



New Project Information

The City of Rocklin has begun processing the below referenced application(s) for project approval. The request is now being reviewed for compliance with the requirements and regulations of relevant City, State, and Federal agencies, and Utility providers. Once any issues have been resolved notice will be provided to alert neighbors and interested parties of the availability of project information, the opportunity to comment on a project, and of any pending review or action.

Application Received: July 3, 2024

Project Name and Requested Approvals:

5345 S. GROVE STREET APARTMENTS
DESIGN REVIEW, DR2024-0002

Staff Description of Project:

This application is a request for approval of a Design Review to develop an apartment complex comprising of 78 units, including studio, one-bedroom, and two-bedroom units.

Location:

5345 S. Grove Street. APN 010-270-008.

Existing Land Use Designations:

The property is zoned Planned Development Residential (PD-R).
The General Plan designation is Mixed Use (MU).

This project **does** / **XX** **does not** require modification or change of the land use designations and regulations currently applicable to the project site.

Compliance with the California Environmental Quality Act:

A preliminary review of this project pursuant to the California Environmental Quality Act (CEQA) Section 15332 Infill Development has tentatively identified a Categorical Exemption as the appropriate level of environmental review for this project.

Applicant & Property Owner:

The applicant and property owner is Akashdeep Grewal with RK Properties and Development.

Attached Information:

For additional detail please see the attached information from the project application form and the submitted application exhibits.

2020
INDEX TO CITY OF ROCKLIN UNIVERSAL APPLICATION DOCUMENTS

A. Documents to be completed and returned with all applications

- I. Application Submittal Requirements / Check-In Sheet
- II. Universal Application Form
- III. Agent Authorization Form
- IV. Mineral Rights Owner Notification
- V. Department of Fish and Game Filing Fee Notice
- VI. Hazardous Waste & Substances Statement
- VII. Mitigation for Air Quality Impacts
- VIII. Environmental Information Form
- IX. Formatting Requirements and Minimum Information to be Included on Exhibits

B. Reference Information

- XI. City of Rocklin Community Development Reference Directory
- XII. Memorandum from City Engineer regarding maps and lot line adjustments
- XIII. Post-Construction Low Impact Development (LID) Information Sheet
- XIV. Fire Civil Plan Review Information Sheet

APPLICATION SUBMITTAL REQUIREMENTS / CHECK-IN SHEET

To be Returned with the Application Package

To be Completed by Staff Planner (Completed by: BVF)

Project Name: Grove Street Apartments Date: 05-06-2024

Required*	FORMS & DOCUMENTS:	Received
X	Completed Application Form (p. 3-5)	MC
X	Completed Agent Authorization Form (one per authorized agent) (p. 6)	MC N/A
X	Completed Notification of Owners of Mineral Rights (p. 7)	MC
X	Completed Notice of Department of Fish and Game Filing Fees (p. 8)	MC
X	Completed Hazardous Waste and Substances Statement (p. 9)	MC
X	Completed Mitigation for Air Quality Impacts Statement (p. 10-11)	MC
X	Completed Environmental Information Sheet (p. 12-16)	MC
X	Completed Formatting and Minimum Requirements checklist (p. 17-23)	MC
X	One Preliminary Title Report for all subject properties (current within six months)	MC
--	Soil Report	
	STANDARD EXHIBIT SETS:	
X	One CD or USB Flash Drive of All Project Exhibits and submission materials	MC
X	Two Sets 11" x 17" Reductions of All Project Exhibits for the initial submittal	MC
X	** All plan sets to be collated, stapled into single sets, and folded to 8-1/2" x 11"	MC
X	<i>Exhibit Sets to include the following sheets as applicable:</i>	MC
X	Site Plan	MC
X	Preliminary Grading and Drainage	MC
X	Preliminary Landscape Plan (include symbols, quantities, botanical names, container sizes, and average height based on American Standards for Nursery Stock)	MC
X	Elevations of All Four Sides of All Buildings	MC
X	Architectural and Site Details (trash enclosures, bike racks, special building treatments)	MC
X	Building Sections and Roof Plans	MC
X	Rough Floor Plans	MC
X	Elevations of Sign Design	MC
X	A Stormwater Control Plan and draft Operation and Maintenance Plan consistent with the requirements of the City of Rocklin Post Construction LID Manual (www.rocklin.ca.us/LID)	MC
--	Tentative Map (separate set from design review/use permit, if applicable)	
	SPECIAL EXHIBITS:	
X	Color and Material Boards for Buildings and Signs (maximum size: 8½" x14")	MC
X	Colored Building Elevations	MC
X	Colored Sign Elevations	MC

X	Colored Landscaping Plan	MC
X	Color Renderings (11" x 17" Reductions)	MC
X	OR Photo-simulations (11" x 17" Reductions)	MC
	ADDITIONAL INFORMATION (as may be required; may include, but is not limited to, the following):	
X	Tree Survey/Arborist Report	MC
--	Wetland/Riparian Delineation/ Biological Recourse Assessment	
--	Archeological/Cultural Survey	
X	Traffic Study	Not provided
--	Phase 1 Site Assessment	
--	Photometric Study	
X	Noise Study	MC
X	Air Quality / Green House Gas	MC

* Unless waived by a Staff Planner

Additional Submittal Information

- Note 1:** All use permits and design review applications shall include a site plan, building exterior elevations, preliminary landscape plans, rough floor plans, preliminary grading plans, a color and materials board, and colored elevations and landscaping plans.
- Note 2:** The applicant shall be responsible for contacting the Army Corps of Engineers, to determine whether a wetland delineation is needed, and the Fish and Game Department, regarding floodplains and riparian areas, prior to application submittal.
- Note 3:** Any dedication resulting in transfer of ownership from a private party to the City will require a Phase One Hazardous Materials Study in accordance with current ASTM standards and shall be transferred with free and clear title.
- Note 4:** The City requests that the property owner or property manager notify tenants of the proposed project and the date, time, and location of the public hearing.
- Note 5:** Applicants are strongly encouraged to conduct neighborhood and/or property owners' association meetings prior to the City scheduling the project for public hearing.



City of Rocklin

Planning Division
3970 Rocklin Road
Rocklin, California 95677
Phone (916) 625-5160 FAX (916) 625-5195

UNIVERSAL APPLICATION FORM

NAME OF PROJECT: South Grove Street Apartments

LOCATION: 5345 South Grove Street Rocklin, CA 95677

ASSESSOR'S PARCEL NUMBERS: 010-270-008-000

DATE OF APPLICATION (STAFF): 7/3/24 RECEIVED BY (STAFF INITIALS): MC

FILE NUMBERS (STAFF): DR2024-000Z, ENV2024-0008 FEES: \$10,672.00

RECEIPT NO.: R5905A

Pre-Application Meeting Requirements:

It is required that a pre-application meeting be held with a Staff Planner prior to submitting most applications for planning entitlements and permits. The purpose of the pre-application meeting is to expedite application processing by enabling staff to work with the applicant to assure that the officially submitted application materials are in the proper format and that the applicant understands the City of Rocklin's goals, policies, and ordinances that may affect the project. A copy of these and other planning provisions is available at the applicant's request.

Generally, two sets of preliminary plans and a written description of the proposed project should be brought with the applicant to the pre-application meeting. To schedule this meeting, please contact a Staff Planner at the Rocklin Community Development Department by calling (916) 625-5160.

DATE OF PRE-APPLICATION MEETING: 05.06.2024

THIS APPLICATION IS FOR THE FOLLOWING ENTITLEMENTS: (CHECK APPROPRIATE SQUARES)

<input type="checkbox"/> General Plan Amendment (GPA) Fee:	<input type="checkbox"/> Tentative Subdivision Map (SD) Fee:	<input type="checkbox"/> Use Permit (U) <input type="checkbox"/> Minor (PC Approval – New Bldg) Fee: <input type="checkbox"/> Minor (PC Approval – Existing Bldg) Fee: <input type="checkbox"/> Major (CC Approval) Fee:
<input type="checkbox"/> BARRO Zone Application (BZ) Fee:	<input type="checkbox"/> Tentative Parcel Map (DL) Fee:	<input type="checkbox"/> Variance (V) Fee:
<input type="checkbox"/> Rezone (Reclassification) (Z) Fee:	<input type="checkbox"/> Design Review (DR) <input type="checkbox"/> Commercial Fee: <input checked="" type="checkbox"/> Residential Fee: \$10,201.00 <input type="checkbox"/> Signs Fee:	<input type="checkbox"/> Oak Tree Preservation Plan Permit <input type="checkbox"/> Planning Commission Fee: <input type="checkbox"/> City Council Fee:
<input type="checkbox"/> General Development Plan (PDG) Fee:		
<input type="checkbox"/> Concurrent Application (2 or more entitlements) Fee:		<input type="checkbox"/> Modification to Approved Projects Fee: File Number: _____
Environmental Requirements: (STAFF)	<input checked="" type="checkbox"/> Exempt - \$471.00 <input type="checkbox"/> Negative Declaration –	<input type="checkbox"/> Mitigated Negative Declaration – <input type="checkbox"/> EIR – See Fee Schedule

15162 Determination -

UNIVERSAL APPLICATION FORM (CONT.)

GENERAL PLAN DESIGNATION:	PROPERTY DATA:	UTILITIES:	
Existing: <u>Mixed Use</u>	Acres: <u>2.764</u>	EXISTING	PROPOSED
Proposed: <u>Mixed Use</u>	Square Feet: <u>120,340</u>	<input checked="" type="checkbox"/> Pub. Sewer	<input checked="" type="checkbox"/> Pub. Sewer
ZONING:	Dimensions: <u>406 x 414</u>	<input type="checkbox"/> Septic Sewer	<input type="checkbox"/> Septic Sewer
Existing: <u>R-3</u>	No. of Units: <u>78</u>	<input checked="" type="checkbox"/> Pub. Water	<input checked="" type="checkbox"/> Pub. Water
Proposed: <u>R-3</u>	Building Size: <u>86,730</u>	<input type="checkbox"/> Well Water	<input type="checkbox"/> Well Water
	Proposed Parking: <u>156</u>	<input checked="" type="checkbox"/> Electricity	<input checked="" type="checkbox"/> Electricity
	Required Parking: <u>156</u>	<input type="checkbox"/> Gas	<input type="checkbox"/> Gas
	Access: <u>26ft</u>	<input checked="" type="checkbox"/> Cable	<input checked="" type="checkbox"/> Cable

PROJECT REQUEST:

(Example: Request for approval of design review to construct a 10,000 square foot office building on 1.5 acres)

NOTE: Annexations, Lot Line Adjustments, and Rocklin Ranch Industrial Park Specific Plan Use Permits require special application forms and additional submittal information available from the Planning Division.

UNIVERSAL APPLICATION FORM (CONT.)

PLEASE PRINT OR TYPE:

NAME OF PROPERTY OWNER: Akashdeep Grewal

ADDRESS: 641 Barcelona Court

CITY: Roseville STATE: CA ZIP: 95747

PHONE NUMBER: 916-524-4420

EMAIL ADDRESS: koshgrewal@gmail.com

FAX NUMBER: _____

SIGNATURE OF OWNER 
(Signature Authorizing Application; provide owner's signature letter if signature is other than property owner.)

NAME OF APPLICANT
(If different than owner): _____

CONTACT: _____

ADDRESS _____

CITY: _____ STATE: _____ ZIP: _____

PHONE NUMBER: _____

EMAIL ADDRESS: _____

FAX NUMBER: _____

SIGNATURE OF APPLICANT _____

AGENT AUTHORIZATION FORM

Property owners desiring to authorize individuals to represent them in conjunction with any application or matter before the City shall provide written authorization using this form. A separate form shall be used for each individual or firm authorized, and shall specifically note any restrictions upon the authorized person.

Project Name: _____

Location: _____

Assessors Parcel Number(s): _____

Entitlements for which authorization is applicable (use permit, variance, tentative map, etc.):

Name of person and / or firm authorized to represent property owner (Please print):

Address: _____

City: _____ State: _____ Zip: _____

Phone Number: _____ Fax Number: _____

Email Address: _____

The above named person or firm is authorized as:

Agent (☐) Buyer (☐) Lessee (☐)

The above named person or firm is authorized to (check all that are applicable):

(☐) File any and all papers in conjunction with the aforementioned request, including signing the application

(☐) Speak on behalf of and represent the owner at any Staff meeting and/or public hearing.

(☐) Sign any and all papers in my stead, with the exception of the application form.

The duration and validity of this authorization shall be:

(☐) Unrestricted (☐) Valid until:

Owners Authorization Signature & Date:

Signature: _____ Date: _____

Owners Name (Please Print): _____

Owners Address: _____

City: _____ State: _____ Zip: _____

Phone Number: _____

Email Address: _____

**NOTIFICATION OF
OWNERS OF MINERAL RIGHTS**

Government Code section 6509a(a)(2) states that if the Subdivision Map Act requires notice to be given pursuant to Section 65091, in addition to noticing the surrounding property owners, notice must also be given to anyone who has filed with the County recorder's office a "notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code" on the subject property.

Therefore, mailing labels must be provided with this application for any owner of a mineral right pertaining to the subject real property who has recorded a notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code (Subdivision Map Act Section 65091(a)(2)).

See page 24 of this application for instructions on how to submit mailing labels.

Section 65091(a)(2)

"(2) When the Subdivision Map Act (Div. d 9commencing with Section 66410)) requires notice of a public hearing to be given pursuant to this section, notice shall also be given to any owner of a mineral right pertaining to the subject property who has recorded a notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code."

There are _____ / are not ☒ (check one) owner(s) of record of preserved mineral rights on the subject property and I, Akashdeep Grewal _____, the applicant or applicant's representative, have _____ / have not ☒ (check one) provided the name and mailing address of record for any and all owners of mineral rights pursuant to Section 883.230 of the Civil Code.

Signature

Date

**STATE OF CALIFORNIA
DEPARTMENT OF FISH AND GAME
FILING FEES**

In 1990, the State adopted a fee pursuant to AB 3158 for the review of environmental documentation by the State Department of Fish and Game. Subsequently, in 1991, the fees were challenged. Then, in June 1995, the Department of Fish and Game instructed the jurisdictions to stop collecting fees. Following a great deal of court action and in a memorandum dated February 26, 1996, the State Clearinghouse, Office of Planning and Research, stated that the fees must again be collected.

On September 29, 2006, Senate Bill 1535 was passed increasing the amounts of filing fees collected by the Department, and requires the Department to adjust the fees annually pursuant to Fish and Game Code Section 713.

As of January 1, 2020, State law requires all applicants who have a Notice of Determination filed for a Negative Declaration to pay a \$2,406.75 fee and those with a Notice of Determination for an Environmental Impact Report to pay a \$3,343.25 fee. Both types must pay an additional \$50.00 administrative fee making the total fees \$2,456.75 and \$3,393.25 respectively. Applicants whose projects require the filing of a Notice of Exemption will need to pay a \$50.00 administrative fee. The City will notify each applicant which of the fees must be paid.

PLEASE NOTE: Effective January 1, 2008, the fee exemption for projects determined to have a ***De Minimis Impact Finding*** has been eliminated. (Section 711.4 Fish and Game Code).

The Fish and Game filing fee must be paid prior to the filing of the Notice of Determination with the County Clerk. Since the CEQA law requires a Notice of Determination to be filed with the County within 5 days of an action by the City, all applicants must remit to the City the necessary fee amount *no later than* the day of the final scheduled public hearing for the proposed project.

PLEASE MAKE ALL CHECKS PAYABLE TO PLACER COUNTY.

If you have any questions regarding this matter, please do not hesitate to contact the Planning Department at (916) 625-5160. Upon review of the above, please sign and return this document with your application.

I, Akashdeep Grewal, the applicant or applicant's representative, have read the information above and understand its meaning.



Signature

06/27/2024

Date

HAZARDOUS WASTE AND SUBSTANCES STATEMENT

Pursuant to California Government Code Section 56962.5, I have consulted the Hazardous Waste and Substances Sites List (Cortese List), consolidated by the State of California, Environmental Protection Agency and find that;

The project, including any alternatives, _____ is, ☒ is not (check which applies) located on a site which is included on the Hazardous Waste and Substances Sites List (Cortese List). If on the list, provide the following information:

Regulatory identification number: _____ Date of list: _____

Type of problem: _____

I declare under penalty of perjury of the laws of the State of California that the foregoing is true and correct.

Dated: 06/27/2024

Applicant: 

Applicants can verify this information by reviewing the Hazardous Waste and Substances Sites List (Cortese List), available for review at the City of Rocklin Planning Department counter, or at the California Department of Toxic Substance Control web site: <http://www.calepa.ca.gov/SiteCleanup/CorteseList/default.htm>

MITIGATION FOR AIR QUALITY IMPACTS

The US Environmental Protection Agency (EPA) and the California Air Resources Board (CARB) have established air quality standards, referred to as the National Ambient Air Quality Standards (NAAQS) and the State Ambient Air Quality Standards (SAAQS) respectively. The federal Clean Air Act and State Clean Air Act both require that areas in violation of the ambient air quality standards adopt strategies to attain these standards. The Placer County Air Pollution Control District (APCD) has primary responsibility for planning and maintenance and/or attainment of air quality standards within Placer County. California is divided into 15 air basins for the purpose of monitoring air quality. Placer County is included in the Sacramento Valley Air Basin. Areas may be classified as attainment, non-attainment, or unclassified with regard to the adopted standards. The unclassified designation is assigned in cases where monitoring data is insufficient to make a definitive determination. Under the federal standards, all of Placer County, including Rocklin, is designated as non-attainment for ozone. All other pollutants are designated unclassified in Rocklin. Under the state standards, South Placer, including Rocklin, is designated as non attainment for ozone and PM10 and unclassified for hydrogen sulfide and visibility reducing particulate.

The project would have the following short-term construction impacts, if not mitigated:

- a. Construction activities, including grading, would generate a variety of pollutants, the most significant of which would be dust (PM10). This would exacerbate the existing PM10 non attainment condition if not mitigated.
- b. Construction equipment would produce short-term combustion emissions, and asphalt materials used for streets and driveways would produce pollutants during curing.

The mitigation measures listed below will reduce the short term impacts to less-than-significant. In the long-term, vehicle trips to and from the project site would generate Carbon Monoxide and ozone precursor emissions, thereby contributing to the non-attainment status of the local air basin. These incremental and cumulative adverse air quality impacts cannot be completely mitigated. However, these impacts were anticipated by the City of Rocklin General Plan, and were addressed through the 1991 Rocklin General Plan EIR and the North Rocklin Circulation and Traffic Study. Findings of overriding significance were adopted for the unmitigatable and unavoidable significant air quality impacts.

Therefore, I, as the applicant for the proposed project, agree that the mitigation measures listed below are incorporated as a part of my project description in order to mitigate for the short term impacts.

MITIGATION FOR AIR QUALITY IMPACTS (CONT.)

MITIGATIONS

1. The project shall conform with the requirements of the Placer County APCD.
2. Prior to commencement of grading, the applicant shall submit a dust control plan for approval by the City Engineer and the Placer County Air Pollution Control District. The plans shall specify measures to reduce dust pollution during all phases of construction.
3. Traffic speeds on all unpaved road surfaces shall be posted at 25 m.p.h. or less.
4. All grading operations shall be suspended when wind speeds exceed 25 m.p.h.
5. All trucks leaving the site shall be washed off to eliminate dust and debris.
6. All construction equipment shall be maintained in clean condition.
7. All exposed surfaces shall be revegetated as quickly as feasible.
8. If fill dirt is brought to the construction site, tarps or soil stabilizers shall be placed on the dirt piles to minimize dust problems.
9. Apply water or dust palliatives on all exposed earth surfaces as necessary to control dust. Construction contracts shall include dust control treatment as frequently as necessary to minimize dust.
10. Construction equipment shall be properly maintained and tuned.
11. Utilize low emission mobile construction equipment where possible.
12. Open burning of vegetative material is prohibited.

Akashdeep Grewal

Applicant's Name (printed)



Applicant's Signature

06/27/2024

Date



City of Rocklin

Planning Division
3970 Rocklin Road
Rocklin, California 95677
Phone (916) 625-5160 FAX (916) 625-5195

ENVIRONMENTAL INFORMATION SHEET (To be completed by applicant)

LOCATION OF PROJECT (ADDRESS) 5345 South Grove Street

CITY: Rocklin STATE: CA ZIP: 95677

ASSESSORS PARCEL #: 010-270-008-000

NAME OF PROJECT: South Grove Street Apartments

CONTACT/APPLICANT NAME: Akashdeep Grewal

ADDRESS: 641 Barcelona Court

CITY: Roseville STATE: CA ZIP: 95747

PHONE: 916-524-4420 EMAIL: koshgrewal@gmail.com

Project Description - Describe in detail. Add separate sheet if necessary.

The proposed project would include a development of a three-story, 84,930-square foot horseshoe-shaped apartment building with 78 residential units, as well as a 1,800-sf clubhouse building. The units would consist of 3 studios, 37 one-bedroom units, and 38 two-bedroom units. The development would include a central outdoor patio and pool, as well as a dog play area.

Property size:	<u>120,340 SF</u>	<u>2.764</u>
	Square Feet	Acres
Land Use:	<u>Single Family Home</u>	<u>Multi-Family Residential</u>
	Existing	Proposed

RELATED PROJECTS: If this project is a part or portion of a larger project, describe the previous project by name, general development plan number, or other project identification:

N/A

PREVIOUS ENVIRONMENTAL DOCUMENTS: If this project is part of a larger project for which a negative declaration or an environmental impact report has been prepared and certified, reference the document below. Include the date and SCH#, if possible:

N/A

OTHER REQUIRED PERMITS OR APPROVALS:

<u>Permit or Approval Agency</u>	<u>Address</u>	<u>Contact Person/Phone</u>
----------------------------------	----------------	-----------------------------

<u></u>	<u></u>	<u></u>
<u></u>	<u></u>	<u></u>

PREVIOUS LAND USES: Describe existing and previous land uses of the site for the last 10 years or more:

Single Family Residence

SITE CHARACTERISTICS

1. What natural features (trees, rock outcroppings etc.) presently exist on the site?

There are existing trees on the site.

2. What are the surrounding land uses?

East Single Family Homes West Single Family Homes North Commercial South Multi-Family Apts

3. Is the project proposed on land which contains fill or a slope of 10% or more? No
4. Are there any existing erosion problems? No
5. Is the site on expansive soils (as defined in Table 18 of the UBC) or immediately adjoining an area subject to slides, liquefaction, slope instability or other related hazards? No
If so, describe in detail, or refer to attached soils report.

6. Grading, excavating or filling activities - Quantity of cubic yards to be:

- a. Moved within the site: TBD - Goal will be to have a balanced site
- b. Deposited on the site: TBD - Goal will be to have a balanced site
- c. Removed from the site: TBD - Goal will be to have a balanced site
- d. Disposal site: _____

7. Are there any streams or permanent water courses on the site? No
Describe: _____

8. Will the proposed project change drainage patterns or the quality of groundwater? No
If so explain. If not, why not: _____

9. Will the project affect any drainage channel, creek, pond or any other water body? No
Describe below: _____

10. Is any portion of the property located in a flood plain? No
If so describe: _____

11. Are there any jurisdictional wetlands or vernal pools on the site? No
If so how will they be impacted by the project? _____
12. Are there any trees or shrubs on the project site? Yes
What types? See arborist report provided for information
Are any to be removed or transplanted? Yes - all to be removed
State the location of transplant site: _____
State the number & species to be removed: 42 trees are proposed to be removed. See arborist report for species information
13. Will the project affect the habitat of any endangered, threatened, or other special status species?
No
14. Will the project result in any new noise source, or will it place new residents in an area of high traffic noise or noise from any other source?
There will be additional noise from the number of people who will now live here but nothing that is of high amounts.
15. What type of equipment will be associated with the project during construction?
TBD - the contractor will need to provide this information
- During permanent operation?
No
16. Describe any air pollutants, other than vehicle exhaust, which would be generated by this project, both during and after construction. Dust particulates are considered pollutants.
No
17. Will the project produce new sources of dust, ash, smoke, fumes or objectionable odor? No
If yes, describe the source of the emission, methods to control emissions and means of mitigating those effects on adjacent properties: _____
18. Will the project create any new light source, other than street lighting? No
If yes, describe below: _____
19. Is this property covered by a Williamson Act contract? No
20. Has this property ever been used for agricultural purposes? No
If so, for what purpose and when? _____
21. Does the project involve the use of routine transport or disposal of hazardous materials? No
22. Are there any known mineral resources of value to the region and the residents of the state located on the site?
If so, what types? No
23. How close is the nearest school? 0.5 miles

24. PROPOSED BUILDING CHARACTERISTICS (BOTH RESIDENTIAL AND NON-RESIDENTIAL)

Size of new structure(s) or addition in gross square feet: 86,730
 Building height measured from ground to highest point in feet: 42'-2"
 Number of floors/stories: 3
 Height of other appurtenances (antennas, steeples, mechanical equipment, etc.) measured from ground:
N/A

Project site coverage: Building 30,640 sq.ft. 25 %
 Landscaping 27,869 sq.ft. 23.35 %
 Paving 60,832 sq.ft. 51.65 %
 Exterior building materials: Cement Plaster, Stone Veneer and Board and Batten Siding
 Exterior building colors: Off white, Grey, Brown and Burnt Red
 Wall and/or fencing material: Metal Picket Fence and Stone Columns
 Total number of off-street parking spaces required: 156 Provided: 156
 Total number of bicycle parking spaces: 10

25. Is there any exposed mechanical equipment associated with the project? No
 Location and screening method:

26. RESIDENTIAL PROJECTS

Total lots 1 Total dwelling units 78
 Density/acre 0.67 Total acreage 2.764

	Single Family	Two Family	Multi-Family (More than 2 units)
Number of Units			
Size of lot/unit			
Studio			3
1 Bedroom			37
2 Bedroom			38
3 Bedroom			
4+ Bedroom			

27. RETAIL, COMMERCIAL, INDUSTRIAL, INSTITUTIONAL OR OTHER PROJECT

Type of use(s): _____
 Oriented to: Regional _____ City _____ Neighborhood _____
 Hours of operation: _____
 Total occupancy/Building capacity: _____
 Gross floor area: _____ Number of fixed seats: _____
 Number of employees (total): _____ Employees per shift: _____ Number of Shifts: _____
 Number of visitors/customers on site at busiest time (best estimate): _____
 Other occupants (specify): _____

ALL PROJECTS

28. Approximately how many tons of solid waste will the project produce each year? TBD
29. Will the proposed use involve any toxic or hazardous material? No
Is the project site within 2,000 feet of an identified hazardous/toxic site? No
Is the project site within 2,000 feet of a school or hospital? Yes
If the project involves any hazardous material, explain: _____
30. How many new residents is the project estimated to generate? 120
31. Will the project generate a demand for additional housing? No
32. What is the current and estimated number of motor vehicles to arrive at the site as a result of the project?
Current: 2 Estimated: 156
33. Could the project increase traffic hazards to motor vehicles, bicyclists or pedestrians? No
If yes, explain: _____
34. How close is the project to the nearest public park or recreation area? Quarry Park 0.5 miles away
35. What school districts will be affected by this project? Rocklin Unified School District
36. Describe energy-efficient features included in the project
The project will meet all the Title 24 requirements
37. Describe how the following services or utilities will be provided:
Power and Natural Gas: Pacific Gas and Electric Company
Telephone: AT&T
Water: Placer County Water Agency
Sewer: South Placer Municipal Utility District
Storm Drainage: _____
Solid Waste: Recology Auburn Placer Disposal Service
38. Will the project block any vista or view currently enjoyed by the public? No
39. Are there any known historic or significant building features on or near the site? No
If so, will the project result in any impact to the building? _____
40. Are there any archaeological features on the site? No
If so, will the project result in any impact to these features? _____

FORMATTING AND MINIMUM INFORMATION REQUIREMENTS
TO BE COMPLETED BY APPLICANT

INSTRUCTIONS: The following are the formatting and minimum information requirements for the applicable exhibits and documents submitted as a part of all applications. Please check off the line indicating the information has been included and / or formatting requirements met and **submit this checklist with your application**. Mark the line *N/A* if the item is not applicable.

EXHIBIT SETS (Copies of all project drawings stapled together as follows, except tentative maps)

- ☒ 1. All project maps and drawings collated together
- ☒ 2. Sets stapled together along the left margin
- ☒ 3. Each set folded to 8-1/2" x 11" (If there are too many sheets to staple and fold to 8 1/2" x 11" in a single set the plan sets may be broken into two to three subsets, each subset to be stapled, folded to 8 1/2" x 11", and labeled as "1 of __", "2 of __", etc. as appropriate, and the subsets rubber banded together into units.)
- ☒ 4. Full sized and 11" x 17" reduced sets collated in the same order and including the same sheets
- ☒ 5. All sheets in the 11" x 17" reduced sets clearly legible
- ☒ 6. For the initial submittal and re-submittals, provide 2 sets of full size and 2 sets of 11" x 17" reduced size drawings (Additional copies to be provided when requested by the City for referral and final, pre-hearing submittals.)

COLORED EXHIBITS (Full size drawings, colored)

- ☒ 1. Exhibits rolled not mounted
- ☒ 2. Colors as close as possible to the true colors proposed to be used

MATERIALS SAMPLE BOARD (Accurate samples of colors and materials for ALL finishes proposed)

- ☒ 1. Maximum size not to exceed 8-1/2" x 14" (May be a series labeled with the project name and numbered "1 of __", "2 of __", etc.)
- ☒ 2. Actual chips, samples, and swatches (preferred) or colors shown as close as possible to the true colors proposed to be used
- ☒ 3. Manufacturer name and product name and identification number called out

SITE PLAN (A plot plan drawn to scale showing the following)

- ☒ 1. Proposed and existing structures (including those to be relocated or removed)
- ☒ 2. Square footage of structures and area of all parcels or pads
- ☒ 3. Dimensions (i.e. property lines, driveways, structures)
- ☒ 4. Natural features (Trees to stay and be removed, rock outcroppings, quarries, etc.)
- ☒ 5. All property lines, including those on-site, those immediately off-site and those across any street.
- ☒ 6. Circulation
- ☒ 7. All existing and proposed public right-of-way improvements
- ☒ 8. North arrow

- ☒ 9. Vicinity map
- ☒ 10. Reciprocal driveways, if appropriate
- ☒ 11. Trash enclosures. (Auburn Placer Disposal to approve location and size.)
- ☒ 12. Landscaped areas
- ☒ 13. Prominent features including structures and natural features of surrounding properties
- ☒ 14. All existing and proposed easements (i.e. open space, floodplain, scenic, proposed abandonments, etc., including name of person or group to own and maintain area)
- ☒ 15. Location, size, and height of pole lights, signs, street lights, flag poles
- ☒ 16. Scale (Scale shall be shown in printed text and with a bar scale).
- ☒ 17. Project notes including:
 - Owner;
 - Developer;
 - Engineer/Architect;
 - Service Providers;
 - General Plan and Zoning;
 - Assessors Parcel Number(s);
 - Land Area;
 - Building Area;
 - Parking including calculations for parking requirements (The general parking lot design shall be consistent with City of Rocklin Improvement Standards, including size, dimensions, driveway widths, and required landscaping)

DISABLED ACCESS REQUIREMENTS FOR SITE PLANS

- ☒ 1. Accessible route of travel requirements (per Title 24):
 - At least one accessible route within the boundary of the site shall be provided from public transportation stops, public streets, or sidewalks
 - The accessible route of travel shall be the most practical direct route between the accessible entrance to the site and accessible building entrance and accessible site facilities
 - The accessible route of travel shall be provided to all entrances and exterior ground floor exits along normal paths of travel, as well as to the trash enclosure(s)
 - When more than one building or facility is located on a site, the accessible route of travel shall be provided between buildings and accessible facilities
 - The accessible route of travel shall be at least 48 inches wide and have a cross slope no greater than 1/4 inch per foot (1 inch vertical per 50 inches horizontal)
 - The accessible route of travel shall be provided in such a way that persons with disabilities are not compelled to wheel or walk behind parked cars other than their own
 - Clearly delineate all accessible routes and accessible parking areas and include sufficient grade call outs to assure compliance with required slopes
- ☒ 2. Accessible parking area requirements:
 - Accommodate required number of handicap spaces
 - One-quarter inch per foot slope in any direction, maximum
 - Reasonable distance to entrance
 - Equally dispersed throughout project for multiple buildings

Questions or clarification of the Disabled Access requirements should be addressed by the Building Department. Sites that require variation from the guidelines will be handled on a case by case basis.

PHASING PLAN

- ☐ 1. A complete phasing plan including improvements to be completed at each phase.
- ☐ 2. Interim dead-end streets more than 150' in length require a temporary turn-around.

PRELIMINARY GRADING AND DRAINAGE PLANS

- ☒ 1. Natural features, soils and geology studies as required by the City Engineer
- ☒ 2. Natural and finished contours and spot elevations where appropriate
- ☒ 3. Wetland and riparian delineation
- ☒ 4. Existing or proposed drainage facilities including detention basins
- ☒ 5. Standard utilities (i.e. storm drains, sewer, and water)
- ☐ 6. Amount of cut and fill in cubic yards
- ☐ 7. Identified archeological sites including mortar beds
- ☐ 8. Typical street gradients in percentages
- ☐ 9. Existing and proposed public right-of-way improvements
- ☐ 10. Spot elevations immediately off-site
- ☐ 11. 100 year flood plains
- ☐ 12. Proposed retaining walls
- ☐ 13. North arrow
- ☐ 14. Scale (Scale shall be shown in printed text and with a bar scale)

PRELIMINARY LANDSCAPING PLAN

- ☐ 1. Planting schedule that includes quantities, botanical and common names of all plants used, symbols for all plants, minimum container size (specify 15 gallon size for trees and 5 gallon for shrubs), and the average height range for trees in the specified container size (based on the American Standards for Nursery Stock).
- ☐ 2. Detailed planting plans are required for entrances to multifamily residential, commercial, and industrial projects
- ☐ 3. Indicate use of granite in landscaping/freestanding signage, plants will not block signs
- ☐ 4. Parking lot shading provided at 1 tree located every 5 spaces
- ☐ 5. Provide calculations demonstrating that at least 20% of a non-residential site is in landscaping
- ☐ 6. Berming or masonry screening walls three feet high along rights-of-way where adjacent to proposed parking or driveway aisles. Provide line of sight cross sections from streets and parking areas including medians and entrances to assure traffic safety
- ☐ 7. Year round color and screening
- ☐ 8. Utility features such as manholes, pipes, and ditches are to be kept out of the landscape planter areas to the extent possible. In instances where such features are proposed in the landscape areas, they should be located in a way that minimizes impacts to anticipated tree locations or the establishment of trees, shrubs, and ground cover.
- ☐ 9. Drought resistant plantings, use of appropriate plant materials, meets requirements of the Water Conservation in Landscaping Act
- ☐ 10. Fencing, materials and location
- ☐ 11. Indicate preserved oak trees and tree preservation techniques implemented
- ☐ 12. Scale (Scale shall be shown in printed text and with a bar scale)

BUILDING ELEVATIONS

- ☒ 1. All four elevations of each proposed building labeled to include directional and other information to clarify orientation (i.e. North/Granite Drive Elevation). Designs should depict compatibility with neighboring structures and terrain
- ☒ 2. Building height
- ☒ 3. At least one elevation calling out colors and materials
- ☒ 4. Location of mechanical equipment and screening (Cross sections and roof plan)
- ☒ 5. Lighting specifications (manufacture name, fixture type and identification information, and proposed wattage). Submittal of cut sheets is encouraged
- ☒ 6. Scale (Scale shall be shown in printed text and with a bar scale)
- ☒ 7. For multi-building projects, provide a key plan on each sheet

FLOOR PLAN

- ☒ 1. Dimensions
- ☒ 2. Square footage
- ☒ 3. Intended uses
- ☒ 4. Scale (Scale shall be shown in printed text and with a bar scale)

OAK TREE PRESERVATION PLAN

- ☒ 1. All existing oak trees located on site (Tree Survey)
- ☒ 2. All trees labeled with corresponding number from arborist report
- ☒ 3. Schedule of trees by number, type, size, condition, and removal information
- ☒ 4. All trees to be removed should have an X through the center
- ☒ 5. Spot elevation of tree at base
- ☒ 6. Scale (Scale shall be shown in printed text and with a bar scale)

SIGN ELEVATION

- ☒ 1. Elevations of all signs (Freestanding and building-mounted)
- ☒ 2. Location(s) of wall sign(s) on building(s)
- ☒ 3. Sign height dimensioned
- ☒ 4. Sign length dimensioned
- ☒ 5. Call out all materials and colors
- ☒ 6. Location of all freestanding signs on site plan
- ☒ 7. Type of illumination specified
- ☒ 8. Scale (scale shall be shown in printed text with a bar scale)

TENTATIVE PARCEL MAP

- _____ 1. The scale of the tentative parcel map should be 1" = 50 feet unless otherwise permitted by the City Engineer
- _____ 2. All dimensions shown in feet and hundredths of a foot
- _____ 3. If more than three sheets are necessary to show the entire subdivision, an index map shall be included on one of the sheets
- _____ 4. Scale (Scale shall be shown on each sheet in both printed text and with a bar scale)
- _____ 5. North arrow on each sheet
- _____ 6. Title sheet shall be provided except where the size of the subdivision permits the information required to be included on the same sheet as the map of the subdivision.
- _____ 7. All existing property lines with dimensions
- _____ 8. All proposed property lines with dimensions
- _____ 9. Parcel area (Square footage and/or acreage) for each proposed parcel
- _____ 10. The adjacent public rights-of-way, with dimension(s) of the right of way
- _____ 11. All existing structures
- _____ 12. All oak trees and granite outcroppings
- _____ 13. Riparian boundary (as identified by a qualified biologist)
- _____ 14. 100 year floodplain boundaries
- _____ 15. All existing and proposed easements
- _____ 16. Archeological features
- _____ 17. Surrounding land uses, particularly locations of structures and driveways

TENTATIVE SUBDIVISION MAP

- _____ 1. Project notes including:
 - Proposed subdivision name;
 - Service Providers;
 - General Plan and Zoning;
 - Assessors Parcel Number;
 - Land Area;
 - North Arrow;
 - Existing Land Use;
 - Proposed Land Use
- _____ 2. Names, addresses and telephone numbers of record owners and subdivider of the land.
- _____ 3. Name, address, and phone number of the persons, firm, or organization that prepared the map and the applicable registration or license number.
- _____ 4. A vicinity or key map of appropriate scale covering sufficient adjoining territory so as to clearly indicate the nearest street intersections, major access streets, property lines of other adjacent properties in the ownership of the subdivider, and other significant features which will have a bearing on the proposed subdivision and its location in relationship to surrounding areas.
- _____ 5. The scale of the map shall be at least one inch equals one hundred feet. The scale shall be shown as both printed text and with a bar scale on each page.
- _____ 6. No single sheet shall exceed 72 inches in length and 54 inches in width. The minimum sheet shall be 18 inches in width and 26 inches in width.
- _____ 7. Boundaries of the subdivision with sufficient information to locate the property

- ___ 8. The boundaries and dimensions of all lots, with all lots consecutively numbered.
- ___ 9. The minimum, maximum, and average lots sizes shall be stated.
- ___ 10. Name of all adjacent subdivisions, if any, and property lines sufficient to show their relationship to the proposed subdivision
- ___ 11. Contour lines at intervals of not more than 2 feet, unless waived by the City Engineer. Topographic information shall be sufficient to fully show the configuration of the land and any and all depressions that may present drainage problems, and shall extend beyond the tract boundaries where necessary to show drainage conditions on surrounding property which may affect the subdivision.
- ___ 12. Lots exceeding a 25% slope shall be so noted.
- ___ 13. The location of all railroad rights of way and grade crossings
- ___ 14. Approximate location of all existing wells, abandoned wells and sumps, including septic systems or other underground systems
- ___ 15. The location of any active or abandoned quarries
- ___ 16. An indication of any physical restriction or condition in the subdivision which affects the use of the property
- ___ 17. All structures, including fences and signs, within the subdivision, dimensioned and distanced to the other structures and to existing and proposed street and lot lines, present and future use of all structures to be noted
- ___ 18. The locations, widths, and purposes of all existing and proposed easements for utilities, drainage, and other public purposes, whether private or public, shown by dashed lines, within and adjacent to the subdivision, including proposed building setback lines
- ___ 19. The location of all potentially dangerous areas, including geologically hazardous areas, and areas subject to inundation or flood hazard adjacent to the property involved and the proposed method of providing storm water drainage and erosion control.
- ___ 20. The location of all ponds, reservoirs, streams and tributaries and their respective floodplains
- ___ 21. The location and general description of any trees with a diameter of 6 inches or greater with notations as to their retention or destruction. Where groves of trees exist, the perimeter of the canopy shall be shown symbolically on the map.
- ___ 22. The location of any significant natural features and/or possible historical or archeological site or remains, including but not limited to, natural springs, caves, Indian grinding rocks, petroglyphs, burial sites, historical buildings and/or their ruins, and significant rock outcroppings
- ___ 23. The boundaries and dimensions of all lots, a number assigned to each lot, and the total number of lots.
- ___ 24. The location, width, and existing/proposed names or designations of all existing or proposed streets, alleys, pedestrian ways and other rights of ways, including but not limited to bikeways, paths, etc. whether public or private. Any change in existing street names shall be specifically requested in writing
- ___ 25. Any modification being requested in accordance with the provisions of Rocklin Municipal Code 16.36 which is shown on the tentative map shall be clearly labeled and identified as to nature and purpose
- ___ 26. The location of all natural and man-made improvements to all properties surrounding the subdivision, including but not limited to off-site natural contours, finished grades, buildings, existing road improvements, and property lines. Cross sections are encouraged or may be required to illustrate elevation differences between the project and existing adjacent development.

**ECONOMIC & COMMUNITY
DEVELOPMENT DEPARTMENT**

MARC MONDELL, *Director*

PLANNING (916) 625-5120

Bret Finning, *Planning Services Manager*

Terry Stemple, Department Specialist
Laura Webster, Director, Office of Long Range Planning
Dara Dungworth, Senior Planner
Nathan Anderson, Associate Planner
Shauna Nauman, Assistant Planner
Jennifer Manzke, Planning/Building Tech

ENGINEERING (916) 625-5120

DAVID PALMER, *City Engineer*

Lynn Toth, Land Development Engineer
Ashley Kettenhofen, Planning/Building Tech

BUILDING & PERMIT SERVICES (916) 625-5120

FRED LUSTENBERGER, *Chief Building Official*

Kevin Ruybal, Manager of Building Services
Mike Kelly, Building Inspector II
John Schaad, Building Inspector II
Russ Sneed, Building Inspector I
Elaine Clark, Fire Prevention Plans Examiner
Sherry Palmer, Permit Services Supervisor
Raquel Torneros, Planning/Building Tech
Janette Haley, Planning/Building Tech
Jacob Slipak, Office Assistant II
Gabby Sotir, Office Assistant II
John Carter, Office Assistant II

HOUSING (916) 625-5592

SHARON COHEN, *Housing Specialist*

ADDRESS: 3970 Rocklin Road, Rocklin, CA 95677

FAX: (916) 625-5195 Planning/Building/Engineering

TDD: (916) 632-4013 (all city offices)

City of Rocklin

**Economic & Community Development
Department**

***Planning
Engineering
Building***

REFERENCE DIRECTORY

Services/Agencies
School Districts
Health Department
Contractor Information
Mobile Homes in Trailer Parks



For more information,
please visit our website at:

www.rocklin.ca.us

August 18, 2017

DISPOSAL RECOLOGY AUBURN PLACER DISPOSAL SERVICE 12305 Shale Ridge Road Auburn, CA 95602 (530) 885-3735 Customer Service: 1 (800) 573-5545 www.recologiauburnplacer.com	WATER PLACER COUNTY WATER AGENCY 144 Ferguson Rd. P. O. Box 6570 Auburn, CA 95604 (530) 823-4850; 1 (800) 464-0030 www.pcwa.net	SCHOOL DISTRICTS <div> <div> ROCKLIN UNIFIED SCHOOL DISTRICT 2615 Sierra Meadows Dr Rocklin, CA 95677 (916) 624-2428 www.rocklinusd.org </div> <div> LOOMIS UNION SCHOOL DISTRICT 3290 Humphrey Road Loomis, CA 95650 (916) 652-1800 www.loomis-usd.k12.ca.us </div> <div> PLACER UNION HIGH SCHOOL DISTRICT (DEL ORO HS) 13000 New Airport Rd. P.O. Box 5048 Auburn, CA 95604 (530) 886-4400 www.puhisd.k12.ca.us </div> </div>	
SEWER SOUTH PLACER MUNICIPAL UTILITY DISTRICT 5807 Springview drive Rocklin, CA 95677 (916) 786-8555 www.spmud.ca.gov	GAS & ELECTRIC PACIFIC GAS & ELECTRIC COMPANY 333 Sacramento Street Auburn, CA 95603 (530) 889-3270; 1 (800) 743-5000 www.pge.com	TELEPHONE COMPANIES AT&T (FORMERLY SBC/PACIFIC BELL) Residential Customer Service: 1 (800) 310-2355 Business Customer Service: 1 (800) 750-2355 www.att.com	SUREWEST (FORMERLY ROSEVILLE TELEPHONE) 200 Vernon Street Roseville, CA (916) 786-6141; 1 (866) 787-3937 www.surewest.com
HEALTH DEPARTMENT PLACER COUNTY ENVIRONMENTAL HEALTH DEPARTMENT 3091 Country Center Dr., #180 Auburn, CA 95603 (530) 745-2300 www.placer.ca.gov	MOBILE HOMES IN TRAILER PARKS CA DEPT. OF HOUSING & COMMUNITY DEV./DIV. OF CODES & STANDARDS 9342 Tech Center Dr., #550 Sacramento, CA 95826 (916) 255-2501; (916) 255-2532 http://housing.hcd.ca.gov/codes	CONTRACTOR'S LICENSE BOARD STATE OF CALIFORNIA CONTRACTORS STATE LICENSE BOARD 9821 Business Park Drive Sacramento, CA 95827 (916) 255-3900, (800) 321-2752 www.cslb.ca.gov	PLACER COUNTY OFFICES Assessors: (530) 889-4300 Recorder: (530) 886-5600 Public Works: (530) 889-7500 Building: (530) 886-3010 www.placer.ca.gov
CABLE TV WAVE BROADBAND (FORMERLY STARSTREAM CABLE) 4120 Citrus Ave. Rocklin, CA 95677 (916) 652-9479 www.wavebroadband.com	MOSQUITO ABATEMENT PLACER MOSQUITO ABATEMENT DISTRICT P O Box 216 (150 Waverly Drive) Lincoln, CA 95648 (916) 435-2140 www.placermosquito.org	POST OFFICE UNITED STATES POSTAL SERVICE 5515 Pacific Street Rocklin, CA 95677 (800) 275-8777 www.usps.com	CHAMBER OF COMMERCE CITY OF ROCKLIN CHAMBER OF COMMERCE 3700 Rocklin Road Rocklin, CA 95677 (916) 624-2548 www.rocklinchamber.com



CITY OF ROCKLIN

MEMORANDUM

Sherri A.
COPY

TO: All Engineers/Surveyors Doing Business with the City of Rocklin

FROM: Larry M. Wing, Engineering Services Manager *lmw*

SUBJECT: Final Maps, Parcel Maps, and Lot Line Adjustments

DATE: December 16, 2005

Effective January 1, 2006, all final maps, parcel maps, and lot line adjustments shall require an electronic copy of the map or lot line adjustment prior to the City approval. This electronic copy shall be in a .pdf and either a .dwg format on CD or DVD or shape file.

Additionally, all improvement plans for residential and commercial projects shall require an electronic copy of the plans prior to the City approval. This electronic copy shall be in a .pdf format on CD or DVD.

The electronic copies shall be in addition to the City's requirement and the developer's responsibility to submit paper copies of final approved plans.

DATE 1-3-06
REC'D BY SEA



GROVE ST PERSPECTIVE



PROJECT NAME:	5345 S GROVE ST APARTMENTS	
PROJECT LOCATION:	5345 S GROVE STREET, ROCKLIN, CA	
ASSESSORS PARCEL #:	010-270-008-000	
LOT SIZE:	2.764 ACRES / 120,340 SF	
ZONING:	R-3 (QUARRY ARCHITECTURAL DISTRICT)	
GENERAL PLAN:	MIXED USE	
OCCUPANCY / USE:	R-2, MULTI-FAMILY RESIDENTIAL	
PARKING DIMENSIONS:	90 DEGREE STANDARD Space Width: 9 FT Space Depth: 19 FT	90 DEGREE COMPACT* Space Width: 8 FT Space Depth: 16 FT
	Two-Way Maneuvering Width: 25 FT	*Compact car spaces. Up to 30 %.
LANDSCAPE SETBACKS:	NO REQUIREMENT	
LANDSCAPE COVERAGE:	NO REQUIREMENT	
PARKING LOT SHADING:	50%	
SITE LIGHTING POLE HEIGHT:	NO REQUIREMENT	
PARKING FOOT-CANDLES:	NO REQUIREMENT	
PEDESTRIAN WALKWAY FOOT-CANDLES:	NO REQUIREMENT	
SITE LIGHTING SHIELDING REQUIREMENTS:	MUST BE DARK SKY COMPLIANT	
FEMA FLOOD ZONE:	N/A	

ZONING INFORMATION

	ZONING REQUIREMENT:	PROVIDED:	MEETING CODE
BUILDING HEIGHT:	50 FT MAX	35'-0"	YES
FRONT SETBACK:	20 FT	83'-0"	YES
STREET SIDE:	15 FT	N/A	N/A
INTERIOR SIDE SETBACK:	10 FT	79'-0"	YES
REAR SETBACK:	15 FT	64'-0"	YES
FAR:	.25 MIN 1.6 MAX	0.67	YES
LOT COVERAGE:	60% MAX	25%	YES
DENSITY:	10 - 40 DWELLING UNITS PER ACRE	28	YES
OPEN SPACE:	NO REQUIREMENT	N/A	N/A
BICYCLE PARKING: (CBC TITLE 24.5.106.4.1)	SHORT TERM: 5% OF VISITOR PARKING STALLS, MIN 2.	2	YES
	LONG TERM: 5% OF TENANT PARKING STALLS (137x.05 = 7)	8	YES
PARKING REQUIREMENT:	1.5 SPACES PER 1 BR/STUDIO UNIT, 2 SPACES PER 2 BR UNIT, ADDITIONAL 25% VISITOR SPACES.	156	YES

ZONING REQUIREMENTS

BUILDING SUMMARY:

LEVEL	GROSS AREA	NUMBER OF UNIT TYPES			TOTAL UNITS
		STUDIO	ONE BED	TWO BED	
LEVEL 1	28,840 SF	1	13	12	26
LEVEL 2	28,840 SF	1	12	13	26
LEVEL 3	27,250 SF	1	12	13	26
TOTAL	84,930 SF	3	37	38	78
CLUBHOUSE	1,800 SF				

UNIT SUMMARY:

UNIT TYPE	NUMBER OF UNITS	TYP. UNIT SIZE	PERCENTAGE
STUDIO	3	690 SF	4
ONE BED	37	690 SF	47
TWO BED	38	980 SF	49
TOTAL	78	-	100 %

PARKING SUMMARY:

REQUIRED STALLS	PROVIDED STALLS	RATIO TO UNITS
1 BD: 1.5 X 35 = 58.5	59	156/78 = 200%
2 BD: 2 X 39 = 78	78	
GUEST: 25% X 78 = 19.5	19	
TOTAL: 156	156	

78 STALLS ARE COVERED PARKING (1 PER UNIT - ROCKLIN CITY MUNICIPAL CODE 17.66.020)

ACC. PARKING

TYPE	CODE REQUIREMENT	REQUIRED	PROVIDED	
			STANDARD	VAN
ACC. STANDARD	CBC 1109A.4 2% OF ASSIGNED PARKING	156 X 2% = 4 STALLS	3	1
ACC. EV CHARGER	CAL GREEN 4.106.4.2.2.1.1 - 1 IN EVERY 25	1 STALL	0	1

EV PARKING

TYPE		CODE REQUIREMENT	REQUIRED	PROVIDED
<input checked="" type="checkbox"/>	EV READY	CAL GREEN 4.106.4.2.2 - 40% OF SPACES	63 STALLS	63 STALLS
<input type="checkbox"/>	EV CHARGERS (EVCS)	CAL GREEN 4.106.4.2.2 - 10% OF SPACES	16 STALLS	16 STALLS

RESIDENTIAL PROGRAM DATA

07/02/2024

24014

HRGA

2277 Fair Oaks Boulevard, Studio 220
Sacramento, California 95825
916 993-4800 | www.hrgarchitects.com

5345 S GROVE ST APTS

5345 S GROVE ST, ROCKLIN, CA, 85677

2



LEVEL 2

1" = 20'-0"

2



LEVEL 1

1" = 20'-0"

1

HRGA

2277 Fair Oaks Boulevard, Studio 220
Sacramento, California 95825
916 993-4800 | www.hrgarchitects.com

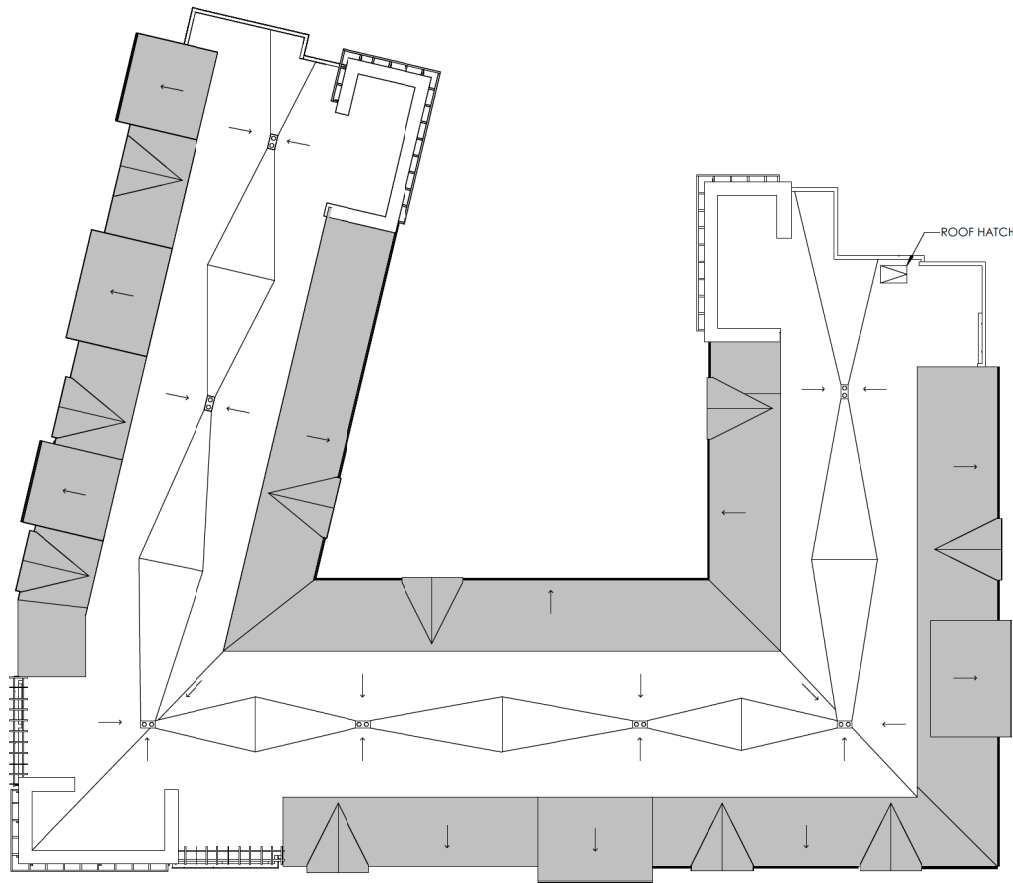
5345 S GROVE ST APTS

5345 S GROVE ST, ROCKLIN, CA, 85677

07/02/2024

24014

3



ROOF PLAN

1" = 20'-0"

2



LEVEL 3

1" = 20'-0"

1

HRGA

2277 Fair Oaks Boulevard, Studio 220
Sacramento, California 95825
916 993-4800 | www.hrgarchitects.com

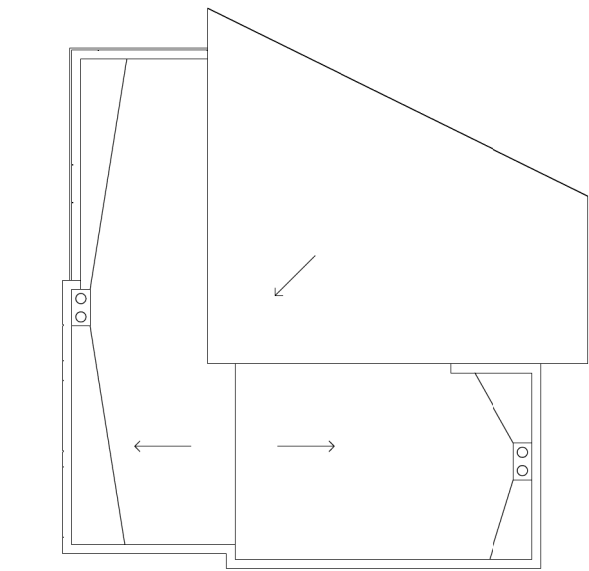
5345 S GROVE ST APTS

5345 S GROVE ST, ROCKLIN, CA, 85677

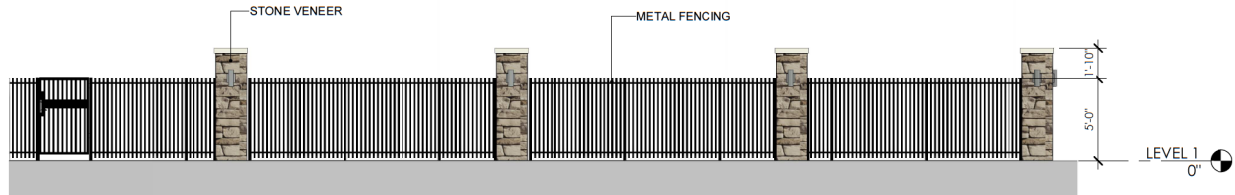
07/02/2024

24014

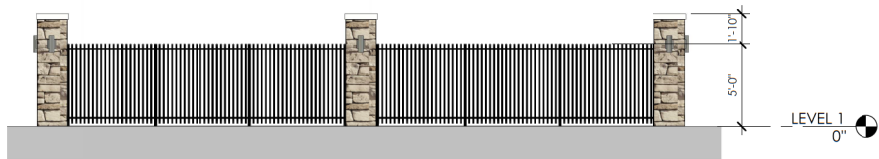
4



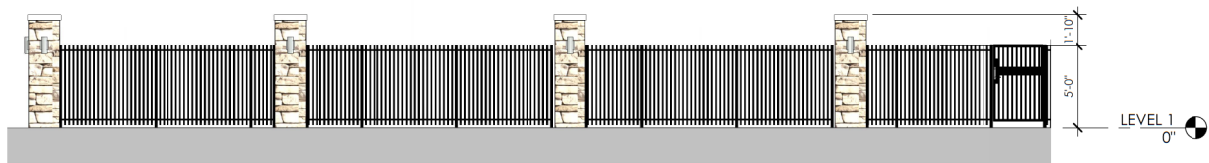
CLUBHOUSE - ROOF 1/8" = 1'-0" 2



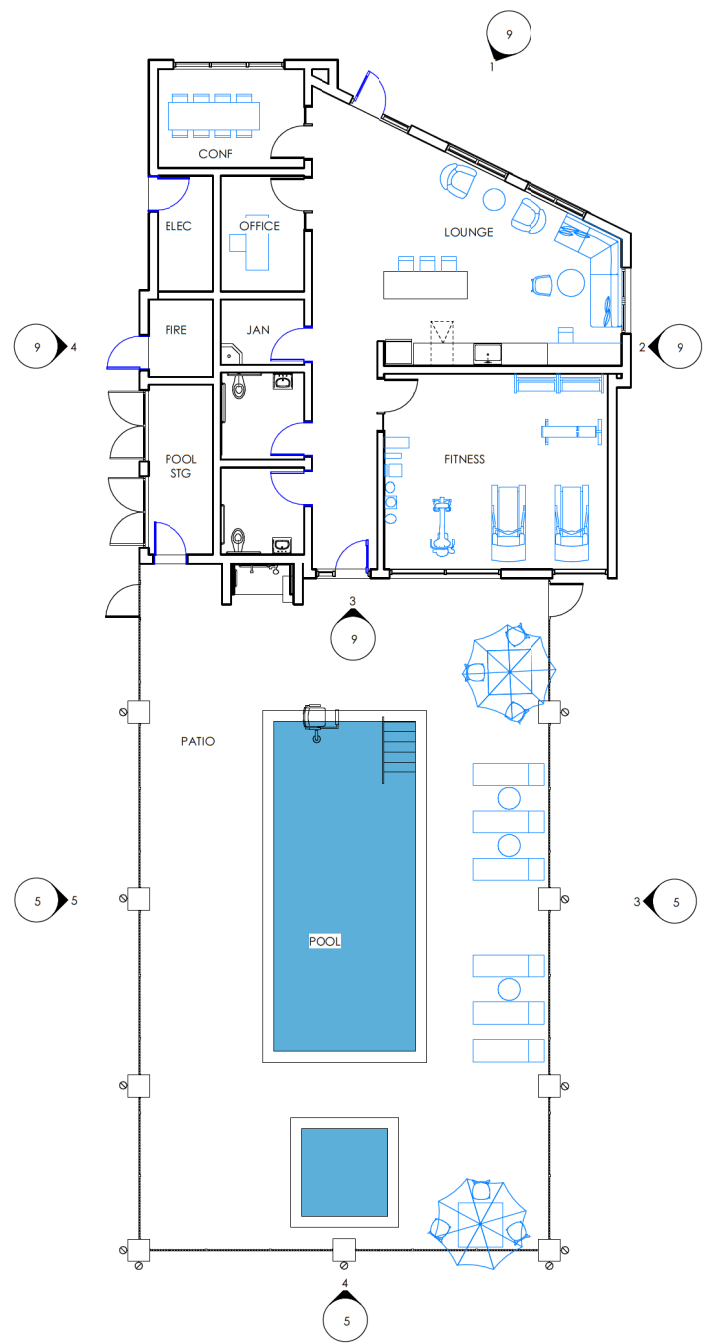
PATIO - WEST ELEVATION 3/16" = 1'-0" 5



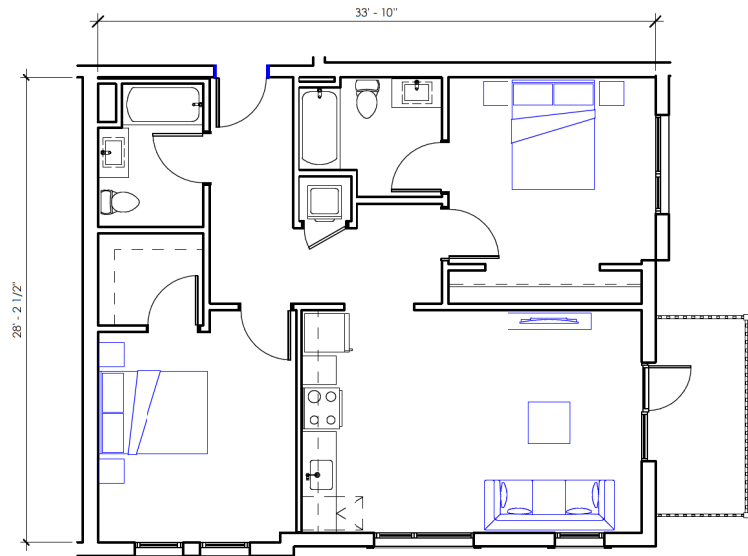
PATIO - SOUTH ELEVATION 3/16" = 1'-0" 4



PATIO - EAST ELEVATION 3/16" = 1'-0" 3



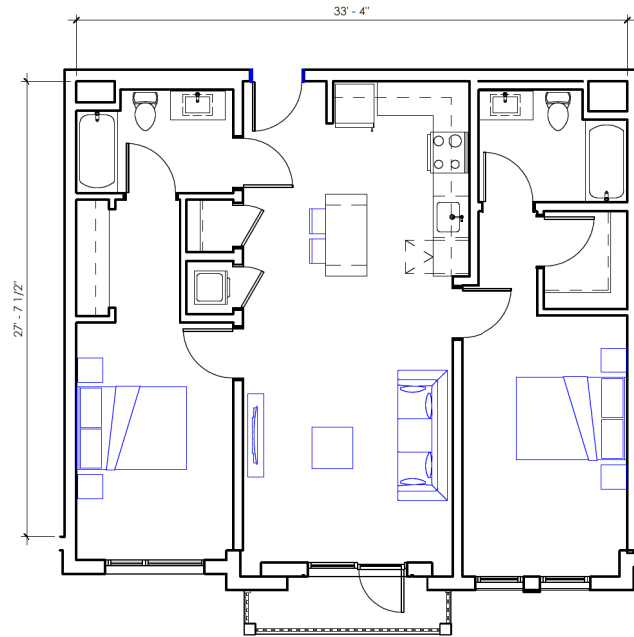
CLUBHOUSE - LEVEL 1 1/8" = 1'-0" 1



2 BED - B

3/16" = 1'-0"

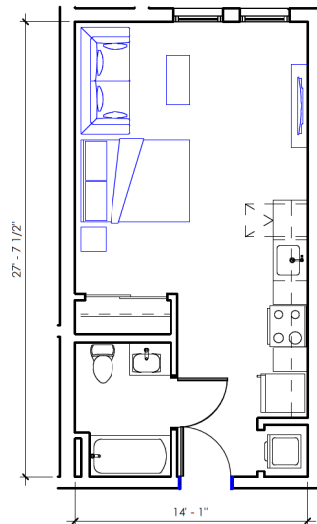
4



2 BED - A

3/16" = 1'-0"

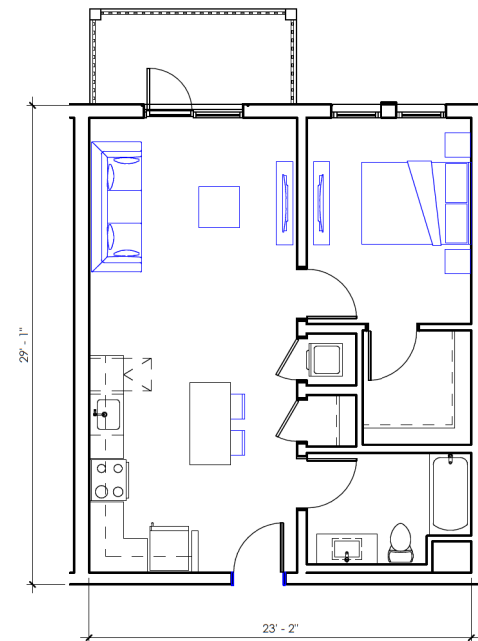
2



STUDIO

3/16" = 1'-0"

3



1 BED

3/16" = 1'-0"

1

HRGA

2277 Fair Oaks Boulevard, Studio 220
Sacramento, California 95825
916 993-4800 | www.hrgarchitects.com

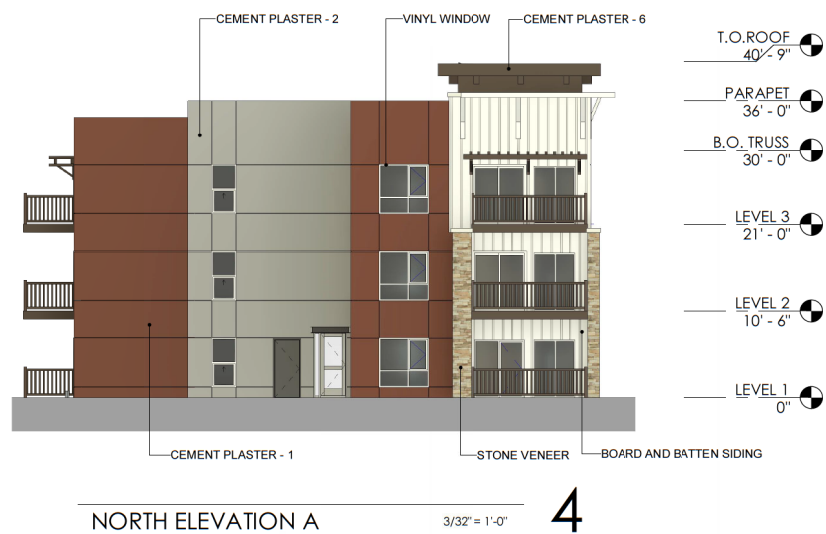
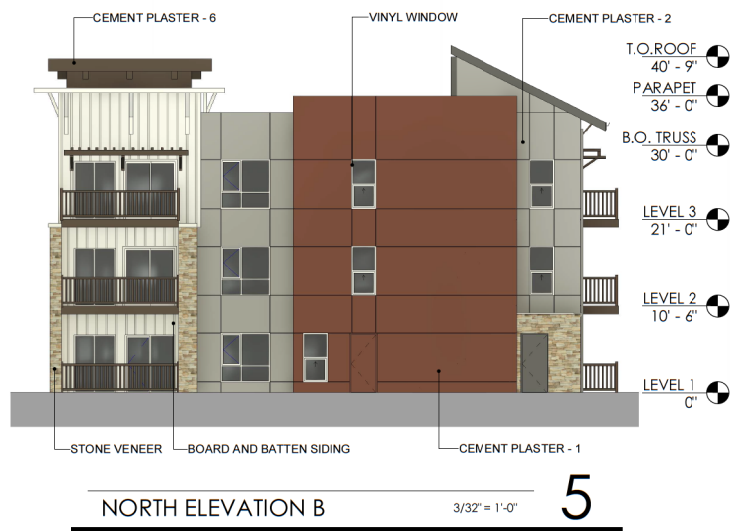
5345 S GROVE ST APTS

5345 S GROVE ST, ROCKLIN, CA, 85677

07/02/2024

24014

6



HRGA

2277 Fair Oaks Boulevard, Studio 220
Sacramento, California 95825
916 993-4800 | www.hrgarchitects.com

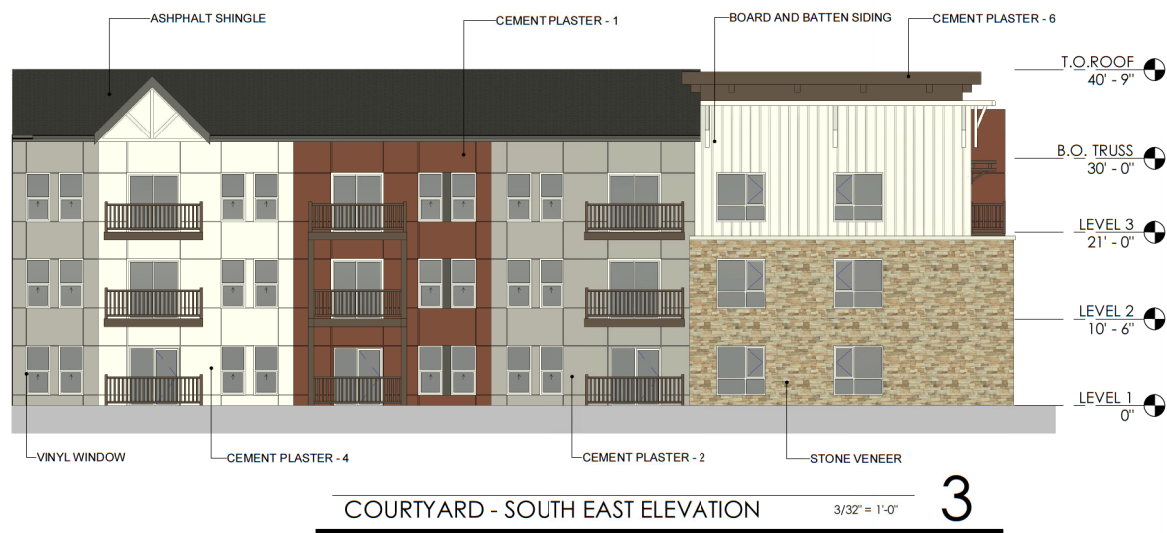
5345 S GROVE ST APTS

5345 S GROVE ST, ROCKLIN, CA, 85677

07/02/2024

24014

7



HRGA

2277 Fair Oaks Boulevard, Studio 220
Sacramento, California 95825
916 993-4800 | www.hrgarchitects.com

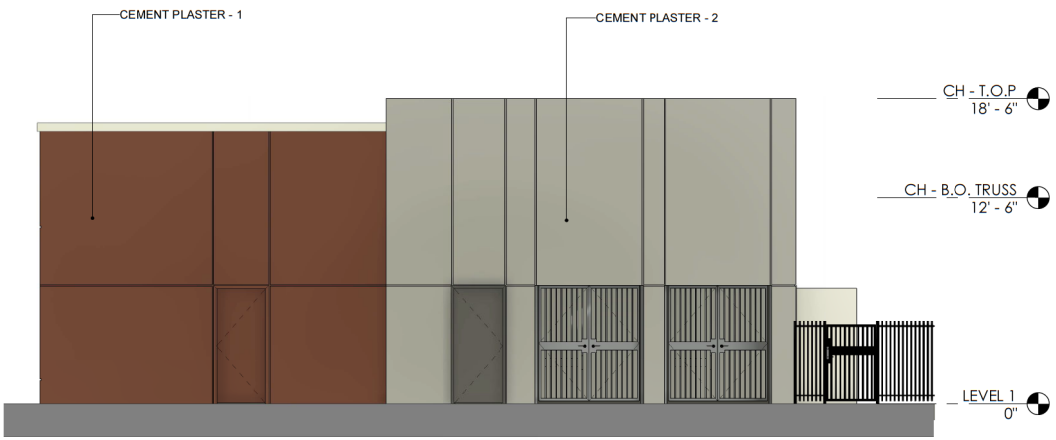
5345 S GROVE ST APTS

5345 S GROVE ST, ROCKLIN, CA, 85677

07/02/2024

24014

8



CLUBHOUSE - WEST ELEVATION 3/16" = 1'-0" 4



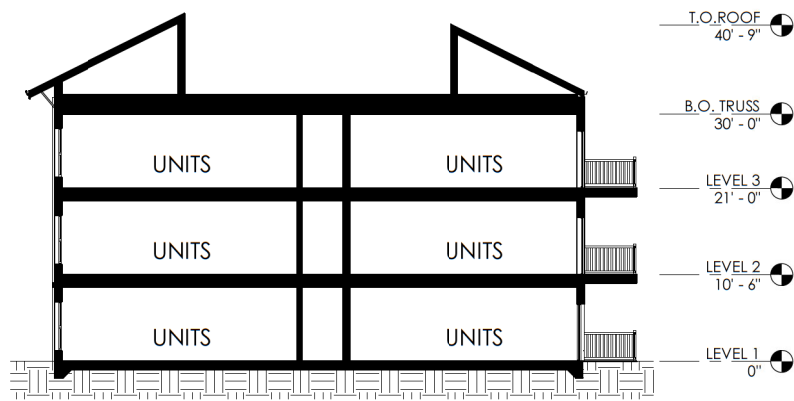
CLUBHOUSE - SOUTH ELEVATION 3/16" = 1'-0" 3



CLUBHOUSE - EAST ELEVATION 3/16" = 1'-0" 2



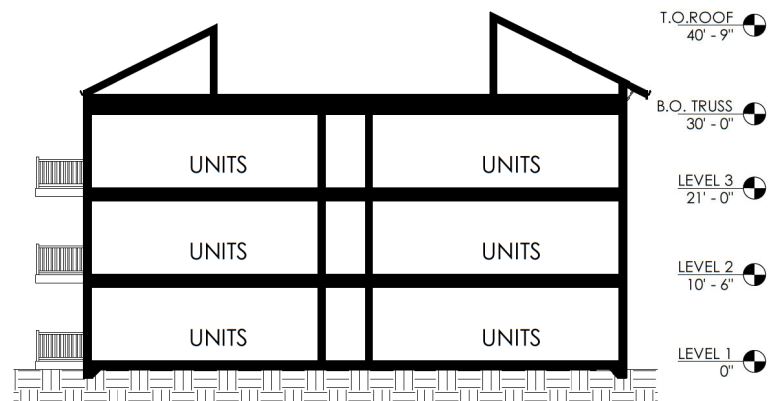
CLUBHOUSE - NORTH EAST ELEVATION 3/16" = 1'-0" 1



SECTION E/W

3/32" = 1'-0"

2

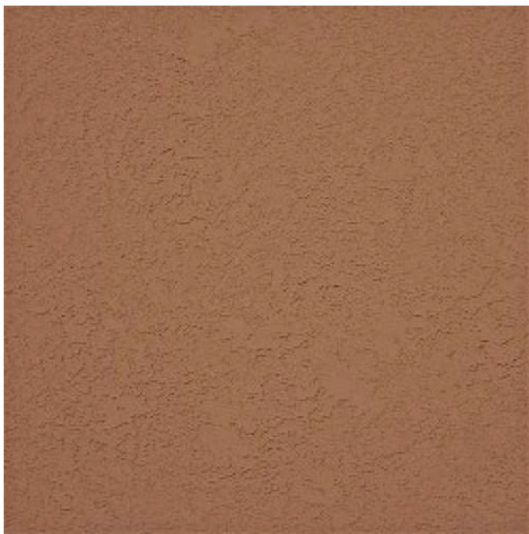


SECTION N/S

3/32" = 1'-0"

1

MATERIAL BOARD



CEMENT PLASTER - 1



CEMENT PLASTER - 2



CEMENT PLASTER - 3



BOARD AND BATTEN SIDING



STONE VENEER

SITE CONTEXT



1- SOUTHEAST VIEW FROM S GROVE ST



2- EAST VIEW FROM S GROVE ST



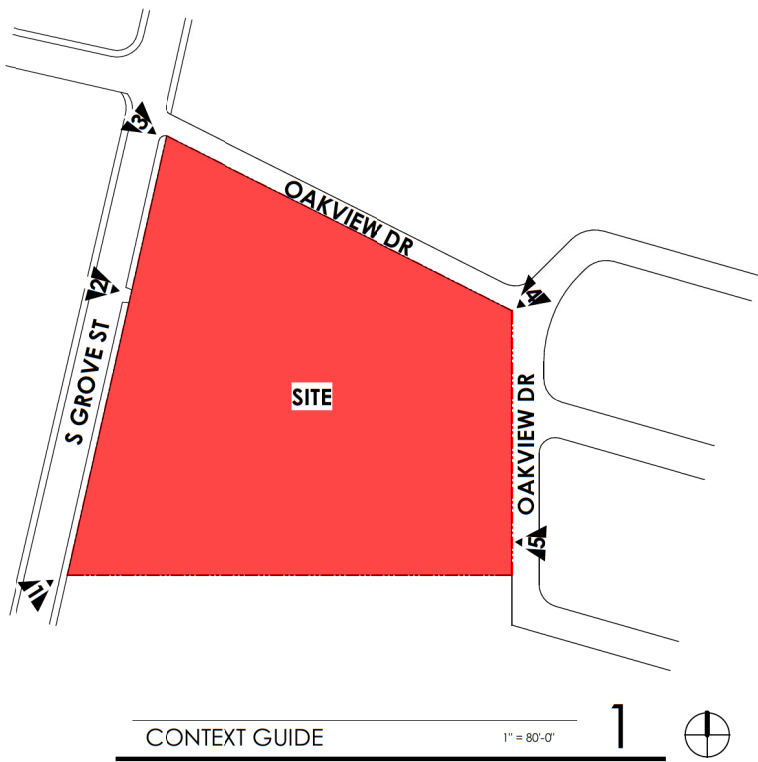
3- NORTHEAST VIEW CORNER OF S GROVE ST AND OAKVIEW DR

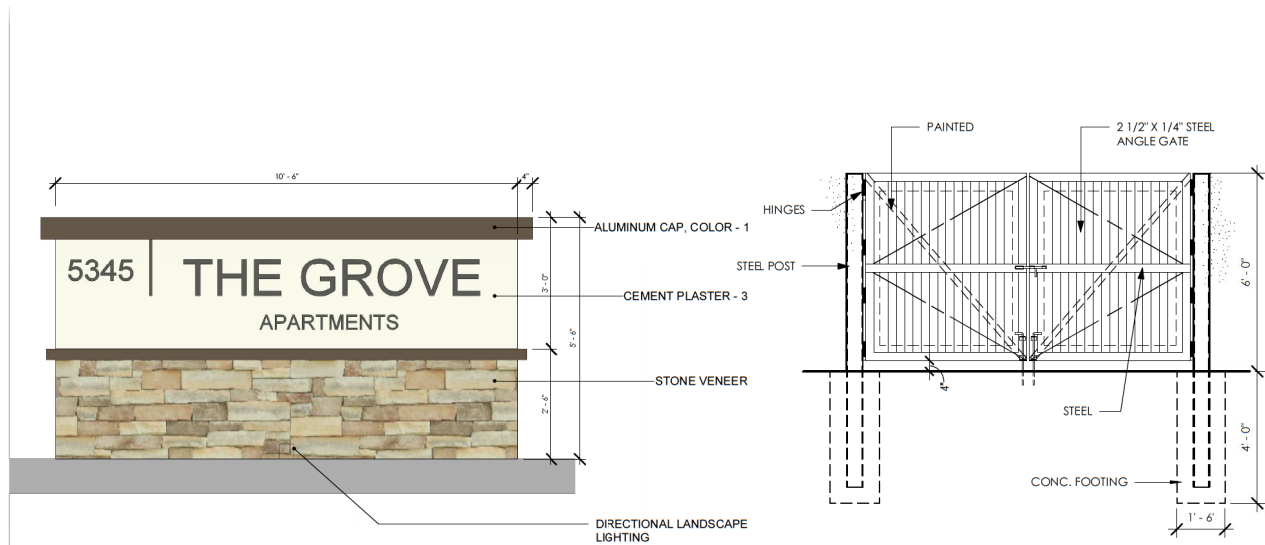


4- SOUTHWEST VIEW FROM OAKVIEW DR

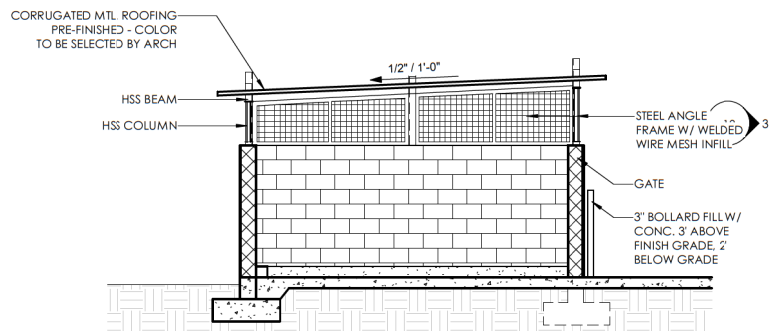


5- WEST VIEW FROM OAKVIEW DR

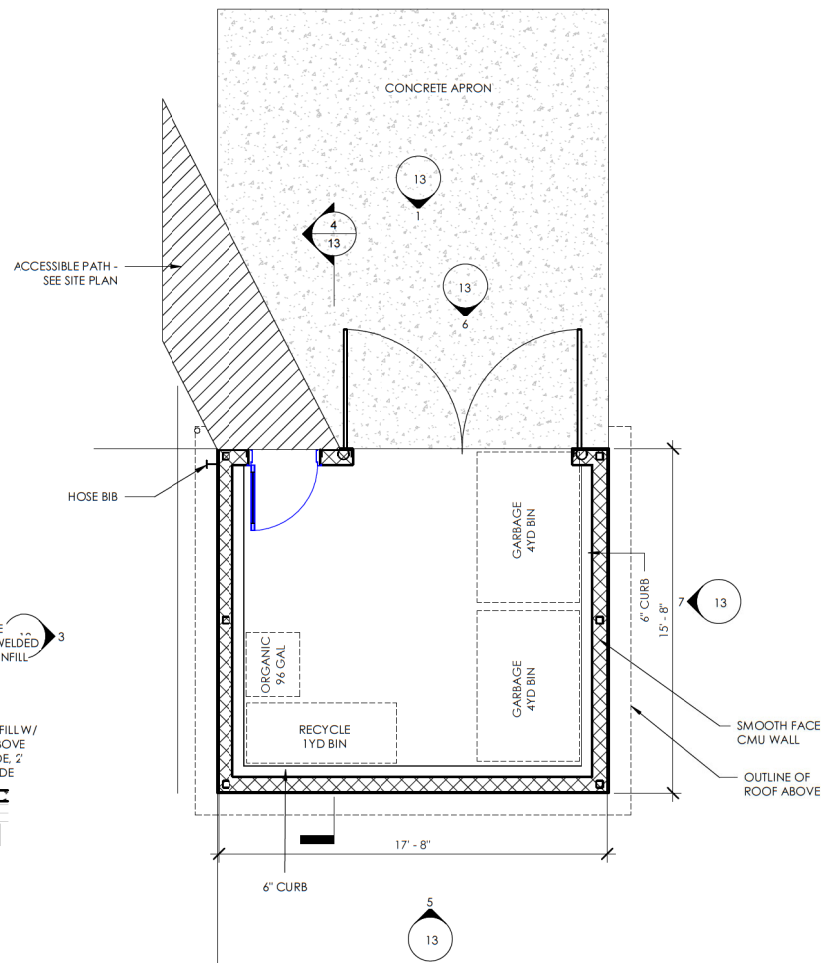




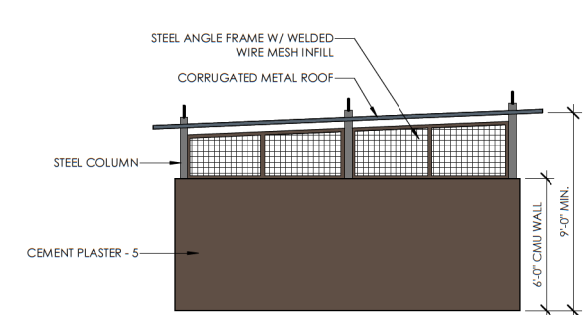
MONUMENT SIGN 1/2" = 1'-0" 8



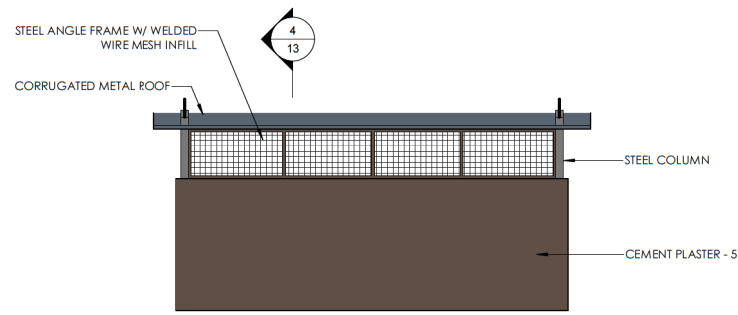
SECTION 1/4" = 1'-0" 4



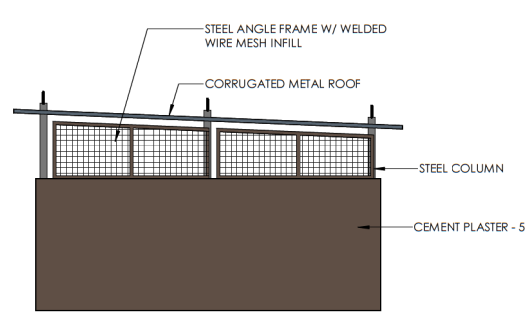
FLOOR PLAN 1/4" = 1'-0" 2



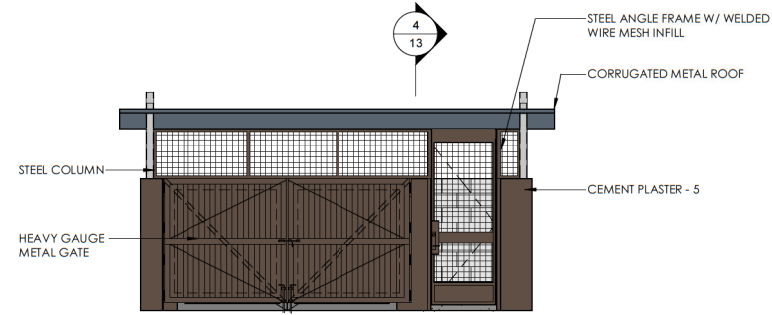
TRASH ENCLOSURE 1/4" = 1'-0" 7



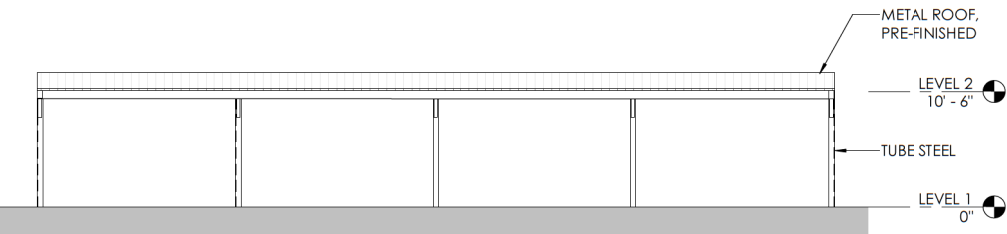
TRASH ENCLOSURE 1/4" = 1'-0" 5



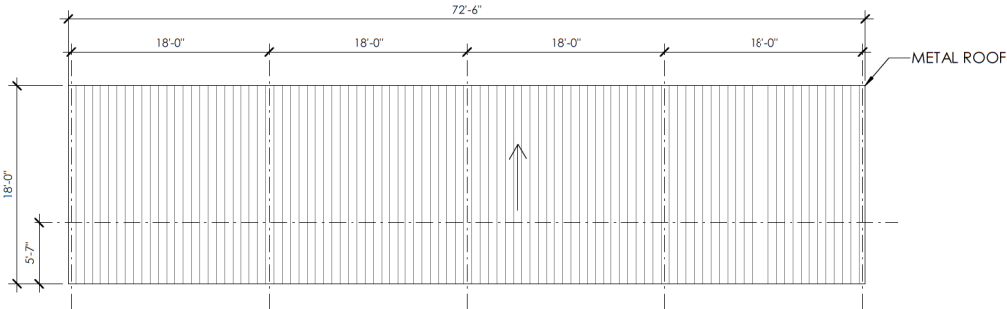
TRASH ENCLOSURE 1/4" = 1'-0" 3



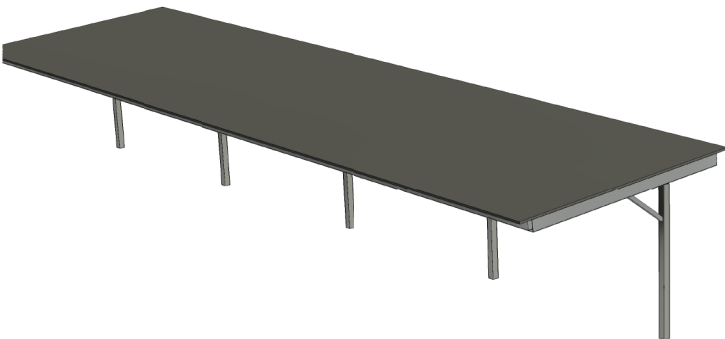
TRASH ENCLOSURE 1/4" = 1'-0" 1



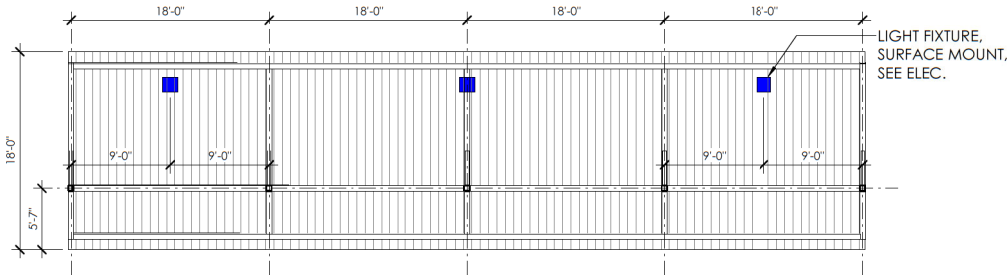
CARPORT - ELEVATION 1/8" = 1'-0" 6



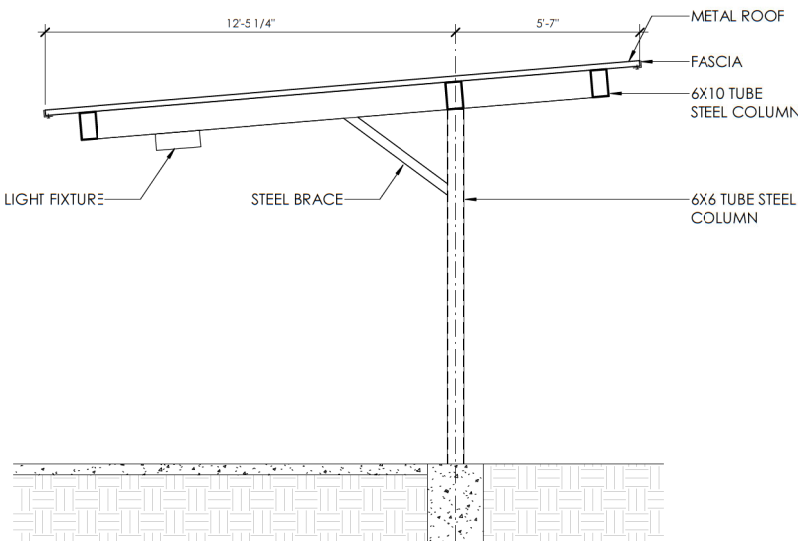
CARPORT - ROOF 1/8" = 1'-0" 3



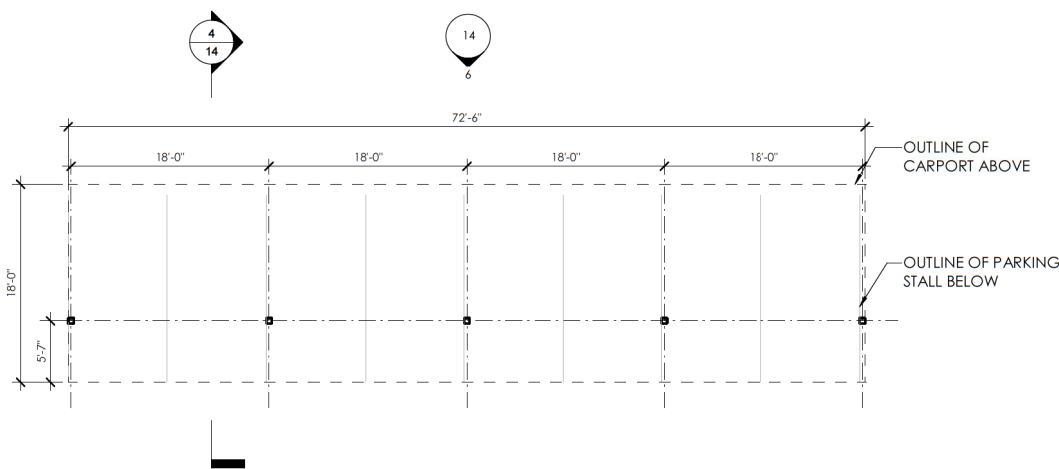
CARPORT - PERSPECTIVE 5



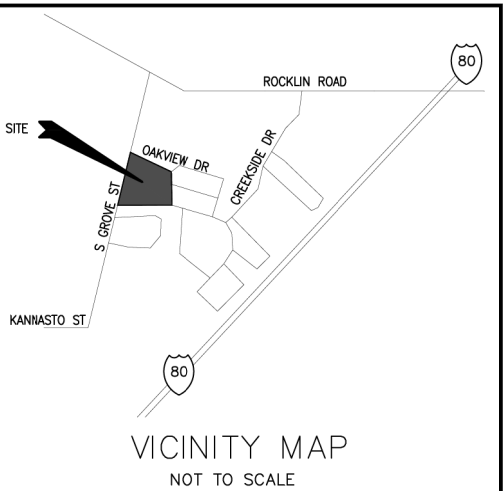
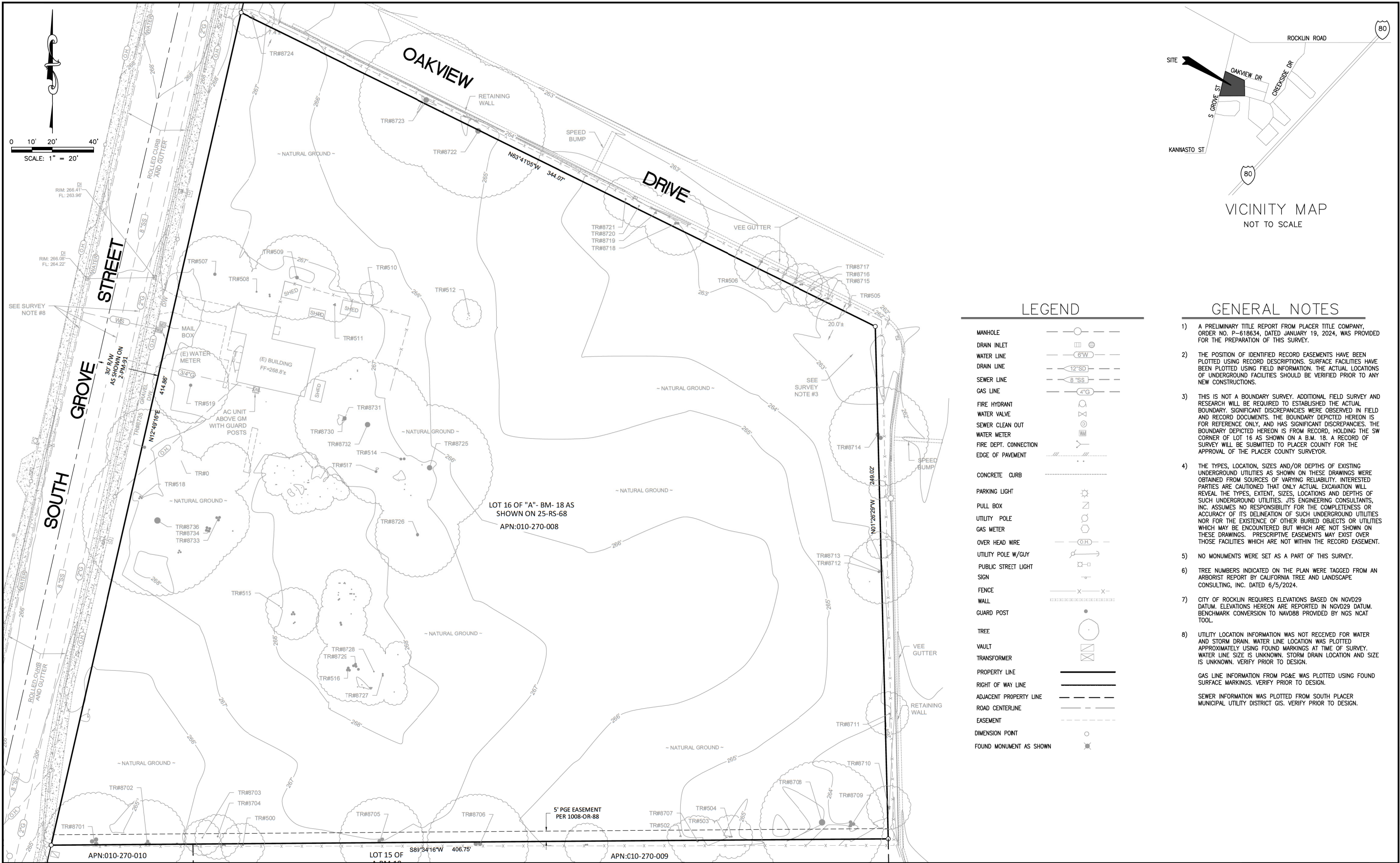
CARPORT - RCP 1/8" = 1'-0" 2



CARPORT - SECTION 3/8" = 1'-0" 4



CARPORT - LEVEL 1 1/8" = 1'-0" 1



LEGEND

MANHOLE	
DRAIN INLET	
WATER LINE	
DRAIN LINE	
SEWER LINE	
GAS LINE	
FIRE HYDRANT	
WATER VALVE	
SEWER CLEAN OUT	
WATER METER	
FIRE DEPT. CONNECTION	
EDGE OF PAVEMENT	
CONCRETE CURB	
PARKING LIGHT	
PULL BOX	
UTILITY POLE	
GAS METER	
OVER HEAD WIRE	
UTILITY POLE W/GUY	
PUBLIC STREET LIGHT	
SIGN	
FENCE	
WALL	
GUARD POST	
TREE	
VAULT	
TRANSFORMER	
PROPERTY LINE	
RIGHT OF WAY LINE	
ADJACENT PROPERTY LINE	
ROAD CENTERLINE	
EASEMENT	
DIMENSION POINT	
FOUND MONUMENT AS SHOWN	

GENERAL NOTES

- 1) A PRELIMINARY TITLE REPORT FROM PLACER TITLE COMPANY, ORDER NO. P-618634, DATED JANUARY 19, 2024, WAS PROVIDED FOR THE PREPARATION OF THIS SURVEY.
- 2) THE POSITION OF IDENTIFIED RECORD EASEMENTS HAVE BEEN PLOTTED USING RECORD DESCRIPTIONS. SURFACE FACILITIES HAVE BEEN PLOTTED USING FIELD INFORMATION. THE ACTUAL LOCATIONS OF UNDERGROUND FACILITIES SHOULD BE VERIFIED PRIOR TO ANY NEW CONSTRUCTIONS.
- 3) THIS IS NOT A BOUNDARY SURVEY. ADDITIONAL FIELD SURVEY AND RESEARCH WILL BE REQUIRED TO ESTABLISHED THE ACTUAL BOUNDARY. SIGNIFICANT DISCREPANCIES WERE OBSERVED IN FIELD AND RECORD DOCUMENTS. THE BOUNDARY DEPICTED HEREON IS FOR REFERENCE ONLY, AND HAS SIGNIFICANT DISCREPANCIES. THE BOUNDARY DEPICTED HEREON IS FROM RECORD, HOLDING THE SW CORNER OF LOT 16 AS SHOWN ON A B.M. 18. A RECORD OF SURVEY WILL BE SUBMITTED TO PLACER COUNTY FOR THE APPROVAL OF THE PLACER COUNTY SURVEYOR.
- 4) THE TYPES, LOCATION, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. INTERESTED PARTIES ARE CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. JTS ENGINEERING CONSULTANTS, INC. ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS. PRESCRIPTIVE EASEMENTS MAY EXIST OVER THOSE FACILITIES WHICH ARE NOT WITHIN THE RECORD EASEMENT.
- 5) NO MONUMENTS WERE SET AS A PART OF THIS SURVEY.
- 6) TREE NUMBERS INDICATED ON THE PLAN WERE TAGGED FROM AN ARBORIST REPORT BY CALIFORNIA TREE AND LANDSCAPE CONSULTING, INC. DATED 6/5/2024.
- 7) CITY OF ROCKLIN REQUIRES ELEVATIONS BASED ON NGVD29 DATUM. ELEVATIONS HEREON ARE REPORTED IN NGVD29 DATUM. BENCHMARK CONVERSION TO NAVD88 PROVIDED BY NGS NCAT TOOL.
- 8) UTILITY LOCATION INFORMATION WAS NOT RECEIVED FOR WATER AND STORM DRAIN. WATER LINE LOCATION WAS PLOTTED APPROXIMATELY USING FOUND MARKINGS AT TIME OF SURVEY. WATER LINE SIZE IS UNKNOWN. STORM DRAIN LOCATION AND SIZE IS UNKNOWN. VERIFY PRIOR TO DESIGN.

GAS LINE INFORMATION FROM PG&E WAS PLOTTED USING FOUND SURFACE MARKINGS. VERIFY PRIOR TO DESIGN.

SEWER INFORMATION WAS PLOTTED FROM SOUTH PLACER MUNICIPAL UTILITY DISTRICT GIS. VERIFY PRIOR TO DESIGN.

BENCHMARK ELEVATION: 246.87' (NGVD29)
CITY OF ROCKLIN ID# R 12-7; FOUND PK
NAIL AND ANDREGG WATER IN CONCRETE
FOUNDATION OF DI - NORTH SIDE OF CHINA
GARDEN ROAD. SEE SURVEY NOTE #7.
CONVERSION CALCULATION:
NAV1988 ELEVATION: 249.38 FEET
NGVD1929 ELEVATION: 246.87 FEET
DIFFERENCE IN ELEVATION: 2.51 FEET

JTS ENGINEERING CONSULTANTS, INC.
1808 J STREET
SACRAMENTO, CALIFORNIA 95811 (916) 441-6708

DESIGNED:	TEG
DRAWN:	TEG
CHECKED:	PHYA
SUBMITTED:	PASTOR H. Y. ABEJUELA III RCE: 94339



NO.	DESCRIPTION	ENGR INIT	APPROVAL BY	DATE

EXISTING CONDITIONS

5345 S GROVE ST. APTS

PRELIMINARY PLANS

5345 S GROVE ST.

APN: 010-270-008-000

CITY OF ROCKLIN

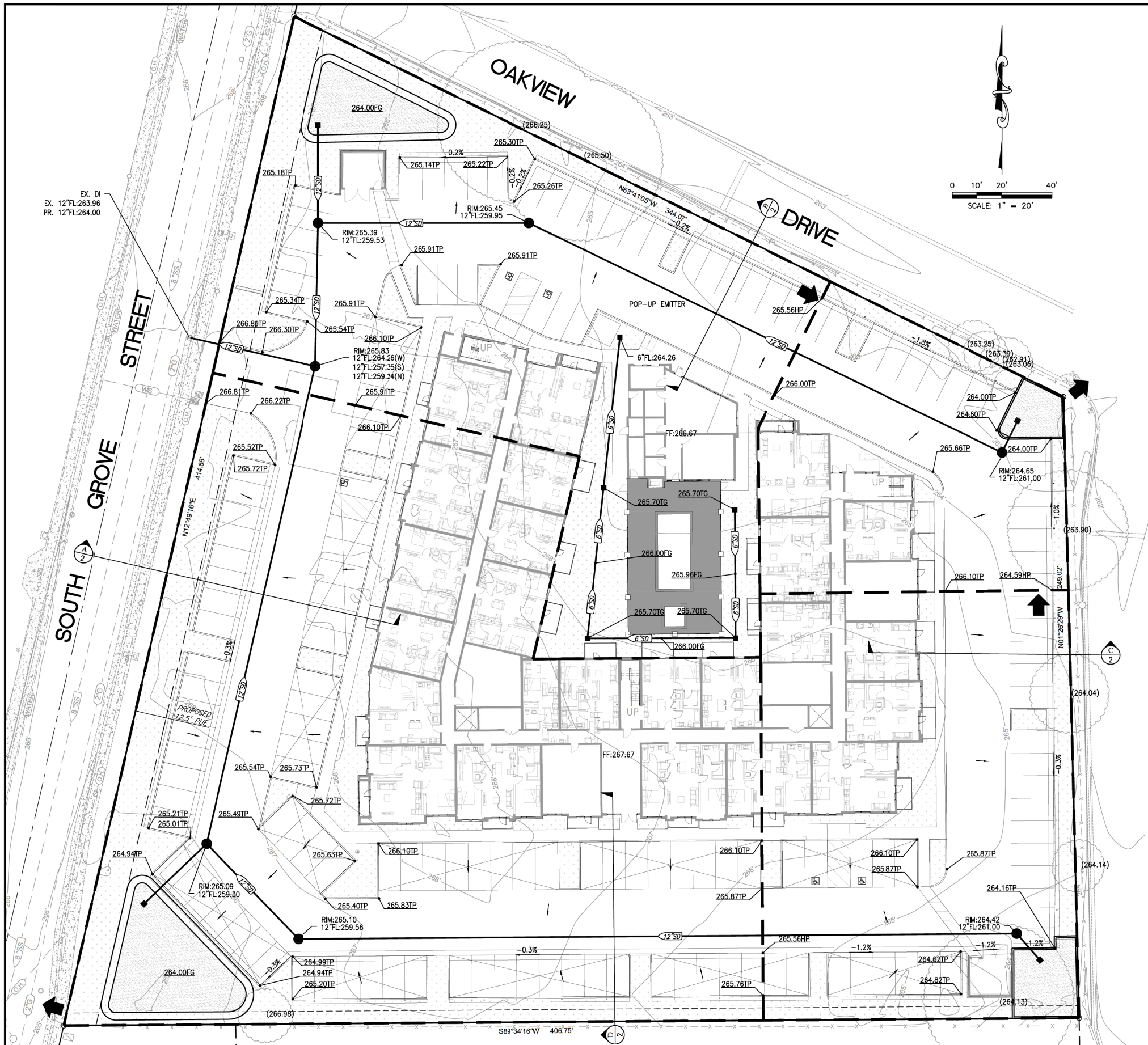
CALIFORNIA

DATE: 07/02/24

SHEET

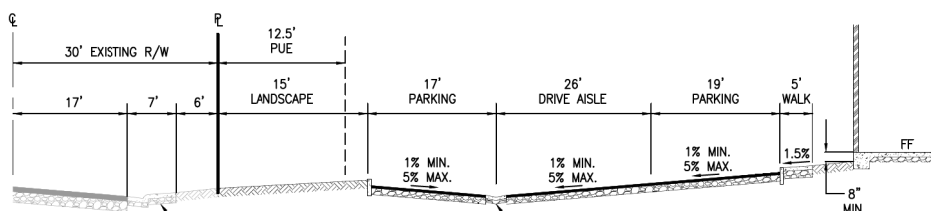
1

OF 5

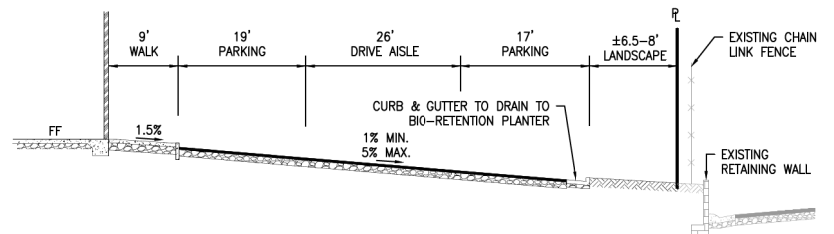


LEGEND	
PROPOSED STORM DRAIN PIPE	
PROPOSED STORM DRAIN INLET	
PROPOSED STORM DRAIN MANHOLE	
PROPOSED BIO-RETENTION PLANTER	
PROPOSED WATERSHED	
PROPOSED OVERLAND RELEASE	
EXISTING TREE TO REMAIN	
EXISTING ELEV. CONTOUR	
MATCH EXISTING FINISHED GRADE	(100.00)
TOP OF PAVEMENT ELEVATION	100.00TP
HIGH-POINT ELEVATION	100.00HP
FINISHED GRADE ELEVATION	100.00FG

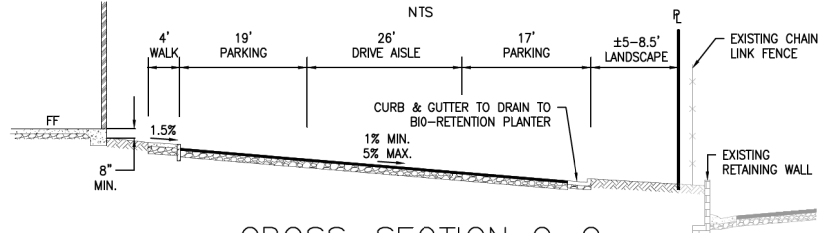
- GENERAL NOTES
- ALL STORM DRAIN PIPES ARE SLOPED AT 0.5%.
 - MANHOLE DIRECTLY UPSTREAM OF SYSTEM CONNECTION POINT (EXISTING DRAIN INLET) TO CONTAIN SUMP PUMP DESIGNED BY OTHERS.
 - ACCESS POINTS TO BUILDING SHALL BE ANALYZED DURING FINAL DESIGN OF PLANS. STAIRS AND ACCESS RAMPS MAY BE REQUIRED.



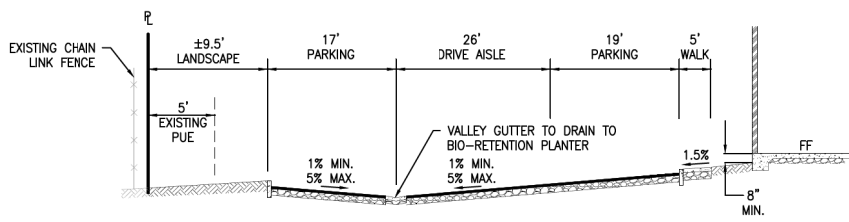
CROSS-SECTION A-A



CROSS-SECTION B-B



CROSS-SECTION C-C



CROSS-SECTION D-D

BENCHMARK ELEVATION: 246.87" (NGVD29)
CITY OF ROCKLIN ID# R 12-7: FOUND PK
NAIL AND ANDREGG WATER IN CONCRETE
FOUNDATION OF DI - NORTH SIDE OF CHINA
GARDEN ROAD. SEE SURVEY NOTE #7.
CONVERSION CALCULATION:
NAV1988 ELEVATION: 249.38 FEET
NGVD1929 ELEVATION: 246.87 FEET
DIFFERENCE IN ELEVATION: 2.51 FEET

JTS ENGINEERING
CONSULTANTS, INC.

1808 J STREET
SACRAMENTO, CALIFORNIA 95811 (916) 441-6708

DESIGNED:	TEG
DRAWN:	TEG
CHECKED:	PHYA
SUBMITTED:	PASTOR H. Y. ABEJUELA III RCE: 94339

SCALE:	H: 1"=20'
	V: N/A



NO.	DESCRIPTION	ENGR INIT	APPROVAL BY	DATE

GRADING & DRAINAGE PLAN

5345 S GROVE ST. APTS

PRELIMINARY PLANS

5345 S GROVE ST.

APN: 010-270-008-000

CITY OF ROCKLIN

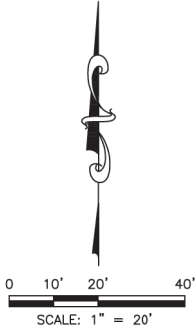
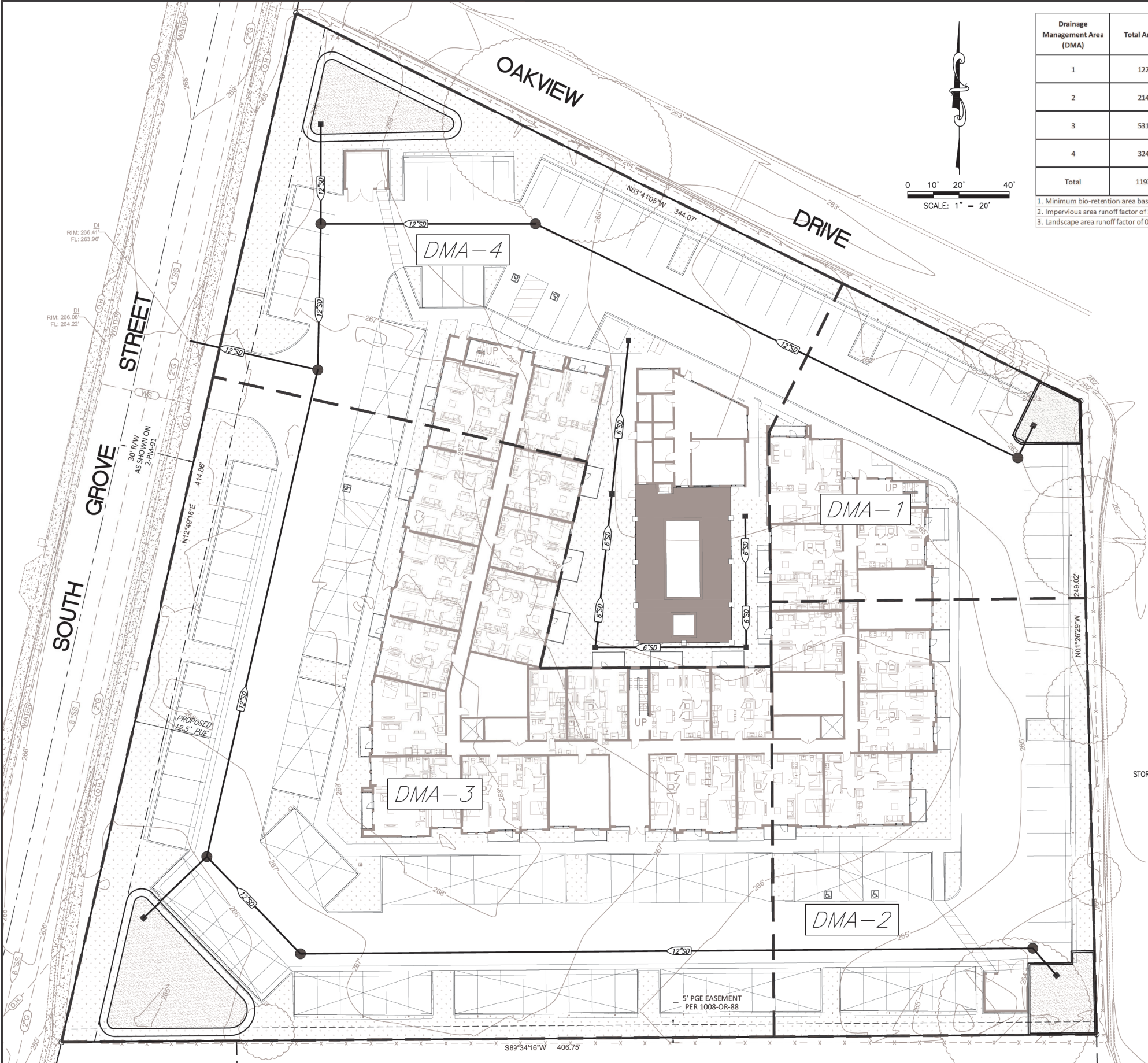
CALIFORNIA

DATE: 07/02/24

SHEET

2

OF 5

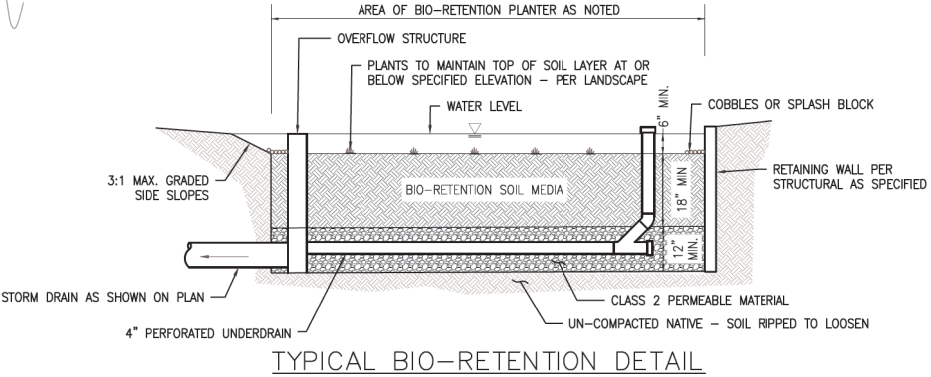


Drainage Management Area (DMA)	Total Area (sf)	Landscape Area (sf)	Impervious Area (sf)	Landscape Runoff Factor x Landscape Area	Imp. Area Runoff Factor X Impervious Area	Impervious/Landscape Area X Runoff Factor	Minimum Bio-retention Planter Area (sf)	Bio-retention Planter Area Provided (sf)
1	12275	1805	10470	181	10470	10650	426	428
2	21448	4069	17379	407	17379	17786	711	711
3	53140	11219	41921	1122	41921	43043	1722	1725
4	32479	10777	21702	1078	21702	22780	911	985
Total	119341	27869	91472	2787	91472	94259	3770	3849

1. Minimum bio-retention area based on 4% of contributing impervious/landscape area times runoff factors.
2. Impervious area runoff factor of 1.0 used for calculations
3. Landscape area runoff factor of 0.1 used for calculations

LEGEND

- PROPOSED STORM DRAIN PIPE
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED LANDSCAPE
- PROPOSED BIO-RETENTION PLANTER
- PROPOSED WATERSHED



BENCHMARK ELEVATION: 246.87' (NGVD29)
CITY OF ROCKLIN ID# R 12-7; FOUND PK
NAIL AND ANDREGG WATER IN CONCRETE
FOUNDATION OF DI - NORTH SIDE OF CHINA
GARDEN ROAD. SEE SURVEY NOTE #7.
CONVERSION CALCULATION:
NAV1988 ELEVATION: 249.38 FEET
NGVD1929 ELEVATION: 246.87 FEET
DIFFERENCE IN ELEVATION: 2.51 FEET

JTSENGINEERING
CONSULTANTS, INC.

1808 J STREET
SACRAMENTO, CALIFORNIA 95811 (916) 441-6708

DESIGNED:	TEG	SCALE:
DRAWN:	TEG	H: 1"=20'
CHECKED:	PHYA	V: N/A
SUBMITTED:	PASTOR H. Y. ABEJUELA III	RCE: 94339

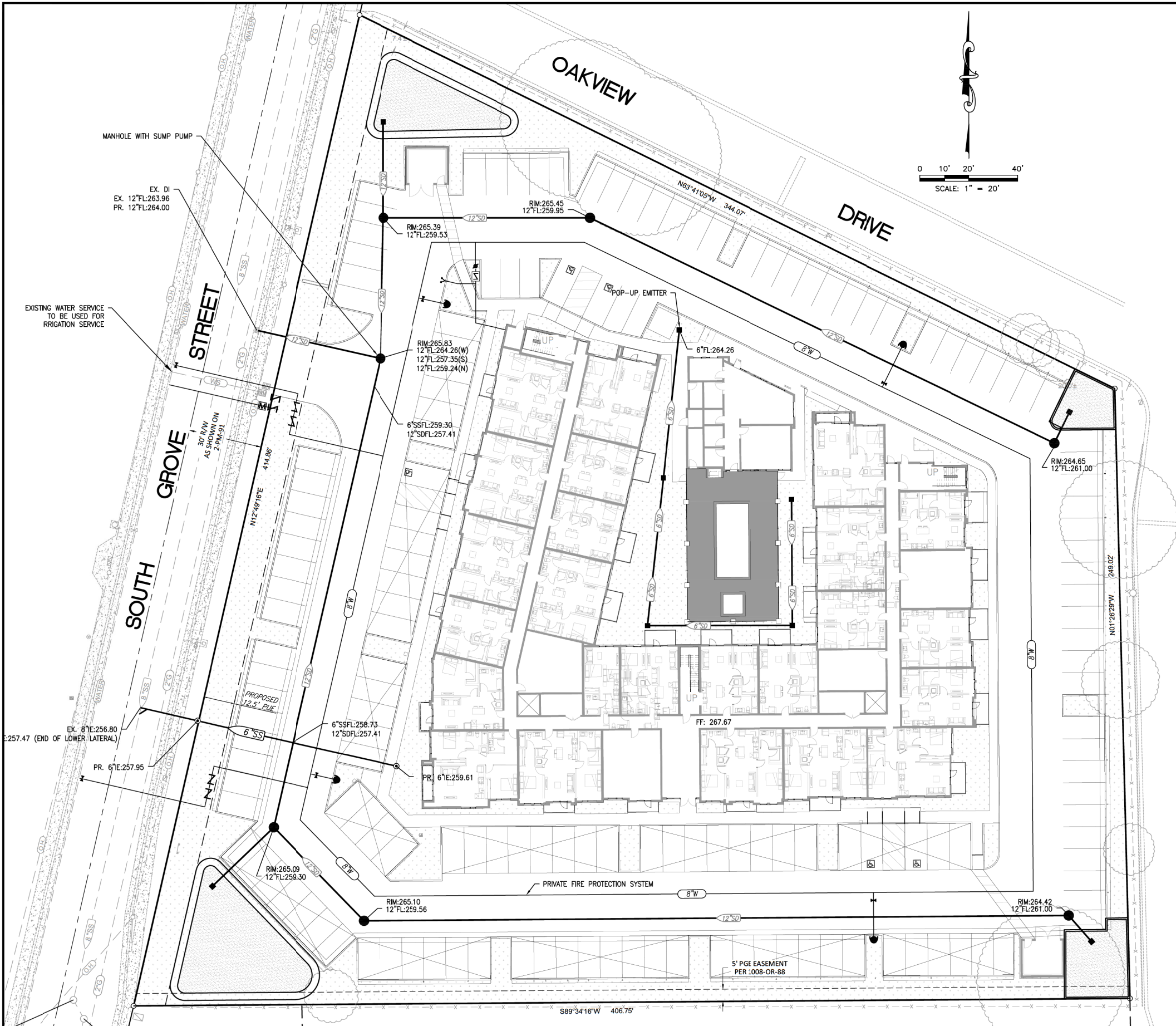


NO.	DESCRIPTION	ENGR INIT	APPROVAL BY	DATE

STORMWATER CONTROL PLAN
5345 S GROVE ST. APTS
PRELIMINARY PLANS
5345 S GROVE ST.
APN: 010-270-008-000

CITY OF ROCKLIN
CALIFORNIA

DATE: 07/02/24
SHEET
3
OF **5**



LEGEND

- DOMESTIC WATER PIPE 8"W
- DOMESTIC WATER SERVICE
- FIRE HYDRANT ASSEMBLY
- DOUBLE CHECK ASSEMBLY
- REDUCED PRESSURE
- FIRE DEPT. CONNECTION
- STORM DRAIN PIPE 12"SD
- STORM DRAIN INLET
- STORM DRAIN MANHOLE
- BIO-RETENTION PLANTER
- SANITARY SEWER PIPE 6"SS
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT

NOTES

- ALL EXISTING WET UTILITY SERVICES FOR THE PROJECT TO BE ABANDONED IF NOT USED FOR THE PROPOSED PROJECT SITE.
- NEW WATER SERVICES (OTHER THAN FIRE) SHALL BE METERED.
- PROPOSED WET UTILITIES ARE PRELIMINARY AND SUBJECT TO CHANGE BASED ON FINAL DESIGN.
- SANITARY SYSTEM MAY REQUIRE PUMP SYSTEM. SYSTEM SHALL BE FINALIZED DURING CONSTRUCTION PLANS.

BENCHMARK ELEVATION: 246.87" (NGVD29)
CITY OF ROCKLIN ID# R 12-7; FOUND PK
NAIL AND ANDREGG WATER IN CONCRETE
FOUNDATION OF DI - NORTH SIDE OF CHINA
GARDEN ROAD. SEE SURVEY NOTE #7.
CONVERSION CALCULATION:
NAVD1988 ELEVATION: 249.38 FEET
NGVD1929 ELEVATION: 246.87 FEET
DIFFERENCE IN ELEVATION: 2.51 FEET

JTS ENGINEERING CONSULTANTS, INC.
1808 J STREET
SACRAMENTO, CALIFORNIA 95811 (916) 441-6708

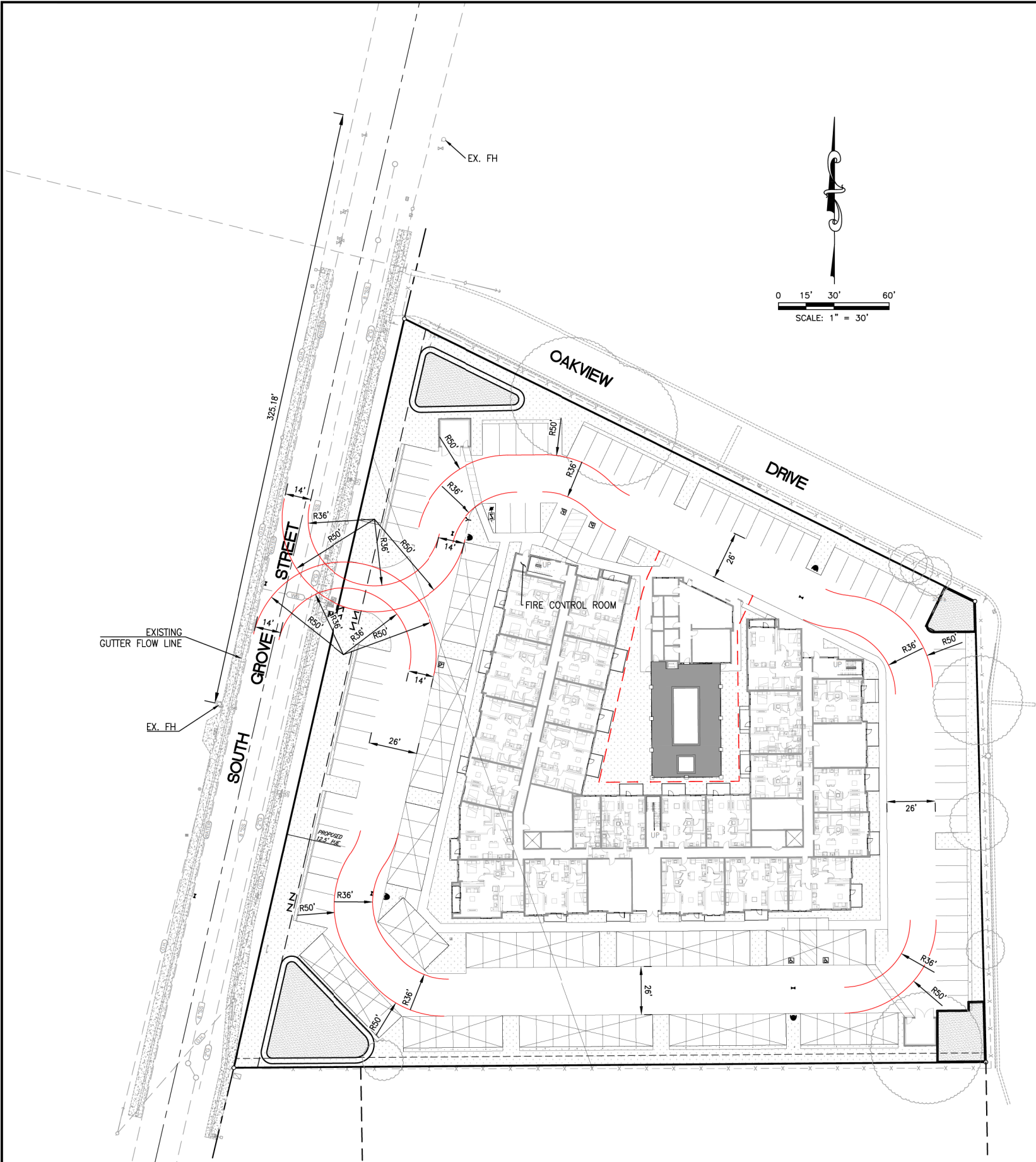
DESIGNED:	TEG
DRAWN:	TEG
CHECKED:	PHYA
SUBMITTED:	PASTOR H. Y. ABEJUELA III RCE: 94339



NO.	DESCRIPTION	ENGR INIT	APPROVAL BY	DATE

UTILITY PLAN
5345 S GROVE ST. APTS
PRELIMINARY PLANS
5345 S GROVE ST.
APN: 010-270-008-000
CITY OF ROCKLIN, CALIFORNIA

DATE: 07/02/24
SHEET
4
OF 5



LEGEND

- 20' FIRE ACCESS PATH, UNLESS OTHERWISE NOTED.
- ≤150' PATH OF FIRE HOSE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT

BUILDING ANALYSIS

SQUARE-FOOTAGE:	84,930
TYPE OF CONSTRUCTION:	V-A
REQUIRED FIRE FLOW:	5,250 GPM
FLOW DURATION:	4 HOURS
FIRE SPRINKLERS:	NFPA 13

HYDRANT REQUIREMENTS

MINIMUM NUMBER OF HYDRANTS:	6
AVERAGE SPACE BETWEEN HYDRANTS:	300'
MAXIMUM DISTANCE FROM ANY POINT ON FRONTAGE ROAD TO HYDRANT:	180'

NOTES

1. SITE IMPROVEMENTS AND BUILDING FOOTPRINTS SHOWN FOR ENTITLEMENT PURPOSES. FINAL DEVELOPMENT SHALL BE BUILT PER CONSTRUCTION DOCUMENTS.

BENCHMARK ELEVATION: 246.87' (NGVD29)
CITY OF ROCKLIN ID# R 12-7: FOUND PK
NAIL AND ANDREGG WATER IN CONCRETE
FOUNDATION OF DI - NORTH SIDE OF CHINA
GARDEN ROAD. SEE SURVEY NOTE #7.
CONVERSION CALCULATION:
NAV1988 ELEVATION: 249.38 FEET
NGVD1929 ELEVATION: 246.87 FEET
DIFFERENCE IN ELEVATION: 2.51 FEET

JTS

ENGINEERING
CONSULTANTS, INC.

1808 J STREET
SACRAMENTO, CALIFORNIA 95811 (916) 441-6708

DESIGNED:	TEG
DRAWN:	TEG
CHECKED:	PHYA
SUBMITTED:	PASTOR H. Y. ABEJUELA III RCE:94339

SCALE:
H: 1"=30'
V: N/A



NO.	DESCRIPTION	ENGR INIT	APPROVAL BY	DATE

5345 S GROVE ST. APTS

PRELIMINARY PLANS

5345 S GROVE ST.

APN: 010-270-008-000

FIRE ACCESS PLAN

CITY OF ROCKLIN

CALIFORNIA

DATE: 07/02/24

SHEET

5

OF 5



CANDIDATE PLANT LIST

Botanical Name	Common Name	Water Use
----------------	-------------	-----------

Accent Trees

<i>Acer palmatum</i> 'Sangu Kaku'	Coral Bark Maple	Med
<i>Acer rubrum</i> 'Armstrong Gold'	Columnar Red Maple	Med
<i>Chitalpa tashkentensis</i> 'Pink Dawn'	Pink Dawn Chitalpa Tree	Low
<i>Cercis Canadensis</i> 'Oklahoma'	Eastern Redbud	Low
<i>Juniperus scopulorum</i> 'Skyrocket'	Skyrocket Juniper	Low

Parking Lot Trees

<i>Acer rubrum</i> 'October Glory'	Redpointe Red Maple	Med
<i>Pistachia chinensis</i>	Chinese Pistache Tree	Low
<i>Ulmus parvifolia</i> 'True Green'	Lacebark Elm Tree	Med

Street Trees

<i>Ginkgo biloba</i> 'Autumn Gold'	Autumn Gold Ginkgo	Med
<i>Koelreuteria paniculata</i>	Goldenrain Tree	Low
<i>Quercus lobata</i>	Shumard Oak	Low

Shrubs/ Perennials/Grasses

<i>Agave</i> 'Blue Flame'	Blue Flame Agave	Low
<i>Anigozanthos</i> spp.	Kangaroo Paw	Low
<i>Calamagrostis</i> a. 'Karl Forester'	Feather Reed Grass	Low
<i>Calandrinia spectabilis</i> 'Shining Pink'	Rock Purslane	Low
<i>Callistemon</i> v. 'Little John'	Dwarf Bottle Brush	Low
<i>Cistus</i> 'Mickie'	Dwarf Rockrose	Low
<i>Dianella revoluta</i> 'Cool Vista'	Cool Vista Flax Lily	Med
<i>Hesperaloe parvifolia</i> 'Brake Lights'	Brake Lights Red Yucca	Low
<i>Lomandra</i> 'Lime Tuff'	Lime Tuff Matt Rush	Med
<i>Nandina domestica</i> 'Lemon Lime'	Heavenly Bamboo	Low
<i>Pennisetum</i> a. 'Hameln'	Fountain Grass	Low
<i>Perovskia</i> a. 'Blue Jean Baby'	Russian Sage	Low
<i>Salvia greggii</i> 'Furman's Red'	Autumn Sage	Low

Groundcovers

<i>Myoporum parvifolium</i> 'Fine Leaf Form'	Myoporum	Low
<i>Arctostaphylos uva-ursi</i>	Groudcover Manzanita	Low

Bioretention Plants

<i>Chondropetalum tectorum</i>	Cape Rush	Med
<i>Carex barbarae</i>	Santa Barbara Sedge	Med
<i>Iris douglasiana</i>	Douglas Iris	Med

Under Oak Plants

<i>Arctostaphylos</i> 'Emerald Carpet'	Emerald Carpet	Low
<i>Baccharis</i> p. 'Pigeon Point'	Coyote Bush	Low
<i>Ceanothus</i> spp.	California Lilac	Low
<i>Penstemon</i> 'Margarita BOP'	Penstemon	Low
<i>Salvia spathaceae</i>	Hummingbird Sage	Low

PROJECT LANDSCAPE

TOTAL PROPOSED LANDSCAPE AREA: 25,624 SF

WATER CONSERVATION STATEMENT

The proposed design shall be in compliance with the criteria of the Model Water Efficient Landscape Ordinance, and such criteria shall be applied for the efficient use of water in the irrigation design plan.



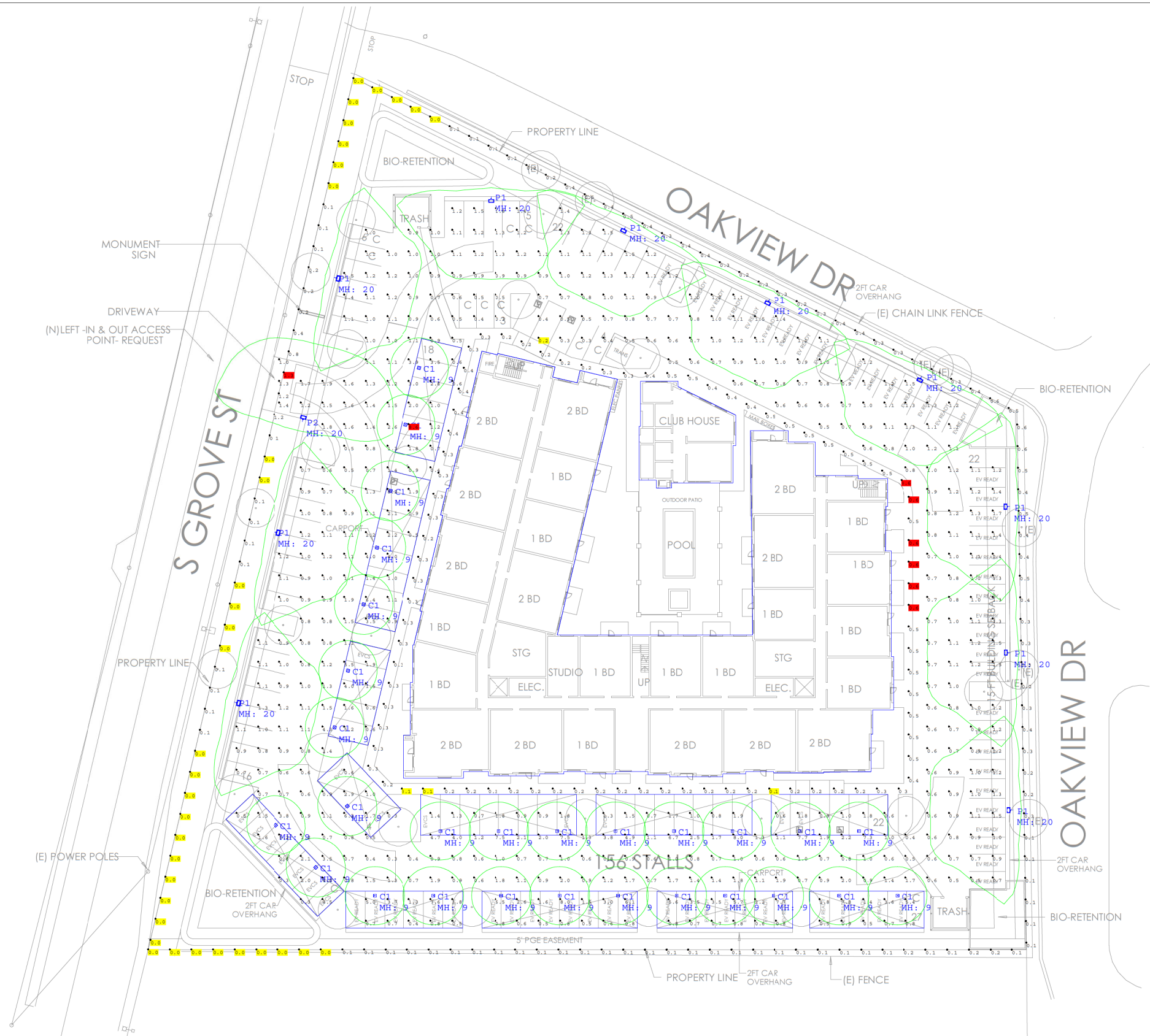
PARKING LOT SHADE CALCULATION

Size	Credit	Sq. Ft.	Shade Credit
35' Dia.	100%	962	(7) (962) = 6,734
	75%	722	(2) (722) = 1,444
	50%	481	(15) (481) = 7,215
	25%	240	(2) (240) = 480
			Total: = 15,873

Total sq. ft. of shaded area in calculation: 15,873

Total sq. ft. of paved parking in calculation: 30,408

Percentage of shade provided: 52%



Scale: 1 inch= 20 Ft.

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Total Watts
	28	C1	Single	PIL MIMIK20 #M20C-24-XX-3K-UNV-0-10V	0.850	1870	672
	1	P2	Single	LUMARK PREVAIL #PRV-P-PA1B-730-U-T3-HSS	0.850	5069	52.8
	10	P1	Single	LUMARK PREVAIL #PRV-P-PA1B-730-U-T4W-HSS	0.850	4938	52.8

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Building Perimeter Sidewalk	Illuminance	Fc	0.34	0.6	0.1	3.40	6.00
Parking and Drives	Illuminance	Fc	1.40	8.6	0.2	7.00	43.00
Property Line	Illuminance	Fc	0.19	1.3	0.0	N.A.	N.A.

All values shown are maintained horizontal footcandle at grade level.
The lighting calculations provided in this report approximate the light levels expected within the space as defined and are based on the information provided to Cal Lighting. Please verify the data to assure the accuracy of the report. Cal Lighting is not responsible for light output of lamps and ballasts, or design variables.

#	Date	Comments

Revisions

Application Designer: ASP
Designer: COL
Date: 6/20/2024
Scale: 1" = 20' 0"