL - COLOR: DAS WHITE, FINISH: 10% GLOSS
- ACM-2 SOBOTEG ALUMINUM COMPOSITE PANEL - COLOR: CADET GREY #A2009-D
- CMU-1 BRICK CMU - GROUND FACE
- GN-1 CLEAR ANOD. ALUM. CURTAIN WALL
- EIPB-1 EXTERIOR INSULATION FINISHING SYSTEM - MFR: STO #8011-804
- GC-1 GRAY CONCRETE - CAST-IN-PLACE REINFORCED CONCRETE
- GL-1 GL-1 CLEAR INSULATED GLAZING SYSTEM
- MP-2 16 GAUGE CORRUGATED METAL SIDING - COOL METALLIC SILVER - PREFIN. 20 GA. 7/8" DEEP CORRUGATED METAL SIDING
- PT-6 SHERWIN WILLIAMS - LAZY GRAY SW6284
- TPG-1 SINGLE PLY TPO ROOFING MEMBRANE
- PG-1 WHITE CONCRETE - ASTM C 80 TYPE 3 WHITE PORTLAND CEMENT, WHITE LIMESTONE AGGREGATE, WHITE SILICA SAND



**SECTION 1**  
 1/8" = 1'-0"

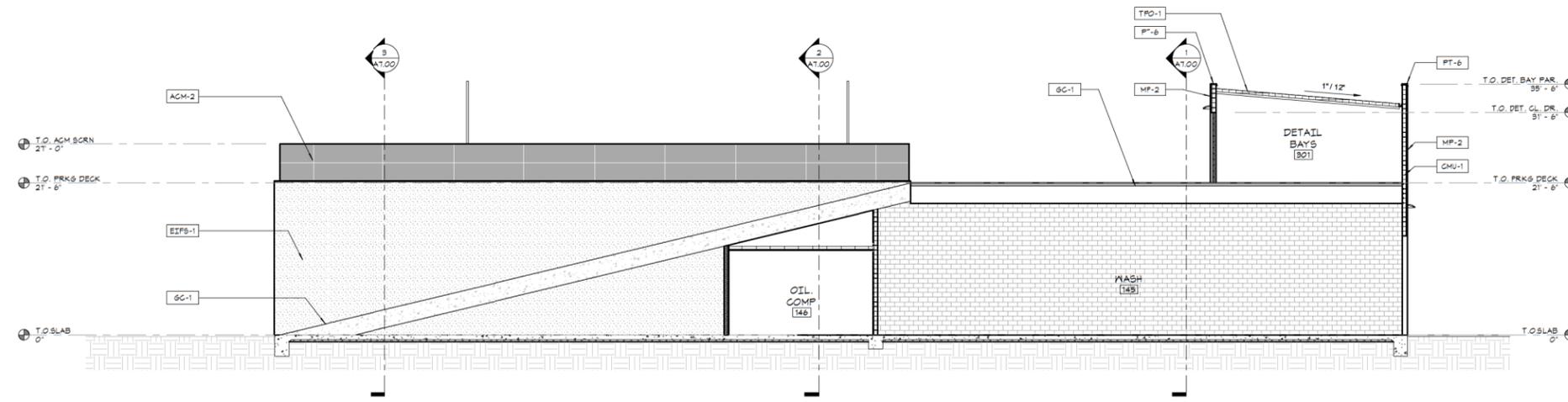


**SECTION 2**  
 1/8" = 1'-0"

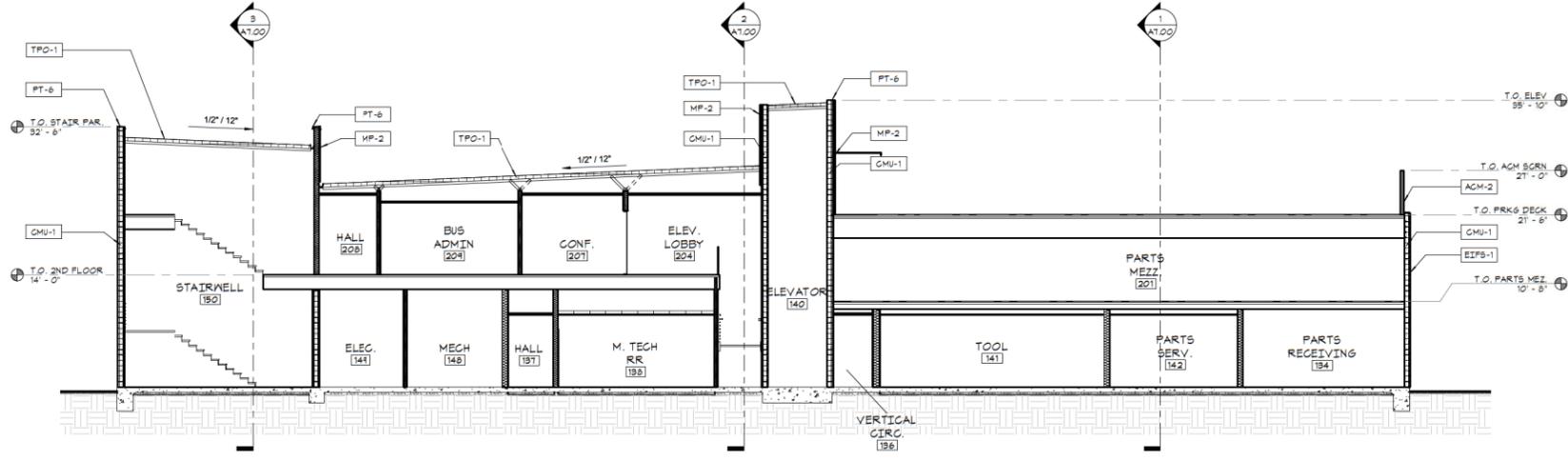


**SECTION 3**  
 1/8" = 1'-0"

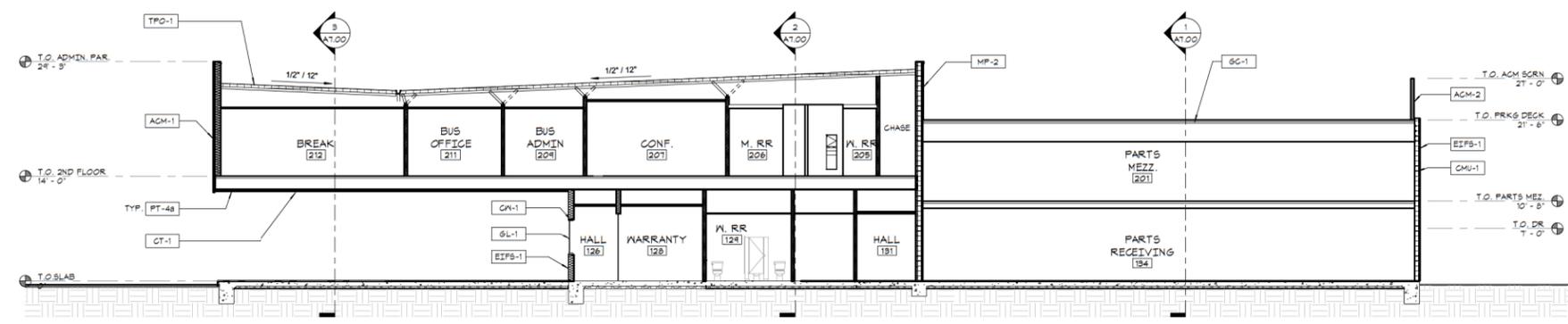




SECTION 4  
1/8" = 1'-0"



SECTION 5  
1/8" = 1'-0"



SECTION 6  
1/8" = 1'-0"

KEYNOTES

- ACM-1 SOBOTEC ALUMINUM COMPOSITE PANEL - COLOR: DAB WHITE, FINISH: 10% GLOSS
- ACM-2 SOBOTEC ALUMINUM COMPOSITE PANEL - COLOR: CADET GREY #A2025-D
- CMU-1 8X8X16 CMU - GROUND FACE
- CT-1 ARMSTRONG OPTIMA VECTOR - 2'X4' ACOUSTICAL CEILING TILE
- GN-1 CLEAR ANOD. ALUM. CURTAIN WALL
- EIPS-1 EXTERIOR INSULATION FINISHING SYSTEM - MFR: STO #80191-S04
- GC-1 GRAY CONCRETE - CAST-IN-PLACE REINFORCED CONCRETE
- GL-1 6L-1 CLEAR INSULATED GLAZING SYSTEM
- MP-2 NU WAVE CORRUGATED METAL SIDING - COOL METALLIC SILVER - PRE-FIN. 20 GA. 1/8" DEEP
- PT-48 BENJAMIN MOOR PAPER WHITE 190 - LOW SHEEN
- PT-6 SHERWIN WILLIAMS - LAZY GRAY SW624
- TPO-1 SINGLE PLY TPO ROOFING MEMBRANE



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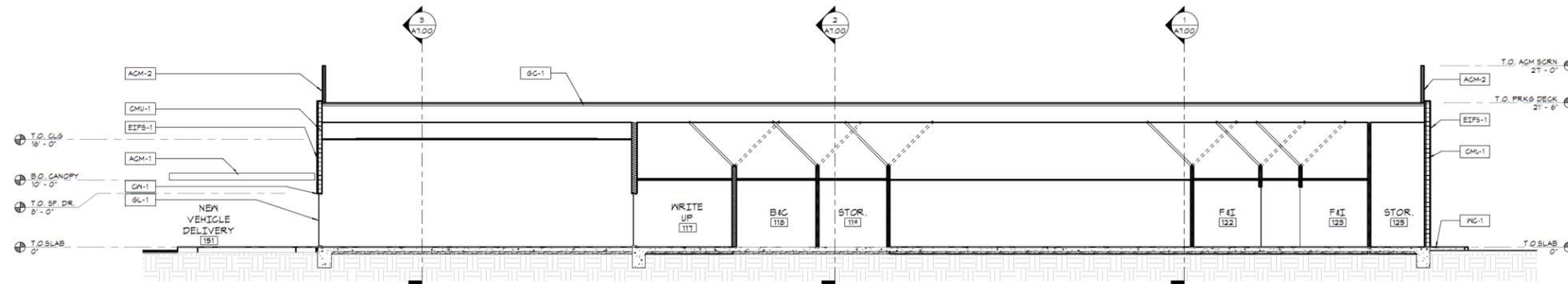
Project No.: 786-1-21  
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No.	Description	Date	By

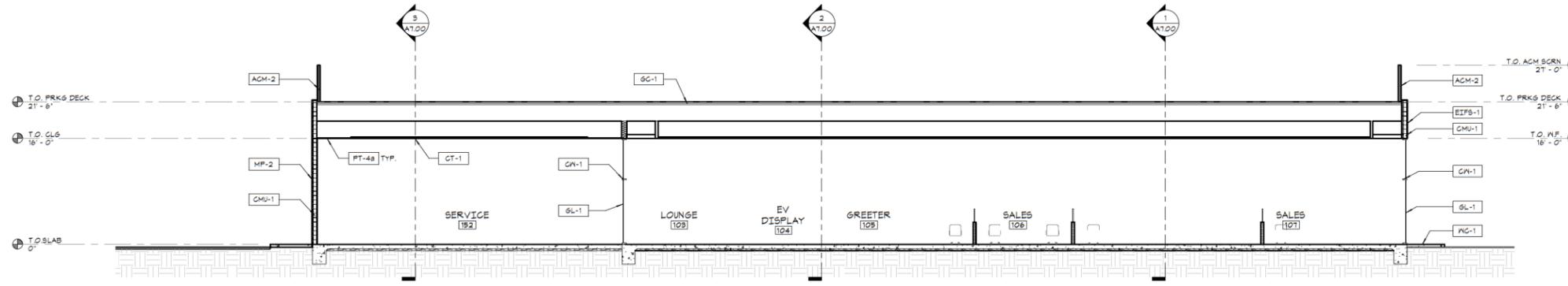
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7/29/2022

BUILDING SECTIONS





SECTION 7  
1/8" = 1'-0"



SECTION 8  
1/8" = 1'-0"

**KEYNOTES**

- ACM-1 SOBOTEG ALUMINUM COMPOSITE PANEL - COLOR: D&S WHITE, FINISH: 10% GLOSS
- ACM-2 SOBOTEG ALUMINUM COMPOSITE PANEL - COLOR: CADET GREY #A2035-D
- CMU-1 8X8X16 CMU - GROUND FACE
- CT-1 ARMSTRONG OPTIMA VECTOR - 2X4 ACOUSTICAL CEILING TILE
- GN-1 CLEAR ANOD. ALUM. CURTAIN WALL
- EIFS-1 EXTERIOR INSULATION FINISHING SYSTEM - MFR: STO #B0H1-B04
- GC-1 GRAY CONCRETE - CAST-IN-PLACE REINFORCED CONCRETE
- GL-1 GL-1 CLEAR INSULATED GLAZING SYSTEM
- MP-2 16 GAUGE CORRUGATED METAL SIDING - COOL METALLIC SILVER - PRE-FIN. 20 GA. 7/8" DEEP CORRUGATED METAL SIDING
- PT-48 BENJAMIN MOOR PAPER WHITE 15R0 - LOW SHEEN
- VG-1 WHITE CONCRETE - ASTM C80 TYPE 3 WHITE PORTLAND CEMENT, WHITE LIMESTONE AGGREGATE, WHITE SILICA SAND



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BUILDING SECTIONS



FRONT PERSPECTIVE - SOUTH SIDE



FRONT PERSPECTIVE - EAST SIDE



AERIAL PERSPECTIVE



REAR PERSPECTIVE - WEST SIDE



REAR PERSPECTIVE - NORTH SIDE



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EXTERIOR RENDERS