



New Project Information

The City of Rocklin is processing the below referenced application(s) for project approval. The request is now being reviewed for compliance with the requirements and regulations of relevant City, State, and Federal agencies, and Utility providers. Once any issues have been resolved a hearing date will be set and public notice provided to alert neighbors and interested parties of the hearing date, availability of project information, the opportunity to comment on the project.

Application Received: June 2, 2026

Project Name and Requested Approvals:

Veterinary Clinic – West Stanford Ranch

DESIGN REVIEW, DR2026-0005

CONDITIONAL USE PERMIT, U2026-0005

ENVIRONMENTAL, ENV2026-0013

Staff Description of Project:

The project consists of a request for Design Review approval to construct a one-story, multi-tenant commercial building totaling approximately 7,300 square feet, together with associated parking, landscaping, and site improvements. The project also includes a Conditional Use Permit to allow operation of a veterinary clinic within the Planned Development Business Professional/Commercial (PD-BP/C) zoning district of the Stanford Ranch General Development Plan.

Location:

West Stanford Ranch Road, 250 feet East of Wildcat Boulevard; APN 373-0330-060

Land Use Designation(s)/Zoning:

The property is designated Business Professional/Commercial (BP/C) in the Rocklin General Plan and zoned Planned Development Commercial (PD-BP/C) in the Stanford Ranch General Development Plan.

This project does / **X** does not require modification or change of the land use designations and regulations currently applicable to the project site.

Compliance with the California Environmental Quality Act:

A preliminary review of this project pursuant to the California Environmental Quality Act (CEQA) has tentatively identified a Categorical Exemption as the appropriate level of environmental review for this project.

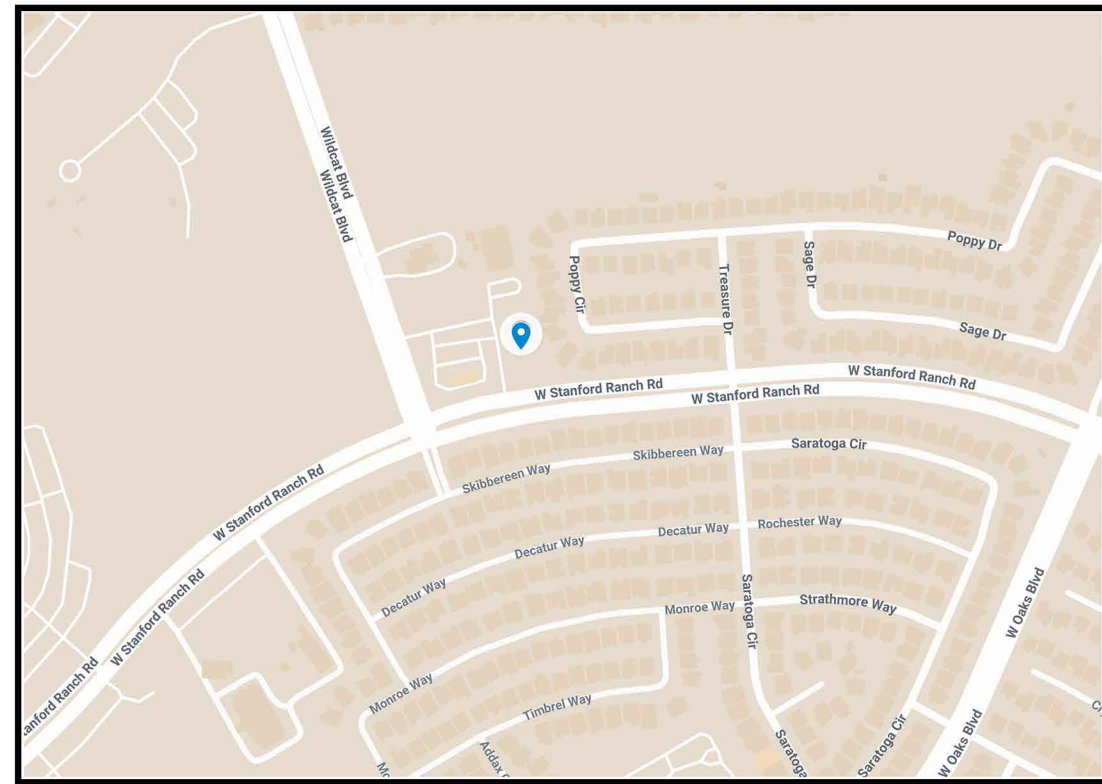
Applicant & Property Owner:

The applicant is Alpha Designs (Ash Mohy). The property owner is Rupinder Singh.

Attached Information:

For additional detail, please visit the following link: <https://www.rocklin.ca.us/post/>

LOCATION MAP :



OWNER NAME & ADDRESS :

OWNER NAME : RUPINDER SINGH
 BUSINESS NAME : FAMILY PET HOSPITAL
 APN : 373-030-060

BUILDING DATA :

MAIN APN : 373-030-060
 BUILDING STORIES : 1
 ZONING : COMMERCIAL - BP BUSINESS & PROFESSIONAL
 FIRE SPRINKLERS : YES
 TYPE OF CONST. : V-B
 OCCUPANCY GROUP : B - MEDICAL & OFFICE USE

BUILDING	SQ. FT.
VET CLINIC - SUITE 100 :	3,396
FUTURE TENANT #1 - SUITE 200 :	2,041
FUTURE TENANT #2 - SUITE 300 :	1,511
COMMON EGRESS AREA :	355
TOTAL BUILDING FOOTPRINT :	7,303
LOT :	31,015 (0.71 ACRES)

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ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:

- 2025 CALIF. BUILDING CODE (CBC) (PART 2, VOL. 1&2)
- 2025 CALIF. ELECTRICAL CODE (CEC) (PART 3)
- 2025 CALIF. MECHANICAL CODE (CMC) (PART 4)
- 2025 CALIF. PLUMBING CODE (CPC) (PART 5)
- 2025 CALIF. ENERGY CODE (CEC) (PART 6)
- 2025 CALIF. FIRE CODE (CFC) (PART 9)
- 2025 CALIF. GREEN BUILDING STANDARDS CODE (CGSBC) (PART 11)
- 2025 CALIF. REFERENCED STANDARDS CODE (CRSC) (PART 12)

AS REQUIRED OR AMENDED BY THE STATE OF CALIFORNIA AND LOCAL JURISDICTIONS.

SCOPE OF WORK :

- BUILD NEW ONE STORY COMMERCIAL BUILDING - TOTAL OF 7,303 SQ. FT
- FULL SITE GRADING & PARKING LOT IMPROVEMENTS PER 2025 CA CODES.
- NEW BUILDING TO INCLUDE THREE SUITES :
 - A) SUITE 100 TO BE FOR MEDICAL VET CLINIC - OWNER USER.
 - B) SUITE 200 & 300 FOR FUTURE TENANT USE - ONLY WARM SHELL IMPROVEMENTS.
- FOR SUITE 100 THE OPERATIONAL INTENDED USE IS TO HAVE A SMALL VETERINARY CLINIC OPERATING ON OUTPATIENT BASIS ONLY.

THE FACILITY WILL PROVIDE THE FOLLOWING SERVICES :

- SMALL ANIMAL MEDICINE.
- SMALL ANIMAL SURGERY.
- ADVANCE ORTHOPEDIC PROCEDURES.
- ADVANCE DIAGNOSTICS INCLUDING, DIGITAL RADIOGRAPHY, ULTRASOUND & COMPREHENSIVE BLOOD TESTING
- PREVENTATIVE CARE & VACCINATION
- NUTRITIONAL GUIDANCE.

HOURS OF OPERATION : MONDAY TO FRIDAY 8:00 AM TO 6:00 PM
 NUMBER OF EMPLOYEES : 8 - 10

BUILDING ANALYSIS :

NEW BUILDING OCCUPANCY GROUP : "B" MEDICAL / PROFESSIONAL

PARKING CALCULATIONS :

OCCUPANCY "B" REQUIREMENTS FOR MEDICAL USE : 1 PARKING PER 200 SQ. FT

OCCUPANCY "B" REQUIREMENTS FOR OFFICE USE : 1 PARKING PER 250 SQ. FT

- REQUIRED 19 PARKING SPOTS FOR VET CLINIC - SUITE 100.
- REQUIRED 9 PARKING SPOTS FOR SUITE 200.
- REQUIRED 7 PARKING SPOTS FOR SUITE 300.

TOTAL PARKING SPOTS REQUIRED 35
 TOTAL PROVIDED = 35 PARKING SPOTS

EXITS REQUIRED PER CBC TABLE 1006.2.1 :

EXITS REQUIRED FOR VET CLINIC - SUITE 100: 2 - EXITS PROVIDED : 3
 EXITS REQUIRED FOR SUITE 200: 2 - EXITS PROVIDED : 2
 EXITS REQUIRED FOR SUITE 300: 2 - EXITS PROVIDED : 2
 MAX. PATH OF TRAVEL REQUIRED : 100 FEET
 MAX. PATH OF TRAVEL PROVIDED : 92 FEET
 THEREFORE, ALL EXITS ARE OK

NEW OCCUPANCY LOAD FACTOR CALCULATION PER CBC TABLE 1004.1.2 :

- TOTAL OCCUPANCY LOAD FOR VET CLINIC - SUITE 100 : 49 OCCUPANTS
- TOTAL OCCUPANCY LOAD FOR SUITE 200 : 41 OCCUPANTS
- TOTAL OCCUPANCY LOAD FOR SUITE 300 : 31 OCCUPANTS
- TOTAL OCCUPANCY LOAD FOR COMMON AREA : 3 OCCUPANTS

TOTAL BUILDING OCCUPANCY : 124 OCCUPANTS

OCCUPANT LOAD FACTOR FOR VET CLINIC "SUITE 100":

- RECEPTION : 15 GROSS
- EXAM ROOM : 50 NET
- OFFICES : 150 NET
- UTILITY AREA / LAUNDRY : 150 NET
- STORAGE : 300 GROSS
- KITCHEN : 200 GROSS
- RESTROOMS + HALLWAY : 1 GROSS
- OCCUPANT LOADS UNIT 1 "SUITE 100":
- OFFICES REQUIRES 7 OCCUPANTS
- EXAM ROOMS REQUIRES 16 OCCUPANTS
- RECEPTION REQUIRES 20 OCCUPANTS
- STORAGE REQUIRES 2 OCCUPANTS
- KITCHEN REQUIRES 1 OCCUPANTS
- UTILITY AREA REQUIRES 1 OCCUPANTS
- RESTROOMS + HALLWAY REQUIRES 2 OCCUPANTS

OCCUPANT LOAD FACTOR FOR "SUITE 200": TOTAL 41 OCCUPANTS

- FUTURE "B" OCCUPANCY : 50 NET
- RESTROOMS + HALLWAY : 1 GROSS

OCCUPANT LOAD FACTOR FOR "SUITE 300": TOTAL 31 OCCUPANTS

- FUTURE "B" OCCUPANCY : 50 NET
- RESTROOMS + HALLWAY : 1 GROSS

SITE PLAN NOTES

- "Contractor shall grade lot to prevent drainage from crossing property lines."
- All construction materials and workmanship shall conform to the CITY OF ROCKLIN standard specification.
- The contractor is responsible for determining the exact location of all existing utilities and for the protection of and repair of damage to them. Contact underground service alert, 48 hours before work is to begin.
- No permanent structure (including without limitation garages, patios, concrete slabs, tool shed, roof overhangs and similar structures) shall be constructed on top of water, sewer or drainage pipelines or anywhere within the associated utility easements.
- Contractor is responsible for determining exact locations and protection of all existing mains and lines.
- It is the responsibility of the property owner to determine the location of any easements of record encumbered within the property.

EROSION AND SEDIMENT CONTROL NOTES

- THE CONTRACTOR SHALL FOLLOW THE GUIDELINES FOR THE CITY OF ROCKLIN "ADMINISTRATIVE AND TECHNICAL PROCEDURES MANUAL FOR GRADING AND EROSION AND SEDIMENT CONTROL".
- PRIOR TO THE COMMENCEMENT OF WORK, CONTRACTOR SHALL PLACE FILTER BAGS IN AND AROUND ANY STORM DRAIN INLETS WHICH RECEIVE RUNOFF FROM THE LIMITS OF THE CONSTRUCTION ZONE. CONTRACTOR SHALL MONITOR AND MAINTAIN THE FILTER BAGS AND GRAVEL BAGS UNTIL THE COMPLETION OF THE PROJECT.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED BEFORE AND AFTER ALL STORMS TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.
- ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY OR AS NECESSARY.

ACCESSIBILITY NOTE:

SITE PLAN SHOWING ALL IMPROVEMENTS TO BE IN COMPLIANCE WITH THE 2025 CBC 11B REQUIREMENTS AND SHALL BE FIELD VERIFIED.

UTILITY NOTE :

ALL UNDERGROUND UTILITY MAIN LINES ARE EXISTING NEW IMPROVEMENTS TO BE AS PER CIVIL PLANS

BUILDING NOTE :

THE ENTIRE BUILDING IS BEING TREATED AS A NON-SEPARATED USE PER CBC SECTION 508.3 FOR IT IS A ONE STORY BUILDING WITH FIRE SPRINKLER SYSTEM & UNDER 40 FEET IN HEIGHT.

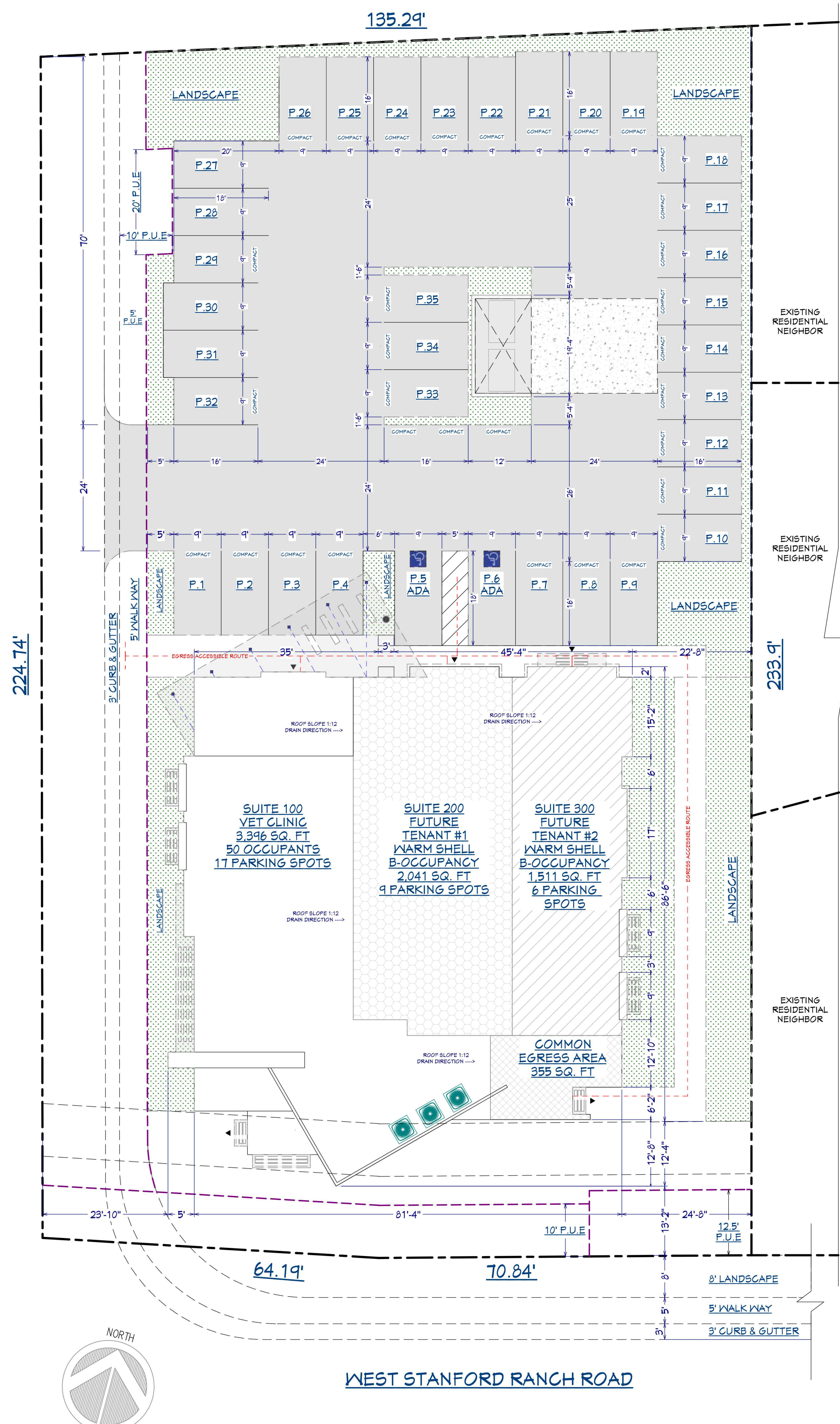
THE FIRE ALARM IS NOT REQUIRED PER CBC SECTION 907.2.1 FOR THE TOTAL OCCUPANT LOAD IS UNDER 300.

NO HAZARDOUS ITEMS ARE STORED INSIDE THE BUILDING.

SITE PLAN

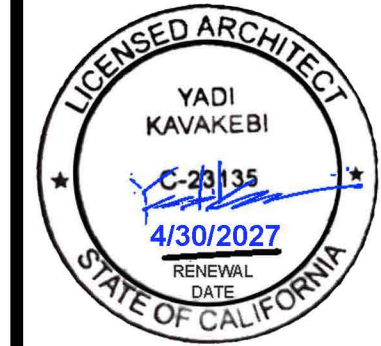
SCALE : 1" = 12'-0"

- NEW BUILDING - VET CLINIC SUITE 100
- SUITE 200 - WARM SHELL IMPROVEMENTS ONLY
- SUITE 300 - WARM SHELL IMPROVEMENTS ONLY
- NEW SITE IMPROVEMENTS - PARKING LOT



REVISIONS

SITE PLAN & PROJECT DETAILS



NEW COMMERCIAL BUILDING FOR APN : 373-030-060
 WEST STANFORD RANCH ROAD, ROCKLIN, CA 95765

DATE : 12/1/2025

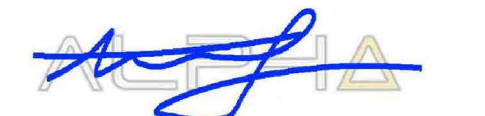
SCALE : 1" = 12'-0"

SHEET : A1

DISCLAIMER

ALPHA DESIGNS CERTIFIES THAT THE DIMENSION, MEASUREMENT SURVEY OF THE SUBJECT PROPERTY ARE ACCURATE & PRECISE WITHIN ALLOWABLE TOLERANCES IN THE INDUSTRY

DESIGNED BY : ASH MOHY



KEY NOTES: (THIS SHEET ONLY)

- 1 4" WHITE LINE DIAGONALS AT 3'-0" MAX CENTERS
- 2 4" BLUE LINE BORDERS.
- 3 ISA MARKING AT REAR LIMIT OF STALL, SEE DETAIL 5, THIS SHEET
- 4 ISA PARKING SIGN, SEE NOTES 2 AND 9.
- 5 ISA PARKING SIGN, SEE NOTE 9.
- 6 TRUNCATED DOMES, SEE DETAIL 20

ACCESSIBLE PARKING NOTES

1. ACCESSIBLE PARKING SPACES SERVING A PARTICULAR BUILDING SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE ENTRANCE. IN PARKING FACILITIES THAT DO NOT SERVE A PARTICULAR BUILDING, ACCESSIBLE PARKING SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE OF TRAVEL TO AN ACCESSIBLE PEDESTRIAN ENTRANCE OF THE PARKING FACILITY.
2. ONE IN EVERY EIGHT ACCESSIBLE OFF-STREET PARKING STALLS, BUT NOT LESS THAN ONE, SHALL BE SERVED BY AN ACCESSIBLE AISLE OF 8'-0" MINIMUM WIDTH AND SHALL BE SIGNED VAN ACCESSIBLE. THE R7-8B SIGN SHALL BE MOUNTED BELOW THE R99B (CA) PLAQUE OR THE R99C (CA) SIGN.
3. A WHEEL STOP CURB SHALL BE PLACED AT ALL ACCESSIBLE PARKING SPACES. THE WHEEL STOP CURB SHALL BE PROVIDED TO PREVENT ENCROACHMENT OF VEHICLES OVER THE REQUIRED MINIMUM WIDTH OF WALKWAYS. PARKING STALLS SHALL BE SO LOCATED THAT PERSONS WITH DISABILITIES ARE NOT COMPELLED TO WHEEL OR WALK BEHIND PARKED CARS OTHER THAN THEIR OWN.
4. SURFACE SLOPES OF ACCESSIBLE OFF-STREET PARKING STALLS SHALL BE THE MINIMUM POSSIBLE AND SHALL NOT EXCEED 2 PERCENT IN ANY DIRECTION.
5. CA CBC SHALL BE USED TO DETERMINE THE REQUIRED NUMBER OF ACCESSIBLE PARKING STALLS IN EACH PARKING LOT OR GARAGE.
6. WHERE PLAQUE R99B (CA), SIGN R99C (CA) OR SIGN R7-8B ARE INSTALLED, THE BOTTOM OF THE SIGN OR PLAQUE PANEL SHALL BE A MINIMUM OF 7'-0" ABOVE THE SURROUNDING SURFACE.
7. THE WORDS "NO PARKING", SHALL BE PAINTED IN WHITE LETTERS NO LESS THAN 1'-0" HIGH AND LOCATED SO THAT IT IS VISIBLE TO TRAFFIC ENFORCEMENT OFFICIALS.
8. A R100B (CA) SIGN SHALL BE POSTED IN A CONSPICUOUS PLACE AT EACH ENTRANCE TO OFF-STREET PARKING FACILITIES OR IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL. THE SIGN SHALL INCLUDE THE ADDRESS WHERE THE TOWED VEHICLE MAY BE RECLAIMED AND THE TELEPHONE NUMBER OF THE LOCAL TRAFFIC LAW ENFORCEMENT AGENCY.
9. ACCESSIBLE PARKING ONLY SIGN SHALL BE SIGN R99C (CA) OR SIGN R99 (CA) WITH PLAQUE R99B (CA). WHERE A SINGLE (NON-VAN) ACCESSIBLE PARKING SPACE IS PROVIDED, THE LOADING AND UNLOADING ACCESS AISLE SHALL BE ON THE PASSENGER SIDE OF THE VEHICLE AS THE VEHICLE IS GOING FORWARD INTO THE PARKING SPACE.

REVISIONS

**SITE DETAILS
ADA PARKING**

**NEW COMMERCIAL BUILDING
FOR APN : 373-030-060
WEST STANFORD RANCH ROAD,
ROCKLIN, CA 95765**

DATE :
12/1/2025

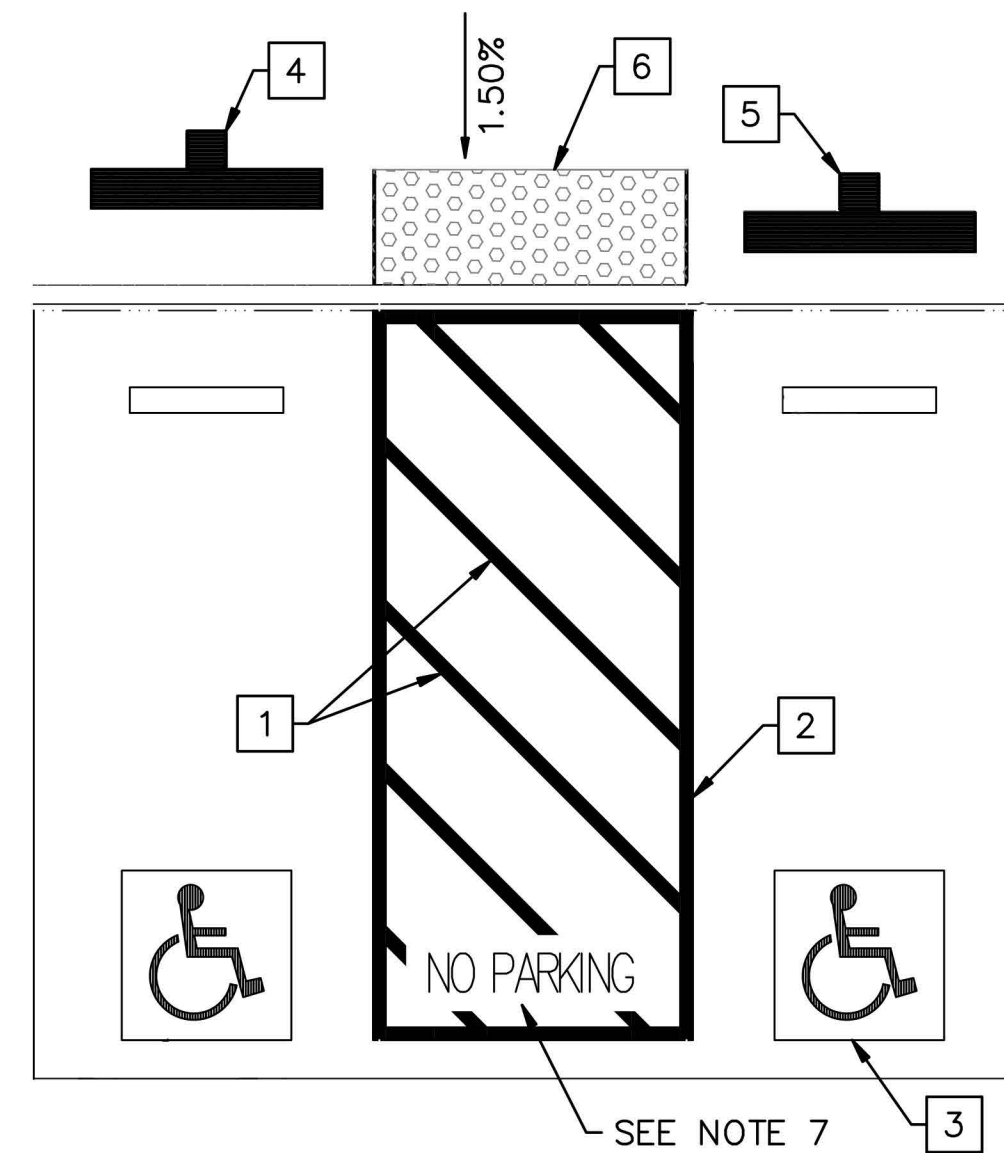
SCALE :
AS SHOWN

SHEET :
A1.2

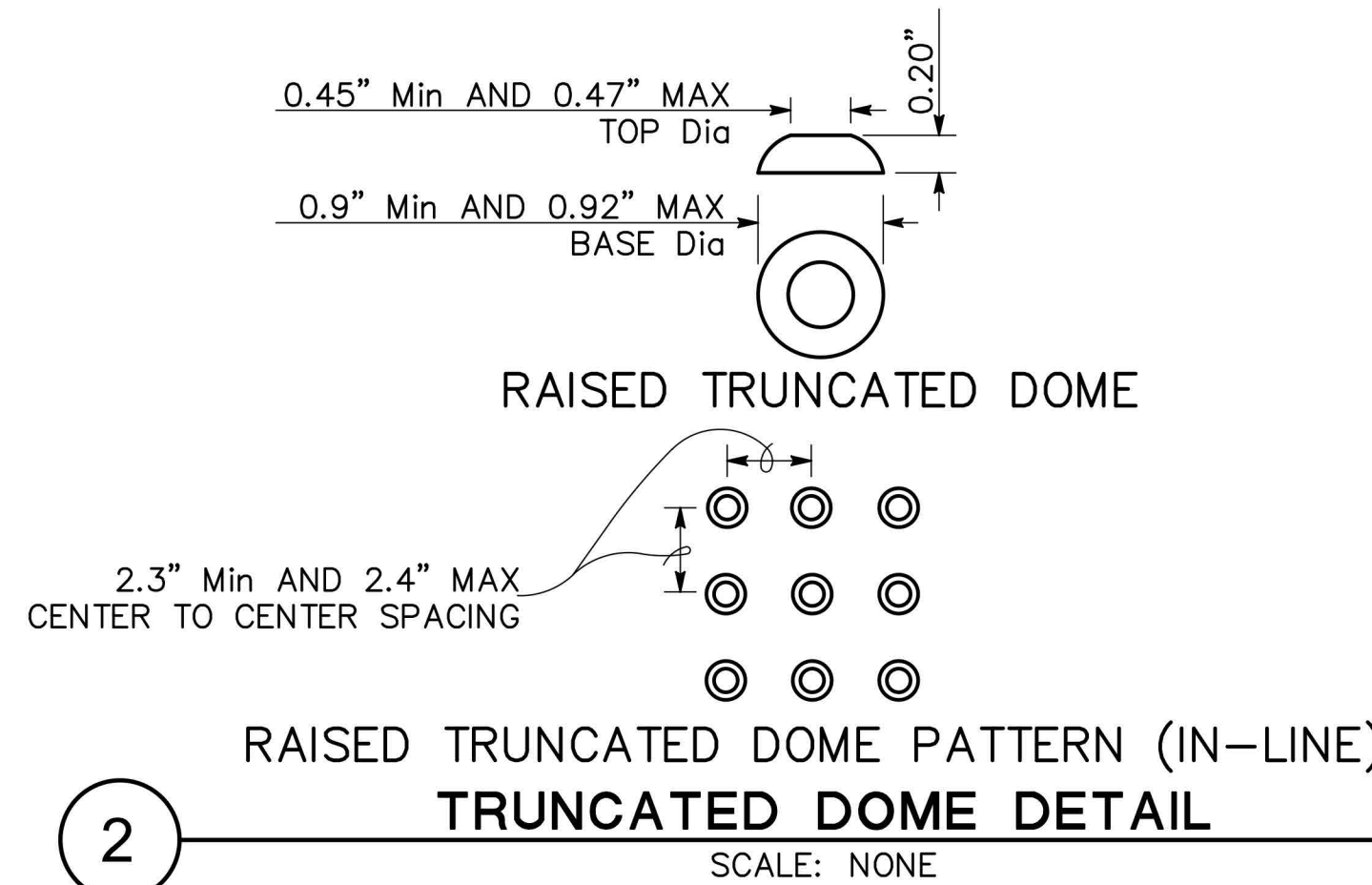
DISCLAIMER

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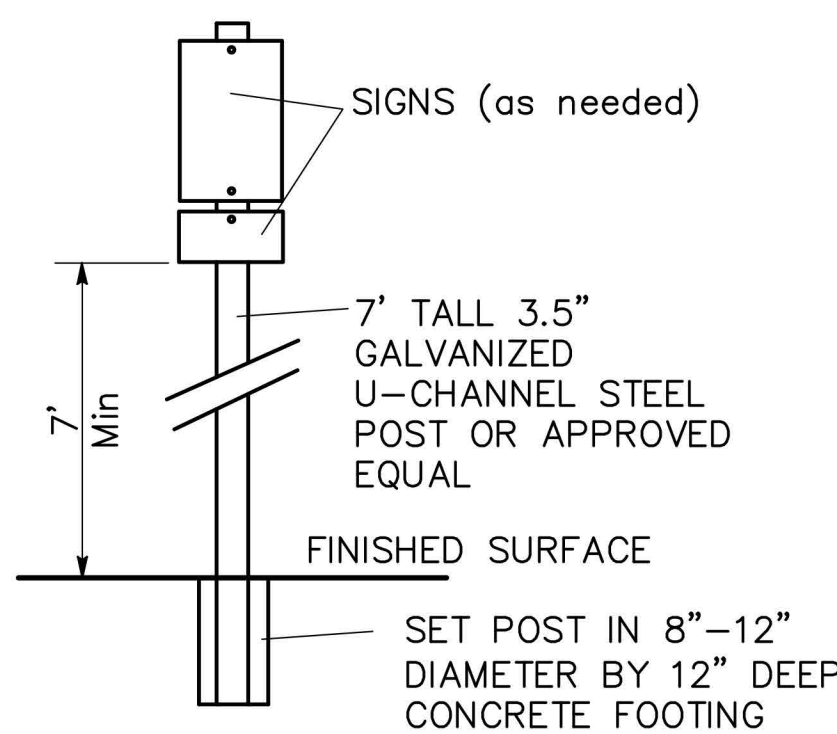
DESIGNED BY : ASH MOHY



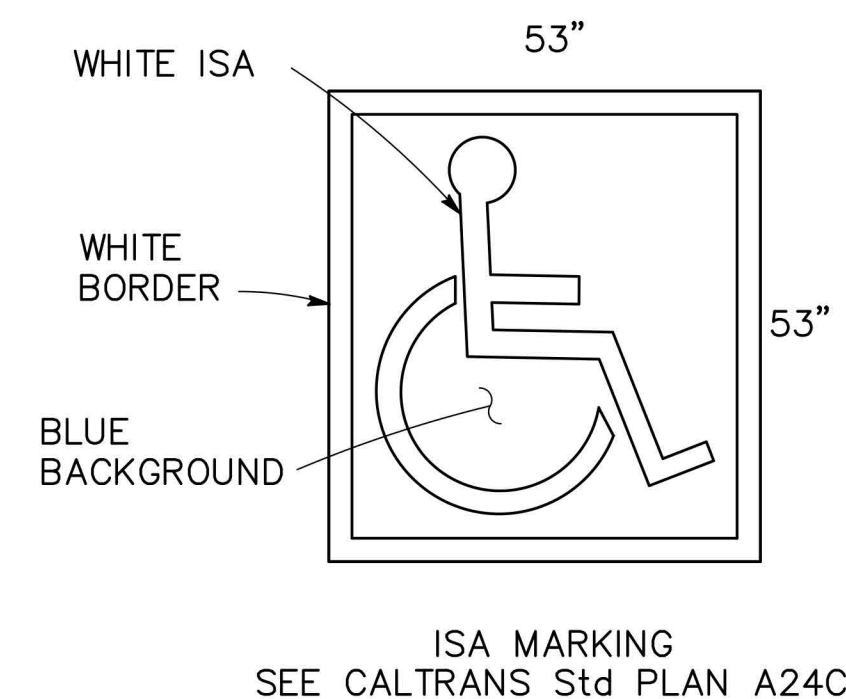
3 DOUBLE ACCESSIBLE PARKING STALL
SCALE: NONE



2 TRUNCATED DOME DETAIL
SCALE: NONE



4 SIGN POST DETAIL
SCALE: NONE



5 ISA MARKING
SCALE: NONE



6 ACCESSIBLE LOADING SIGN
SCALE: NONE



7 ACCESSIBLE PARKING AND FINE SIGN
SCALE: NONE



8 ACCESSIBLE MINIMUM FINE SIGN
SCALE: NONE



9 VAN ACCESSIBLE SIGN
SCALE: NONE



10 UNAUTHORIZED VEHICLES SIGN
SCALE: NONE

UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT THE OWNER'S EXPENSE

TOWED VEHICLES MAY BE RECLAIMED AT
YOUR TEXT HERE LINE 1
OR BY TELEPHONING
YOUR TEXT HERE LINE 2

UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT THE OWNER'S EXPENSE

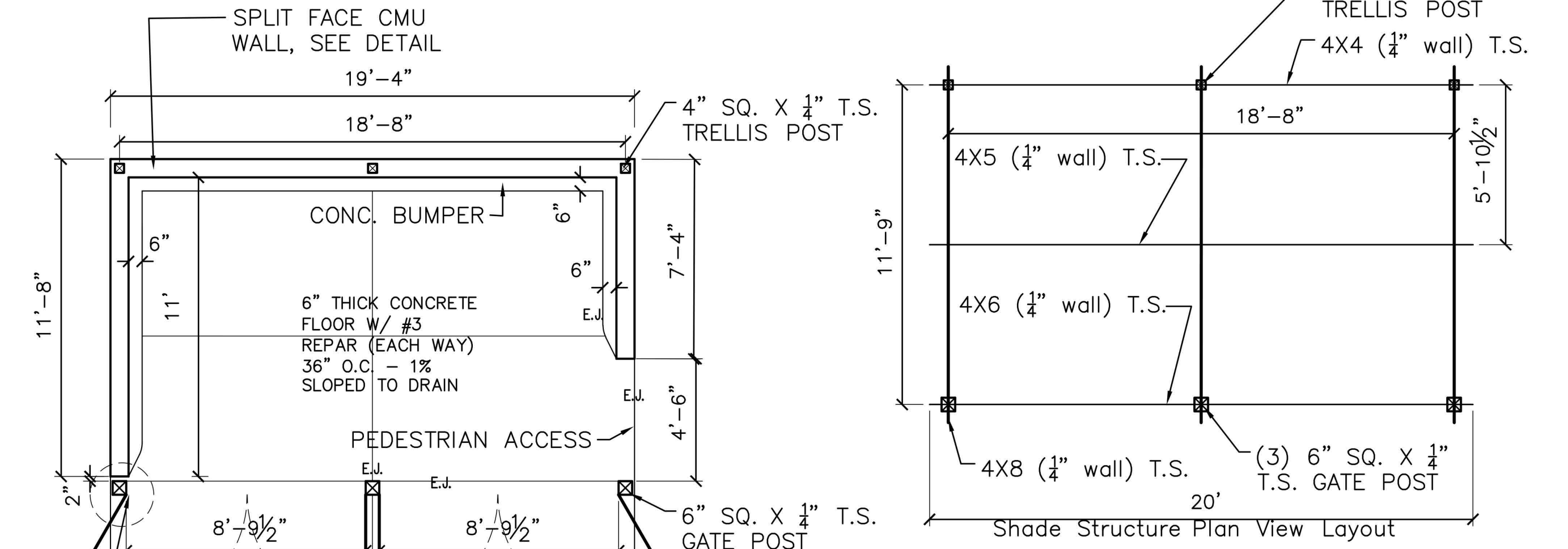
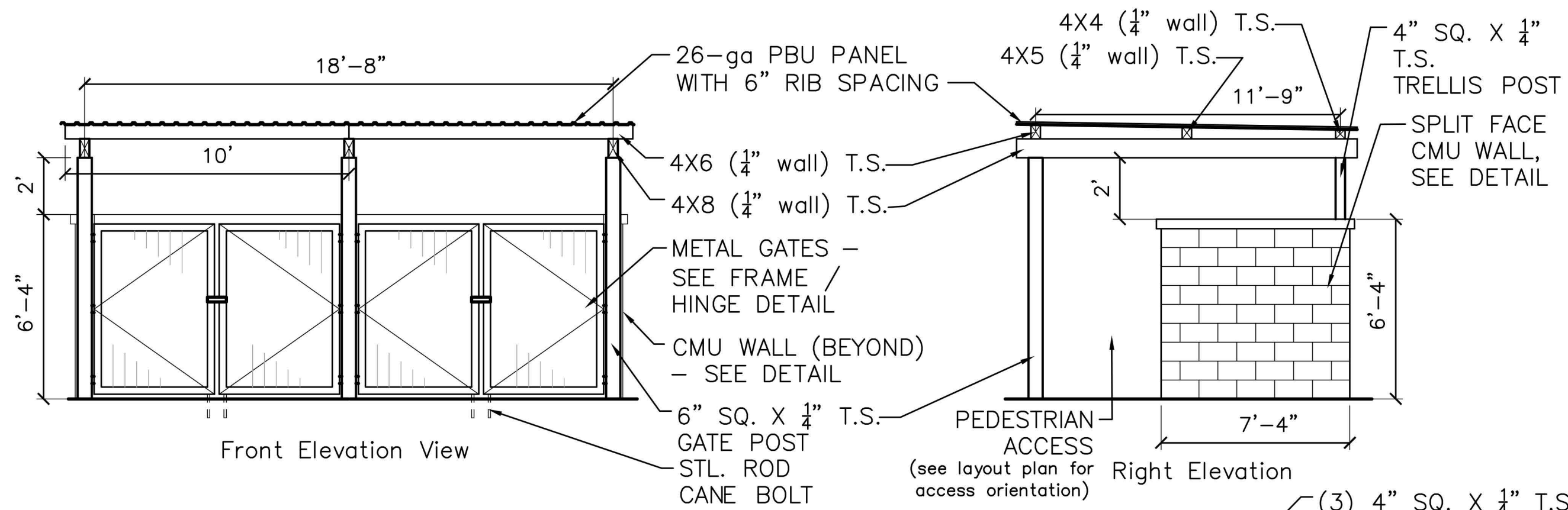
TOWED VEHICLES MAY BE RECLAIMED AT
4080 ROCKLIN ROAD
ROCKLIN, CA 95677
OR BY TELEPHONING
(916) 625-5400



11 ROUTE SIGN - LEFT
SCALE: NONE

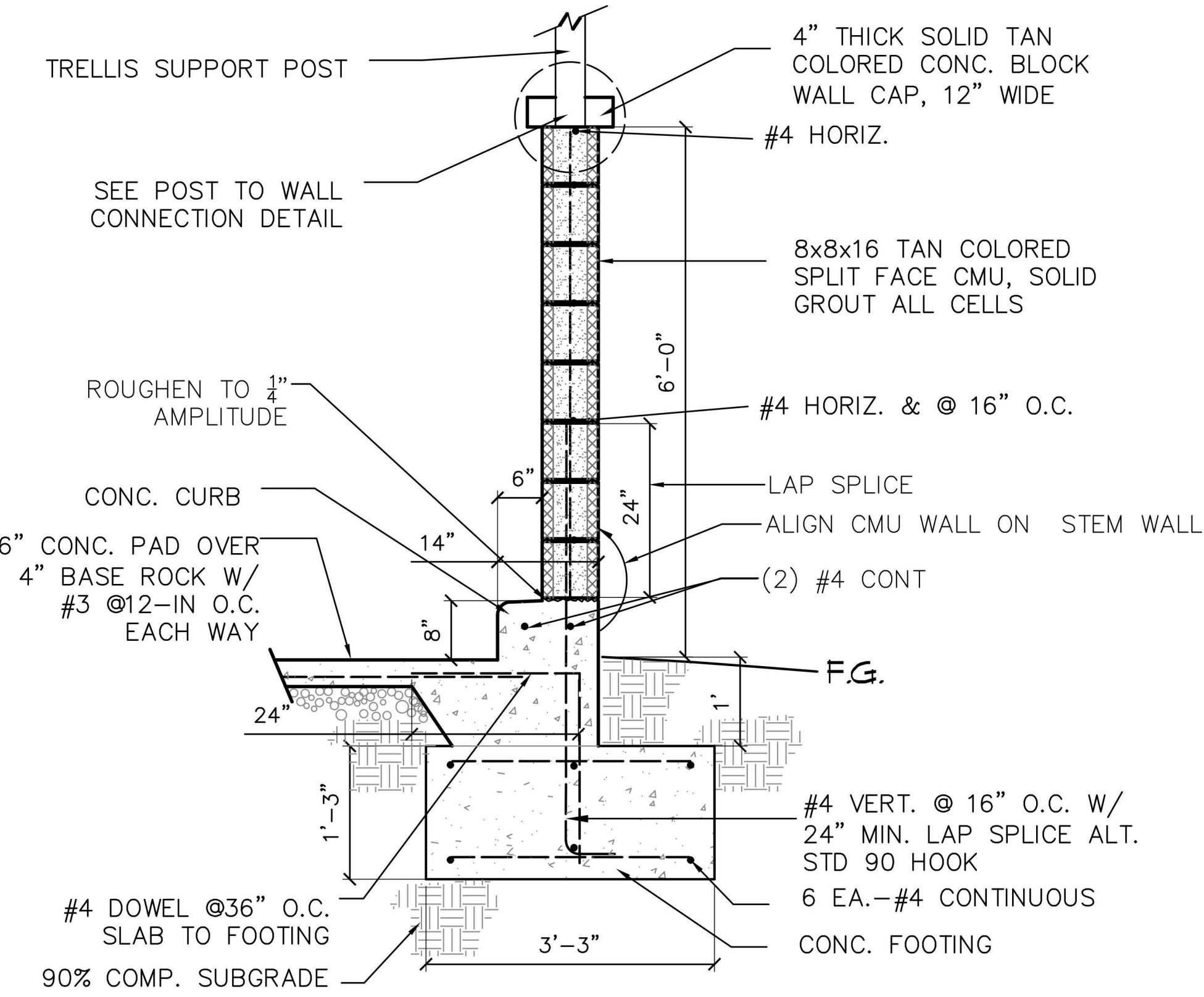


12 ROUTE SIGN - RIGHT
SCALE: NONE



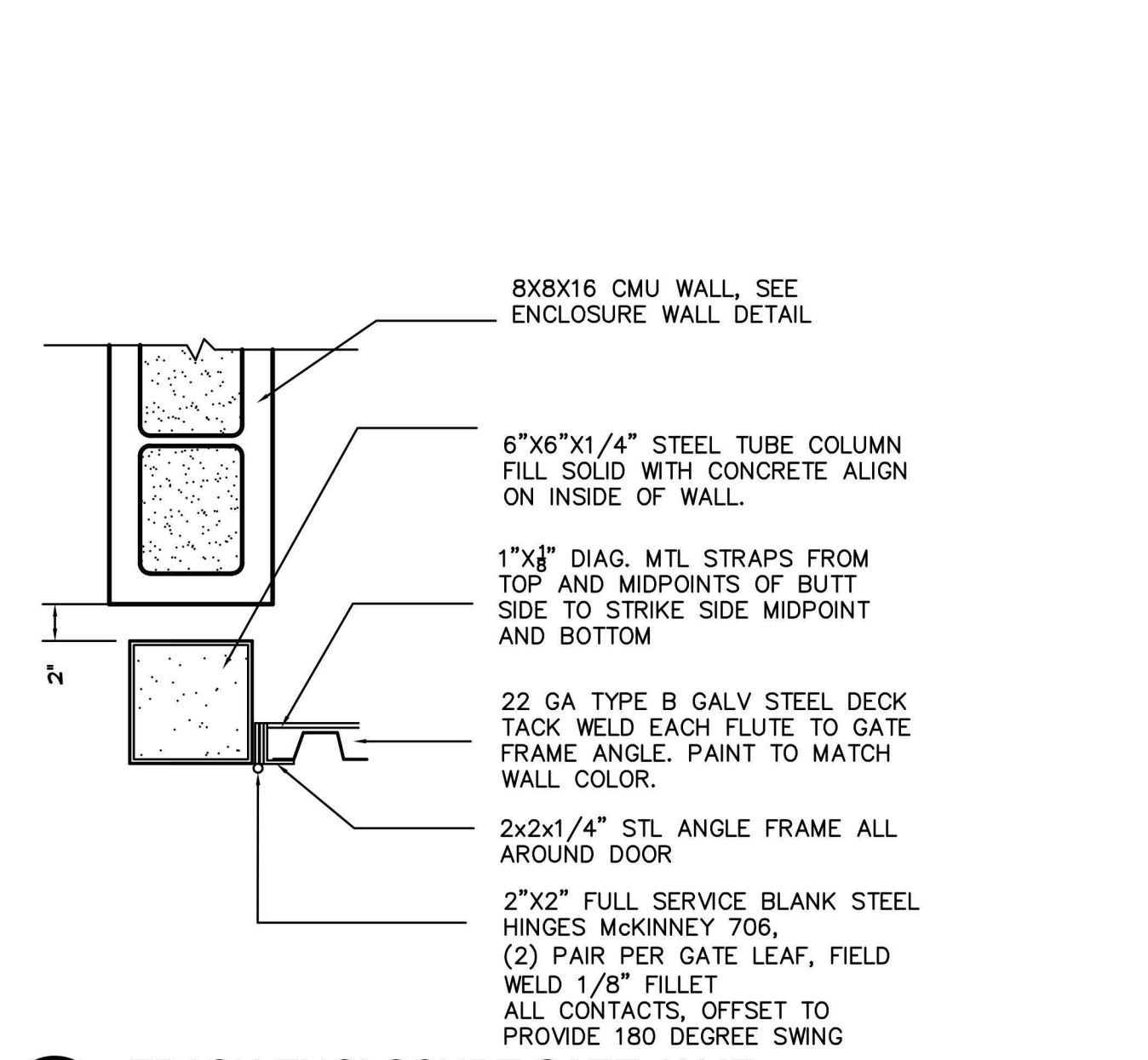
MATERIAL NOTES

1. TAN COLORED SPLIT FACED CMU
2. CONC. TO BE BROOM FINISH
3. 4" THICK X 12" WIDE PRE-CAST CONC. CAP TO MATCH PERIMETER WALL.
4. TUBULAR STEEL (T.S.) COLOR TO BE SHERWIN WILLIAMS BLACK. PROVIDE COLOR SAMPLE FOR APPROVAL.
5. PRIME AND POWDER COAT ALL T.S. AND METAL STRUCTURES
6. ALL METAL AND METAL FASTENERS TO BE PAINTED TO MATCH.
7. ATTACH METAL TUBE STEELS WITH FLARE BEVEL WELD ALONG CONTACT EDGES, UNLESS NOTED OTHERWISE.
8. PROVIDE A MINIMUM 1/8" THICK STEEL CAP ON ALL POSTS.
9. ATTACH ROOFING WITH GALVANIZED SCREWS

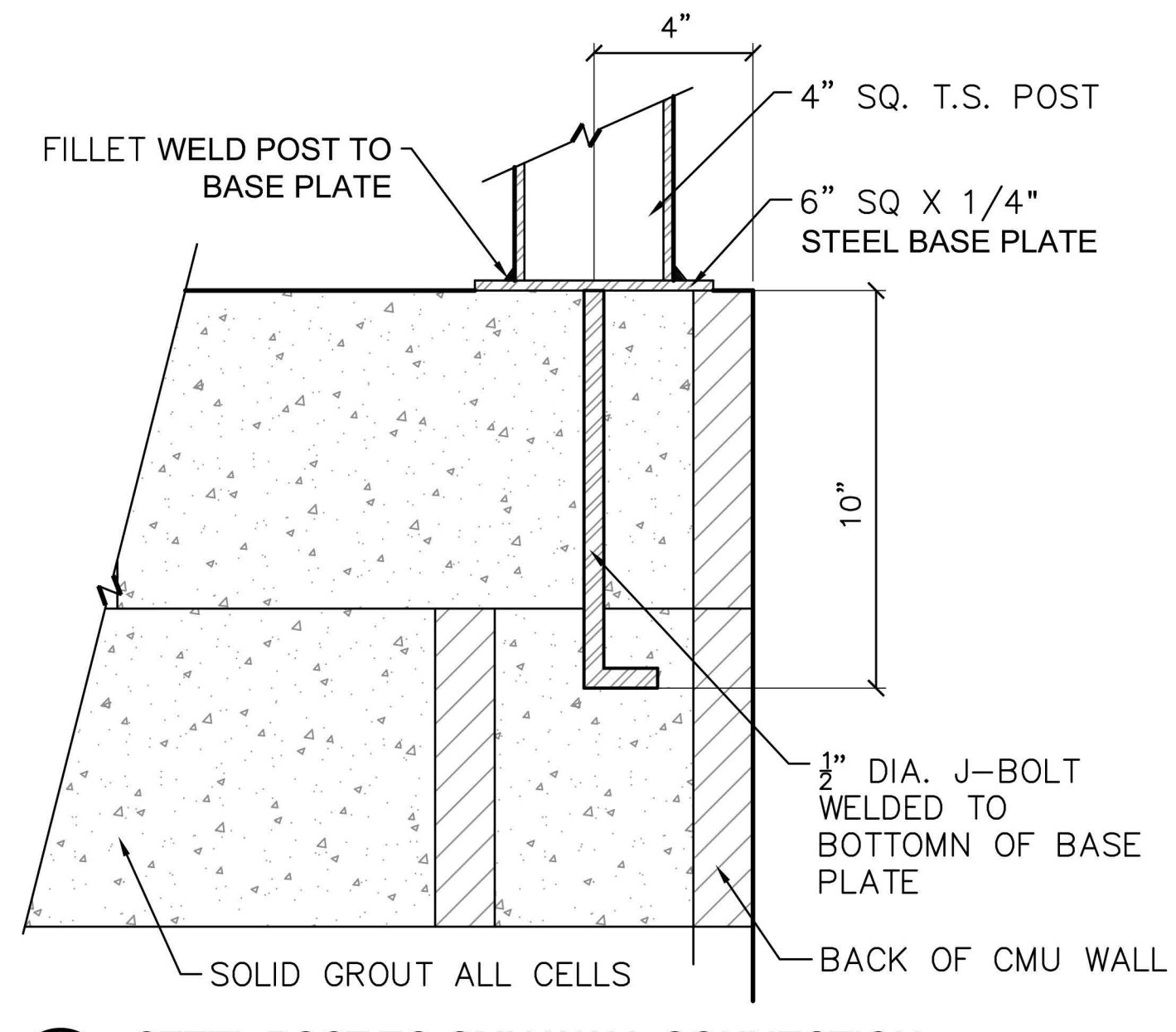


1 DOUBLE TRASH ENCLOSURE W/ METAL ROOF
1/4" = 1'-0"

2 TRASH ENCLOSURE WALL
3/4" = 1'-0"



3 TRASH ENCLOSURE GATE JAMB
NOT TO SCALE



4 STEEL POST TO CMU WALL CONNECTION
3" = 1'-0"

REVISIONS

**SITE DETAILS
TRASH
ENCLOSURE**

NEW COMMERCIAL BUILDING
FOR APN : 373-030-060
WEST STANFORD RANCH ROAD,
ROCKLIN, CA 95765

DATE :
12/1/2025

SCALE :
AS SHOWN

SHEET :
A1.3

DISCLAIMER

ALPHA DESIGNS CERTIFIES THAT THE DIMENSION, MEASUREMENT SURVEY OF THE SUBJECT PROPERTY ARE ACCURATE & PRECISE WITHIN ALLOWABLE TOLERANCES IN THE INDUSTRY

DESIGNED BY : ASH MOHY



LEGEND

EXISTING	DESCRIPTION	EXISTING	DESCRIPTION
---	BOUNDARY LINE	○	SSMH
---	ROW	○	COTG (SS)
---	EASEMENT	○	ELECTRICAL MANHOLE
---	ADJACENT BOUNDARY LINE	○	TREE LOCATION W/SPECIES, SIZE, AND TAG #
---	CENTERLINE	○	SITE LIGHT
○	DIMENSION POINT (PROPERTY LINE)	○	JOINT UTILITY POLE
○	FOUND MONUMENT AS NOTED	○	WATER VALVE (GATE)
△	CONTROL POINT AS NOTED	○	WATER METER
---	SW, CURB & GUTTER	○	BACKFLOW PREVENTER / RP DEVICE
---	STORM DRAIN	○	DOUBLE DETECTOR CHECK VALVE (FIRE)
---	SANITARY SEWER	○	FIRE HYDRANT
---	WATER	○	GAS (UG)
○	TELECOMMUNICATIONS MH	○	ELECTRICAL (UG POWER/COMM)
○	SDMH	○	TELEPHONE (UG)
○	DRAINAGE INLET	○	DITCH / FLOWLINE

UTILITY NOTE:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

NOTICE TO CONTRACTOR - ORDER OF WORK:

PRIOR TO THE START OF ANY CIVIL WORK, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES BY POTHOLES AT ALL POINTS OF POTENTIAL CONFLICT WITH PROPOSED UTILITIES OR PROPOSED POINTS OF CONNECTION WITH EXISTING UTILITIES. IF THE ACTUAL LOCATIONS OF THE EXISTING UTILITIES FOUND IN THE FIELD ARE DIFFERENT FROM WHAT IS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT LODESTAR ENGINEERING AND SURVEYING IMMEDIATELY AND PROVIDE THE ACTUAL LOCATION INFORMATION. LODESTAR ENGINEERING AND SURVEYING WILL VERIFY IF THERE ARE ANY CONFLICTS WITH THE IMPROVEMENTS AND WILL PROVIDE MODIFICATIONS TO THE DESIGN TO MITIGATE THE CONFLICTS IF ANY CONFLICTS EXIST.

NOTE:

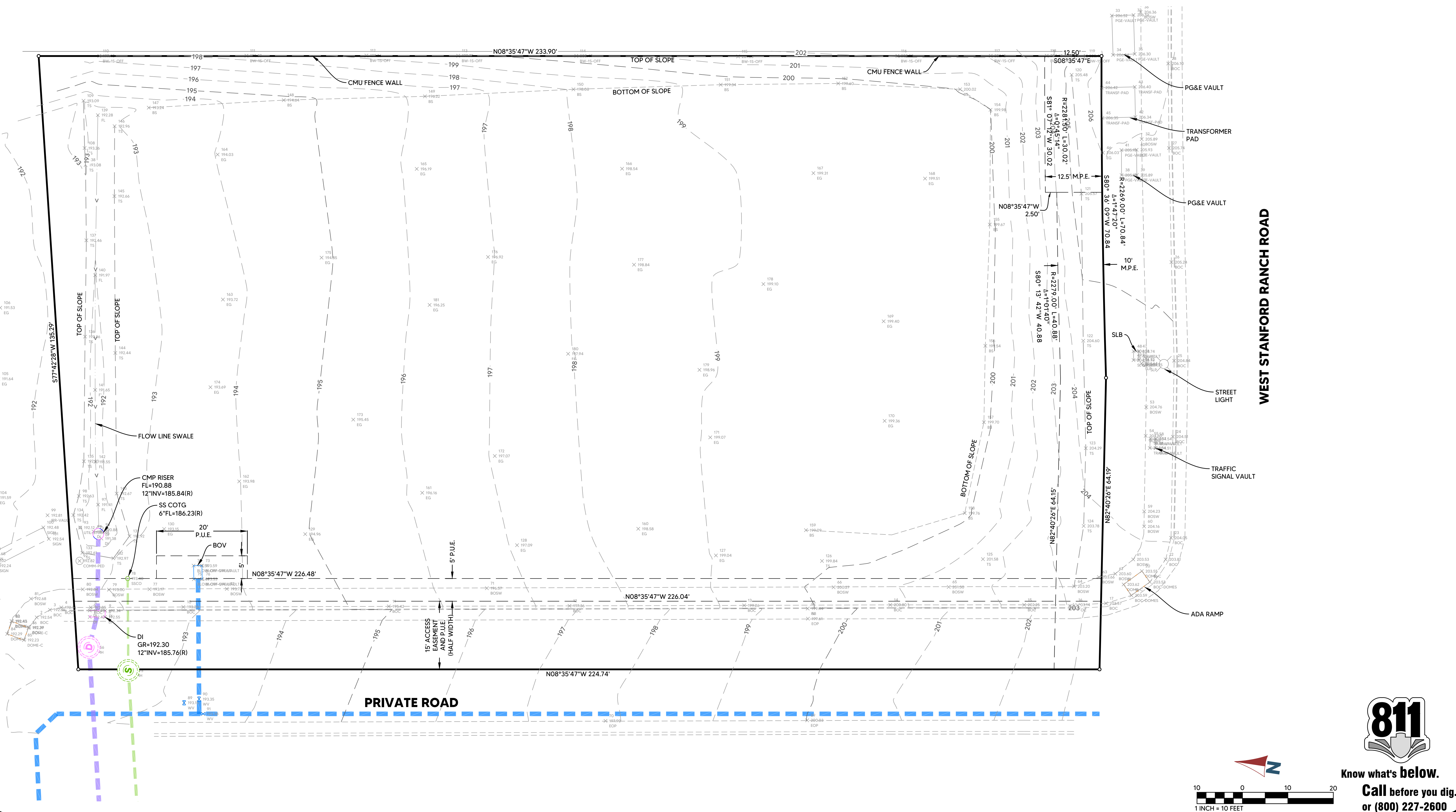
REFER TO TITLE SHEET C1 FOR NOTICE TO CONTRACTOR ABOUT VERIFYING UTILITY LOCATIONS PRIOR TO CONSTRUCTION, THE PROJECT FLOOD ZONE, BASIS OF BEARING, AND PROJECT DATUM.

BENCHMARK:

- IT IS UNDERSTOOD THAT THIS SURVEY IS ON THE NAVD88 DATUM BY GPS OBSERVATIONS USING CALIFORNIA SURVEY AND DRAFTING (CSDS) REAL-TIME NETWORK.
- TO CONVERT THE ELEVATIONS SHOWN (APPROXIMATELY) TO NGVD29, ELEVATIONS SHOWN CAN BE SUBTRACTED BY 2.307 FEET.

SHEET NOTES:

- INVERT ELEVATIONS SHOWN ARE BASED ON THE FIELD SURVEY COMPLETED BY ELEMENT ENGINEERING AND THE CITY RECORD DRAWINGS PROVIDED. ELEVATIONS OF PIPES ARE BASED ON INTERPRETATION OF PLANS AND FIELD SURVEY INFORMATION; THEY ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION.



L:\PROJECTS\2024\134-028 Rocklin Pet Hospital\CAD\EXISTING CONDITIONS_24-028.dwg Apr 02, 2025 09:54 am

APPROVED	DATE	REVISION	CHECK	BY
			TEE	TEE
			DESIGN	DRAWN
			QUANT.	

ORIGINAL SCALE IS IN INCHES

PRELIMINARY

LODESTAR

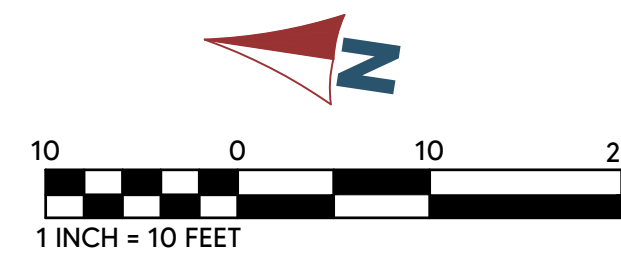
RUPINDER SINGH
4033 CREAMERY WAY
ROSEVILLE, CA 95747
PH: (661) 578-2273

ROCKLIN PET HOSPITAL
WEST STANFORD RANCH ROAD
ROCKLIN, CA 95765

EXISTING CONDITIONS PLAN

Sheet
EX1
1 of 4
4/2/2026

PROJECT #24-028 - ROCKLIN PET HOSPITAL



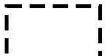



811

Know what's below.
Call before you dig.
or (800) 227-2600

GENERAL NOTES:

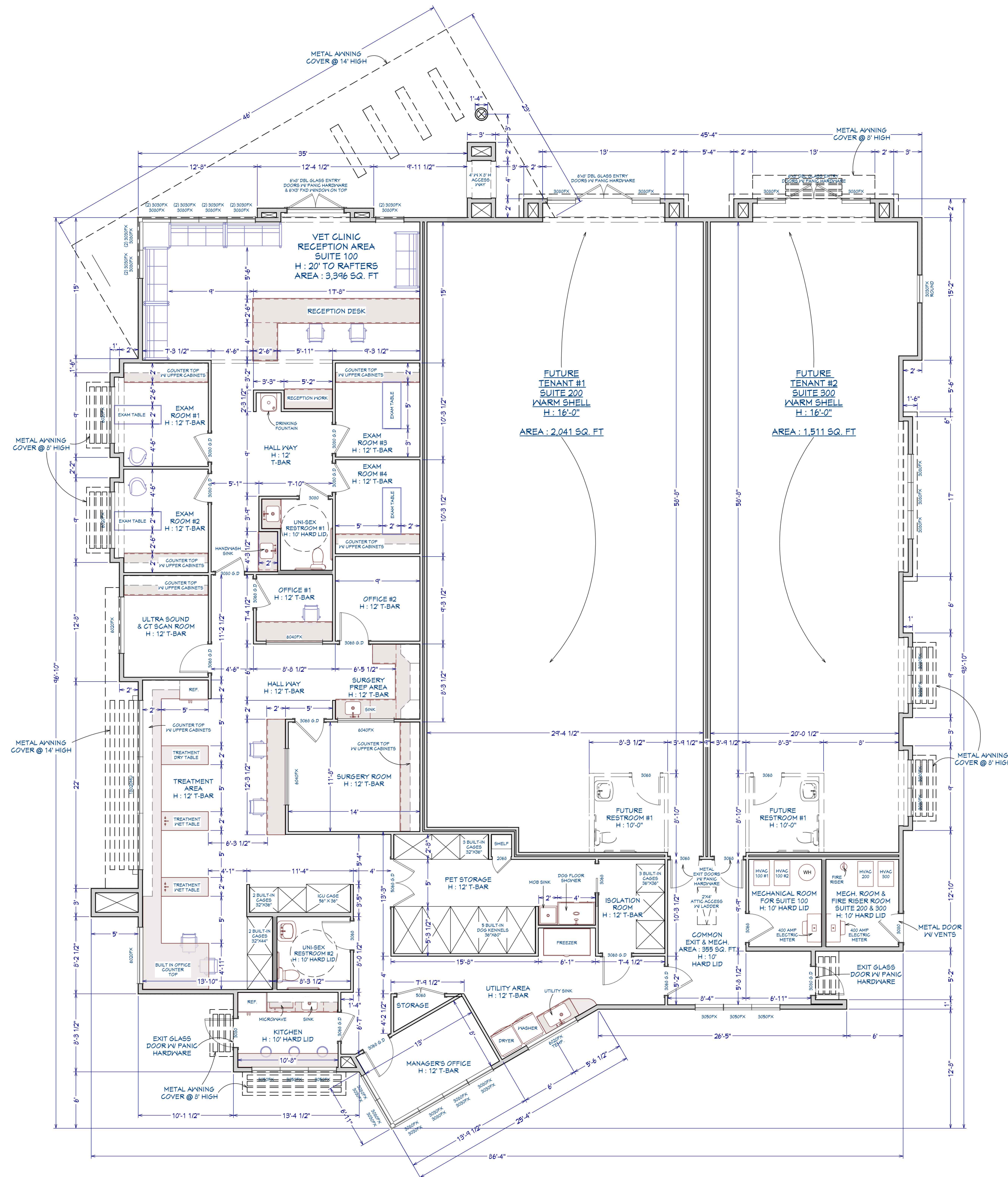
1. ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING TITLE 24, CALIFORNIA CODE OF REGULATIONS PARTS : 2025 CMC (PART4), 2025 CEC (PART3), 2025 CEC (PART6), 2025 CBC (PART2), 2025 CPC (PART5), 2025 CRSC (PART12), 2025 CFC, & 2025 CALGREEN (PART11), AS AMENDED BY LOCAL JURISDICTIONS.
2. PLOT PLAN IS DRAWN TO REPRESENT EXISTING SITE CONDITIONS. ALL MEASUREMENTS AND LOCATIONS OF ALL STRUCTURES, FENCES, ETC., WERE MEASURED IN FIELD, AND ARE AS ACCURATE AS POSSIBLE. THE DESIGNER TAKES NO RESPONSIBILITY FOR THEIR ACCURACY RELATING TO PROPERTY LINES, FENCE LOCATIONS, OR BUILDING STRUCTURES. DRAINAGE ARROWS DEPICT WHAT IS REQUIRED BY CODE AND MAY NOT REFLECT EXISTING CONDITIONS IN THE FIELD. DESIGNER IS NOT RESPONSIBLE FOR ACCURACY REGARDING GRADING AS SHOWN.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, NOTES, DETAILS AND OTHER RELATED ITEMS FOR THE PROJECT AND REPORT ANY ERROR, INCONSISTENCY AND/OR OMISSION TO THE DESIGNER PRIOR PROCEEDING WITH ANY WORK. IF CONFLICTS ARE FOUND, THE MOST STRINGENT CONDITIONS SHALL GOVERN.
4. DRAWINGS MAY NOT ALWAYS BE TO SCALE. NOTED DIMENSIONS SHALL TAKE PRECEDENCE.
5. ALL FRAMING MATERIAL TO BE D.F. #2 OR BETTER.
6. ALL EXTERIOR WALL FRAMING TO BE 2X6 STUDS @ 16" O.C. AND INTERIOR STUDS SHALL BE 2X4 @ 16" O.C. EXCEPT AS INDICATED AT PLUMBING WALLS (IF ENCASED PIPES EXCEED 2" DIAMETER, 2X6 STUDS ARE REQUIRED).

PLAN LEGEND :

-  (N) BUILDING
-  (N) 2X6 EXTERIOR WALLS
-  (N) 2X6 INTERIOR WALLS
-  (N) 2X4 INTERIOR WALLS

BUILDING NOTE:

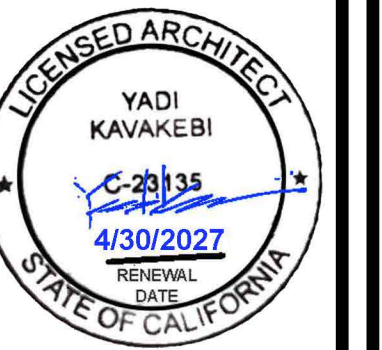
1. THE ENTIRE BUILDING IS BEING TREATED AS A NON-SEPARATED USE PER CBC SECTION 508.3 - FOR IT IS A ONE STORY BUILDING WITH FIRE SPRINKLER SYSTEM & UNDER 40 FEET IN HEIGHT.
2. THE FIRE ALARM IS NOT REQUIRED PER CBC SECTION 907.2.1 FOR THE TOTAL OCCUPANT LOAD IS UNDER 300.
3. NO HAZARDOUS ITEMS ARE STORED INSIDE THE BUILDING.



FLOOR PLAN
SCALE : 1/16" = 1'-0"

REVISIONS

FLOOR PLAN



NEW COMMERCIAL BUILDING
FOR APN : 373-030-060
WEST STANFORD RANCH ROAD,
ROCKLIN, CA 95765

DATE :
12/1/2025

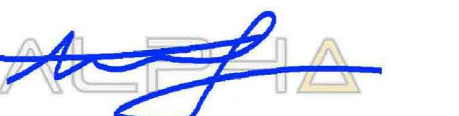
SCALE :
1/16" = 1'-0"

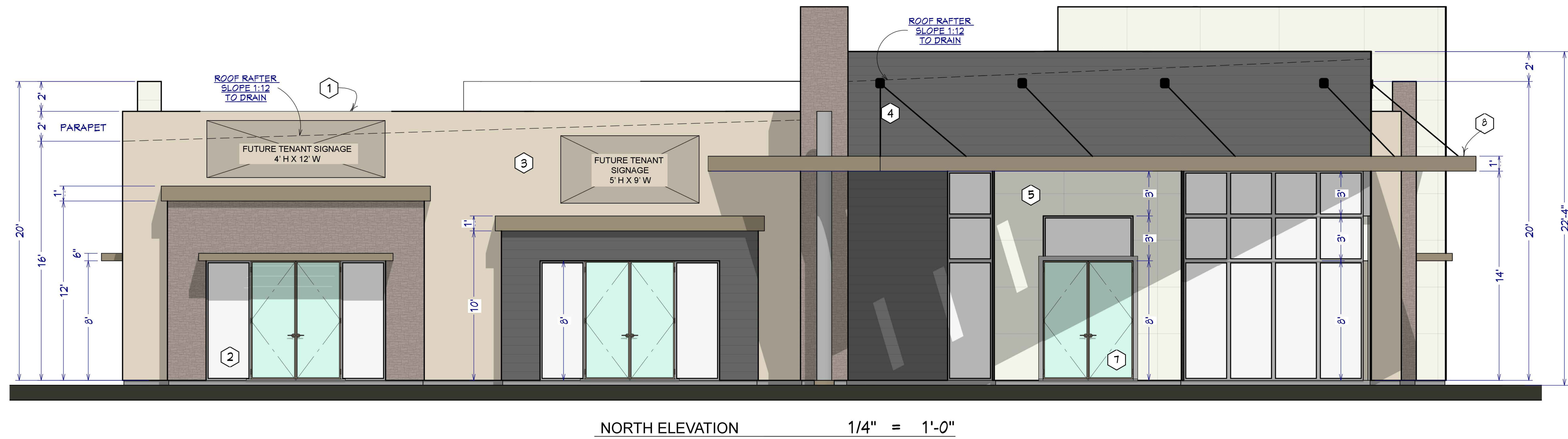
SHEET :
A2

DISCLAIMER

ALPHA DESIGNS CERTIFIES THAT THE DIMENSION, MEASUREMENT SURVEY OF THE SUBJECT PROPERTY ARE ACCURATE & PRECISE WITHIN ALLOWABLE TOLERANCES IN THE INDUSTRY

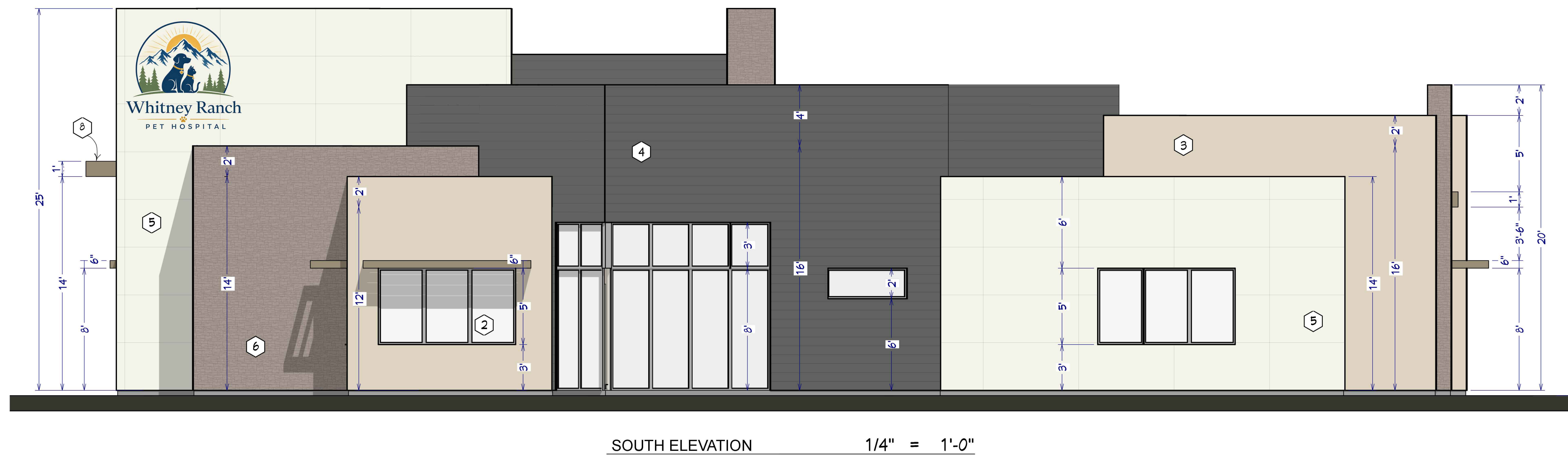
DESIGNED BY : ASH MOHY





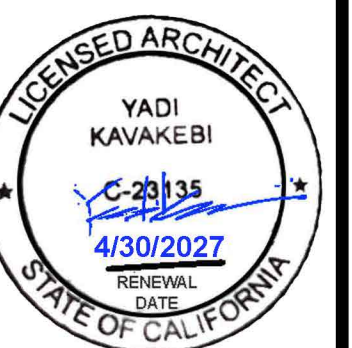
ELEVATION LEGEND :

- ① TPO FLAT ROOFING MATERIAL.
- ② COMMERCIAL DUAL PANE WINDOWS.
- ③ 3 COAT STUCCO OVER 1" FOAM BRD. WITH 26 GAUGE WEEP SCREED TYP (BEIGE).
- ④ HARDIE PANEL HORIZONTAL LAP SIDING (GREY).
- ⑤ HARDIE PANEL ALUMINUM 2'X4' TILE PANELS (WHITE).
- ⑥ STACKED TILE (BROWN / GREY).
- ⑦ COMMERCIAL GLASS DOORS.
- ⑧ METAL AWNING COVER & ROOF FLASHINGS.



REVISIONS

ELEVATIONS



NEW COMMERCIAL BUILDING
 FOR APN : 373-030-060
 WEST STANFORD RANCH ROAD,
 ROCKLIN, CA 95765

DATE :
 12/1/2025

SCALE :
 1/4" = 1'-0"

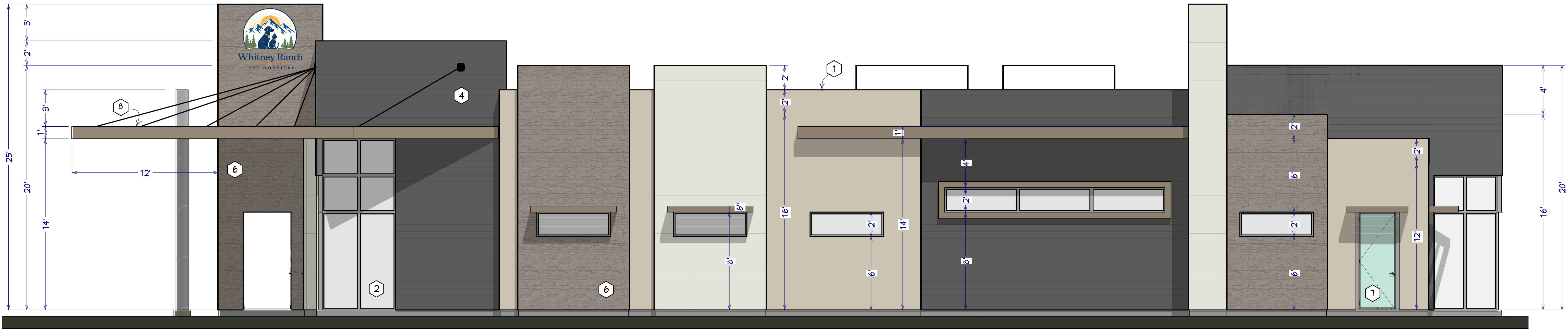
SHEET :
A3

DISCLAIMER

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 SURVEY OF THE SUBJECT
 PROPERTY ARE ACCURATE &
 PRECISE WITHIN ALLOWABLE
 TOLERANCES IN THE INDUSTRY

DESIGNED BY : ASH MOHY

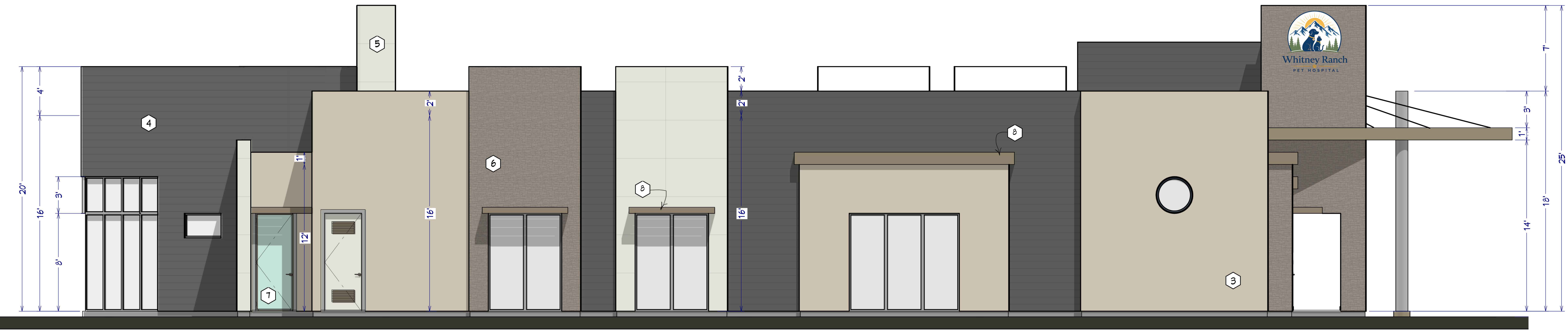




ELEVATION LEGEND :

- 1 TPO FLAT ROOFING MATERIAL.
- 2 COMMERCIAL DUAL PANE WINDOWS.
- 3 3 COAT STUCCO OVER 1" FOAM BRD. WITH 26 GAUGE WEEP SCREED TYP (BEIGE).
- 4 HARDIE PANEL HORIZONTAL LAP SIDING (GREY)
- 5 HARDIE PANEL ALUMINUM 2'X4' TILE PANELS (WHITE)
- 6 STACKED TILE (BROWN / GREY)
- 7 COMMERCIAL GLASS DOORS.
- 8 METAL AWNING COVER & ROOF FLASHINGS.

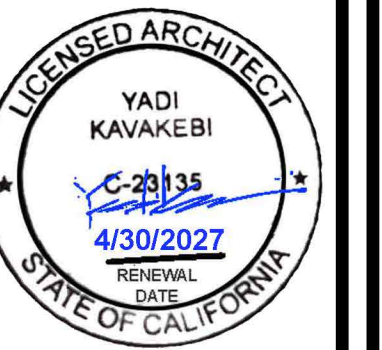
WEST ELEVATION 1/4" = 1'-0"



EAST ELEVATION 1/4" = 1'-0"

REVISIONS

ELEVATIONS



NEW COMMERCIAL BUILDING
 FOR APN : 373-030-060
 WEST STANFORD RANCH ROAD,
 ROCKLIN, CA 95765

DATE :
 12/1/2025

SCALE :
 1/4" = 1'-0"

SHEET :
A4

DISCLAIMER

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 TOLERANCES IN THE INDUSTRY

DESIGNED BY : ASH MOHY



REVISIONS

3D
 PERSPECTIVE
 SHOTS



NEW COMMERCIAL BUILDING
 FOR APN : 373-030-060

WEST STANFORD RANCH ROAD,
 ROCKLIN, CA 95765

DATE :
 12/1/2025

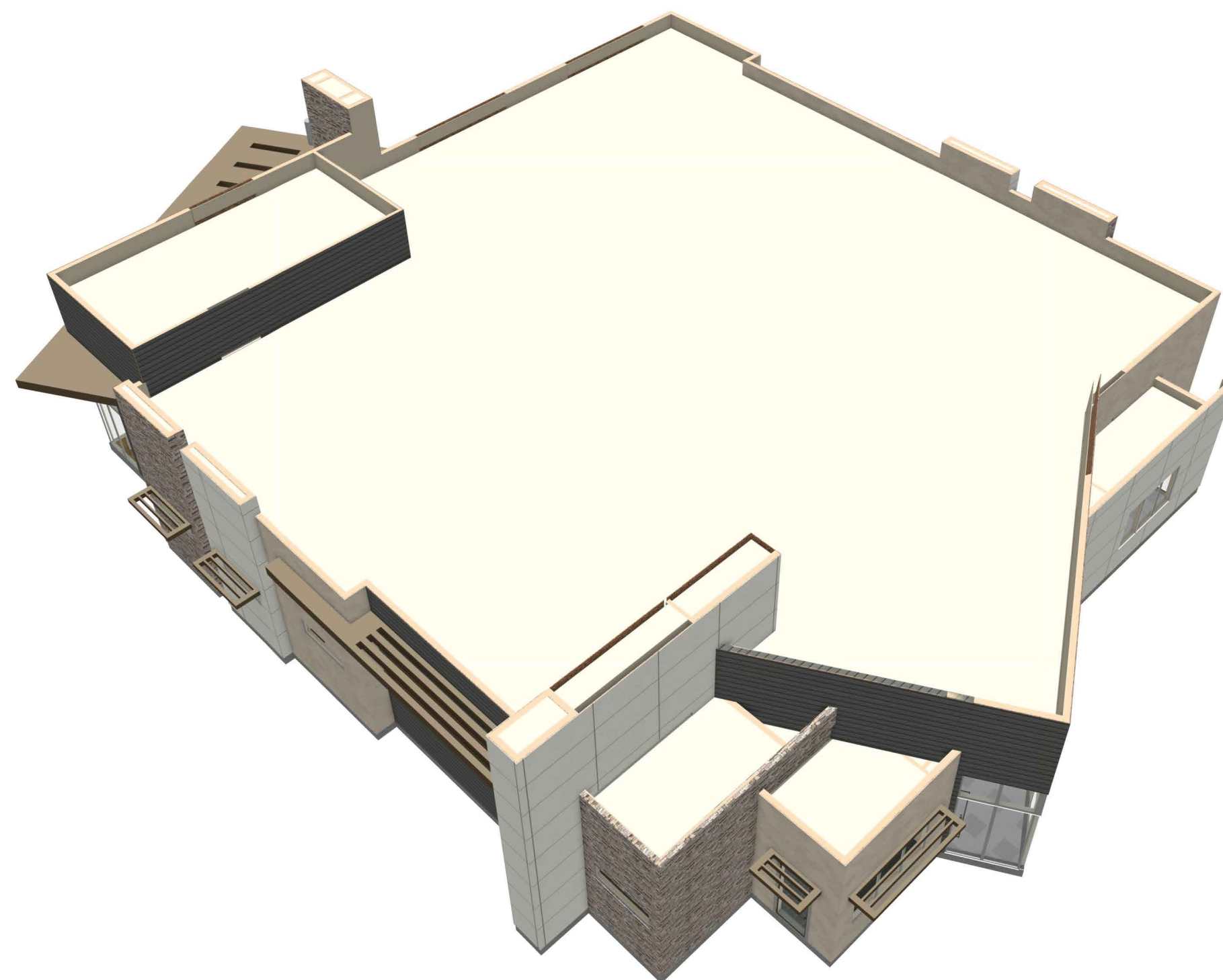
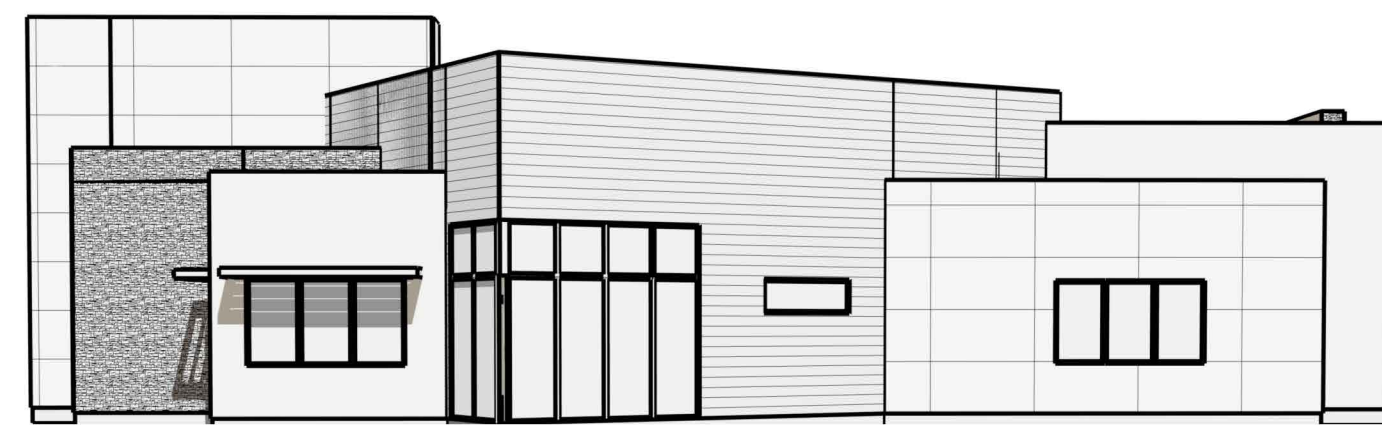
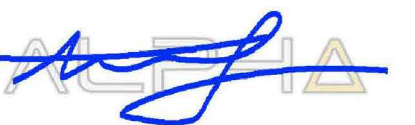
SCALE :
 AS SHOWN

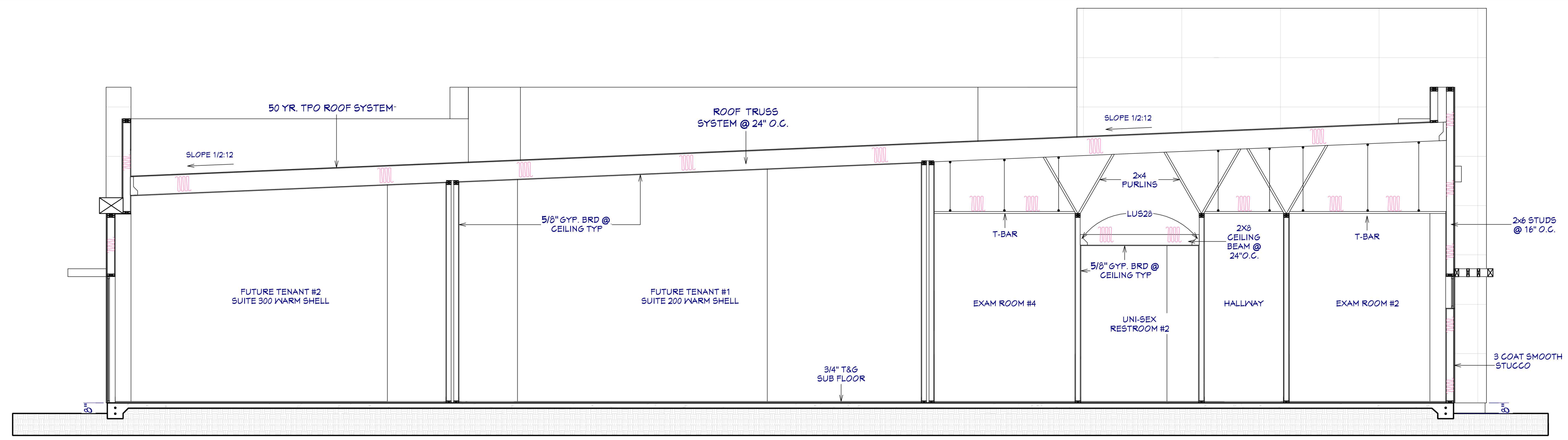
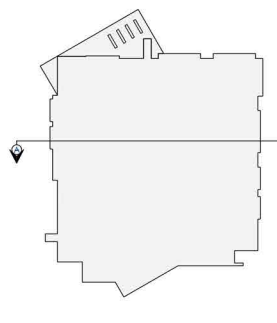
SHEET :
A5

DISCLAIMER

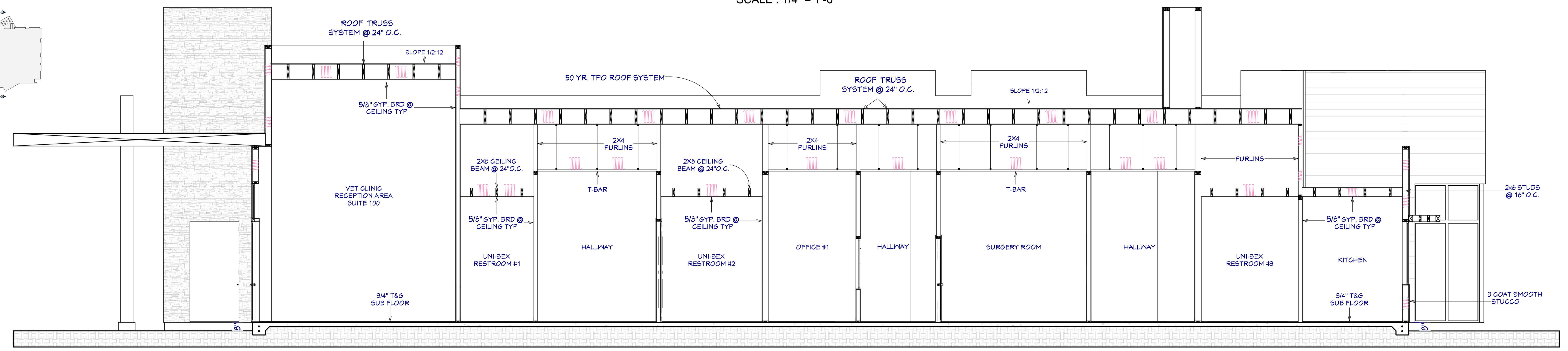
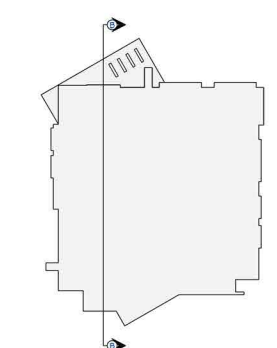
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 PROPERTY ARE ACCURATE &
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 TOLERANCES IN THE INDUSTRY

DESIGNED BY : ASH MOHY

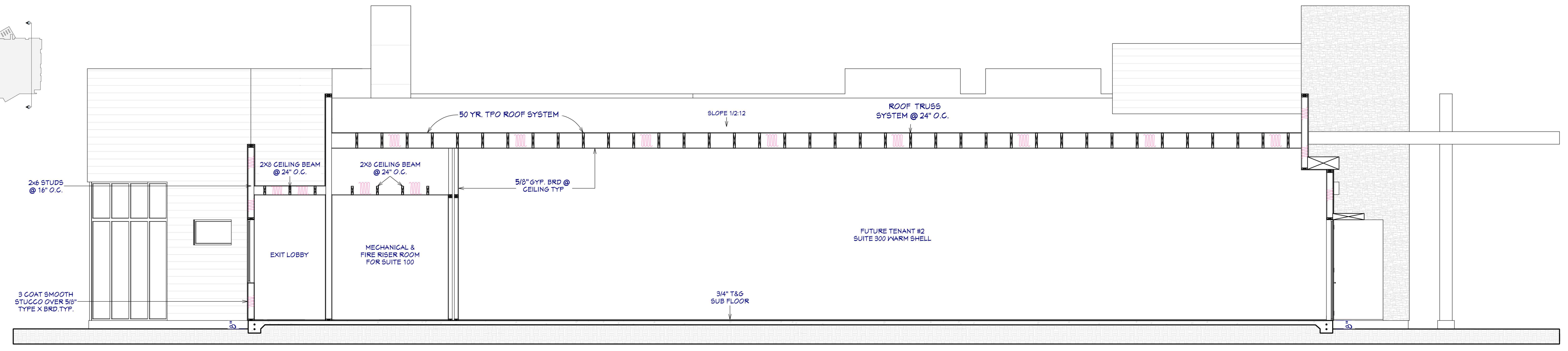
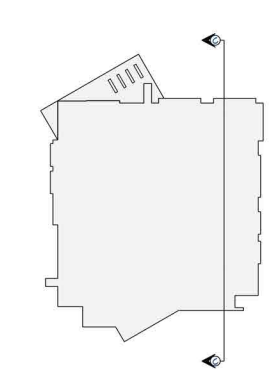




SECTION A
SCALE : 1/4" = 1'-0"



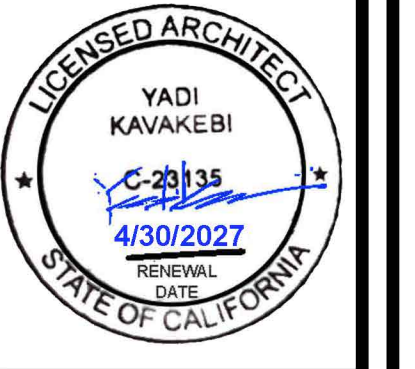
SECTION B
SCALE : 1/4" = 1'-0"



SECTION C
SCALE : 1/4" = 1'-0"

REVISIONS

SECTIONS



NEW COMMERCIAL BUILDING
FOR APN : 373-030-060
WEST STANFORD RANCH ROAD,
ROCKLIN, CA 95765

DATE :
12/1/2025

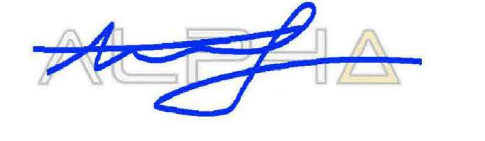
SCALE :
1/4" = 1'-0"

SHEET :
A6

DISCLAIMER

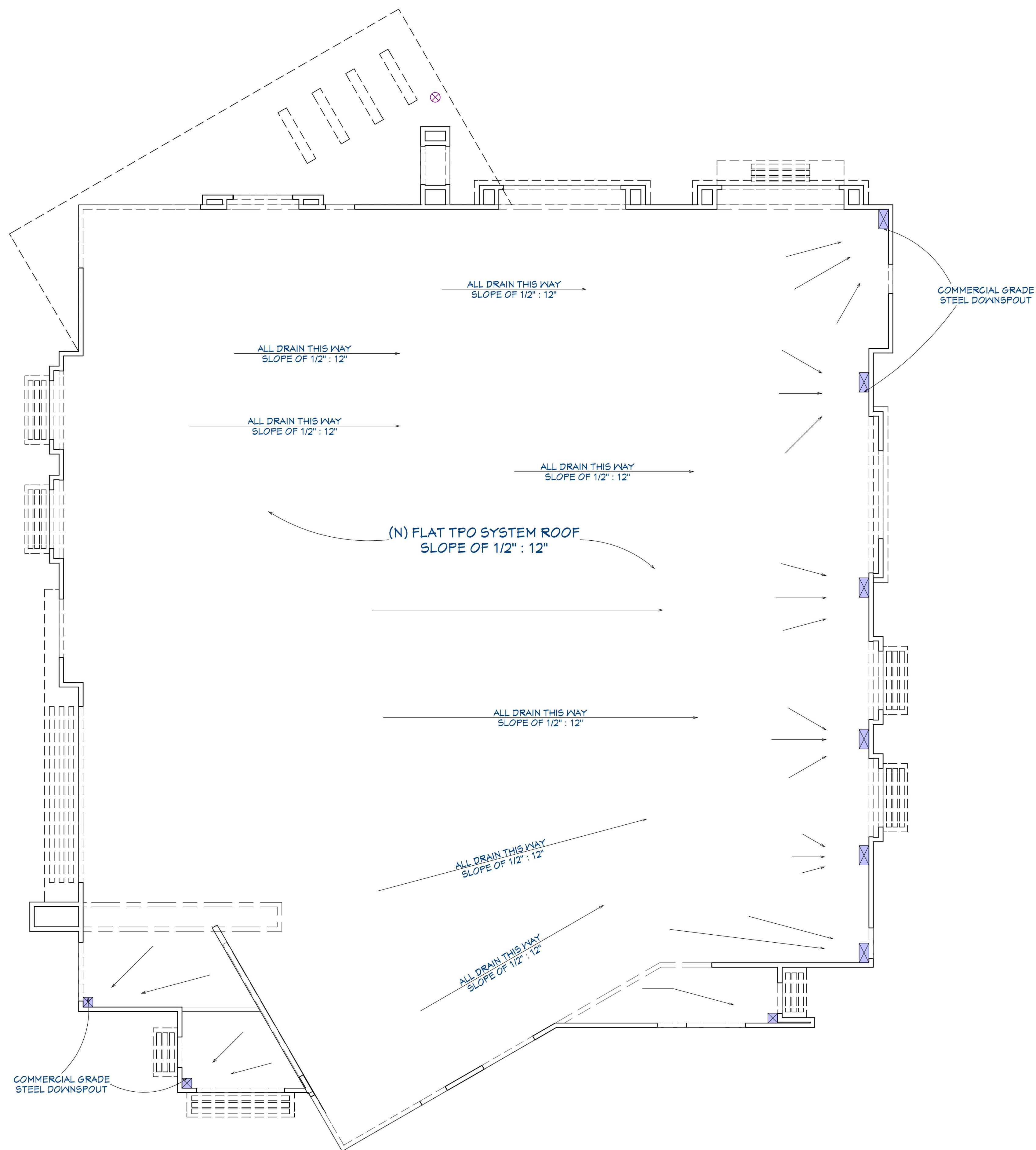
ALPHA DESIGNS CERTIFIES THAT THE DIMENSION, MEASUREMENT SURVEY OF THE SUBJECT PROPERTY ARE ACCURATE & PRECISE WITHIN ALLOWABLE TOLERANCES IN THE INDUSTRY

DESIGNED BY : ASH MOHY



GENERAL NOTES:

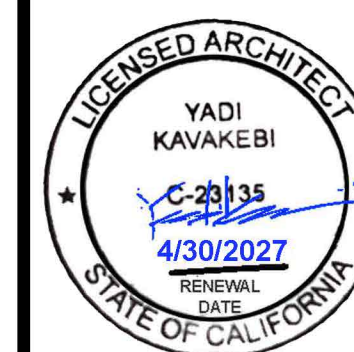
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ROOF PLAN
SCALE : 1/6" = 1'-0"

REVISIONS

ROOF PLAN



NEW COMMERCIAL BUILDING
FOR APN : 373-030-060
WEST STANFORD RANCH ROAD,
ROCKLIN, CA 95765

DATE :
12/1/2025

SCALE :
1/6" = 1'-0"

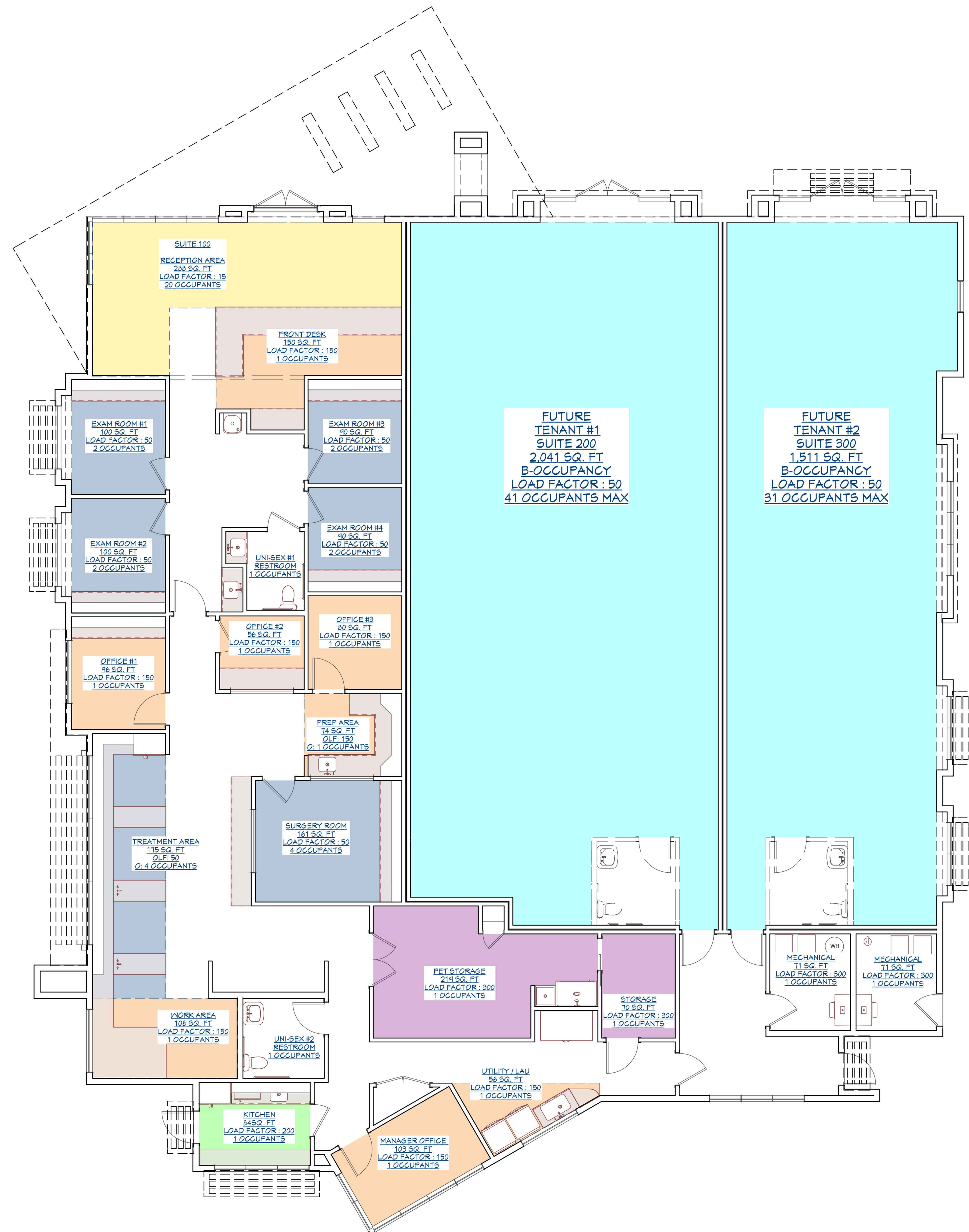
SHEET :
A7

DISCLAIMER

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DESIGNED BY : ASH MOHY





EXITS REQUIRED PER CBC TABLE 1006.2.1 :

EXITS REQUIRED FOR **VET CLINIC** - SUITE 100: 2 - EXITS PROVIDED : 3
 EXITS REQUIRED FOR SUITE 200: 2 - EXITS PROVIDED : 2
 EXITS REQUIRED FOR SUITE 300: 2 - EXITS PROVIDED : 2
 MAX. PATH OF TRAVEL REQUIRED : 100 FEET
 MAX. PATH OF TRAVEL PROVIDED : 92 FEET
THEREFORE, ALL EXITS ARE OK

NEW OCCUPANCY LOAD FACTOR CALCULATION PER CBC TABLE 1004.1.2 :

- TOTAL OCCUPANCY LOAD FOR **VET CLINIC** - SUITE 100 : 49 OCCUPANTS
 - TOTAL OCCUPANCY LOAD FOR SUITE 200 : 41 OCCUPANTS
 - TOTAL OCCUPANCY LOAD FOR SUITE 300 : 31 OCCUPANTS
 - TOTAL OCCUPANCY LOAD FOR COMMON AREA: 3 OCCUPANTS

TOTAL BUILDING OCCUPANCY : 124 OCCUPANTS

- OCCUPANT LOAD FACTOR FOR VET CLINIC "SUITE 100":

- RECEPTION : 15 GROSS
 - EXAM ROOM : 50 NET
 - OFFICES : 150 NET
 - UTILITY AREA / LAUNDRY : 150 NET
 - STORAGE : 300 GROSS
 - KITCHEN : 200 GROSS
 - RESTROOMS + HALLWAY : 1 GROSS

- OCCUPANT LOADS UNIT 1 " SUITE 100":

- OFFICES REQUIRES 7 OCCUPANTS
 - EXAM ROOMS REQUIRES 16 OCCUPANTS
 - RECEPTION REQUIRES 20 OCCUPANTS
 - STORAGE REQUIRES 2 OCCUPANTS
 - KITCHEN REQUIRES 1 OCCUPANTS
 - UTILITY AREA REQUIRES 1 OCCUPANTS
 - RESTROOMS + HALLWAY REQUIRES 2 OCCUPANTS

- OCCUPANT LOAD FACTOR FOR "SUITE 200": TOTAL 41 OCCUPANTS

- FUTURE "B" OCCUPANCY : 50 NET
 - RESTROOMS + HALLWAY : 1 GROSS

- OCCUPANT LOAD FACTOR FOR "SUITE 300": TOTAL 31 OCCUPANTS

- FUTURE "B" OCCUPANCY : 50 NET
 - RESTROOMS + HALLWAY : 1 GROSS

OCCUPANT LOAD SIGN

The sign shall be located in a conspicuous location within the room, adjacent to the main exit, so as to not be obstructed by doors, curtains, poster board stands, furniture, room dividers, or similar items. The sign shall be posted not more than 60 inches nor less than 48 inches above the floor.



TOTAL OCCUPANTS FOR VET CLINIC SUITE 100 49 OCCUPANTS MAX

REVISIONS

OCCUPANCY PLAN



NEW COMMERCIAL BUILDING FOR APN : 373-030-060 WEST STANFORD RANCH ROAD, ROCKLIN, CA 95765

DATE : 12/1/2025

SCALE : 1/6" = 1'-0"

SHEET : A8

DISCLAIMER

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DESIGNED BY : ASH MOHY



REVISIONS

EGRESS
PLAN



NEW COMMERCIAL BUILDING
FOR APN : 373-030-060
WEST STANFORD RANCH ROAD,
ROCKLIN, CA 95765

DATE :
12/1/2025

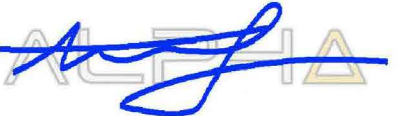
SCALE :
1/6" = 1'-0"

SHEET :
A9

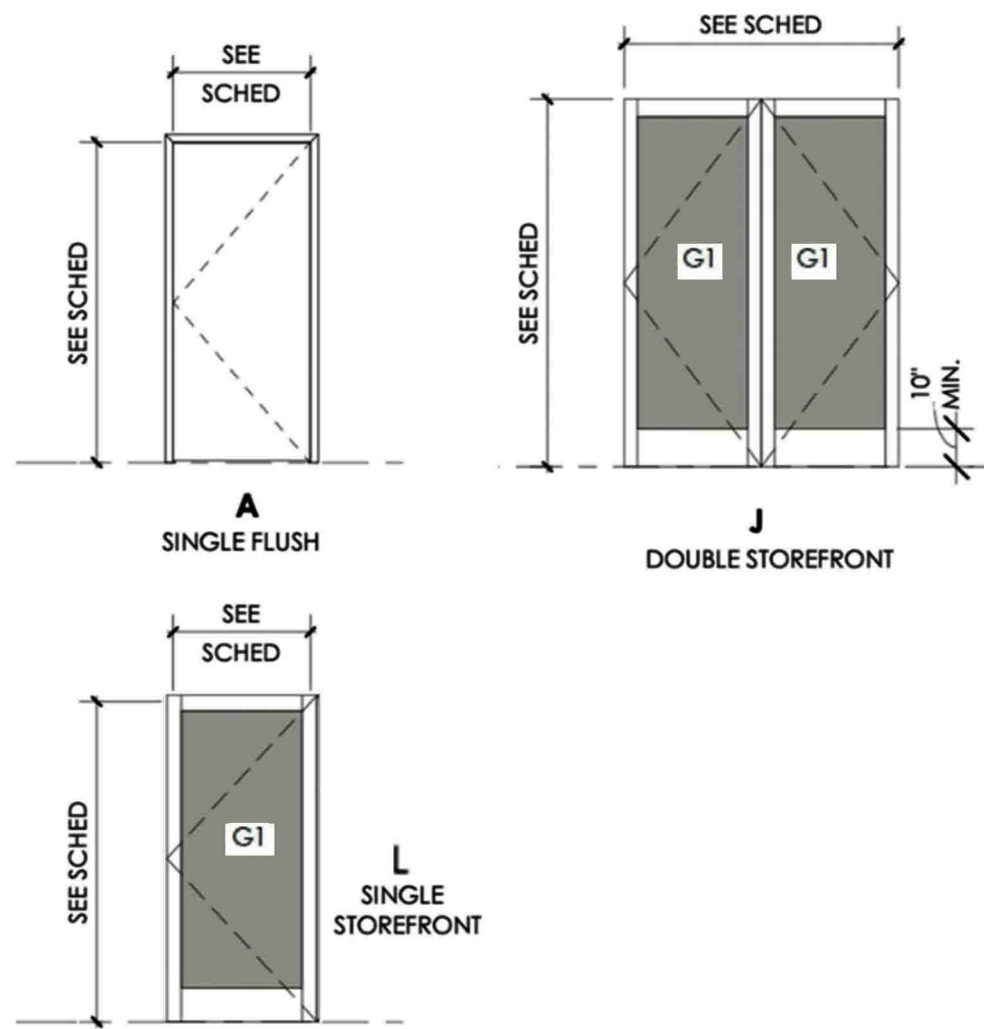
DISCLAIMER

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DESIGNED BY : ASH MOHY



COMMON DOOR SCHEDULE BY INSTANCE										
Type	Doors				Frames			Fire Rating (min.)	Glass Type	Hardware Group
	Width	Height	Thickness	Material	Finish	Material	Finish			
J	6'-0"	8'-0"	2"	AL	FF	AL	FF	16 / A543	-	7 / A 543
A	3'-0"	8'-0"	1 3/4"	HM	PT	HM	PT	8 / A 541	9 / A 541	-
L	3'-0"	8'-0"	2"	AL	FF	AL	FF	16 / A543	-	7 / A 543



DOOR SCHEDULE GENERAL NOTES

MATERIAL	FINISH
AL ALUMINUM	ST STAIN
KD KNOCK DOWN (STL.)	PT PAINT
WD WOOD	FF FACTORY FINISH
HM HOLLOW METAL	AN ANODIZED
MTL METAL	PLAM PLASTIC LAMINATE
GL GLASS	
SST STAINLESS STEEL	
FG FIBER GLASS	

DOOR LEGEND

TYPE	NOMINAL THICKNESS	COMPOSITION
G1	1"	- 1/4" TEMPERED

EXITS REQUIRED PER CBC TABLE 1006.2.1 :

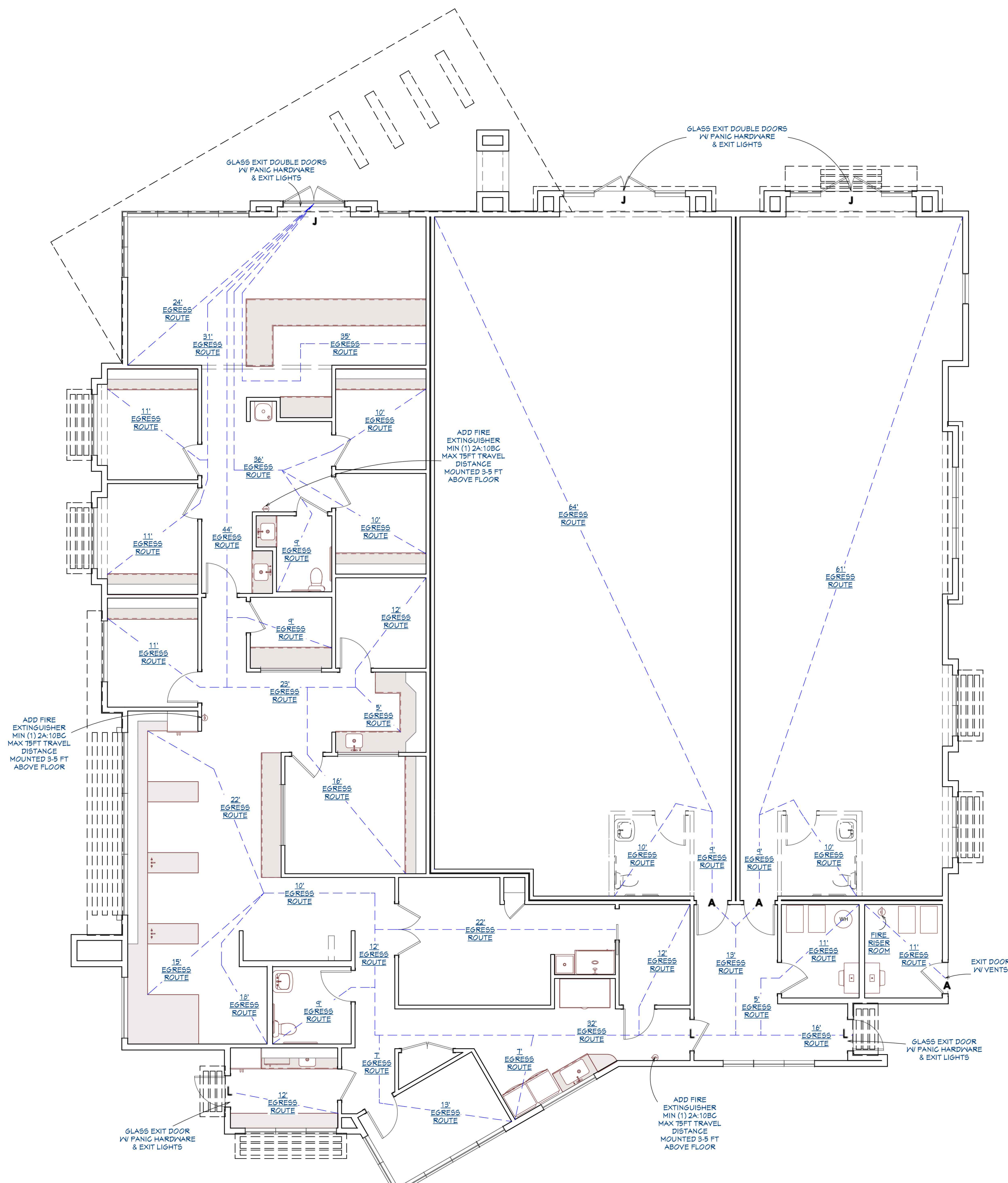
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 EXITS REQUIRED FOR SUITE 200 : 2 - EXITS PROVIDED : 2
 EXITS REQUIRED FOR SUITE 300 : 2 - EXITS PROVIDED : 2
 MAX. PATH OF TRAVEL REQUIRED : 100 FEET
 MAX. PATH OF TRAVEL PROVIDED : 92 FEET
THEREFORE, ALL EXITS ARE OK

NEW OCCUPANCY LOAD FACTOR CALCULATION PER CBC TABLE 1004.1.2 :

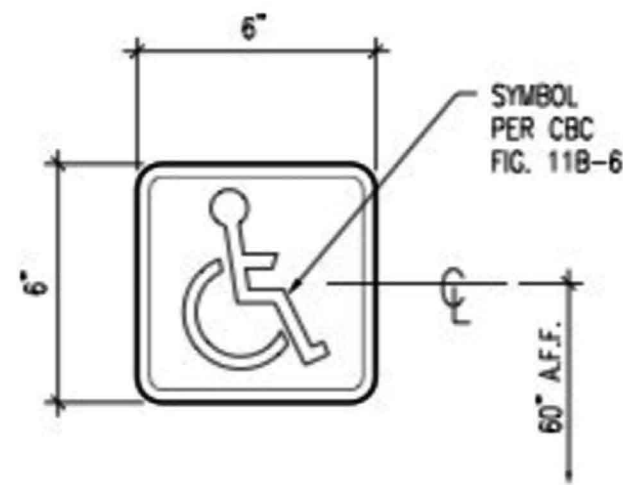
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 - TOTAL OCCUPANCY LOAD FOR SUITE 200 : 41 OCCUPANTS
 - TOTAL OCCUPANCY LOAD FOR SUITE 300 : 31 OCCUPANTS
 - TOTAL OCCUPANCY LOAD FOR COMMON AREA: 3 OCCUPANTS

TOTAL BUILDING OCCUPANCY : 124 OCCUPANTS

- ALL HAND ACTIVATED DOOR HARDWARE TO COMPLY WITH CBC 1138A.4 & 118-309.4. HANDLE SHAPE THAT IS EASY TO GRASP W/ ONE HAND AND NOT REQUIRING A TIGHT GRIP, TIGHT PINCHING, OR TWISTING OF THE WRIST. MOUNT HEIGHT SHALL COMPLY WITH CBC 118-404.2.7. BETWEEN +34" & +44" AFF. DOOR CLOSERS SHALL COMPLY WITH CBC 118-404.2.9 - MAX 5 LBS OPENING EFFORT; AND 118-404.2.8.1. DOOR CLOSERS AND GATE CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MIN. DOORS AT SMOKE VESTIBLES SHALL MEET DOOR OPENING FORCE REQUIREMENTS OF CBC 1126A.4. ALL DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT PER CBC SECTION 1010.1.9.
- THE LEVER OR KEYPAD ACTIVATED LATCHES OR LOCKS SHALL BE CURVED WITH A RETURN TO WITHIN 1/2" INCH OF THE DOOR TO PREVENT CATCHING ON THE CLOTHING OF PERSONS DURING EGRESS. CBC SECTION 1010.1.9 AND CALIFORNIA REFERENCE STANDARD CODE SECTION 12-10-202 (F).
- HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON DOOR AND GATES SHALL COMPLY WITH SECTION 118-309.4. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34 INCHES MINIMUM AND 44 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND PER CBC SECTION 118-404.2.7.
- EXITS AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF TRAVEL.
- THE BOTTOM 10" OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING DOORS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. WHERE NARROW FRAME DOORS ARE USED, A 10" HIGH SMOOTH PANEL SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR, WHICH WILL ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.
- ALL RATED DOORS ARE TO BE POSITIVE LATCHING AND SELF-CLOSING PER CBC SEC 716.5.9.
- "LABEL" SHALL MEAN "FIRE ASSEMBLY" AS DEFINED IN CBC SEC 716.5.8.3.
- FIRE DOORS AND FIRE WINDOWS SHALL HAVE AN APPROVED LABEL OR LISTING MARK INDICATING THE FIRE-PROTECTION RATING, WHICH IS PERMANENTLY AFFIXED AT THE FACTORY WHERE FABRICATION AND ASSEMBLY ARE DONE PER CBC SECTION 716.5.7.1 AND 716.5.8.3.
- ALL 20-MINUTE RATED ASSEMBLIES SHALL BE PROVIDED WITH APPROVED GASKETING MATERIAL SO INSTALLED TO PROVIDE A SEAL WHERE THE DOOR MEETS THE STOP ON BOTH SIDES AND ACROSS THE TOP. THE DOOR AND FRAME SHALL BEAR AN APPROVED LABEL OR OTHER IDENTIFICATION SHOWING THE RATING THEREOF, FOLLOWED BY THE LETTER "S" PER CBC SECTION 716.5.7.3.
- FIRE RATED DOOR FRAMES SHALL BE INSTALLED STRICTLY PER MANUFACTURER'S PRINTED INSTRUCTIONS. MANUFACTURER'S PRINTED INSTRUCTIONS SHALL BE MADE AVAILABLE TO THE INSPECTING AUTHORITIES PER CBC SEC 716.5.7.1.
- DOOR AND FRAME ASSEMBLY DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO FABRICATION AND INSTALLATION. COORDINATE OVERALL DOOR FRAME DEPTHS WITH WALL TYPES.
- FOR HARDWARE GROUPS SEE PROJECT SPECIFICATIONS.
- UNIT ENTRY DOORS NEED TO BE TIGHT FITTING TO THE FRAME AND SILL WITH FULL PERIMETER ACOUSTIC SEALS AND PERFORM TO A MINIMUM STC RATING OF 30.
- INSTALL AND ADJUST SEALS UNTIL AIRTIGHT AND NO LIGHT CAN BE SEEN AROUND THE PERIMETER OF THE DOORS.

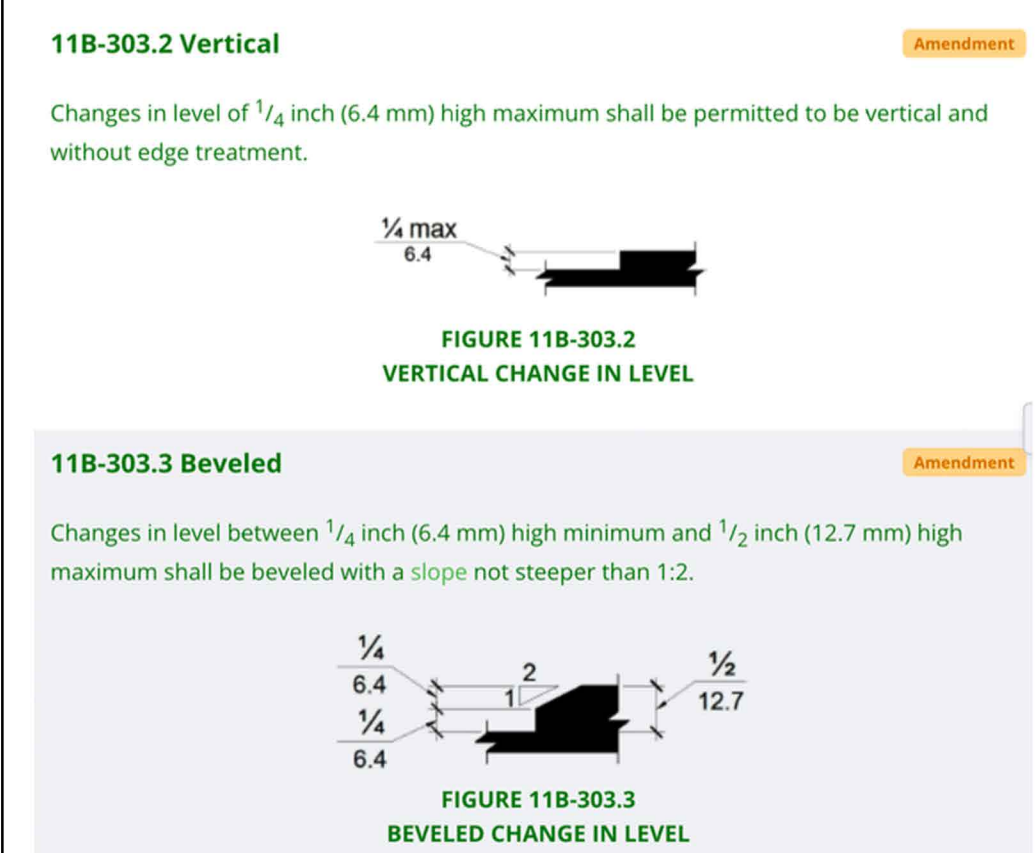


EGRESS PLAN
SCALE : 1/6" = 1'-0"

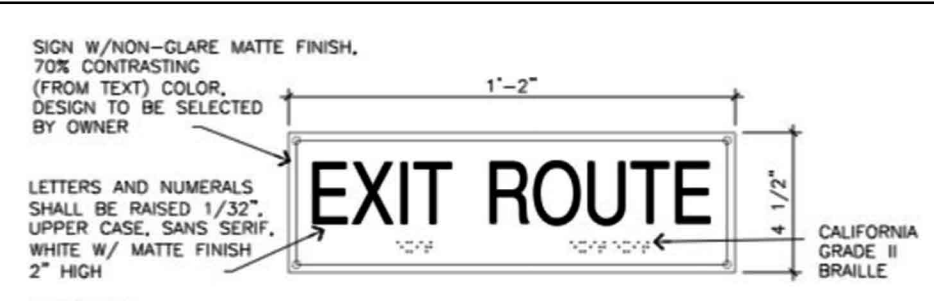


CHARACTERS, SYMBOLS AND THEIR BACKGROUND SHALL HAVE NON-GLARE FINISH, AND HAVE CONTRASTING BACKGROUND, EITHER LIGHT ON DARK BACKGROUND OR DARK ON LIGHT BACKGROUND

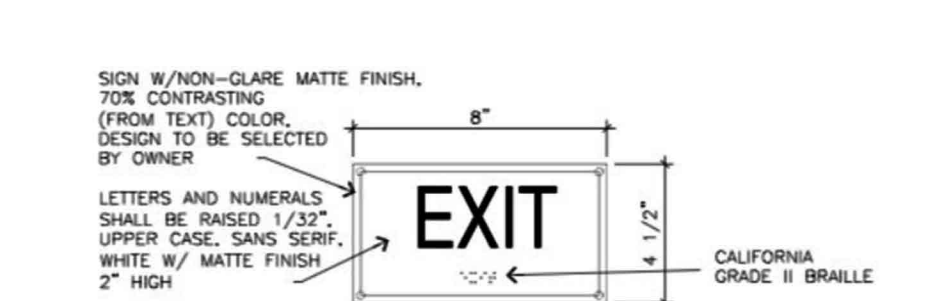
ENTRY DOOR SIGNAGE
NOT TO SCALE



THRESHOLD DETAIL
NOT TO SCALE

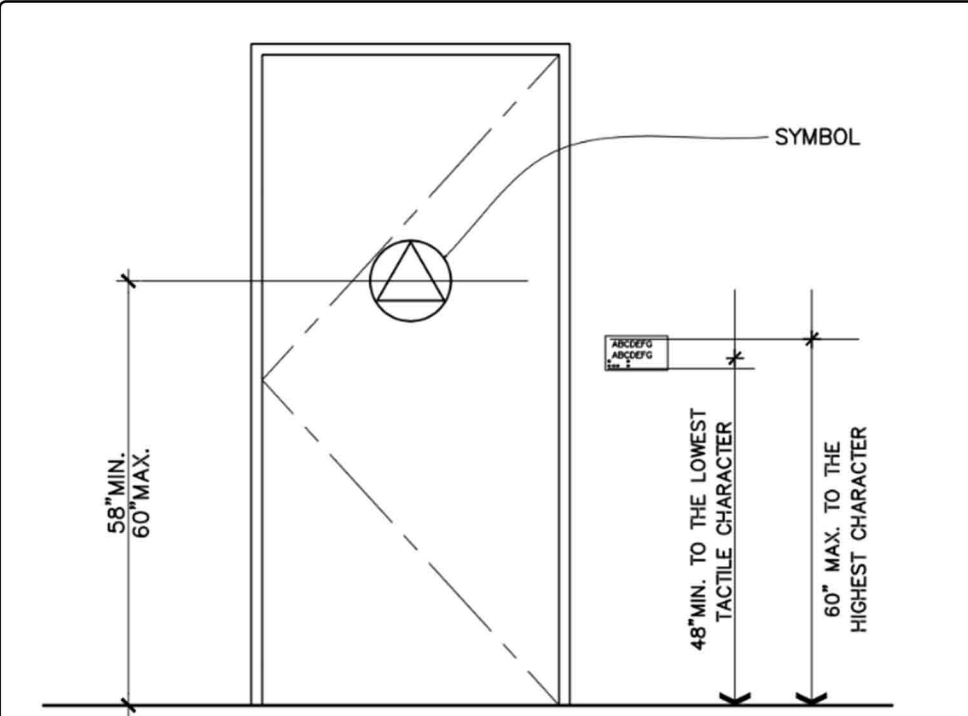


LETTERS AND NUMERALS SHALL BE RAISED 1/32", UPPER CASE, SANS SERIF, WHITE W/ MATTE FINISH, 2" HIGH

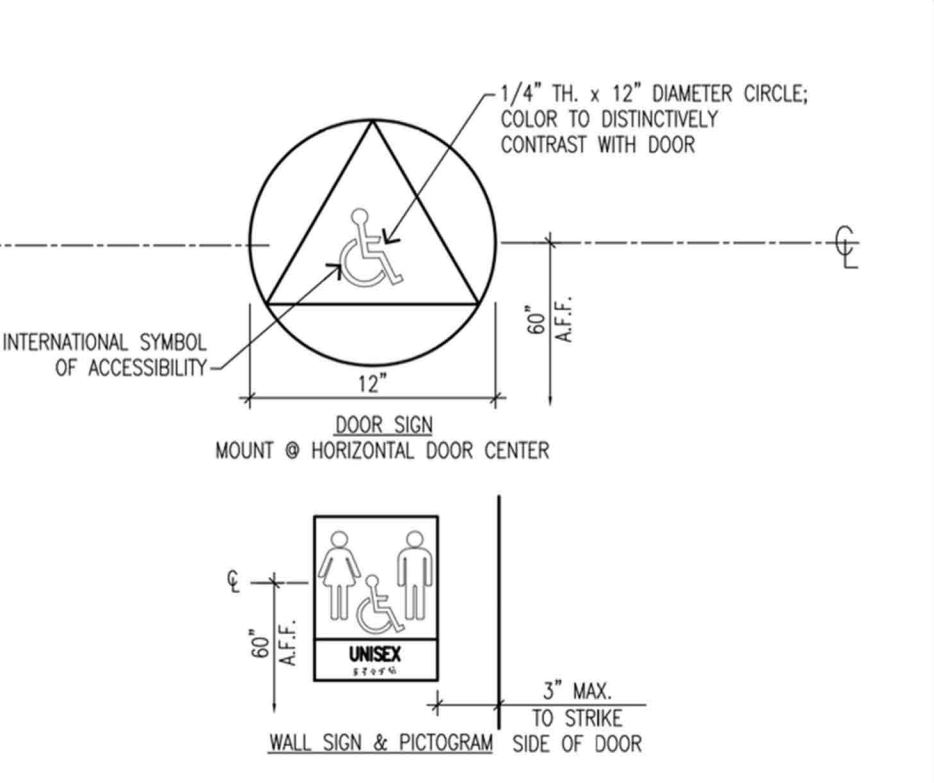


LETTERS AND NUMERALS SHALL BE RAISED 1/32", UPPER CASE, SANS SERIF, WHITE W/ MATTE FINISH, 2" HIGH

COORDINATE LOCATION W/ ELECTRICAL LIGHTING PLAN



BATHROOM DOOR ELEV.
ACCESSIBLE BATH DOOR DETAIL 2
NOT TO SCALE



UNISEX DOOR SIGNAGE
NOT TO SCALE

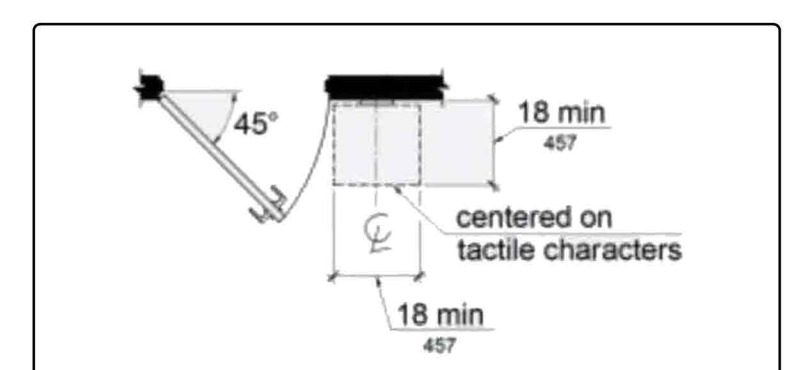
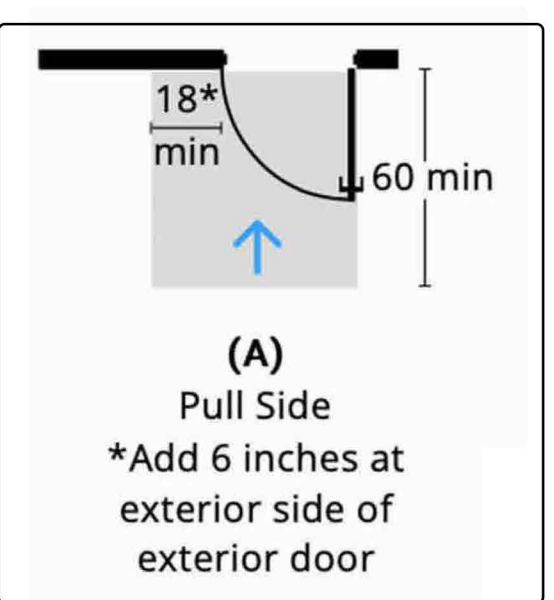


FIGURE 11B-703.4.2
LOCATION OF TACTILE SIGNS AT DOORS



(A)
Pull Side
*Add 6 inches at exterior side of exterior door

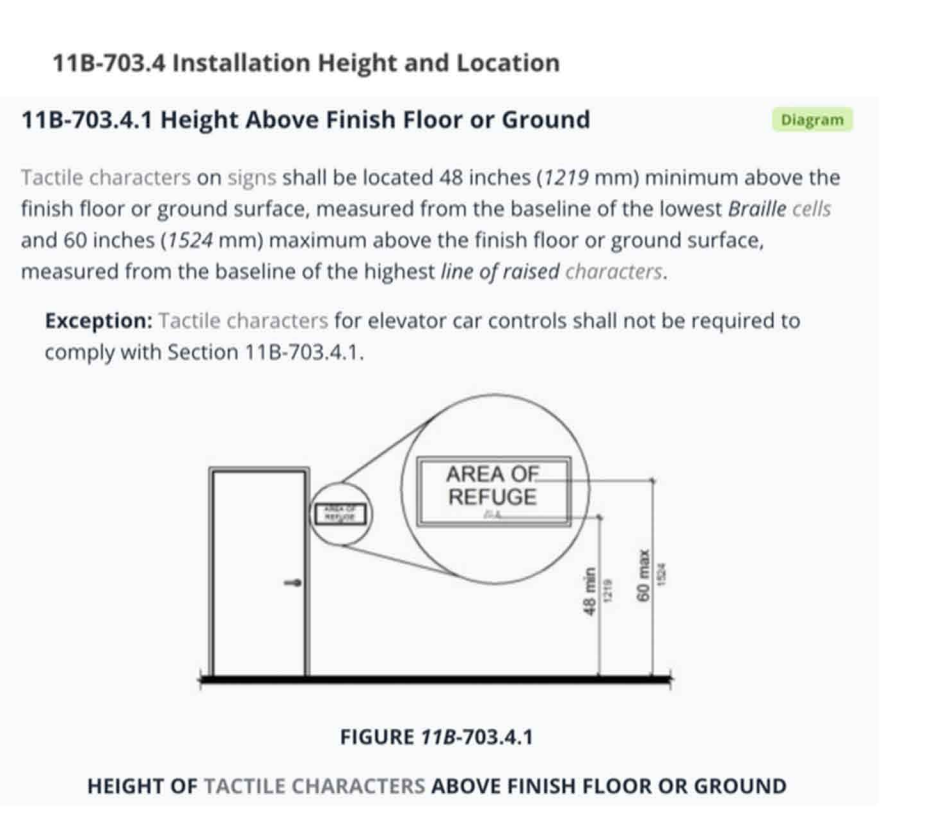


FIGURE 11B-703.4.1
HEIGHT OF TACTILE CHARACTERS ABOVE FINISH FLOOR OR GROUND

11B-703.2.5 Character Height
Character height measured vertically from the baseline of the character shall be 5/8 inch (15.9 mm) minimum and 2 inches (51 mm) maximum based on the height of the uppercase letter "I".
Exception: Reserved.

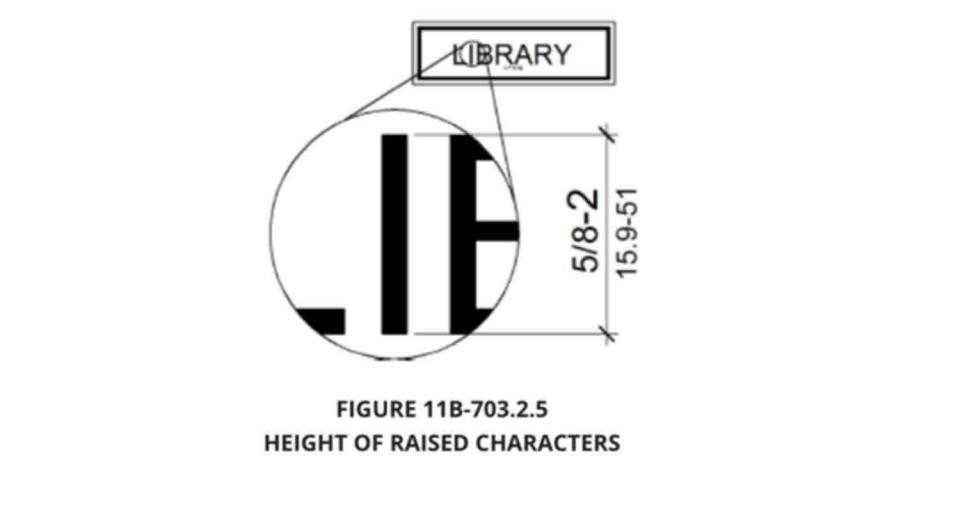


FIGURE 11B-703.2.5
HEIGHT OF RAISED CHARACTERS

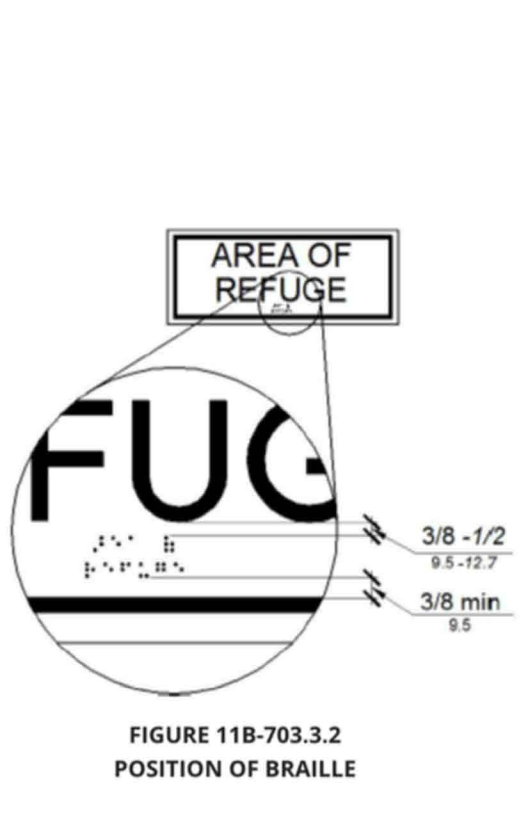
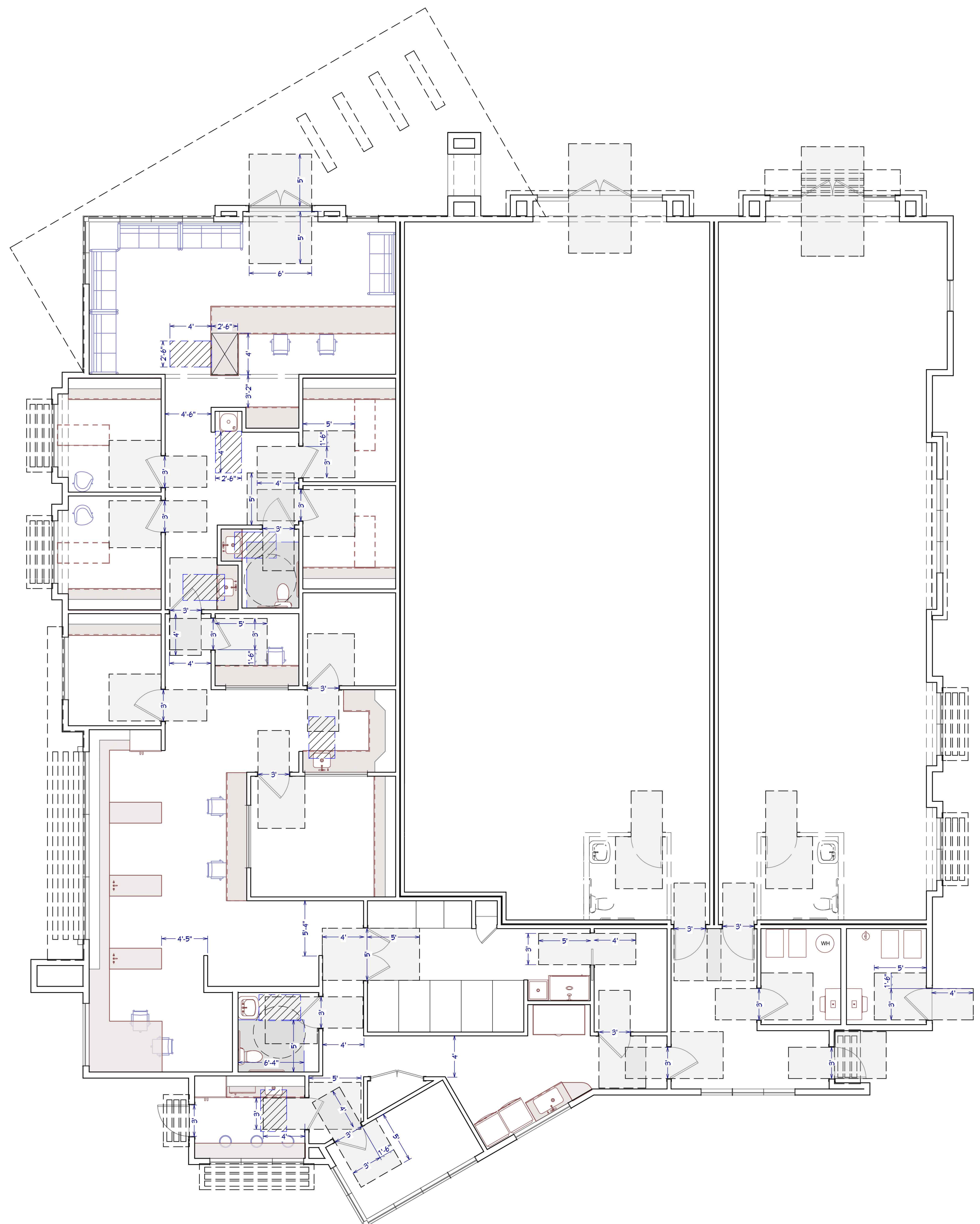


FIGURE 11B-703.3.2
POSITION OF BRAILLE



ACCESSIBILITY PLAN
SCALE : 1/16" = 1'-0"

NOTE :
ALL DOORS TO HAVE THE REQUIRED CLEARANCES AS SHOWN ON PLAN FOR ADA ACCESSIBILITY

REVISIONS

ACCESSIBILITY PLAN



NEW COMMERCIAL BUILDING
FOR APN : 373-030-060
WEST STANFORD RANCH ROAD,
ROCKLIN, CA 95765

DATE :
12/1/2025

SCALE :
1/16" = 1'-0"

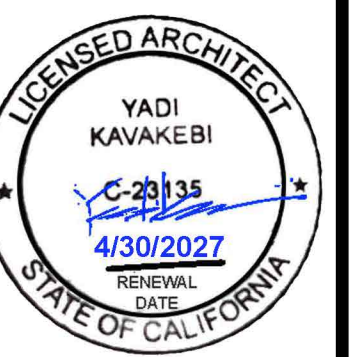
SHEET :
A10

DISCLAIMER
ALPHA DESIGNS CERTIFIES THAT THE DIMENSION, MEASUREMENT SURVEY OF THE SUBJECT PROPERTY ARE ACCURATE & PRECISE WITHIN ALLOWABLE TOLERANCES IN THE INDUSTRY

DESIGNED BY : ASH MOHY

REVISIONS

ENLARGED
RESTROOM
PLAN



NEW COMMERCIAL BUILDING
FOR APN : 373-030-060
WEST STANFORD RANCH ROAD,
ROCKLIN, CA 95765

DATE :
12/1/2025

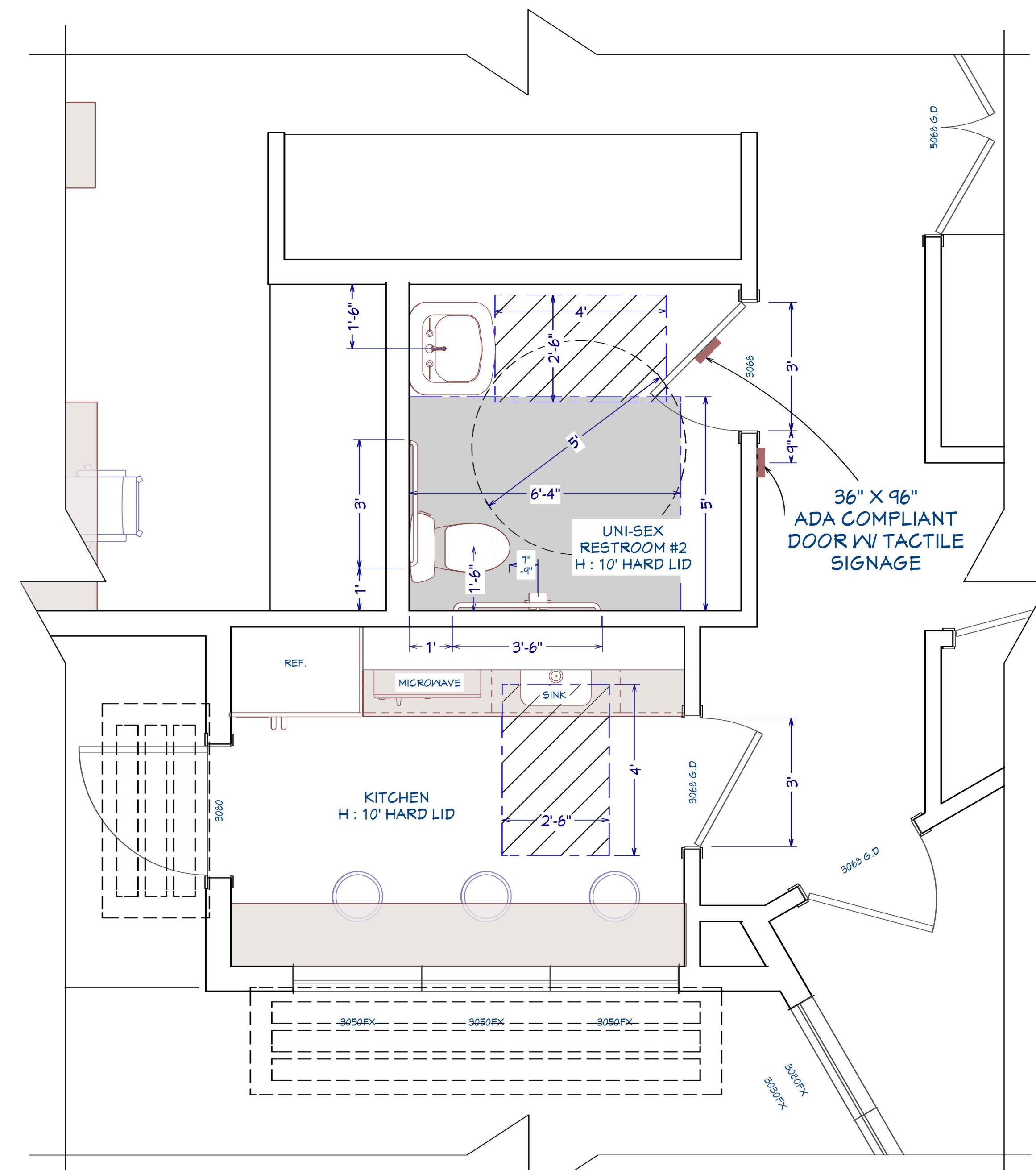
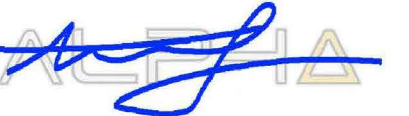
SCALE :
1/2" = 1'-0"

SHEET :
A11

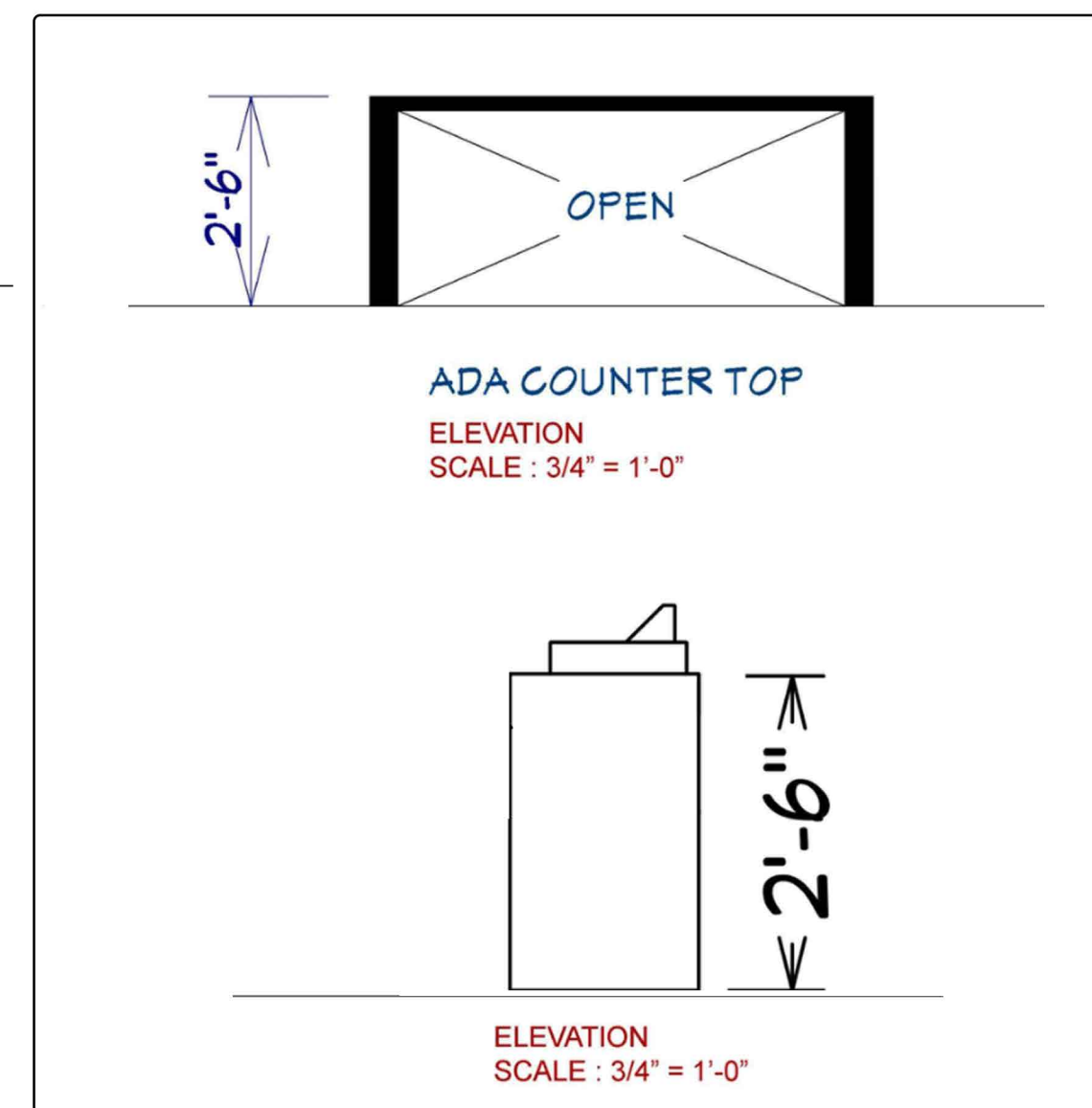
DISCLAIMER

ALPHA DESIGNS CERTIFIES THAT THE DIMENSION, MEASUREMENT SURVEY OF THE SUBJECT PROPERTY ARE ACCURATE & PRECISE WITHIN ALLOWABLE TOLERANCES IN THE INDUSTRY

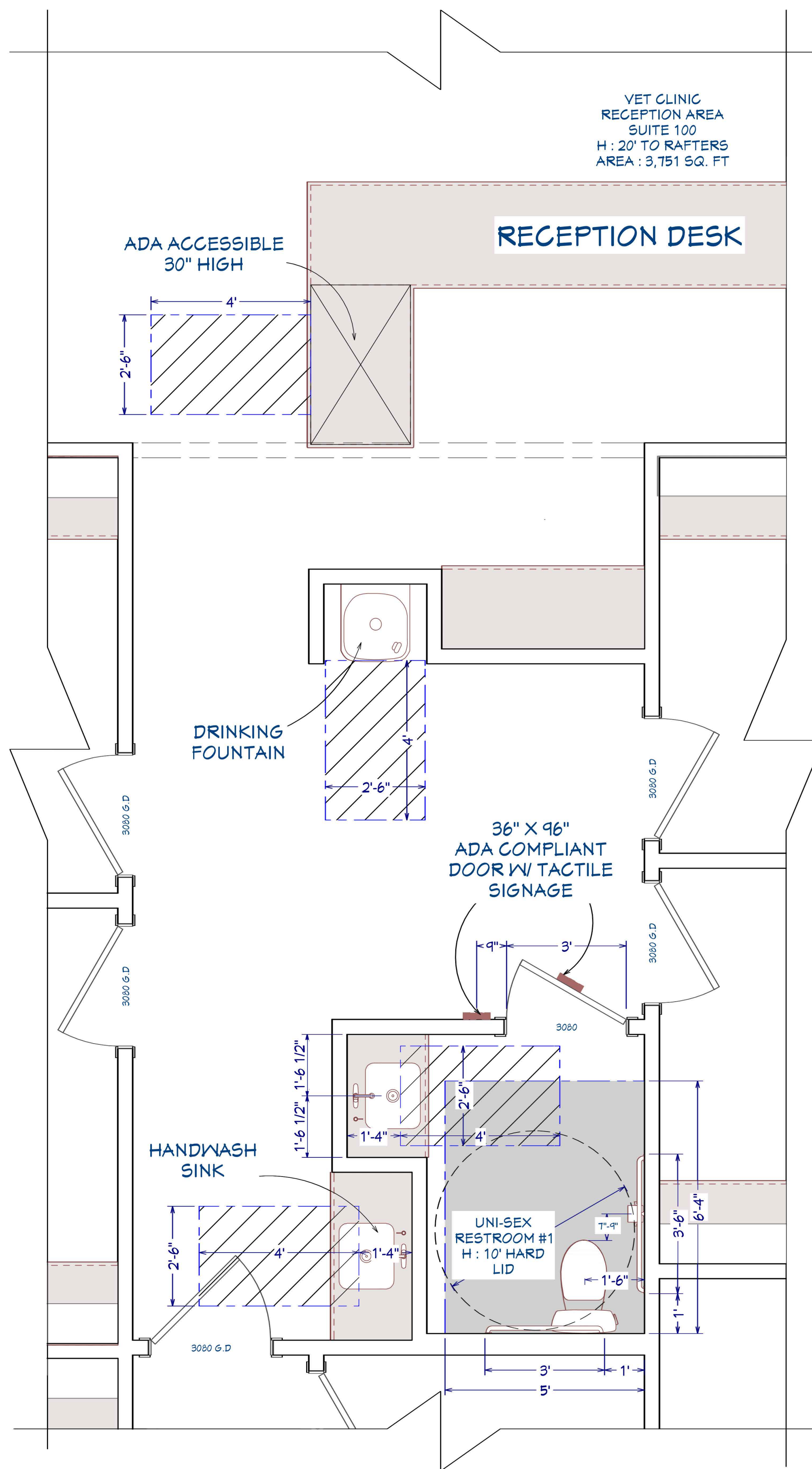
DESIGNED BY : ASH MOHY



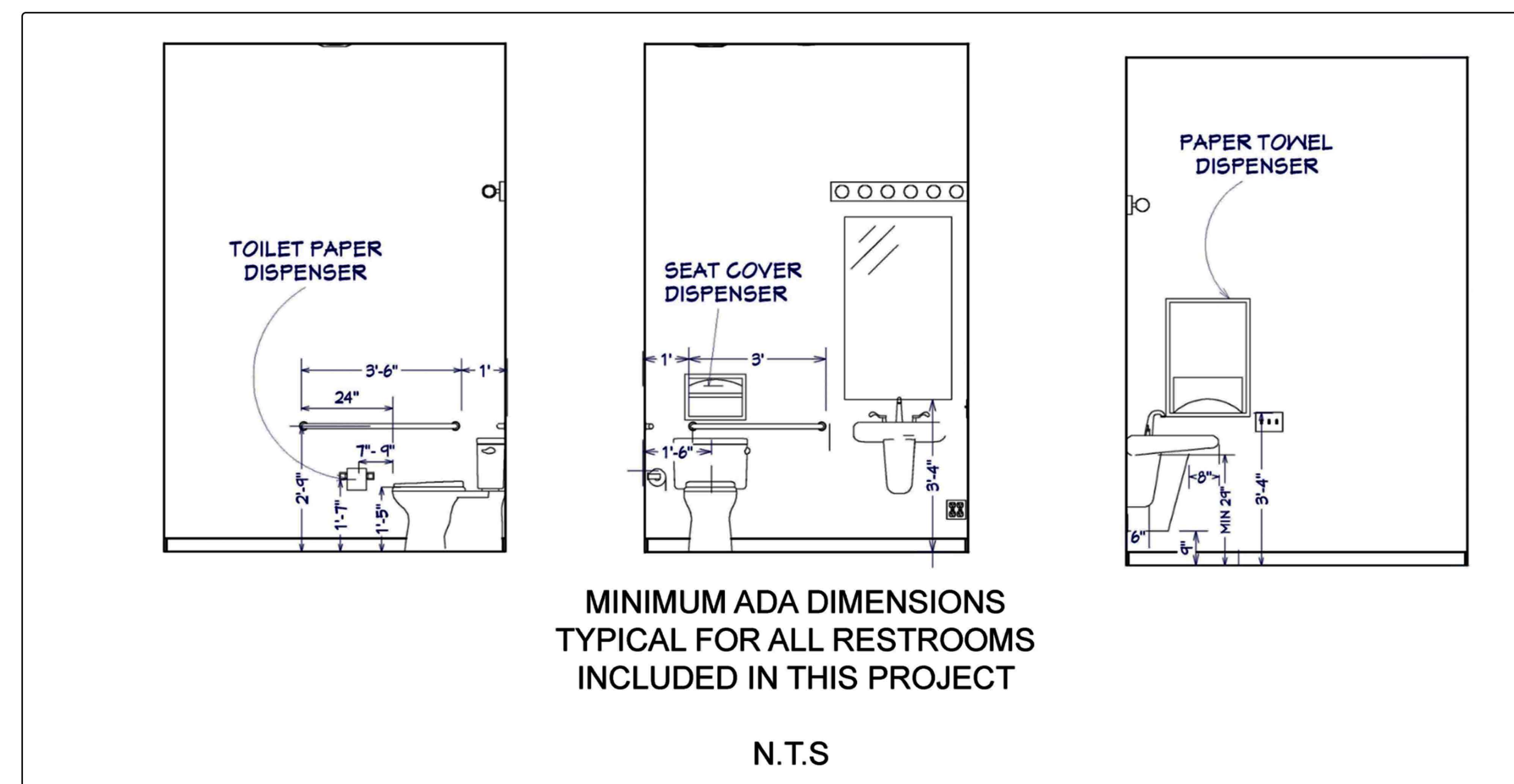
VET CLINIC - SUITE 100" UNI-SEX RESTROOM #3
W/ KITCHEN AREA
SCALE : 1/2" = 1'-0"



RECEPTION
DESK ADA ACCESSIBLE
SCALE : 3/4" = 1'-0"



VET CLINIC - SUITE 100" UNI-SEX RESTROOM #1 & #2
W/ RECEPTION DESK
SCALE : 1/2" = 1'-0"



MINIMUM ADA DIMENSIONS
TYPICAL FOR ALL RESTROOMS
INCLUDED IN THIS PROJECT

N.T.S

VET CLINIC
RECEPTION AREA
SUITE 100
H : 20' TO RAFTERS
AREA : 3,751 SQ. FT

RECEPTION DESK

ADA ACCESSIBLE
30" HIGH

DRINKING
FOUNTAIN

36" X 96"
ADA COMPLIANT
DOOR W/ TACTILE
SIGNAGE

HANDWASH
SINK

UNI-SEX
RESTROOM #1
H : 10' HARD
LID

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DISPENSER

TOILET PAPER
DISPENSER

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ACCESSIBILITY NOTES

1. ENTRANCES

- A. LATCHING & LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE.
- B. HAND ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 30 INCHES AND 44 INCHES ABOVE THE FLOOR.
- C. THE FLOOR LANDING ON EACH SIDE OF AN ENTRANCE OR PASSAGE DOOR SHALL BE LEVEL AND CLEAR. THE LEVEL AND CLEAR AREA SHALL HAVE A LENGTH IN THE DIRECTION OF THE DOOR SWING OF AT LEAST 60 INCHES, AND A MINIMUM LENGTH OF 44 INCHES OF THE DOOR IN ITS CLOSED POSITION. NOTE THAT THE 44 INCH REQUIREMENT MUST BE INCREASED TO 48 INCHES IF THE DOOR IS EQUIPPED WITH A CLOSER.
- D. THE WIDTH OF THE LEVEL AND CLEAR AREA ON THE SIDE OF THE DOOR SWING SHALL EXTEND 24 INCHES PAST THE STRIKE EDGE OF THE DOOR FOR EXTERIOR DOORS, AND 18 INCHES PAST THE STRIKE EDGE OF THE DOOR FOR INTERIOR DOORS.
- E. THE FLOOR OR LANDING SHALL BE NOT MORE THAN 1/2 INCH LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGE IN LEVEL BETWEEN 1/4 INCH AND 1/2 INCH SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2.
- F. THE BOTTOM 10 INCHES OF ALL DOORS, EXCEPT AUTOMATIC AND SLIDING DOORS, SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. WHERE NARROW FRAME DOORS ARE USED, A 10 INCH HIGH SMOOTH PANEL SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.

- G. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS FOR EXTERIOR DOORS AND 5 LBS FOR INTERIOR DOORS, SUCH PUSH OR PULL EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO 15 LBS MAXIMUM.
- H. INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGN TO BE LOCATED ON EXTERIOR OF BLDG ADJACENT TO MAIN ENTRANCE DOOR.

- 1. FLOORS SHALL BE SLIP-RESISTANT.
- 2. SINGLE ACCOMMODATION TOILET FACILITY
 - A. THERE SHALL BE SUFFICIENT SPACE IN THE TOILET ROOM FOR A WHEELCHAIR MEASURING 30 INCHES WIDE BY 48 INCHES LONG TO ENTER THE ROOM AND PERMIT THE DOOR TO CLOSE.
 - B. A TOILET ROOM IDENTIFICATION SYMBOL CONSISTING OF A 12 INCH PER SIDE EQUILATERAL TRIANGLE 1/4 INCH THICK SHALL BE INSTALLED ON THE EXTERIOR SIDE OF THE DOOR TO THE RESTROOM. LOCATE SIGN 6" ABOVE FLOOR TO CENTER OF THE SIGN.
 - C. PERMANENT ROOM SIGNS (ADA) SHALL BE WALL MOUNTED ON THE LATCH SIDE OF THE DOOR @ 60 INCHES AFF TO CENTERLINE OF SIGN. LETTERS SHALL BE RAISED 1/32 INCHES UPPER CASE, SANS SERIF TYPE AND ACCOMPANIED BY GRADE 2 BRAILLE. LETTERS MUST BE AT LEAST 5/8 INCHES HIGH, BUT NO HIGHER THAN 2 INCHES.

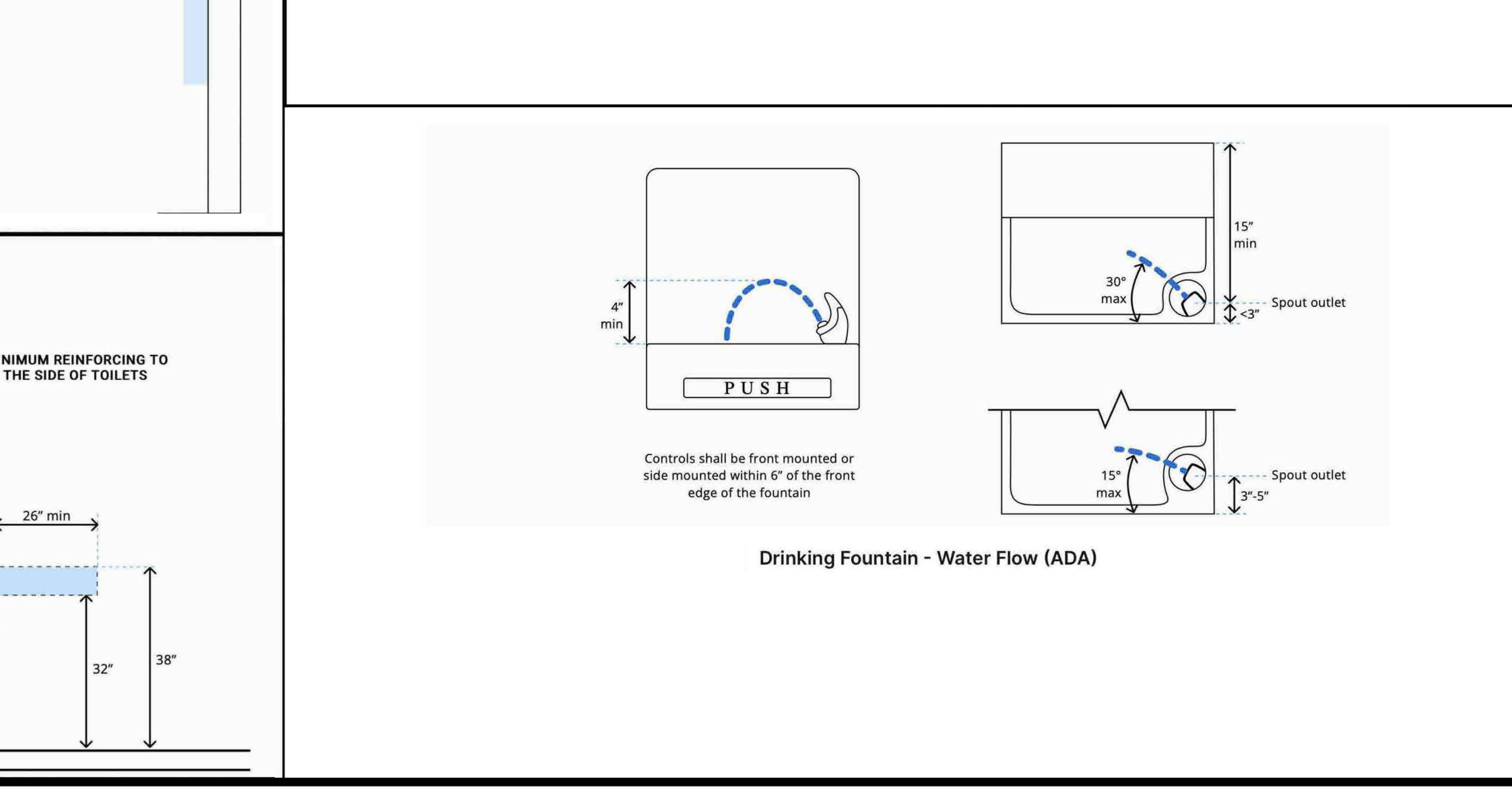
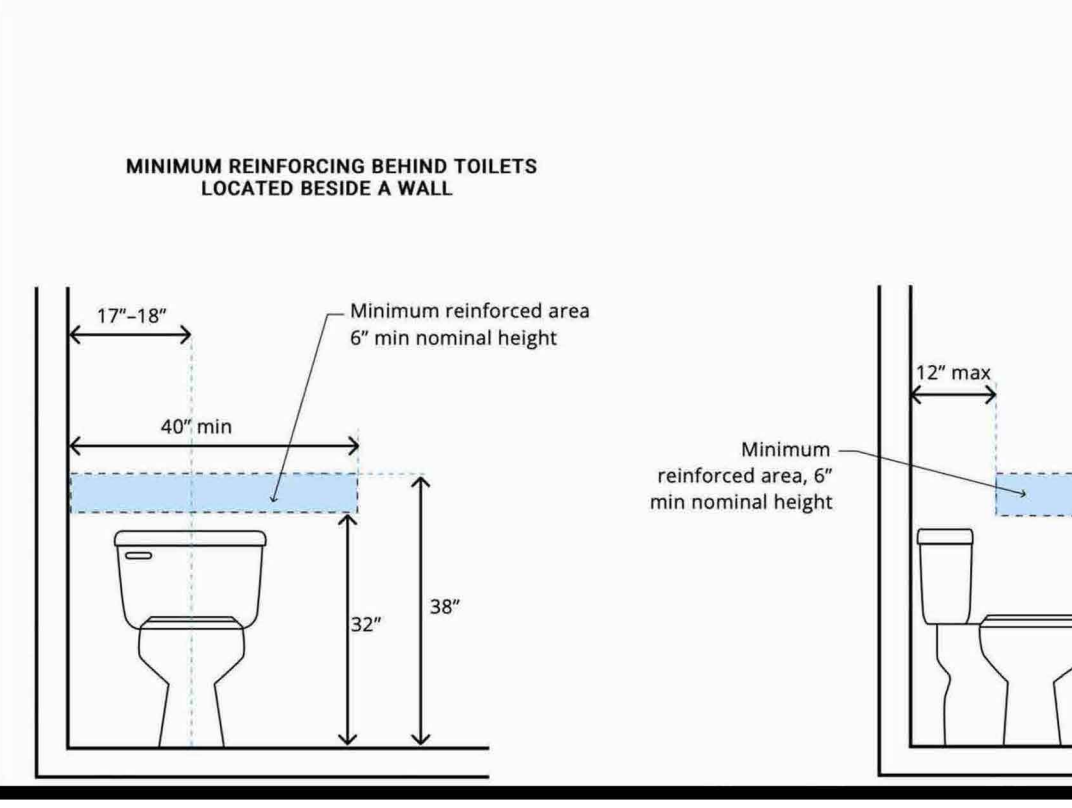
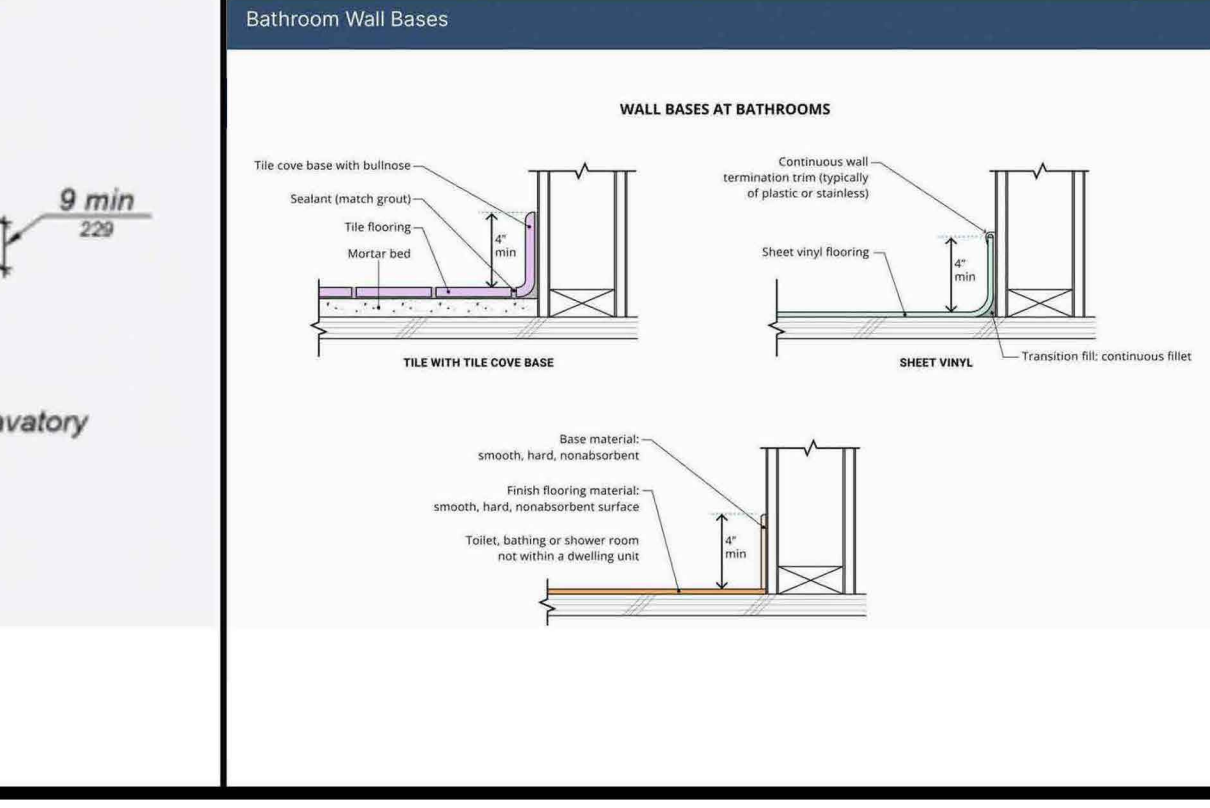
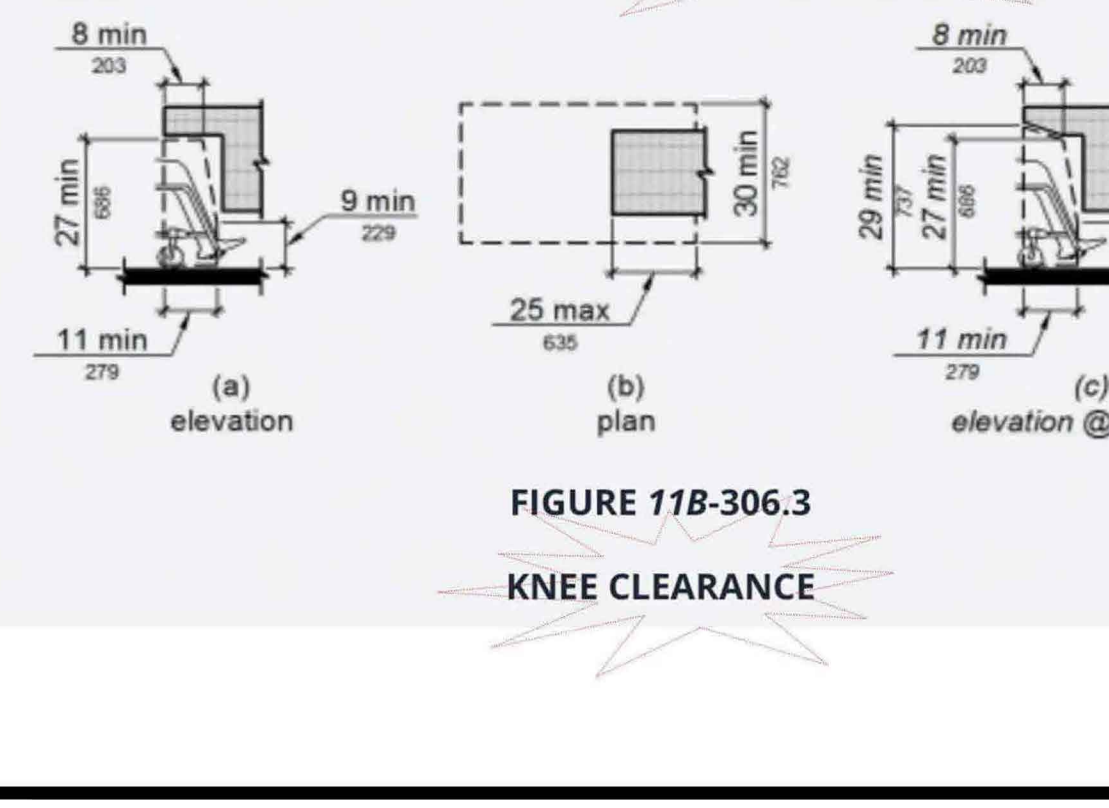
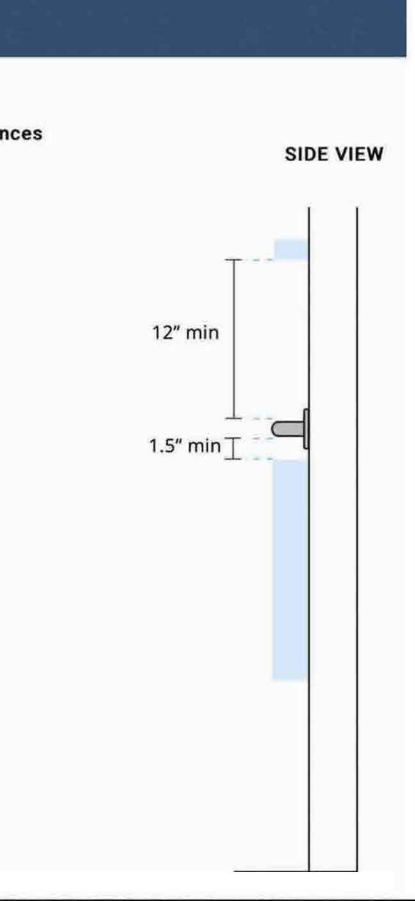
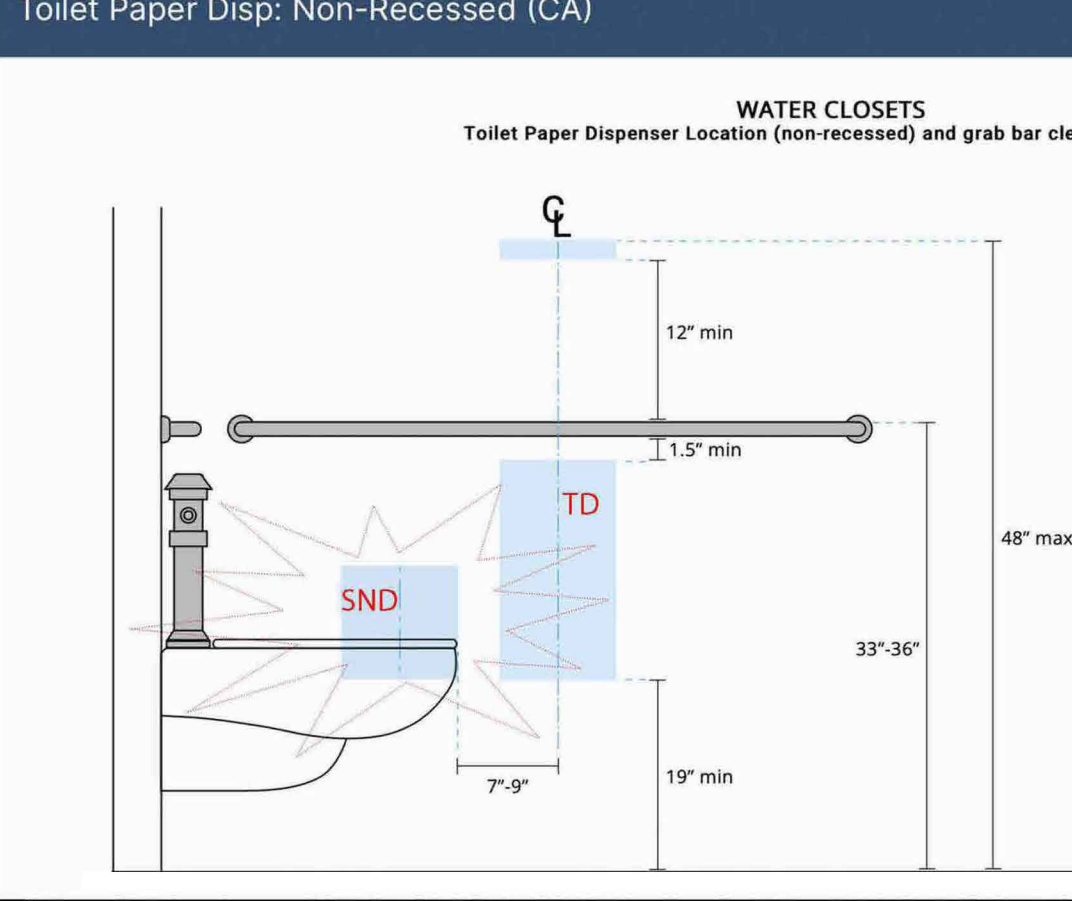
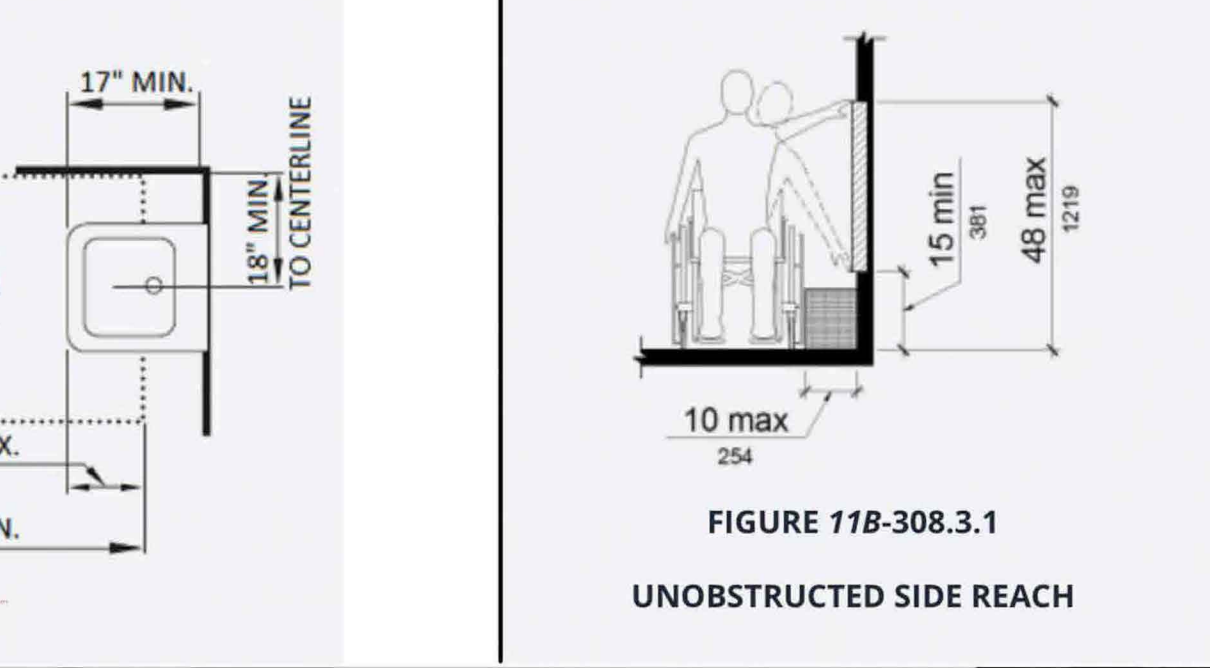
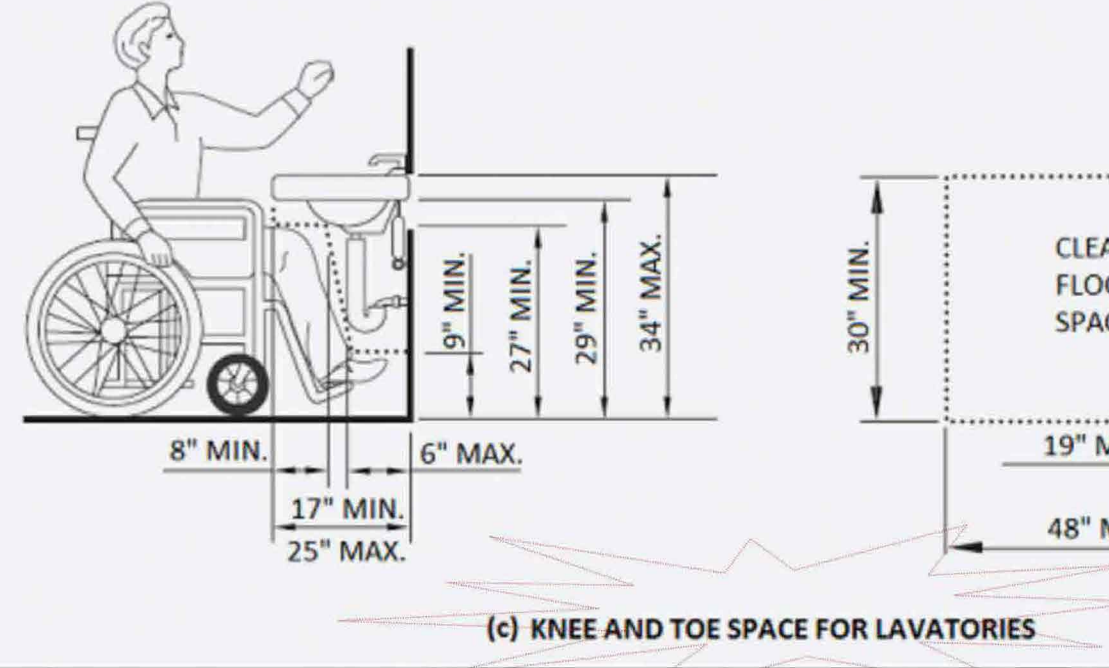
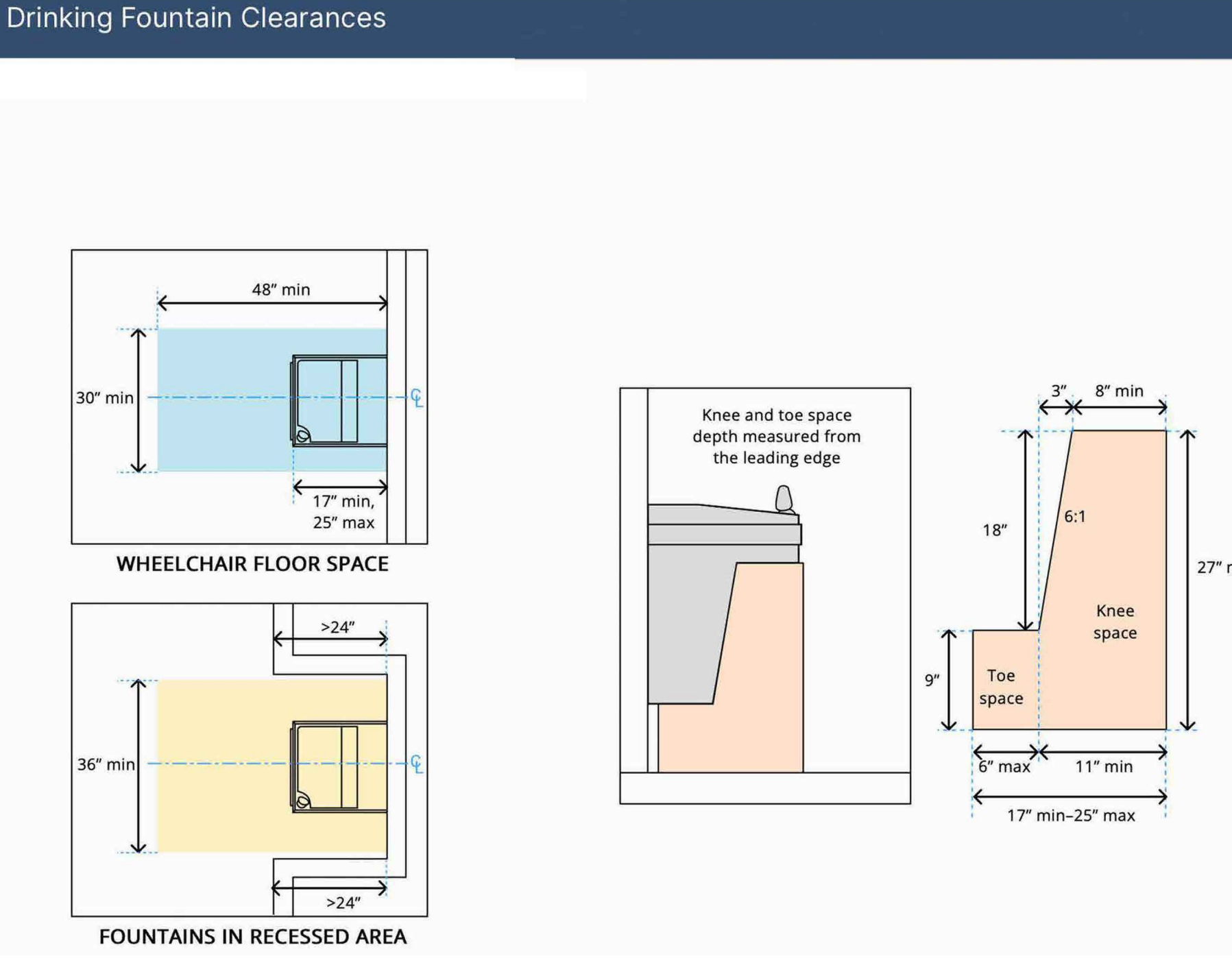
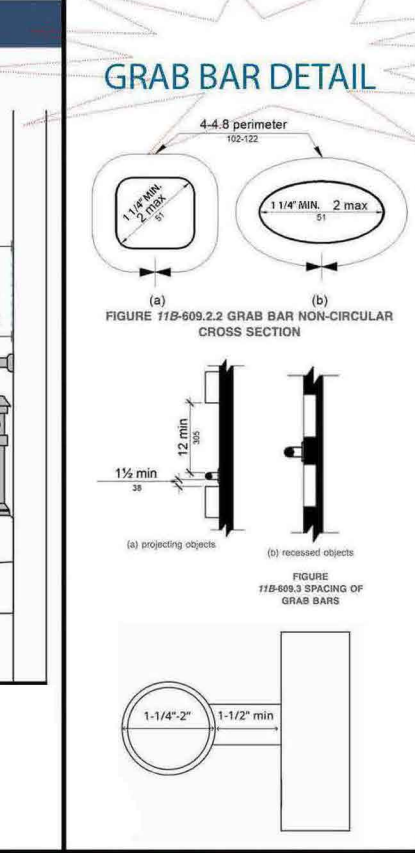
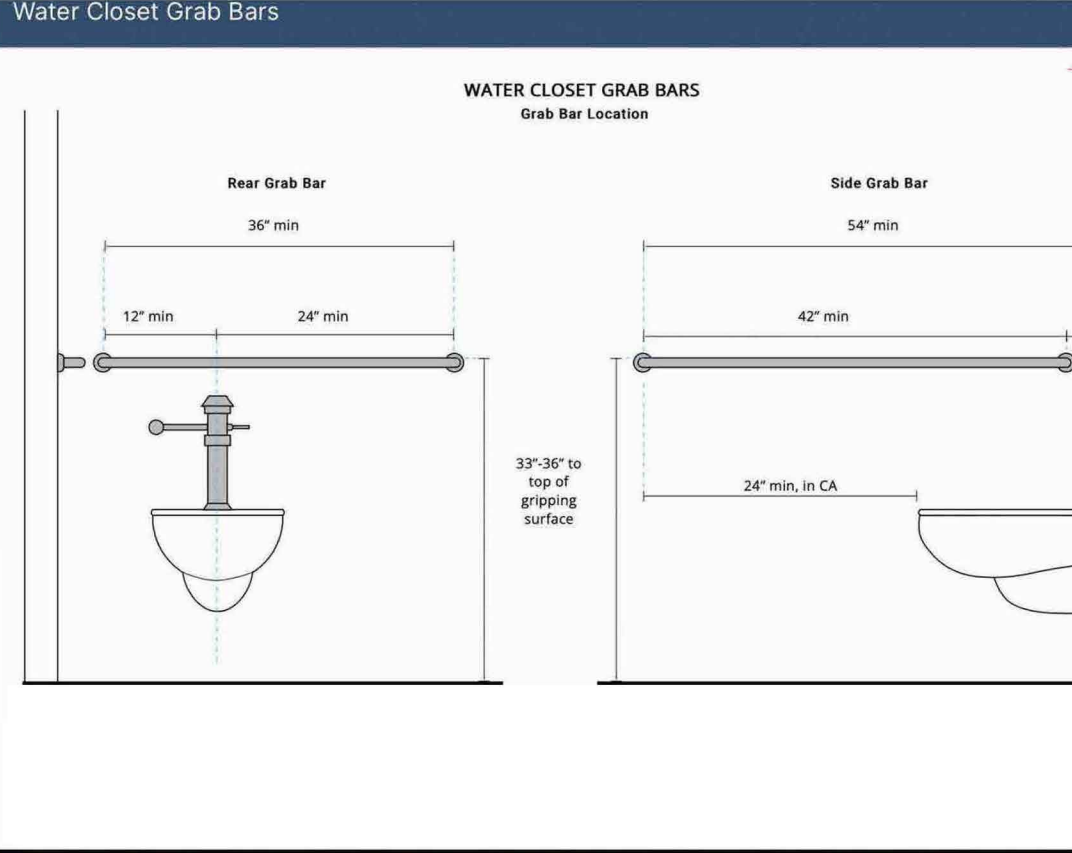
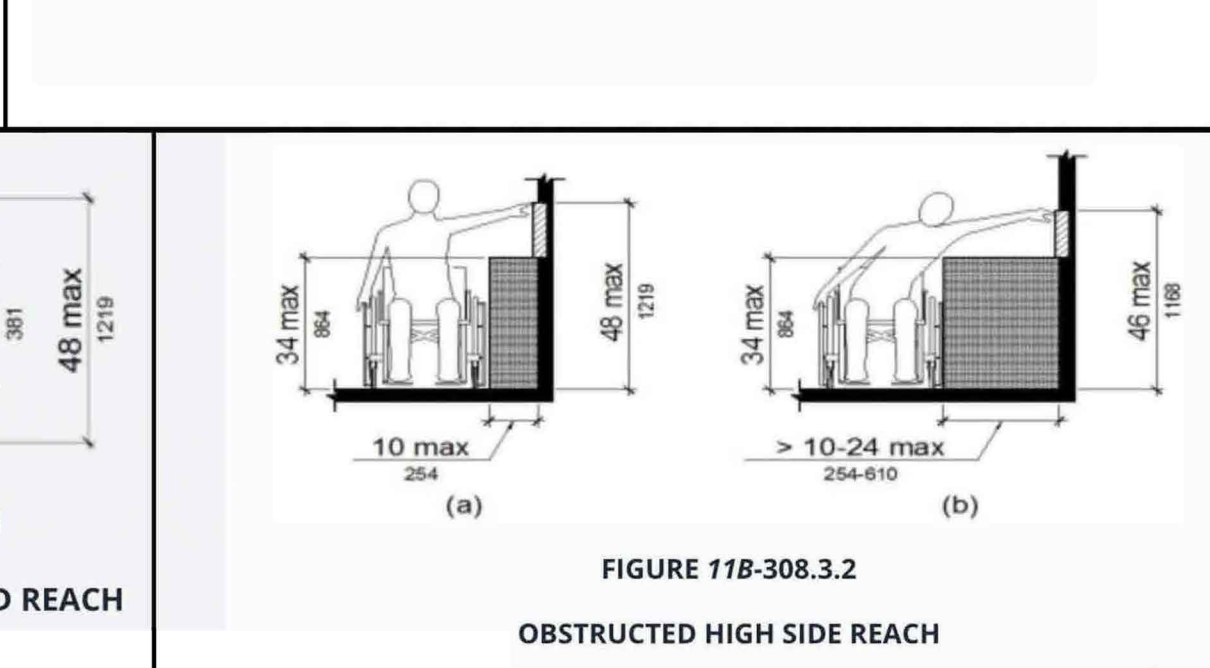
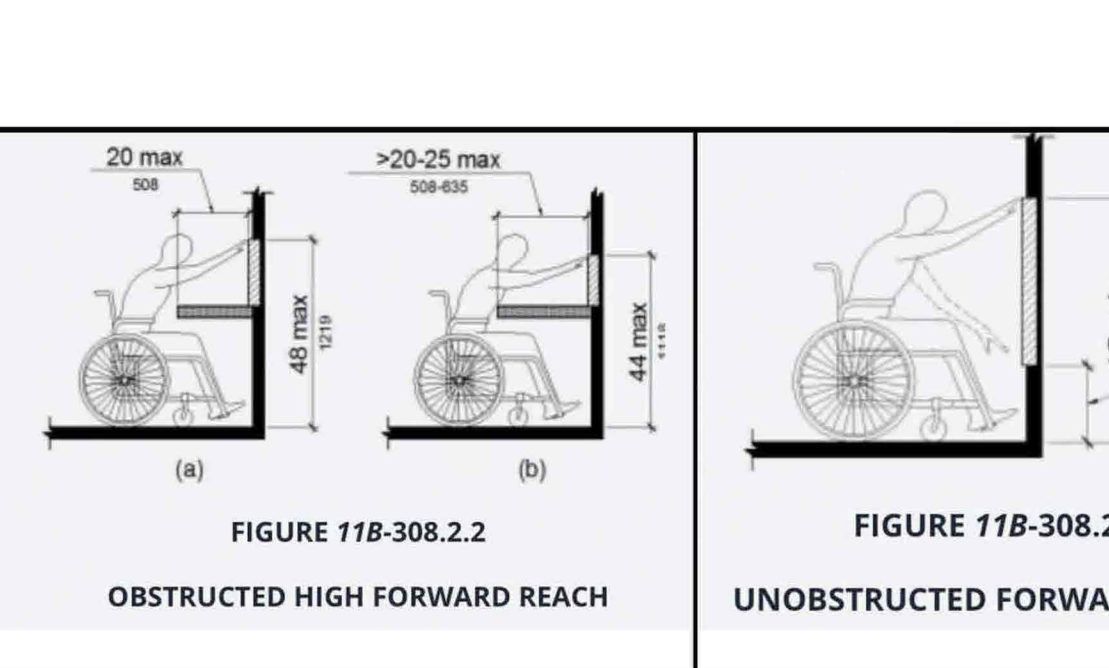
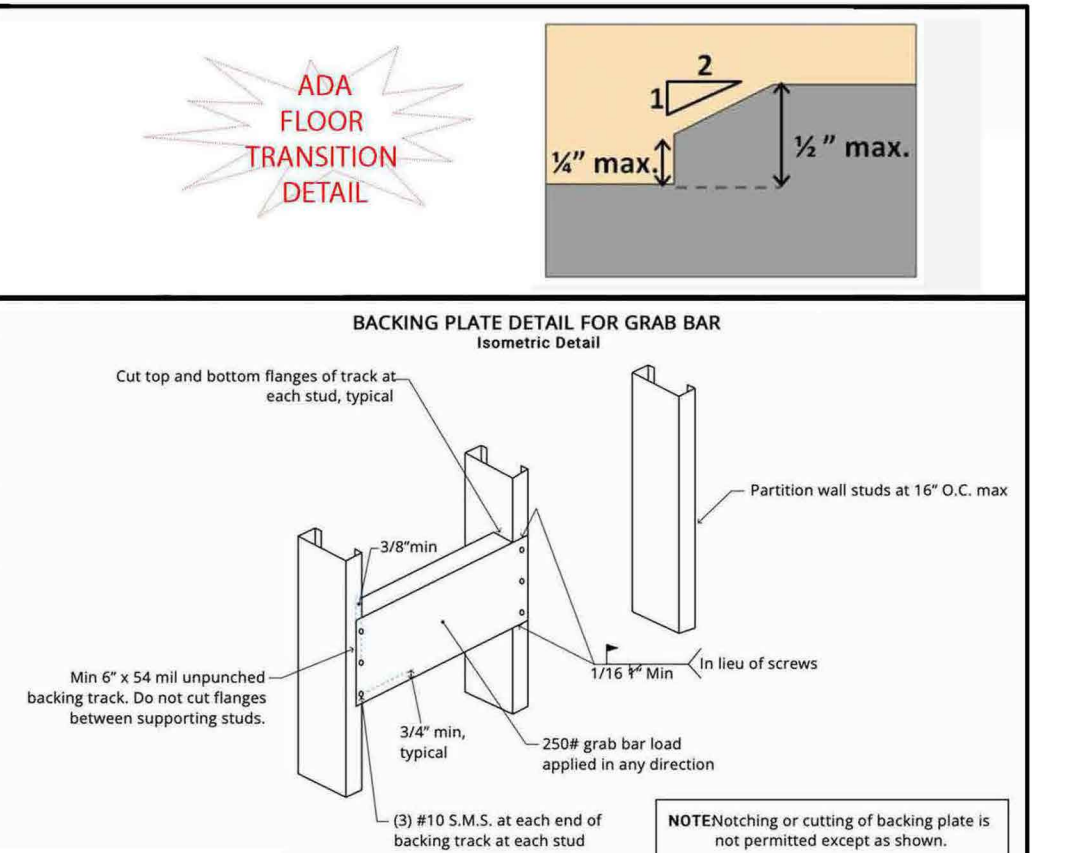
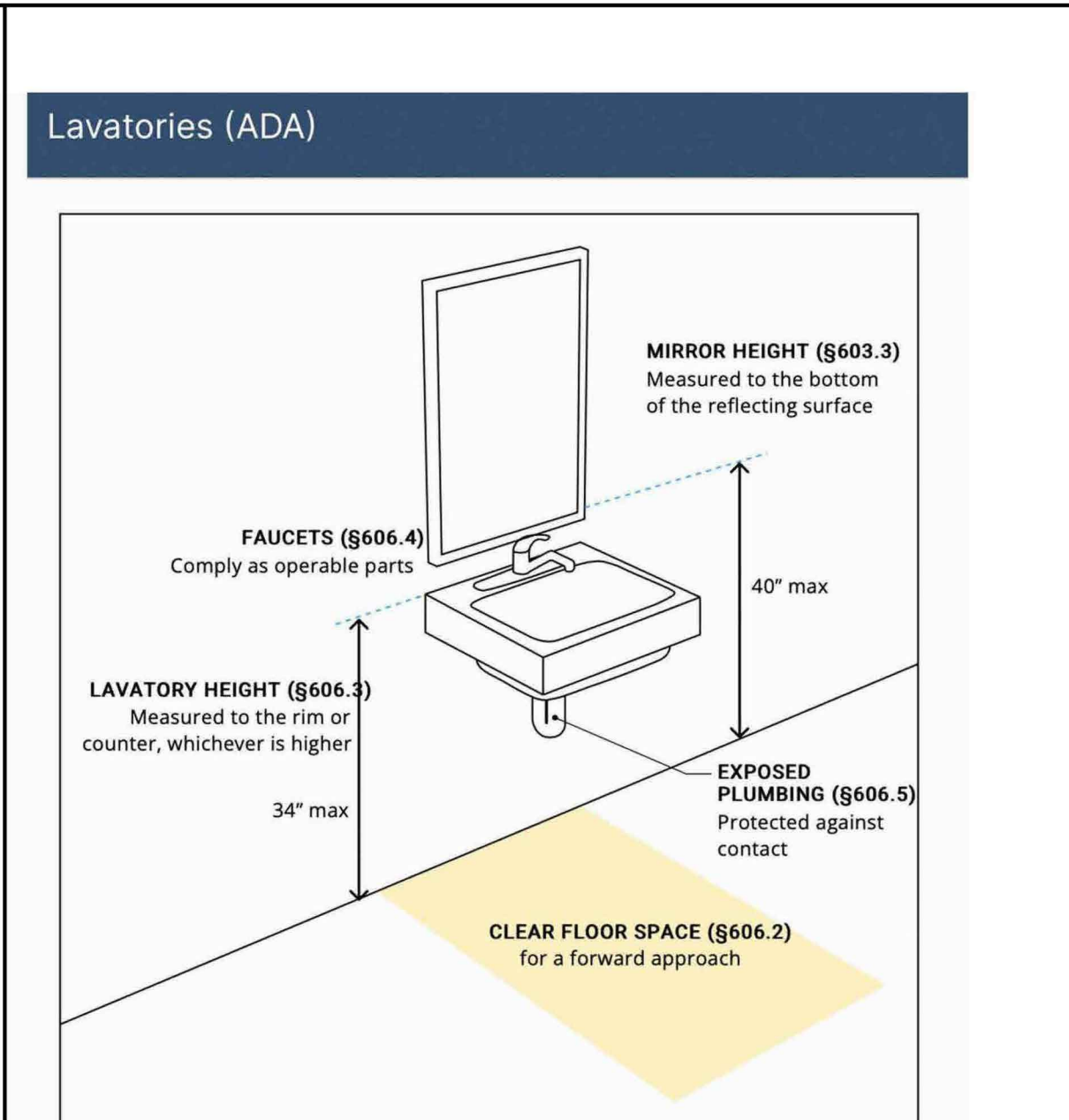
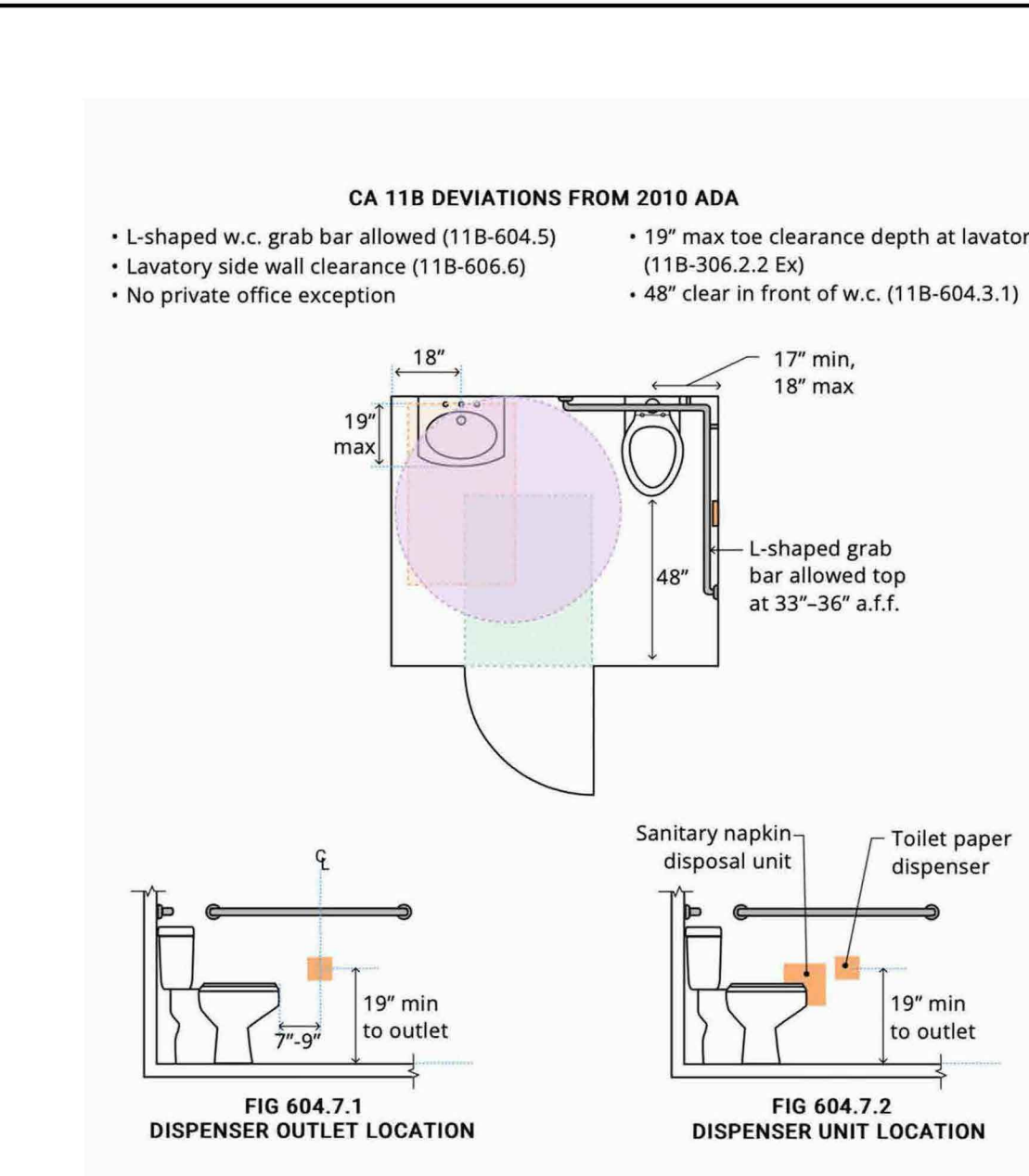
- 3. TOILET ROOM FIXTURES AND ACCESSORIES
 - A. THE HEIGHT OF THE ACCESSIBLE WATER CLOSETS SHALL BE 17 INCHES MINIMUM AND 19 INCHES MAXIMUM MEASURED TO THE TOP OF THE SEAT.
 - B. THE CENTER LINE OF THE WATER CLOSET TO THE ADJACENT WALL SHALL BE 18 INCHES.

- C. TOILET FLUSH CONTROLS TO BE OPERABLE WITH ONE HAND, AND NOT REQUIRE GRASPING, PINCHING OR TWISTING OF THE WRIST. CONTROLS FOR THE FLUSH VALVES TO BE MOUNTED ON THE WIDE SIDE OF THE TOILET AREAS NO MORE THAN 44 INCHES ABOVE THE FLOOR. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL NOT BE GREATER THAN 5 LBS.
- D. A CLEAR FLOOR SPACE 30 INCHES WIDE BY 48 INCHES LONG IN FRONT OF LAVATORY IS REQUIRED TO ALLOW A FORWARD APPROACH. SUCH CLEAR SPACE SHALL ADJOIN OR OVERLAP AN ACCESSIBLE ROUTE AND EXTEND INTO KNEE AND TOE SPACE UNDERNEATH THE LAVATORY.
- E. LAVATORIES SHALL BE MOUNTED WITH A CLEARANCE OF AT LEAST 29 INCHES FROM THE FLOOR TO THE BOTTOM OF THE APRON WITH KNEE CLEARANCE UNDER THE FRONT LIP EXTENDING A MINIMUM OF 30 INCHES IN WIDTH AND 8 INCHES IN DEPTH, MINIMUM AT THE TOP. TOPE CLEARANCE SHALL BE 30 INCHES IN WIDTH, HAVE A MINIMUM HEIGHT OF 8 INCHES ABOVE THE FLOOR, AND HAVE A MINIMUM DEPTH OF 17 INCHES FROM THE FRONT OF THE LAVATORY.
- F. A LAVATORY BOWL, DESIGNED SUCH THAT ITS PROJECTION INTO THE 8 INCH CLEAR KNEE SPACE REDUCES THE CLEAR HEIGHT BELOW THE LAVATORY TO NO LESS THAN 27 INCHES AT 8 INCHES BACK FROM THE APRON, SHALL BE REQUIRED FOR PROVIDING KNEE CLEARANCE.
- G. HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED. NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES SHALL BE ALLOWED.
- H. FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL NOT BE GREATER THAN 5 LBS.
- I. MIRRORS SHALL BE MOUNTED WITH THE BOTTOM EDGE NOT MORE THAN 40 INCHES FROM THE FLOOR.
- J. TOILET TISSUE DISPENSERS SHALL BE MOUNTED ON THE WALL WITHIN 12 INCHES OF THE FRONT EDGE OF THE TOILET SEAT.
- K. TOWEL, SANITARY NAPKIN, AND WASTE RECEPTACLES WITH ALL OPERABLE PARTS SHALL BE MOUNTED WITH ALL OPERABLE PARTS NOT MORE THAN 40 INCHES FROM THE FLOOR.
- L. GRAB BARS, TUB AND SHOWER SEATS, FASTENERS AND MOUNTING DEVICES SHALL BE DESIGNED FOR 250 LBS PER LINEAR FOOT LOAD.

- 4. TOILET ROOM GRAB BARS
 - A. GRAB BARS SHALL BE LOCATED ON ONE SIDE AND THE BACK OF THE ACCESSIBLE TOILET STALL OR COMPARTMENT AND SHALL BE SECURELY ATTACHED AT 33 INCHES ABOVE AND PARALLEL TO THE FLOOR.
 - B. GRAB BARS AT THE SIDE SHALL BE AT LEAST 42 INCHES LONG WITH THE FRONT END POSITIONED 24 INCHES IN FRONT OF THE WATER CLOSET STOOL, AND GRAB BARS AT THE BACK SHALL BE NOT LESS THAN 36 INCHES LONG.
 - C. THE DIAMETER OR WIDTH OF THE GRIPPING SURFACES OF THE GRAB BAR SHALL BE 1 1/4 INCHES.
 - D. THE SPACE BETWEEN THE WALL AND THE GRAB BARS SHALL BE 1 1/2 INCHES.
 - E. THE GRAB BARS AND ANY WALL OR OTHER SURFACE ADJACENT TO THEM SHALL BE FREE OF ANY SHARP OR ABRASIVE ELEMENTS.
 - F. GRAB BARS SHALL NOT ROTATE WITH THEIR FITTINGS.
 - G. EDGES SHALL HAVE A MINIMUM OF 1/8 INCH RADIUS.

BATH NOTES :

- a) Toilets:
 - Hand operated flush controls for water closets.
 - The height of the operable parts to be 44 inches maximum.
 - The control to be mounted on the wide side of the water closet area.
 - Activation of the control to require a maximum force of 5 pounds.
- b) Lavatories:
 - Provide clear floor space in front of lavatories (2'-6" X 4'-0")
 - Activation of the control to require a maximum force of 5 pounds.
 - Hand-operated metering faucets shall remain open for 10 seconds minimum.
- Where paper towel, soap dispenser or other accessories are provided in toilet facilities, at least one of each type shall be located on an accessible route and all operable parts shall be 40 inches maximum above the finish floor. The maximum height for the lowest part of the mirror reflective surfaces is 40".
- Provide a kick plate on the restroom doors.
- Provide signage details for accessible restrooms in compliance with CBC 11B.
- All signs shall comply with CBC Section 11B-703.
- Floors of restrooms are finished with smooth, hard, nonabsorbent materials (e.g., ceramic tile) which extend 4 inches up surrounding walls to provide a continuous, integral base Per CBC Section 1210.2.1. Walls and partitions within 2 feet of sinks, urinals and water closets shall have a smooth, hard non-absorbent surface, to a height of not less than 4 feet above finish floor over a moisture resistant underlayment (e.g., mat board)



REVISIONS

ARCH & ADA DETAILS

YADI KAVAKEBI
LICENSED ARCHITECT
C-29135
4/30/2027
RENEWAL DATE
STATE OF CALIFORNIA

NEW COMMERCIAL BUILDING
FOR APN : 373-030-060
WEST STANFORD RANCH ROAD,
ROCKLIN, CA 95765

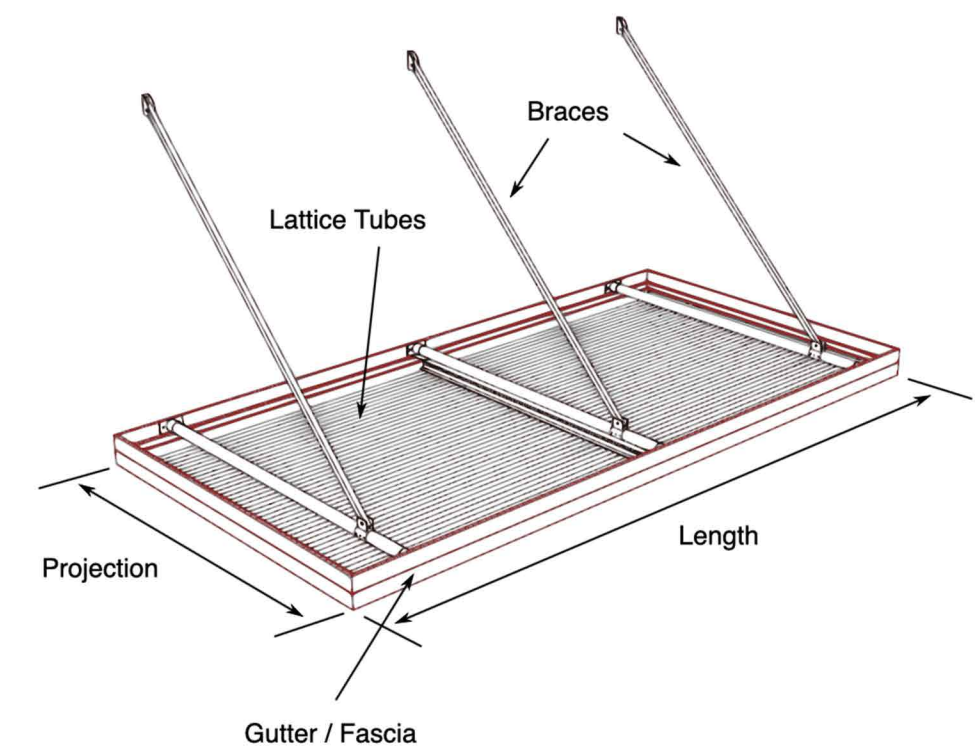
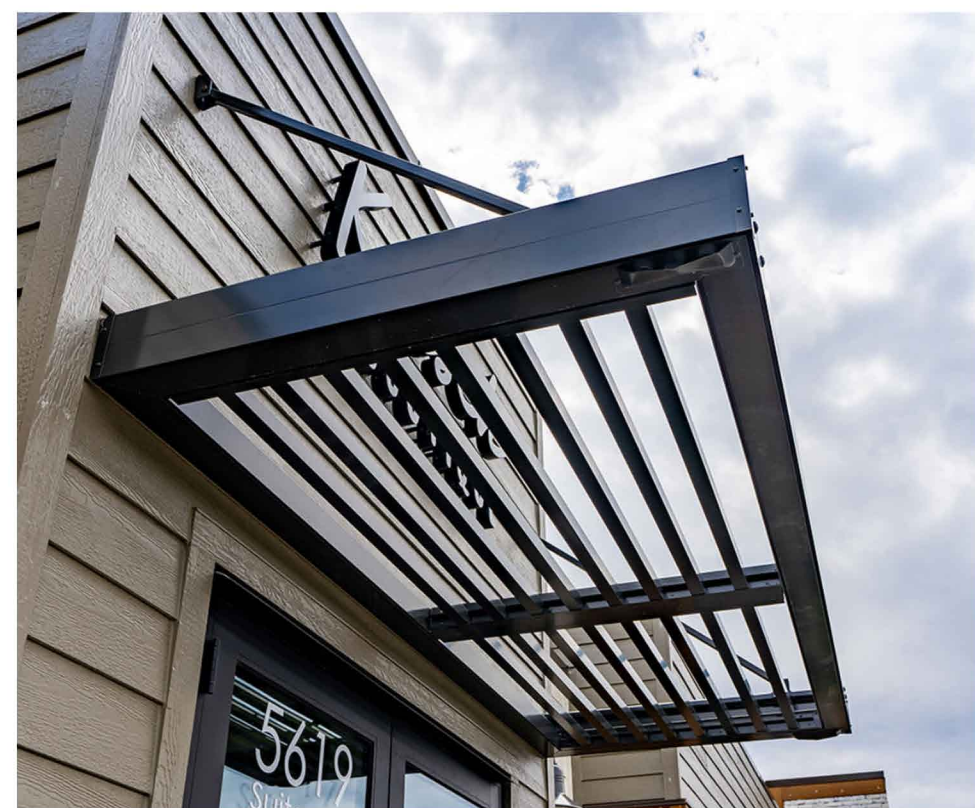
DATE :
12/1/2025

SCALE :
AS SHOWN

SHEET :
A12

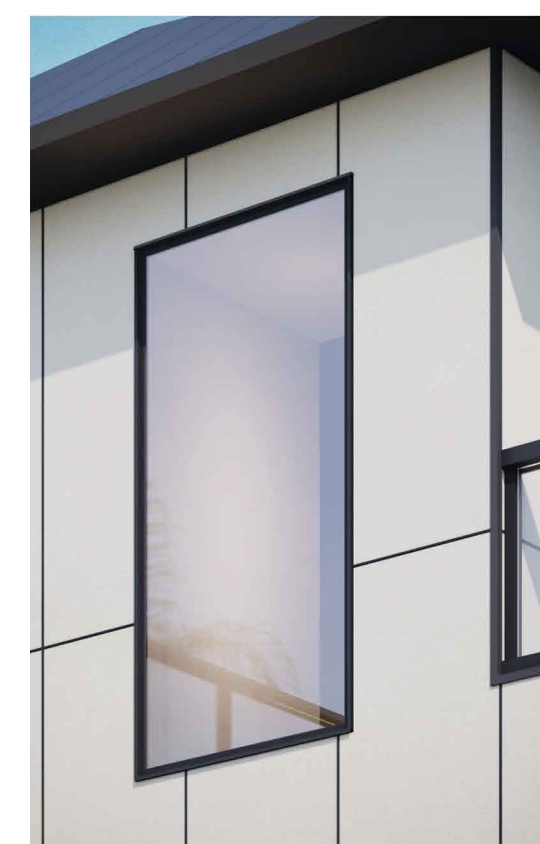
DISCLAIMER
ALPHA DESIGNS CERTIFIES THAT THE DIMENSION, MEASUREMENT SURVEY OF THE SUBJECT PROPERTY ARE ACCURATE & PRECISE WITHIN ALLOWABLE TOLERANCES IN THE INDUSTRY

CENTURY SERIES ALUMINUM AWNING
COLOR : TERRA COTTA



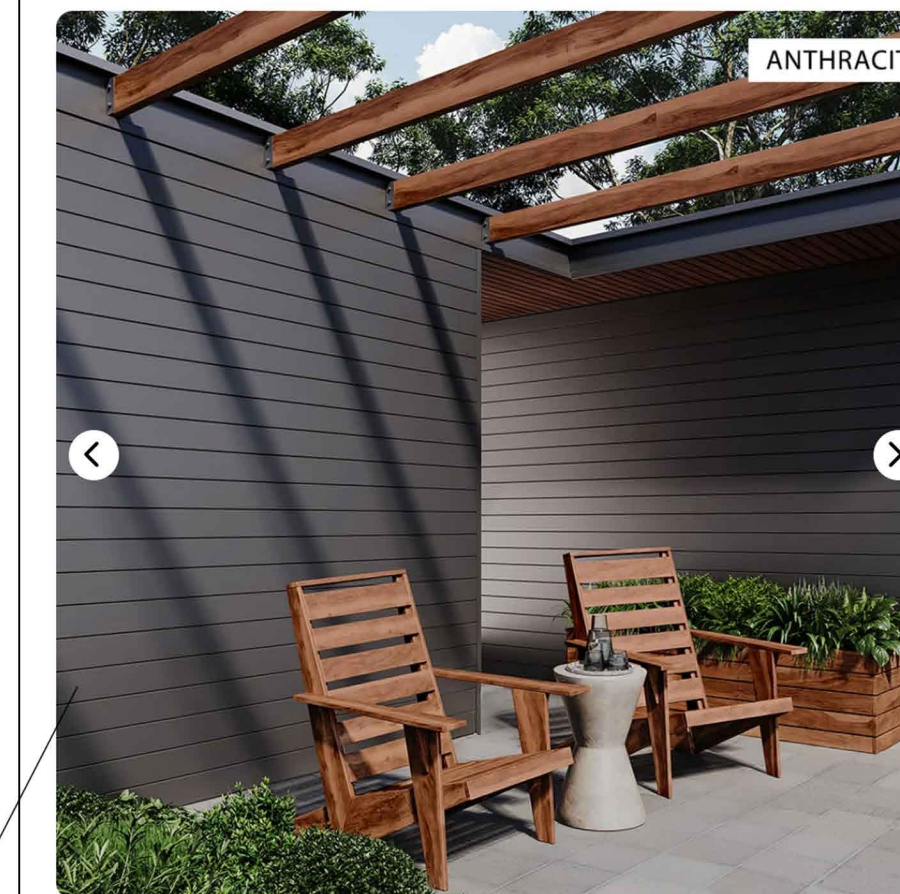
Whitney Ranch
 PET HOSPITAL

TOTAL 3 SIGNS TO BE LOCATED
 AS SHOWN ON ELEVATIONS
 (1) 7' W X 7' H
 (2) 5' W X 5' H



JAMES HARDIE ARCHITECTURAL PANEL
 4' X 8'
 FINE SAND FINISH
 WHITE COLOR

ALUMINUM EXTERIOR CLADDING (12 SF)

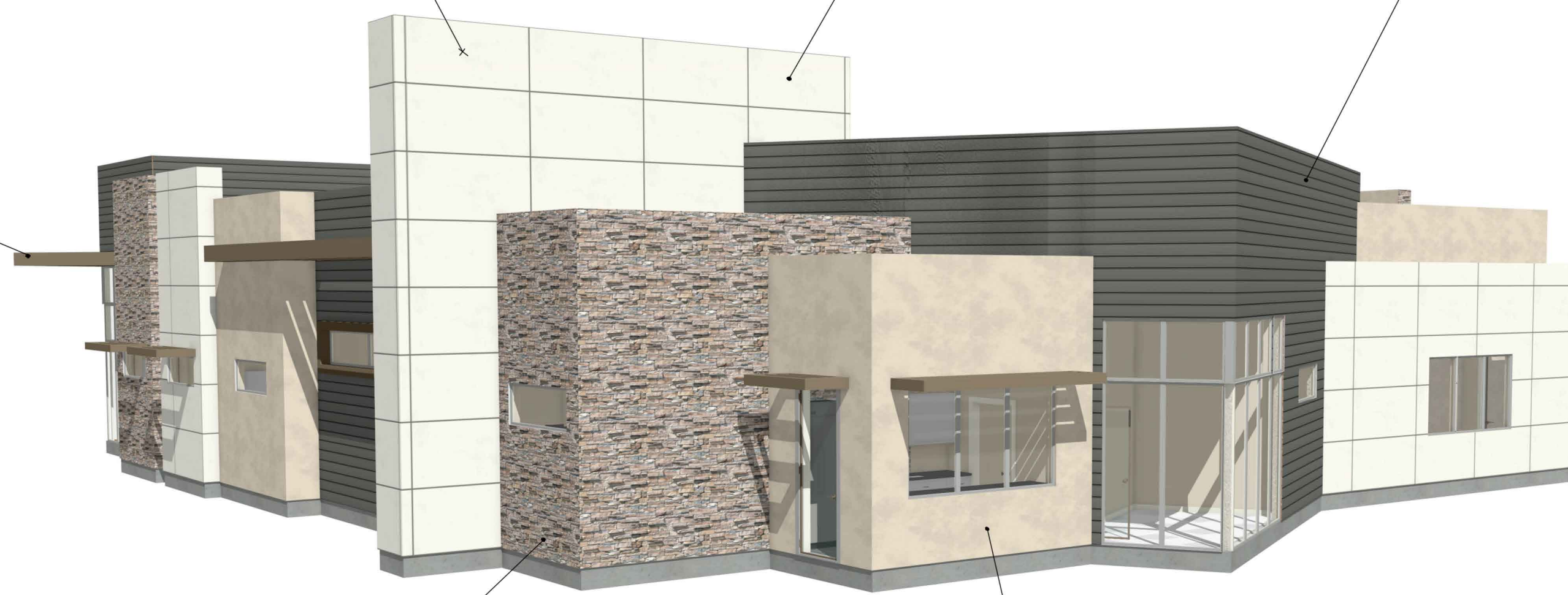


Color: Anthracite



Specifications

Thickness	15 Gauge T5 Aluminum Alloy
Length	12'
Width	6" Net Face
Weight	11.25 lbs per 12' piece 1.9 lbs/SF
Coverage	12 Sq Ft Per Bundle
Profile	V-Groove Siding and Soffit



LIGHTNING RIDGE CLASS A STONE



Product Information

Internet # 311889161
 Model # LR-4824-GFX

Specifications

Dimensions: H 24.8 in, W 48.8 in, D 1.8 in

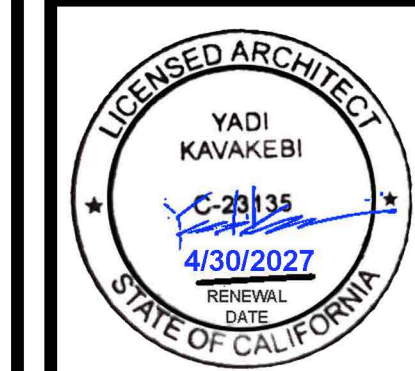
STUCCO COLOR



Additive Type: Colorant
 Color/Finish: San Simeon
 Color code: X-34

REVISIONS

MATERIAL LIST



NEW COMMERCIAL BUILDING
 FOR APN : 373-030-060
 WEST STANFORD RANCH ROAD,
 ROCKLIN, CA 95765

DATE :
 12/1/2025

SCALE :
 AS SHOWN

SHEET :
A13

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DESIGNED BY : ASH MOHY



