



New Project Information

The City of Rocklin has begun processing the below referenced application for project approval. The request is now being reviewed for compliance with the requirements and regulations of relevant City, State, and Federal agencies, and Utility providers. Once any issues have been resolved notice will be provided to alert neighbors and interested parties of the availability of project information, the opportunity to comment on a project, and of any pending review or action.

Application Received: December 16, 2019

Project Name and Requested Approvals:

J&S ASPHALT HEADQUARTERS
DESIGN REVIEW, DR2019-0014

Staff Description of Project:

This application is a request for approval of a Design Review to allow the construction of a new company headquarters comprised of a main office (5,780 square feet), a maintenance building (4,800 square feet with mezzanine of 870 square feet), a sealer tank building (3,200 square feet), including truck and equipment storage and parking, employee and visitor parking, and associated site improvements, landscaping and appropriate hardscape. (Square footages are approximate.)

Location:

The subject site is located at 3998 Delmar Avenue. APNs 045-011-015 and -016.

Existing Land Use Designations:

The property is zoned Planned Development Light Industrial (PD-LI).
The General Plan designation is Light Industrial (LI).

This project ____ **does / XX does not** require modification or change of the land use designations and regulations currently applicable to the project site.

Compliance with the California Environmental Quality Act:

A preliminary review of this project pursuant to the California Environmental Quality Act (CEQA) has tentatively identified a Mitigated Negative Declaration as the appropriate level of environmental review for this project.

Applicant & Property Owner:

The applicant is Mitch Bjorgum with MB Arcstudo, LLC. The property owner is 3998DMA, LLC.

Attached Information:

For additional detail please see the attached information from the project application form and the submitted application exhibits.

P:\PUBLIC PLANNING FILES\Request for Comment\2020\J & S Asphalt\2-Project Information.docx



City of Rocklin

Planning Division
3970 Rocklin Road
Rocklin, California 95677
Phone (916) 625-5160 FAX (916) 625-5195

UNIVERSAL APPLICATION FORM

NAME OF PROJECT: J&S Asphalt

LOCATION: 3998 Delmar Ave.

ASSESSOR'S PARCEL NUMBERS: 045-011-015-000 & 045-011-016-000

DATE OF APPLICATION (STAFF): 12/16/19 RECEIVED BY (STAFF INITIALS): JS

FILE NUMBERS (STAFF): DR2019-0014 FEES:

RECEIPT NO.: R351A2

Pre-Application Meeting Requirements:

It is required that a pre-application meeting be held with a Staff Planner prior to submitting most applications for planning entitlements and permits. The purpose of the pre-application meeting is to expedite application processing by enabling staff to work with the applicant to assure that the officially submitted application materials are in the proper format and that the applicant understands the City of Rocklin's goals, policies, and ordinances that may affect the project. A copy of these and other planning provisions is available at the applicant's request.

Generally, two sets of preliminary plans and a written description of the proposed project should be brought with the applicant to the pre-application meeting. To schedule this meeting, please contact a Staff Planner at the Rocklin Community Development Department by calling (916) 625-5160.

DATE OF PRE-APPLICATION MEETING: 1/10/19

THIS APPLICATION IS FOR THE FOLLOWING ENTITLEMENTS: (CHECK APPROPRIATE SQUARES)

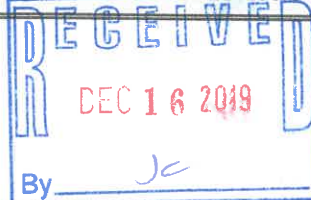
- | | | |
|--|---|--|
| ☐ General Plan Amendment (GPA)
Fee: \$11,434 (< 100 Acres)
\$ 2,565 (each add'l 100 Acres) | ☐ Tentative Subdivision Map (SD)
Fee: \$17,715 (1 st 50 lots)
\$2,188 (each add'l 50 lots)
\$10,337 Modification | ☐ Use Permit (U)
☐ Minor (PC Approval - New Bldg) Fee: \$9,888
☐ Minor (PC Approval - Existing Bldg) Fee: \$7,496
☐ Major (CC Approval) Fee: \$13,252 |
| ☐ Rezone (Reclassification) (Z)
Fee: \$9,846 < 20 acres
\$10,850 > 20 acres | ☐ Tentative Parcel Map (DL)
Fee: \$9,888 | ☐ Variance (V)
Fee: \$5,036 |
| ☐ General Development Plan (PDG)
Fee: \$13,475 | ☒ Design Review (DR) 13,484
Commercial Fee: \$9,888
Residential Fee: \$6,097
Signs Fee: \$4,233 | ☐ Oak Tree Preservation Plan Permit
Planning Commission Fee: \$ 915
City Council Fee: \$1,232 |
| ☐ Concurrent Application (2 or more entitlements)
Fee: \$15,845
\$2,142 (each add'l 50 lots or 100 acres) | | ☐ Modification to Approved Projects
Fee: \$3,481 |

File Number

Environmental Requirements: (STAFF)

- ☐ Exempt - \$1,277.00
☐ Negative Declaration - \$5,166.00

- ☒ Mitigated Negative Declaration - \$6,311.00 5683
☐ EIR - See Fee Schedule



UNIVERSAL APPLICATION FORM (CONT.)

GENERAL PLAN DESIGNATION:	PROPERTY DATA:	UTILITIES:	
		EXISTING	PROPOSED
Existing: -LI	Acres: <u>4.6 AC GROSS</u>	☒ Pub. Sewer	☒ Pub. Sewer
Proposed: LI	Square Feet: <u>200,376 SF</u>	☐ Septic Sewer	☐ Septic Sewer
Zoning:	Dimensions: <u>400'x490'</u>	☒ Pub. Water	☒ Pub. Water
Existing: PD-LI	No. of Units: _____	☐ Well Water	☐ Well Water
Proposed: PD-LI	Building Size: <u>13,780 sf total</u>	☒ Electricity	☒ Electricity
	Proposed Parking: <u>52 spaces</u>	☒ Gas	☒ Gas
	Required Parking: <u>56 spaces</u>	☒ Cable	☒ Cable
	Access: <u>from Delmar Ave.</u>		

PROJECT REQUEST: Design review request for a:

Proposed new site development of a 4.6 ac site for construction of a new company

headquarters for J&S Asphalt. The buildings include a new approx. 5780 sf main office

building, a 4800 sf maintenance building with an 870 sf mezzanine and a 3200 sf sealer

tank building. The new site development will contain vehicle parking for employees

and equipment parking located in the rear of the property.

(Example: Request for approval of design review to construct a 10,000 square foot office building on 1.5 acres)

NOTE: Annexations, Lot Line Adjustments, and Rocklin Ranch Industrial Park Specific Plan Use Permits require special application forms and additional submittal information available from the Planning Division.

UNIVERSAL APPLICATION FORM (CONT.)

PLEASE PRINT OR TYPE:

NAME OF PROPERTY OWNER: 3998DMA, LLC

ADDRESS: 4512 Yankee Hill Ct.

CITY: Rocklin STATE: CA ZIP: 95677

PHONE NUMBER: 916-624-8855

EMAIL ADDRESS: todd@jsasphalt.net , roy@jsasphalt.net

FAX NUMBER: 916-624-8879

Roy Sampson, Pres.
Todd Johnson, VP

SIGNATURE OF OWNER 

(Signature Authorizing Application; provide owner's signature letter if signature is other than property owner.)

NAME OF APPLICANT Mitch Bjorgum Architect, MB Arcstudio LLC
(If different than owner):

CONTACT: _____

ADDRESS 950 Glenn Dr. #130

CITY: Folsom STATE: CA ZIP: 95630

PHONE NUMBER: 916-276-0851

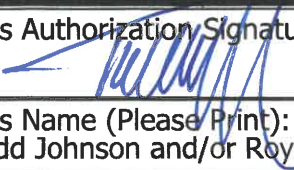
EMAIL ADDRESS: mitch@mbarcstudio.com

FAX NUMBER: _____

SIGNATURE OF APPLICANT  

AGENT AUTHORIZATION FORM

Property owners desiring to authorize individuals to represent them in conjunction with any application or matter before the City shall provide written authorization using this form. A separate form shall be used for each individual or firm authorized, and shall specifically note any restrictions upon the authorized person.

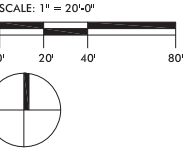
Project Name:	J&S Asphalt
Location:	3998 Delmar Ave
Assessors Parcel Number(s):	045-011-015-000 & 045-011-016-000
Entitlements for which authorization is applicable (use permit, variance, tentative map, etc.):	Design review
Name of person and / or firm authorized to represent property owner (Please print):	Mitch Bjorgum Architect, MB Arcstudio, LLC
Address (Including City, State, and Zip Code):	950 Glenn Dr. #130, Folsom, CA 95630
Phone Number:	916-276-0851
Fax Number:	
Email Address:	mitch@mbarcstudio.com
The above named person or firm is authorized as:	Agent (☒) Buyer (☐) Lessee (☐)
The above named person or firm is authorized to (check all that are applicable):	
(☐)	File any and all papers in conjunction with the aforementioned request, including signing the application
(☒)	Speak on behalf of and represent the owner at any Staff meeting and/or public hearing.
(☐)	Sign any and all papers in my stead, with the exception of the application form.
The duration and validity of this authorization shall be:	
(☒)	Unrestricted (☐) Valid until:
Owners Authorization Signature & Date:	
Owners Name (Please Print):	Todd Johnson and/or Roy Sampson
Owners Address (Including City, State, and Zip Code):	4512 Yankee Hill Ct., Rocklin, CA 95677
Phone Number:	916-624-8855
Email Address:	todd@jsasphalt.net , roy@jsasphalt.net

SHEET NOTES

- 1 FENCE
- 2 NEW SIDEWALK
- 3 SECURED ACCESS SLIDING GATE
- 4 CONCRETE PAD FOR TRUCK & EQUIPMENT WASH AREA
- 5 NOT USED
- 6 TRASH DUMPSTER
- 7 22 YD. TRASH DUMPSTER
- 8 COVERED PARKING AREA WITH SOLAR PANELS
- 9 EXISTING NATURAL HABITAT
- 10 PATIO AREA
- 11 LANDSCAPED AREA
- 12 ROOF CANOPY
- 13 TOP OF BANK LINE
- 14 TOP OF BANK SETBACK LINE
- 15 FIRE TRUCK TURNING RADIUS
36' INSIDE AND 50' OUTSIDE

PROJECT DESCRIPTION:

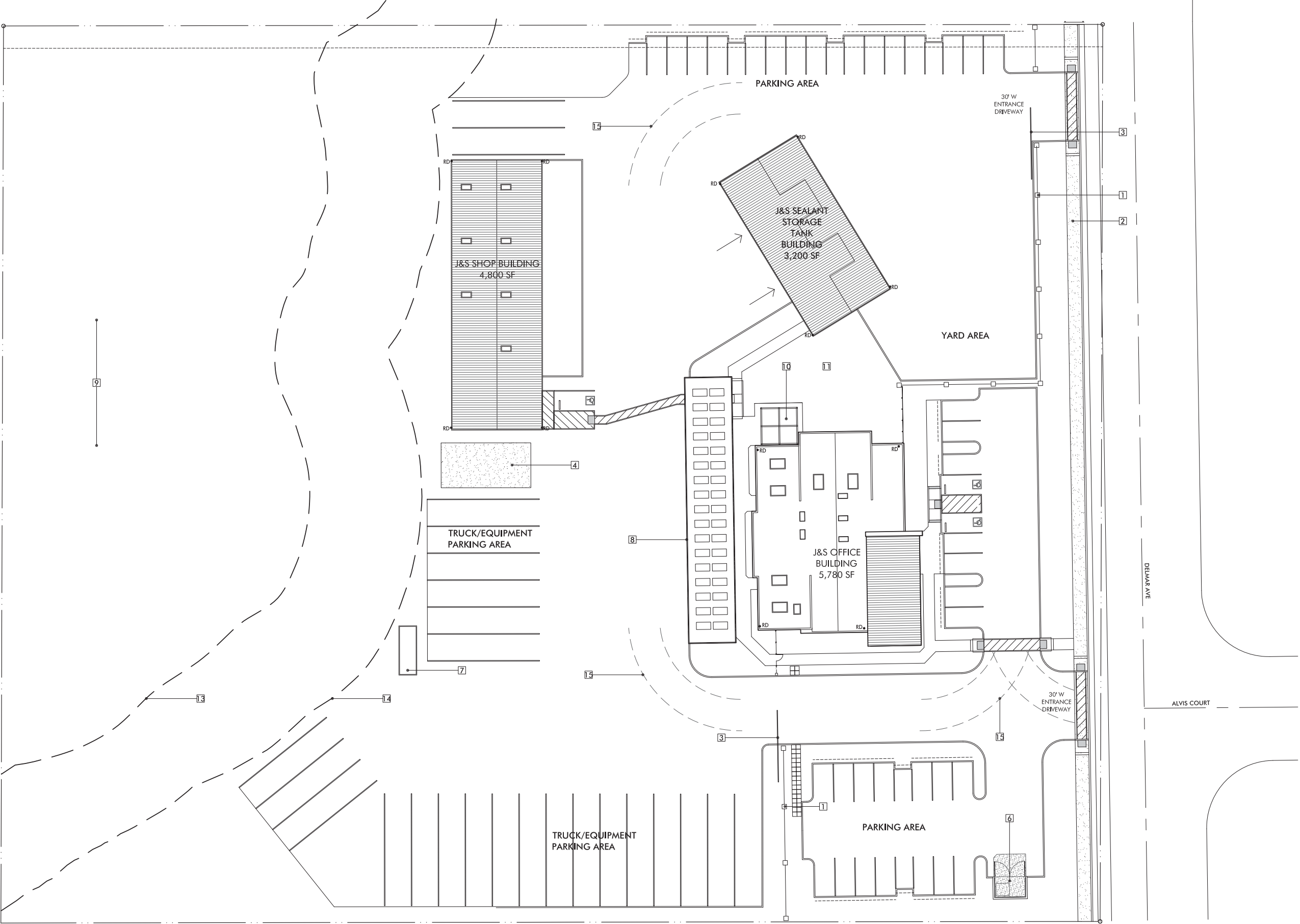
PARCEL NUMBER:	045-011-015-000 045-011-015-000
JOBSITE ADDRESS:	3998 DELMAR AVE.
LOT AREA:	TOTAL = APPROX. 4.6 AC (2.3 AC. EACH)
ZONING:	PD-U
BUILDING USE:	OFFICE, MAINTENANCE/SHOP, STORAGE
BUILDING AREAS:	OFFICE: ± 5780 SF MAINTENANCE/SHOP: ± 4800 SF & 870 SF MEZZANINE STORAGE: ± 3200 SF
PARKING:	OFFICE: 29 SPACES SHOP: 20 SPACES STORAGE: 3 SPACES TOTAL REQUIRED: 52 SPACES TOTAL PROVIDED: 56 SPACES



OVERALL SITE PLAN

J&S ASPHALT HEADQUARTERS

3998 DELMAR AVE
ROCKLIN, CA. 95677

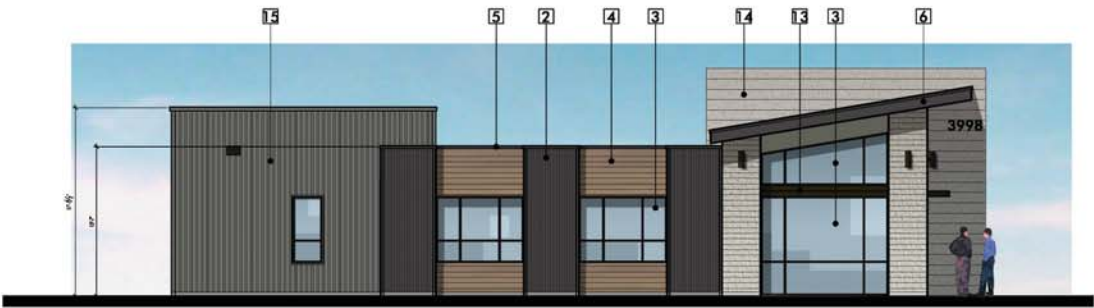




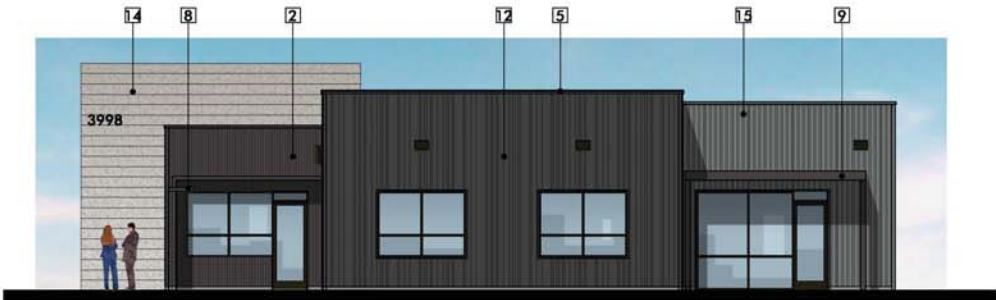
OFFICE RENDERING



EAST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



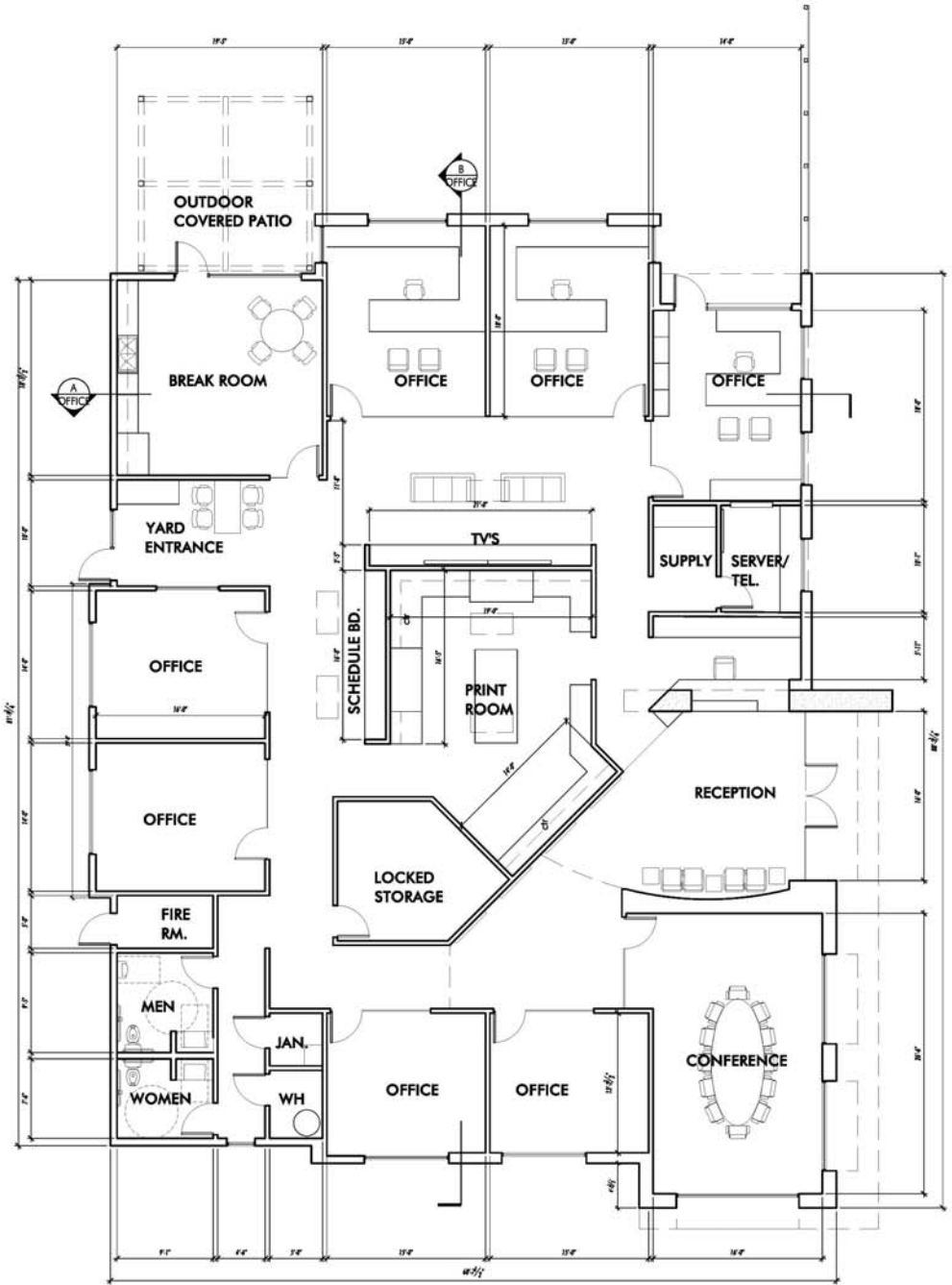
NORTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"

SHEET NOTES

- 1 HORIZONTAL BOARD FORMED CONCRETE WALL PANEL W/ 2x12 HORIZ. BOARDS
- 2 PANEL 2: VERTICAL METAL WALL SIDING NU WAY CORRUGATED COLOR: MIDNIGHT BRONZE
- 3 ALUMINUM STOREFRONT WINDOW SYSTEM COLOR: DARK BRONZE
- 4 HORIZONTAL WOOD RAINSCREEN IPE OR CEDAR WOOD WITH BROWN TONED STAIN TBD
- 5 METAL ROOF TRIM/FLASHING COLOR: MIDNIGHT BRONZE
- 6 METAL FASCIA COLOR: MIDNIGHT BRONZE
- 7 STUCCO WALL ABOVE STOREFRONT- COLOR: GREY
- 8 STEEL FRAME FENCE WITH HORIZONTAL 2x6 IPE BOARD SLATS STEEL FRAME COLOR: DARK BROWN, IPE TO MATCH ITEM 4
- 9 ALUMINUM OR STEEL FREE-STANDING PATIO STRUCTURE @ OUTDOOR BREAK/LUNCH AREA - COLOR: DARK BROWN
- 10 NOT USED
- 11 STUCCO SOFFIT - COLOR: GREY
- 12 PANEL 1: RANDOM WIDTH VERTICAL METAL WALL PANELS COLOR: MATTE BLACK
- 13 METAL SUNSCREEN - COLOR DARK BRONZE
- 14 HORIZONTAL BOARD FORMED CONCRETE WALL PANEL BEYOND
- 15 PANEL 3: VERTICAL METAL WALL SIDING - COLOR ZINC GRAY
- 16 METAL ROOF BEYOND - COLOR OLD TOWN GRAY
- 17 ALUMINUM STOREFRONT ENTRANCE DOORS COLOR: DARK BRONZE
- 18 WALL PACK LIGHT - COLOR BLACK
- 19 UP/DOWN WALL LIGHT - COLOR DARK BROWN

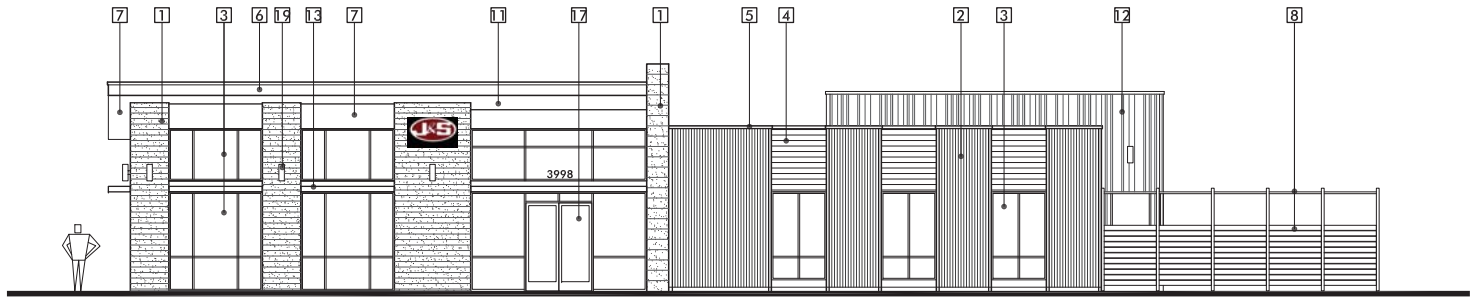


OFFICE FLOOR PLAN
SCALE: 1/8" = 1'-0"
± 5780 SF

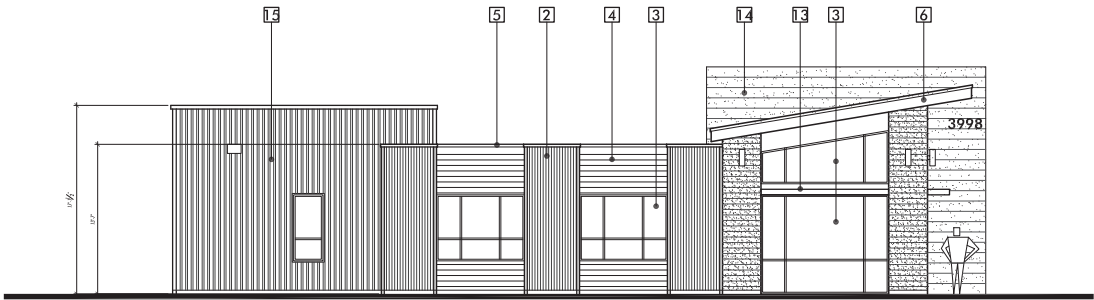
MAIN OFFICE
BUILDING

J&S ASPHALT
HEADQUARTERS

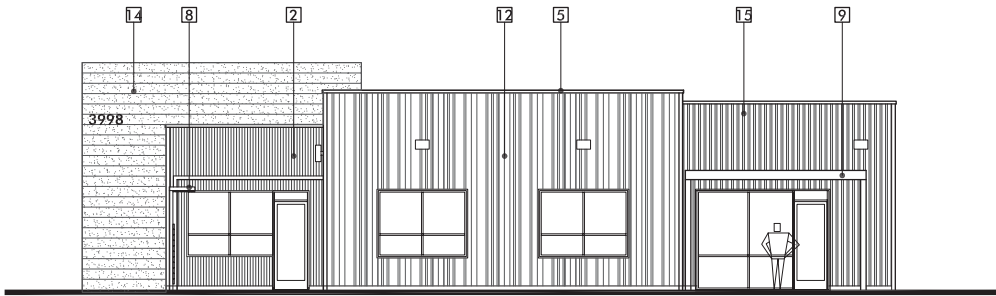
3998 DELMAR AVE
ROCKLIN, CA. 95677



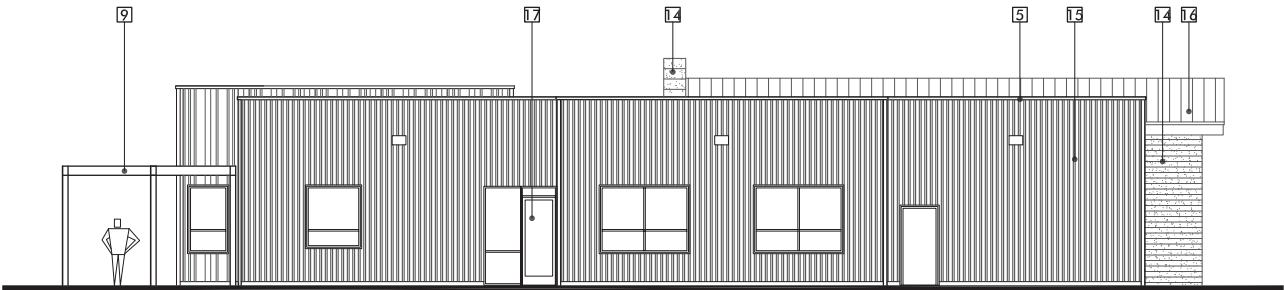
EAST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



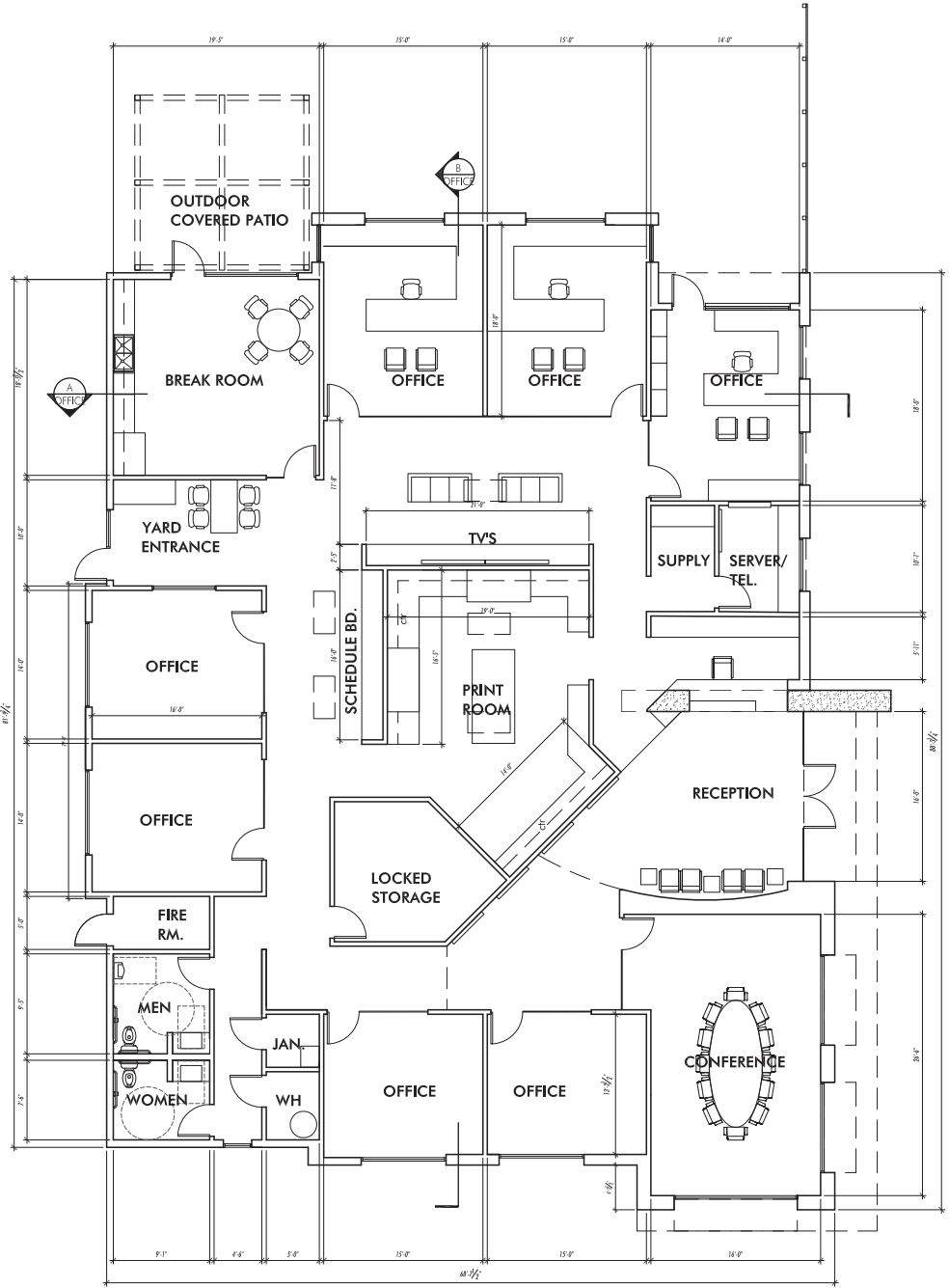
NORTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"

SHEET NOTES

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- 17 ALUMINUM STOREFRONT ENTRANCE DOORS COLOR: DARK BRONZE
- 18 WALL PACK LIGHT - COLOR BLACK
- 19 UP/DOWN WALL LIGHT - COLOR DARK BROWN



OFFICE FLOOR PLAN
SCALE: 1/8" = 1'-0"
± 5780 SF

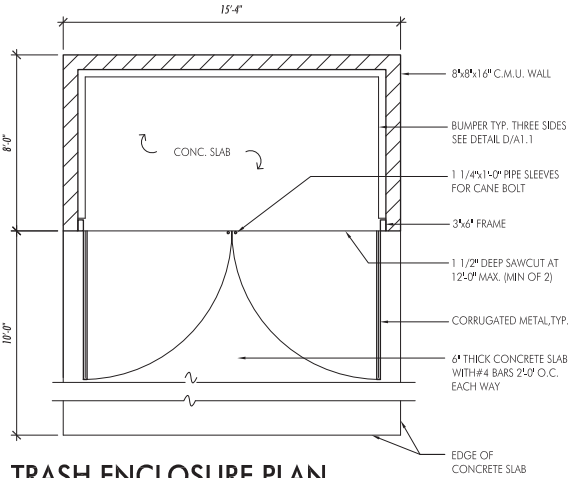
MAIN OFFICE
BUILDING

J&S ASPHALT
HEADQUARTERS

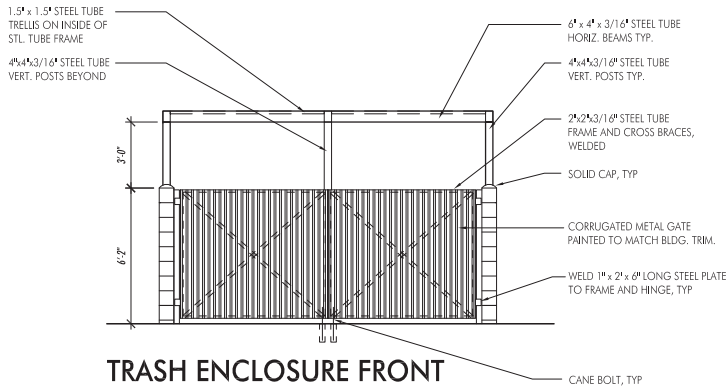
3998 DELMAR AVE
ROCKLIN, CA. 95677

SHEET NOTES

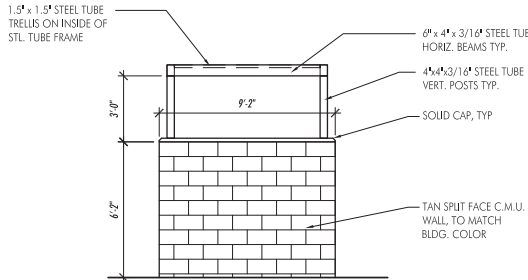
- 1 STANDING SEAM METAL ROOF
- 2 TOP OF BOARD FORMED CONCRETE WALL
- 3 SINGLE PLY ROOF MEMBRANE
- 4 HVAC UNITS TYP.
- 5 SKYLIGHTS TYP.
- 6 SOLAR PANELS TYP.
- 7 FENCE BELOW
- 8 PATIO STRUCTURE BELOW
- 9 BOARD FORMED CONCRETE WALL BEYOND
- 10 METAL WALL PANEL



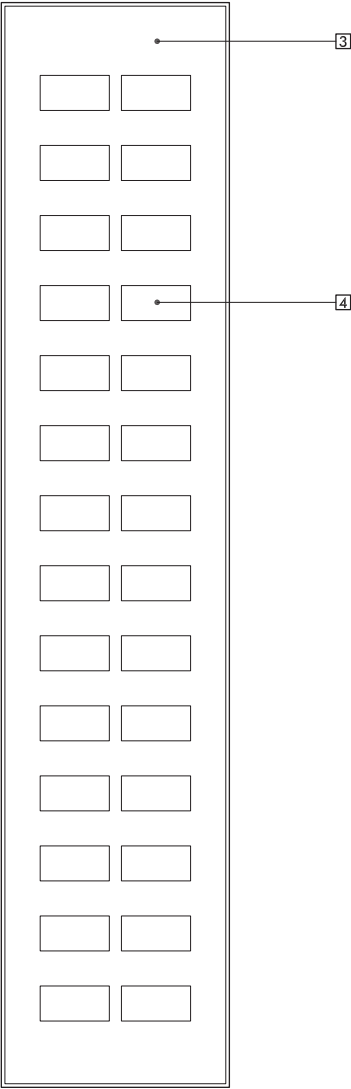
TRASH ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"



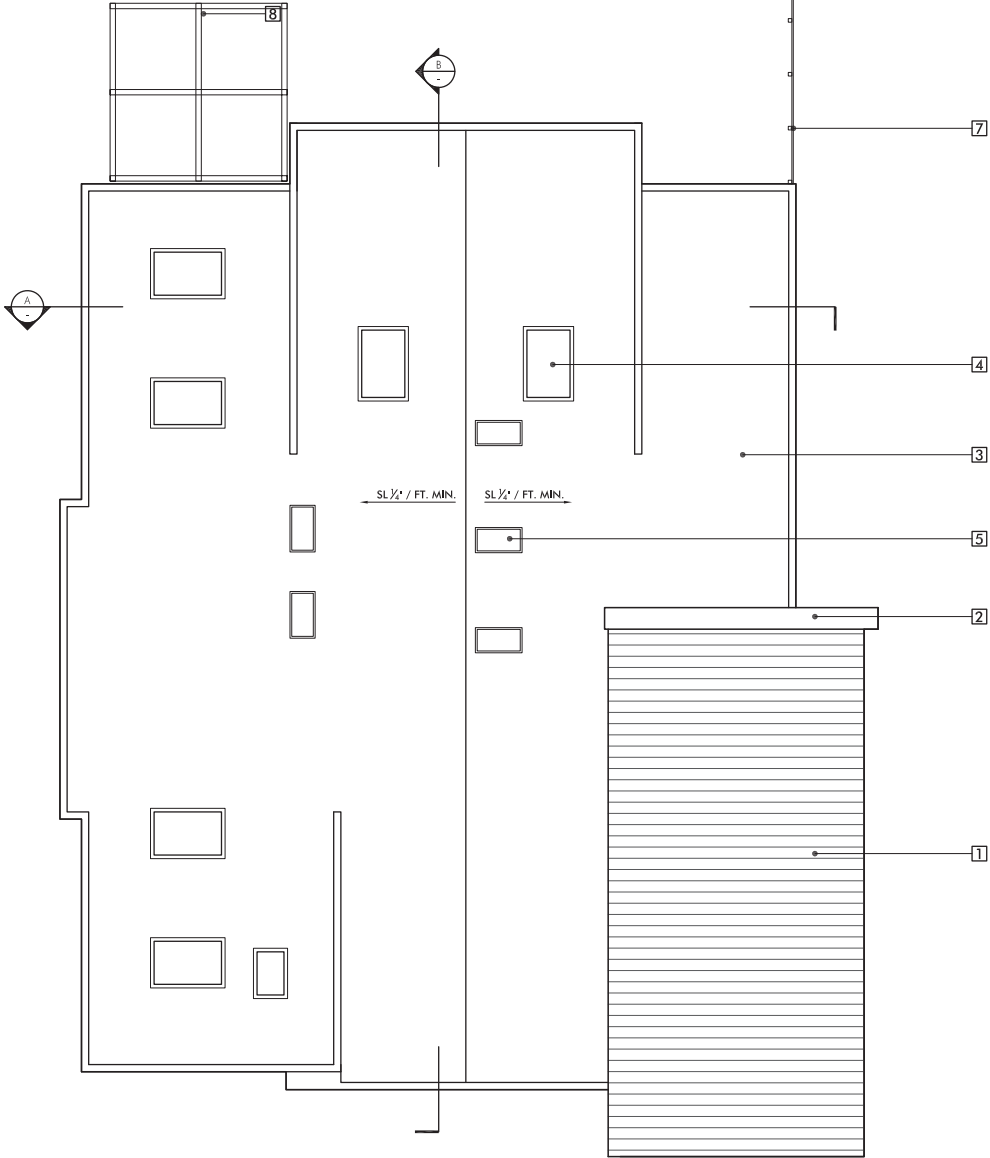
TRASH ENCLOSURE FRONT
(NORTH) ELEVATION
SCALE: 1/4" = 1'-0"



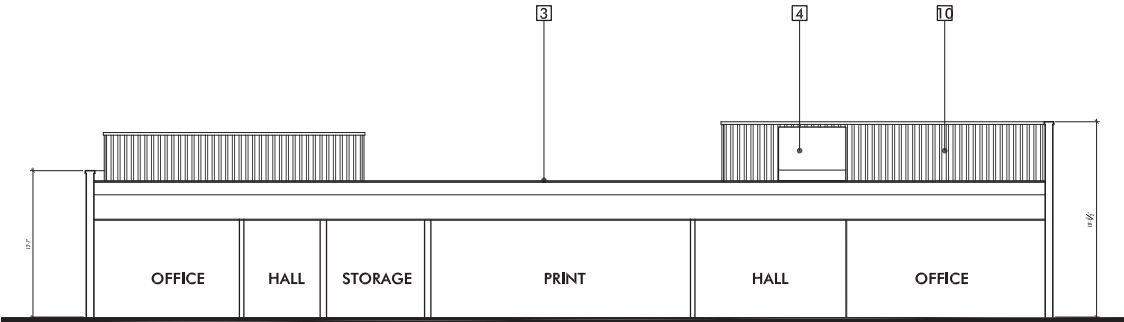
TRASH ENCLOSURE EAST (STREET)
ELEVATION
SCALE: 1/4" = 1'-0"



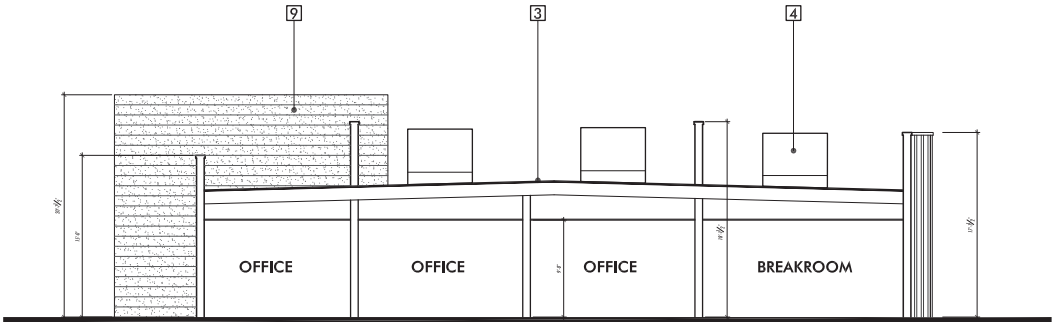
COVERED PARKING
ROOF PLAN
SCALE: 1/8" = 1'-0"



OFFICE ROOF PLAN ± 5780 SF
SCALE: 1/8" = 1'-0"



SECTION B
SCALE: 1/8" = 1'-0"



SECTION A
SCALE: 1/8" = 1'-0"

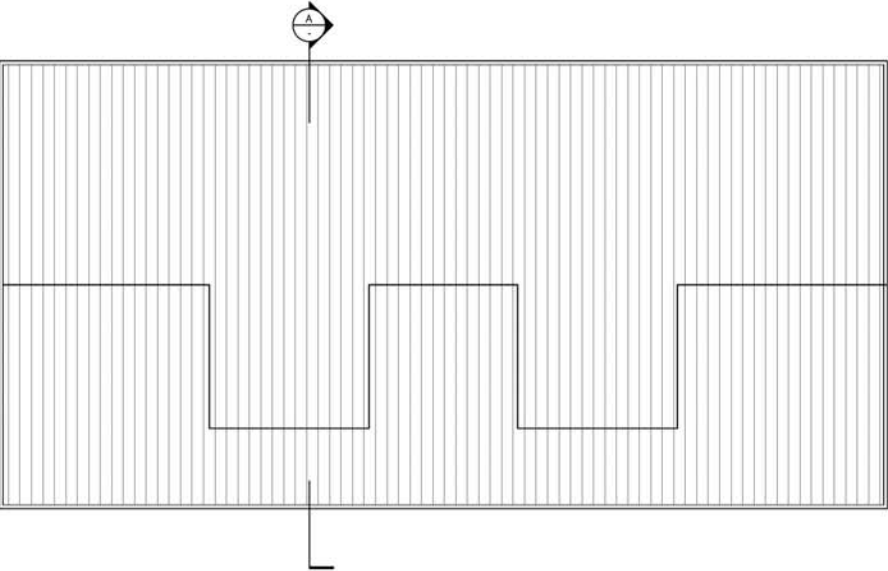
MAIN OFFICE
BUILDING

J&S ASPHALT
HEADQUARTERS

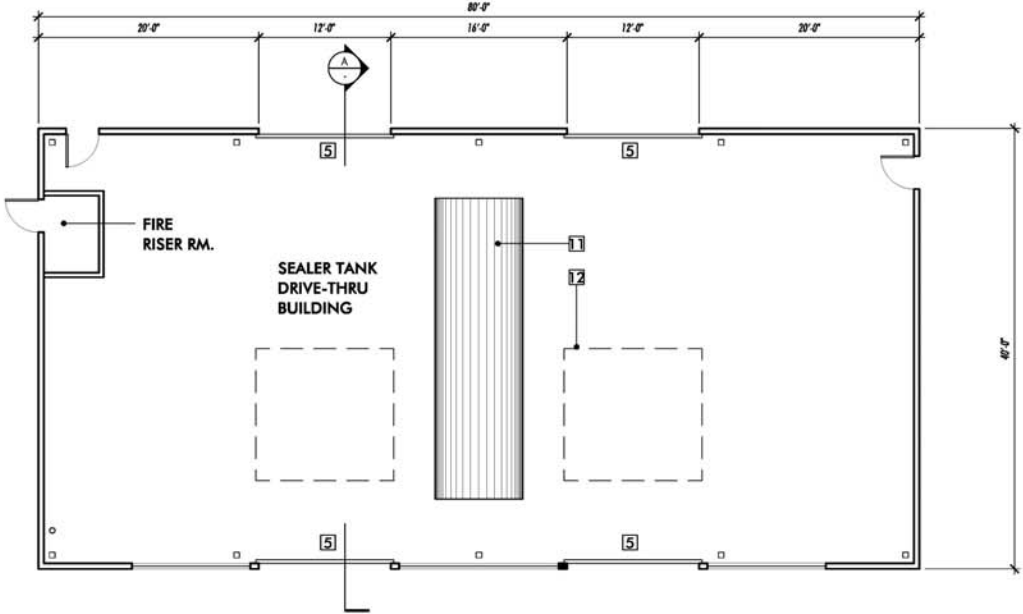
3998 DELMAR AVE
ROCKLIN, CA. 95677

SHEET NOTES

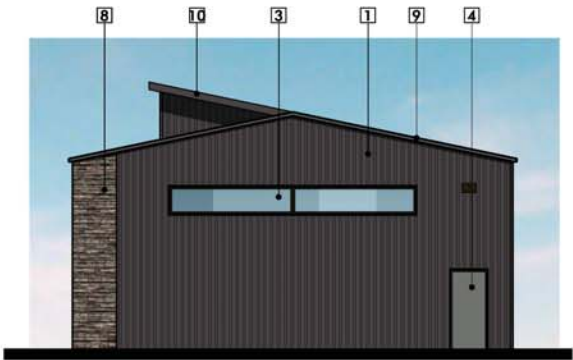
- 1 VERTICAL METAL WALL SIDING
HR 36 PANEL, COLOR: MIDNIGHT BRONZE
- 2 STANDING SEAM METAL ROOFING
COLOR: OLD TOWN GRAY
- 3 ALUMINUM STOREFRONT WINDOW SYSTEM
COLOR: DARK BRONZE
- 4 METAL DOOR - COLOR DARK BRONZE
- 5 METAL ROLL UP DOORS - COLOR: ZINC GRAY
- 6 METAL DOWNSPOUT - COLOR ZINC GRAY
- 7 CONTINUOUS GUTTER - COLOR MIDNIGHT BRONZE
- 8 LEDGESTONE WALL SECTION - COLOR: PEBBLE BEACH
- 9 METAL ROOF TRIM COLOR: MIDNIGHT BRONZE
- 10 CLERESTORY ROOF & WINDOW
- 11 SEALER TANK
- 12 SKYLIGHT ABOVE
- 13 WALL PAK LIGHT - COLOR: BLACK



SEALER TANK BUILDING ROOF PLAN
SCALE: 1/8" = 1'-0"



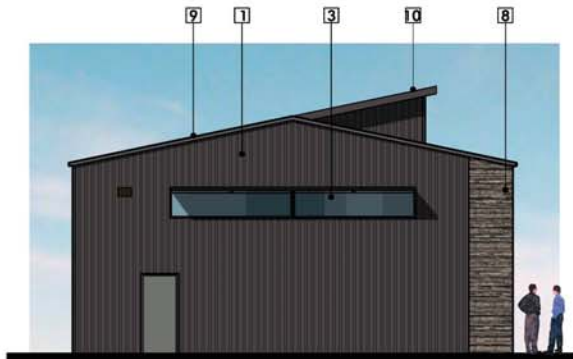
SEALER TANK BUILDING FLOOR PLAN ± 3200 SF
SCALE: 1/8" = 1'-0"



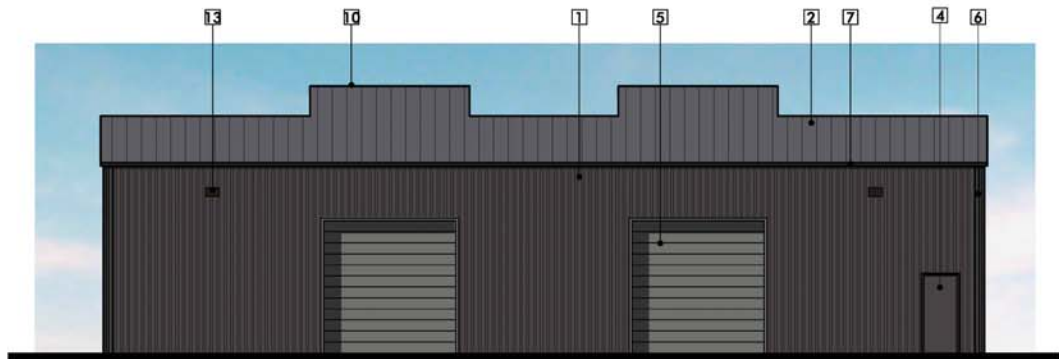
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



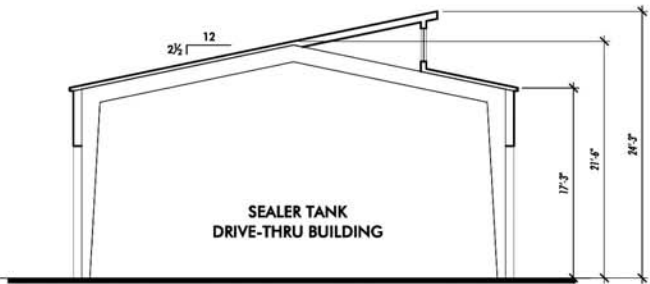
EAST ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

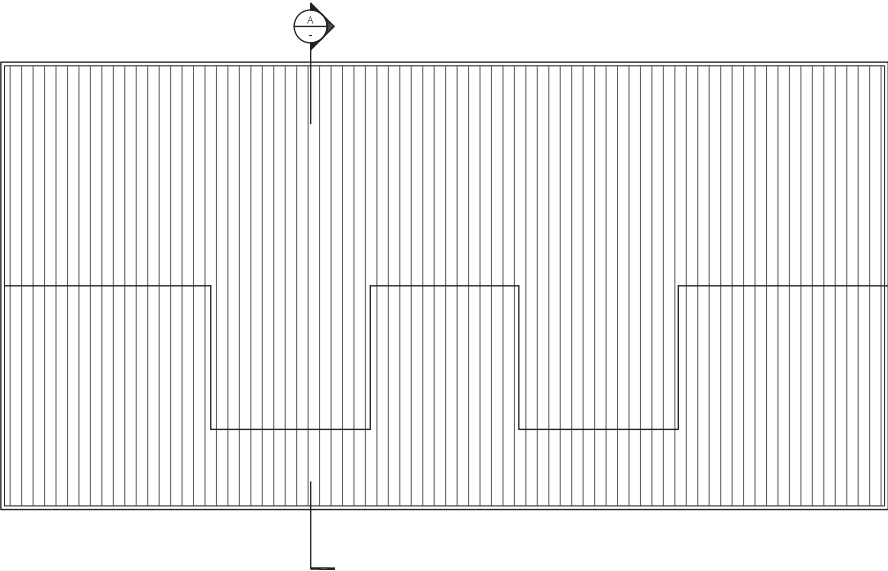


SECTION A
SCALE: 1/8" = 1'-0"

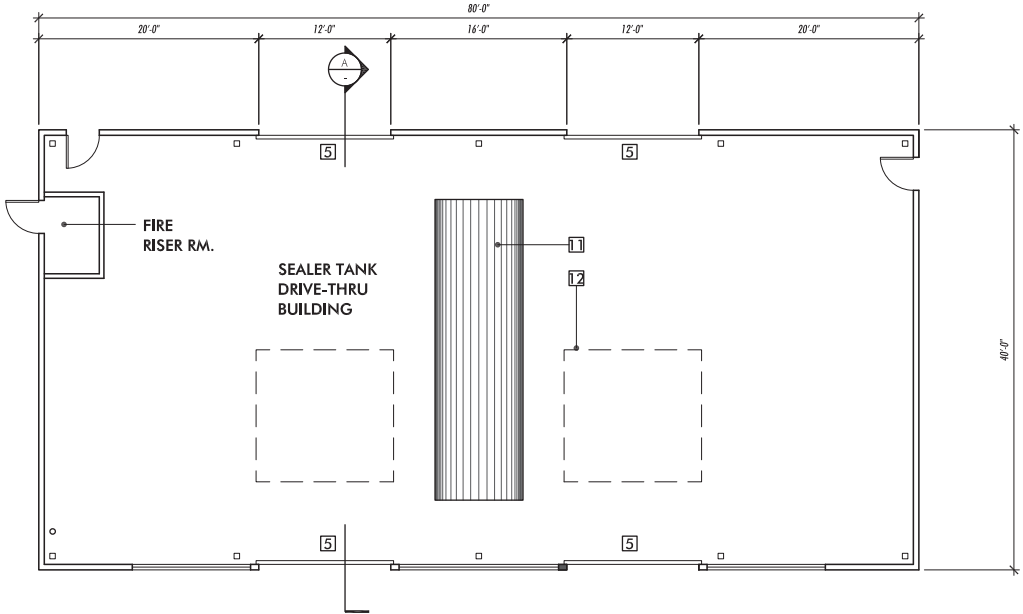
SEALER TANK
BUILDING

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HEADQUARTERS

3998 DELMAR AVE
ROCKLIN, CA. 95677



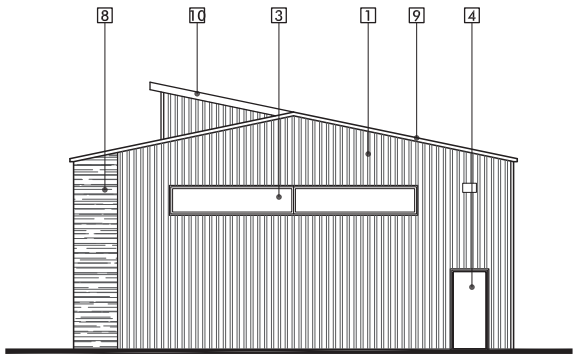
SEALER TANK BUILDING ROOF PLAN
SCALE: 1/8" = 1'-0"



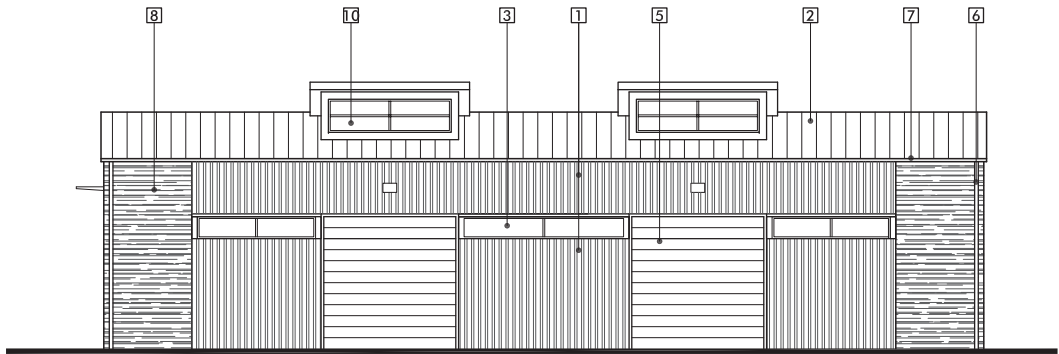
SEALER TANK BUILDING FLOOR PLAN ± 3200 SF
SCALE: 1/8" = 1'-0"

SHEET NOTES

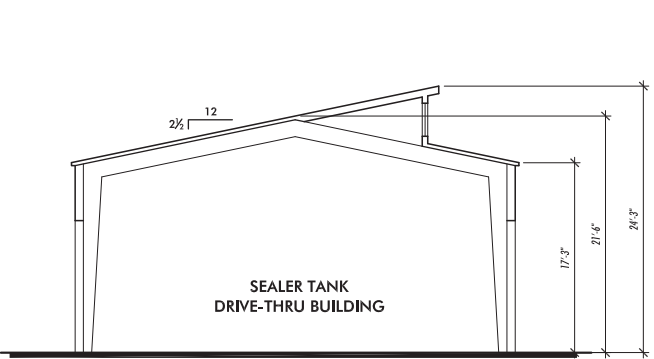
- 1 VERTICAL METAL WALL SIDING
HR 36 PANEL, COLOR: MIDNIGHT BRONZE
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COLOR: DARK BRONZE
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- 5 METAL ROLL UP DOORS - COLOR: ZINC GRAY
- 6 METAL DOWNSPOUT - COLOR ZINC GRAY
- 7 CONTINUOUS GUTTER - COLOR MIDNIGHT BRONZE
- 8 LEDGESTONE WALL SECTION - COLOR: PEBBLE BEACH
- 9 METAL ROOF TRIM COLOR: MIDNIGHT BRONZE
- 10 CLERESTORY ROOF & WINDOW
- 11 SEALER TANK
- 12 SKYLIGHT ABOVE
- 13 WALL PAK LIGHT - COLOR: BLACK



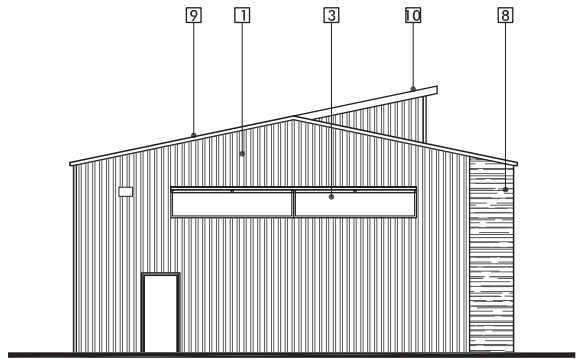
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



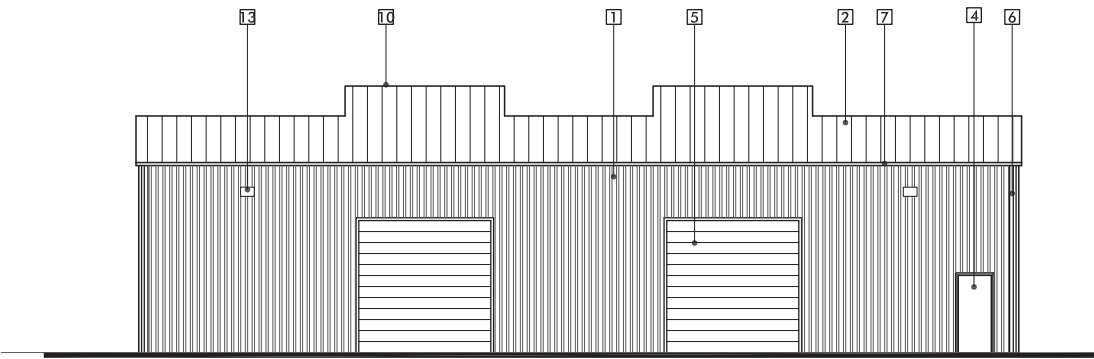
EAST ELEVATION
SCALE: 1/8" = 1'-0"



SECTION A
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

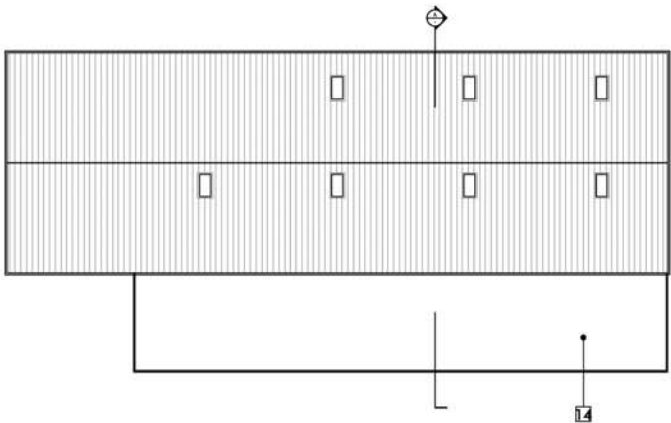
SEALER TANK BUILDING

J&S ASPHALT HEADQUARTERS

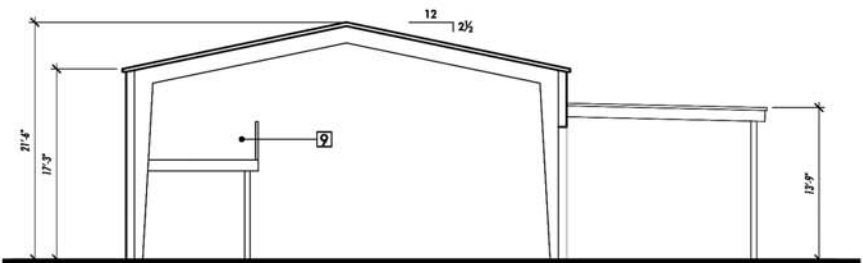
3998 DELMAR AVE
ROCKLIN, CA. 95677

SHEET NOTES

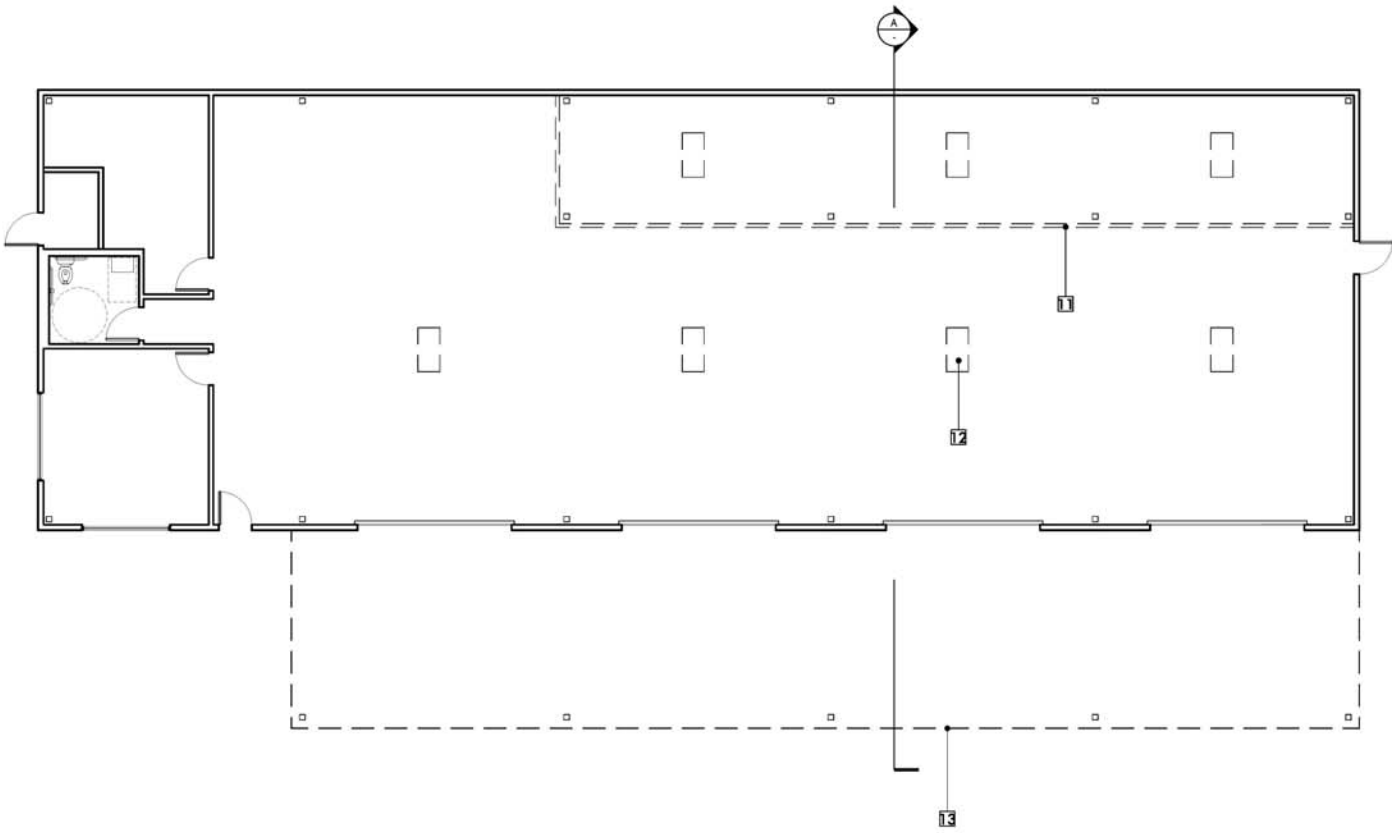
- 1 PANEL 3: VERTICAL METAL WALL SIDING - COLOR ZINC GRAY
- 2 STANDING SEAM METAL ROOFING
COLOR: OLD TOWN GRAY
- 3 ALUMINUM STOREFRONT WINDOW SYSTEM
COLOR: DARK BRONZE
- 4 METAL DOOR - COLOR DARK BRONZE
- 5 ALUMINUM OR STEEL FREE-STANDING CANOPY STRUCTURE
COLOR: MIDNIGHT BRONZE
- 6 METAL ROLL UP DOORS - COLOR: MIDNIGHT BRONZE
- 7 METAL DOWNSPOUT - COLOR ZINC GRAY
- 8 CONTINUOUS GUTTER - COLOR MIDNIGHT BRONZE
- 9 MEZZANINE
- 10 METAL ROOF TRIM COLOR: MIDNIGHT BRONZE
- 11 MEZZANINE ABOVE
- 12 SKYLIGHT ABOVE
- 13 CANOPY ABOVE
- 14 CANOPY ROOF
- 15 WALL PAK LIGHT - COLOR: BLACK



ROOF PLAN
SCALE: 1/8" = 1'-0"



SECTION A
SCALE: 1/8" = 1'-0"



SHOP BUILDING FLOOR PLAN
SCALE: 1/8" = 1'-0"

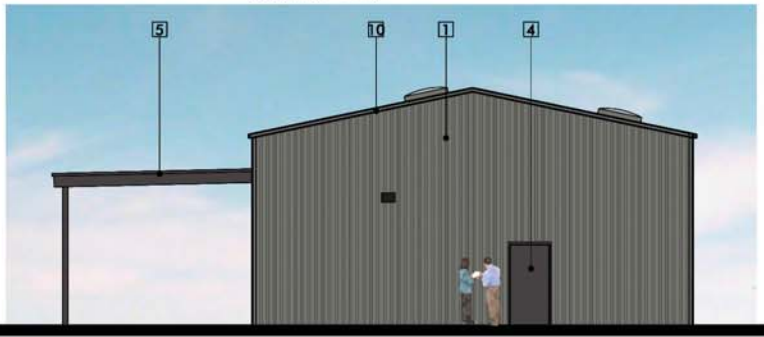
FLOOR AREA: ± 4800 SF
MEZZANINE AREA: ± 870 SF



EAST ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

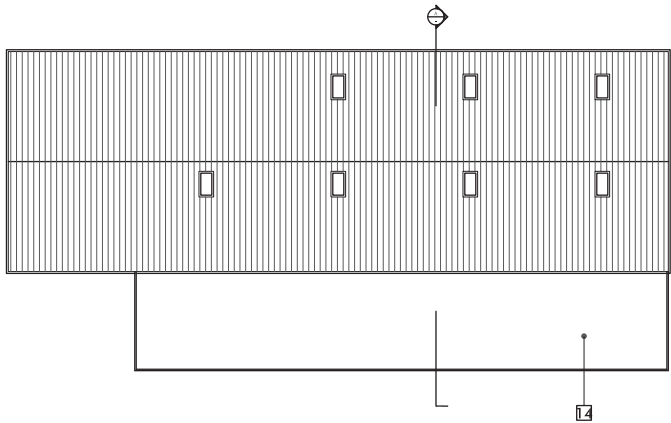
SHOP
BUILDING

J&S ASPHALT
HEADQUARTERS

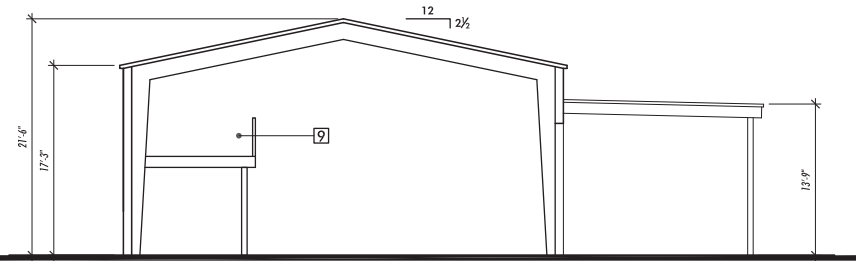
3998 DELMAR AVE
ROCKLIN, CA. 95677

SHEET NOTES

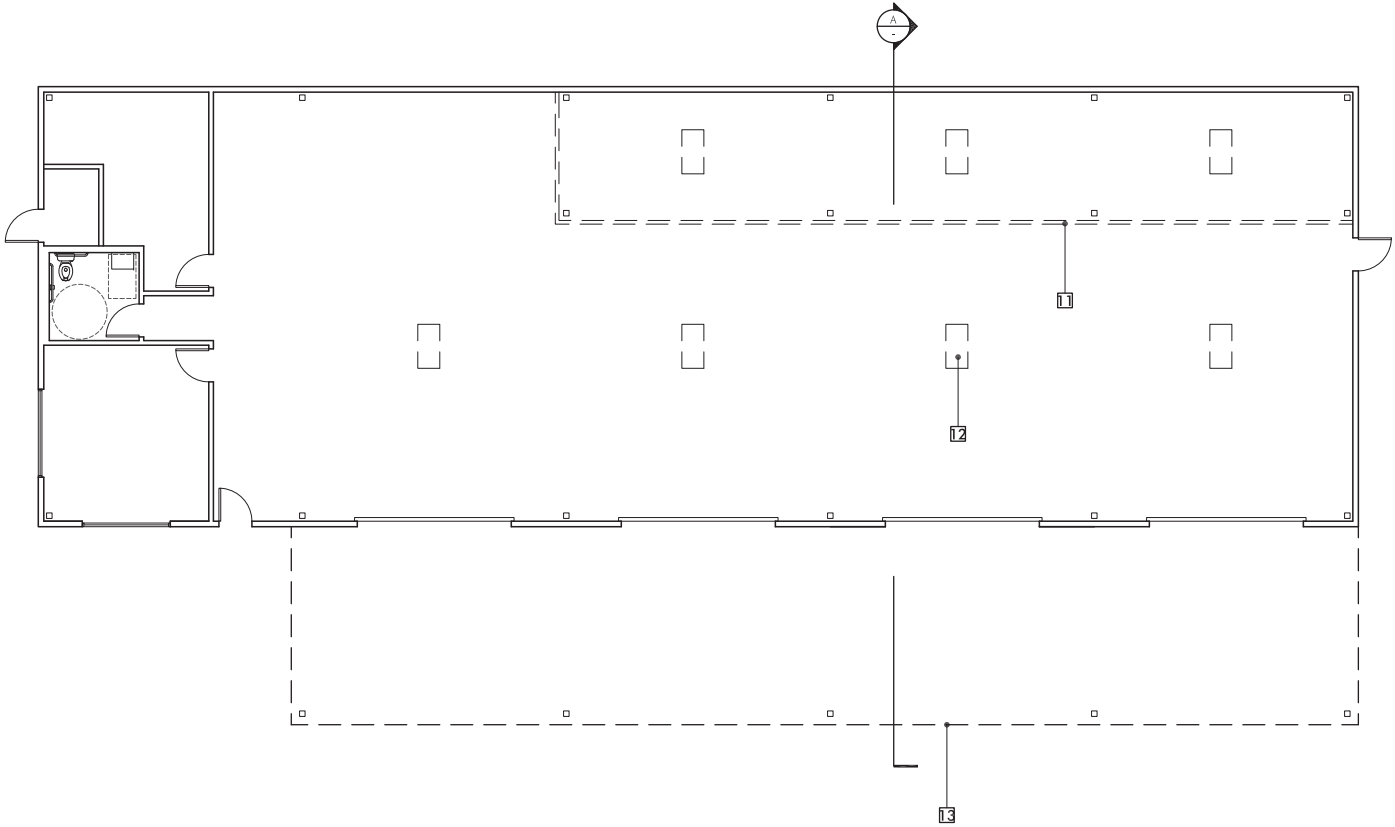
- 1 PANEL 3: VERTICAL METAL WALL SIDING - COLOR ZINC GRAY
- 2 STANDING SEAM METAL ROOFING
COLOR: OLD TOWN GRAY
- 3 ALUMINUM STOREFRONT WINDOW SYSTEM
COLOR: DARK BRONZE
- 4 METAL DOOR - COLOR DARK BRONZE
- 5 ALUMINUM OR STEEL FREE-STANDING CANOPY STRUCTURE
COLOR: MIDNIGHT BRONZE
- 6 METAL ROLL UP DOORS - COLOR: MIDNIGHT BRONZE
- 7 METAL DOWNSPOUT - COLOR ZINC GRAY
- 8 CONTINUOUS GUTTER - COLOR MIDNIGHT BRONZE
- 9 MEZZANINE
- 10 METAL ROOF TRIM COLOR: MIDNIGHT BRONZE
- 11 MEZZANINE ABOVE
- 12 SKYLIGHT ABOVE
- 13 CANOPY ABOVE
- 14 CANOPY ROOF
- 15 WALL PAK LIGHT - COLOR: BLACK



ROOF PLAN
SCALE: 1/8" = 1'-0"

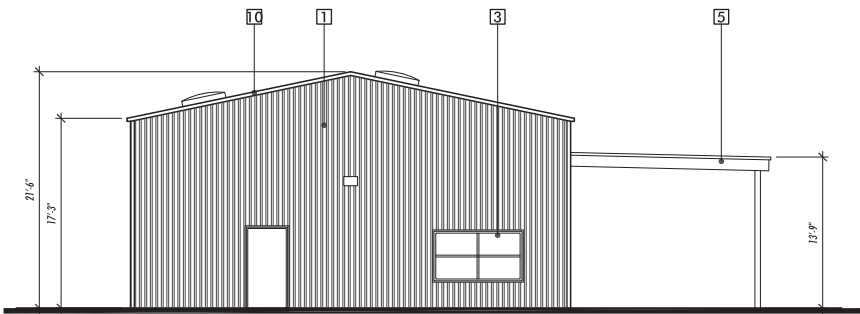


SECTION A
SCALE: 1/8" = 1'-0"

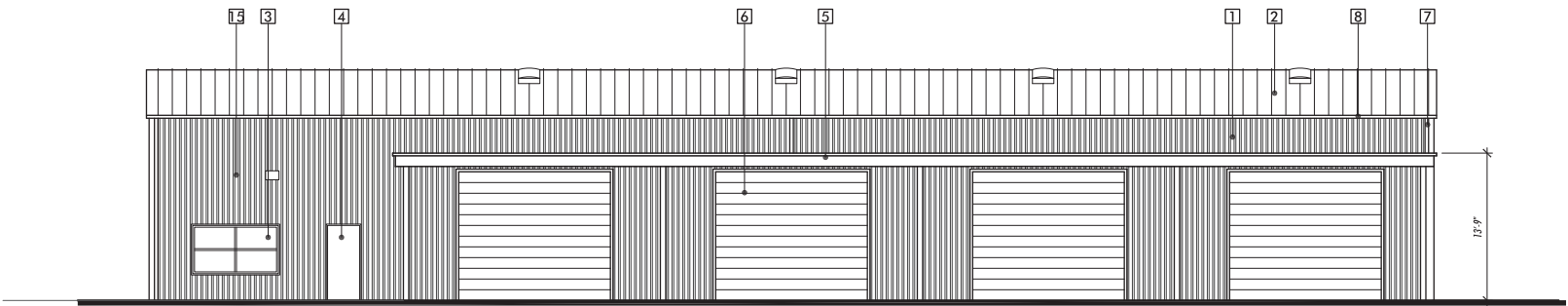


SHOP BUILDING FLOOR PLAN
SCALE: 1/8" = 1'-0"

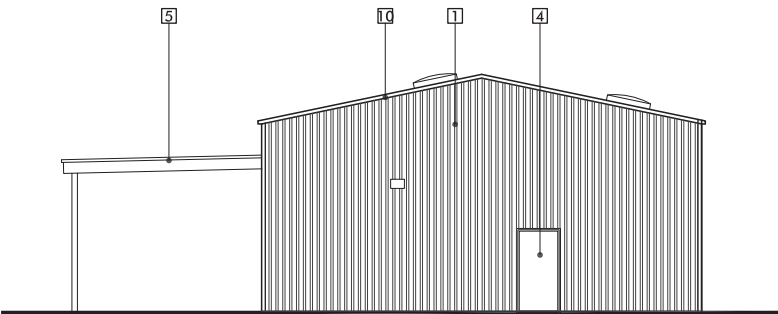
FLOOR AREA: ± 4800 SF
MEZZANINE AREA: ± 870 SF



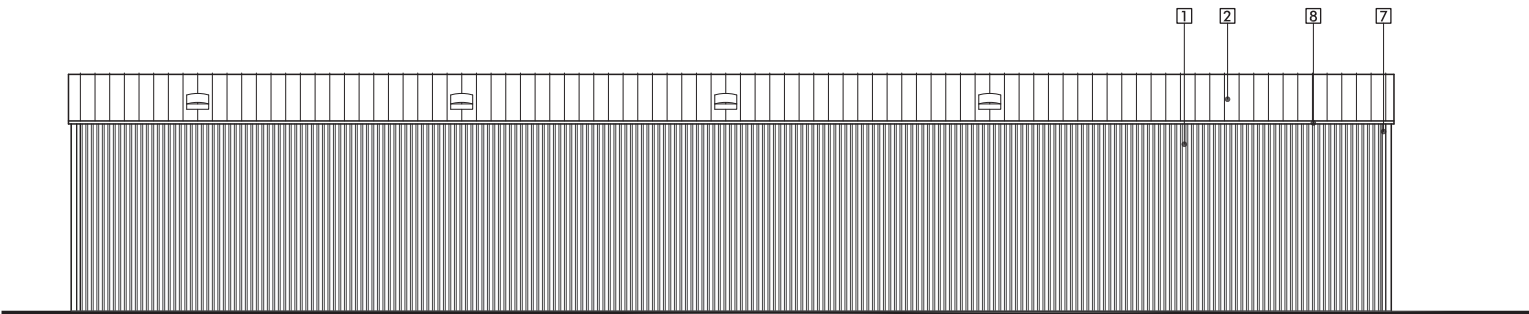
EAST ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

SHOP
BUILDING

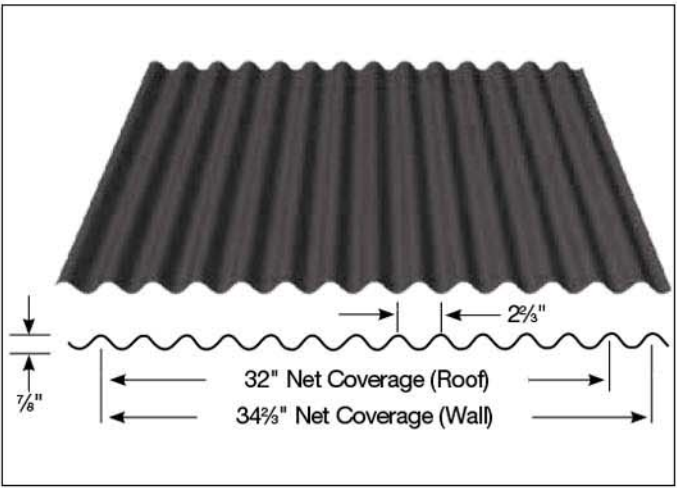
J&S ASPHALT
HEADQUARTERS

3998 DELMAR AVE
ROCKLIN, CA. 95677

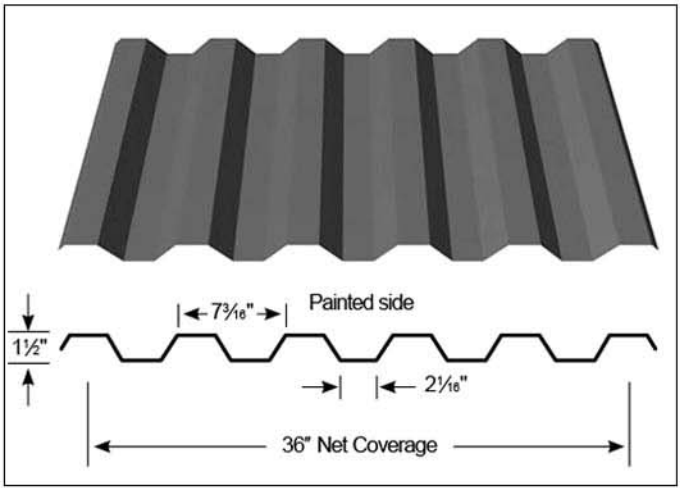
METAL WALL PANELS



PANEL 1
MANUF: AEP SPAN
VERTICAL ALTERNATE WIDTH PANEL COMBINATIONS
COLOR: MATTE BLACK



PANEL 2
MANUF: AEP SPAN
VERTICAL NEW WAVE CORRUGATED
COLOR: MIDNIGHT BRONZE



PANEL 3
MANUF: AEP SPAN
VERTICAL HR 36 PANEL
COLOR: ZINC GRAY

WALL ACCENT MATERIALS



BOARD FORMED CONCRETE



IPE OR CEDAR WOOD
RAINSCREEN CLADDING

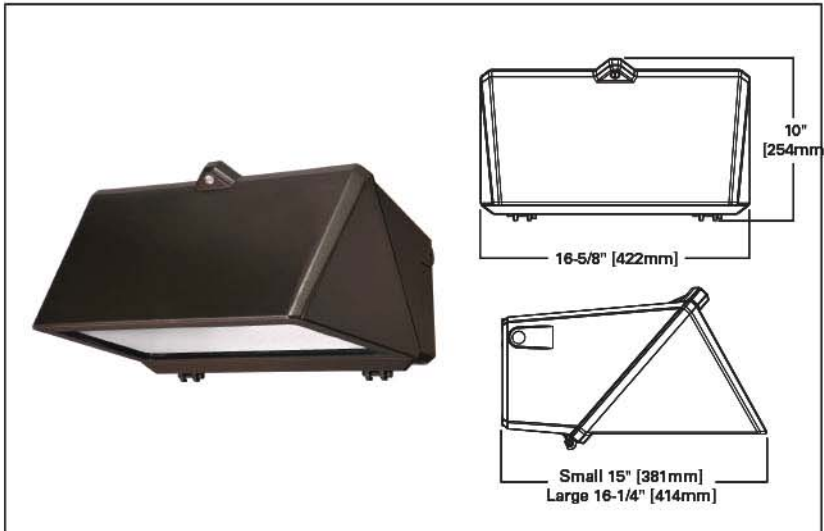


EL DORADO STONE - LEDGECUT
COLOR: PEBBLE BEACH

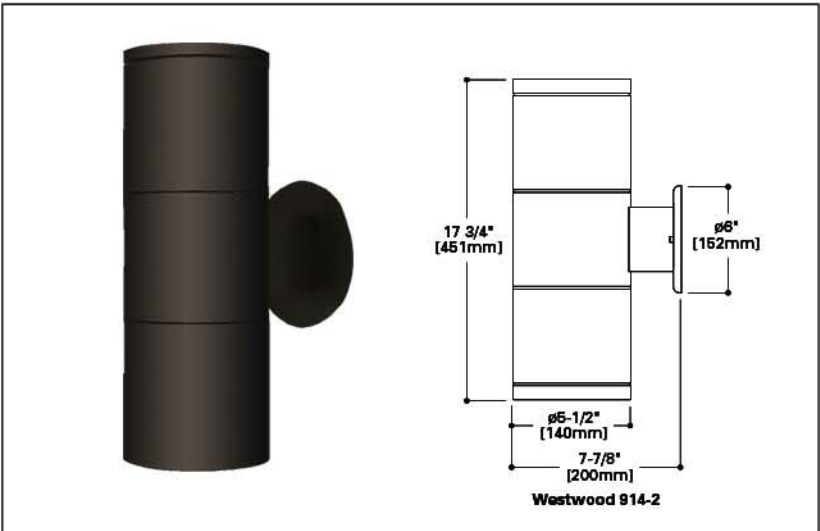
COLOR BOARD

J&S ASPHALT
HEADQUARTERS
3998 DELMAR AVE
ROCKLIN, CA. 95677

LIGHTING



EXTERIOR WALL-PAK
COLOR: DARK BRONZE



EXTERIOR WALL LIGHTING UP/DOWN LIGHTING
COLOR: DARK BRONZE

ROOF



STANDING SEAM METAL
COLOR: OLD TOWN GRAY

BIKE RACK



BIKE "WAVE" RACK
COLOR: STAINLESS STEEL

WINDOWS AND DOORS



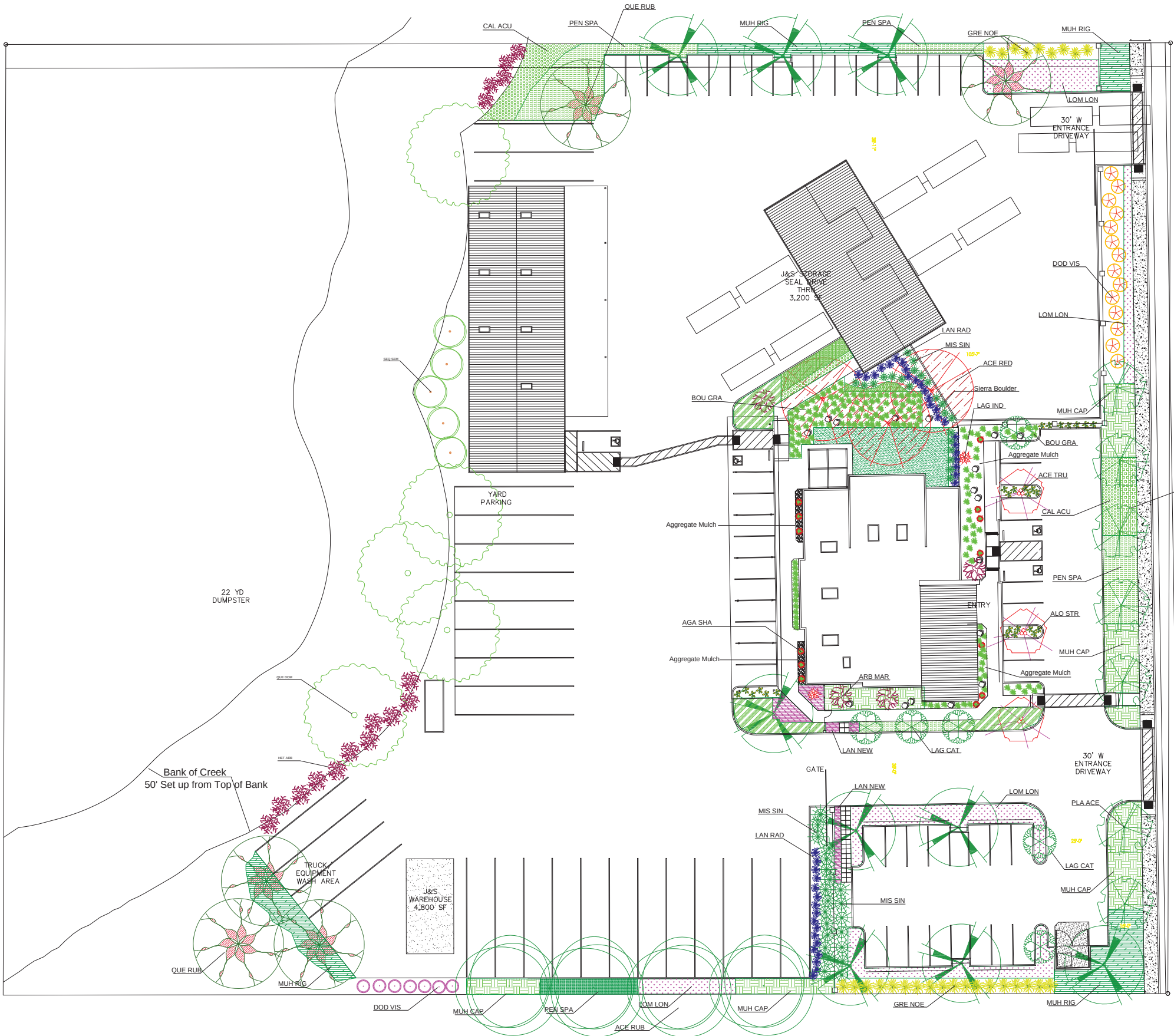
STORE FRONT
COLOR: DARK BRONZE



GLAZING
INSULATED 1" GREY TITNT

COLOR BOARD

J&S ASPHALT
HEADQUARTERS
3998 DELMAR AVE
ROCKLIN, CA. 95677



J & S Asphalt Plant List				
SYM	CODE	Description	SIZE	QTY
Trees				
ACE TRU		Acer truncatum x Acer platanoides/ Crimson Sunset Maple	24" Box	3
ACE RUB		Acer rubrum/ October Glory Red Maple	15 gal	4
ACE RED		Ace rubrum 'Franksred'/ Red Sunset Red Maple	15 gal	3
ARB MAR		Arbutus 'Marina' Strawberry Tree Multi Trunk	24" Box	4
LAG CAT		Lagerstroemia indica 'Catawba' Catawba Crape Myrtle- Standard	15 gal	6
PLA ACE		Plantanus x acerifolia/London Plane Tree	15 gal	7
QUE DOM		Quercus douglasii Blue Oak	15 gal	5
QUE RUB		Quercus rubra/Red Oak	15 gal	5
SEQ SEM		Sequoia Sempervirens Coastal Redwood	15 gal	5
ZEL VIL		Zelkova serrata 'Village Green' Green Vase Zelkova	15 gal	8
Shrubs				
AGA SHA		Agave shawii x attenuate 'Blue Flame' Blue Flame Agave	5 gal	13
ALO STR		Aloe striata/Coral Aloe	1 gal	27
DOD VIS		Dodonaea viscosa 'Purpurea' Purple Hopseed Bush	15 gal	15
DOD VIS		Dodonaea viscosa 'Purpurea' Purple Hopseed Bush	5 gal	7
GRE MAG		Grevillea 'Magic Lantern' /Magic LanternGrevillea	5 gal	600 SqFt 4' O.C.
GRE NOE		Grevillea x 'Noell' /Noell Grevillea	5 gal	24
HET ARB		Heteromeles arbutifolia Toyon	5 gal	16
LAG IND		Lagerstroemia/Petite Orchard Crape Myrtle	5 gal	2
LOM LON		Lomandra longifolia 'Tropicbelle' Tropicbelle Lomandra	1 gal	1800 SqFt 4' O.C.
LOM BRE		Lomandra longifolia 'Breeze' Dwarf Mat Rush	1 gal	1000 SqFt 3' O.C.
Grasses				
BOU GRA		Bouteloua gracilis 'Blonde Ambition' Blonde Ambition Blue Grama Grass	1 gal	172
CAL ACU		Calamagrostis x acutiflora 'Karl Foerster'/Foester's Feather Reed Grass	1 gal	600 SqFt 2' O.C.
MUH RIG		Muhlenbergia rigens/Deer Grass	1 gal	1700 SqFt 3' O.C.
MIS SIN		Miscanthus sinensis 'Yakushima' Dwarf Maiden Grass	1 gal	42
MUH CAP		Muhlenbergia capillaris 'Irvine' Plumetastic Pink Muhly Grass	1 gal	2320 SqFt 4' O.C.
PEN SPA		Pennisetum spatheolatum/Rye Puffs	1 gal	2575 SqFt 2' O.C.
Perennials				
LAN NEW		Lantana x 'New Gold' New Gold Lantana	1 gal	200 SqFt 2' O.C.
LAN RAD		Lantana camara 'Radiation' Radiation Bush Lantana	1 gal	41
		Aggregate Mulch		140 SqFt

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mb arcstudio

ARCHITECTURE + PLANNING

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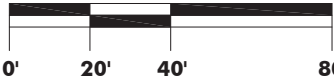
ALVIS COURT

J & S ASPHALT
3998 DELMAR AVE
ROCKLIN, CA. 95677

PRELIMINARY
PLAN
7/10/19



SCALE: 1" = 20'-0"

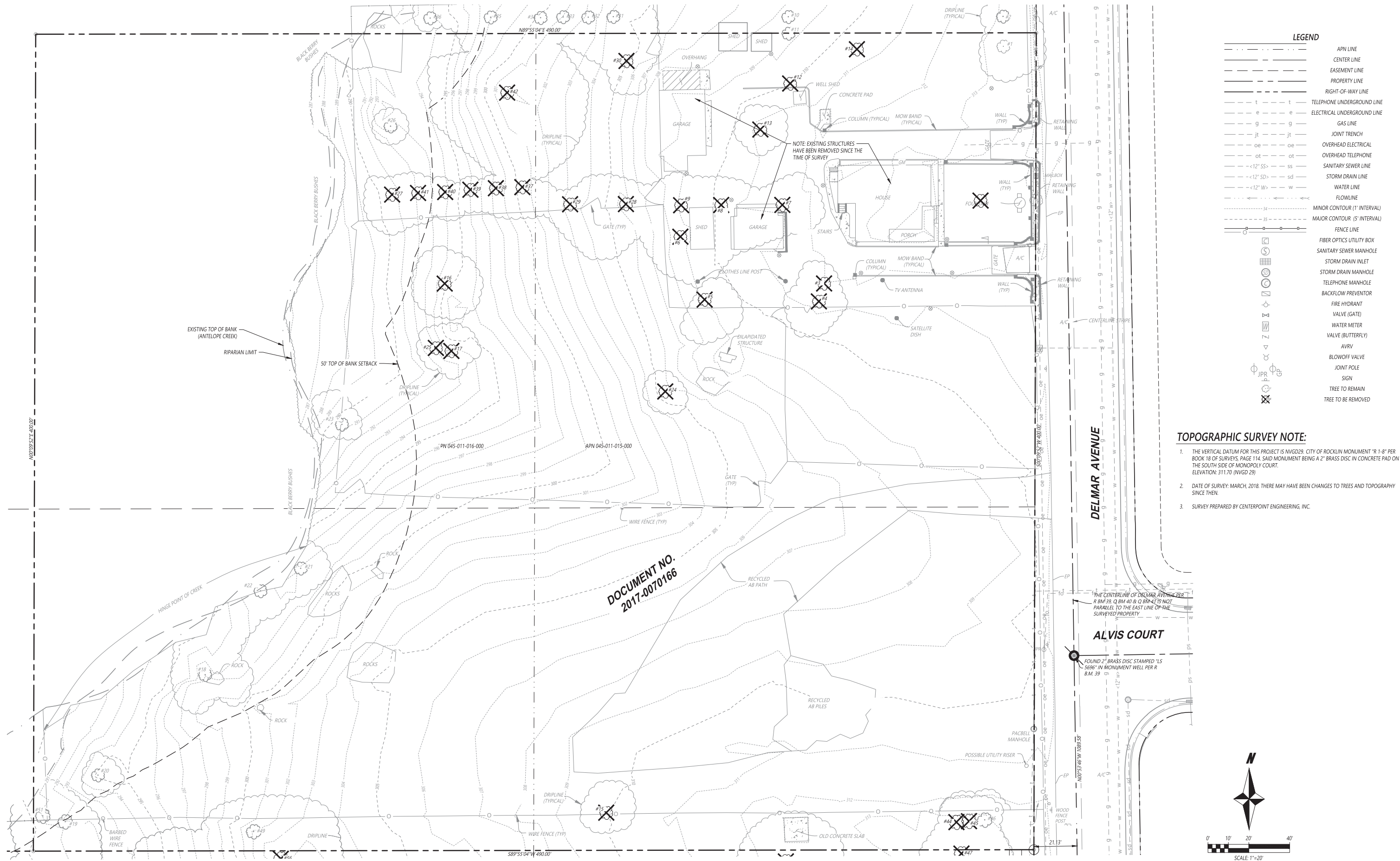


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Plot Date: July 26, 2019 - 1:20 PM
File Name: C:\Users\asund\OneDrive\Documents\Drawings\218003-20-C0-0-EC-COND.dwg

EXISTING CONDITIONS PLAN

J&S ASPHALT HEADQUARTERS
3998 DEL MAR AVENUE, ROCKLIN, CA

DATE: 7/24/2019
SCALE: 1"=20'
DRAWN BY: SD/WY



LogIn Name: asund
2019 - 1:20 PM
Plot Date: July 26
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CARTWRIGHT NOR CAL
CIVIL ENGINEERING & PROJECT MANAGEMENT

4180 DOUGLAS BLVD, SUITE 200
GRANITE BAY, CALIFORNIA 95746
T (916) 978-4001
WWW.CARTWRIGHTENGINEERS.COM

PRELIMINARY GRADING AND DRAINAGE PLAN

J&S ASPHALT HEADQUARTERS
3998 DEL MAR AVENUE, ROCKLIN, CA

DATE: 7/24/2019
SCALE: 1"=20'
DRAWN BY: SD/WY

GRADING LEGEND

- 304 --- EXISTING 1-FT CONTOUR
 - 305 --- EXISTING 5-FT CONTOUR
 - 304 --- PROPOSED 1-FT CONTOUR
 - 305 --- PROPOSED 5-FT CONTOUR
 - 777P --- PAVEMENT ELEVATION
 - 777TC --- TOP OF CURB ELEVATION
 - 777C --- CONCRETE ELEVATION
 - 777RIM --- RIM ELEVATION
 - 777FL --- FLOWLINE ELEVATION
 - 777S --- GROUND SPOT ELEVATION
 - 777LIP --- LIP OF GUTTER ELEVATION
 - 777IS --- MATCH EXISTING ELEVATION
 - --- PAVEMENT CREASE
 - GB --- GRADE BREAK
- ALL TC ELEVATIONS ARE EQUAL TO ADJACENT PAVEMENT (P) OR CONCRETE (C) ELEVATION PLUS 6 INCHES UNLESS OTHERWISE NOTED. TC = P OR C + 0.5'

PROJECT SITE NOTES:

APN: 045-011-015 & 016
GROSS PARCEL AREA: 4.6 AC
FLOOD ZONE: ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN)
FEMA MAP #: 06061C0961H
100 YEAR FLOOD PLAIN: APPROXIMATE 100-YEAR FLOODPLAIN SHOWN. NO GRADING SHALL OCCUR WITHIN 100-YEAR FLOODPLAIN.
RETAINING WALLS: NO RETAINING WALLS ARE ANTICIPATED.

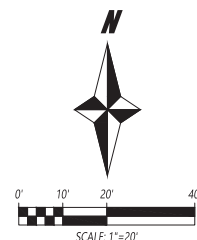
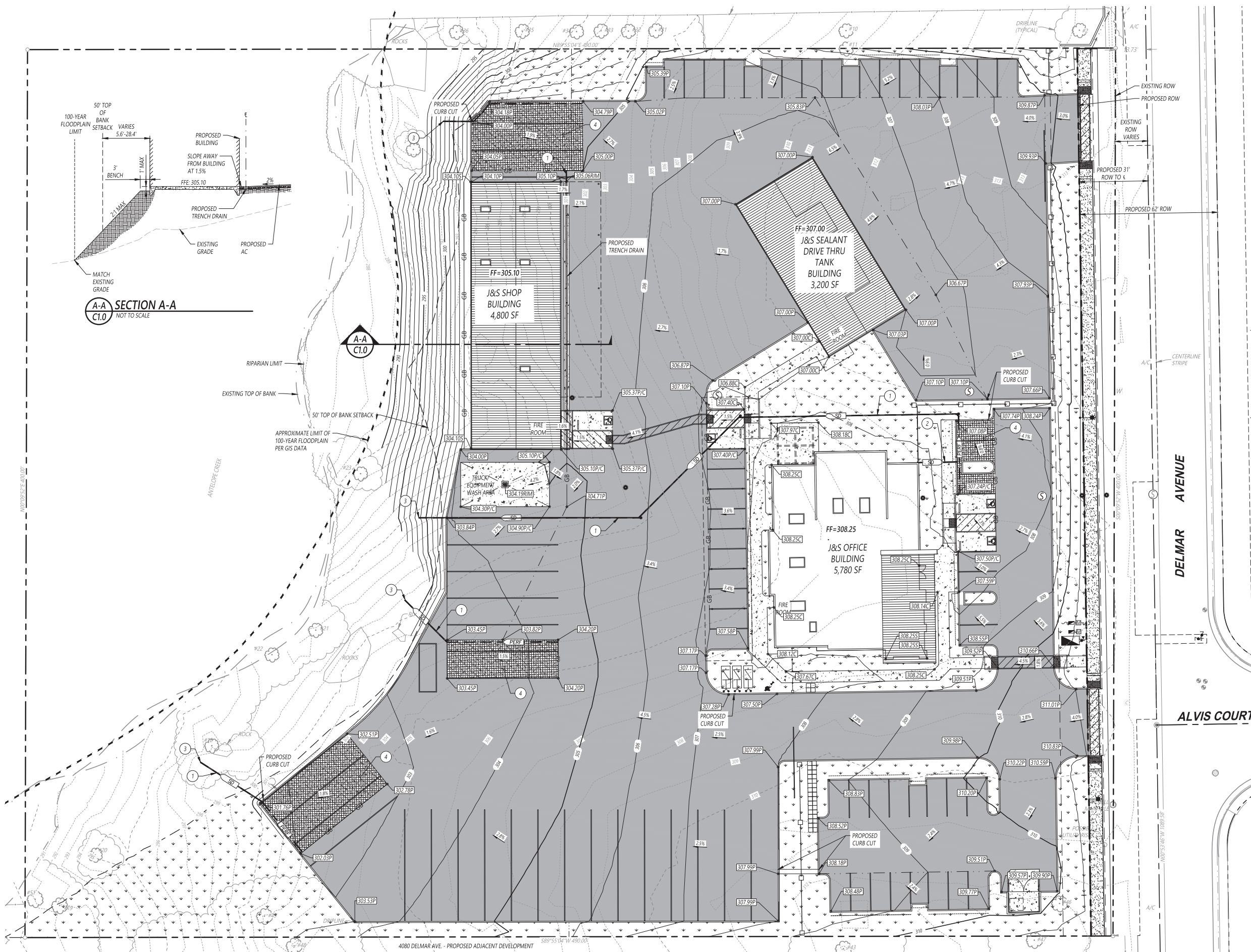
PRELIMINARY EARTHWORK QUANTITIES

CUT	±6,421 CY
FILL	±7,068 CY
NET	±647 CY (FILL)

NOTE: ENGINEERS ESTIMATE OF EARTHWORK ARE RAW VOLUMES AND IS BASED ON THE SURFACE AT THE TIME OF THE SURVEY. THE ESTIMATE DOES NOT INCLUDE ANY CUT FROM THE SECTION REQUIRED FROM PROPOSED ASPHALT, CONCRETE, AND BUILDING PAD, OR SHRINK OR SWELL FACTORS.

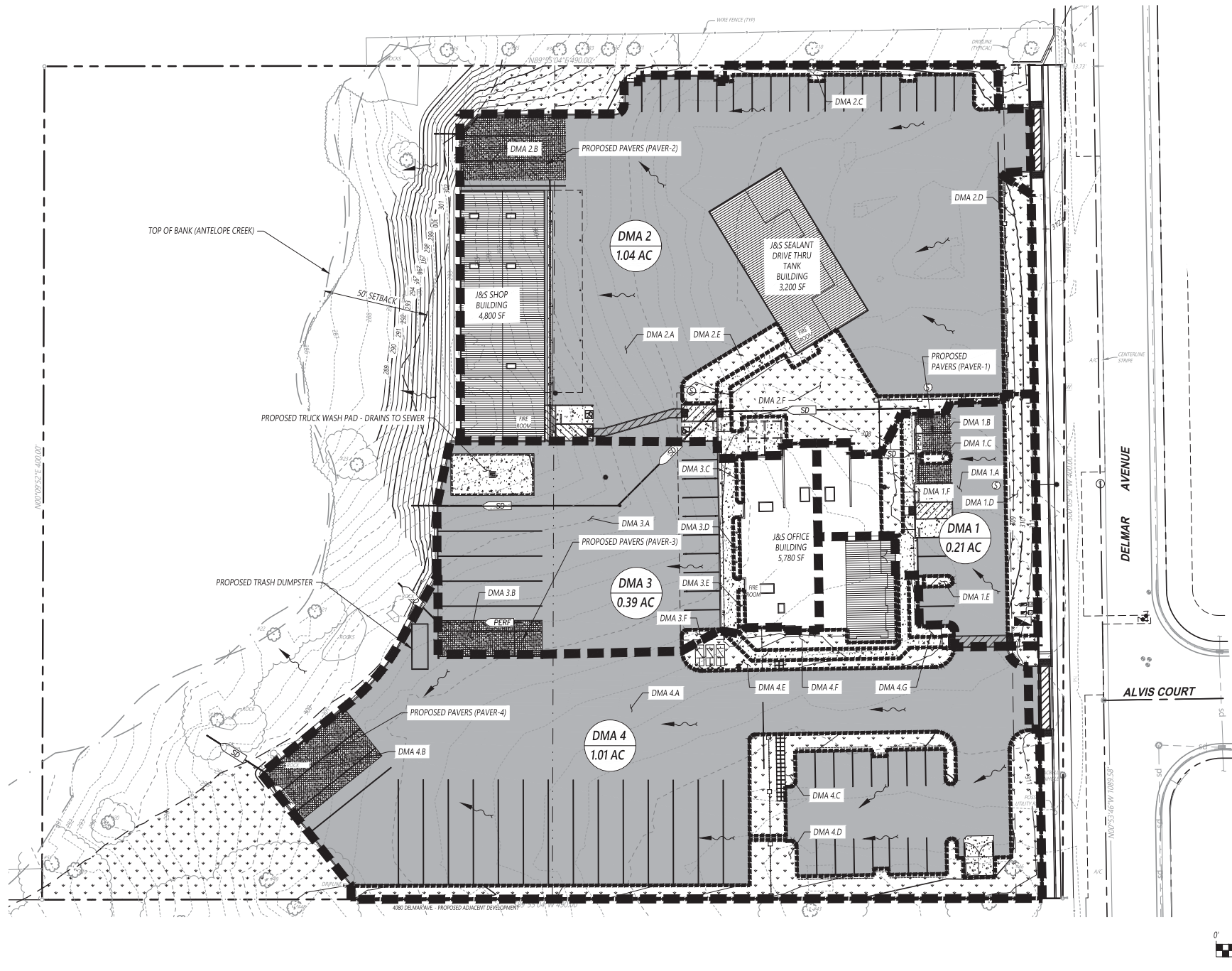
PRELIMINARY DRAINAGE KEYNOTES:

- 1 PROPOSED STORM DRAIN LINE.
- 2 PROPOSED ROOF DRAIN CONNECTION TO PERMEABLE PAVERS.
- 3 PROPOSED PERMEABLE PAVERS SUBDRAIN OUTFALL TO ANTELOPE CREEK.
- 4 PROPOSED PERMEABLE PAVERS PER DETAIL ON SHEET C3.0.



C1.0





EXISTING

PROPOSED

PROPERTY LINE

1.0-FOOT CONTOUR

5.0-FOOT CONTOUR

DRAINAGE MANAGEMENT AREA NO. (DMA)

DMA AREA (ACRES)

DMA BOUNDARY

DMA SUBSHED BOUNDARY

FLOW ARROW

STORM DRAIN LINE

DRAIN INLET

CONCRETE SURFACE

AC SURFACE

PERMEABLE PAVERS

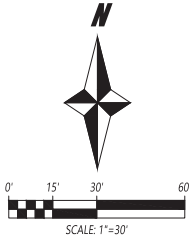
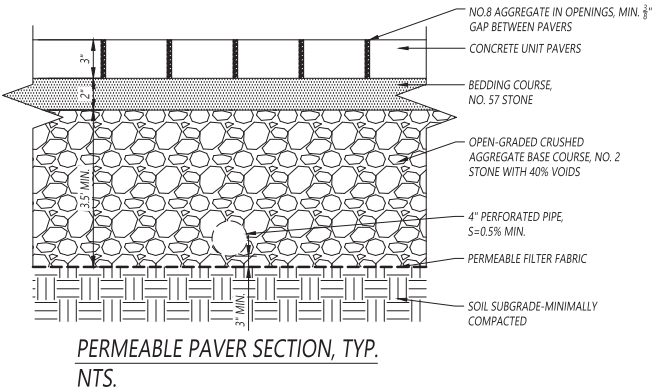
LANDSCAPE

DMA #

AC

sd -<X' sd> - sd

STORM WATER QUALITY NOTES:
1. SEE THIS SHEET FOR TABULATED DMA SUBSHED AREAS.



DMA 1								
DMA SUBSHED NO.	DMA AREA (SF)	POST-PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA x RUNOFF FACTOR	FACILITY NAME			
1.A	6,508	ROOF/ASPHALT /CONCRETE	1	6,508	PAVER-1			
1.B	474	PAVERS	0	0	**UNIT BASIN STORAGE VOLUME (IN)	VOID RATIO	*AREA REQUIRED (SF)	AREA PROVIDED (SF)
1.C+1.D+1.E+1.F	2,311	LANDSCAPE	0.1	231	0.44	0.4	244	474
TOTAL	9,293	-	-	6,739				

DMA 2								
DMA SUBSHED NO.	DMA AREA (SF)	POST-PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA x RUNOFF FACTOR	FACILITY NAME			
2.A	37,954	ROOF/ASPHALT /CONCRETE	1	33,847	PAVER-2			
2.B	1,523	PAVERS	0	0	**UNIT BASIN STORAGE VOLUME (IN)	VOID RATIO	*AREA REQUIRED (SF)	AREA PROVIDED (SF)
2.C+2.D+2.E+2.F	5,948	LANDSCAPE	0.1	594.8	0.56	0.4	1,515	1,523
TOTAL	45,425	-	-	34,442				

DMA 3								
DMA SUBSHED NO.	DMA AREA (SF)	POST-PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA x RUNOFF FACTOR	FACILITY NAME			
3.A	15,642	ROOF/ASPHALT /CONCRETE	1	15,642	PAVER-3			
3.B	867	PAVERS	0	0	**UNIT BASIN STORAGE VOLUME (IN)	VOID RATIO	*AREA REQUIRED (SF)	AREA PROVIDED (SF)
3.C+3.D+3.E+3.F	308	LANDSCAPE	0.1	31	0.61	0.4	611	867
TOTAL	16,817	-	-	15,673				

DMA 4								
DMA SUBSHED NO.	DMA AREA (SF)	POST-PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA x RUNOFF FACTOR	FACILITY NAME			
4.A	35,002	ASPHALT/ CONCRETE/ ROOF	1	35,002	PAVER-4			
4.B	1,450	PAVERS	0	0	**UNIT BASIN STORAGE VOLUME (IN)	VOID RATIO	*AREA REQUIRED (SF)	AREA PROVIDED (SF)
4.C+4.D+4.E+4.F+4.G	7,804	LANDSCAPE	0.1	780	0.53	0.4	1,397	1,450
TOTAL	44,256	-	-	35,782				

PRELIMINARY STORM WATER QUALITY CONTROL PLAN

J&S ASPHALT HEADQUARTERS
3998 DEL MAR AVENUE, ROCKLIN, CA

C3.0

DATE: 7/24/2019
SCALE: 1"=30'
DRAWN BY: SD/WY

LogIn Name: susand
Plot Date: July 26, 2019 - 1:20 PM
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