



New Project Information

The City of Rocklin is processing the below referenced application(s) for project approval. The request is now being reviewed for compliance with the requirements and regulations of relevant City, State, and Federal agencies, and Utility providers. Once any issues have been resolved a hearing date will be set and public notice provided to alert neighbors and interested parties of the hearing date, availability of project information, the opportunity to comment on the project.

Application Received: October 9, 2025

Project Name and Requested Approvals:

Rocklin Public Market

DESIGN REVIEW, DR2025-0008
CONDITIONAL USE PERMIT, U2025-0004
ENVIRONMENTAL, ENV2025-0014

Staff Description of Project:

The Rocklin Public Market is a request for a Design Review and Conditional Use Permit to construct and operate a mixed-use center within the Business Attraction, Retention, and Revitalization (BARRO) Overlay Zone. The project would consist of four buildings and a central plaza on a site overlooking Quarry Park. The development includes a two-story retail building, a two-floor market hall, a three-story mixed-use building with 20 residential units above ground-floor commercial space, and a two-story brewery and restaurant. The project also includes a new parking lot designed to function together with nearby City-owned parking areas.

Location:

5255 Pacific Street; Assessor's Parcel Number (APN) 010-170-026

Land Use Designation(s)/Zoning:

The property is designated Mixed Use (MU) in the Rocklin General Plan. The property is zoned C-4 within the BARRO Overlay Zone

This project ___ **does** / **XX does not** require modification or change of the land use designations and regulations currently applicable to the project site.

Compliance with the California Environmental Quality Act:

A preliminary review of this project pursuant to the California Environmental Quality Act (CEQA) has tentatively identified a Categorical Exemption as the appropriate level of environmental review for this project.

Applicant & Property Owner:

The owner is the Successor Agency to the Redevelopment Agency of the City of Rocklin. The applicant is G3 Concepts, Inc. (Taylor Judkins).

Attached Information:

For additional detail, please visit the following link: <https://www.rocklin.ca.us/post/>



PERSPECTIVE VIEW - VIEW LOOKING SOUTHEAST FROM PACIFIC STREET

ROCKLIN PUBLIC MARKET

VICINITY MAP



SITE

ZONING MAP



PROJECT DIRECTORY

OWNER: TAYLOR JUDKINS, G3 REAL ESTATE
3845 S HIGUERA ST, SUITE 210
SAN LUIS OBISPO, CA 93401

ARCHITECT: RRM DESIGN GROUP
3765 S. HIGUERA STREET, SUITE 102
SAN LUIS OBISPO, CA 93401
CONTACT: SCOTT MARTIN
PHONE: (805)-543-1794
SAMARTIN@RRMDESIGN.COM

LANDSCAPE: RRM DESIGN GROUP
3765 S. HIGUERA STREET, SUITE 102
SAN LUIS OBISPO, CA 93401
CONTACT: CHRIS DUFOUR
PHONE: (805)-903-1241
CBDFOUR@RRMDESIGN.COM

CIVIL ENGINEER: CARTWRIGHT NOR CAL, INC.
3010 LAVA RIDGE C, SUITE 160
ROSEVILLE, CA 95661
CONTACT: MONICA WUEBKER-JARWIN
PHONE: (916)-978-4001
MONICAW@CARTWRIGHTENGINEERS.COM

PROJECT ADDRESS: PACIFIC STREET, ROCKLIN, CA 95677
APN: 010-170-026

PROJECT DESCRIPTION

ROCKLIN PUBLIC MARKET IS THE PROPOSED DEVELOPMENT OF 4 BUILDINGS AND A CENTRAL PLAZA, ON A SITE OVERLOOKING QUARRY PARK. THE BUILDINGS INCLUDE A 2-STORY RETAIL BUILDING, A 2-FLOOR MARKET HALL, A 3-STORY MIXED-USE BUILDING COMPOSED OF 2 FLOORS OF RESIDENTIAL UNITS OVER GROUND-FLOOR COMMERCIAL, AND A 2-STORY BREWERY AND RESTAURANT. THE PROJECT PROPOSES ITS OWN PARKING LOT, AND ALSO INCLUDES A LAND SWAP PROPOSAL TO SHARE THE ADJACENT QUARRY PARK PARKING LOT WITH THIS PROJECT.

OF NOTE, A HEIGHT ALLOWANCE PERMIT ALLOWS THE MAXIMUM TO BE INCREASED UP TO FIFTY FEET, AND THE MAXIMUM NUMBER OF STORIES TO BE INCREASED UP TO FOUR.

PROJECT STATISTICS

ZONING: PD-C-4
PARCEL SIZE: 2.9 ACRES (129,850 SF)

BUILDING GROSS AREA: 66,560 SF
GROUND FLOOR: 38,200 SF
SECOND FLOOR: 28,360 SF
THIRD FLOOR: 11,365 SF

PROPOSED COVERAGE: 29% (GROUND FLOOR/PARCEL SIZE)

LANDSCAPE AREA: 27,044 SF
IMPERVIOUS SURFACE: 106,689 SF
TOTAL AREA CALCS INCLUDING EXISTING PARKING LOT: 133,733 SF

MAX. ALLOWED HEIGHT: 50 FT. (PER ROCKLIN MUNICIPAL CODE 17.50.040)
MAX. PROPOSED HEIGHT: 50 FT.

YARD SETBACKS	REQUIRED	PROPOSED
FRONT	5 FT	5FT
SIDE	0 FT	0FT
REAR	10 FT	10FT

OCCUPANCY TYPES & AREA:

RESIDENTIAL	22,730 SF & 20 UNITS
GENERAL RETAIL	28,950SF
RESTAURANT	10,308 SF
MARKET	9,950 SF & UNIT COUNT

RESIDENTIAL STATISTICS

RESIDENTIAL UNITS

1-BED	8
2-BED	12
TOTAL RESIDENTIAL UNITS	20

COMMERCIAL STATISTICS

BUILDING	FLOOR	AREA (SF)
BUILDING 1	GROUND FLOOR	8,140 SF
	SECOND FLOOR	8,140 SF
BUILDING 2	GROUND FLOOR	9,950 SF
	SECOND FLOOR	9,950 SF
BUILDING 3	GROUND FLOOR	12,670 SF
	SECOND FLOOR	11,365 SF
	THIRD FLOOR	11,365 SF
BUILDING 4	GROUND FLOOR	6,900 SF
	SECOND FLOOR	3,408 SF

PARKING

AUTO PARKING	CALCULATION	SPACE COUNT
COMMERCIAL PARKING REQUIRED:	C-4 1 SPACE PER 250 SQFT GROSS FLOOR AREA (PER ROCKLIN MUNICIPAL CODE 17.50.090)	266
RESIDENTIAL PARKING REQUIRED*:	1.5 SPACES PER 1-BED UNIT 2 SPACES PER 2+ BED UNIT +25% FOR VISITOR PARKING (PER ROCKLIN MUNICIPAL CODE 17.66.020)	12 24 9
TOTAL RESIDENTIAL TOTAL REQUIRED FOR PROPOSED:		48 314
PARKING PROVIDED	STANDARD SPACES ACCESSIBLE SPACES COMPACT SPACES GARAGE NON-ACC. SPACES	52 4 25 4 63
		144 TOTAL

***ROCKLIN MUNICIPAL CODE 17.75.070.C.2, SECTION C ALLOWS OFF-STREET PARKING FOR NEW DEVELOPMENTS IN THE BARRO ZONE DISTRICT. COMMERCIAL USES MAY PROPOSE TO TRANSFER UP TO THEIR ENTIRE ON-SITE PARKING OBLIGATION TO PUBLIC PARKING LOTS SO LONG AS IT MAINTAINS ACCESSIBLE PARKING ON THE PROPERTY.**

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L1	LANDSCAPE SITE PLAN CONCEPT
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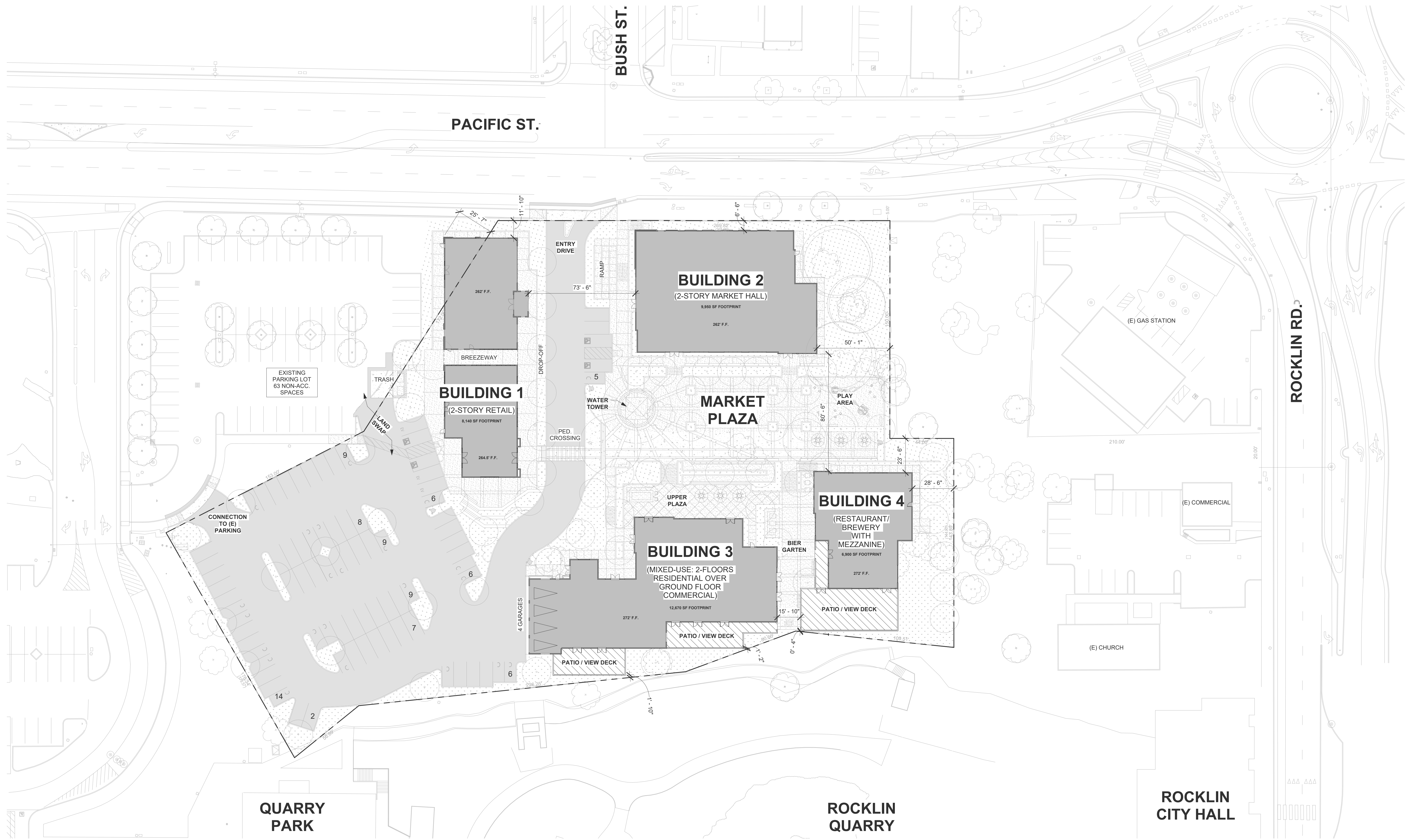
TITLE SHEET

ROCKLIN PUBLIC MARKET

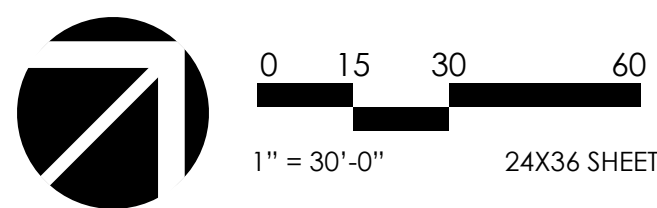
20 JUNE 2025

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T1



1 PROPOSED SITE PLAN
 1" = 30'-0" (24 X 36 SHEET)

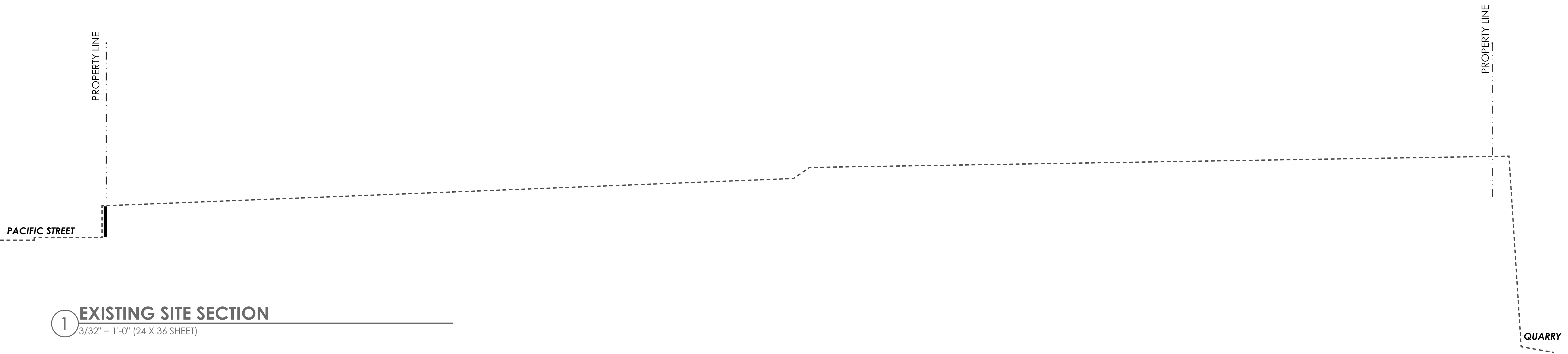


PROPOSED SITE PLAN
ROCKLIN PUBLIC MARKET

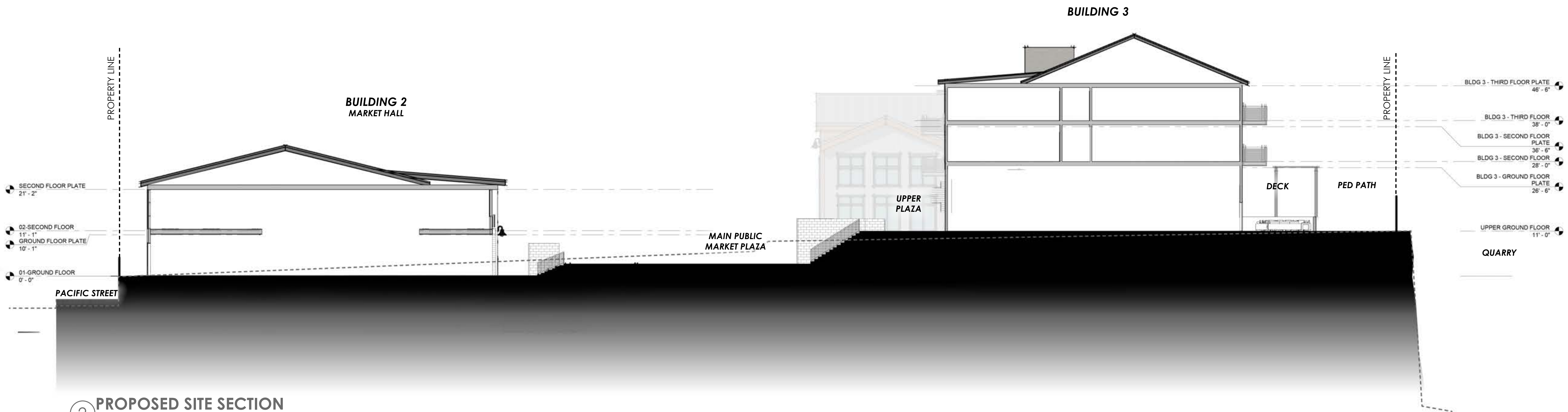
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A2



1 EXISTING SITE SECTION
 3/32" = 1'-0" (24 X 36 SHEET)



2 PROPOSED SITE SECTION
 3/32" = 1'-0" (24 X 36 SHEET)

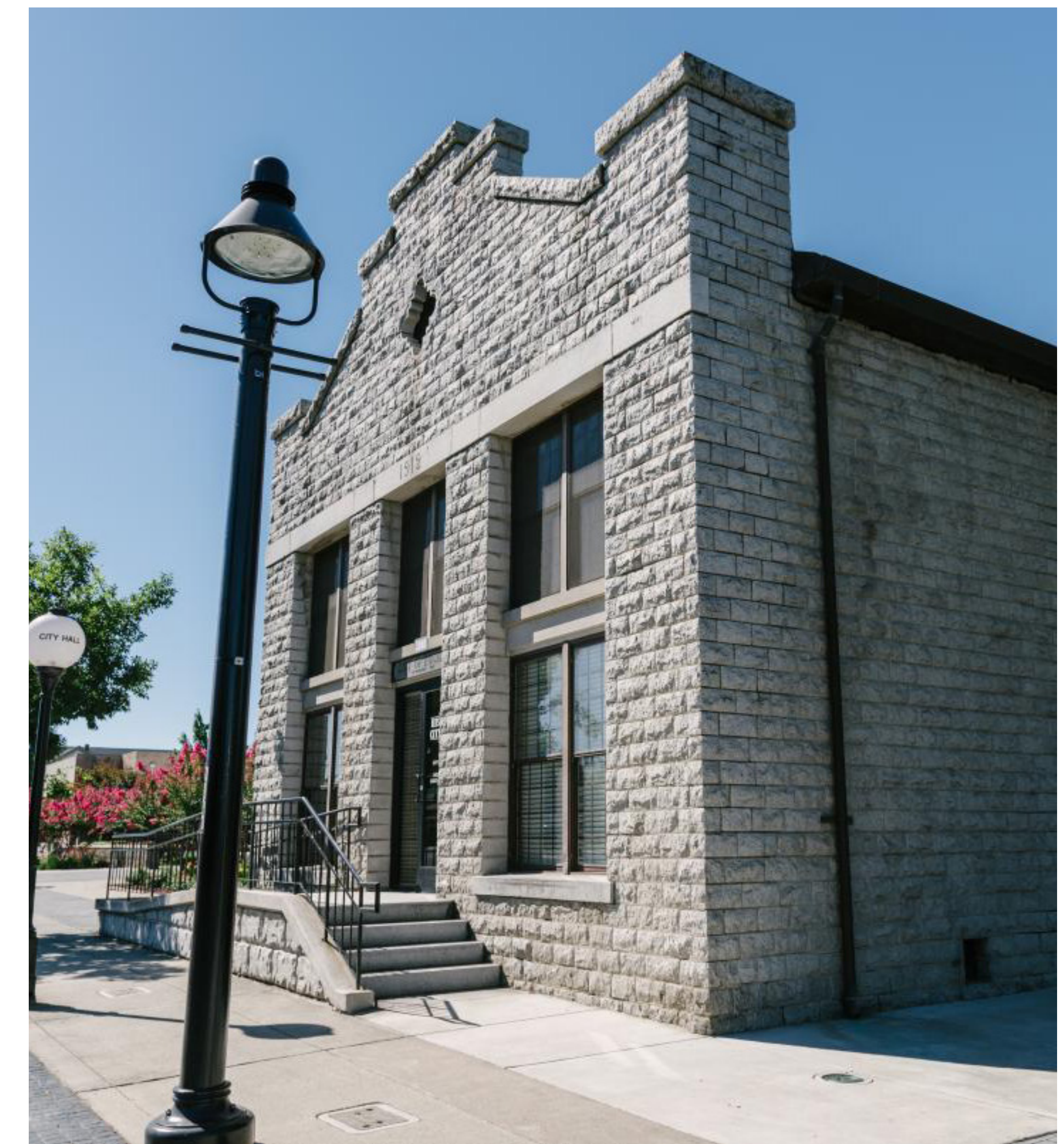




QUARRY DISTRICT

VISION:

THE DISTRICT IS A SAFE, WALKABLE, AND INVITING VILLAGE: A GATHERING PLACE ANCHORED BY QUARRY PARK. THE ARCHITECTURE IS RUSTIC AND VERNACULAR FEATURING GRANITE, EXPOSED WOOD ELEMENTS, AND REMINISCENT OF ITS MINING HERITAGE. THE VILLAGE IS CHARMING AND RESPECTFUL TO THE COMMUNITY'S HISTORY ROOTS YET ALSO VIBRANT AND BOLD MEETING CITIZEN'S EXPECTATIONS FOR HOUSING, RETAIL SHOPPING, AND ENTERTAINMENT.



IMAGES BY OTHERS



EXISTING CITY PHOTOS
ROCKLIN PUBLIC MARKET

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IMAGES BY OTHERS



INSPIRATION PHOTOS
ROCKLIN PUBLIC MARKET

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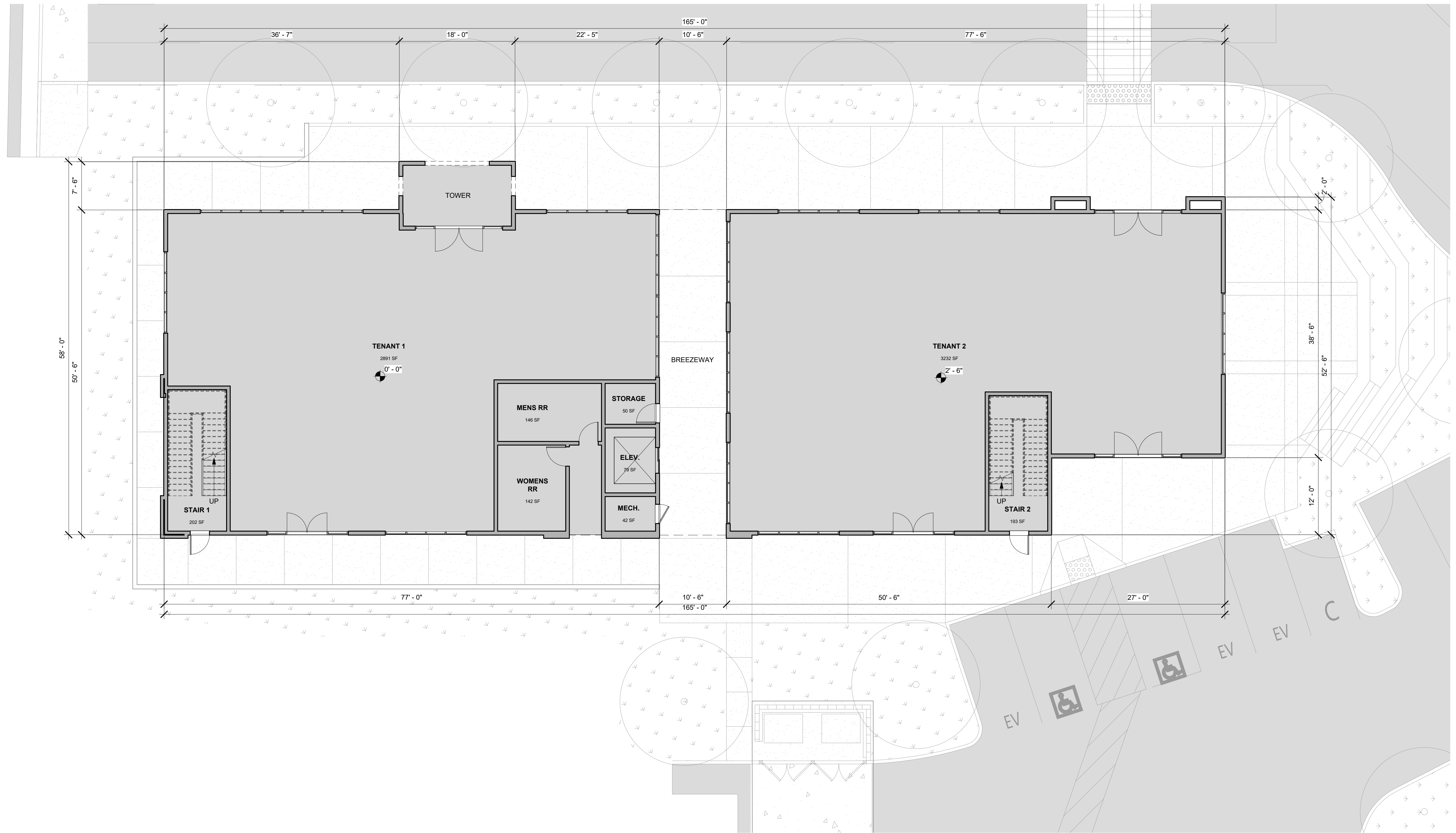


BUILDING 1 (RETAIL) - PERSPECTIVE
ROCKLIN PUBLIC MARKET

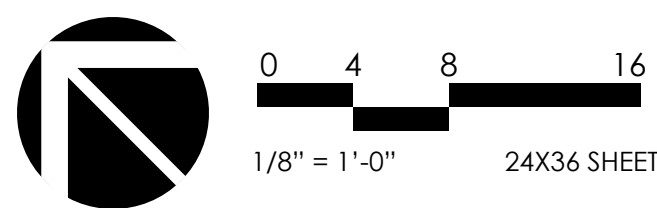
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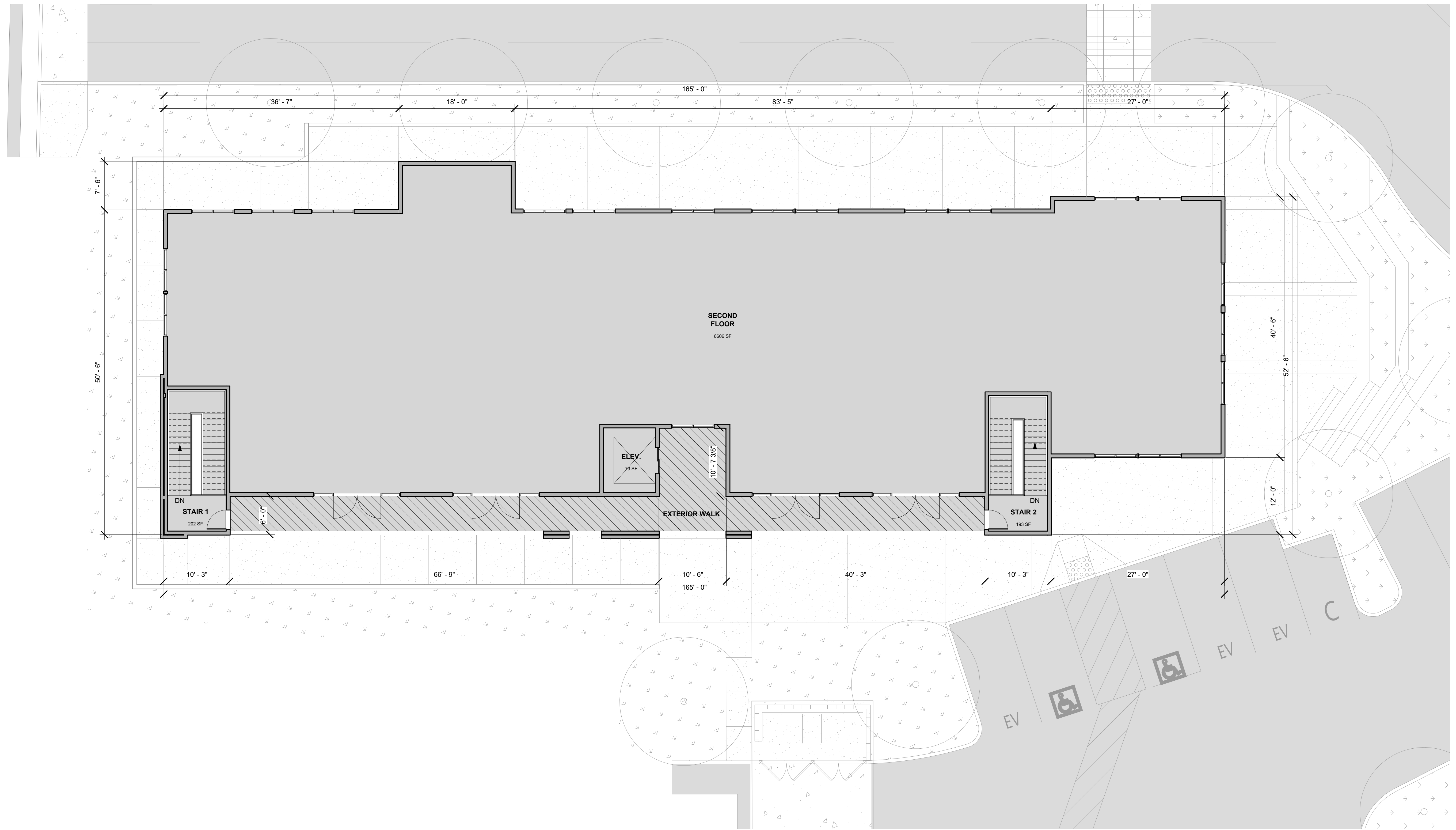
1 **GROUND FLOOR PLAN**
 1/8" = 1'-0" (24 X 36 SHEET)



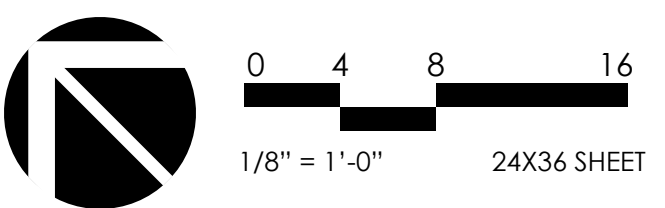
BUILDING 1 (RETAIL) - GROUND FLOOR PLAN
ROCKLIN PUBLIC MARKET

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2 SECOND FLOOR PLAN
 1/8" = 1'-0" (24 X 36 SHEET)



BUILDING 1 (RETAIL) - SECOND FLOOR PLAN
ROCKLIN PUBLIC MARKET

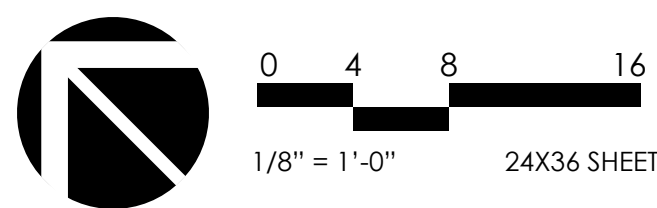
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3 ROOF PLAN
1/8" = 1'-0" (24 X 36 SHEET)



BUILDING 1 (RETAIL) - ROOF PLAN
ROCKLIN PUBLIC MARKET

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3 **SOUTHEAST ELEVATION**
1/8" = 1'-0" (24 X 36 SHEET)



1 **NORTHEAST ELEVATION**
1/8" = 1'-0" (24 X 36 SHEET)

MAX HEIGHT
45'-8"
SECOND FLOOR
16'-5"
UPPER GROUND LEVEL
2'-6" FF
LOWER GROUND LEVEL
0'-0" FF



4 **NORTHWEST ELEVATION**
1/8" = 1'-0" (24 X 36 SHEET)



2 **SOUTHWEST ELEVATION**
1/8" = 1'-0" (24 X 36 SHEET)

MAX HEIGHT
45'-8"
SECOND FLOOR
16'-5"
UPPER GROUND LEVEL
2'-6" FF
LOWER GROUND LEVEL
0'-0" FF

0 4 8 16
1/8" = 1'-0" 24X36 SHEET



BUILDING 1 (RETAIL) - ELEVATIONS
ROCKLIN PUBLIC MARKET

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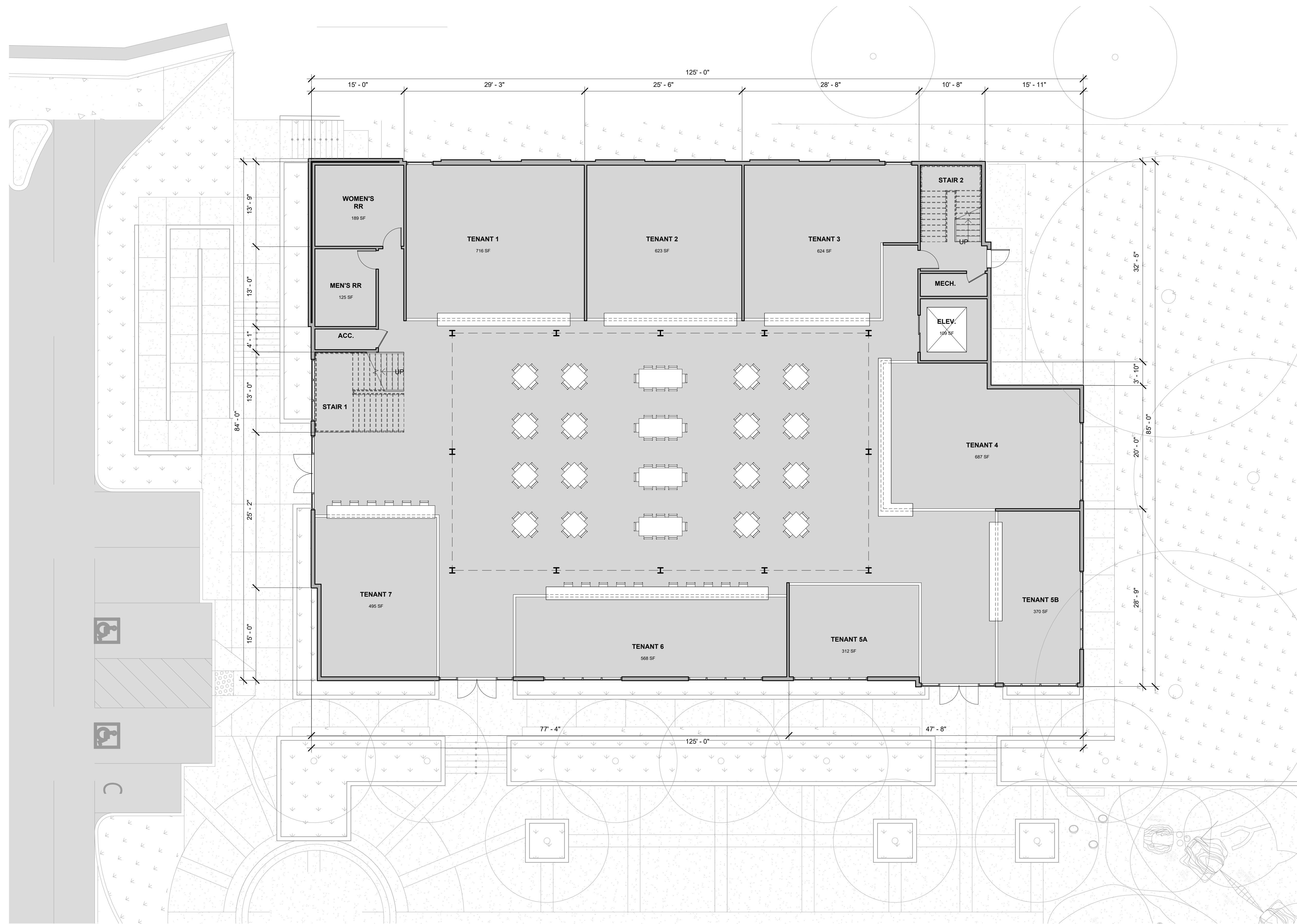


BUILDING 2 (MARKET HALL) - PERSPECTIVE
ROCKLIN PUBLIC MARKET

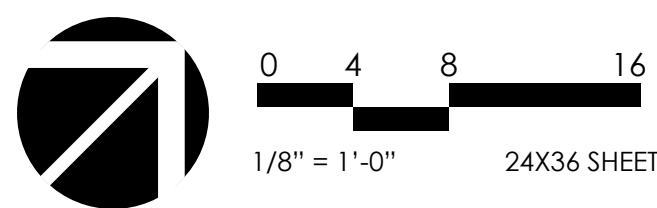
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1 **GROUND FLOOR PLAN**
 1/8" = 1'-0" (24 X 36 SHEET)

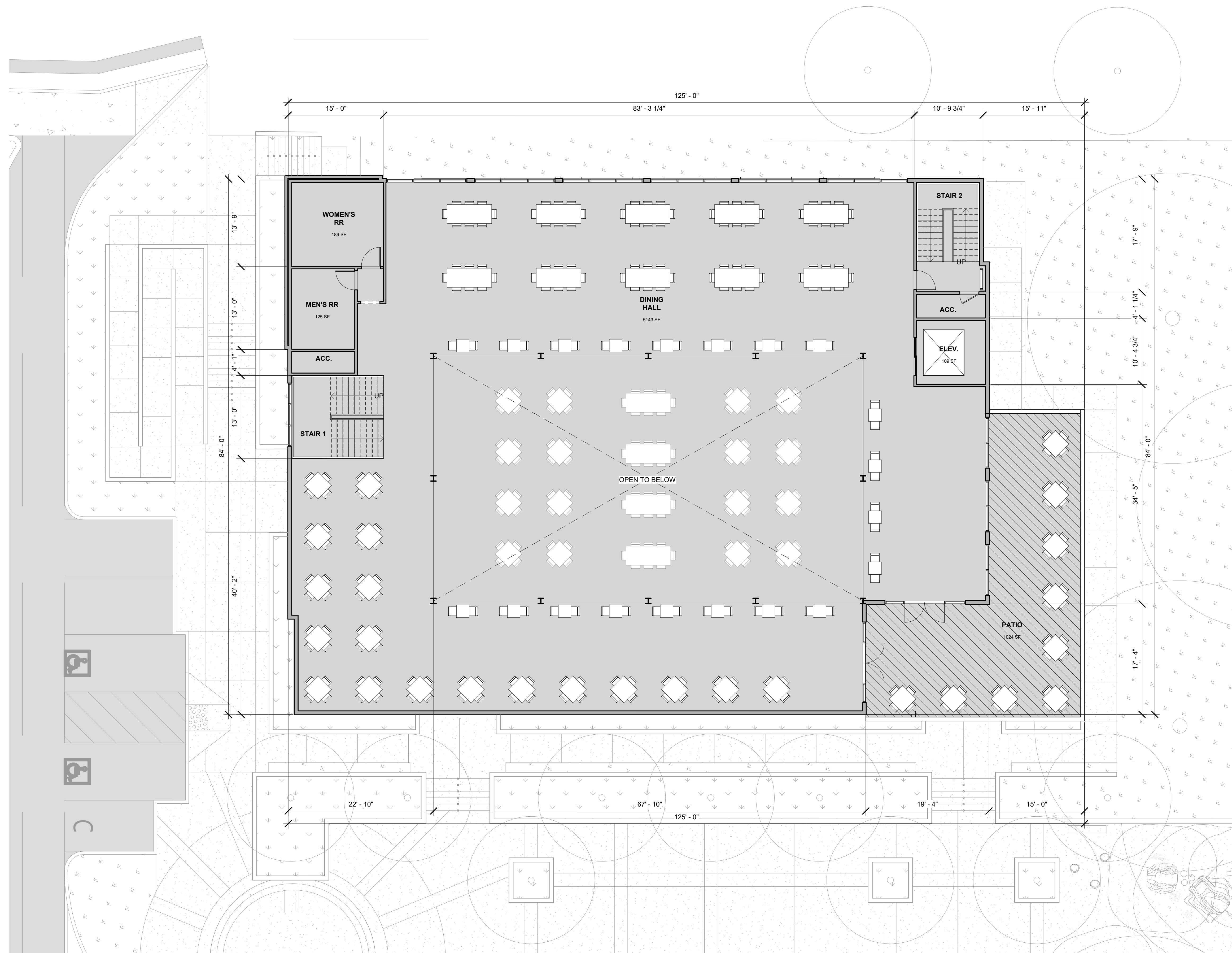


BUILDING 2 (MARKET HALL) - GROUND FLOOR PLAN
ROCKLIN PUBLIC MARKET

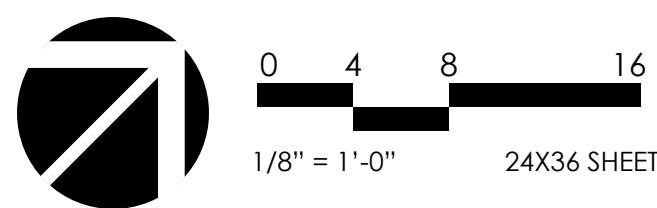
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2 SECOND FLOOR PLAN
 1/8" = 1'-0" (24 X 36 SHEET)



BUILDING 2 (MARKET HALL) - SECOND FLOOR PLAN
ROCKLIN PUBLIC MARKET

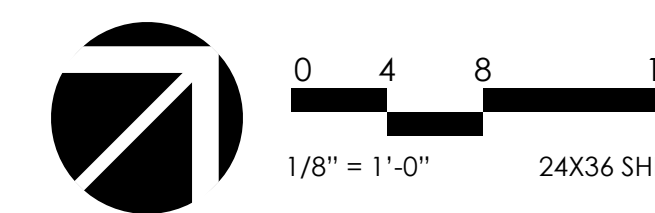
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3 ROOF PLAN
1/8" = 1'-0" (24 X 36 SHEET)





3 **NORTHEAST ELEVATION**
1/8" = 1'-0" (24 X 36 SHEET)



1 **NORTHWEST ELEVATION**
1/8" = 1'-0" (24 X 36 SHEET)



4 **SOUTHWEST ELEVATION**
1/8" = 1'-0" (24 X 36 SHEET)



2 **SOUTHEAST ELEVATION**
1/8" = 1'-0" (24 X 36 SHEET)



BUILDING 2 (MARKET HALL) - ELEVATIONS
ROCKLIN PUBLIC MARKET

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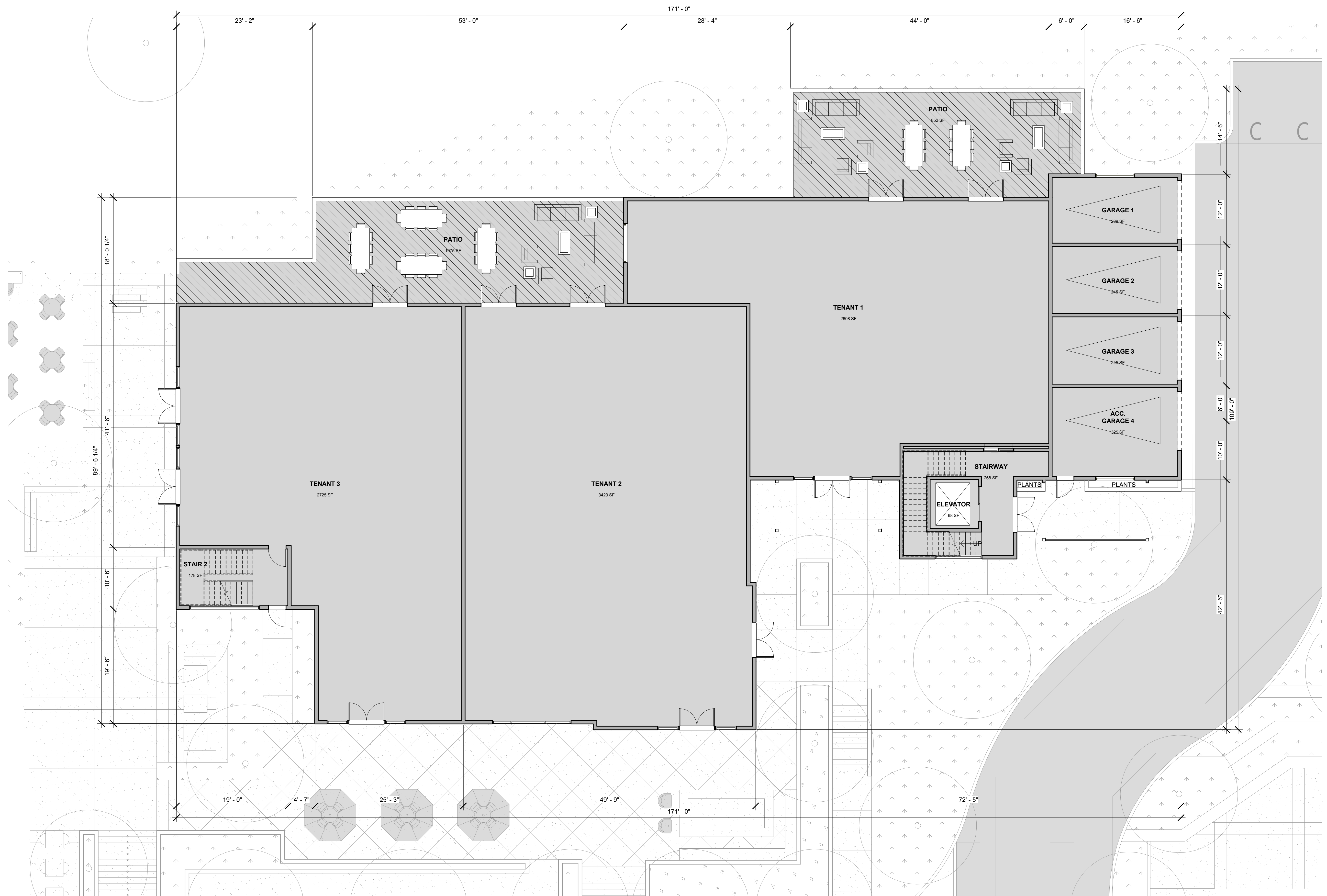


BUILDING 3 (MIXED-USE) - PERSPECTIVE
ROCKLIN PUBLIC MARKET

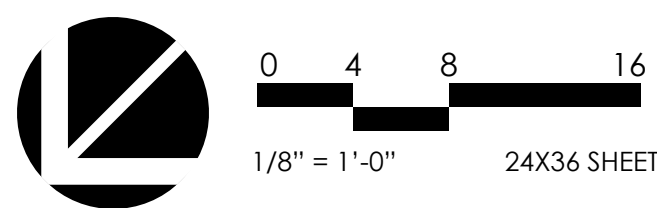
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1 **GROUND FLOOR PLAN**
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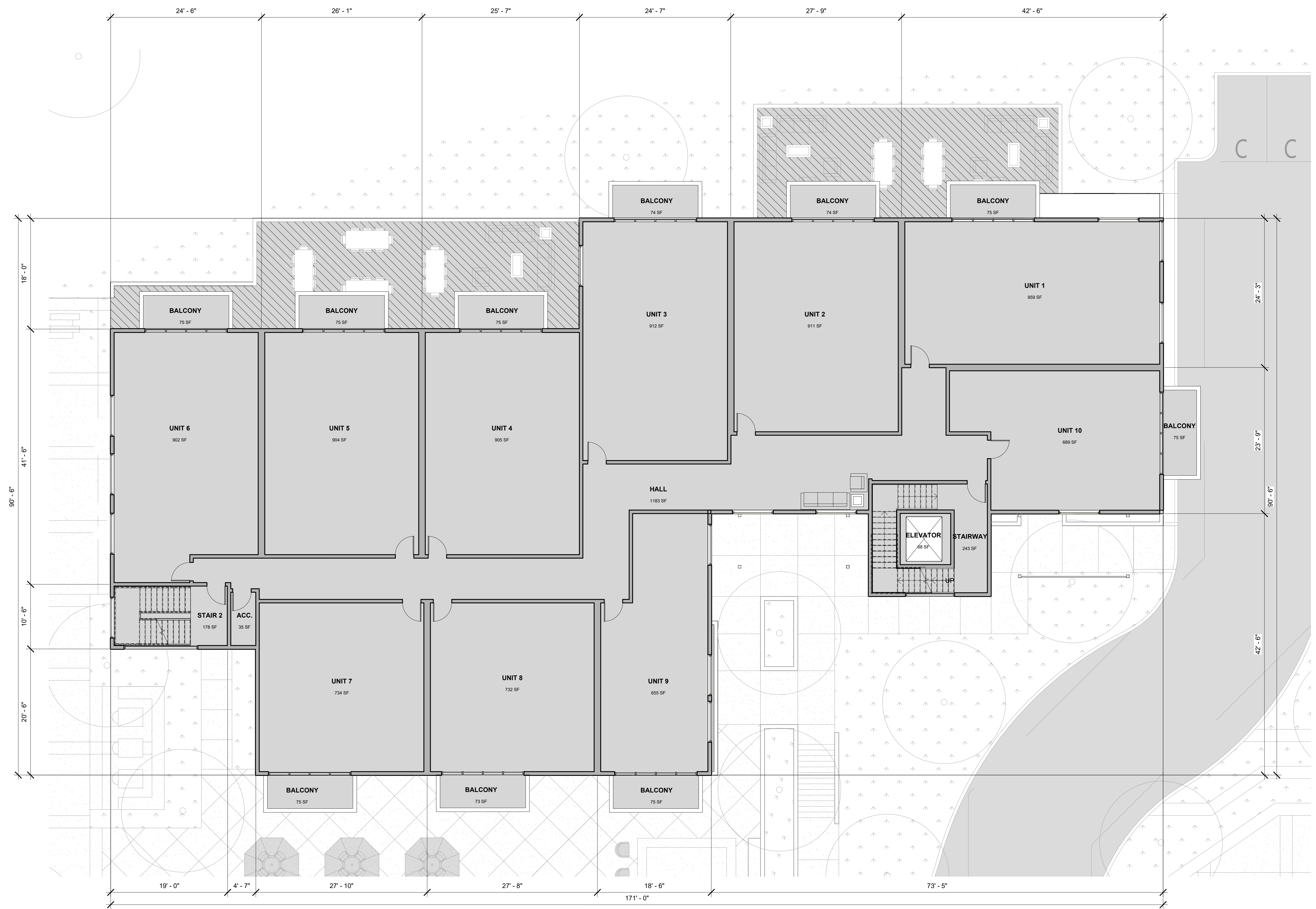


BUILDING 3 (MIXED-USE) - GROUND FLOOR PLAN
ROCKLIN PUBLIC MARKET

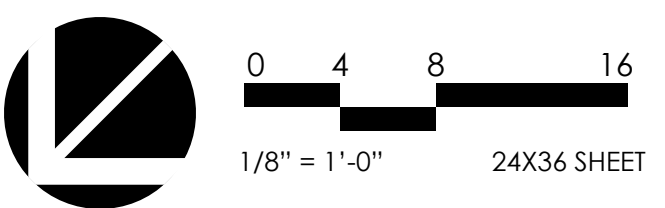
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2 SECOND FLOOR PLAN
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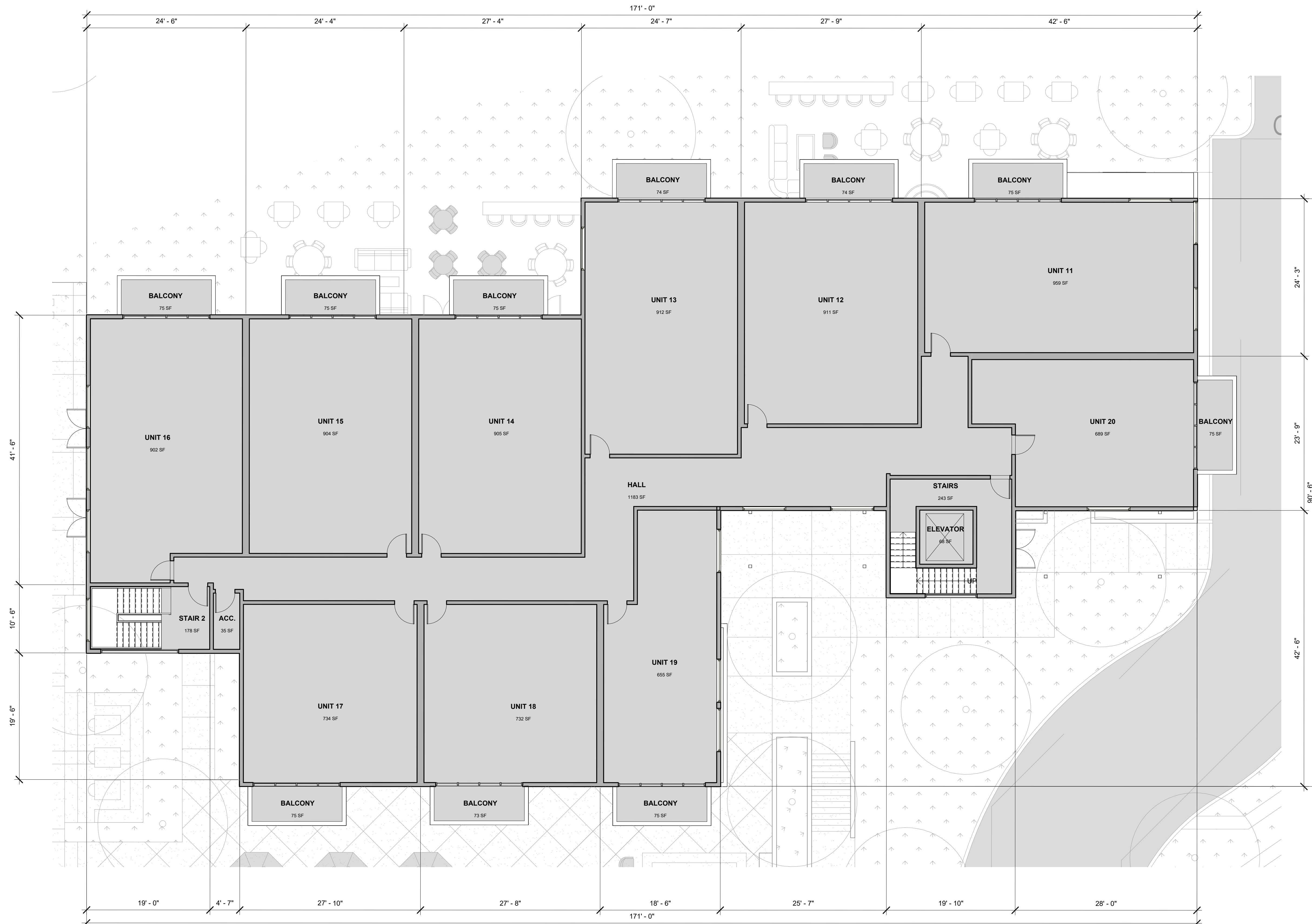


BUILDING 3 (MIXED-USE) - SECOND FLOOR PLAN
ROCKLIN PUBLIC MARKET

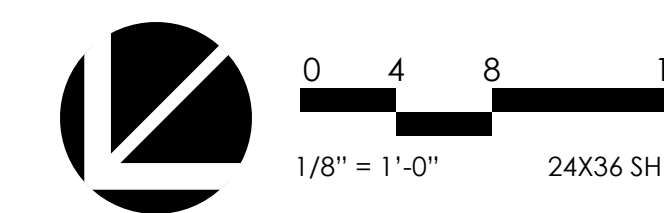
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3 THIRD FLOOR PLAN
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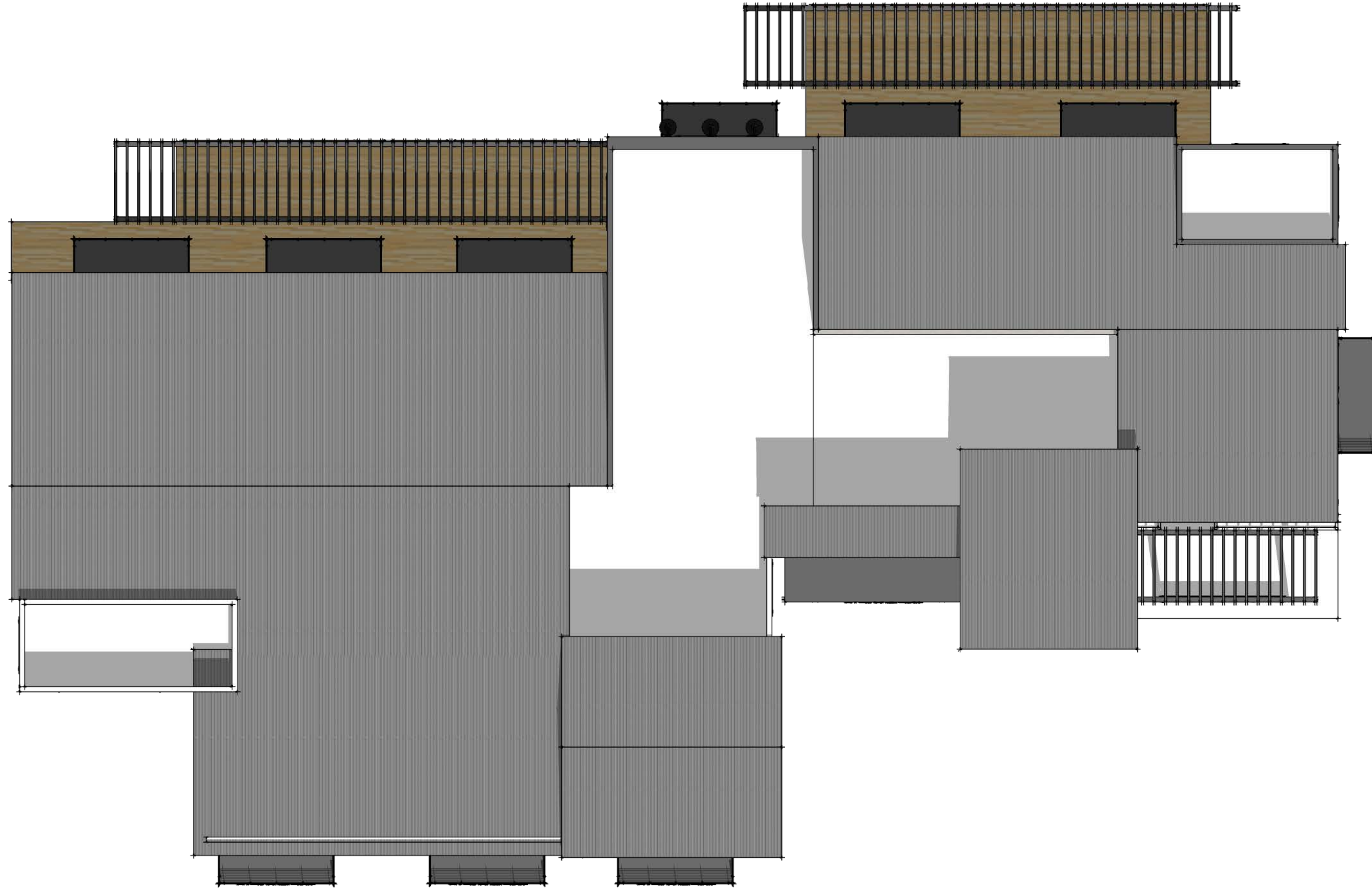


BUILDING 3 (MIXED-USE) - THIRD FLOOR PLAN
ROCKLIN PUBLIC MARKET

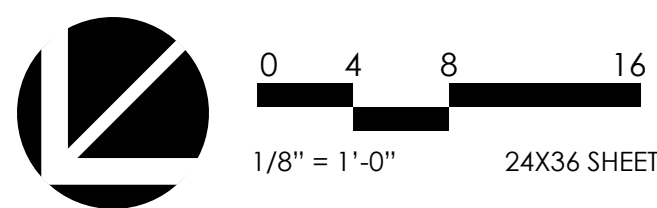
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4 ROOF PLAN
1/8" = 1'-0" (24 X 36 SHEET)



BUILDING 3 (MIXED-USE) - ROOF PLAN
ROCKLIN PUBLIC MARKET

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1 **NORTHWEST ELEVATION**
 1/8" = 1'-0" (24 X 36 SHEET)



2 **NORTHEAST ELEVATION**
 1/8" = 1'-0" (24 X 36 SHEET)



BUILDING 3 (MIXED-USE) - ELEVATIONS
ROCKLIN PUBLIC MARKET

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1 **SOUTHEAST ELEVATION**

1/8" = 1'-0" (24 X 36 SHEET)



2 **SOUTHWEST ELEVATION**

1/8" = 1'-0" (24 X 36 SHEET)



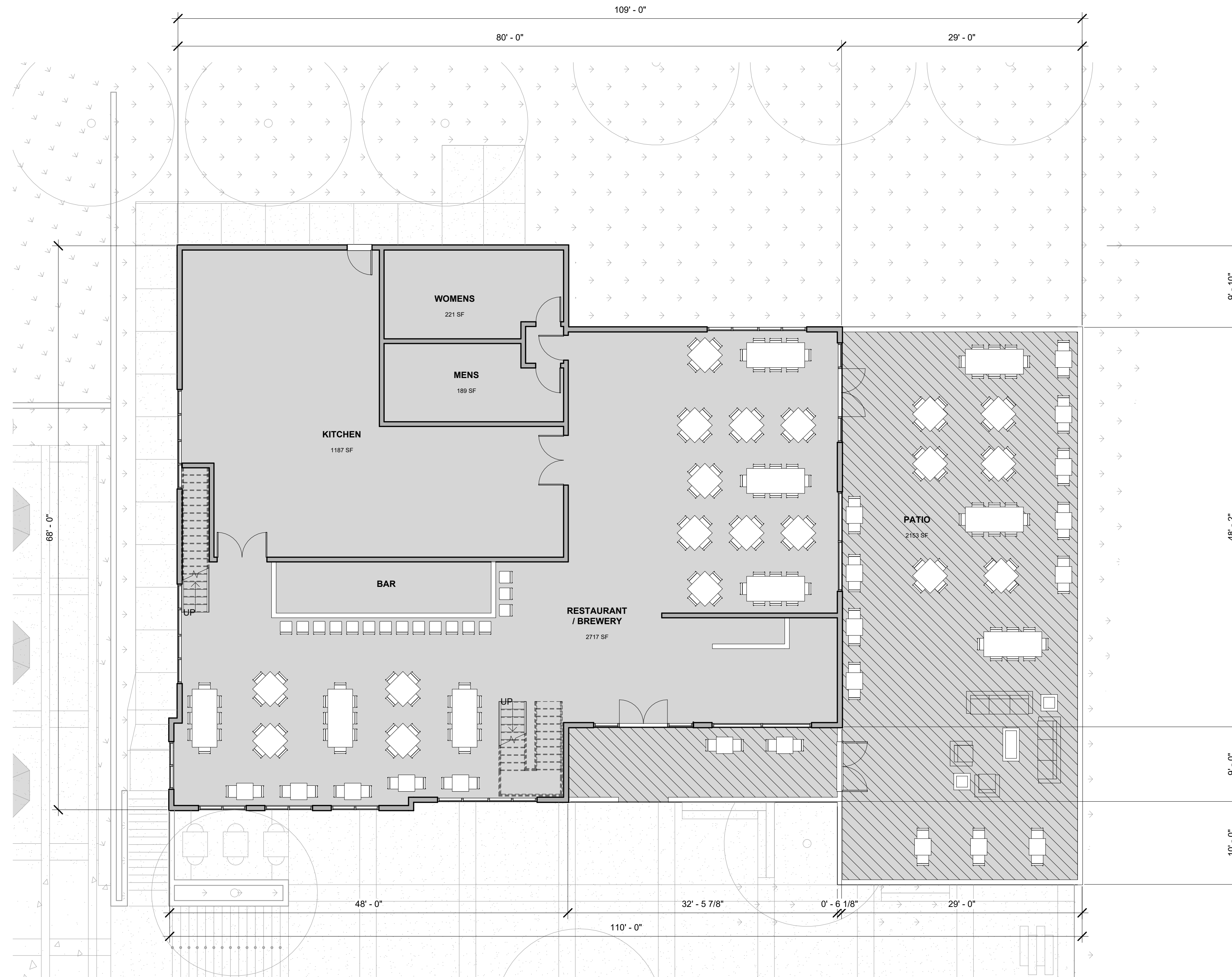
BUILDING 3 (MIXED-USE) - ELEVATIONS
ROCKLIN PUBLIC MARKET

20 JUNE 2025

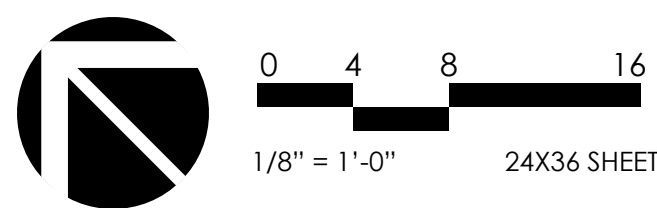
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1 **GROUND FLOOR PLAN**
 1/8" = 1'-0" (24 X 36 SHEET)

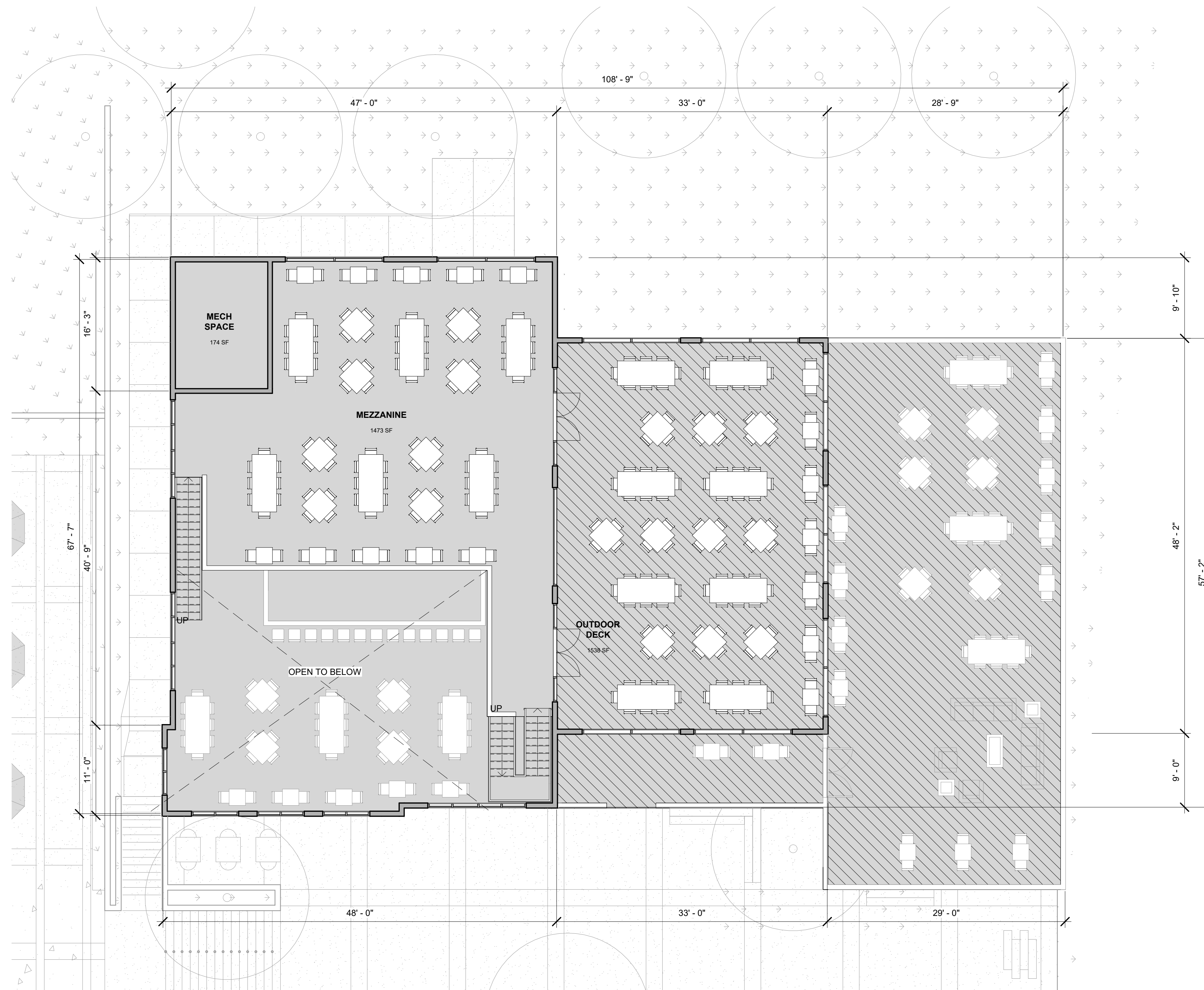


BUILDING 4 (BREWERY) - GROUND FLOOR PLAN
ROCKLIN PUBLIC MARKET

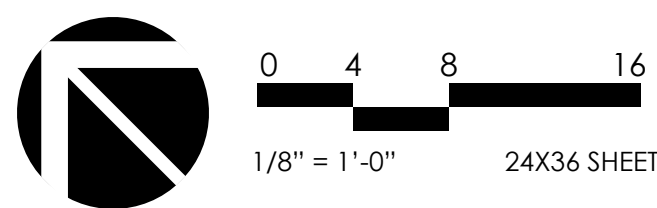
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2 SECOND FLOOR PLAN
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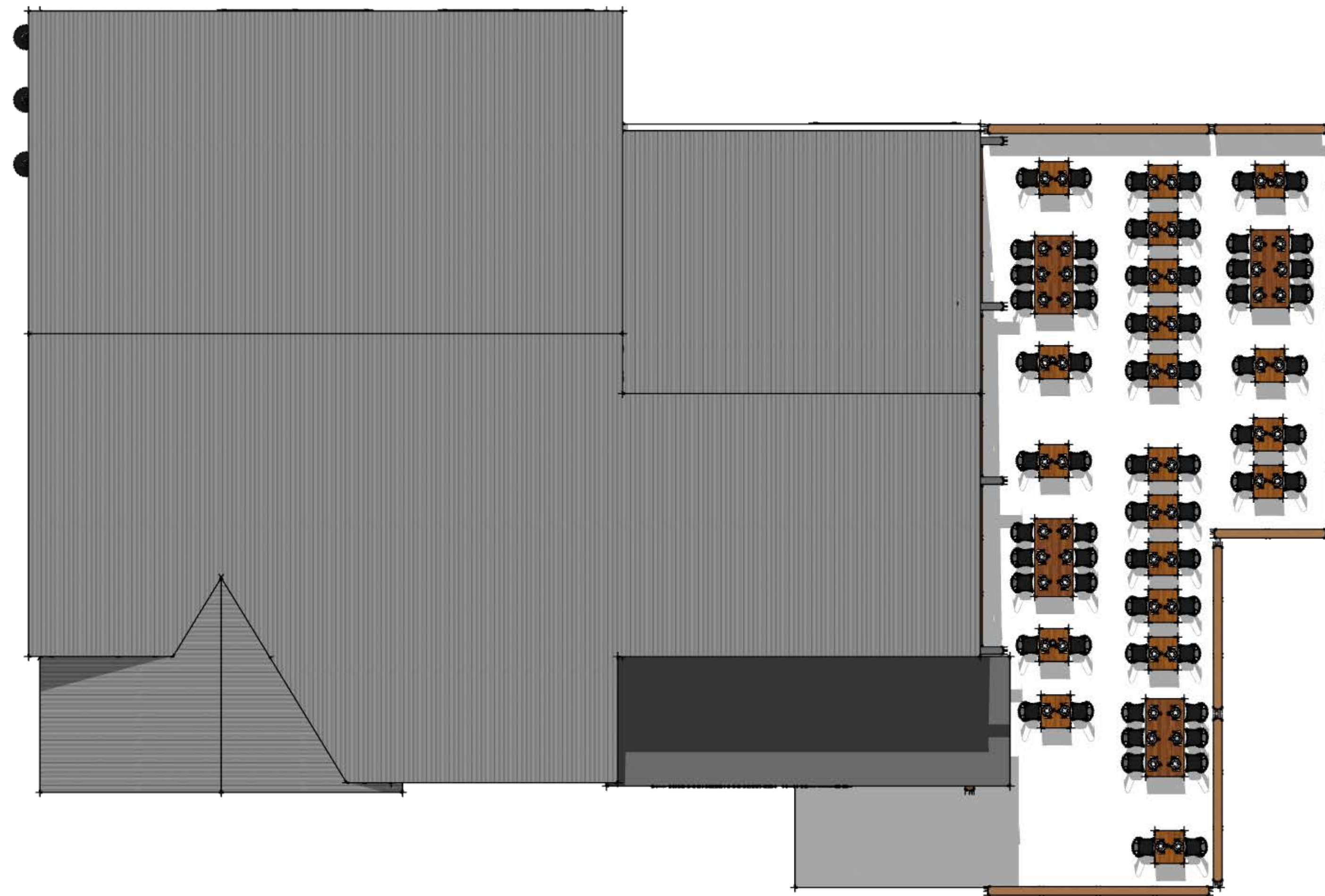


BUILDING 4 (BREWERY) - SECOND FLOOR PLAN
ROCKLIN PUBLIC MARKET

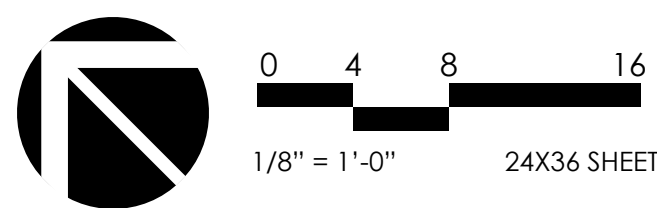
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3 ROOF PLAN
1/8" = 1'-0" (24 X 36 SHEET)



BUILDING 4 (BREWERY) - ROOF PLAN
ROCKLIN PUBLIC MARKET

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3 **SOUTHEAST ELEVATION**
1/8" = 1'-0" (24 X 36 SHEET)



MAX HEIGHT
35'-3"

SECOND FLOOR
16'-0"

GROUND LEVEL
0'-0" FF

1 **SOUTHWEST ELEVATION**
1/8" = 1'-0" (24 X 36 SHEET)



4 **NORTHWEST ELEVATION**
1/8" = 1'-0" (24 X 36 SHEET)



MAX HEIGHT
35'-3"

SECOND FLOOR
16'-0"

GROUND LEVEL
0'-0" FF

2 **NORTHEAST ELEVATION**
1/8" = 1'-0" (24 X 36 SHEET)





STREET VIEWS
ROCKLIN PUBLIC MARKET

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BIRDSEYE
ROCKLIN PUBLIC MARKET

20 JUNE 2025

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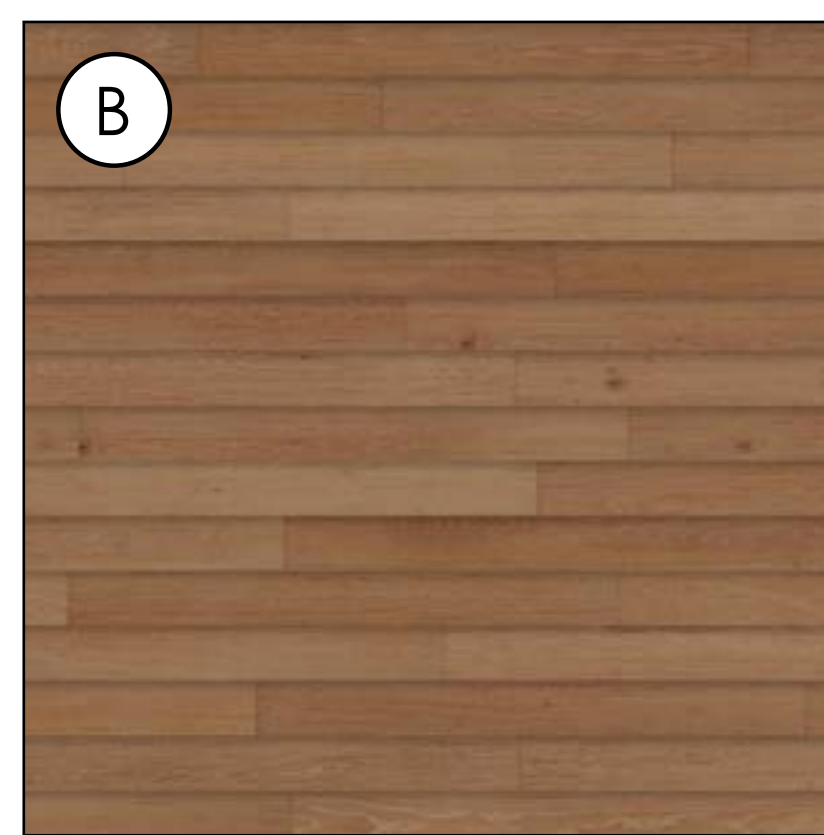
1 **NORTHEAST ELEVATION**
NTS



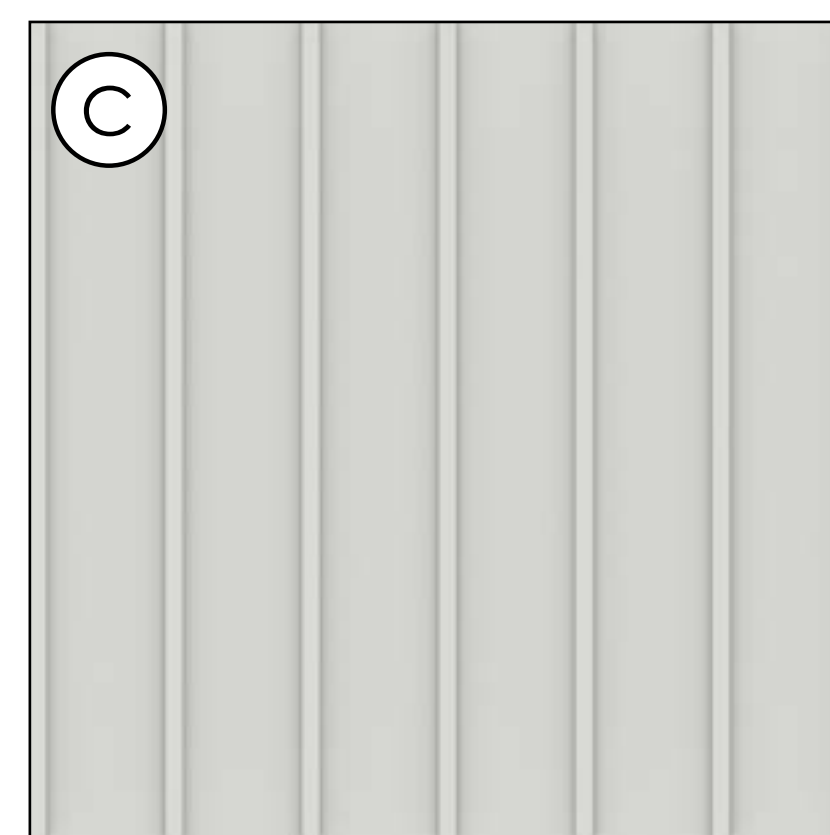
2 **NORTHWEST ELEVATION**
NTS



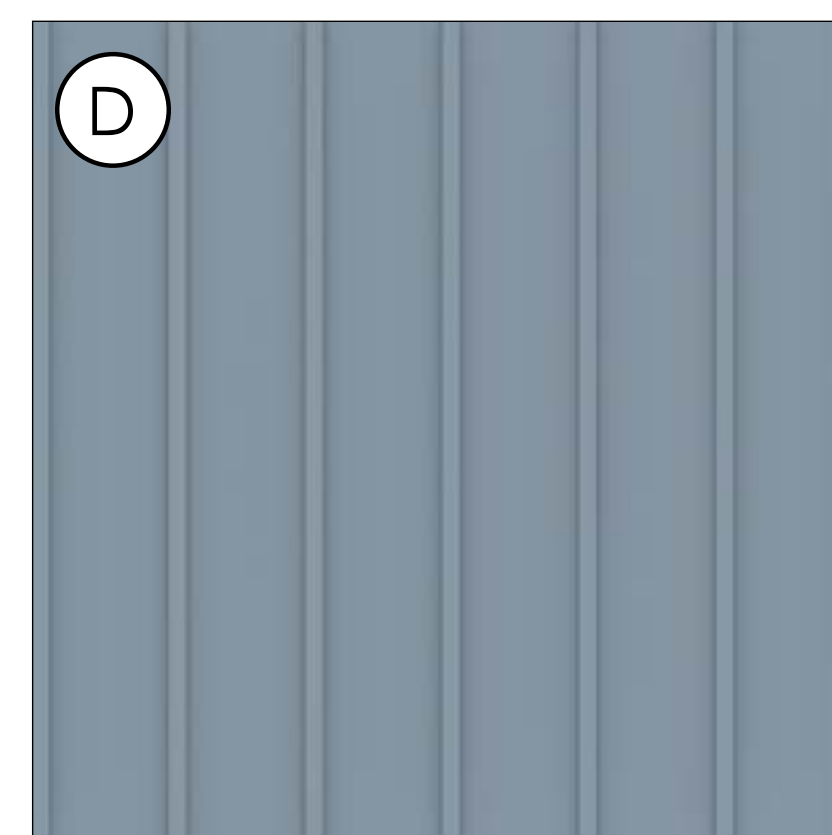
A
STUCCO
WHITE



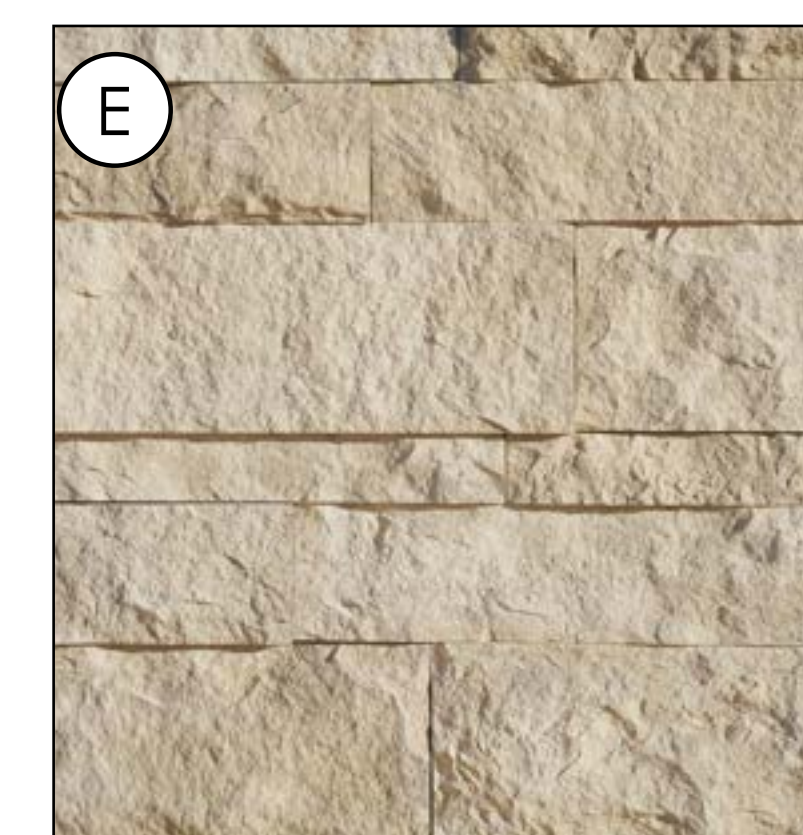
B
LAP SIDING
CEDAR-LOOK



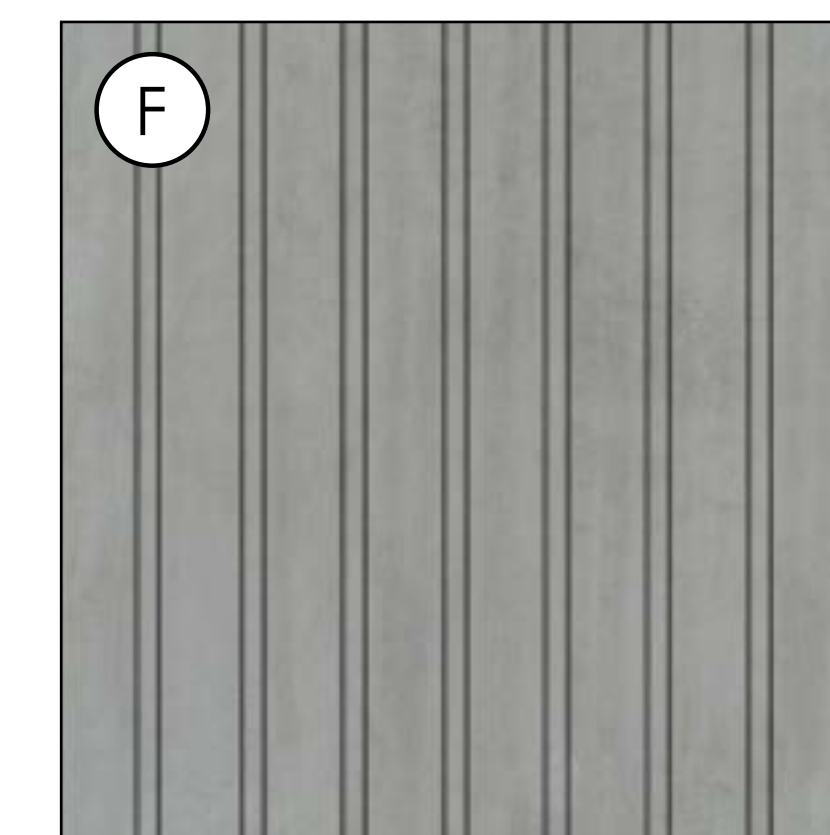
C
BOARD AND BATTEN
WHITE



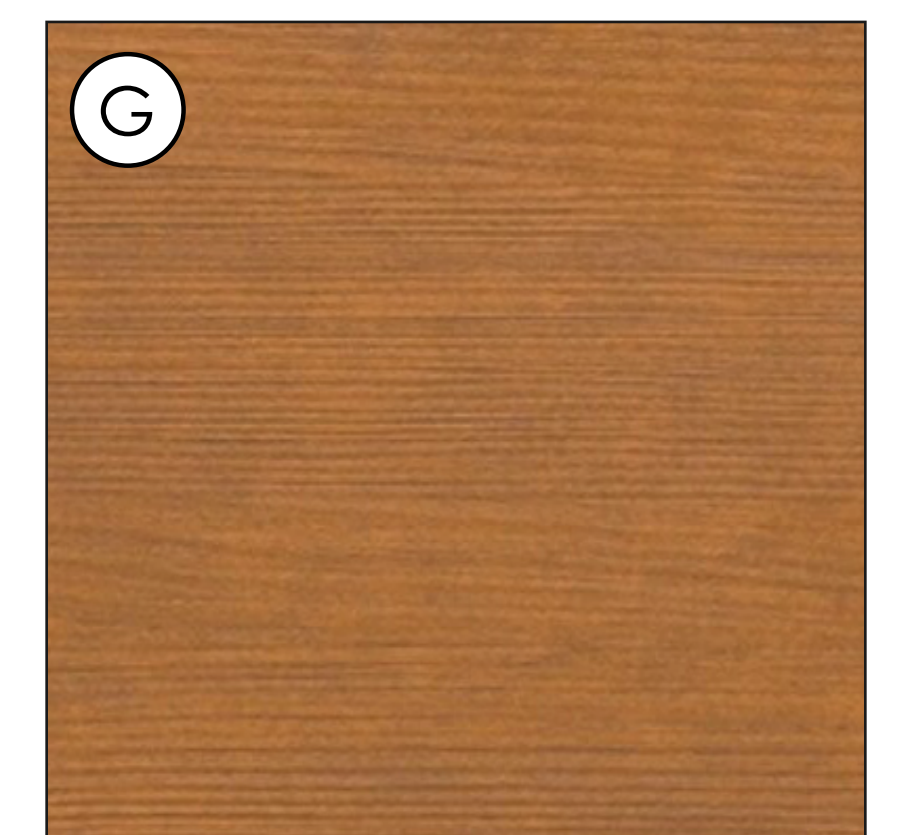
D
BOARD AND BATTEN
LIGHT BLUE



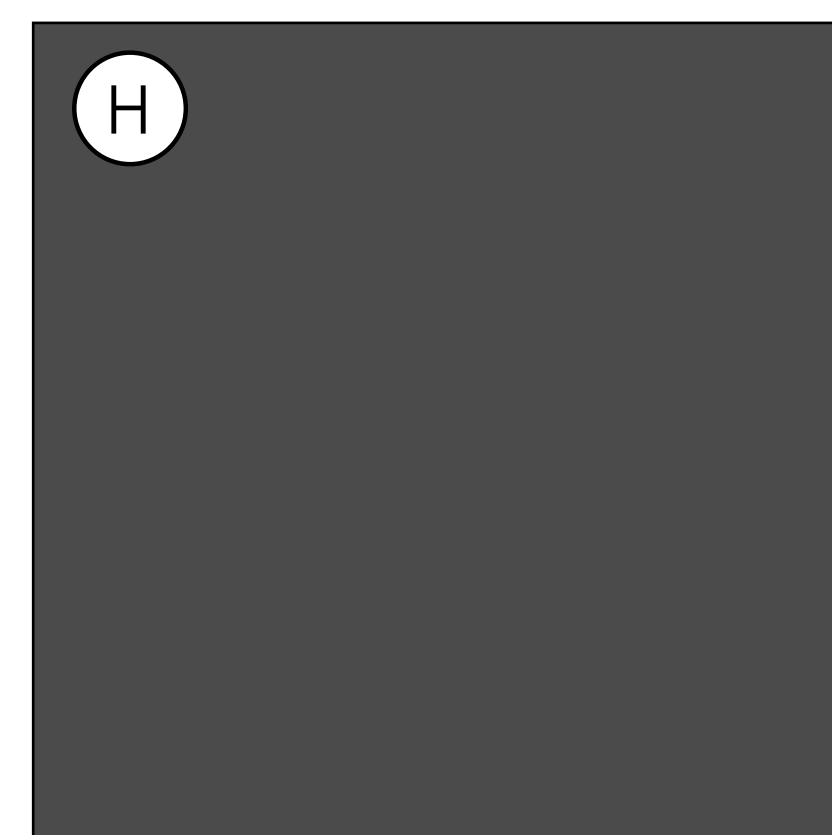
E
STONE VENEER
BEIGE ROUGH CUT



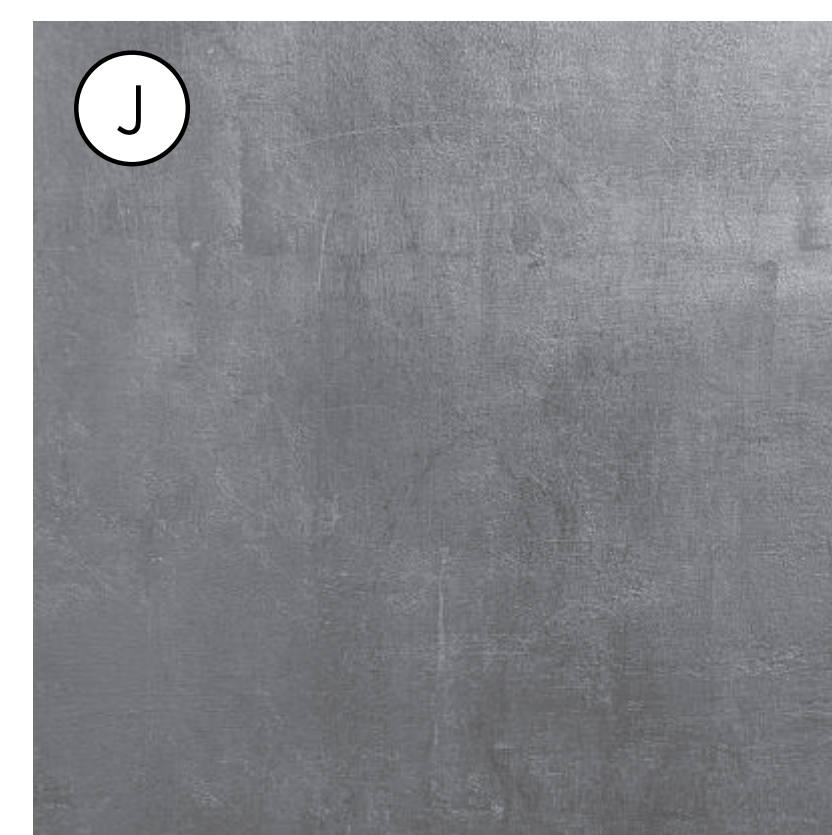
F
STANDING SEAM
GRAY



G
WOOD FASCIA AND BRACKETS
CEDAR-LOOK



H
FIBER CEMENT TRIM
DARK GRAY

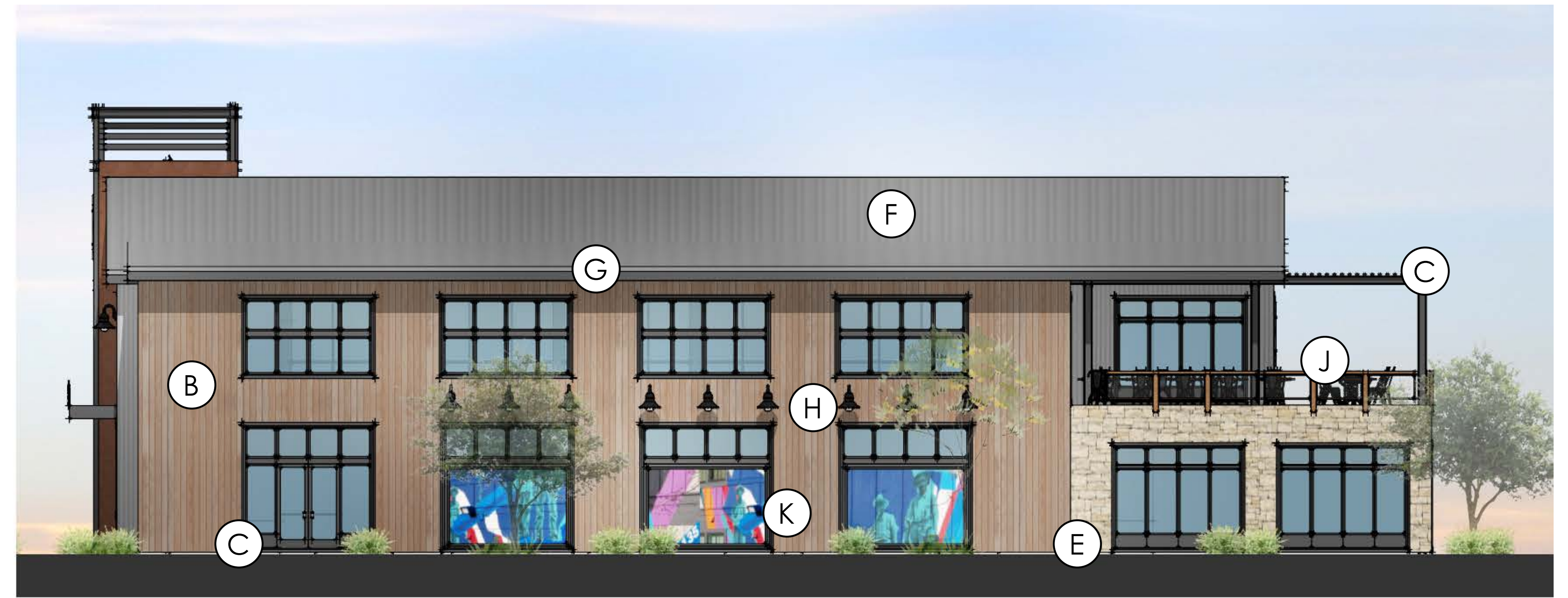


J
STEEL, WINDOWS, STOREFRONT
DARK GRAY



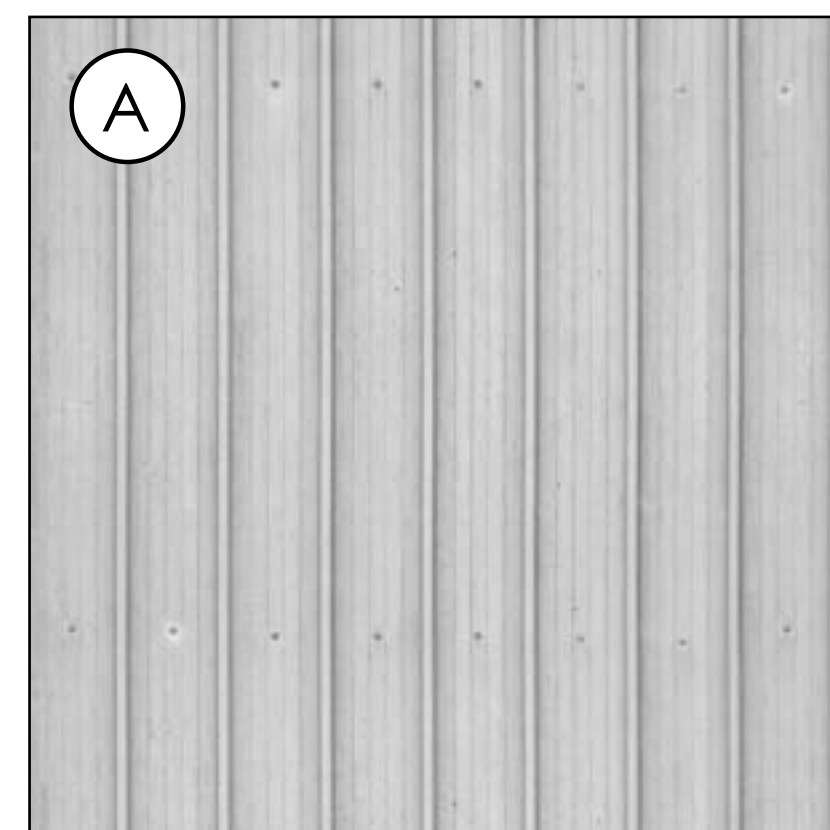
K
EXTERIOR SCONCE
BLACK FARMHOUSE STYLE



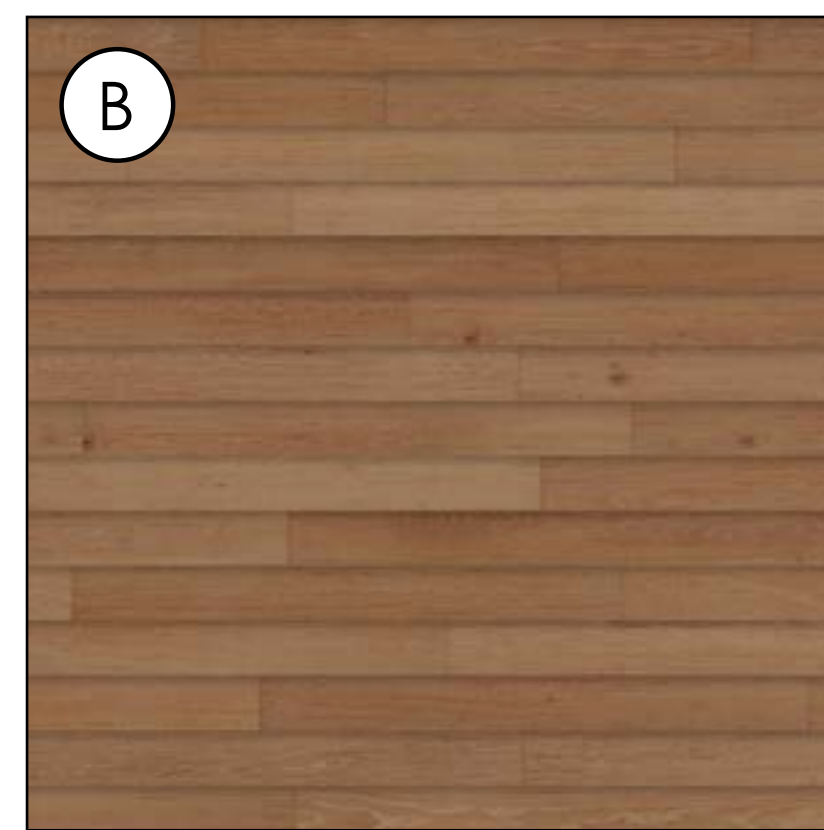


1 **SOUTHWEST ELEVATION**
NTS

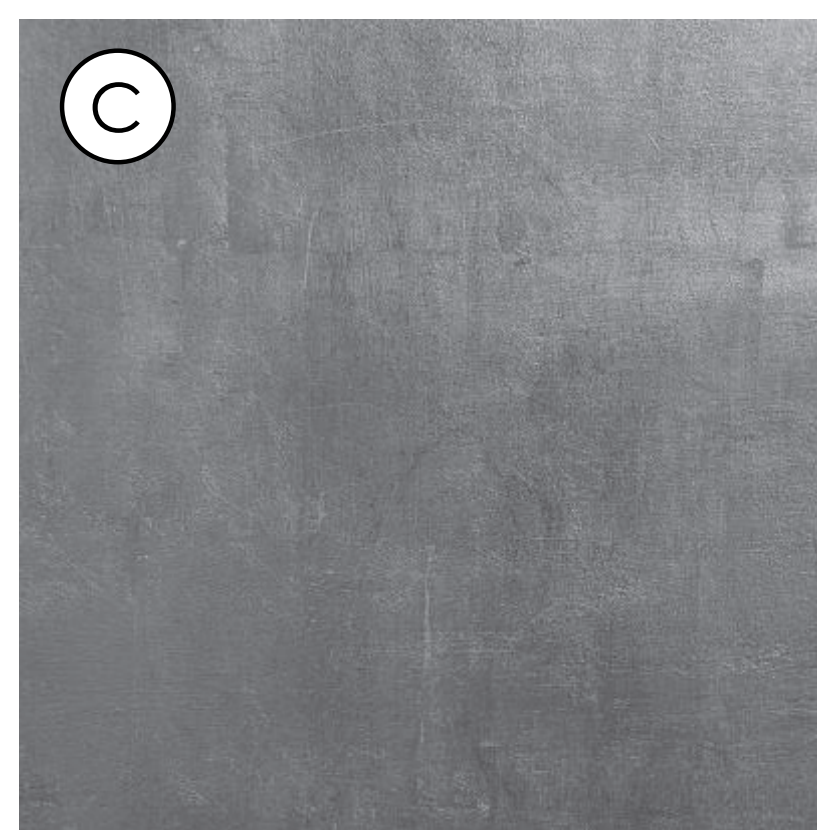
2 **SOUTHEAST ELEVATION**
NTS



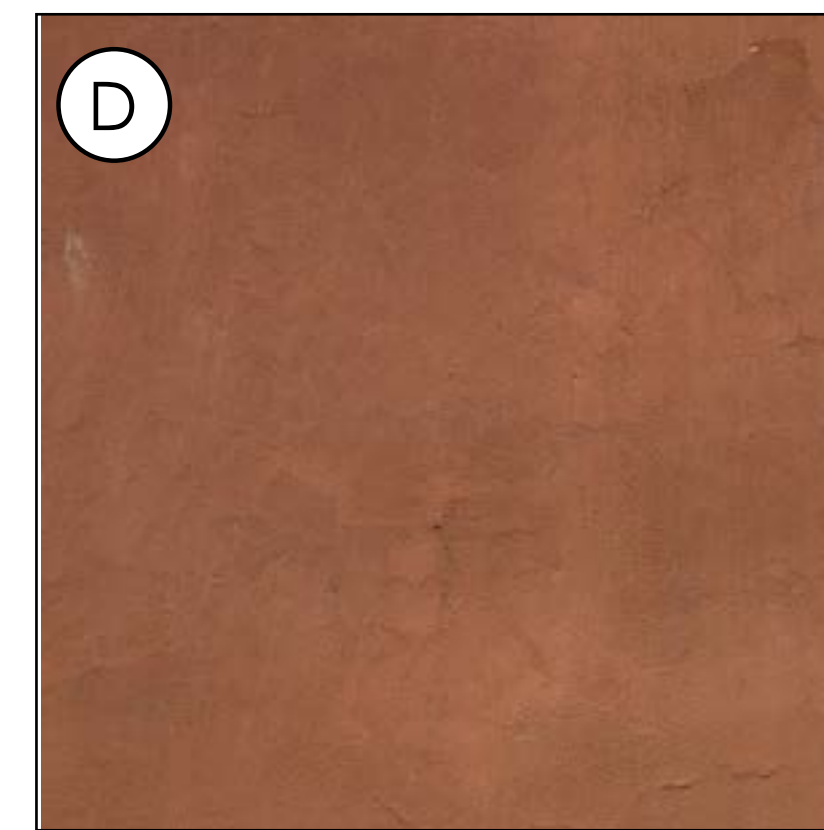
CORRUGATED METAL
SILVER



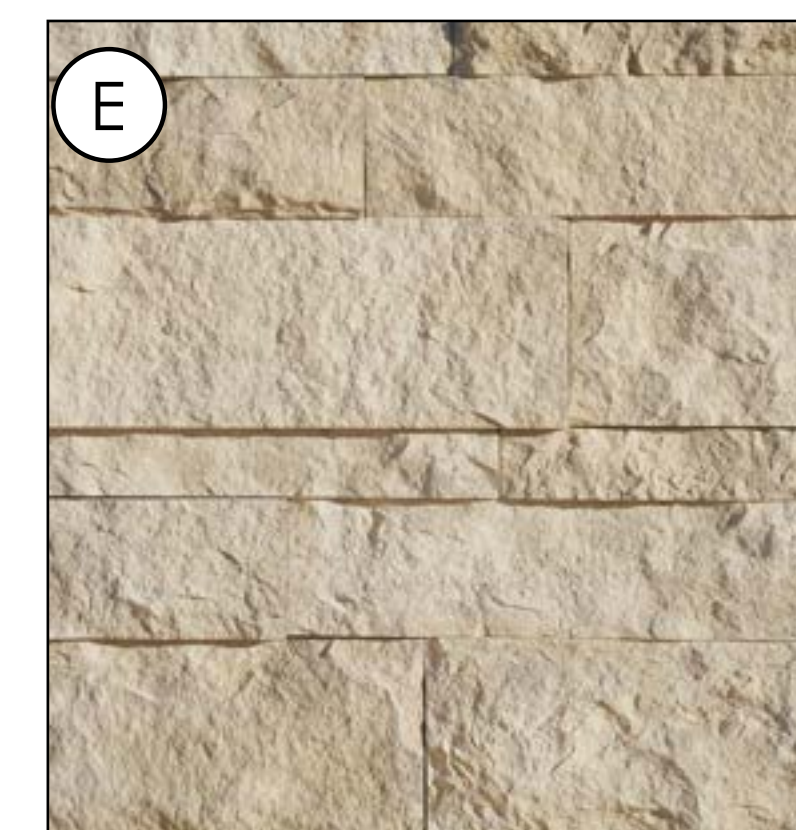
LAP SIDING
CEDAR-LOOK



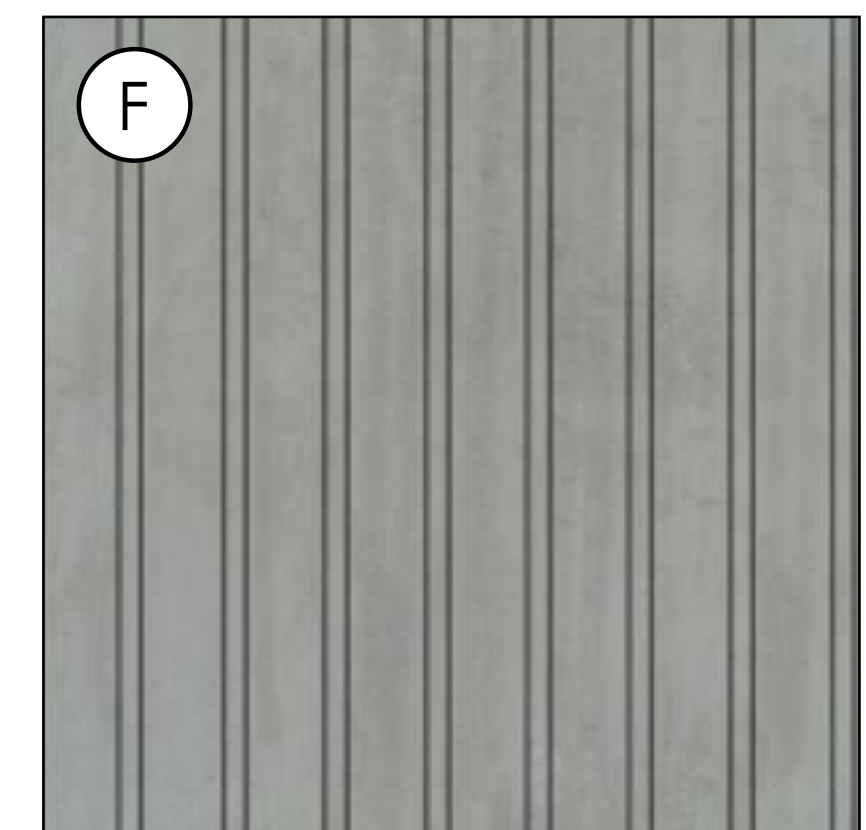
STEEL, WINDOWS, STOREFRONT
DARK GRAY



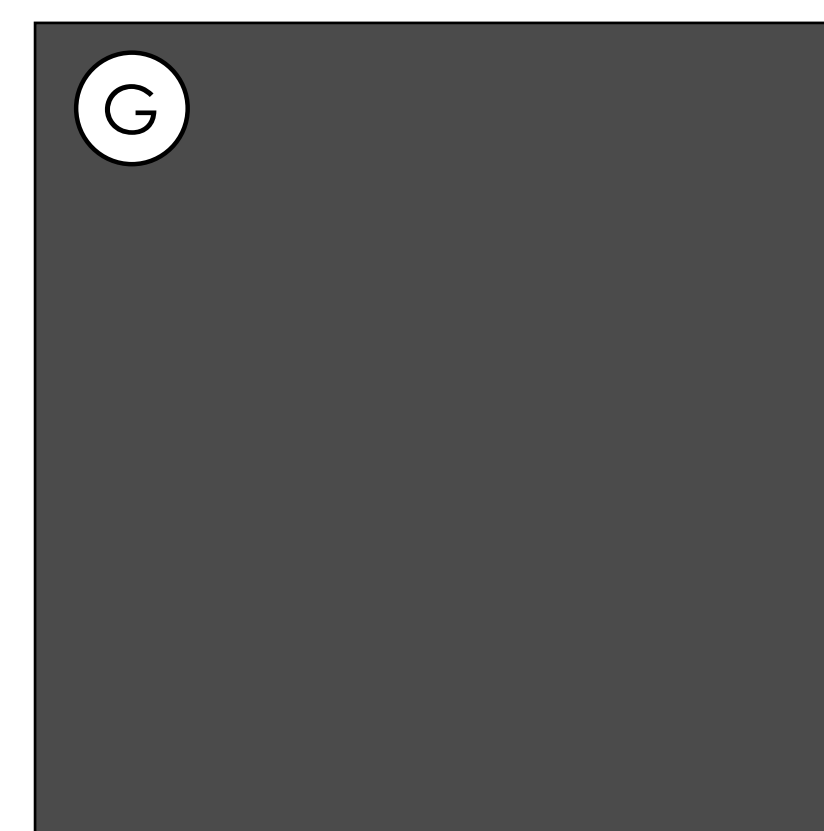
DISTRESSED PLASTER
BROWN



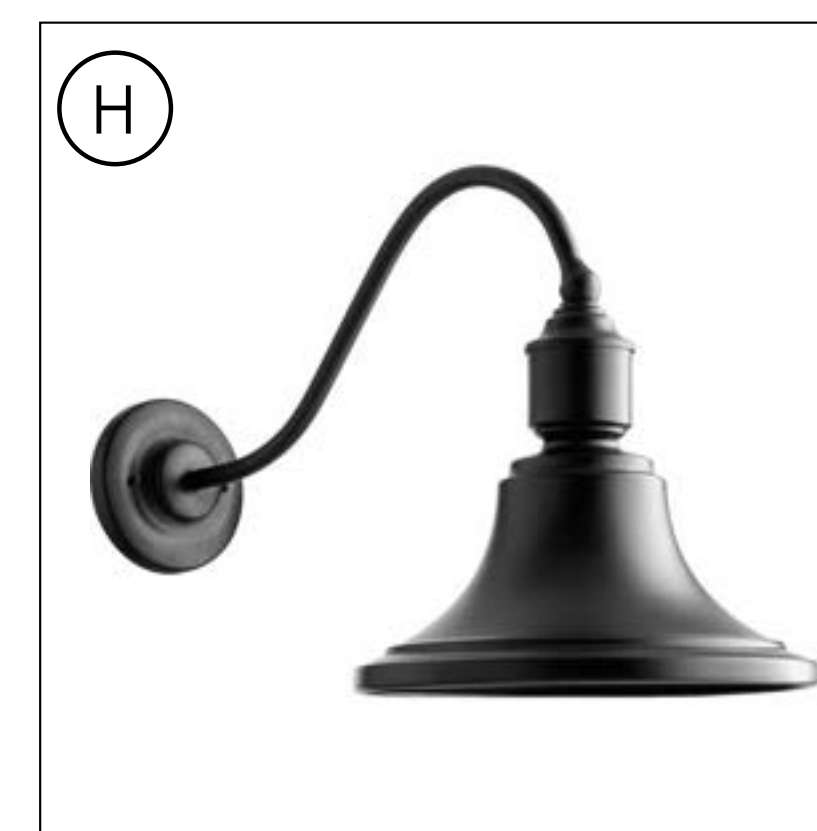
STONE VENEER
BEIGE ROUGH CUT



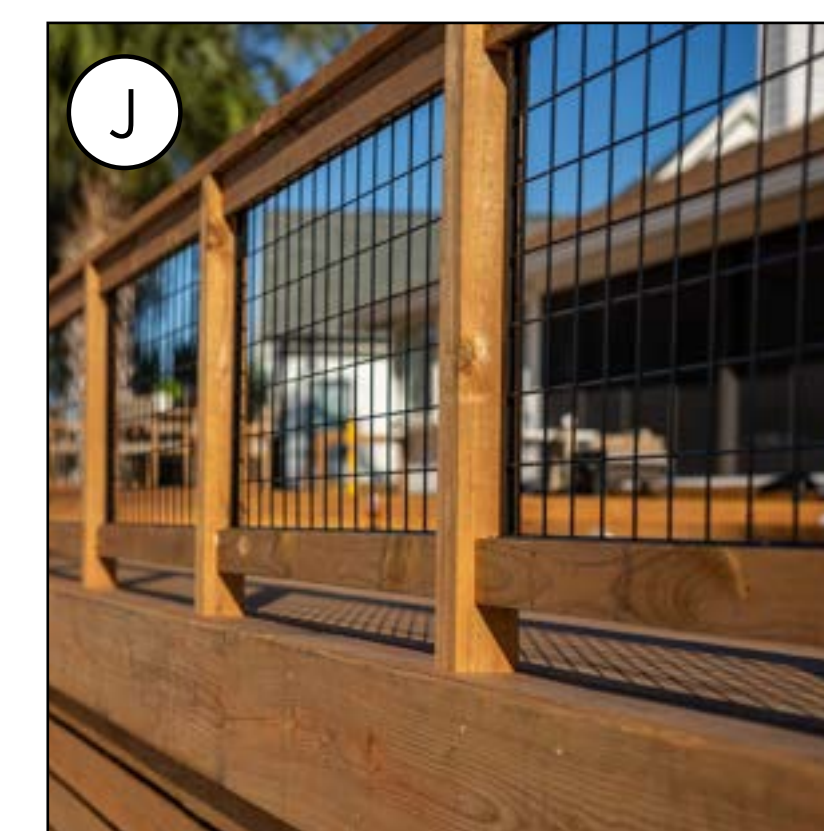
STANDING SEAM
GRAY



FIBER CEMENT TRIM/FASCIA
DARK GRAY



EXTERIOR SCONCE
BLACK FARMHOUSE STYLE



HOGWIRED WOOD RAILING
CEDAR-LOOK



MURAL OPPORTUNITIES
BY OTHERS





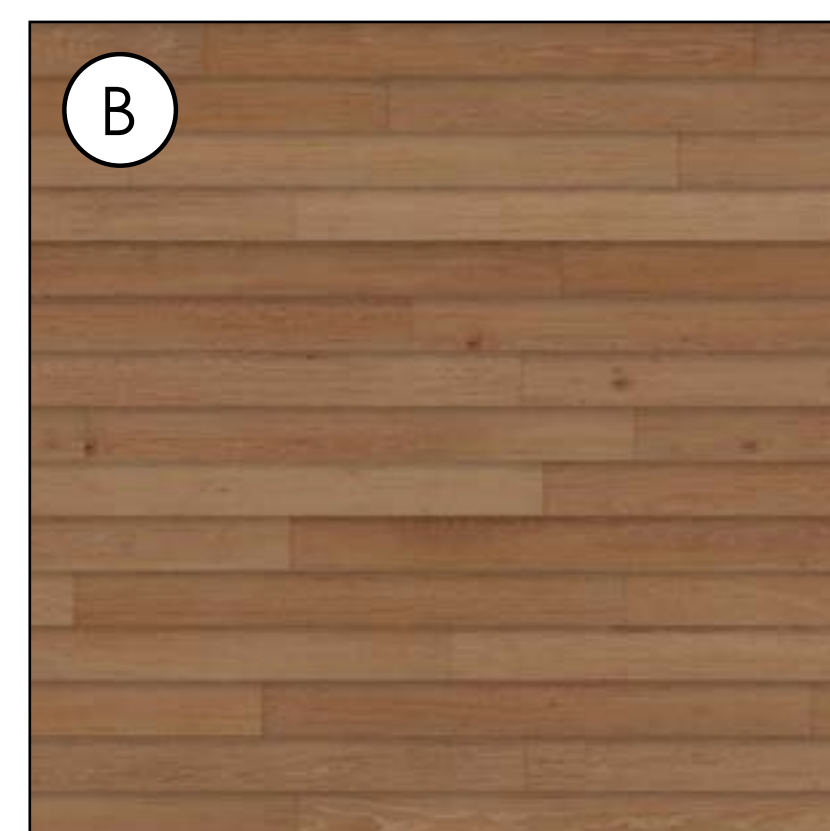
1 **SOUTHEAST ELEVATION**
NTS



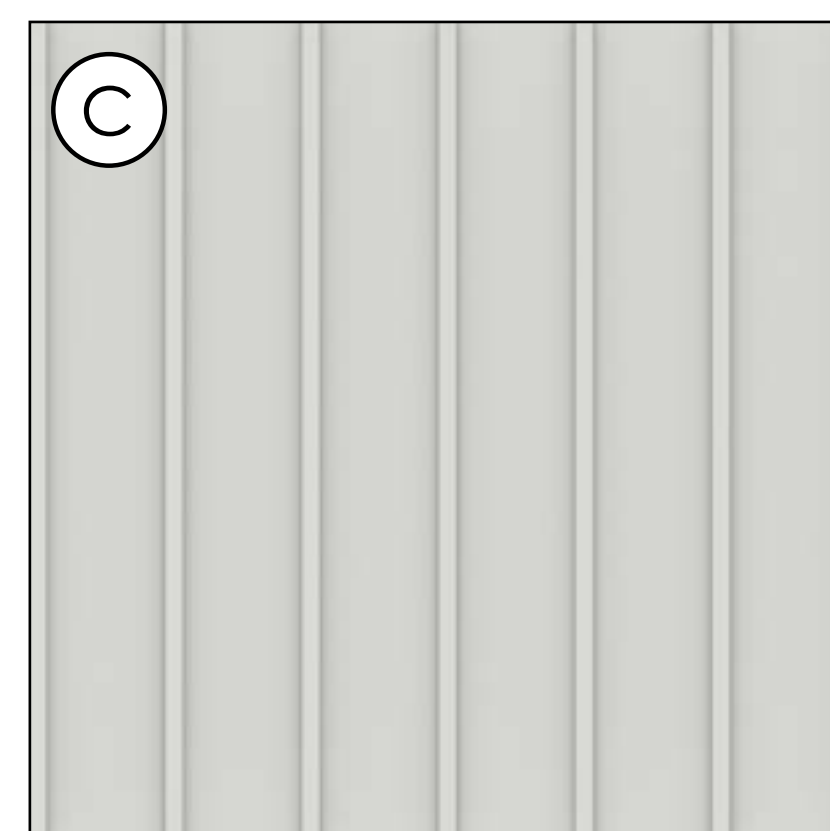
2 **SOUTHWEST ELEVATION**
NTS



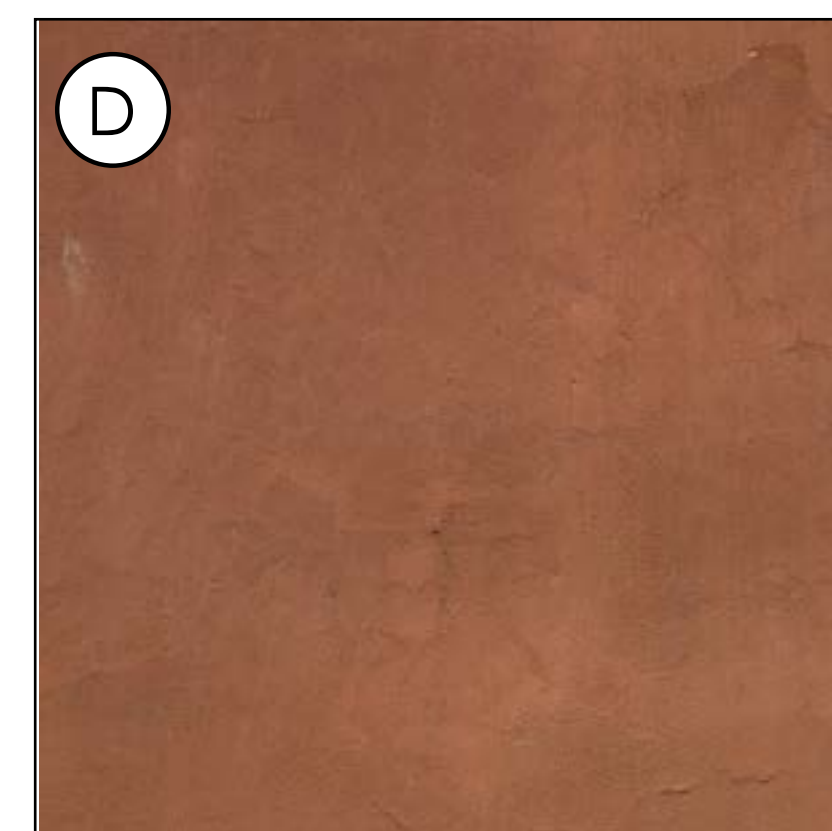
A
STUCCO
OFF-WHITE



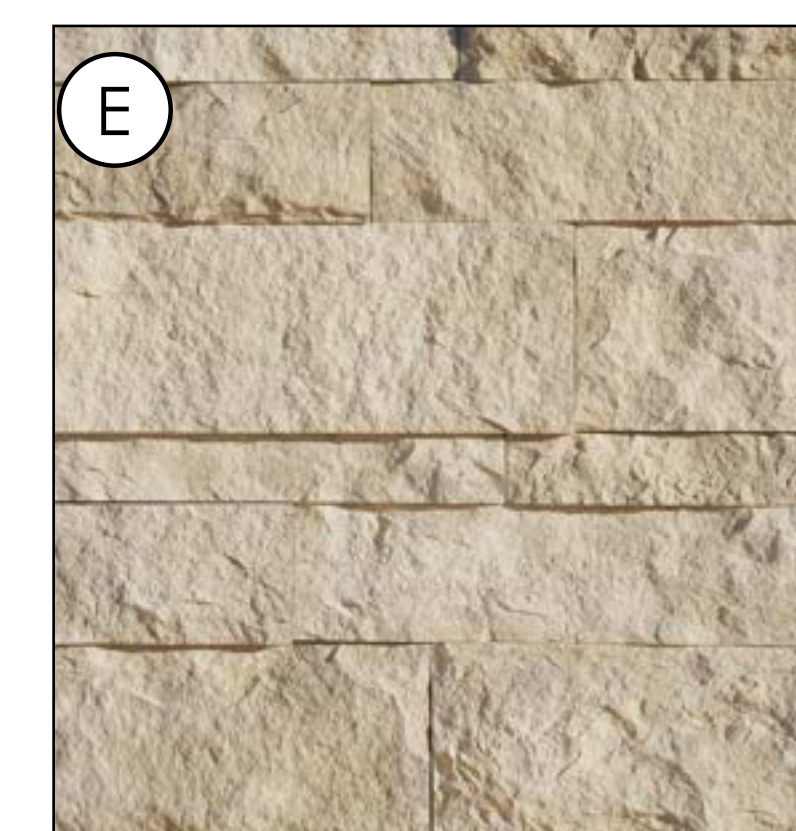
B
LAP SIDING
CEDAR-LOOK



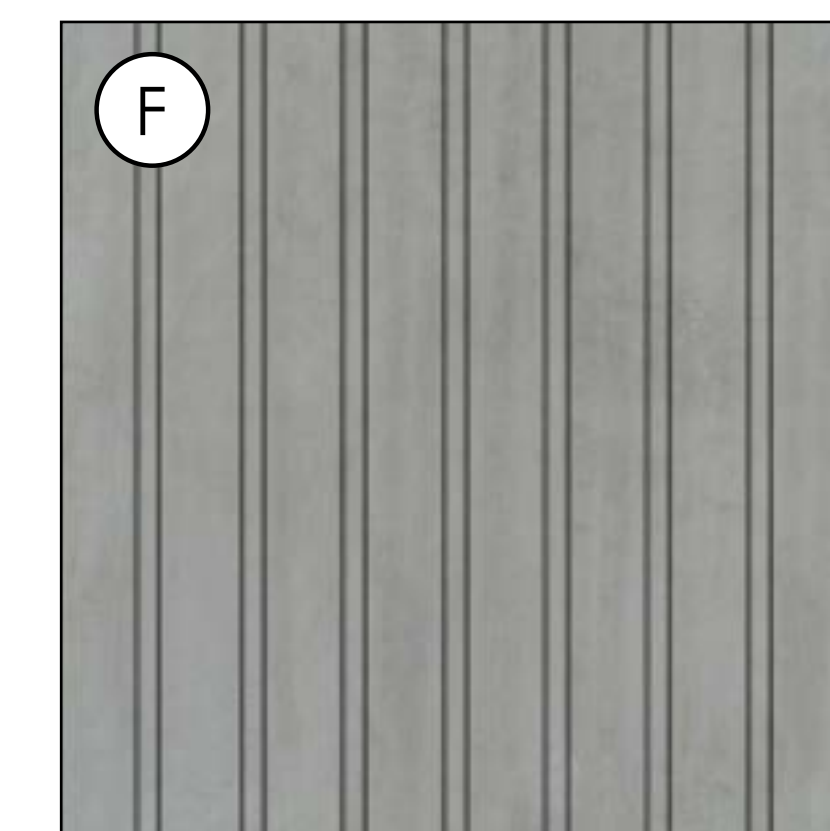
C
BOARD AND BATTEN
WHITE



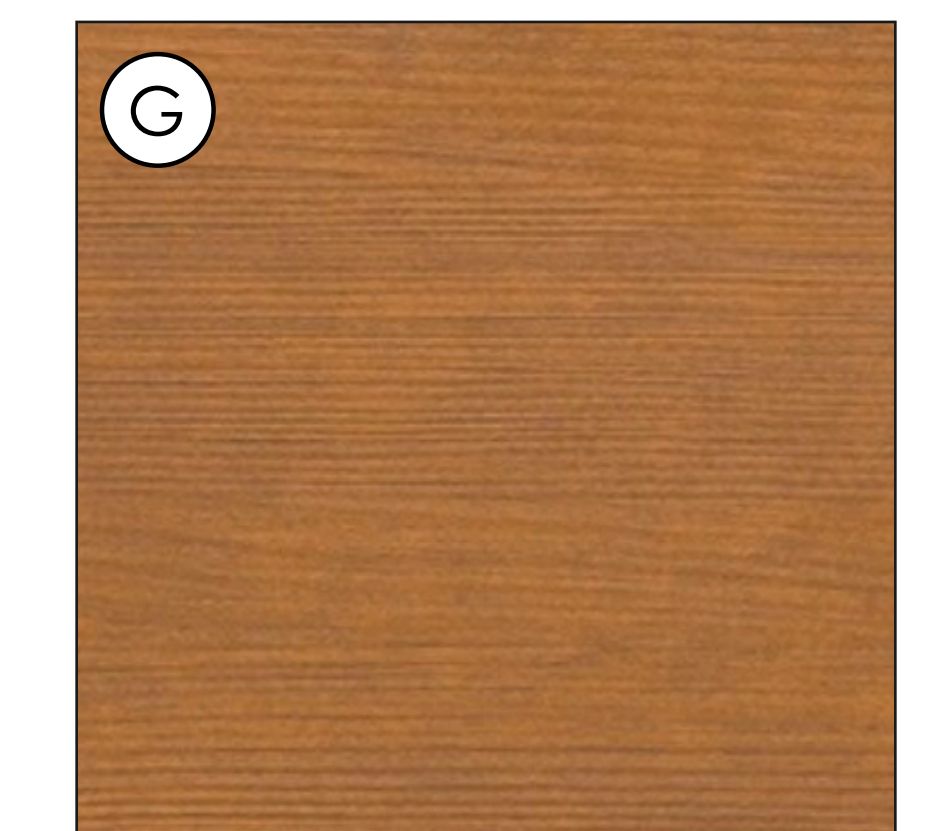
D
DISTRESSED PLASTER
BROWN



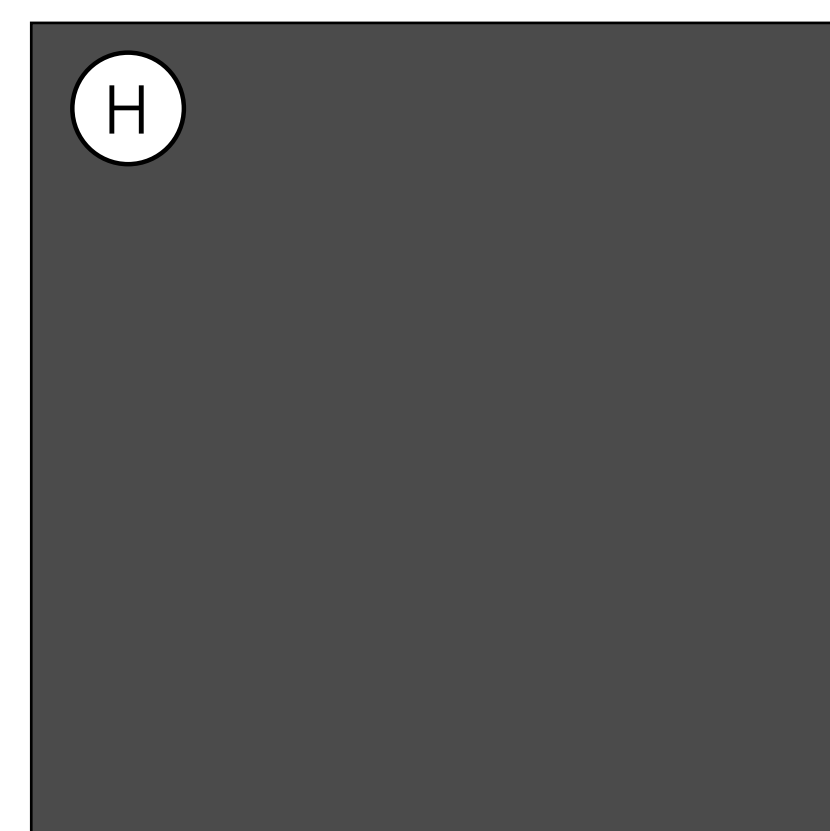
E
STONE VENEER
BEIGE ROUGH CUT



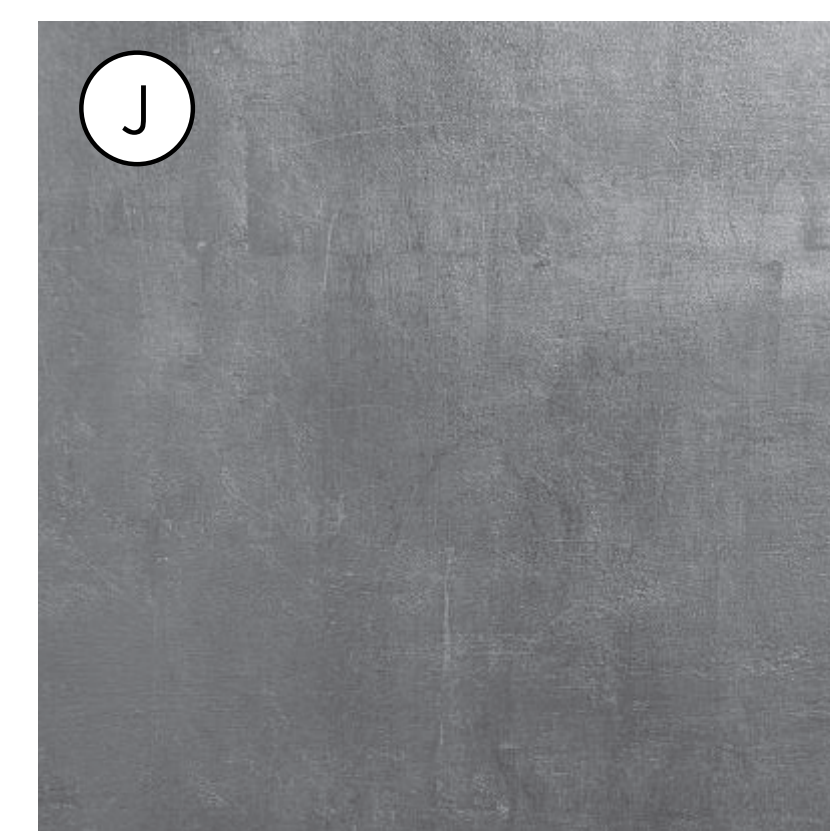
F
STANDING SEAM
GRAY



G
WOOD FASCIA AND BRACKETS
CEDAR-LOOK



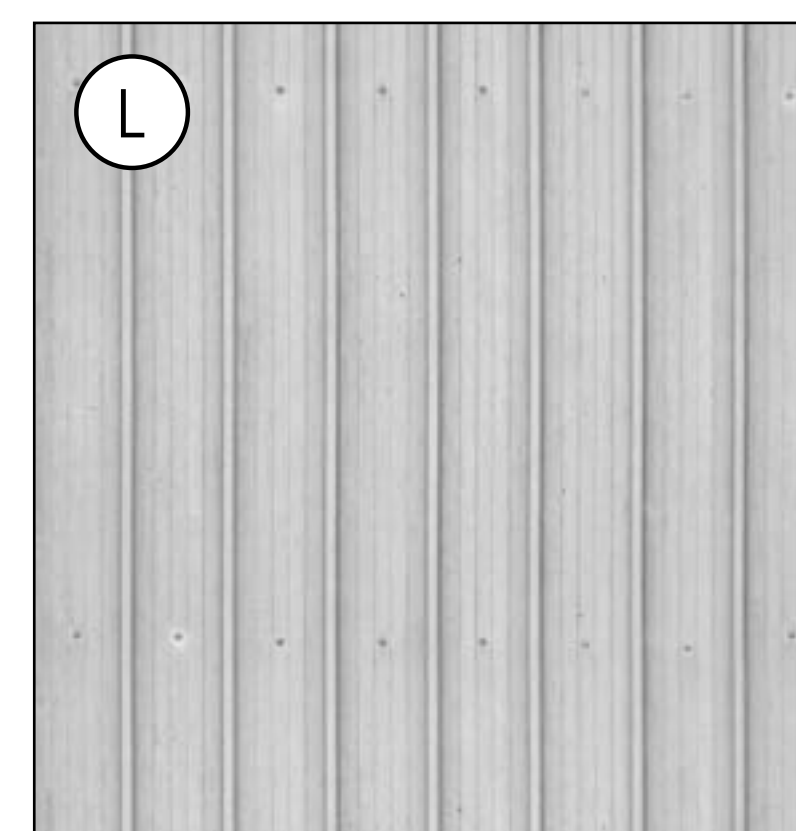
H
FIBER CEMENT TRIM
DARK GRAY



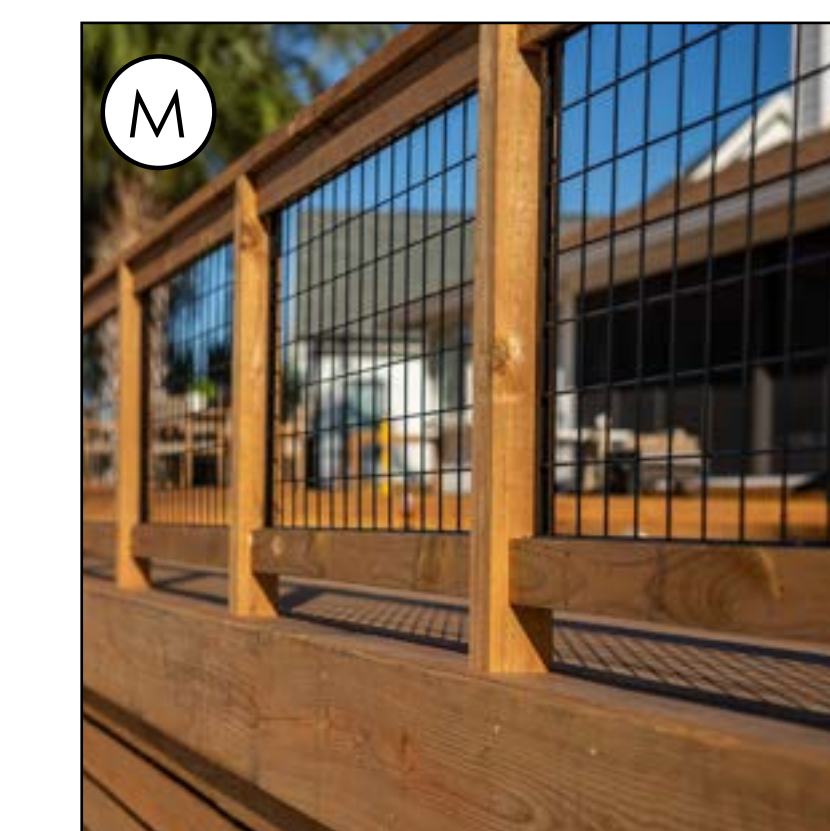
J
STEEL, WINDOWS, STOREFRONT
DARK GRAY



K
EXTERIOR SCONCE
BLACK FARMHOUSE STYLE

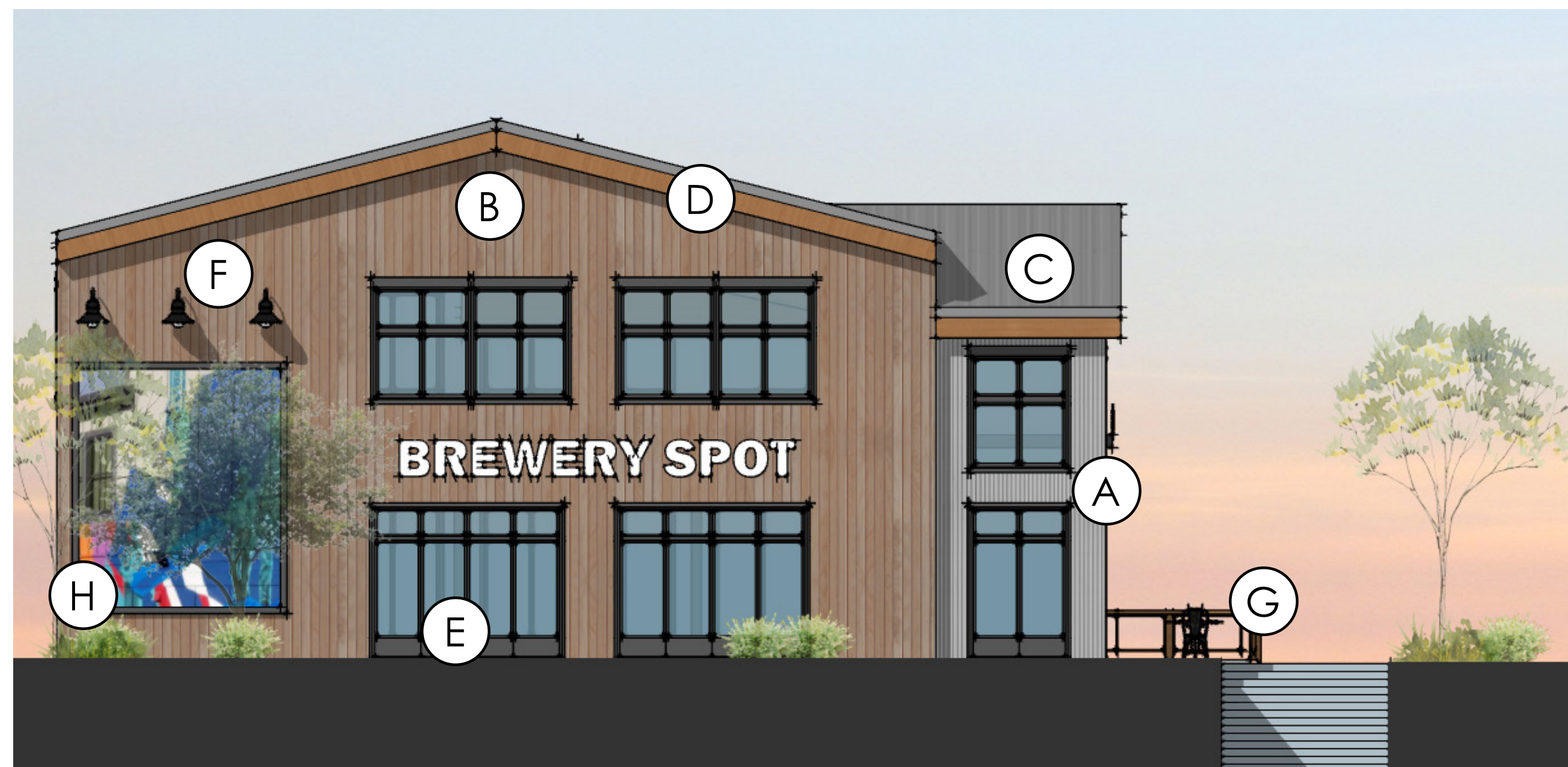


L
CORRUGATED METAL
SILVER



M
HOGWIRED WOOD RAILING
CEDAR-LOOK

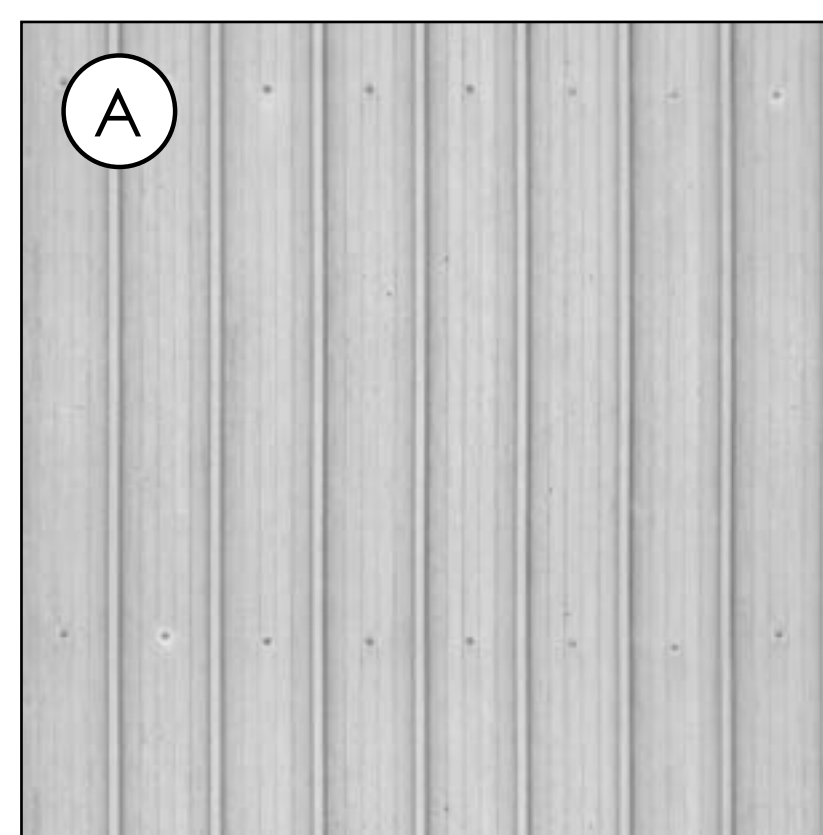




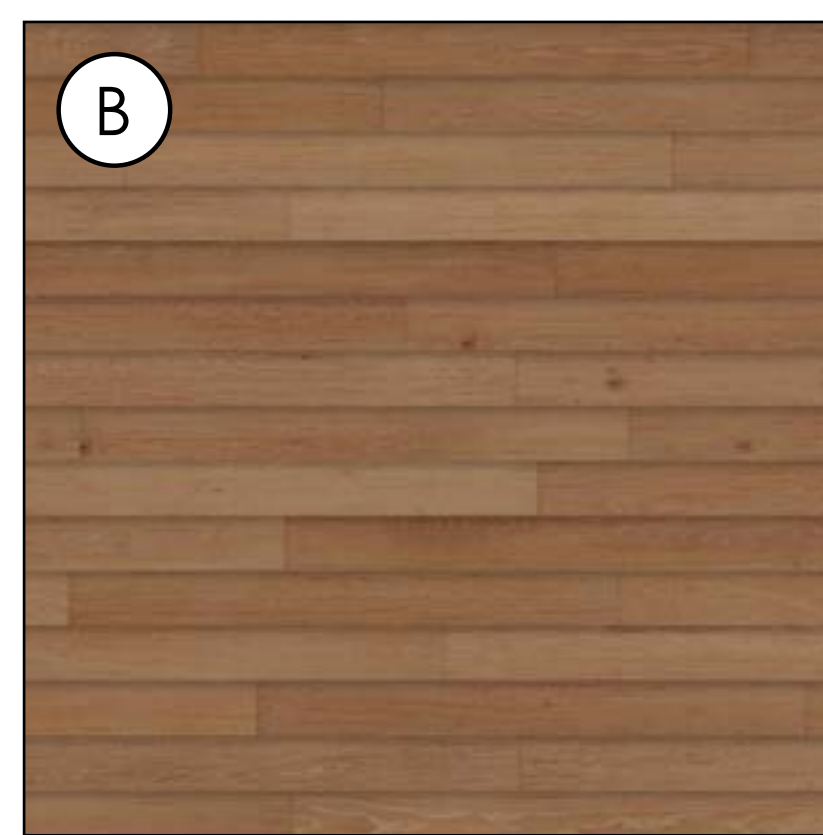
1 NORTHWEST ELEVATION
NTS



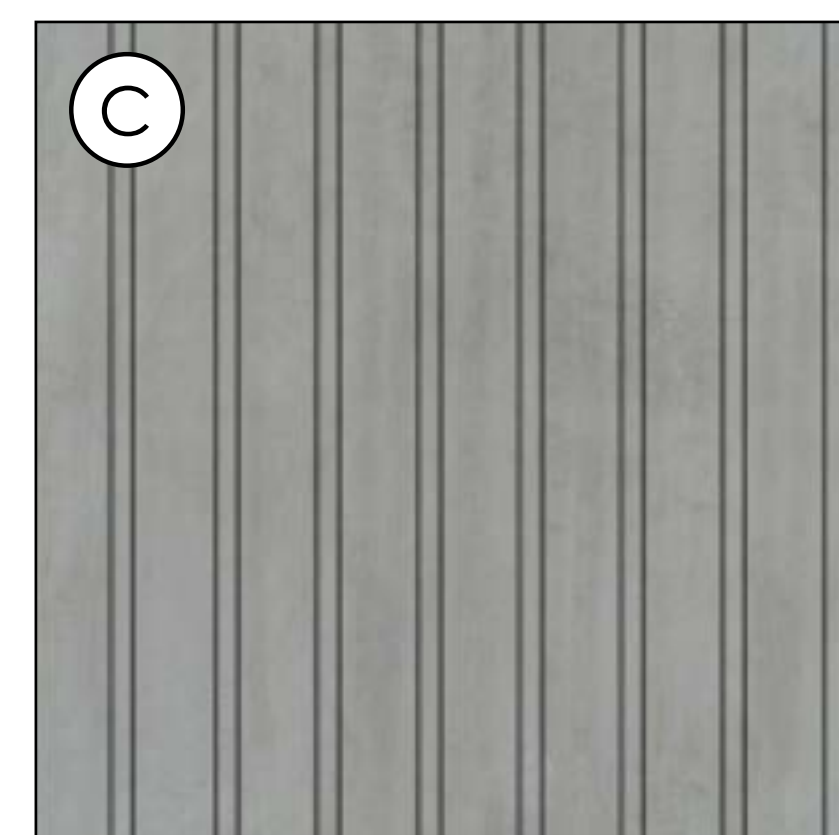
2 SOUTHWEST ELEVATION
NTS



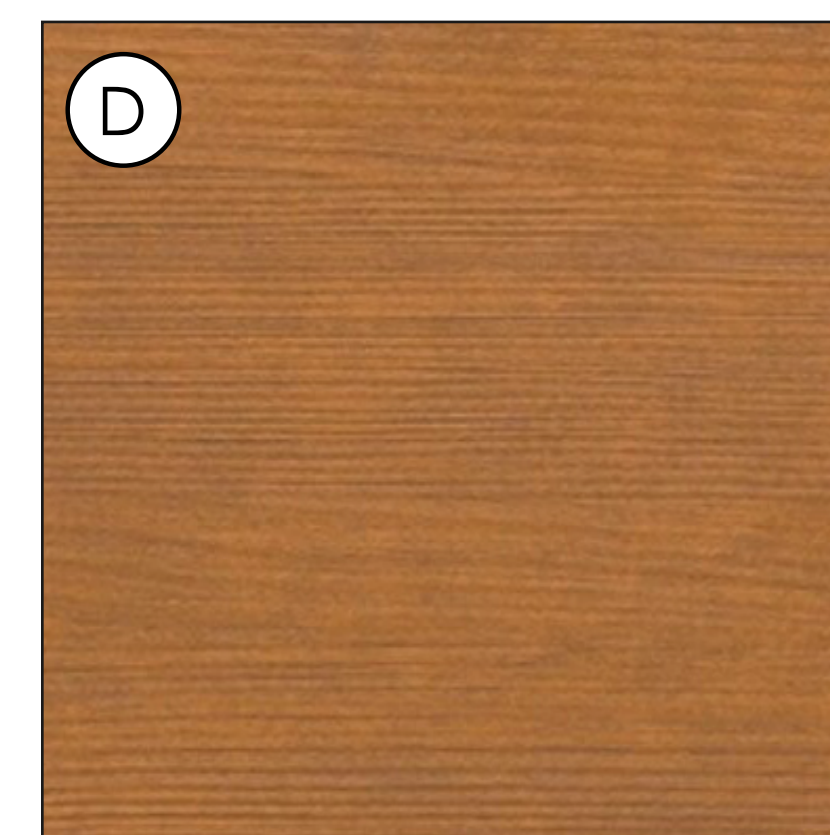
CORRUGATED METAL
SILVER



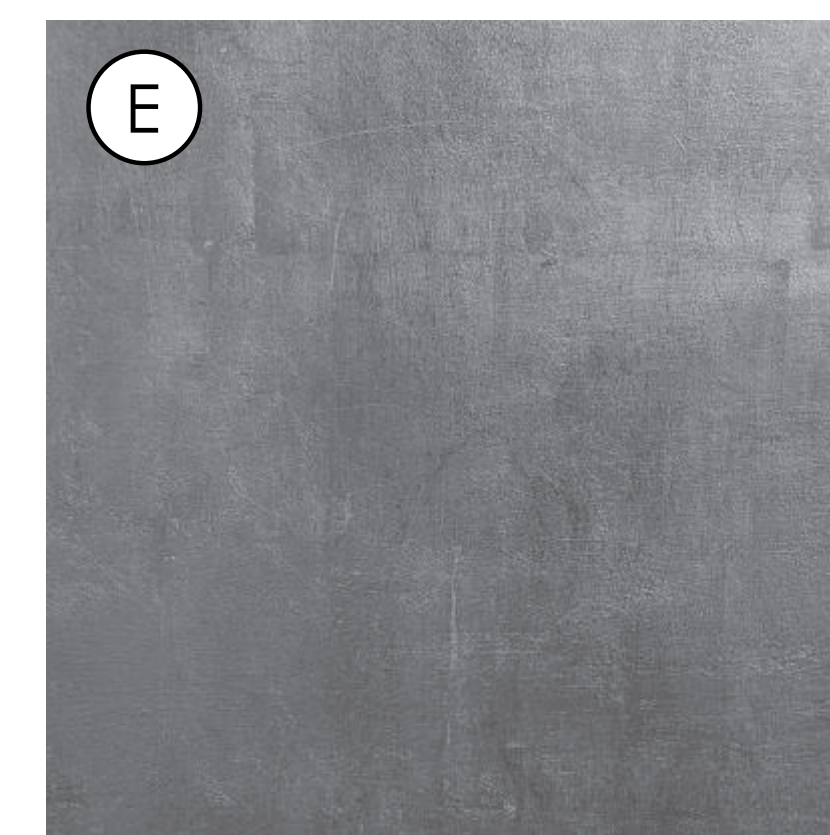
LAP SIDING
CEDAR-LOOK



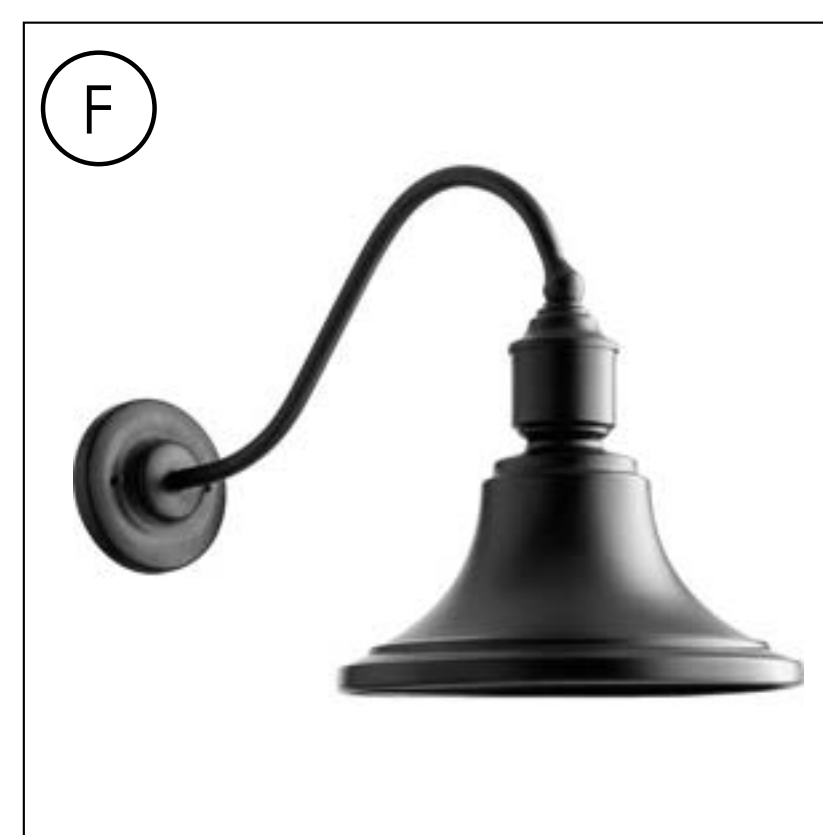
STANDING SEAM
GRAY



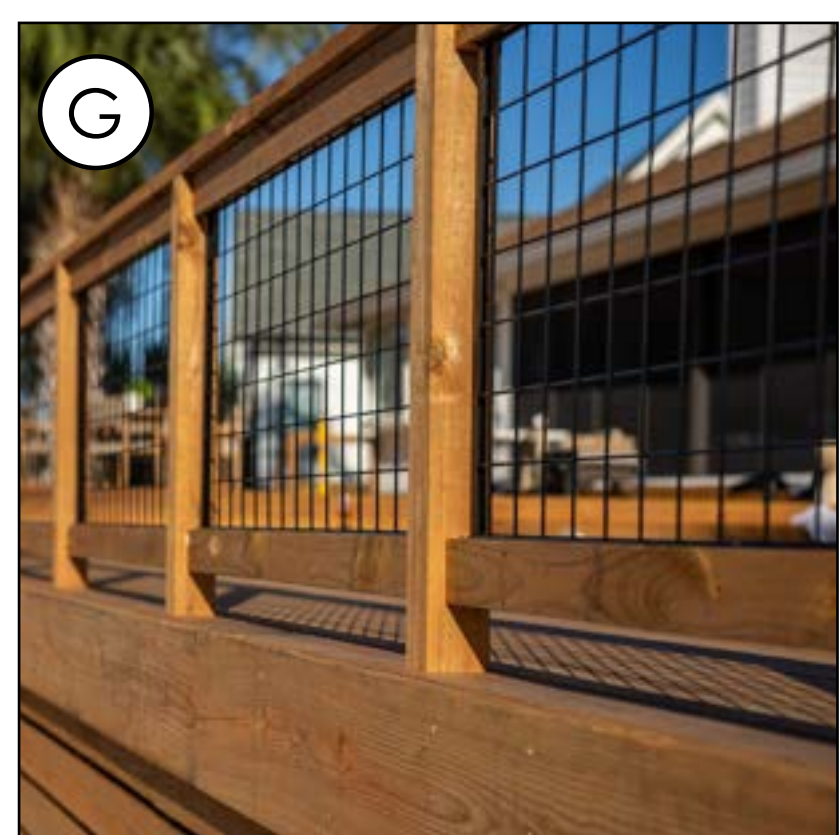
WOOD FASCIA AND BRACKETS
CEDAR-LOOK



STEEL, WINDOWS, STOREFRONT
DARK GRAY



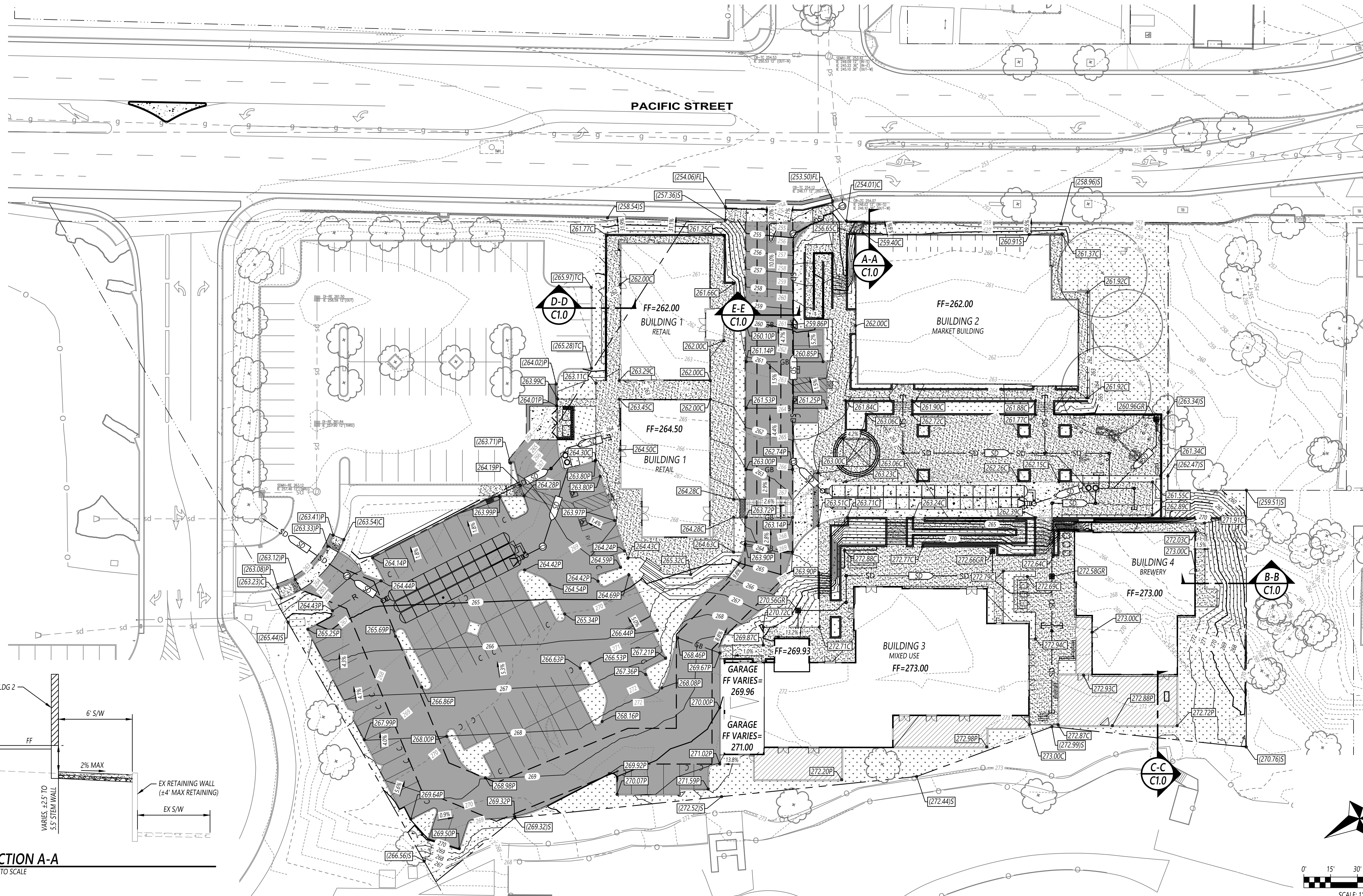
EXTERIOR SCONCE
BLACK FARMHOUSE STYLE



HOGWIRED WOOD RAILING
CEDAR-LOOK



MURAL OPPORTUNITY
BY OTHERS



- GRADING LEGEND:**
- 34 --- EXISTING 1-FT CONTOUR
 - 35 --- EXISTING 5-FT CONTOUR
 - 34 --- PROPOSED 1-FT CONTOUR
 - 35 --- PROPOSED 5-FT CONTOUR
 - - - - - EXISTING EASEMENT
 - - - - - PROPOSED EASEMENT
 - SD --- PROPOSED STORM DRAIN LINE
 - PROPOSED DRAIN INLET
 - ⊕ PROPOSED STORM DRAIN MANHOLE
 - ⊕ EXISTING STORM DRAIN MANHOLE
 - ??FL CONCRETE ELEVATION
 - ??FL FLOWLINE ELEVATION
 - ??PE PAVEMENT ELEVATION
 - ??RIM RIM ELEVATION
 - ??S GROUND ELEVATION
 - ??TC TOP OF CURB ELEVATION
 - FF=??? BUILDING FINISHED FLOOR ELEVATION
 - ←X% PROPOSED GROUND SLOPE
 - ←(X)% EXISTING GROUND SLOPE
 - R — R RIDGE LINE/ HIGH POINT
 - GB — GB GRADE BREAK

NOTES:

- FINISH FLOOR ELEVATIONS (FFE) ARE PRELIMINARY AND SUBJECT TO CHANGE.

LEGEND

- PROPERTY LINE
- EXISTING ADJACENT PROPERTY LINE
- PROPOSED LANDSCAPE
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE
- PROPOSED HEAVY DUTY CONCRETE
- PROPOSED CONCRETE PATIO

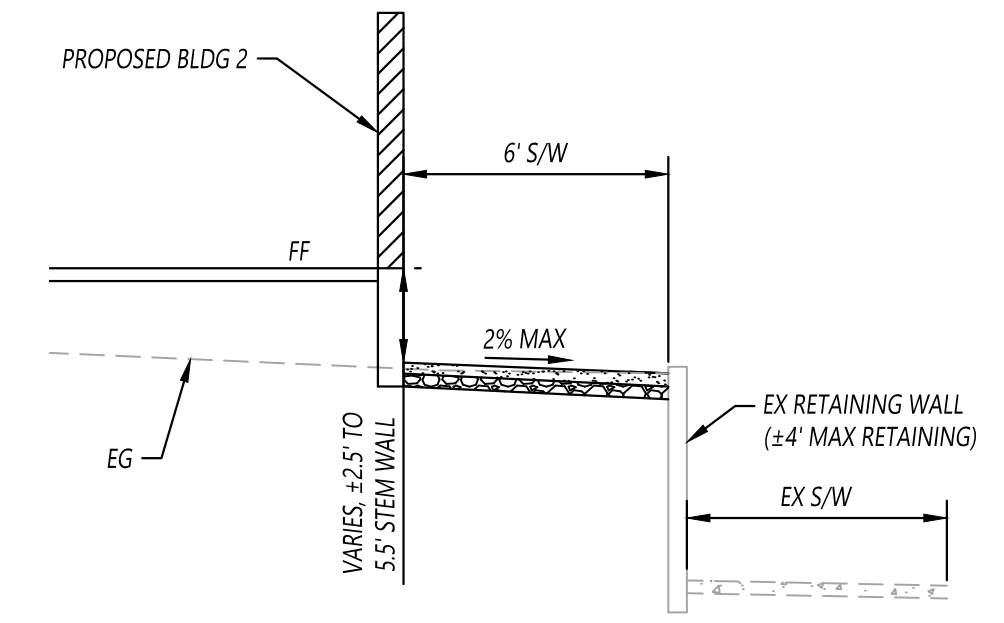
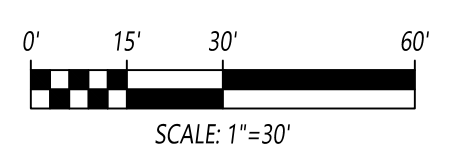
PARCEL AREA:

EXISTING LOT AREA:	129,975 SF / 2.98 AC
PROPOSED PERVIOUS AREA:	27,044 SF / 0.62 AC
PROPOSED IMPERVIOUS AREA:	106,689 SF / 2.45 AC

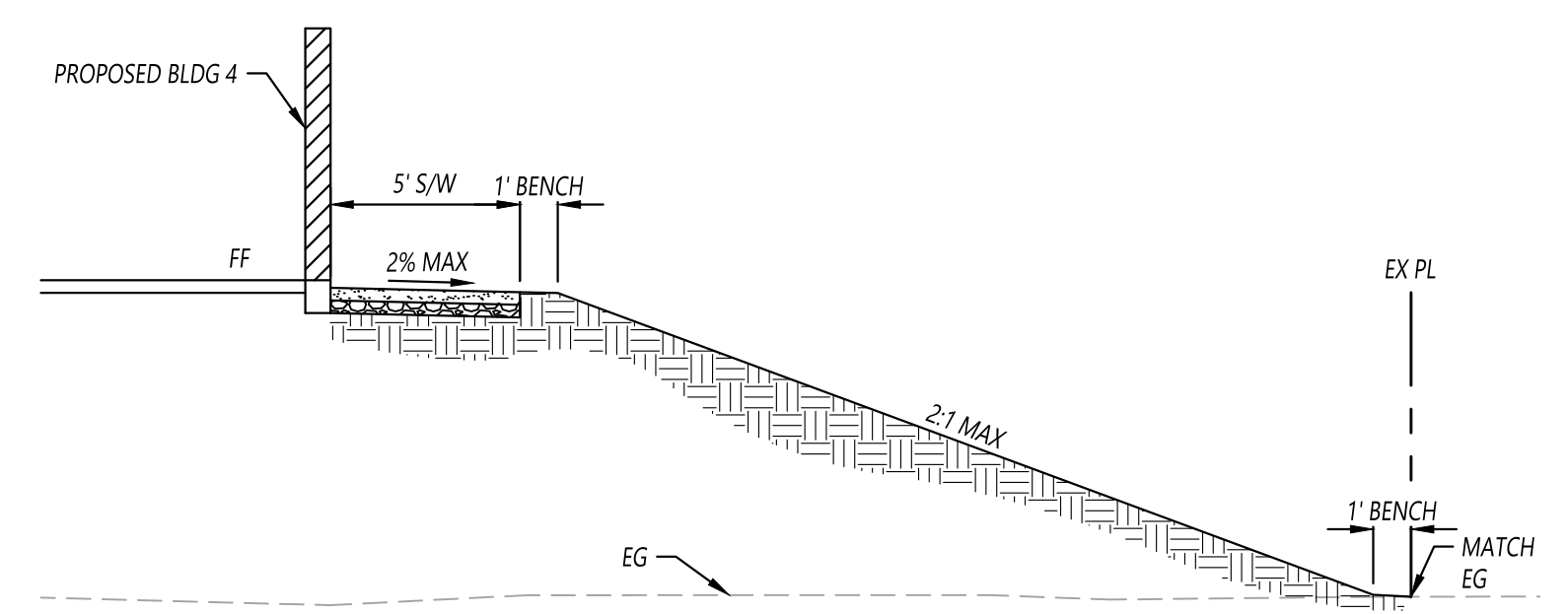
PRELIMINARY ENGINEERS OPINION OF EARTHWORK

	CUT (CY)	FILL (CY)	NET (CY)
TOTAL	±10,985	±2,870	±8,115 (CUT/EXPORT)

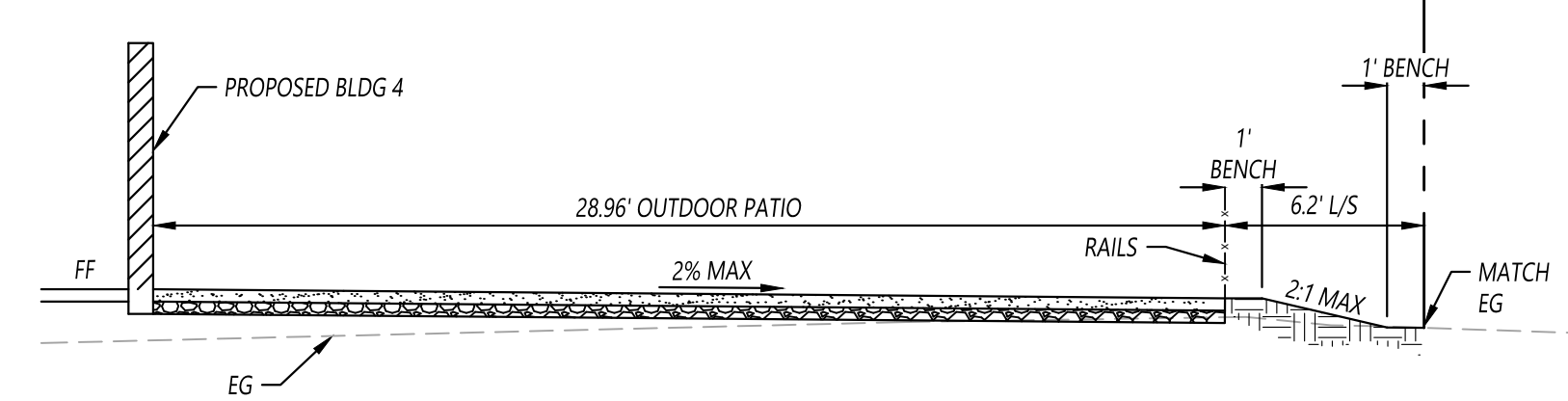
NOTE: ENGINEERS ESTIMATE OF EARTHWORK ARE RAW VOLUMES BASED ON EXISTING GROUND SURFACE OF THE SITE AT THE TIME OF THE SURVEY AND PROPOSED FINISH GROUND SURFACE ELEVATIONS. IT INCLUDES ESTIMATED EXCAVATION FOR ASSUMED SECTIONS OF NEW ON-SITE FLATWORK, ASPHALT PAVEMENT, AND BUILDING SLAB SUBGRADE. THE ESTIMATE DOES NOT INCLUDE ANY PAVEMENT OR BUILDING FOUNDATION REMOVAL AS PART OF DEMOLITION, EXCAVATION FOR CONTINUOUS FOOTINGS OR TOPPING SLAB SUBGRADE, TRENCH SPOILS, OR SHRINK OR SWELL FACTORS. IT SHALL BE THE RESPONSIBILITY OF THE EARTHWORK CONTRACTOR TO VERIFY ALL EARTHWORK QUANTITIES PRIOR TO BID.



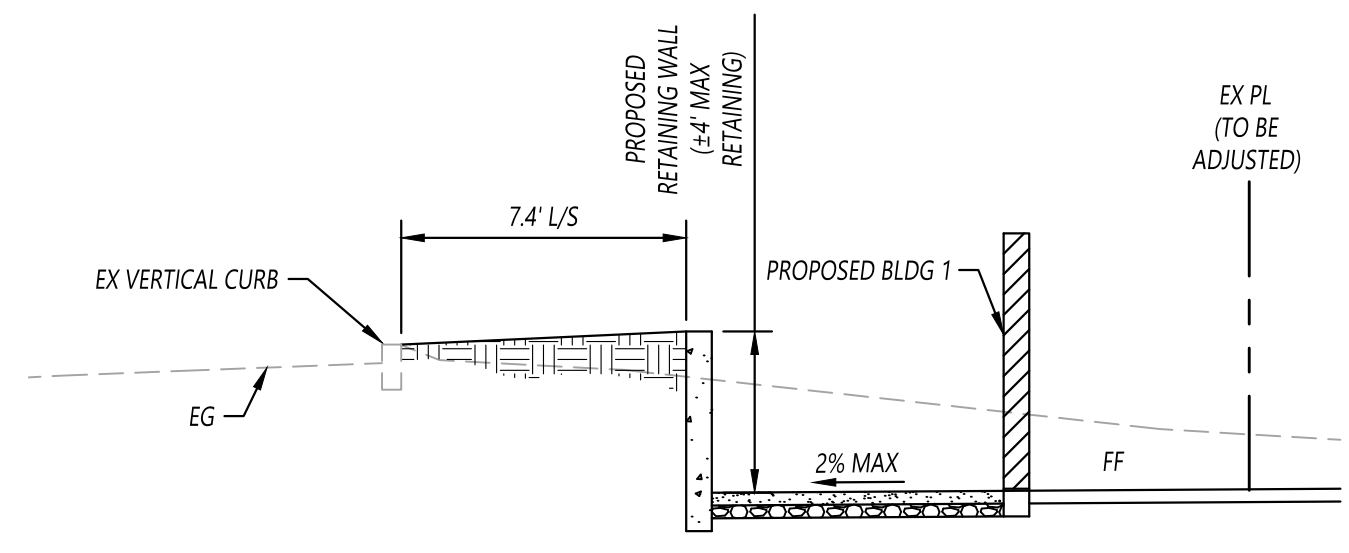
A-A SECTION A-A
C1.0 NOT TO SCALE



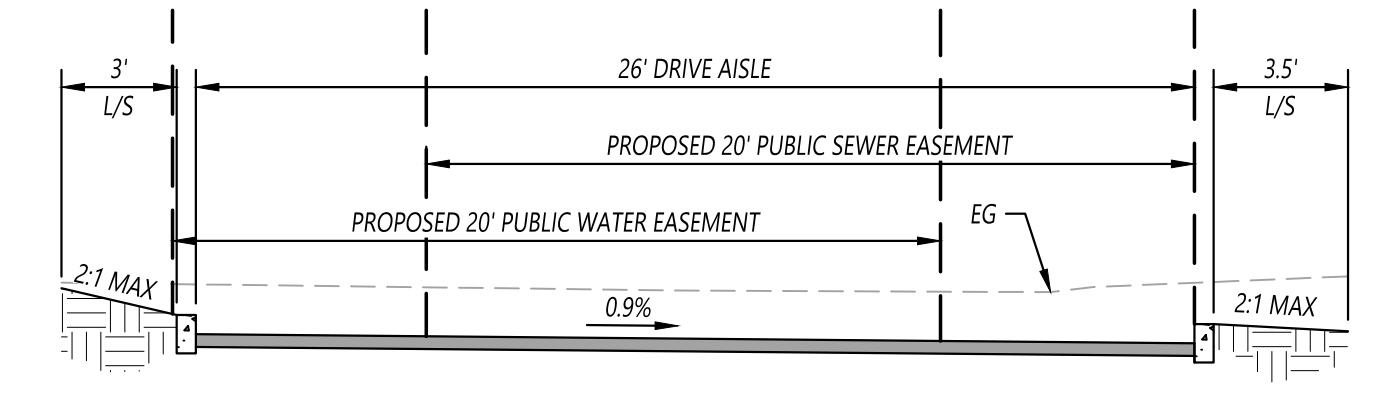
B-B SECTION B-B
C1.0 NOT TO SCALE



C-C SECTION C-C
C1.0 NOT TO SCALE



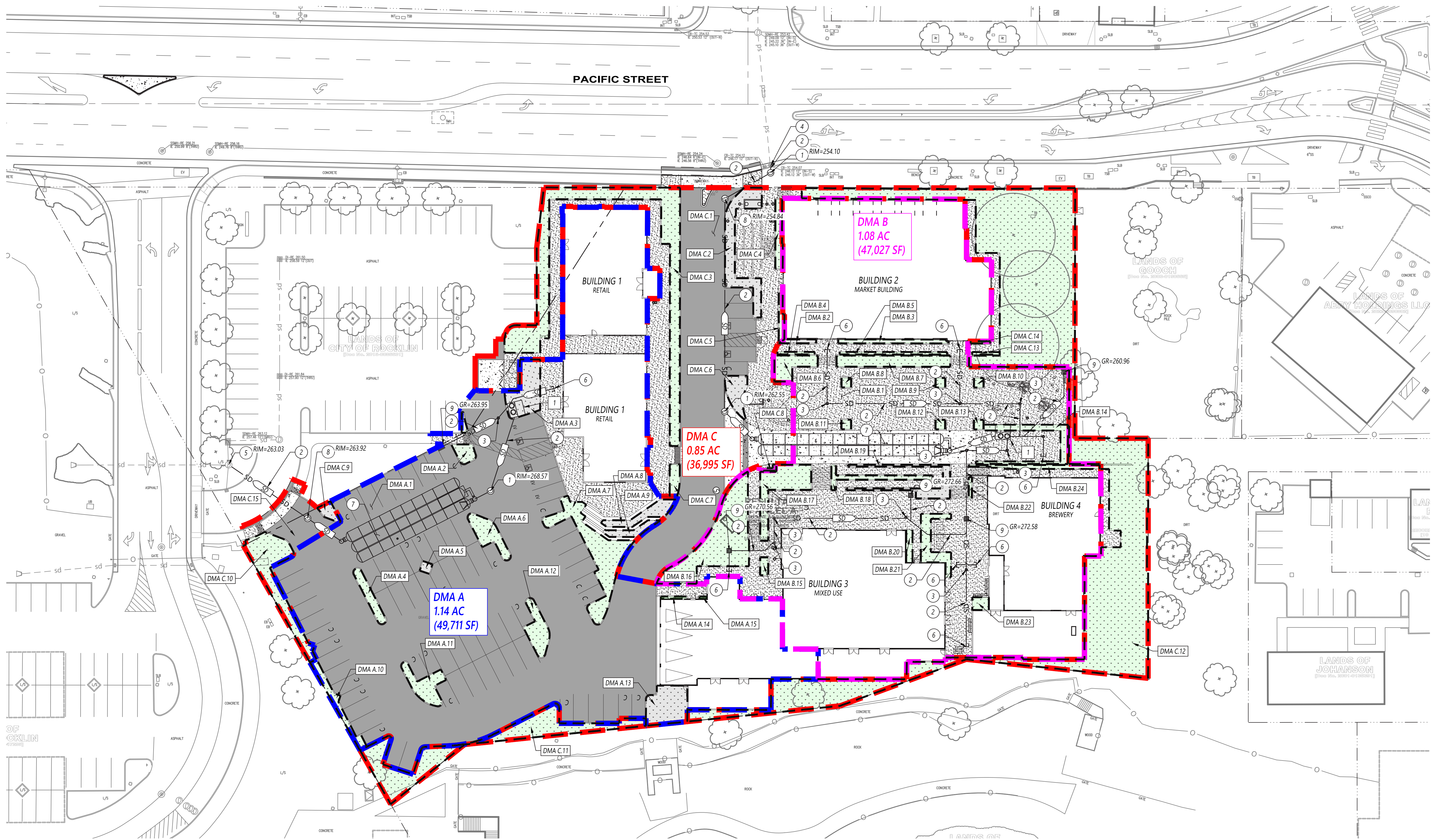
D-D SECTION D-D
C1.0 NOT TO SCALE



E-E SECTION E-E
C1.0 NOT TO SCALE

**PRELIMINARY GRADING PLAN
ROCKLIN PUBLIC MARKET**

5255 PACIFIC STREET
ROCKLIN, CA



LEGEND

- - - - - EXISTING PROPERTY LINE
- - - - - EXISTING EASEMENT
- - - - - EXISTING ADJACENT PROPERTY LINE
- OVERALL DMA-A BOUNDARY
- OVERALL DMA-B BOUNDARY
- OVERALL DMA-C BOUNDARY
- SD --- PROPOSED STORM DRAIN LINE
- sd --- EXISTING STORM DRAIN LINE
- ⊙ --- PROPOSED STORM DRAIN INLET
- ⊙ --- PROPOSED STORM DRAIN MANHOLE
- DMA XX**
X.XX AC
- --- DMA NO. AND AREA
- --- IMPERVIOUS SURFACE (CONCRETE, ASPHALT)
- --- PERVIOUS LANDSCAPE DMA

PRELIMINARY STORM DRAIN KEYNOTES:

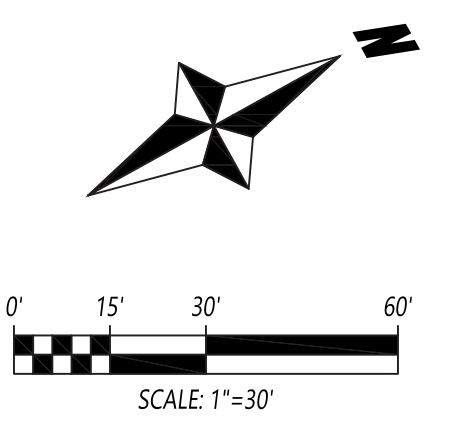
- 1 PROPOSED STORM DRAIN MANHOLE.
- 2 PROPOSED PVC STORM DRAIN PIPE. SIZE TO BE CONFIRMED AS PART OF CONSTRUCTION DOCUMENTS.
- 3 PROPOSED STORM DRAIN CLEANOUT.
- 4 CONNECT PROPOSED STORM DRAIN PIPE TO EXISTING STORM DRAIN INLET.
- 5 CONNECT PROPOSED STORM DRAIN PIPE TO EXISTING STORM DRAIN MANHOLE.
- 6 PROPOSED STUB FOR CONNECTION TO ROOF DRAIN LEADER - ROOF DRAIN LEADER LOCATIONS TO BE DETERMINED AS PART OF CONSTRUCTION DOCUMENTS.
- 7 PROPOSED STORMTECH UNDERGROUND DETENTION CHAMBERS.
- 8 PROPOSED STORM DRAIN FLOW CONTROL MANHOLE.
- 9 PROPOSED STORM DRAIN INLET.

PRELIMINARY STORMWATER QUALITY KEYNOTES:

- 1 PROPOSED CONTECH MODULAR WETLAND LINEAR UNIT - SEE STORMWATER CONTROL PLAN REPORT FOR DETAILS.
NOTE: SEE STORMWATER CONTROL PLAN FOR DMA TABLES AND PRELIMINARY BIOCLEAN MODULAR WETLAND UNIT SIZING CALCULATIONS.

PRELIMINARY DRAINAGE NOTES:

1. DETENTION WILL BE REQUIRED. UNDERGROUND ADS STORMTECH CHAMBERS ARE PROPOSED FOR DETENTION TO MITIGATE THE 10 AND 100-YEAR PEAK FLOW. SEE PRELIMINARY DRAINAGE NARRATIVE FOR FURTHER INFORMATION.
2. LID WILL BE REQUIRED. CONTECH MODULAR WETLAND LINEAR UNITS ARE PROPOSED FOR LID. BIORETENTION IS NOT FEASIBLE DUE TO EXISTING LOW PERMEABILITY SOIL CONDITIONS AND BEDROCK PER GEOTECHNICAL REPORT PREPARED BY YOUNGDAHL CONSULTING GROUP, INC., DATED NOVEMBER 2017.



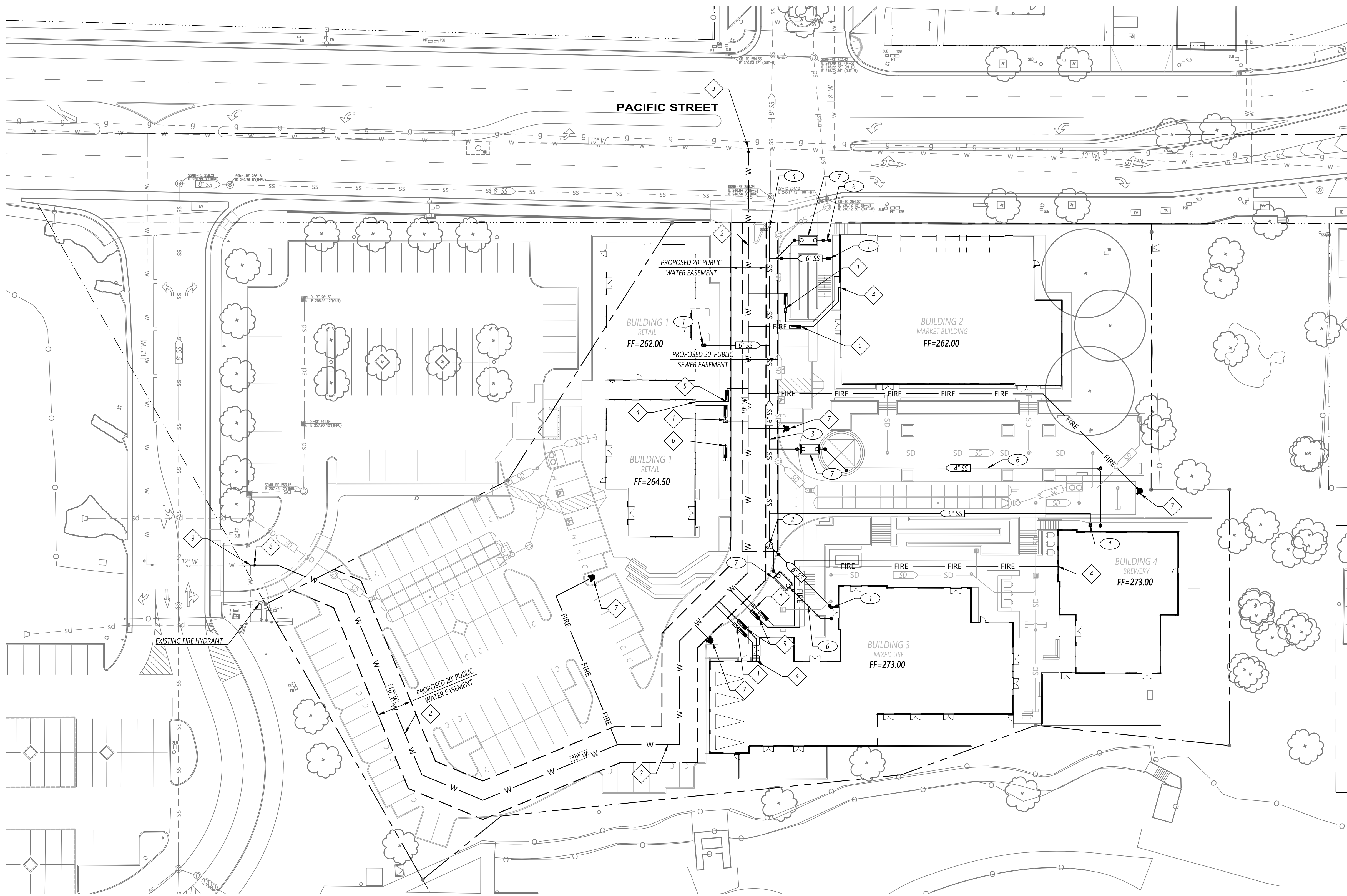
**PRELIMINARY DRAINAGE AND STORMWATER CONTROL PLAN
ROCKLIN PUBLIC MARKET**

5255 PACIFIC STREET
ROCKLIN, CA

C2.0

DATE: 6/19/2025
SCALE: 1"=30'
DRAWN BY: WY/RS

Login Name: wwy/rs Date: June 19, 2025 5:05 pm
 Plot Date: June 19, 2025 5:05 pm
 File Name: U:\24\002-Rocklin Public Market\CAD\3D\Production Drawings\24002-00-STORM.dwg



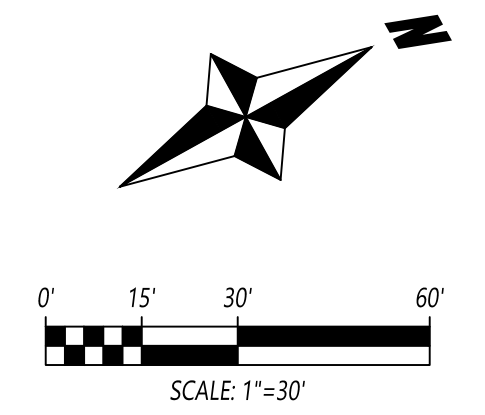
LEGEND

---	EXISTING PROPERTY LINE
- - - -	EXISTING ADJACENT PROPERTY LINE
SS	EXISTING SANITARY SEWER LINE
SD	EXISTING STORM DRAIN LINE
W	EXISTING WATER LINE
G	EXISTING GAS LINE
E	EXISTING ELECTRICAL LINE
Oe	EXISTING OVERHEAD LINE
SS	PROPOSED SANITARY SEWER LINE
W	PROPOSED WATER LINE
○	PROPOSED SANITARY SEWER MANHOLE
∞	PROPOSED SANITARY SEWER TWO-WAY CLEANOUT
□	PROPOSED GREASE INTERCEPTOR
+	PROPOSED GATE VALVE
M	PROPOSED WATER METER
F	PROPOSED FIRE HYDRANT
□	EXISTING FIRE HYDRANT
▲	PROPOSED RP/DCDA
▲	PROPOSED FIRE DEPARTMENT CONNECTION
▼	PROPOSED REDUCER

- PRELIMINARY WATER KEYNOTES:**
- 1 PROPOSED DOMESTIC WATER SERVICE, METER, AND BACKFLOW.
 - 2 PROPOSED 10" PUBLIC WATER LINE.
 - 3 CONNECT NEW 10" PUBLIC WATER LINE TO EXISTING 10" WATER LINE.
 - 4 PROPOSED FIRE WATER SERVICE BUILDING POC.
 - 5 PROPOSED DCDA.
 - 6 PROPOSED IRRIGATION SERVICE, METER, AND BACKFLOW.
 - 7 PROPOSED FIRE HYDRANT.
 - 8 PROPOSED 12" X 10" REDUCER.
 - 9 CONNECT NEW 10" PUBLIC WATER LINE TO EXISTING 12" WATER LINE.

- PRELIMINARY SANITARY SEWER KEYNOTES:**
- 1 PROPOSED 6" PRIVATE SEWER SERVICE BUILDING POINT OF CONNECTION. LOCATION OF PROPOSED SEWER POINT OF CONNECTION IS APPROXIMATE.
 - 2 PROPOSED SANITARY SEWER MANHOLE.
 - 3 PROPOSED 6" PUBLIC SANITARY SEWER LINE.
 - 4 CONNECT NEW 6" PUBLIC SANITARY SEWER LINE TO EXISTING 6" SEWER STUB AT CLEANOUT.
 - 6 PROPOSED SANITARY SEWER GREASE SERVICE.
 - 7 PROPOSED GREASE INTERCEPTOR.

- CONCEPTUAL UTILITY NOTES:**
1. ALL PROPOSED UTILITIES SHOWN ARE CONCEPTUAL AND SUBJECT TO CHANGE PENDING FURTHER DESIGN COORDINATION.



**PRELIMINARY SEWER AND WATER LAYOUT
ROCKLIN PUBLIC MARKET**

5255 PACIFIC STREET
ROCKLIN, CA

C3.0

DATE: 6/19/2025
SCALE: 1"=30'
DRAWN BY: WY/RS

PACIFIC STREET



LANDSCAPE SITE PLAN CONCEPT
ROCKLIN PUBLIC MARKET

EXISTING QUARRY

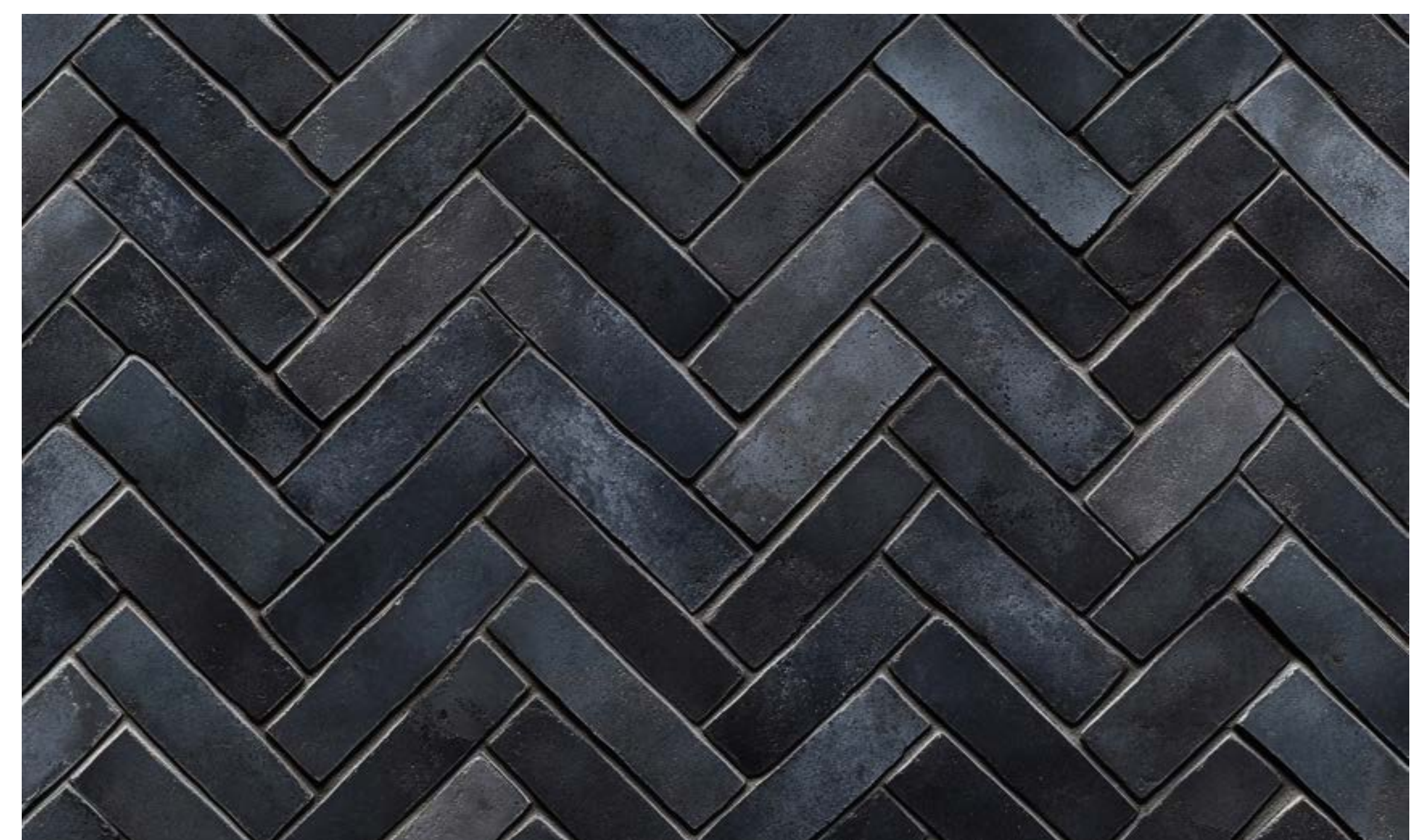
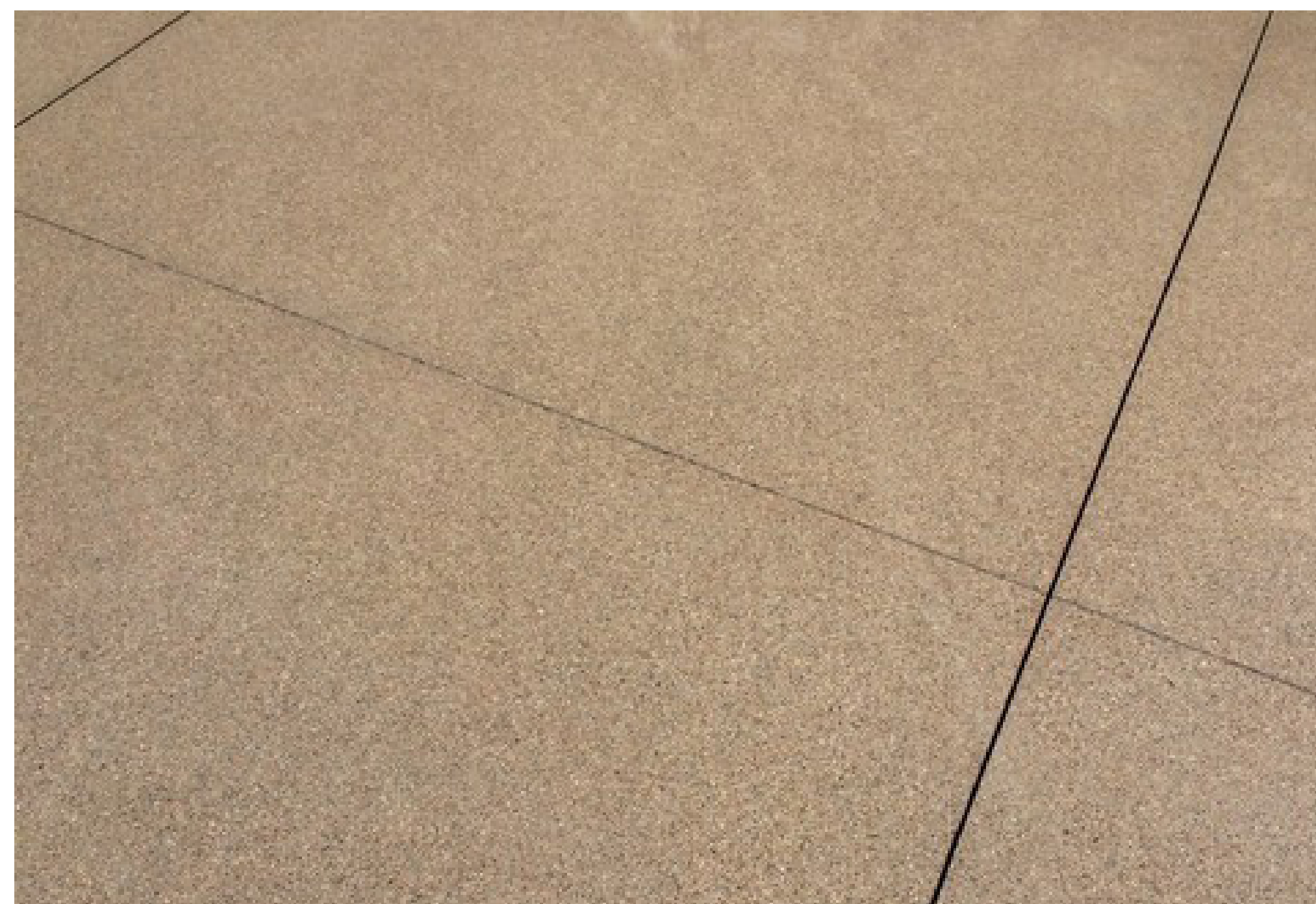
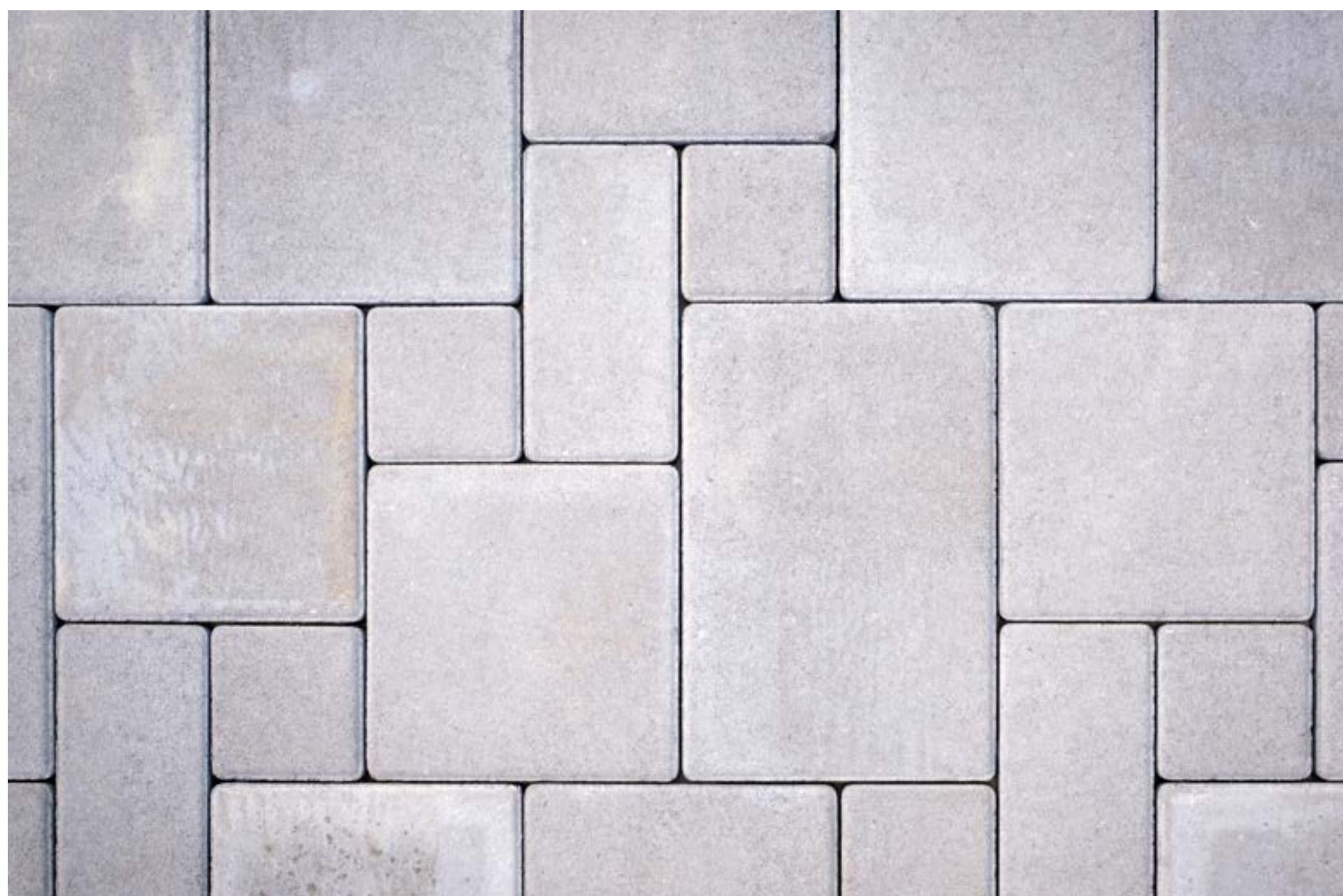
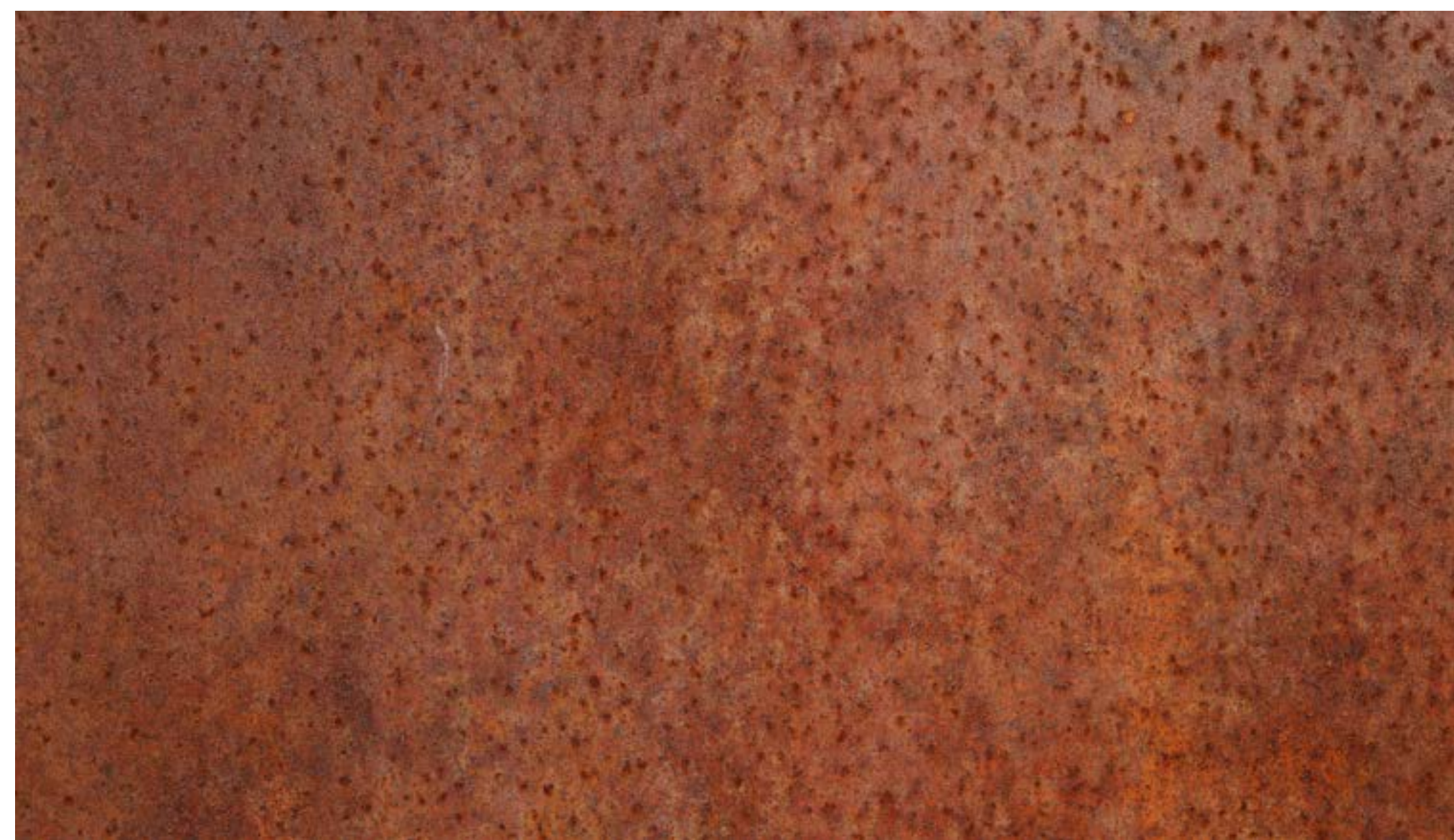


0 10 20 40
 1" = 20'-0" 24X36 SHEET

20 JUNE 2025

3233-01-CO23

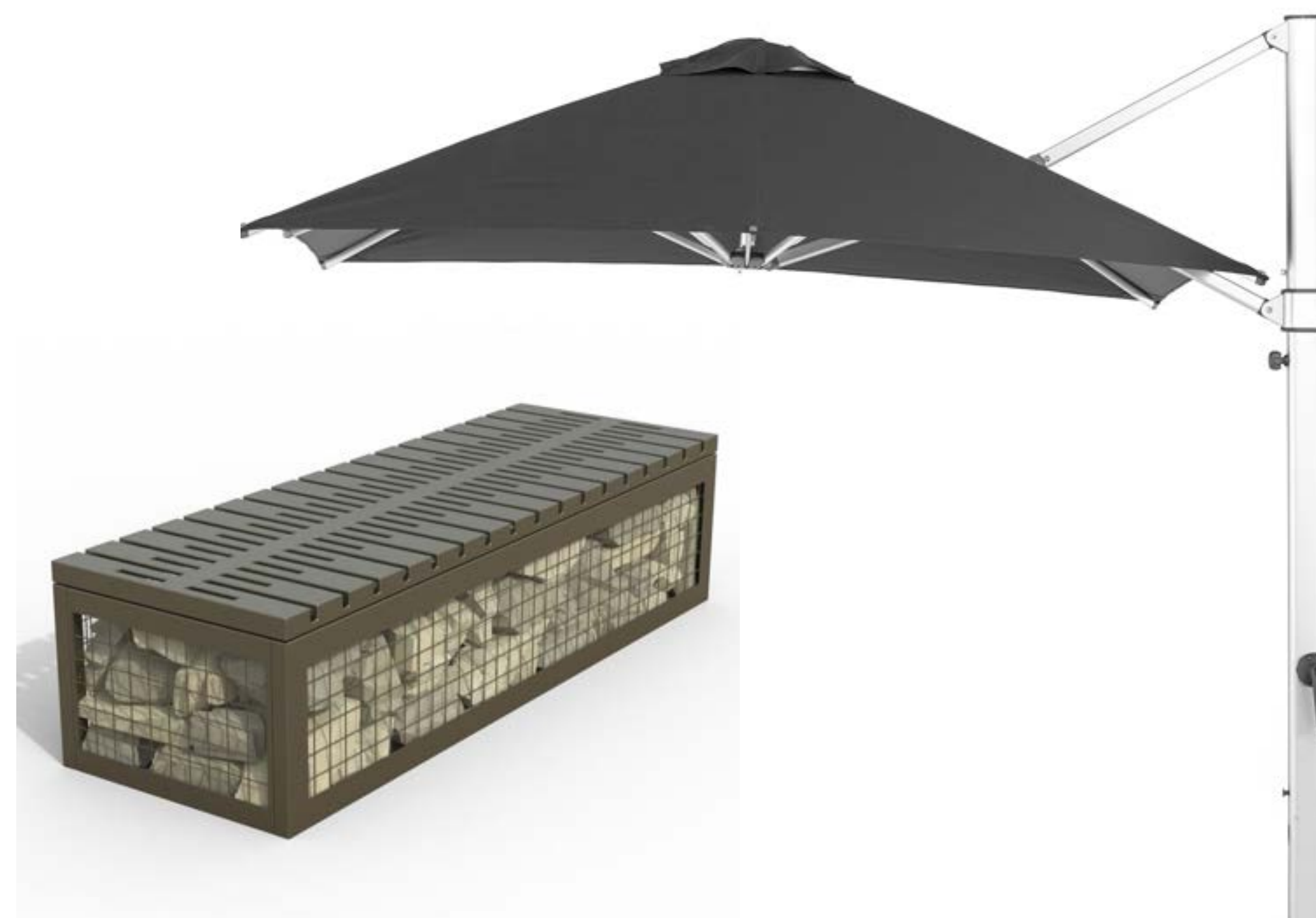
L1



SITE MATERIALS
ROCKLIN PUBLIC MARKET

20 JUNE 2025
3233-01-CO23





SITE FURNISHINGS
ROCKLIN PUBLIC MARKET

20 JUNE 2025

3233-01-CO23



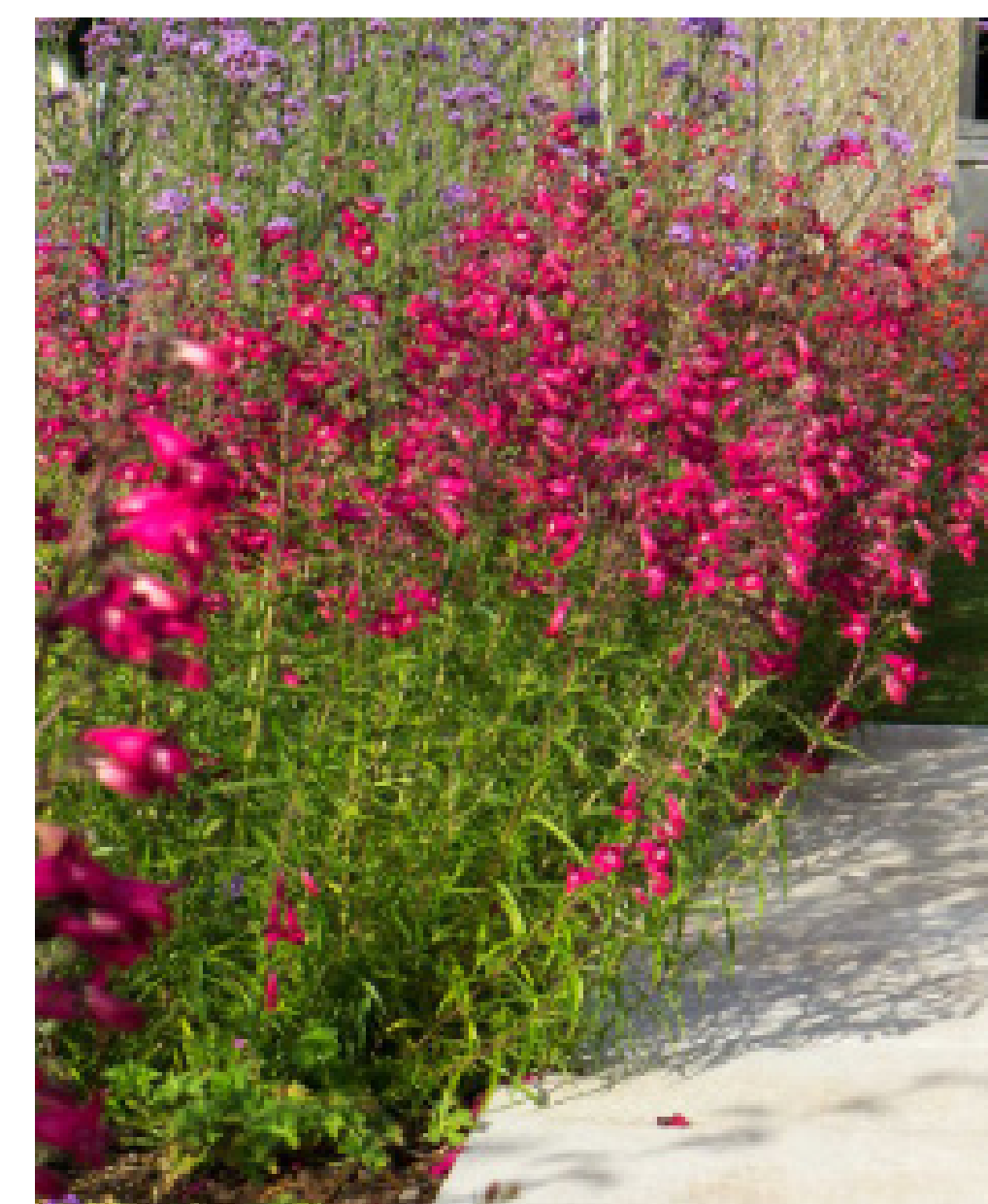


TREE PALETTE
ROCKLIN PUBLIC MARKET

20 JUNE 2025

3233-01-CO23





PLANT PALETTE
ROCKLIN PUBLIC MARKET

20 JUNE 2025

3233-01-CO23

