



New Project Information

The City of Rocklin is processing the below referenced application(s) for project approval. The request is now being reviewed for compliance with the requirements and regulations of relevant City, State, and Federal agencies, and Utility providers. Once any issues have been resolved a hearing date will be set and public notice provided to alert neighbors and interested parties of the hearing date, availability of project information, the opportunity to comment on the project.

Application Received: March 26, 2026

Project Name and Requested Approvals:

Quick Quack - Whitney Ranch Retail
CONDITIONAL USE PERMIT, U2026-0002
ENVIRONMENTAL, ENV2026-0009

Staff Description of Project:

The project consists of a request for a Conditional Use Permit to allow operation of a car wash within the Planned Development Commercial (PD-C) zoning district of the Northwest Rocklin General Development Plan. The proposed use would be located on previously approved Pad 3D within the Whitney Ranch Retail shopping center.

Location:

Whitney Ranch Boulevard & University Avenue (Whitney Ranch Retail); APN 491-050-004

Land Use Designation(s)/Zoning:

The property is designated Retail Commercial (RC) in the Rocklin General Plan and zoned Planned Development Commercial (PD-C) in the Northwest Rocklin General Development Plan.

This project does / **X** does not require modification or change of the land use designations and regulations currently applicable to the project site.

Compliance with the California Environmental Quality Act:

A preliminary review of this project pursuant to the California Environmental Quality Act (CEQA) has tentatively identified a Categorical Exemption as the appropriate level of environmental review for this project.

Applicant & Property Owner:

The applicant is Quick Quack Car Wash (Vance Shannon). The property owner is BCC Whitney Ranch Retail, LLC c/o Cole Partners Development Co. (Hector Caldera).

Attached Information:

For additional detail, please visit the following link: <https://www.rocklin.ca.us/post/>



City of Rocklin

Planning Division
3970 Rocklin Road
Rocklin, California 95677
Phone (916) 625-5160 FAX (916) 625-5195

UNIVERSAL APPLICATION FORM

NAME OF PROJECT: Quick Quack Car Wash (QQ 26-650)

LOCATION: WHITNEY RANCH BLVD & UNIVERSITY AVE, ROCKLIN, CA 95765

ASSESSOR'S PARCEL NUMBERS: 491-050-004

DATE OF APPLICATION (STAFF): 3/25/26 **RECEIVED BY (STAFF INITIALS):** NBA

FILE NUMBERS (STAFF): U2026-0002/ENV2026-0009 **FEES:** \$ 11,176

RECEIPT No.: R64212

Pre-Application Meeting Requirements:

It is required that a pre-application meeting be held with a Staff Planner prior to submitting most applications for planning entitlements and permits. The purpose of the pre-application meeting is to expedite application processing by enabling staff to work with the applicant to assure that the officially submitted application materials are in the proper format and that the applicant understands the City of Rocklin's goals, policies, and ordinances that may affect the project. A copy of these and other planning provisions is available at the applicant's request.

Generally, two sets of preliminary plans and a written description of the proposed project should be brought with the applicant to the pre-application meeting. To schedule this meeting, please contact a Staff Planner at the Rocklin Community Development Department by calling (916) 625-5160.

DATE OF PRE-APPLICATION MEETING: 11/5/2025 email with Nathan Anderson

THIS APPLICATION IS FOR THE FOLLOWING ENTITLEMENTS: (CHECK APPROPRIATE SQUARES)

- | | | |
|--|--|--|
| <input type="checkbox"/> General Plan Amendment (GPA)
Fee: | <input type="checkbox"/> Tentative Subdivision Map (SD)
Fee: | <input checked="" type="checkbox"/> Use Permit (U)
<input checked="" type="checkbox"/> Minor (PC Approval - New Bldg) Fee: <u>\$ 10,705</u>
<input type="checkbox"/> Minor (PC Approval - Existing Bldg) Fee:
<input type="checkbox"/> Major (CC Approval) Fee: |
| <input type="checkbox"/> BARRO Zone Application (BZ)
Fee: | <input type="checkbox"/> Tentative Parcel Map (DL)
Fee: | <input type="checkbox"/> Variance (V)
Fee: |
| <input type="checkbox"/> Rezone (Reclassification) (Z)
Fee: | <input type="checkbox"/> Design Review (DR)
Commercial Fee:
Residential Fee:
Signs Fee: | <input type="checkbox"/> Oak Tree Preservation Plan Permit
Planning Commission Fee:
City Council Fee: |
| <input type="checkbox"/> General Development Plan (PDG)
Fee: | | |
| <input type="checkbox"/> Concurrent Application (2 or more entitlements)
Fee: | | <input type="checkbox"/> Modification to Approved Projects
Fee: |

File Number

Environmental Requirements: (STAFF)
 Exempt - \$471
 Negative Declaration -

Mitigated Negative Declaration -
 EIR - See Fee Schedule

UNIVERSAL APPLICATION FORM (CONT.)

<p>GENERAL PLAN DESIGNATION:</p> <p>Existing: _____</p> <p>Proposed: _____</p> <p>Zoning:</p> <p>Existing: <u>PD-C</u></p> <p>Proposed: <u>PD-C</u></p>	<p>PROPERTY DATA:</p> <p>Acres: <u>1.15 acres</u></p> <p>Square Feet: <u>50,136</u></p> <p>Dimensions: _____</p> <p>No. of Units: _____</p> <p>Building Size: <u>3,588 sq. ft.</u></p> <p>Proposed Parking: <u>8 employee parking stalls</u></p> <p>Required Parking: <u>Determined by the Planning Commission.</u></p> <p>Access: <u>The project is proposed to be located on Pad 3D of the larger development. This pad does not have street frontage or direct access to University Avenue or Whitney Ranch Parkway. Internal circulation within the larger development is required to access the project site.</u></p>	<p align="center">UTILITIES:</p> <table border="0"> <thead> <tr> <th align="left">EXISTING</th> <th align="left">PROPOSED</th> </tr> </thead> <tbody> <tr> <td><input type="checkbox"/> Pub. Sewer</td> <td><input checked="" type="checkbox"/> Pub. Sewer</td> </tr> <tr> <td><input type="checkbox"/> Septic Sewer</td> <td><input type="checkbox"/> Septic Sewer</td> </tr> <tr> <td><input type="checkbox"/> Pub. Water</td> <td><input checked="" type="checkbox"/> Pub. Water</td> </tr> <tr> <td><input type="checkbox"/> Well Water</td> <td><input type="checkbox"/> Well Water</td> </tr> <tr> <td><input type="checkbox"/> Electricity</td> <td><input checked="" type="checkbox"/> Electricity</td> </tr> <tr> <td><input type="checkbox"/> Gas</td> <td><input checked="" type="checkbox"/> Gas</td> </tr> <tr> <td><input type="checkbox"/> Cable</td> <td><input checked="" type="checkbox"/> Cable</td> </tr> </tbody> </table>	EXISTING	PROPOSED	<input type="checkbox"/> Pub. Sewer	<input checked="" type="checkbox"/> Pub. Sewer	<input type="checkbox"/> Septic Sewer	<input type="checkbox"/> Septic Sewer	<input type="checkbox"/> Pub. Water	<input checked="" type="checkbox"/> Pub. Water	<input type="checkbox"/> Well Water	<input type="checkbox"/> Well Water	<input type="checkbox"/> Electricity	<input checked="" type="checkbox"/> Electricity	<input type="checkbox"/> Gas	<input checked="" type="checkbox"/> Gas	<input type="checkbox"/> Cable	<input checked="" type="checkbox"/> Cable
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<input type="checkbox"/> Cable	<input checked="" type="checkbox"/> Cable																	

PROJECT REQUEST: _____

Request for approval of a Conditional Use Permit to construct an appropriately 3,600 square foot car wash with dual point sale queuing lanes, a trash enclosure, vacuum stations, a vacuum equipment enclosure, and a covered pay station. See the provided Project Narrative for additional details.

(Example: Request for approval of design review to construct a 10,000 square foot office building on 1.5 acres)

NOTE: Annexations, Lot Line Adjustments, and Rocklin Ranch Industrial Park Specific Plan Use Permits require special application forms and additional submittal information available from the Planning Division.

UNIVERSAL APPLICATION FORM (CONT.)

PLEASE PRINT OR TYPE:

NAME OF PROPERTY OWNER: BCC Whitney Ranch Retail, LLC c/o Cole Partners Development Co.

ADDRESS: 2484 Natomas Park Drive, Suite 101

CITY: Sacramento STATE: CA ZIP: 95833

PHONE NUMBER: 916-813-6537

EMAIL ADDRESS: rcole@colepartners.com

FAX NUMBER: _____

SIGNATURE OF OWNER Hector Caldera, President 

(Signature Authorizing Application; provide owner's signature letter if signature is other than property owner.)

NAME OF APPLICANT
(If different than owner): Vance Shannon

CONTACT: Entitlements Director

ADDRESS 6030 West Oaks Boulevard, Suite 300

CITY: Rocklin STATE: CA ZIP: 95765

PHONE NUMBER: 916-505-8960

EMAIL ADDRESS: vshannon@dontdrivedirty.com

FAX NUMBER: _____

SIGNATURE OF APPLICANT Vance Shannon Digitally signed by Vance Shannon
Date: 2025.12.29 12:40:32 -08'00'

NOTIFICATION OF OWNERS OF MINERAL RIGHTS

Government Code section 6509a(a)(2) states that if the Subdivision Map Act requires notice to be given pursuant to Section 65091, in addition to noticing the surrounding property owners, notice must also be given to anyone who has filed with the County recorder's office a "notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code" on the subject property.

Therefore, mailing labels must be provided with this application for any owner of a mineral right pertaining to the subject real property who has recorded a notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code (Subdivision Map Act Section 65091(a)(2)).

See page 24 of this application for instructions on how to submit mailing labels.

Section 65091(a)(2)

"(2) When the Subdivision Map Act (Div. d 9commencing with Section 66410)) requires notice of a public hearing to be given pursuant to this section, notice shall also be given to any owner of a mineral right pertaining to the subject property who has recorded a notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code."

There **are** / **are not** (circle one) owner(s) of record of preserved mineral rights on the subject property and I, Vance Shannon, the applicant or applicant's representative, **have** / **have not** (circle one) provided the name and mailing address of record for any and all owners of mineral rights pursuant to Section 883.230 of the Civil Code.

Vance Shannon

Digitally signed by Vance Shannon
Date: 2025.12.29 12:41:17 -08'00'

Signature

Date

AGENT AUTHORIZATION FORM

Property owners desiring to authorize individuals to represent them in conjunction with any application or matter before the City shall provide written authorization using this form. A separate form shall be used for each individual or firm authorized, and shall specifically note any restrictions upon the authorized person.

Project Name: QQ 26-650 Rocklin, CA	
Location: WHITNEY RANCH BLVD & UNIVERSITY AVE, ROCKLIN, CA 95765	
Assessors Parcel Number(s): 491-050-004	
Entitlements for which authorization is applicable (use permit, variance, tentative map, etc.): Use-Permit	
Name of person and / or firm authorized to represent property owner (Please print): Vance Shannon, Quick Quack Car Wash	
Address (Including City, State, and Zip Code): 6030 West Oaks Boulevard, Suite 300 Rocklin, CA 95765	
Phone Number: 916-505-8960	
Fax Number:	
Email Address: vshannon@dontdrivedirty.com	
The above named person or firm is authorized as: Agent (<input type="checkbox"/>) Buyer (<input type="checkbox"/>) Lessee (<input checked="" type="checkbox"/>)	
The above named person or firm is authorized to (check all that are applicable): (See A) File any and all papers in conjunction with the aforementioned request, including signing the application (See A) Speak on behalf of and represent the owner at any Staff meeting and/or public hearing. (See A) Sign any and all papers in my stead, with the exception of the application form.	
The duration and validity of this authorization shall be: (<input type="checkbox"/>) Unrestricted (<input checked="" type="checkbox"/>) Valid until: March 31, 2027	
Owners Authorization Signature & Date:	03/19/26
Hector Caldera, President 	
Owners Name (Please Print): BCC Whitney Ranch Retail, LLC	
Owners Address (Including City, State, and Zip Code): c/o Cole Partners Development Company 1484 Natomas Park Drive, Suite 101 Sacramento, CA 95833	
Phone Number: 916-813-6537	
Email Address: rcole@colepartners.com	

(A) Lessee is authorized to negotiate and process the Use-Permit with the City, including without limitation, meeting and communicating with City staff, participating in public hearings, and negotiating agreements with the City; but, explicitly excludes the authority to sign final permit conditions, mitigation agreements, or any document encumbering the fee interest of the property without Owner's separate, written consent.

**STATE OF CALIFORNIA
DEPARTMENT OF FISH AND GAME
FILING FEES**

In 1990, the State adopted a fee pursuant to AB 3158 for the review of environmental documentation by the State Department of Fish and Game. Subsequently, in 1991, the fees were challenged. Then, in June 1995, the Department of Fish and Game instructed the jurisdictions to stop collecting fees. Following a great deal of court action and in a memorandum dated February 26, 1996, the State Clearinghouse, Office of Planning and Research, stated that the fees must again be collected.

On September 29, 2006, Senate Bill 1535 was passed increasing the amounts of filing fees collected by the Department, and requires the Department to adjust the fees annually pursuant to Fish and Game Code Section 713.

As of January 1, 2020, State law requires all applicants who have a Notice of Determination filed for a Negative Declaration to pay a \$2,406.75 fee and those with a Notice of Determination for an Environmental Impact Report to pay a \$3,343.25 fee. Both types must pay an additional \$50.00 administrative fee making the total fees \$2,456.75 and \$3,393.25 respectively. Applicants whose projects require the filing of a Notice of Exemption will need to pay a \$50.00 administrative fee. The City will notify each applicant which of the fees must be paid.

PLEASE NOTE: Effective January 1, 2008, the fee exemption for projects determined to have a *De Minimis Impact Finding* has been eliminated. (Section 711.4 Fish and Game Code).

The Fish and Game filing fee must be paid prior to the filing of the Notice of Determination with the County Clerk. Since the CEQA law requires a Notice of Determination to be filed with the County within 5 days of an action by the City, all applicants must remit to the City the necessary fee amount no later than the day of the final scheduled public hearing for the proposed project.

PLEASE MAKE ALL CHECKS PAYABLE TO PLACER COUNTY.

If you have any questions regarding this matter, please do not hesitate to contact the Planning Department at (916) 625-5160. Upon review of the above, please sign and return this document with your application.

I, Vance Shannon, the applicant or applicant's representative, have read the information above and understand its meaning.

Vance Shannon Digitally signed by Vance Shannon
Date: 2025.12.29 12:42:09 -08'00'

Signature

Date

HAZARDOUS WASTE AND SUBSTANCES STATEMENT

Pursuant to California Government Code Section 56962.5, I have consulted the Hazardous Waste and Substances Sites List (Cortese List), consolidated by the State of California, Environmental Protection Agency and find that;

The project, including any alternatives, _____ is, ~~_____~~ is not (check which applies) located on a site which is included on the Hazardous Waste and Substances Sites List (Cortese List). If on the list, provide the following information:

Regulatory identification number: N/A Date of list: _____

Type of problem: N/A _____

I declare under penalty of perjury of the laws of the State of California that the foregoing is true and correct.

Dated: 12/29/2025

Applicant: Vance Shannon Digitally signed by Vance Shannon
Date: 2025.12.29 12:46:40 -08'00'

Applicants can verify this information by reviewing the Hazardous Waste and Substances Sites List (Cortese List), available for review at the City of Rocklin Planning Department counter, or at the California Department of Toxic Substance Control web site:

<http://www.calepa.ca.gov/SiteCleanup/CorteseList/default.htm>

MITIGATION FOR AIR QUALITY IMPACTS

The US Environmental Protection Agency (EPA) and the California Air Resources Board (CARB) have established air quality standards, referred to as the National Ambient Air Quality Standards (NAAQS) and the State Ambient Air Quality Standards (SAAQS) respectively. The federal Clean Air Act and State Clean Air Act both require that areas in violation of the ambient air quality standards adopt strategies to attain these standards. The Placer County Air Pollution Control District (APCD) has primary responsibility for planning and maintenance and/or attainment of air quality standards within Placer County. California is divided into 15 air basins for the purpose of monitoring air quality. Placer County is included in the Sacramento Valley Air Basin. Areas may be classified as attainment, non-attainment, or unclassified with regard to the adopted standards. The unclassified designation is assigned in cases where monitoring data is insufficient to make a definitive determination. Under the federal standards, all of Placer County, including Rocklin, is designated as non-attainment for ozone. All other pollutants are designated unclassified in Rocklin. Under the state standards, South Placer, including Rocklin, is designated as non attainment for ozone and PM10 and unclassified for hydrogen sulfide and visibility reducing particulate.

The project would have the following short-term construction impacts, if not mitigated:

- a. Construction activities, including grading, would generate a variety of pollutants, the most significant of which would be dust (PM10). This would exacerbate the existing PM10 non attainment condition if not mitigated.
- b. Construction equipment would produce short-term combustion emissions, and asphalt materials used for streets and driveways would produce pollutants during curing.

The mitigation measures listed below will reduce the short term impacts to less-than-significant. In the long-term, vehicle trips to and from the project site would generate Carbon Monoxide and ozone precursor emissions, thereby contributing to the non-attainment status of the local air basin. These incremental and cumulative adverse air quality impacts cannot be completely mitigated. However, these impacts were anticipated by the City of Rocklin General Plan, and were addressed through the 1991 Rocklin General Plan EIR and the North Rocklin Circulation and Traffic Study. Findings of overriding significance were adopted for the unmitigatable and unavoidable significant air quality impacts.

Therefore, I, as the applicant for the proposed project, agree that the mitigation measures listed below are incorporated as a part of my project description in order to mitigate for the short term impacts.

MITIGATION FOR AIR QUALITY IMPACTS (CONT.)

MITIGATIONS

1. The project shall conform with the requirements of the Placer County APCD.
2. Prior to commencement of grading, the applicant shall submit a dust control plan for approval by the City Engineer and the Placer County Air Pollution Control District. The plans shall specify measures to reduce dust pollution during all phases of construction.
3. Traffic speeds on all unpaved road surfaces shall be posted at 25 m.p.h. or less.
4. All grading operations shall be suspended when wind speeds exceed 25 m.p.h.
5. All trucks leaving the site shall be washed off to eliminate dust and debris.
6. All construction equipment shall be maintained in clean condition.
7. All exposed surfaces shall be revegetated as quickly as feasible.
8. If fill dirt is brought to the construction site, tarps or soil stabilizers shall be placed on the dirt piles to minimize dust problems.
9. Apply water or dust palliatives on all exposed earth surfaces as necessary to control dust. Construction contracts shall include dust control treatment as frequently as necessary to minimize dust.
10. Construction equipment shall be properly maintained and tuned.
11. Utilize low emission mobile construction equipment where possible.
12. Open burning of vegetative material is prohibited.

Vance Shannon

Applicant's Name (printed)

Vance Shannon

Digitally signed by Vance
Shannon
Date: 2025.12.29 12:43:34 -08'00'

Applicant's Signature

Date



City of Rocklin

Planning Division
3970 Rocklin Road
Rocklin, California 95677
Phone (916) 625-5160 FAX (916) 625-5195

**ENVIRONMENTAL
INFORMATION SHEET**
(To be completed by
applicant)

LOCATION OF PROJECT (ADDRESS) Whitney Ranch Blvd & University Ave, Rocklin, CA 95765

ASSESSORS PARCEL # 491-050-004

NAME OF PROJECT QQ 26-650 Rocklin, CA

CONTACT/APPLICANT Vance Shannon

ADDRESS 6030 West Oaks Boulevard, Suite 300 Rocklin, CA 95765

PHONE 916-505-8960 **EMAIL** vshannon@dontdrivedirty.com

Project Description - Describe in detail. Add separate sheet if necessary.

Please see attached project narrative.

Property size:	<u>50,136</u>	<u>1.15</u>
	Square Feet	Acres
Land Use:	<u>PD-C</u>	<u>PD-C</u>
	Existing	Proposed

RELATED PROJECTS: If this project is a part or portion of a larger project, describe the previous project by name, general development plan number, or other project identification. Whitney Ranch Retail (DR2023-0001)

PREVIOUS ENVIRONMENTAL DOCUMENTS: If this project is part of a larger project for which a negative declaration or an environmental impact report has been prepared and certified, reference the document below. Include the date and SCH#, if possible: 99102012

OTHER REQUIRED PERMITS OR APPROVALS:

<u>Permit or Approval</u>	<u>Agency</u>	<u>Address</u>	<u>Contact Person/Phone</u>
<u>N/A</u>			

PREVIOUS LAND USES: Describe existing and previous land uses of the site for the last 10 years or more: Vacant

SITE CHARACTERISTICS

- 1. What natural features (trees, rock outcroppings etc.) presently exist on the site?
Gravel and grass.

- 2. What are the surrounding land uses?
East CalTrans ROW West Vacant North Vacant South Vacant

- 3. Is the project proposed on land which contains fill or a slope of 10% or more? Yes

- 4. Are there any existing erosion problems? Not to our knowledge.

- 5. Is the site on expansive soils (as defined in Table 18 of the UBC) or immediately adjoining an area subject to slides, liquefaction, slope instability or other related hazards? _____
If so, describe in detail, or refer to attached soils report.
The site is not on expansive soils as define in table 18 of the UBC. Base on the Geotechnical report prepared by Krazan & Associates on September 3, 2025; the site encountered some clayey soils with low swell potential that measured 13 expansion index. Per UBC table 18 that expansion index is classified as "very low".

- 6. Grading, excavating or filling activities - Quantity of cubic yards to be:
 - a. Moved within the site 130 CY
 - b. Deposited on the site 2,820 CY
 - c. Removed from the site 0 CYDisposal site TBD

- 7. Are there any streams or permanent water courses on the site? No.
Describe _____

- 8. Will the proposed project change drainage patterns or the quality of groundwater?
If so explain. If not, why not. No, the site was designed to preserve existing drainage patterns as much as possible.

- 9. Will the project affect any drainage channel, creek, pond or any other water body?
Describe below: No.

10. Is any portion of the property located in a flood plain? No.
If so describe _____
11. Are there any jurisdictional wetlands or vernal pools on the site? If so how will they be impacted by the project? No.
12. Are there any trees or shrubs on the project site? No.
What types? _____
Are any to be removed or transplanted? _____
State the location of transplant site: _____
State the number & species to be removed: _____
13. Will the project affect the habitat of any endangered, threatened, or other special status species?
To our knowledge, there are no threatened or endangered species known to be on or near the project site.
14. Will the project result in any new noise source, or will it place new residents in an area of high traffic noise or noise from any other source? Yes.
15. What type of equipment will be associated with the project during construction?
Excavator, Dump Truck, Front End Loader, Water Truck, Concrete Paver
During permanent operation? Traditional car wash noises (vehicle, dryers, washing devices, etc.) The vacuum hoses are securely suspended and attached to arches when not in use. The motors or turbines are the primary noise source for the vacuums and are housed in CMU wall enclosures to minimize noise pollution.
16. Describe any air pollutants, other than vehicle exhaust, which would be generated by this project, both during and after construction. Dust particulates are considered pollutants.
Airborne particulates (dust), along with vehicular exhaust from construction equipment, are the most likely short-term sources of emissions during construction activity. The primary source of long-term emissions will be from vehicular exhaust as a byproduct of the operation for the Quick Quack Car Wash.
17. Will the project produce new sources of dust, ash, smoke, fumes or objectionable odor? If yes, describe the source of the emission, methods to control emissions and means of mitigating those effects on adjacent properties: Airborne particulates will be minimized through surface watering during the construction phase of the project. All construction vehicles and equipment will comply with current
18. Will the project create any new light source, other than street lighting? If yes, describe below:
The primary sources of light or glare resulting from the completed project will be produced from exterior lighting fixtures and vehicle headlights.
19. Is this property covered by a Williamson Act contract? No.
20. Has this property ever been used for agricultural purposes? No. If so, for what purpose and when? To our knowledge, the property has not been used for agricultural purposes
21. Does the project involve the use of routine transport or disposal of hazardous materials?
No.
22. Are there any known mineral resources of value to the region and the residents of the state located on the site? If so, what types? Not to our knowledge.
23. How close is the nearest school? Approximately 1.3 miles away.

24. PROPOSED BUILDING CHARACTERISTICS (BOTH RESIDENTIAL AND NON-RESIDENTIAL)

Size of new structure(s) or addition in gross square feet: 3,588 square feet
 Building height measured from ground to highest point in feet: 29 feet
 Number of floors/stories: 1 story
 Height of other appurtenances (antennas, steeples, mechanical equipment, etc.) measured from ground: N/A
 Project site coverage: Building 3,337 sq.ft. 6 %
 Landscaping 20,529 sq.ft. 42 %
 Paving 26,104 sq.ft. 52 %
 Exterior building materials: Resysta, acrylic plaster, Metal, Pilaster, aluminum, steel
 Exterior building colors: Gray, white, quacamole green, black, torchlight yellow
 Wall and/or fencing material: _____
 Total number of off-street parking spaces required: 3 Stalls Provided: 3 Stalls
 Total number of bicycle parking spaces: 5

25. Is there any exposed mechanical equipment associated with the project? Yes
 Location and screening method All mechanical equipment will be located within a building or structure. All roof mounted equipment will be concealed from view by parapets.

26. RESIDENTIAL PROJECTS N/A
 Total lots _____ Total dwelling units _____
 Density/acre _____ Total acreage _____

	Single Family	Two Family	Multi-Family (More than 2 units)
Number of Units			
Size of lot/unit			
Studio			
1 Bedroom			
2 Bedroom			
3 Bedroom			
4+ Bedroom			

27. RETAIL, COMMERCIAL, INDUSTRIAL, INSTITUTIONAL OR OTHER PROJECT

Type of use(s): Car Wash
 Oriented to: Regional X City X Neighborhood X
 Hours of operation: Daily from 7 a.m. and 9 p.m.
 Total occupancy/Building capacity: _____
 Gross floor area: 3,588 square feet Number of fixed seats: _____
 Number of employees (total): 18 Employees per shift: 3 Number of Shifts 2-3
 Number of visitors/customers on site at busiest time (best estimate): 30
 Other occupants (specify): No other occupants are proposed

ALL PROJECTS

28. Approximately how many tons of solid waste will the project produce each year? 75.51 tons

29. Will the proposed use involve any toxic or hazardous material? No
Is the project site within 2,000 feet of an identified hazardous/toxic site? No
Is the project site within 2,000 feet of a school or hospital? No
If the project involves any hazardous material, explain: _____

30. How many new residents is the project estimated to generate? The project will not generate new residents.

31. Will the project generate a demand for additional housing? The project is not anticipated to generate a demand for new residents

32. What is the current and estimated number of motor vehicles to arrive at the site as a result of the project? 700

33. Could the project increase traffic hazards to motor vehicles, bicyclists or pedestrians? No
If yes, explain _____

34. How close is the project to the nearest public park or recreation area? Approximately 2,000 feet

35. What school districts will be affected by this project? Rocklin Unified School District (RUSD)

36. Describe energy-efficient features included in the project. _____

37. Describe how the following services or utilities will be provided:
Power and Natural Gas Pacific Gas & Electric
Telephone AT&T
Water PCWA - Water
Sewer SPMUD - Sewer
Storm Drainage Placer County Public Works
Solid Waste Recology Auburn

38. Will the project block any vista or view currently enjoyed by the public? No.

39. Are there any known historic or significant building features on or near the site? If so, will the project result in any impact to the building? Not to our knowledge

40. Are there any archaeological features on the site? No If so, will the project result in any impact to these features? _____

CORE STATES

GROUP

Project Narrative

Quick Quack Car Wash No. 26-650

PREPARED BY

Core States Group

PREPARED FOR

Quick Quack Car Wash Holdings, LLC

CLIENT ADDRESS

6030 West Oaks Boulevard, Suite 300
Rocklin, CA 95765

SITE ADDRESS

SWQ - Whitney Ranch
Boulevard and University
Avenue
Rocklin, CA 95677

PROJECT NO.

24035

DATE

01/07/2026

JURISDICTION

Rocklin, CA

Project Overview

The scope of the project includes the development of a Quick Quack Car Wash that features a 108-foot tunnel with three (3) vehicle queuing lanes. The proposed site improvements include nineteen (19) vacuum spaces (one ADA), three (3) parking spaces (one ADA), a trash enclosure, two (2) vacuum equipment enclosures, landscaping, utility connections, and exterior lot lighting. The subject property consists of one (1) parcel (Parcel No. 017-087-00) that has an area of 1.15 acres (50,136 square feet) and is zoned PD-C. A Car Wash is a permitted use on the subject property subject to the approval of a Conditional Use Permit.

Surrounding Uses

The subject property is located within a larger planned commercial development referred to as the Whitney Ranch Retail Center. To the north of the subject site is currently vacant land with residential to the east and south, and to the west is a hardware store.

Quick Quack Business Model

Quick Quack is a well-established business with 200 successful stores and one million loyal members. At Quick Quack, it is believed that one "Quack" of kindness can help make someone's day. From hosting fundraisers to support the community, to granting wishes through the Make-A-Wish foundation, Quick Quack has a mission to change lives for the better. Their charitable efforts raised funds to support families that lost their homes to fires, community members that needed money for medical expenses, and even provided a miniature car wash for a child with a neurological disorder to support their sensory needs. Quick Quack continues to spread kindness and smiles in every new location proposed.

Operational Characteristics

The vehicle wash will include a conveyor belt or motorized track that routes vehicles through the showroom. In the showroom, vehicles are rinsed and washed utilizing a combination of spinning wraps, reclaimed water, and biodegradable and environmentally friendly soaps. Payment kiosks are provided within the stacking lanes to allow for point-of-sale transactions prior to vehicles entering the wash cycle. Quick Quack has the capacity to run up to 155 cars an hour through the wash, loading one (1) car every 24 seconds onto the conveyor. Once on the conveyor, the average wash is approximately 2 minutes 10 seconds before discharge at the front of the showroom. The business will have approximately 18 employees and will be open daily between 7 a.m. and 9 p.m.

Quick Quack has a membership program that utilizes license plate readers, so when members arrive, there is no wait, the gate will open automatically, and they can drive straight into the wash without stopping. This technology significantly increases the efficiency and throughput of the Quick Quack queue lines. The queuing process allows for rapid processing of vehicles that minimizes on-site idling.

The Quick Quack locations utilize a water reclamation process and reverse osmosis chambers to lighten the environmental footprint and reuse water. The car wash utilizes 65 percent less water than the average person does washing their vehicle at home. In addition, the water from the vehicle wash will go directly to the sewer system, as opposed to the storm drain when the average person washes their vehicle at home. On top of the energy efficient processes, the proposed car wash only uses detergents and soaps that are considered environmentally safe and biodegradable.

Site Design and Orientation

The project is proposed to be located on a pad designated as "Pad 3D" of the larger development. This pad does not have street frontage or direct access to University Avenue or Whitney Ranch Parkway. Internal circulation within the larger development is proposed for access to the project site. The Quick Quack showroom is located within the center of the project site and is oriented parallel to the site's northern boundary line. The entrance to the vehicle wash starts in the northwest center of the project site and extends along the site's southwest and southeast property line to maximize queuing for 15 cars without spillover. Customers will exit the car wash in the southwestern portion of the project site. Customer vehicle vacuum stations are located in between the vehicle showroom and the project sites southwestern boundary line.

Architecture

The proposed building will include green metal roofing and neutral toned finishes for exterior walls. The building features modulation with two tower elements, one near the showroom entrance and one near the showroom exit, building wall and roofline articulation, and building materials that are aesthetic and compatible with other newer developments in the community. Articulated parapets heights and material changes are integrated to break up the vertical massing. Decorative, but functional, architectural elements are included, like the yellow arched entrance and exit and yellow pilasters flanking the exit tower.

Site lighting will be provided at the project site for the safety and security of all customers, pedestrians, and employees. Outdoor lighting and illumination at the site will include parking lot security lighting and exterior building lighting will be installed on the building façade. All lights will include shields to direct light toward the project site and keep glare away from the adjacent land uses and rights-of-way.

Conditional Use Approval Criteria

RMC 17.70.140 identifies the findings that the City of Rocklin shall make to grant a Conditional Use Permit. Below are answers to how the proposed Quick Quack Car Wash is consistent with the City of Rocklin's Conditional Use Permit approval criteria.

1. Conditional use permits may be issued for any of the uses or purposes for which such permits are required or permitted by the terms of this title. Because of their unusual characteristics, conditional uses require special consideration so that they may be located and developed properly with respect to the objectives of this title and with respect to their effect on surrounding property.

Response: The Northwest Rocklin – Whitney Ranch Area Plan identifies car washes as a conditional use in the PD-C zone. The proposed Quick Quack Car Wash is consistent with this designation and will comply with all conditions required as part of the Conditional Use Permit approval.

2. The grant of a conditional use permit shall be based on a finding by the decision-making body that the establishment, maintenance or operation of the use, building or structure applied for will not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood, or to the general welfare of the city.

Response: The proposed Quick Quack Car Wash will not adversely affect the health, safety, or general welfare of residents or employees in the surrounding area, nor will it harm nearby properties, improvements, or the overall well-being of the city. The project is designed to meet the Northwest Rocklin – Whitney Ranch Area Plan, the City's development and building standards for a new development in the PD-C zone, engineering design standards, noise standards, and all applicable City and State requirements.

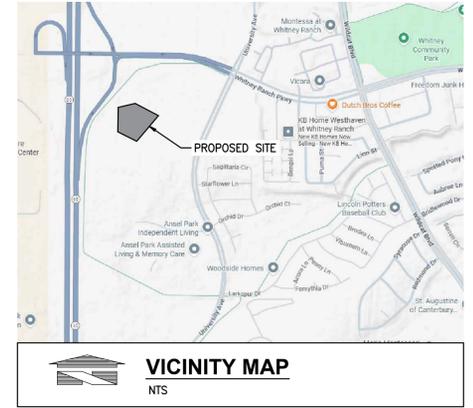
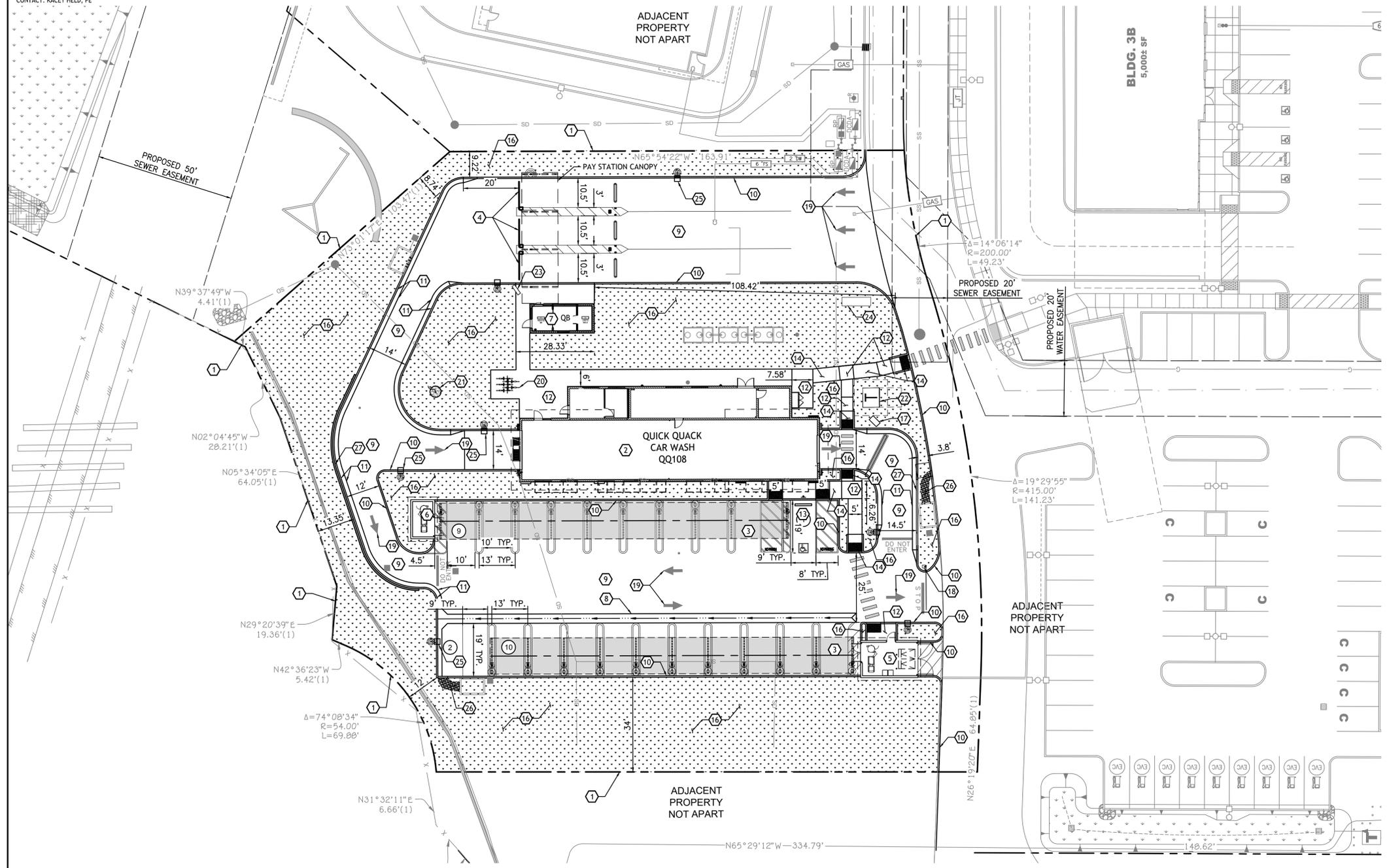
3. Whether or not it approves the conditional use permit, the decision-making body shall set forth in writing the findings of fact upon which it based its decision.

Response: The project is designed to meet the Northwest Rocklin – Whitney Ranch Area Plan, the City's development and building standards for a new development in the PD-C zone, engineering design standards, noise standards, and all applicable City and State requirements. The project will also comply with all conditions that are required by the Conditional Use Permit's approval.

APPLICANT:
 QUICK QUACK CARWASH
 6020 WEST OAKS BLVD., SUITE 300
 ROCKLIN, CA 95765

ENGINEER:
 BARGHAUSEN CONSULTING ENGINEERS, INC
 18215 72ND AVENUE SOUTH
 KENT, WA 98032
 TEL: (425) 251-6222
 EMAIL: KHELD@BARGHAUSEN.COM
 CONTACT: KACEY HELD, PE

PRELIMINARY SITE PLAN



PROJECT DATA

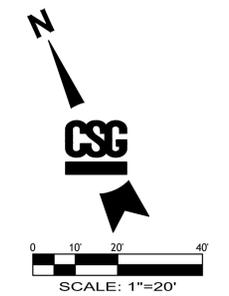
ADDRESS:	5100 WHITNEY RANCH BOULEVARD AND UNIVERSITY AVENUE, ROCKLIN, CA 95765
PARCEL NUMBER:	017-087-001
MUNICIPALITY:	CITY OF ROCKLIN
PROJECT AREA:	1.14 ACRES (50,083 S.F.)
EXISTING ZONING:	RC (ZSPA), COMMERCIAL LOCATED IN WHITNEY RANCH SPECIFIC PLANNING AREA
PROPOSED ZONING:	RC (ZSPA), COMMERCIAL LOCATED IN WHITNEY RANCH SPECIFIC PLANNING AREA
SURROUNDING ZONING:	LD RC LD LD BP
EXISTING SITE USE:	NONE, VACANT LOT
SURROUNDING USES:	SINGLE FAMILY HOMES GROCERY STORE/RETAIL STORES SINGLE FAMILY HOMES CHILD DAYCARE
BULK REGULATIONS:	FRONT: 10 FT SIDE (STREET OR INTERIOR): 10 FT REAR: 10 FT MAXIMUM BUILDING HEIGHT: 30 FT
PARKING:	MIN. AISLE WIDTH: 25 FT STANDARD STALL SIZE: 9 FT X 19 FT MIN. NO. OF SPACES REQUIRED: 4 SPACES PER 1,000 SQUARE FEET OF GROSS FLOOR AREA PARKING REQUIRED: 3,588 SF / 1,000 SF = 3.588 X 4 + 14.35 = 15 STALLS PARKING PROVIDED: 2 STANDARD STALLS, 1 VAN ACCESSIBLE STALL, 19 VACUUM STALLS = 22 STALLS REQUIRED ADA SPACES: 1 STALL BICYCLE PARKING: A MINIMUM OF ONE RACK WITH CAPACITY FOR TWO BICYCLES
LANDSCAPING:	OVERALL LANDSCAPING: NONE SPECIFIED PERIMETER LANDSCAPING: SETBACKS SHALL BE LANDSCAPED INTERIOR LANDSCAPING: ISLANDS SHALL BE PLACED AT THE END OF PARKING ROWS. 5-FOOT LANDSCAPE BUFFER SHOULD BE PLACED TO THE SOUTH OF THE SITE WHERE PARKING IS SHOWN. LANDSCAPING PROVIDED: 20,529 S.F. GROUND COVER SUMMARY: BUILDING: 3,337 SF PAVEMENT: 26,104 SF LANDSCAPE: 20,529 SF TOTAL: 49,970 SF

CONSTRUCTION NOTES:

- PROPERTY LINE TO REMAIN. TYPICAL. REFER TO ALTA/HSPS LAND TITLE SURVEY.
- PROPOSED CARWASH AS NOTED; REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- PROPOSED VACUUM SPACES (ONE ACCESSIBLE).
- PROPOSED CARWASH ENTRANCE GATE.
- PROPOSED FULLY COVERED COMBINED SOLID WASTE AND VACUUM ENCLOSURE.
- PROPOSED VACUUM ENCLOSURE.
- PROPOSED DETACHED QUARTERBACK STATION.
- PROPOSED CONCRETE VALLEY GUTTER.
- PROPOSED CONCRETE PAVING, TYPICAL.
- PROPOSED CONCRETE BARRIER CURB, TYPICAL.
- PROPOSED CONCRETE CURB AND GUTTER, TYPICAL.
- PROPOSED CONCRETE SIDEWALK, WIDTH VARIES, TYPICAL.
- PROPOSED ADA COMPLIANT PARKING SPACE.
- PROPOSED ADA COMPLIANT CURB RAMP, TYPICAL.

CONSTRUCTION NOTES (CONT.):

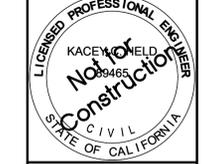
- PROPOSED ACCESSIBLE ROUTE THROUGH THE SITE AND CONNECTIONS TO THE PUBLIC RIGHT-OF-WAY, TYPICAL.
- PROPOSED LANDSCAPING AREA; REFER TO LANDSCAPE PLANS FOR ADDITIONAL INFORMATION, TYPICAL.
- PROPOSED STOP/GO SIGN.
- PROPOSED POND GATE.
- PROPOSED DIRECTIONAL PAVEMENT MARKINGS, TYPICAL.
- PROPOSED SHORT TERM BICYCLE PARKING RACK.
- PROPOSED LOCATION OF FLAG POLE.
- PROPOSED TRANSFORMER PAD.
- PROPOSED MENU BOARD.
- PROPOSED MONUMENT SIGN.
- PROPOSED SITE LIGHTING, TYPICAL. REFER TO PHOTOMETRIC PLAN FOR LIGHTING CALCULATIONS.
- PROPOSED RIPRAP ROCKS.
- PROPOSED RETAINING WALL.



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PRELIMINARY SITE PLAN
QUICK QUACK CAR WASH NO. 26-650
WHITNEY RANCH BLVD & UNIVERSITY AVE.
ROCKLIN, CA 95765

FOR:
QUICK QUACK CAR WASH
6020 WEST OAKS BLVD SUITE 300
ROCKLIN, CA 95765



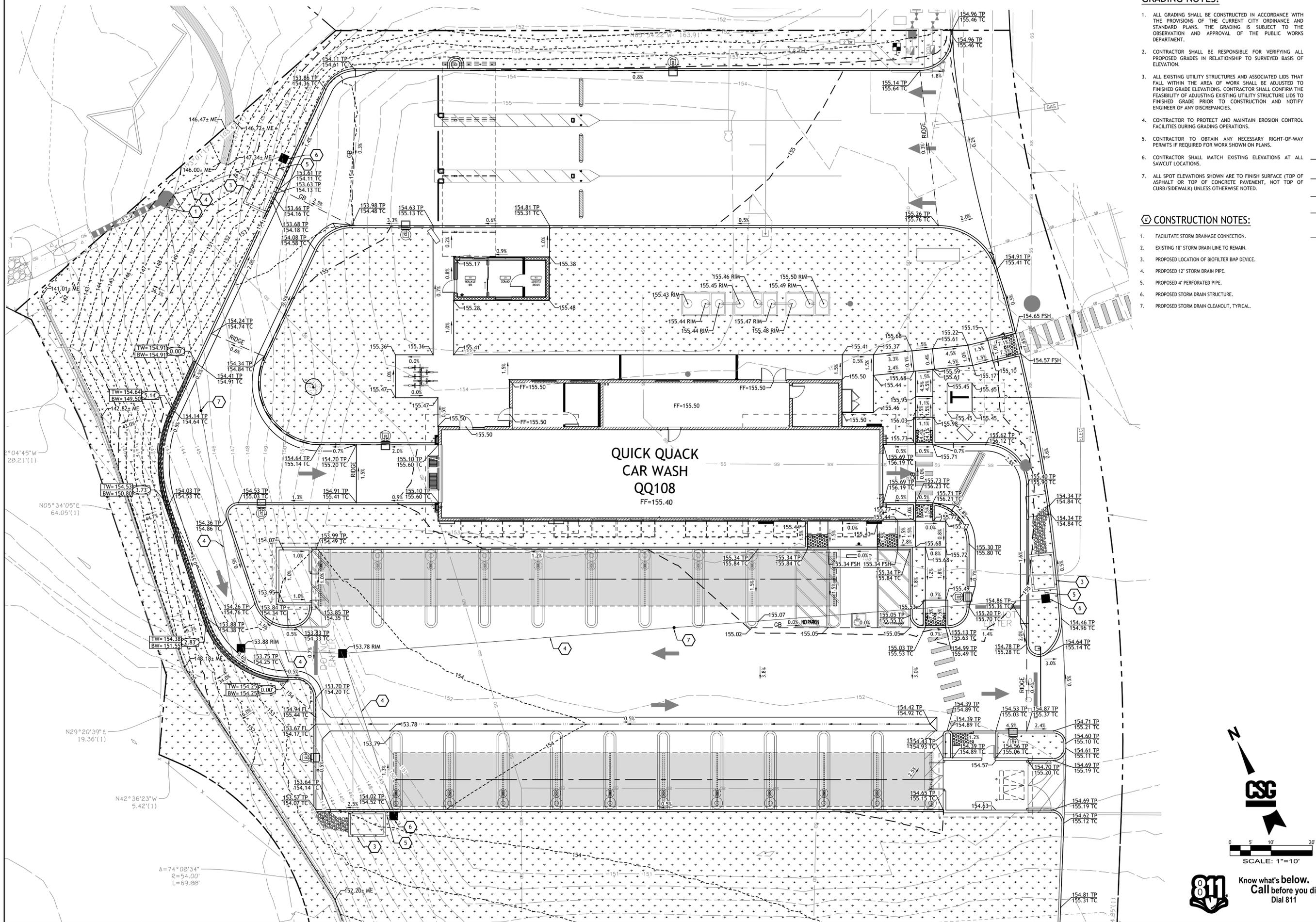
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Designed: JOC	Drawn: NW	Checked: JLR
Approved: KGH	Date: 12/23/25	

Barghausen Consulting Engineers, LLC.
 18215 72nd Avenue South
 Kent, WA 98032
 425.251.6222
 barghausen.com

Job Number: **24035**
 Sheet: **PSP**

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PRELIMINARY GRADING AND DRAINAGE PLAN



GRADING NOTES:

1. ALL GRADING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE CURRENT CITY ORDINANCE AND STANDARD PLANS. THE GRADING IS SUBJECT TO THE OBSERVATION AND APPROVAL OF THE PUBLIC WORKS DEPARTMENT.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PROPOSED GRADES IN RELATIONSHIP TO SURVEYED BASIS OF ELEVATION.
3. ALL EXISTING UTILITY STRUCTURES AND ASSOCIATED LIDS THAT FALL WITHIN THE AREA OF WORK SHALL BE ADJUSTED TO FINISHED GRADE ELEVATIONS. CONTRACTOR SHALL CONFIRM THE FEASIBILITY OF ADJUSTING EXISTING UTILITY STRUCTURE LIDS TO FINISHED GRADE PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
4. CONTRACTOR TO PROTECT AND MAINTAIN EROSION CONTROL FACILITIES DURING GRADING OPERATIONS.
5. CONTRACTOR TO OBTAIN ANY NECESSARY RIGHT-OF-WAY PERMITS IF REQUIRED FOR WORK SHOWN ON PLANS.
6. CONTRACTOR SHALL MATCH EXISTING ELEVATIONS AT ALL SAWCUT LOCATIONS.
7. ALL SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.

CONSTRUCTION NOTES:

1. FACILITATE STORM DRAINAGE CONNECTION.
2. EXISTING 18" STORM DRAIN LINE TO REMAIN.
3. PROPOSED LOCATION OF BIOPILTER BMP DEVICE.
4. PROPOSED 12" STORM DRAIN PIPE.
5. PROPOSED 4" PERFORATED PIPE.
6. PROPOSED STORM DRAIN STRUCTURE.
7. PROPOSED STORM DRAIN CLEANOUT, TYPICAL.

No.	Date	By	Chd.	Appr.

Title:
PRELIMINARY GRADING AND DRAINAGE PLAN
QUICK QUACK CAR WASH NO. 26-650
WHITNEY RANCH BLVD & UNIVERSITY AVE.
ROCKLIN, CA 95765

For:
QUICK QUACK CAR WASH
6020 WEST OAKS BLVD SUITE 300
ROCKLIN, CA 95765



Scale:	Horizontal	1"=10'	Vertical	N/A
Designed JOC	Drawn NW	Checked JLR	Approved KCH	Date 12/23/25

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 18215 72nd Avenue South
 Kent, WA 98032
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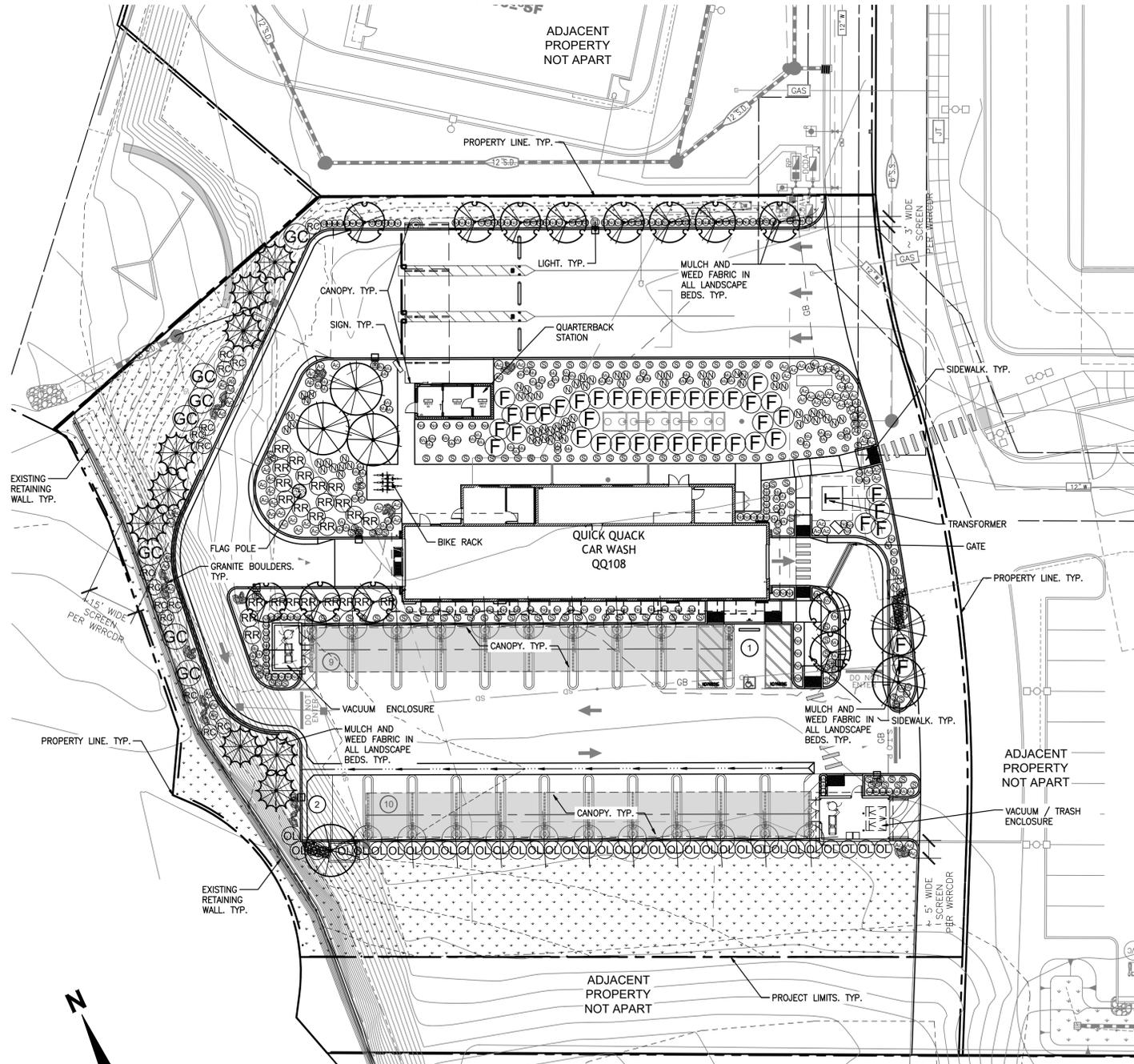
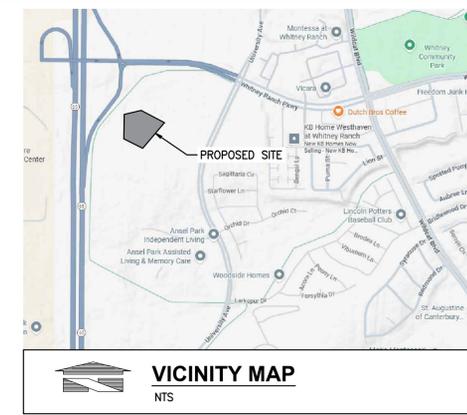


Job Number
24035
 Sheet
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SCALE: 1"=10'

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PRELIMINARY LANDSCAPE PLAN
FOR
QUICK QUACK CAR WASH
WHITNEY RACNH BLVD & UNIVERSITY AVE



LANDSCAPE NOTES

1. THERE ARE NO "PROTECTED" SHRUBS OR TREES ON THE PROPERTY.
2. THERE IS NO SPECIFIC LANDSCAPE REQUIREMENTS. HOWEVER, THE WHITNEY RANCH RETAIL CENTER DESIGN REVIEW (WRRCDR) HAS SET SUGGESTED BUFFERS AS SHOWN.
3. ALL PROPOSED LANDSCAPING TO BE IRRIGATED BY A WATER-WISE PERMANENT UNDERGROUND IRRIGATION SYSTEM THAT UTILIZED DRIP TUBING FOR SHRUBS AND ROOT WATERING WATERING SYSTEM FOR TREES, IRRIGATION CONTROLLER SHALL BE CONNECTED TO A RAIN-FREEZE SENSOR.

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	QTY	CONT.	SIZE	WATER USE
DECIDUOUS TREES					
	OLEA EUROPAEA 'SWAN HILL' SWAN HILL FRUITLESS OLIVE STAKE & GUY ONE GROWING SEASON: NURSERY GROWN, BRANCHED AT 5'	13	CONT.	15 GAL	LOW
	PISTACIA CHINENSIS 'KEITH DAVEY' KEITH DAVEY CHINESE PISTACHE STAKE & GUY ONE GROWING SEASON: NURSERY GROWN, BRANCHED AT 5'	6	CONT.	15 GAL	LOW
EVERGREEN TREES					
	PINUS HALEPENSIS ALLEPO PINE STAKE & GUY ONE GROWING SEASON: NURSERY GROWN, BRANCHED AT 5'	9	CONT.	15 GAL	LOW
SHRUBS					
	BERBERIS NEVINII NEVIN'S BARBERRY FULL & BUSHY	68	1 GAL	LOW	30" o.c.
	CISTUS SALVIFOLIUS 'PROSTRATUS' SAGELEAF ROCKROSE FULL & BUSHY	25	1 GAL	LOW	63" o.c.
	MUHLENBERGIA CAPILLARIS 'LENCA' REGAL MIST® PINK MUHLY GRASS FULL & BUSHY	101	1 GAL	LOW	24" o.c.
	NANDINA DOMESTICA 'MOON BAY' MOON BAY HEAVENLY BAMBOO FULL & BUSHY	140	1 GAL	LOW	24" o.c.
	OLEA EUROPAEA 'MONTRA' LITTLE OLLIE® OLIVE FULL & BUSHY; MAINTAIN AT 42" HT.	35	18" HT MIN	VERY LOW	63" o.c.
	PHORMIUM TENAX NEW ZEALAND FLAX FULL & BUSHY	40	1 GAL	LOW	72" o.c.
	GOLDEN CURRANT FULL & BUSHY	7	1 GAL	LOW	90" o.c.
	CALIFORNIA WILD ROSE FULL & BUSHY	15	1 GAL	LOW	54" o.c.
GRASSES					
	FESTUCA X 'SISKIYOU BLUE' SISKIYOU BLUE FESCUE FULL & BUSHY	125	1 GAL	LOW	24" o.c.
GROUNDCOVERS					
	ACACIA REDOLENS 'LOW BOY' LOW BOY BANK CATCLAW FULL & BUSHY	82	1 GAL	VERY LOW	30" o.c.
	EROSION-CONTROL HYDROSEED SPECIES AND APPLICATION RATE TO BE DETERMINED			8,047 SF	

Revision
No. Date By Cld. Appr.
Title:
PRELIMINARY LANDSCAPE PLAN
QUICK QUACK CAR WASH NO. 26-650
WHITNEY RANCH BLVD & UNIVERSITY AVE.
ROCKLIN, CA 95765

For:
QUICK QUACK CAR WASH
6020 WEST OAKS BLVD SUITE 300
ROCKLIN, CA 95765



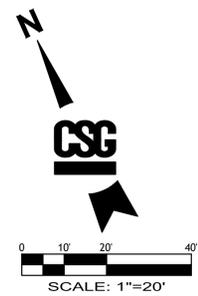
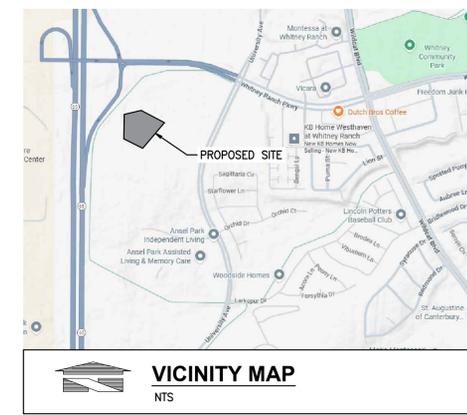
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Horizontal 1" = 20'
Vertical N/A
Designed: JCL
Drawn: JCL
Checked: JMV
Approved: JMV
Date: 12/23/25

Barghausen Consulting Engineers, LLC.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com

Job Number
24035
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PRELIMINARY LANDSCAPE PLAN
FOR
QUICK QUACK CAR WASH
WHITNEY RACNH BLVD & UNIVERSITY AVE



LANDSCAPE NOTES

1. THERE ARE NO "PROTECTED" SHRUBS OR TREES ON THE PROPERTY.
2. THERE IS NO SPECIFIC LANDSCAPE REQUIREMENTS. HOWEVER, THE WHITNEY RANCH RETAIL CENTER DESIGN REVIEW (WRRCDR) HAS SET SUGGESTED BUFFERS AS SHOWN.
3. ALL PROPOSED LANDSCAPING TO BE IRRIGATED BY A WATER-WISE PERMANENT UNDERGROUND IRRIGATION SYSTEM THAT UTILIZED DRIP TUBING FOR SHRUBS AND ROOT WATERING WATERING SYSTEM FOR TREES, IRRIGATION CONTROLLER SHALL BE CONNECTED TO A RAIN-FREEZE SENSOR.

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	QTY	CONT.	SIZE	WATER USE
DECIDUOUS TREES					
	OLEA EUROPAEA 'SWAN HILL' SWAN HILL FRUITLESS OLIVE STAKE & GUY ONE GROWING SEASON: NURSERY GROWN, BRANCHED AT 5'	13	CONT.	15 GAL	LOW
	PISTACIA CHINENSIS 'KEITH DAVEY' KEITH DAVEY CHINESE PISTACHE STAKE & GUY ONE GROWING SEASON: NURSERY GROWN, BRANCHED AT 5'	6	CONT.	15 GAL	LOW
EVERGREEN TREES					
	PINUS HALEPENSIS ALLEPO PINE STAKE & GUY ONE GROWING SEASON: NURSERY GROWN, BRANCHED AT 5'	9	CONT.	15 GAL	LOW
SHRUBS					
	BERBERIS NEVINII NEVIN'S BARBERRY FULL & BUSHY	68	1 GAL.	LOW	30" o.c.
	CISTUS SALVIFOLIUS 'PROSTRATUS' SAGELEAF ROCKROSE FULL & BUSHY	25	1 GAL.	LOW	63" o.c.
	MUHLENBERGIA CAPILLARIS 'LENCA' REGAL MIST® PINK MUHLY GRASS FULL & BUSHY	101	1 GAL.	LOW	24" o.c.
	NANDINA DOMESTICA 'MOON BAY' MOON BAY HEAVENLY BAMBOO FULL & BUSHY	140	1 GAL.	LOW	24" o.c.
	OLEA EUROPAEA 'MONTRA' LITTLE OLLIE® OLIVE FULL & BUSHY; MAINTAIN AT 42" HT.	35	18" HT MIN	VERY LOW	63" o.c.
	PHORMIUM TENAX NEW ZEALAND FLAX FULL & BUSHY	40	1 GAL.	LOW	72" o.c.
	RIBES AUREUM GOLDEN CURRANT FULL & BUSHY	7	1 GAL.	LOW	90" o.c.
	ROSA CALIFORNICA CALIFORNIA WILD ROSE FULL & BUSHY	15	1 GAL.	LOW	54" o.c.
GRASSES					
	FESTUCA X 'SISKIYOU BLUE' SISKIYOU BLUE FESCUE FULL & BUSHY	125	1 GAL.	LOW	24" o.c.
GROUNDCOVERS					
	ACACIA REDOLENS 'LOW BOY' LOW BOY BANK CATCLAW FULL & BUSHY	82	1 GAL.	VERY LOW	30" o.c.
	EROSION-CONTROL HYDROSEED SPECIES AND APPLICATION RATE TO BE DETERMINED			8,047 SF	

No.	Date	By	Clcd.	Appr.	Revision

Title: **PRELIMINARY LANDSCAPE PLAN
QUICK QUACK CAR WASH NO. 26-650
WHITNEY RANCH BLVD & UNIVERSITY AVE.
ROCKLIN, CA 95765**

For: **QUICK QUACK CAR WASH
6020 WEST OAKS BLVD SUITE 300
ROCKLIN, CA 95765**



Scale:	Horizontal	1" = 20'	Vertical	N/A
Designed	TCL	Drawn	JMV	Checked
			JMV	Approved
				Date
				12/23/25

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Job Number: **24035**
Sheet: **L1-A**



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LANDSCAPE NOTES AND DETAILS
FOR
QUICK QUACK CAR WASH
WHITNEY RACNH BLVD & UNIVERSITY AVE

LANDSCAPE PLANTING NOTES AND MATERIALS

SCOPE OF WORK
FURNISH ALL MATERIALS, LABOR, EQUIPMENT AND RELATED ITEMS NECESSARY TO ACCOMPLISH TOPSOIL, TREATMENT AND PREPARATION OF SOIL, FINISH GRADING, PLACEMENT OF SPECIFIED PLANT MATERIALS, FERTILIZER, STAKING, MULCH, CLEAN-UP, DEBRIS REMOVAL, AND 30-DAY MAINTENANCE.

QUALIFICATIONS:
LANDSCAPE CONTRACTOR TO BE SKILLED AND KNOWLEDGEABLE IN THE FIELD OF WORK AND HAVE A MINIMUM OF FIVE (5) YEAR'S EXPERIENCE INSTALLING SIMILAR WORK. CONTRACTOR TO BE LICENSED TO PERFORM THE WORK SPECIFIED WITHIN THE PRESIDING JURISDICTION.

JOB CONDITIONS:
IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE SITE AND REPORT ANY DISCREPANCIES TO THE OWNER OR THE OWNER'S REPRESENTATIVES. ALL PLANT MATERIAL AND FINISH GRADES ARE SUBJECT TO APPROVAL BY THE OWNER.

PROTECTION:
SAVE AND PROTECT ALL EXISTING PLANTINGS SHOWN TO REMAIN. DO NOT PLANT UNTIL OTHER CONSTRUCTION OPERATIONS WHICH CONFLICT HAVE BEEN COMPLETED. IF AN IRRIGATION SYSTEM IS TO BE INSTALLED DO NOT PLANT UNTIL THE SYSTEM HAS BEEN INSTALLED, TESTED, AND APPROVED BY THE OWNER. HANDLE PLANTS WITH CARE - DO NOT DAMAGE OR BREAK ROOT SYSTEM, BARK, OR BRANCHES. REPAIR AND/OR REPLACE ITEMS DAMAGED AS A RESULT OF WORK, OR WORK NOT IN COMPLIANCE WITH PLANS AND SPECIFICATIONS, AS DIRECTED BY OWNER AT NO ADDITIONAL COST TO THE OWNER.

REPAIR OF EXISTING PLANTINGS:
DURING THE COURSE OF WORK, REPAIR ALL EXISTING PLANTING AREAS BY PRUNING DEAD GROWTH, RE-ESTABLISHING FINISH GRADE AND RE-MULCHING TO SPECIFIED DEPTH.

30-DAY MAINTENANCE:
CONTRACTOR TO PROVIDE OWNER WITH A SCOPE OF WORK AT TIME OF INITIAL PROJECT BID TO PROVIDE LANDSCAPE AND IRRIGATION MAINTENANCE FOR 30 DAYS FOLLOWING STORE OPENING. WORK TO INCLUDE MAINTENANCE AS DESCRIBED BELOW, IN PLANTING AND IRRIGATION MAINTENANCE.

SUBMITTALS:
SUBMIT THE FOLLOWING TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE START OF ANY WORK:

- DOCUMENTATION THAT ALL PLANT MATERIAL HAS BEEN ORDERED.
- TOPSOIL ANALYSIS AND RECOMMENDED AMENDMENTS.
- TREE STAKING AND GUYING MATERIALS.
- ONE (1) QUART SIZE OF TOPSOIL AND MULCH.
- PLANTING SCHEDULE INCLUDING DATES AND TIMES.
- MAINTENANCE INSTRUCTIONS FOR ONE (1) FULL YEAR.

MATERIALS:

PLANT MATERIALS:
PLANT MATERIALS TO BE GRADE NO. 1, SIZED IN ACCORDANCE WITH (AAN) AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1-2004). PRUNE PLANTS RECEIVED FROM THE NURSERY ONLY UPON AUTHORIZATION BY THE LANDSCAPE ARCHITECT. "B & B" INDICATES BALLED AND BURLAPPED; "CONT." INDICATES CONTAINER; "BR" INDICATES BARE ROOT; "CAL" INDICATES CALIPER AT 6" ABOVE SOIL LINE; "GAL" INDICATES GALLON.

- SPECIFIED PLANT CANOPY SIZE OR CALIPER IS THE MINIMUM ACCEPTABLE CONTAINER OR BALL SIZE AND ESTABLISHES MINIMUM PLANT CONDITION TO BE PROVIDED.
- QUALITY:
PLANT MATERIAL TO COMPLY WITH STATE AND FEDERAL LAWS FOR DISEASE INSPECTION, PLANTS TO BE FIRM, LIVE, VIGOROUS, WELL FORMED, WITH WELL DEVELOPED FIBROUS ROOT SYSTEMS. ROOT BALLS OF PLANTS TO BE SOLID AND FIRMLY HELD TOGETHER, SECURELY CONTAINED AND PROTECTED FROM INJURY AND DESICCATION. PLANTS DETERMINED BY LANDSCAPE ARCHITECT TO HAVE BEEN DAMAGED; HAVE DEFORMITIES OF STEM, BRANCHES, OR ROOTS; LACK SYMMETRY, HAVE MULTIPLE LEADERS OR "C" CROTCHES LESS THAN 30 DEGREES IN TREES, OR DO NOT MEET SIZE OR ANSI STANDARDS WILL BE REJECTED. PLANT MATERIAL TO BE FROM A SINGLE NURSERY SOURCE FOR EACH SPECIFIED SPECIES/HYBRID. NURSERY SOURCES TO BE THOSE LOCATED IN THE SAME REGION AS THE JOB SITE.
- SUBSTITUTION:
NO SUBSTITUTION OF PLANT MATERIAL, SPECIES OR VARIETY, WILL BE PERMITTED UNLESS WRITTEN EVIDENCE IS SUBMITTED TO THE OWNER FROM TWO QUALIFIED PLANT BROKERAGE OFFICES. SUBSTITUTIONS WHICH ARE PERMITTED TO BE IN WRITING FROM THE OWNER AND LANDSCAPE ARCHITECT, THE SPECIFIED SIZE, SPECIES AND NEAREST VARIETY, AS APPROVED, TO BE FURNISHED. SUBSTITUTIONS MAY REQUIRE SUBMITTAL TO REVISED LANDSCAPE PLAN TO CITY FOR APPROVAL.
- LABEL AT LEAST ONE (1) TREE, SHRUB, AND GROUNDCOVER OF EACH VARIETY WITH A SECURELY ATTACHED WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAMES.
- DELIVER PLANT MATERIAL AFTER PREPARATION OF PLANTING AREAS HAVE BEEN COMPLETED AND PLANT IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN SIX (6) HOURS AFTER DELIVERY, SET MATERIAL IN SHADE, PROTECT FOR WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOT BALLS MOIST BY COVERING WITH MULCH, BURLAP OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.

SOIL PREPARATION:
TOPSOIL, AMENDMENT, AND BACKFILL, ARE GENERAL REQUIREMENTS FOR ALL LANDSCAPE AREAS, UNLESS NOTED OTHERWISE ON THE PLANS. SOIL AMENDMENTS AND FERTILIZER NOTED BELOW ARE TO BE USED FOR BID PRICE BASIS ONLY. SPECIFIC AMENDMENTS AND FERTILIZERS WILL BE MADE AFTER SOIL SAMPLES ARE LABORATORY TESTED BY THE CONTRACTOR. PROVIDE CHANGE ORDER FOR ADDITIONAL OR REDUCTION OF MATERIALS REQUIRED OR NOT REQUIRED BY THE SOILS REPORT.

SOIL FERTILITY AND AGRICULTURAL SUITABILITY ANALYSIS:
AFTER ROUGH GRADING AND PRIOR TO SOIL PREPARATION, CONTRACTOR TO OBTAIN TWO REPRESENTATIVE SOIL SAMPLES, FROM LOCATIONS AS DIRECTED BY THE LANDSCAPE ARCHITECT, TO A SOIL TESTING LABORATORY. SUBMIT RESULTS TO LANDSCAPE ARCHITECT FOR REVIEW. TESTS TO INCLUDE FERTILITY AND SUITABILITY ANALYSIS WITH WRITTEN RECOMMENDATIONS FOR SOIL AMENDMENT, FERTILIZER, CONDITIONS, APPLICATION RATES, AND POST-CONSTRUCTION MAINTENANCE PROGRAM. TESTS TO BE CONTRACTED WITH AND PAID FOR BY THE CONTRACTOR.

- TOPSOIL:
CONTRACTOR IS RESPONSIBLE FOR SUPPLYING ALL TOPSOIL AND FOR DETERMINING THE VOLUME OF TOPSOIL REQUIRED PER THE INFORMATION ON PLANS AND NOTED HERE-IN. CONTRACTOR IS RESPONSIBLE FOR ANY NECESSARY WEED CONTROL RESULTING FROM CONTAMINATED OFF SITE SOURCES.
- TOPSOIL TO CONSIST OF 1/3 BY VOLUME SANDY LOAM, 1/3 BY VOLUME COMPOSTED GARDEN MULCH, AND 1/3 BY VOLUME COARSE WASHED SAND OR EQUIVALENT.

- TOPSOIL PREPARATION AND INSTALLATION:
1. VERIFY SUBGRADES TO -9 INCHES IN LANDSCAPE AREAS OR AS INDICATED ON PLANS. THIS ACCOMMODATES, TOPSOIL, AMENDMENTS, AND MULCH. 6 INCHES IMPORTED TOPSOIL FOR LANDSCAPE BEDS.
2. ERADICATE ANY SURFACE VEGETATION ROOTED IN THE SUB-GRADE PRIOR TO SUB-GRADE PREPARATION.
3. REMOVE SOIL LUMPS, ROCK, VEGETATION AND/OR DEBRIS LARGER THAN 2 INCHES FROM ALL SUB-GRADE PRIOR TO PLACEMENT OF SPECIFIED TOPSOIL.
4. REMOVE ANY ASPHALT EXTENDING BEYOND 6 INCHES FROM CURBS INTO ADJACENT LANDSCAPE AREAS.

- TOPSOIL PLACEMENT:
1. PROVIDE A TOTAL FINISH COURSE OF 6 INCHES OF TOPSOIL FOR LANDSCAPE AREAS.
2. PLACE ADDITIONAL TOPSOIL AND SOIL MIX AS REQUIRED TO MEET FINISH ELEVATIONS.

ROCK MULCH (TOPDRESSING):
2-3" DEPTH OF APPROX. 1-INCH DECOMPOSED GRANITE ROCK MULCH, GOLD COLOR (PLUS OTHER EARTH TONES) OR APPROVED EQUAL.

STAKES:
2-INCH DIAMETER BY 8-FOOT MINIMUM LODGEPOLE PINE STAKES.

GUY MATERIAL:
1-INCH WIDE POLYETHYLENE CHAIN LOCK TYPE TIES; OR, 3/8" DIAMETER RUBBER. NO WIRE.

EXECUTION:

CONTAMINANTS:
VERIFY THAT ALL SOIL CONTAMINANTS (E.G., PAINT, SEALANTS, SOLVENTS, OILS, GREASES, CONCRETE/ASPHALT SPOILS, ETC.) HAVE BEEN SATISFACTORY REMOVED FROM ALL PLANTING AREAS. DO NOT BEGIN WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.

FINISH GRADES:
FINE GRADE AND REMOVE ROCKS, DEBRIS, AND FOREIGN OBJECTS OVER 2 INCHES DIAMETER FROM TOP SURFACE OF PREPARED LANDSCAPE AREAS. FINISH ELEVATIONS TO BE DEFINED AS 3 INCHES BELOW CURBS, WALKS AND/OR OTHER ADJACENT HARDSCAPE FOR ALL PLANTING BED AREAS AND 1-INCH BELOW CURBS, WALKS AND/OR OTHER ADJACENT HARDSCAPE FOR ALL LAWN AREAS. FINISH GRADE REFER TO GRADES PRIOR TO INSTALLATION OF MULCH OR LAWN. ALL FINISH GRADES TO BE SMOOTH EVEN GRADES, LIGHTLY COMPACTED, AS SHOWN ON THE PLAN AND DETAILED. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES. SITE CIVIL DRAWINGS IDENTIFY FINAL ELEVATIONS. MOISTEN PREPARED AREAS BEFORE PLANTING IF SOIL IS DRY. WATER THOROUGHLY AND ALLOW SURFACE TO DRY BEFORE PLANTING. DO NOT CREATE MUDDY SOIL.

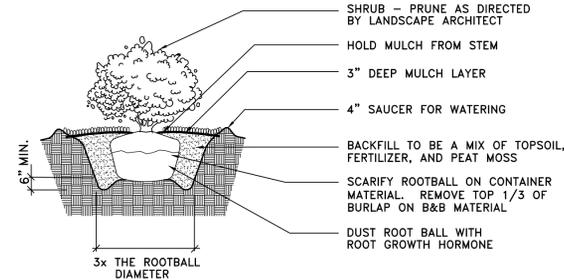
TREES AND SHRUBS:
DURING LANDSCAPE WORK, KEEP ALL PAVEMENT CLEAN AND WORK AREAS IN AN ORDERLY CONDITION. PROTECT LANDSCAPE WORK AND MATERIALS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS AND TRESPASSERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIOD. TREAT, REPAIR, OR REPLACE DAMAGE LANDSCAPE WORK AS DIRECTED BY THE OWNER.

GROUNDCOVERS:
EXCAVATE PITS TO A MINIMUM OF 3 INCHES BELOW, AND TWICE THE ROOT BALL DIAMETER. WATER THOROUGHLY AND TAKE CARE TO ENSURE THAT ROOT GROWN IS AT PROPER GRADE, AS DETAILED.

MULCH:
INSTALL ROCK MULCH OVER POUROUS WEED FABRIC BARRIER. MULCH TO BE SPREAD EVENLY THROUGHOUT THE SITE, IN ALL LANDSCAPE BEDS.

CLEANUP AND PROTECTION:
DURING LANDSCAPE WORK, KEEP ALL PAVEMENT CLEAN AND WORK AREAS IN AN ORDERLY CONDITION. PROTECT LANDSCAPE WORK AND MATERIALS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS AND TRESPASSERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIOD. TREAT, REPAIR, OR REPLACE DAMAGE LANDSCAPE WORK AS DIRECTED BY THE OWNER.

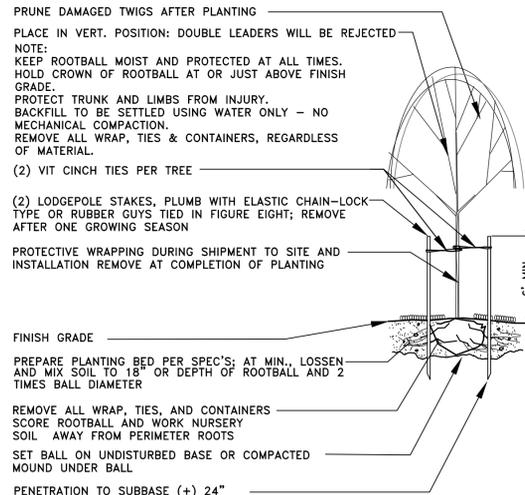
PLANTING MAINTENANCE:
PROVIDE FULL MAINTENANCE BY SKILLED EMPLOYEES OF LANDSCAPE INSTALLERS. CONTRACTOR TO MAINTAIN PLANTINGS THROUGH COMPLETED INSTALLATION, AND UNTIL ACCEPTANCE OF LANDSCAPE INSTALLATION. PLANTING MAINTENANCE TO INCLUDE WATERING, WEEDING, CULTIVATING, TIGHTENING AND REPAIRING OF TREE GUYS, RESETTling PLANTS TO PROPER GRADES OR POSITION, RE-ESTABLISHING SETTLED GRADES; AND MOWING LAWNS WEEKLY AFTER LAWN ESTABLISHMENT. HERBICIDE IS NOT RECOMMENDED FOR ONE YEAR FOLLOWING LANDSCAPE INSTALLATION. INCLUDED IS REPLACEMENT OF DEAD PLANTS AND PLANTS SHOWING LOSS OF 40 PERCENT OR MORE OF CANOPY.



NOTE:
APPLY ADDITIONAL 4 OZ. 8-32-16 FERTILIZER INTO TOP 2" OF PLANTING MIX.
PLANT SHRUB HIGH ENOUGH TO ALLOW POSITIVE DRAINAGE AWAY FROM ROOTBALL. ROUGHEN ALL SURFACES OF PIT.
CUT AND REMOVE BURLAP FROM ROOT BALL

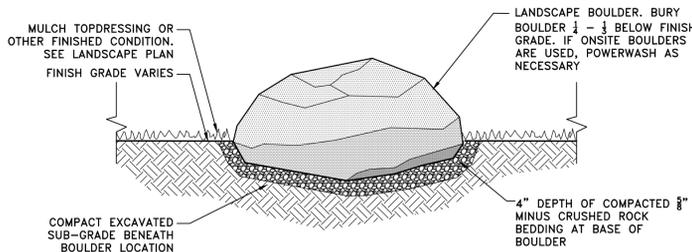
SHRUB PLANTING DETAIL

NOT TO SCALE



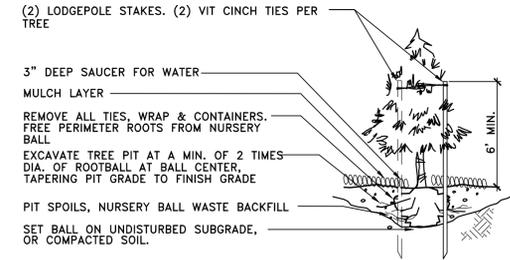
BROADLEAF TREE PLANTING/STAKING DETAIL

NOT TO SCALE



BOULDER IN LANDSCAPE DETAIL

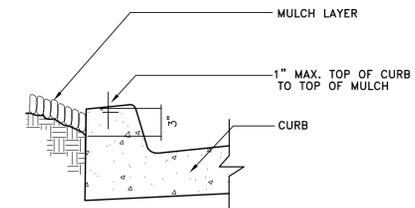
NOT TO SCALE



NOTE:
LIGHT FERTILIZER OVER PLANTING BED AFTER BACKFILL ONLY; NO FERTILIZER IN PLANTING PIT.
WORK PERIMETER ROOTS FREE OF NURSERY BALL. BALL & PIT TO BE COURSELY SCARIFIED.

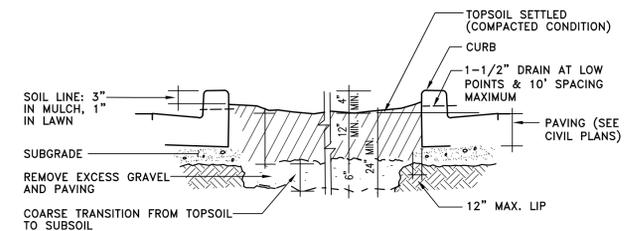
EVERGREEN TREE PLANTING/STAKING DETAIL

NOT TO SCALE



MULCH AT CURB DETAIL

NOT TO SCALE



NOTE:
OVER EXCAVATE PARKING LOT PLANTERS TO LOOSEN COMPACTED SUBBASE

GRADING & PARKING LOT PLANTERS DETAIL

NOT TO SCALE

Revision

No. Date By Ctd. Appr.

Title:
LANDSCAPE NOTES AND DETAILS
QUICK QUACK CAR WASH NO. 26-650
WHITNEY RANCH BLVD & UNIVERSITY AVE.
ROCKLIN, CA 95765

For:
QUICK QUACK CAR WASH
6020 WEST OAKS BLVD SUITE 300
ROCKLIN, CA 95765



Scale: Horizontal 1" = 20', Vertical N/A
Designed: T.C.L. Drawn: T.C.L. Checked: J.M.V. Approved: J.M.V. Date: 12/23/25

Barghausen Consulting Engineers, LLC.
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Kent, WA 98032
425.251.6222
barghausen.com



Job Number: 24035
Sheet: L2

811 Know what's below. Call before you dig. Dial 811

#	KEYNOTE DESCRIPTION
1	UTILITY TRENCH WITH GRATE. SLOPE BOTTOM TO DRAIN. SEE PLUMBING DRAWINGS.
2	TRENCH DRAIN. SEE PLUMBING DRAWINGS.
3	ROOF ACCESS LADDER.
4	FIRE EXTINGUISHER - REFER TO SYMBOL LEGEND (TYPICAL)
5	OVERFLOW DRAIN. SEE PLUMBING DRAWINGS.
6	ELECTRICAL SERVICE SWITCHGEAR. SEE ELECTRICAL DRAWINGS.
7	HOSE BIB IN RECESS BOX. SEE PLUMBING DRAWINGS.
8	WALL MOUNTED CANOPY ABOVE. (TYPICAL)
9	3'-0" X 3'-0" RECLAIM CLEAN-OUT.
10	EMERGENCY STOP BUTTONS. TYPICAL. LOCATE PER QUICK QUACK REPRESENTATIVE.
11	4" FLOOR DRAIN.
12	EMPLOYEE LOUNGE REFRIGERATOR.
13	2'-0" X 5'-6" X 4" TALL CONCRETE "HOUSE CLEANING PAD" FOR MCC PLANEL.
14	ROOF DRAIN LEADER (TYPICAL). SEE PLUMBING PLANS.
15	34" MAXIMUM A.F.F. COUNTER TOP. MILLWORK BY G.C. AND ASSEMBLED ON SITE.
16	RECLAIM VENT PIPES.
17	6" SWEEPS FROM UTILITY TRENCH TO EQUIPMENT ROOM VERIFY WITH OWNER FOR EXACT LOCATION.
18	EMPLOYEE LOCKERS. (TOTAL OF 3 - 1 ADA ACCESSIBLE). CONTRACTOR SUPPLIED AND INSTALLED.
19	COILING ROLL-UP DOOR. (TYPICAL)
20	KNOX BOX - CONTRACTOR TO COORDINATE WITH LOCAL FIRE DEPARTMENT FOR TYPE, SIZE AND PREFERRED LOCATION.
21	3'-4" WIDE X 2'-2" DEEP OPEN FOR ACCESS TO UTILITY TRENCH, 1X1 FIBERGLASS GRATE. CONTRACTOR TO PROVIDE COVER - MATCH UTILITY TRENCH. SEE PLUMBING DRAWINGS.
22	CUT RECESS IN SLAB FOR TIRE SENSOR SWITCH. (TYPICAL) QQ TO CONFIRM LOCATION.
23	32" WIDE X 16" HIGH AIR VENT. SEE EXTERIOR ELEVATIONS.
24	4" CONCRETE FILLED PIPE BOLLARD AT ENTRANCE. (TYPICAL)
25	CONVEYOR TRENCH. SLOPE AT 1/4" PER FOOT TO DRAIN. SEE PLUMBING DRAWINGS.
26	LEVEL LANDING PER CBC 404.2.3 AND TABLE 404.2.3.2 (TYP) - 24" MIN STRIKE EDGE CLEARANCE FOR THE EXTERIOR DOOR LANDING.
27	3/4" X 2 1/2" WIDE RECESS IN SLAB FOR DRAINAGE EXTEND PAST EXIT OPENING 1'-0" MINIMUM.
28	THROUGH WALL OVERFLOW DRAIN. SEE PLUMBING DRAWINGS.

GENERAL NOTES

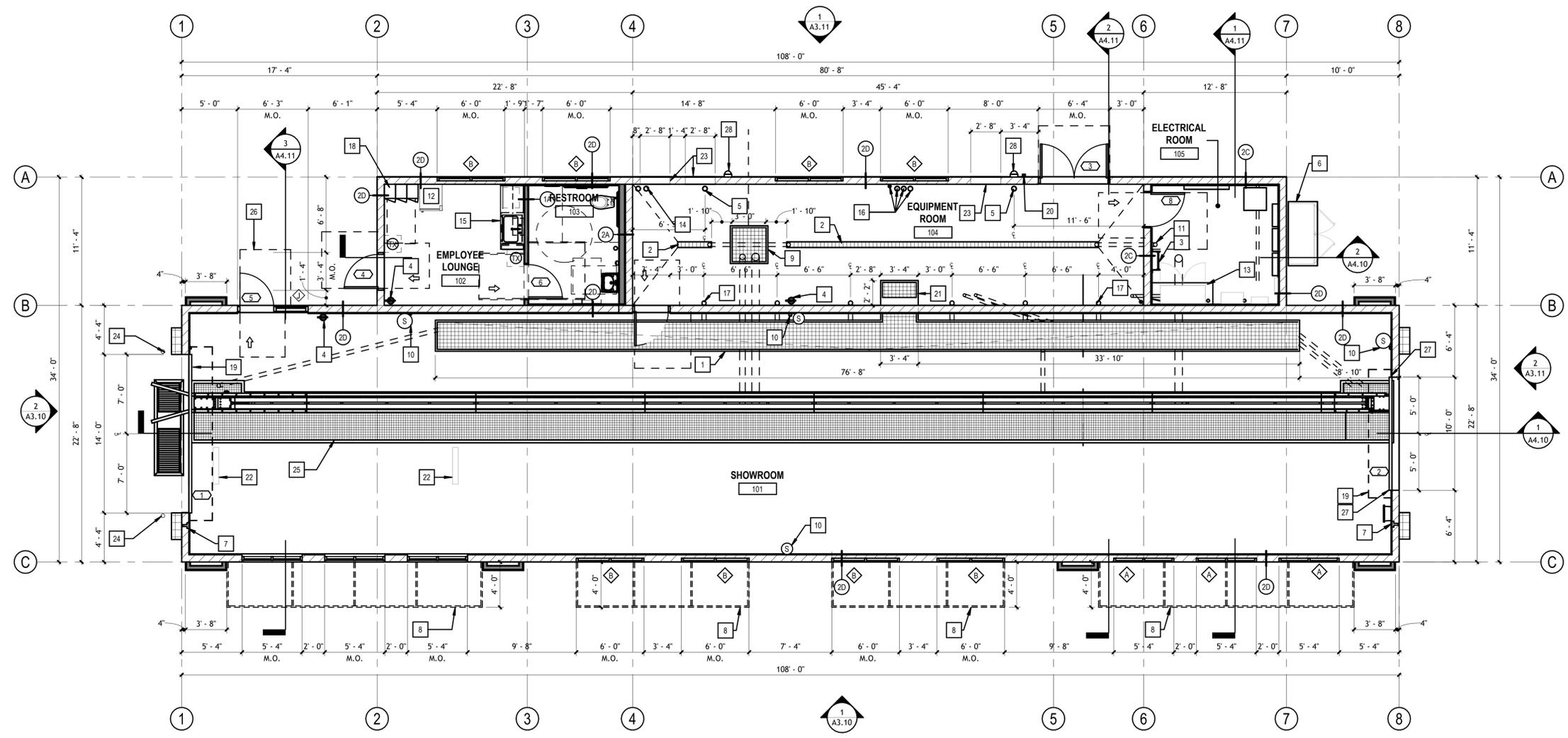
- REFER TO WALL LEGEND FOR PARTITION TYPES.
- THE APPROVED AND STAMPED CONSTRUCTION DOCUMENTS SHALL REMAIN ON SITE AT ALL TIMES
- IT IS THE INTENT THAT THIS PROJECT IS IN COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES AND REGULATIONS. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY UPON THE DISCOVERY OF ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS. ANY WORK IN QUESTION SHALL NOT COMMENCE UNTIL WRITTEN CLARIFICATION IS ISSUED BY THE ARCHITECT.
- UNLESS NOTED OTHERWISE, MASONRY CONTROL JOINTS SHALL BE LOCATED SUCH THAT NO STRAIGHT RUN OF MASONRY WALL EXCEED 24'-0". REFER TO STRUCTURAL DWGS.
- EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE.
- GC TO COORDINATE ALL REQUIRED BLOCKING FOR WALL HUNG EQUIPMENT, SHELVES, LIGHTING, ETC. FOR PROPER INSTALLATION HEIGHTS.
- TACTILE EXITS SIGNS SHALL BE REQUIRED AT THE FOLLOWING LOCATIONS:
 - WHEREVER BASIC CBC PROVISIONS REQUIRE EXIT SIGNS FROM A ROOM OR AREA TO CORRIDOR OR HALLWAY. THE TACTILE SIGN SHALL HAVE THE WORDS, "EXIT ROUTE."
 - EACH GRADE-LEVEL EXIT DOOR. THE TACTILE EXIT SIGN SHALL HAVE THE WORD, "EXIT."

DIMENSIONS NOTES:

- IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, SECTIONS OR DETAILS ON DRAWINGS.
- ALL DIMENSIONS TO OPENINGS ARE TO FACE OF MASONRY UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS TO STUD WALL PARTITIONS ARE TO THE FACE OF STUD UNLESS OTHERWISE NOTED.
- GRID LINES ARE TO FACE OF MASONRY.
- FINISH FLOOR ELEVATIONS NOTED ARE REFERENCED FROM DATUM POINT 0'-0" AT EQUIPMENT ROOM FINISH FLOOR AT DOOR THRESHOLD.
- ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO FABRICATION OF ANY INSTALLATION.
- DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF ARCHITECT IN WRITING.
- ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO FABRICATION OF ANY INSTALLATION.
- DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF ARCHITECT IN WRITING.
- MINIMUM AND MAXIMUM DIMENSIONS AND SLOPES AS REQUIRED FOR DISABLED ACCESS ARE TO TAKE PRECEDENCE IN ALL CASES OF CONFLICT. CODE REQUIRED MINIMUMS AND MAXIMUM ARE TO BE EXCEEDED WHERE POSSIBLE AND WHERE NOTED. NOTIFY ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO CONSTRUCTION.
- DIMENSIONS AND GRAPHIC REPRESENTATIONS OCCURRING ON LARGER DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.

SYMBOL	DESCRIPTION
	CMU WALL CONSTRUCTION - REFER TO FLOOR PLAN A2.11
	METAL STUD WALL @ 16" OC
	6" METAL STUD FRAMING @ 16" OC
	WALL PARTITION INDICATOR
	DETAIL INDICATOR
	DOOR SYMBOL
	WINDOW SYMBOL
	ELEVATION SYMBOLS
	WINDOW
	FIRE EXTINGUISHER: 2A:10B:C; 5 LBS; MODEL # B500 WITH WALL BRACKET 888-16591 BY AMEREX OR APPROVED EQUAL - 75" MAX. TRAVEL DISTANCE TO EXTINGUISHER (CFR 906) - FINAL APPROVAL/LOCATION AS DETERMINED BY FIRE DEPT. INSPECTOR.
	TACTILE EXIT SIGN PER CBC.

KEYNOTES **GENERAL NOTES - PRELIMINARY** **SYMBOL LEGEND**



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QUICK QUACK CAR WASH
QQ 26-650
 WHITNEY RANCH BLVD
 & UNIVERSITY AVE.,
 ROCKLIN, CA 95765

6020 WEST OAK BLVD, SUITE 300, ROCKLIN, CA 95765

REV	DATE	DESCRIPTION

DRAWN BY: MB/GM
 CHECKED BY: MU
 ARCH. PROJECT NO: 24035
 SHEET NAME: FLOOR PLAN
 SHEET NUMBER: A2.11



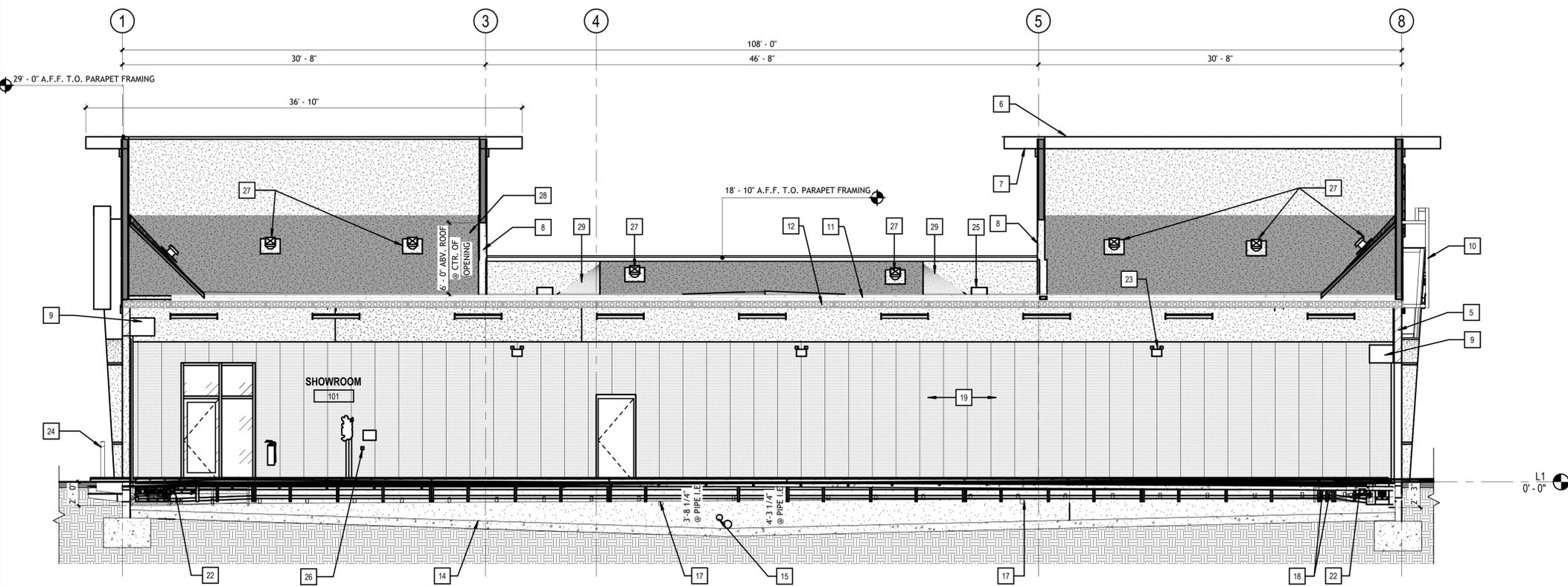
6020 WEST OAK BLVD, SUITE 300, ROCKLIN, CA 95765

QUICK QUACK CAR WASH
QQ 26-650
 WHITNEY RANCH BLVD
 & UNIVERSITY AVE.,
 ROCKLIN, CA 95765

REV	DATE	DESCRIPTION

DRAWN BY: MB
 CHECKED BY: MU
 ARCH. PROJECT NO.: 24035
 SHEET NAME: BUILDING SECTIONS
 SHEET NUMBER: A4.10

- # KEYNOTE DESCRIPTION**
- 1 MECHANICAL UNIT TO BE CONCEALED FROM VIEW BY PARAPET. REFER TO MECHANICAL DRAWINGS FOR LOCATION & QUANTITY.
 - 2 ROOF DRAIN AND OVERFLOW.
 - 3 ROOF ACCESS HATCH AND LADDER.
 - 4 ELECTRICAL SERVICE SWITCHGEAR ON HOUSEKEEPING PAD SECTION
 - 5 CONCRETE MASONRY UNIT WALL CONSTRUCTION R-1 VALUE WITH A U-FACTOR OF 0.366.
 - 6 MTL. FASCIA BEYOND.
 - 7 METAL ROOFING AT PERIMETER OVERHANG.
 - 8 OPENING IN WALL BETWEEN CRICKETS.
 - 9 COILING ROLL-UP DOOR.
 - 10 METAL STUD FRAMED WALL FEATURE WITH CEMENT PLASTER WALL FINISH.
 - 11 TPO MEMBRANE ROOFING (ASTM E108, CLASS A RATED).
 - 12 HOLLOW CORE PRE-CAST PLANK ROOF STRUCTURE.
 - 13 METAL JOIST ROOF FRAMING.
 - 14 CONVEYOR TRENCH. SLOPE TO DRAIN.
 - 15 CONVEYOR TRENCH DRAIN AND OVERFLOW.
 - 16 R-38 ROOF INSULATION WITH A U-FACTOR OF 0.038.
 - 17 4" UTILITY TRENCH DRAIN OUTLET.
 - 18 PIPE CHASE FROM UTILITY TRENCH (TYPICAL).
 - 19 12" HIGH PVC WALL PANEL SYSTEM OVER SEALED CMU SECTION.
 - 20 3'-0" X 3'-0" TRASH PIT CLEAN-OUT.
 - 21 CEILING EXHAUST FAN.
 - 22 CONVEYOR MECHANISM PER EQUIPMENT SCHEDULE (TYPICAL).
 - 23 WALL MOUNTED EMERGENCY LIGHT.
 - 24 4" PIPE BOLLARD FILLED WITH CONCRETE.
 - 25 (16"W X 8"H) THROUGH WALL OVERFLOW SCUPPER. SPILL TO ROOF BELOW.
 - 26 EMERGENCY STOP BUTTONS, TYPICAL. LOCATE PER QUICK QUACK REPRESENTATIVE.
 - 27 ROOF VENT - FLASHVENT OR APPROVED EQUAL.
 - 28 ROOF CRICKET. 1/2" ROOF SHEATHING OVER METAL STUD DIAGONAL BRACING SLOPE AT ONE TO ONE.
 - 29 TAPERED RIGID INSULATION CRICKET WITH 1/4" ISOLATION BOARD (TYP).



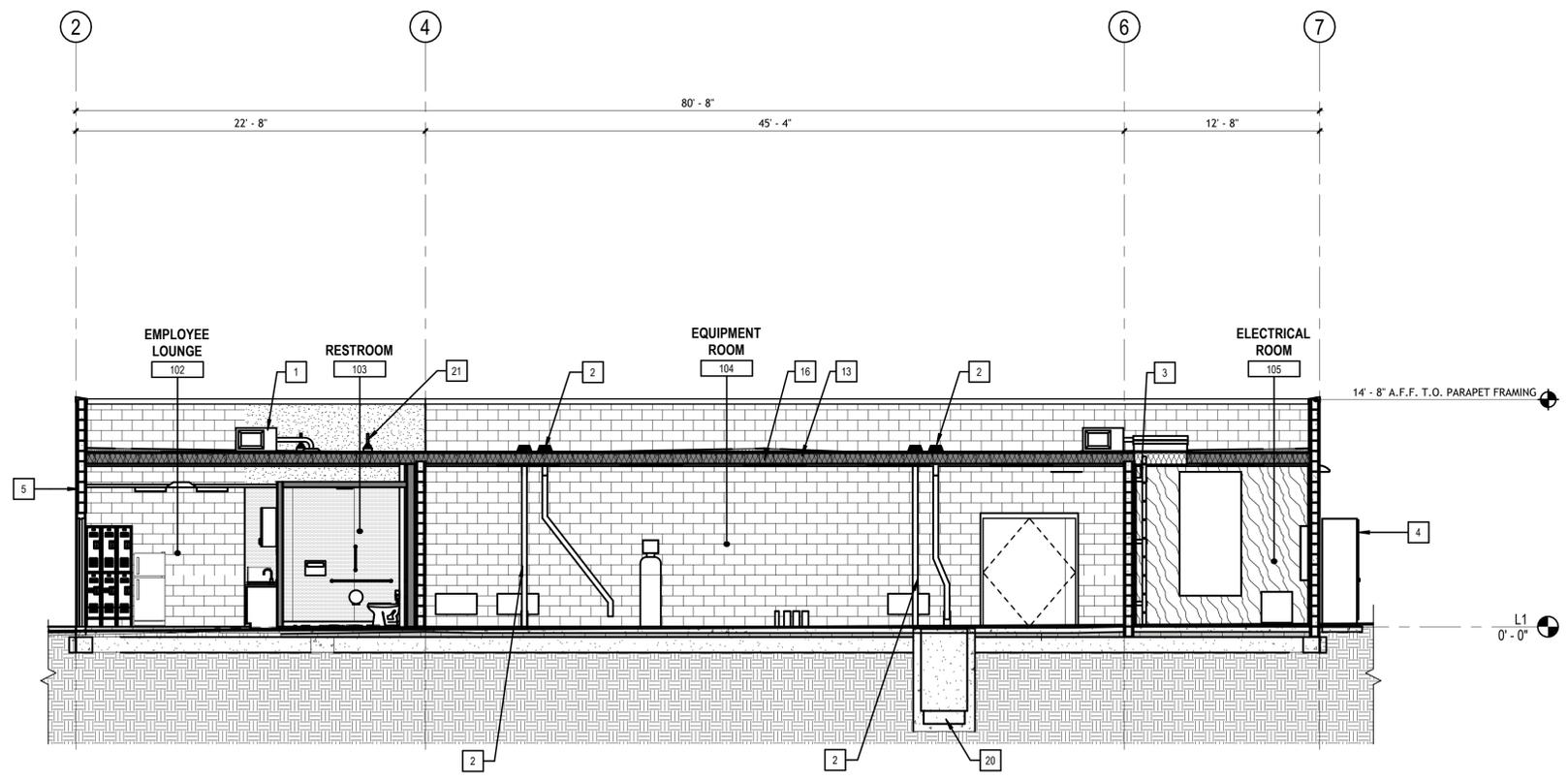
BUILDING SECTION 1

3/16" = 1'-0"

1

KEYNOTES

- A. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL DETAILS AND DESIGN.
 B. EQUIPMENT NOT SHOWN IN SECTIONS FOR CLARITY. REFER TO A2.14a FOR EQUIPMENT PLAN.



BUILDING SECTION 2

3/16" = 1'-0"

2

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