



New Project Information

The City of Rocklin is processing the below referenced application(s) for project approval. The request is now being reviewed for compliance with the requirements and regulations of relevant City, State, and Federal agencies, and Utility providers. Once any issues have been resolved a hearing date will be set and public notice provided to alert neighbors and interested parties of the hearing date, availability of project information, the opportunity to comment on the project.

Application Received: June 24, 2025

Project Name and Requested Approvals:

Destiny Christian School

ZONING AMENDMENT, Z2025-0002
CONDITIONAL USE PERMIT, U2025-0003
DESIGN REVIEW, DR2025-0007
ENVIRONMENTAL, ENV2025-0011

Staff Description of Project:

The project involves a request to establish a school within an existing building. To accommodate this use, the applicant is seeking a zoning amendment to allow "Schools" as a conditionally permitted use in the current zoning district, to be processed concurrently with the project. The proposed school would serve up to 250 students with 15 staff members at peak enrollment. Site modifications include the addition of an outdoor play area featuring shade structures and basketball courts. A new 6-foot-tall CMU sound wall is also proposed along the portion of the play area adjacent to Highway 65.

Location:

6850 Five Star Boulevard, Suite 1; Assessor's Parcel Number (APN) 016-351-016

Land Use Designation(s)/Zoning:

The property is designated Retail Commercial (RC) in the Rocklin General Plan and zoned Planned Development Commercial (PD-C) under the Five Star General Development Plan.

The project is proposing to modify the Five Star General Development Plan to allow "Schools" as a conditionally permitted use within this zoning district. Therefore, this project **XX does** / **does not** require modification or change of the land use designations and regulations currently applicable to the project site.

Compliance with the California Environmental Quality Act:

A preliminary review of this project pursuant to the California Environmental Quality Act (CEQA) has tentatively identified a Categorical Exemption as the appropriate level of environmental review for this project.

Applicant & Property Owner:

The owner and applicant is Destiny Christian School (Greg Fairrington).

Attached Information:

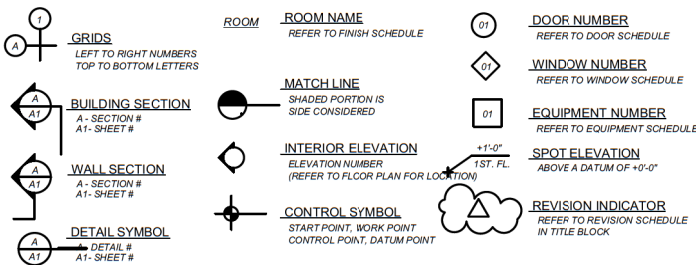
For additional detail, please visit the following link: <https://www.rocklin.ca.us/post/>

ABBREVIATIONS			GENERAL NOTES		
(E) EXISTING	ISW	INDIRECT WASTE	1. DO NOT SCALE OFF DRAWINGS—IF DIMENSIONS ARE MISSING OR ARE NOT INFERABLE FROM EXISTING BUILDING SYSTEMS, CONTACT ARCHITECT FOR DIRECTION. CONTRACTOR ASSUMES RESPONSIBILITY FOR WORK COMPLETED UNDER UNSURE CIRCUMSTANCES. 2. CONTRACTOR SHALL VISIT SITE PRIOR TO BIDDING, AND BECOME GENERALLY FAMILIAR WITH ON-SITE AND OFF-SITE CONDITIONS WHICH AFFECT THE WORK AND PROCESSES OF CONSTRUCTION. THE TERM CONTRACTOR AS STATED HEREIN SHALL ALSO INCLUDE ALL SUB-CONTRACTORS. 3. ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND SHALL COMPLY WITH UNIFORM BUILDING CODES AS WELL AS C.A.C. TITLE 24 AND THE ADA. 4. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. SHOULD A DISCREPANCY APPEAR BETWEEN DRAWINGS AND SPECIFICATIONS, OR IN WORK COMPLETED BY OTHERS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT AND OWNER FOR DIRECTION. CONTRACTOR ASSUMES RESPONSIBILITY FOR WORK COMPLETED, ONCE THE CONTRACTOR HAS PROCEEDED WITH WORK HE ASSUMES ACCEPTANCE OF SUBSTRATES OR CONDITIONS. 5. THE CONTRACTOR SHALL CONFINED HIS OPERATIONS ON THE SITE TO AREAS AS PERMITTED BY THE OWNER. THE WORK SHALL BE COMPLETED IN ACCORDANCE WITH APPLICABLE LAWS, LOCAL ORDINANCES, AND BUILDING CODES. THE JOBSITE SHALL BE MAINTAINED CLEAN AND ORDERLY WITH RESPECT GIVEN TO CONCURRENT BUSINESS OPERATIONS. ALL DEBRIS AND STORED MATERIALS SHALL BE HANDLED ON A DAILY BASIS SO AS NOT TO ENCLUMBER THE SITE. ALL DEBRIS OR CONSTRUCTION DEMOLITION MATERIALS SHALL BE DISPOSED OF IN A LEGAL MANNER. 6. MATERIALS STORED ON SITE SHALL BE SECURED AND MAINTAINED TO PREVENT DAMAGE OR THEFT. 7. THE CONTRACTOR SHALL PROVIDE ALL CUTTING, FITTING, AND PATCHING AS REQUIRED TO MAKE PARTS MATCH AND OR FIT TOGETHER. CONTRACTOR SHALL BE REQUIRED TO MATCH EXISTING SURFACES WHERE PATCHING OPERATIONS OCCUR. 8. NO PORTIONS OF WORK REQUIRING A SHOP DRAWING OR SUBMITTAL SHALL BE COMMENCED PRIOR TO ARCHITECT'S OWNERS ACCEPTANCE. 9. PROVIDE ALL NECESSARY BACKING, BLOCKING, AND FRAMING FOR LIGHT FIXTURES, BRACKETS, ACCESSORIES, VANITIES, DRINKING FOUNTAINS, MOVEABLE PARTITIONS, GRAB BARS AND OTHER ITEMS SHOWN ON DRAWINGS REQUIRING ADDITIONAL SUPPORT. 10. FIELD VERIFY STUD FRAMING TO ASSURE SIMILAR WALL THICKNESSES AND ALIGNMENT WITH FULL LENGTH WALLS. 11. ALL MATERIALS AND LABOR INDICATED TO BE PROVIDED AS A PART OF WORK SHALL BE FURNISHED AND INSTALLED COMPLETE, AND IN PLACE, UNLESS NOTED OTHERWISE (UNO), OR SHALL BE SPECIFICALLY EXCLUDED AS PART OF BID OR NOTED AS N.I.C. (NOT IN CONTRACT) ON DRAWINGS. 12. SUBSTITUTIONS SHALL NOT BE ACCEPTED UNLESS SO APPROVED BY ARCHITECT/OWNER IN WRITING. 13. UNLESS OTHERWISE NOTED, SHOWN, DETAILED AND/OR SPECIFIED HEREIN, ALL MATERIALS, INSTALLATION, FABRICATION CONSTRUCTION AND OR LABOR SHALL BE "BUILDING STANDARD" OR BETTER. 14. CONTRACTORS SHALL FURNISH GUARANTEES OF ONE YEAR FOR WORK AND EQUIPMENT FURNISHED OR AS PER REQUEST OF OWNER. 15. CEILING GRID SHALL CONFORM TO SEC. 1016.10.16 OF THE 2019 CBC. 16. ALL FINISHES SELECTED SHALL CONFORM TO CHAPTER 8 OF THE 2016 CBC. 17. DUPLEX OUTLETS SHALL NOT BE PLACED BACK-TO-BACK ON ANY WALL. 18. PROVIDE ILLUMINATED EXIT SIGNS AS REQUIRED BY SECTION 1013 OF THE 2019 CBC. 19. PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY LOCAL CODE.		
(ER) EXIST. TO BE REUSED/RELOCATED	IN	INCHES			
(S) MEMBER	INCL	INCLUDING			
(F) MEMBER	INSL	INSULATION			
(AFI) ARC FAULT CIRCUIT INTERRUPTER	ISA	INTERNAT. SYMBOL OF ACCESS.			
(AFF) ABOVE FINISHED FLOOR	LAV	LAVATORY			
(ACQ) ACQUISITION	MAN	MANUFACTURED			
(AHJ) AUTHORITY HAVING JURISDICTION	MFG	MANUFACTURER			
(ALUM) ALUMINUM	MAY	MAYNIN			
(BLDG) BUILDING	MECH	MECHANICAL			
(BD) BOARD	MIN	MINIMUM			
(BLGS) BLOORING	MTL	METAL			
(BM) BEAM	NA	NOT APPLICABLE/AVAILABLE			
(CAB(S)) CABINET(S)	NFC	NOT FOR CONSTRUCTION			
(CFC) CALIFORNIA BUILDING CODE	NFV	NET FREE VENT			
(CEC) CALIFORNIA ELECT CODE (T24)	NO#	NUMBER			
(CEL) CEILING	NTS	NOT TO SCALE			
(CFC) CALIFORNIA FIRE CODE	OC	ON CENTER			
(CJ) CONST/CONTROL JOINT	OH	OVERHANG			
(CLR) CLEAR	OL	OCCUPANT LOAD			
(CMC) CALIFORNIA MECH CODE	OCUP	OCCUPANCY			
(CO) CLEANOUT	OP	OPERATORY			
(COL(S)) COLUMNS	OS	OCCUPANCY SENSOR			
(COMC) CONCRETE	OSB	ORIENTED STRAND BOARD			
(CONST) CONSTRUCTION	PLUMB	PLUMBING			
(CT) CERAMIC TILE	PLYWD	PLYWOOD			
(CPC) CALIFORNIA PLUMB CODE	POC	POINT OF CONNECTION			
(CRC) CALIFORNIA RESIDENTIAL CODE	PT	PRESSURE TREATED			
(CW) COLD WATER	PTD	PAPER TOWEL DISPENSER			
(DA) DISABLED ACCESS	QTY	QUANTITY			
(DAPOT) DISABLED ACCESS PATH OF TRAVEL	QTY	QUANTITY			
(DES) DESIGN	REFR	REFRIGERATOR			
(DET(S)) DETAIL(S)	REQD	REQUIRED			
(DRL) DOUGLAS FIR LARCH	ROW	RIGHT OF WAY			
(DM) DIAMETER	RS	ROUGH SAWN			
(DN) DOWN SPOUT	SC	SOLID CORE			
(DOCS) DOCUMENT(S)	SH	SHEET			
(DWG(S)) DRAWING(S)	SH	SHEET			
(DW) DRY WASH	SG	SQUARE FEET			
(EACH) EACH	SGD	SLIDING GLASS DOOR			
(EF) EXHAUST FAN	SG	SLIDING GLASS			
(EFS) EXTERIOR INSULATION FINISH SYSTEM	SH	SINGLE HUNG			
(EJ) EXPANSION JOINT	SMS	SHEET METAL SCREWS			
(ELECT) ELECTRICAL	SG	SHEET METAL SCREWS			
(EN) EDGE NAIL	SHP	SHIELD AND PILE			
(EV) ELECTRIC VEHICLE	SS	SANITARY SEWER			
(EXTER) EXTERIOR	SS	SANITARY SEWER			
(EOP) EDGE OF PAVEMENT	STRUC	STRUCTURAL			
(EV) ELECTRIC VEHICLE	SUSP	SUSPENDED			
(EXTING) EXTINGUISHER	T24	TITLE 24 (CALIF. BLDG CODE)			
(FAU) FORCED AIR UNIT (FURNACE)	T&B	TOP AND BOTTOM			
(FD) FLOOR DRAIN	TEMP GL	TEMPERED GLASS			
(FE) FIRE EXTINGUISHER	TEMP GL	TEMPERED GLASS			
(FG) FIXED GLASS	TH	THRESHOLD			
(FIXT(S)) FIXTURE(S)	TPD	TOILET PAPER DISPENSER			
(FLR) FLOOR	URNL	URINAL			
(FN) FIELD NAIL	UL	UNDERWRITERS LABORATORIES			
(FPC) FACE OF CONCRETE	TYP	TYPICAL			
(FOS) FACE OF FINISH	UC	UNDERCOUNTER			
(FOW) FACE OF WALL	UNO	UNLESS NOTED OTHERWISE			
(FR) FRIGERATED	VCT	VINYL COMPOSITION TILE			
(FRP) FIBERGLAS REIN. PANELS	VTR	VENT TO ROOF			
(FT) FEET	W	WENT			
(GFCI) GROUND FAULT CIRCUIT INTERRUPTER	W	WENT			
(GA) GAUGE	WC	WATER CLOSET (TOILET)			
(GD) GARBAGE DISPOSAL	WD	WOOD			
(GDO) GARBAGE DOOR OPENER	WH	WATER HEATER			
(GYD) GYPSUM BOARD (SHEETROCK)	WP	WATER PROOF			
(HB) HOSE BIB	WS	WEATHERSTRIPPING			
(HM) HOLLOW METAL	WWM	WELDED WIRE MESH			
(HORIZ) HORIZONTAL					

A Tenant Improvements for: Destiny Community Center PHASE 2

6850 #1 Five Star Blvd. Rocklin, California

GRAPHIC SYMBOLS



PROJECT TEAM

OWNER:	DESTINY CHRISTIAN CHURCH 6850 DESTINY DR ROCKLIN, CA PHONE/FAX gfairington@destinyrocklin.com
ARCHITECT:	WILSON PETERSON ASSOCIATES 4050 BUFFALO ROAD AUBURN, CA 95602 (530) 888-6410 BILL PETERSON wilsonpwa@aol.com
STRUCTURAL:	MIYAMOTO 1450 Hylard Drive, Suite One West Sacramento, CA 95691 T: (916) 373-1995 miyamotointernational.com
ELECTRICAL & FIRE ALARM:	REX MOORE GROUP, INC. 6001 Outfall Circle Sacramento, CA 95828 (916) 372-1300 Fax (916) 372-3542 WWW.REXMOORE.COM
MECHANICAL:	BOOMER ENGINEERING, INC. 2443 FAIR OAKS BLVD. #339 SACRAMENTO, CA. 95825 PHONE: (530) 304-9002
PLUMBING:	SACRAMENTO ENGINEERING CONSULTANTS 10555 Old Placerville Rd. Sacramento, CA 95827-2503 916-368-4468 www.saceng.com

PROJECT INFORMATION

APN: 016-350-098-000	SCOPE OF WORK:
SUBSTRUCTURE: SAWHOUT (E) CONC. S.O.G.A.S REQD.	SHELL: INSTALL NEW OVERHEAD DOOR
INTERIORS: NEW METAL FRAMED WALLS & FINISHES, NEW CEILING WHERE INDICATED	SERVICES: NEW MECHANICAL, ELECTRICAL, PLUMBING, FIRE ALARM
EQUIP./FURN.: NONE	SPEC CONST./DEMO: REMOVE (E) WALLS, CEILING AND CONSTRUCTION
SITEWORK: NEW PLAYGROUND	

CODE TYPE	YEAR	APPLICABLE CODE
BUILDING CODE	2022	CALIF BUILDING CODE
MECHANICAL CODE	2022	CALIF MECHANICAL CODE
ELECTRICAL	2022	CALIFORNIA ELECTRICAL CODE
PLUMBING	2022	CALIF PLUMBING CODE
ENERGY	2022	CALIF ENERGY CODE
FIRE	2022	CALIF FIRE CODE
DISABLED ACCESS	2022	CALIF TITLE 24
GREEN	2022	CALIF GREEN BUILDING STANDARDS

CODE ANALYSIS	
PREVIOUS USE/OCCUPANCY:	RETAIL
PROPOSED USE:	COMMUNITY CENTER
PROPOSED OCCUPANCY:	E
CONSTRUCTION TYPE:	II-B
NO. OF STORIES:	1
OCCUPANT LOAD:	1504
EXITS REQD:	4
SPRINKLERED:	YES
BASIC ALLOWABLE:	E=14,500 SF
INCREASE FOR MULTI-STORY:	NA
INCREASE FOR VARIOUS:	E= UNLIMITED (SEP. ON 4 SIDES)
INCREASE FOR FIRE EXTINGUISHER SYSTEM NA	
TOTAL ALLOWABLE AREA	UNLIMITED, Sec 907.4
TOTAL ACTUAL AREAS	53,353 SQ. FT.

PROJECT NOTES

1. A SEPARATE PERMIT IS REQUIRED FOR FIRE SPRINKLER MODIFICATIONS.
2. EXISTING NON-COMPLIANT PLUMBING FIXTURES SERVING AN AREA OF WORK ARE REQUIRED TO BE REPLACED WITH WATER CONSERVING PLUMBING FIXTURES. ALL NEW PLUMBING FIXTURES SHALL MEET THE PRESCRIPTIVE INDOOR WATER USE REQUIREMENTS OF THE 2013 CAL GREEN CODE SECTION 5.3.3.

SEPARATE PERMITS

1. FIRE SPRINKLER MODIFICATIONS
2. FIRE ALARM

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A-1.4	EXITING PLAN
A-2.1	INTERIOR ELEVATIONS
A-2.2	INTERIOR ELEVATIONS
A-2.3	INTERIOR ELEVATIONS
A-3.1	SECTIONS
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A-6.1	SCHEDULES
A-6.2	NOTES
A-6.3	NOTES-ACCESSIBILITY EXTERIOR
A-6.4	NOTES- ACCESSIBILITY INTERIOR
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S1.02	EXIST. CEILING FRAMING PLAN
S1.03	EXIST. ROOF FRAMING PLAN
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S5.01	DETAILS
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E1.0.1	T24 ENERGY DOCUMENTATION
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E5.1.2	FLOOR PLAN-POWER & SIGNAL-ROOF FLOOR PLAN-POWER & SIGNAL-ROOF
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M1.2	TITLE 24 DOCUMENTATION
M1.3	TITLE 24 DOCUMENTATION CONTINUED
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M2.2	MECHANICAL ROOF PLAN
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FA3.0.0	OVERALL FLOOR PLAN - FIRE ALARM
FA4.1.1	FLOOR PLAN AREA A - FIRE ALARM
FA4.1.2	FLOOR PLAN AREA B - FIRE ALARM
FA4.1.3	FLOOR PLAN AREA C - FIRE ALARM
FA4.1.4	FLOOR PLAN AREA D - FIRE ALARM
FA9.0.0	DETAILS - FIRE ALARM
FA9.0.1	DETAILS - FIRE LARM



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Project: A Tenant Improvement for

Destiny Community Center PHASE 2

6850 #1 Five Star Blvd.
Rocklin, CA

Architect:



Engineer:

These drawings are instruments of service and are the property of Wilson Peterson Associates. All designs and other information on the drawings are for the use on the specified project and shall not be used otherwise without the expressed written permission of Wilson Peterson Associates.

Sheet Title:

TITLE SHEET

No.	Date	Revision
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Project:
A Tenant Improvement for

Destiny Community Center PHASE 2

6850 #2 Five Star Blvd.
Rocklin, CA



Engineer:

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Sheet Title:

ENLARGED SITE PLAN

No. Date Revision



Drawn by:
NHS

Sheet No.:

Approved By:
BP

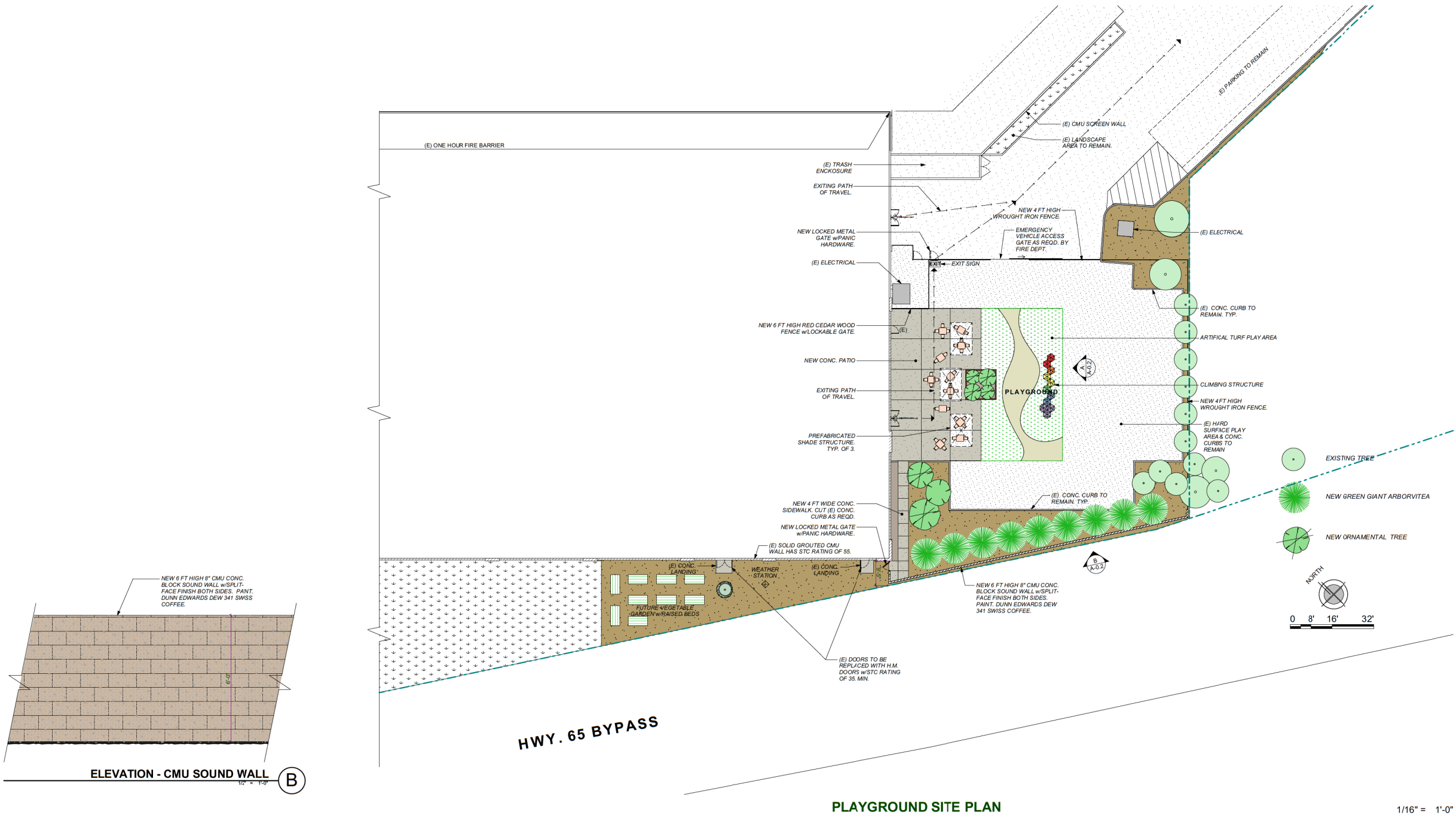
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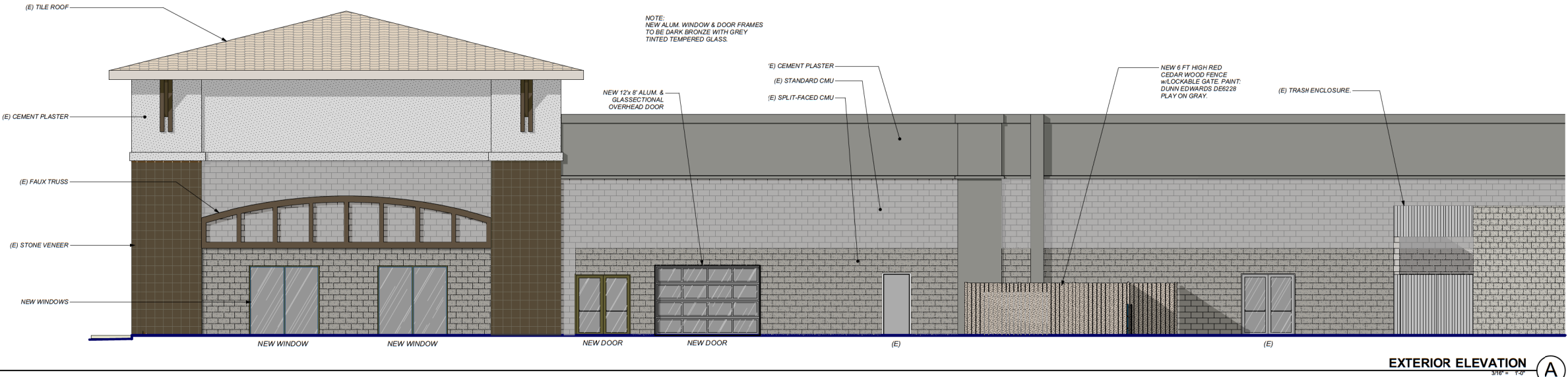
Project No.:

Plot Date
10/1/2022

A-0.2



1/16" = 1'-0"



EXTERIOR ELEVATION

3/16" = 1'-0"

A



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Project:
A Tenant Improvement for

Destiny Community Center PHASE 2

6850 #1 Five Star Blvd.
Rocklin, CA

Architect:



Engineer:

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Sheet Title:

FLOOR PLAN

No.	Date	Revision
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