



New Project Information

The City of Rocklin is processing the below referenced application(s) for project approval. The request is now being reviewed for compliance with the requirements and regulations of relevant City, State, and Federal agencies, and Utility providers. Once any issues have been resolved a hearing date will be set and public notice provided to alert neighbors and interested parties of the hearing date, availability of project information, the opportunity to comment on the project.

Application Received: January 6, 2021

Project Name and Requested Approvals:

PLACER ACADEMY CAMPUS EXPANSION

Design Review (BARRO Zone) – BZ2021-0001

Staff Description of Project:

Request for approval of a Design Review to expand the Placer Academy Charter School Campus onto an adjacent vacant commercial parcel north of the existing school location at 4750 Grove Street. The project will add 11 modular classroom buildings, one modular restroom building, an asphalt play area, a turf play area, play equipment and a pick-up/drop-off area with on-site queueing.

Location:

The project site is located at 4700 Grove Street. The Assessor's Parcel Number (APN) is 010-082-059.

Existing Land Use Designations:

The property is designated Retail Commercial (RC) in the Rocklin General Plan and is zoned General Service Commercial (C-3).

This project **does** / XX **does not** require modification or change of the land use designations and regulations currently applicable to the project site.

Compliance with the California Environmental Quality Act:

A preliminary review of this project pursuant to the California Environmental Quality Act (CEQA) has tentatively identified a Notice of Exemption as the appropriate level of review for this project.

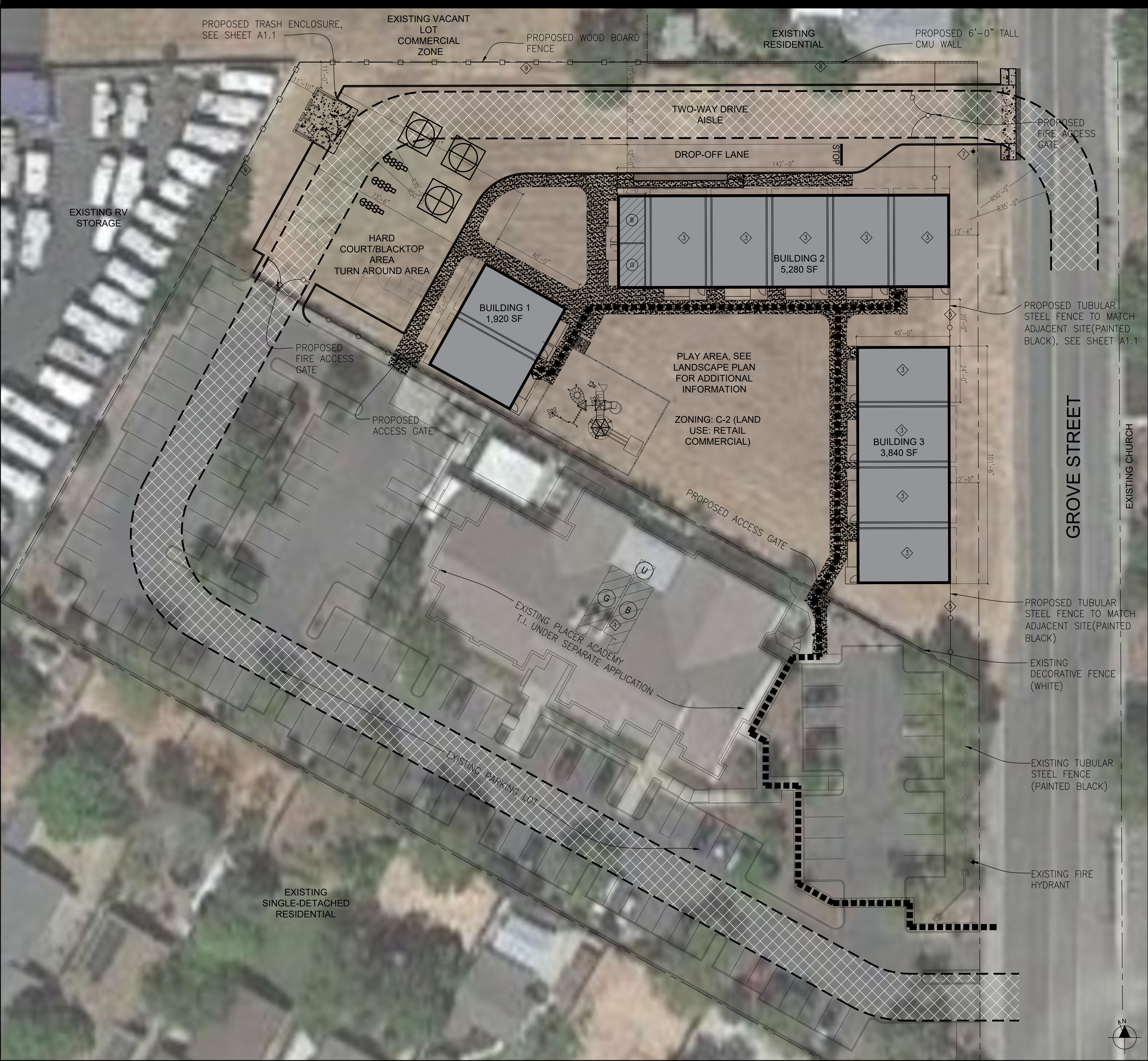
Applicant & Property Owner:

The property owner is Placer County Association of Realtors, Inc. The applicant is Jill Godtland and Jim Gillum.

Attached Information:

For additional detail, please visit the following link:

<https://www.rocklin.ca.us/post/>



OVERALL SITE PLAN

1" = 20'-0"

1

KEY NOTES

- ◇ (E) SOUTH SITE AS ADMINISTRATIVE SIDE OF SCHOOL (WITH CLASSROOMS)
- ◇ RESTROOM RELOCATABLES—DSA PRE—CHECKED
- ◇ CLASSROOM RELOCATABLES—DSA PRE—CHECKED
- ◇ TRASH ENCLOSURE, SEE 2/A1.1
- ◇ ORNAMENTAL/TUBE STEEL FENCE TO MATCH ADJACENT SITE, SEE 3/A1.1
- ◇ RELOCATE (E) TOW AWAY SIGN OUTSIDE OF (N) PATH OF TRAVEL.
- ◇ (N) FIRE HYDRANT, SEE CIVIL PLANS
- ◇ (N) CMU SOUND WALL
- ◇ (N) WOOD BOARD FENCE, SEE 7/A1.1

SITE STATISTICS

TOTAL SITE AREA: 1.52 ACRES, 66,211 SF
ASSESSOR'S PARCEL NO.: 10-082-058-000
BUILDING AREA=10,584 SF (16% LOT COVERAGE)
ZONING: C2

PARKING PROVIDED (SOUTH LOT AS ADMIN SIDE OF SCHOOL)	EXISTING
STANDARD	84 STALLS
COMPACT	31 STALLS
ACCESSIBLE VAN	3 STALLS
ACCESSIBLE	2 STALLS
TOTAL	120 STALLS

CITY OF ROCKLIN REQUIREMENT FOR ELEMENTARY SCHOOLS PER SECTION 17.66.150:
A. ELEMENTARY SCHOOLS SHALL PROVIDE LOADING SPACE FOR AT LEAST FOUR SCHOOL BUSES.

PLACER ACADEMY DOES NOT USE SCHOOL BUSES. STUDENTS ARE DROPPED OFF BY PARENTS

BICYCLE STORAGE CALCS

BASED ON 2019 CAL GREEN BUILDING STANDARDS CODE SECTION 5.106.4.1.1
BICYCLE PARKING

5.106.4.1.1 SHORT TERM BICYCLE PARKING (5% OF NEW VISITOR MOTORIZED VEHICLE ADDED):
REQUIRED: NONE, NO NEW VEHICLE PARKING ADDED IN THIS PROJECT

5.106.4.1.2 LONG-TERM BICYCLE PARKING (10 OR MORE TENANT OCC., PROVIDE 5% OF TENANT OCCUPANT VEHICULAR SPACES W/ MIN. OF 1)
REQUIRED: NONE, NO NEW VEHICLE PARKING ADDED IN THIS PROJECT

GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR 6'-0" HIGH TEMPORARY CONSTRUCTION BARRIER WITH VISION SCREEN AT STAGING, STORAGE AND CONSTRUCTIONS AREA WITH SIGNAGE EVERY 20'-0" TO WARN STUDENTS OF CONSTRUCTION AREA.
- CONTRACTOR TO BRING IN OFFICE TRAILER TO CONSTRUCTION AREA.
- CONTRACTOR SHALL ACCESS THE SITE FROM GROVE STREET. ANY DAMAGE TO FIRE LANE WILL BE AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR TO REPAIR BACK TO EXISTING CONDITIONS ALL LAYDOWN AREAS AT THE END OF CONSTRUCTION. THIS INCLUDES LANDSCAPE AREAS AND ANY BROKEN SPRINKLERS, VALVE BOXES, CONCRETE, ASPHALT, ETC.
- CONTRACTOR SHALL REPLACE, RECONSTRUCT AND REPAIR ALL EXISTING WORK THAT IS IMPACTED, DAMAGED, OR DESTROYED AS A RESULT OF ANY CONTRACTOR WORK INCLUDING, BUT NO LIMITED TO, HARDSCAPING, SIDEWALKS, IRRIGATION SYSTEMS, LANDSCAPING, LAWNS, STRUCTURES, AND UTILITIES - ALL TO THE SATISFACTION OF THE DISTRICT.
- WHERE ASPHALT OR CONCRETE IS BEING REPAATCHED, CONTRACTOR SHALL PROVIDE EVEN AND STRAIGHT LINE CUTS WITH 2-FOOT STRAIGHT SLURRY SEAL SURFACE PATCH ON BOTH SIDES OF CUT.
- CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN EXCAVATING AN TRENCHING ON SITE TO AVOID EXISTING DUCTS, PIPING OR CONDUITS, ETC., AND TO PREVENT HAZARDS TO PERSONNEL AND/OR DAMAGE TO EXISTING UNDERGROUND UTILITIES OR STRUCTURES WHERE OR NOT SHOWN AND INSTALLED BY ANY OTHER CONTRACTS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN OR DETAILED AND INSTALLED BY ANY OTHER CONTRACTS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT SHOULD SUCH UNIDENTIFIED CONDITIONS BE DISCOVERED. THESE DRAWINGS AND SPECIFICATIONS DO NOT INCLUDE THE NECESSARY ELEMENTS FOR CONSTRUCTION SAFETY.
- GATES IN PATH OF TRAVEL SHALL COMPLY WITH EXIT DOOR REQUIREMENTS WITH PROPER LEVER HARDWARE AND KICK PLATES.

LEGEND

- | | |
|--|---------------------------------|
| | ACCESSIBLE BATHROOM FACILITIES: |
| | ◇ BOYS |
| | ◇ GIRLS |
| | ◇ ALL-GENDER |
| | PROPERTY LINE |
| | (E) ORNAMENTAL TUBE STEEL FENCE |
| | (E) FIRE HYDRANT |
| | (E) LIGHT POLE |
| | FIRE ACCESS LANE |
| | PATH OF TRAVEL |



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NO.	REMARKS	DATE

KEY PLAN

PROJECT

PLACER ACADEMY
4700 GROVE STREET
ROCKLIN, CA 95677

SHEET NAME

SITE PLAN

Date
12.22.2020

Drawing Number

Scale
AS NOTED

Project Number
20032

A1.0



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KEY PLAN

PROJECT

PLACER ACADEMY
4700 GROVE STREET
ROCKLIN, CA 95677

SHEET NAME

SITE AMENITIES

Date _____

12.22.2020

Scale

AS NOTED

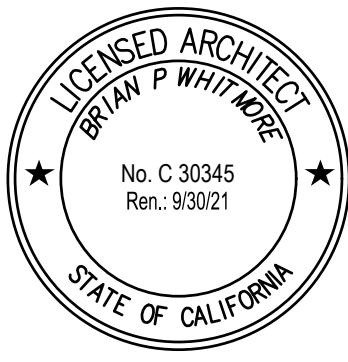
Project Number

Project Number

20032

Drawing Number

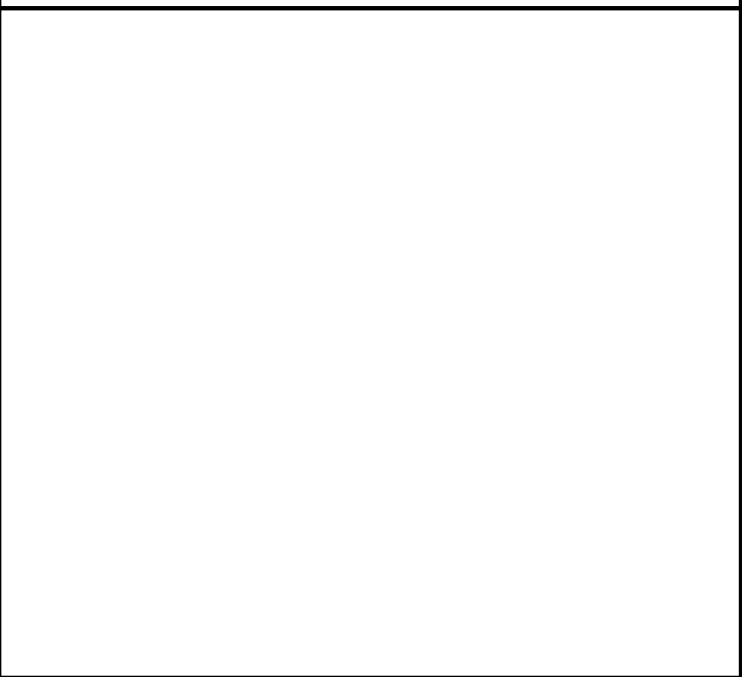
A1.1

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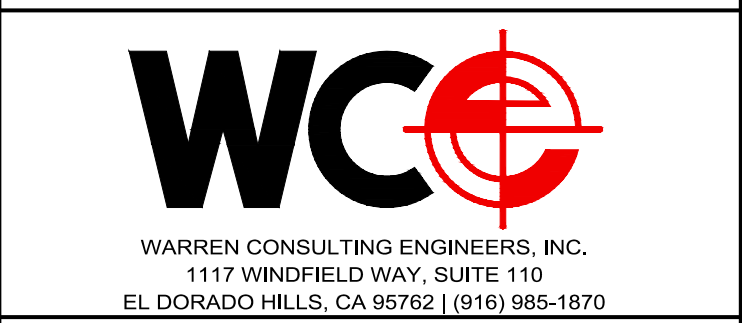
KEY PLAN



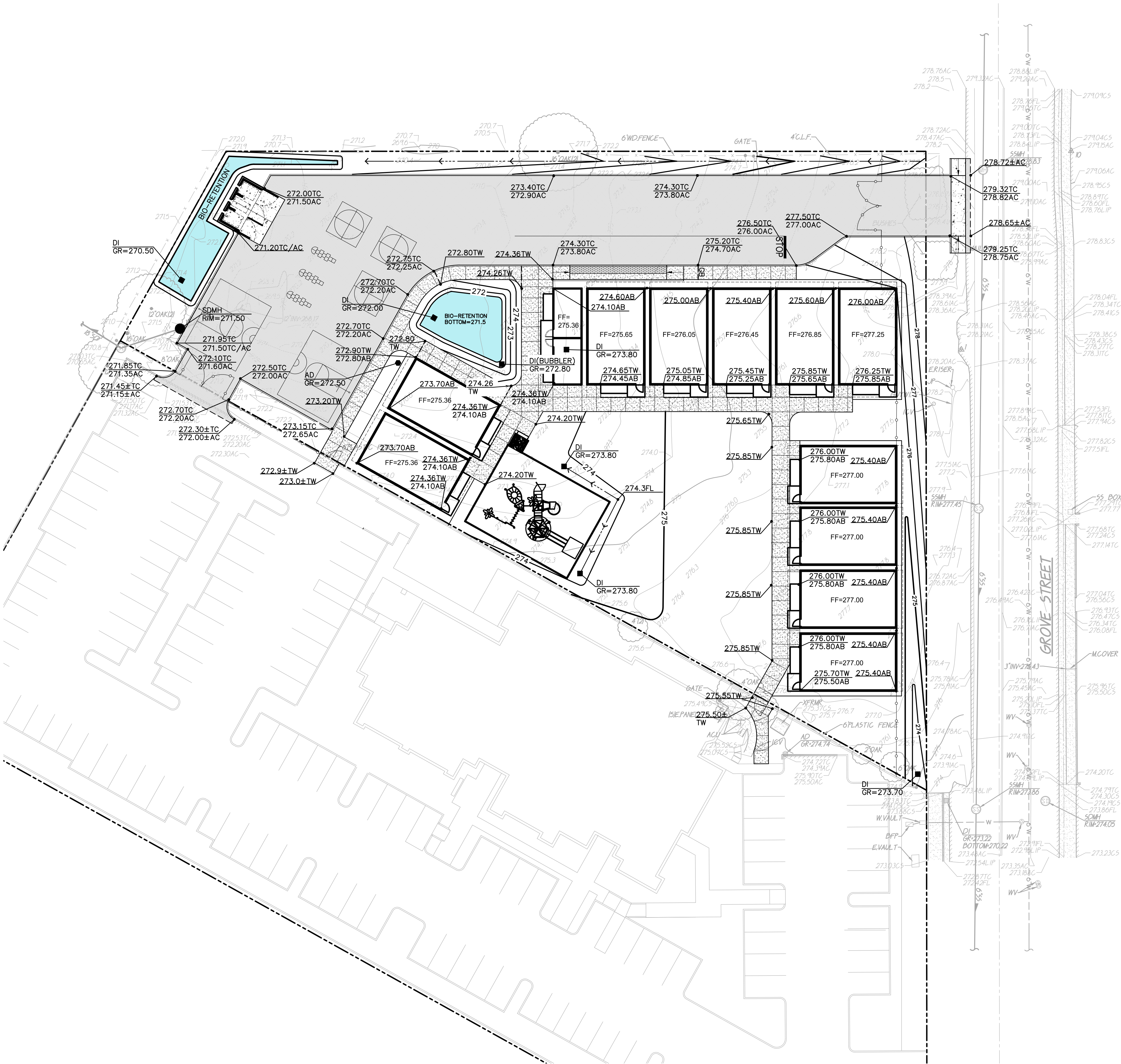
PROJECT

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ROCKLIN, CA 95677

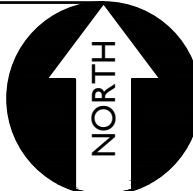
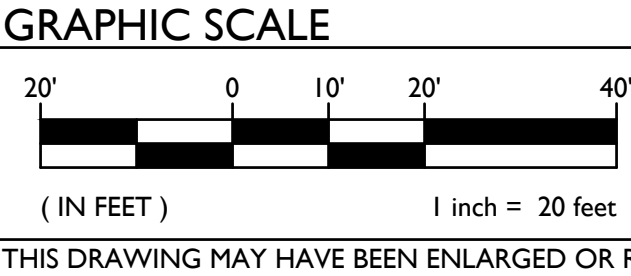
GRADING AND DRAINAGE PLAN

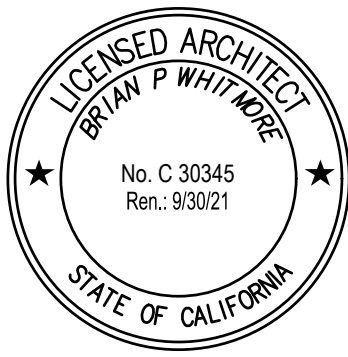


Date 12.10.20	Drawing Number C2.1
Scale AS NOTED	Project Number 20032.1



EARTHWORK QUANTITIES IN CUBIC YARDS		
CUT (CY)	FILL (CY)	NET (CY)
1400	750	650

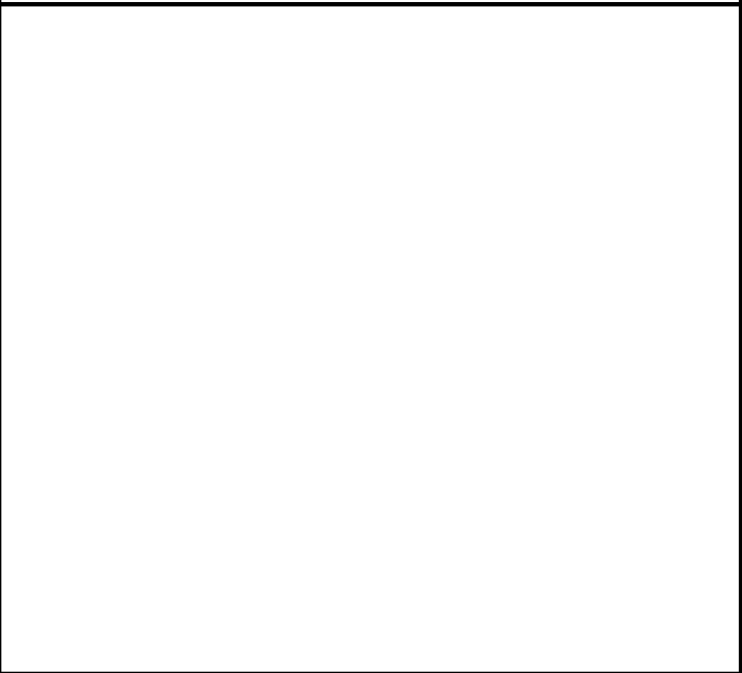


ARCHITECT	ENGINEER
	

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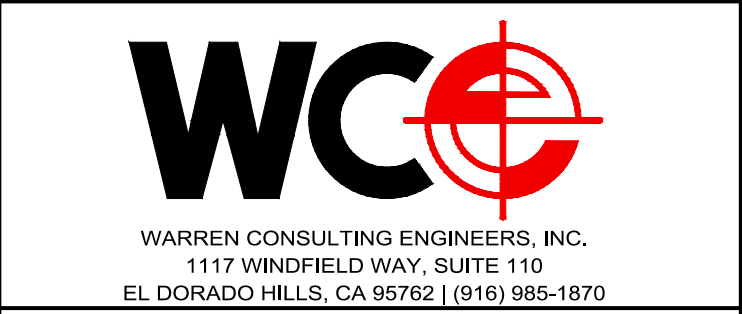
KEY PLAN



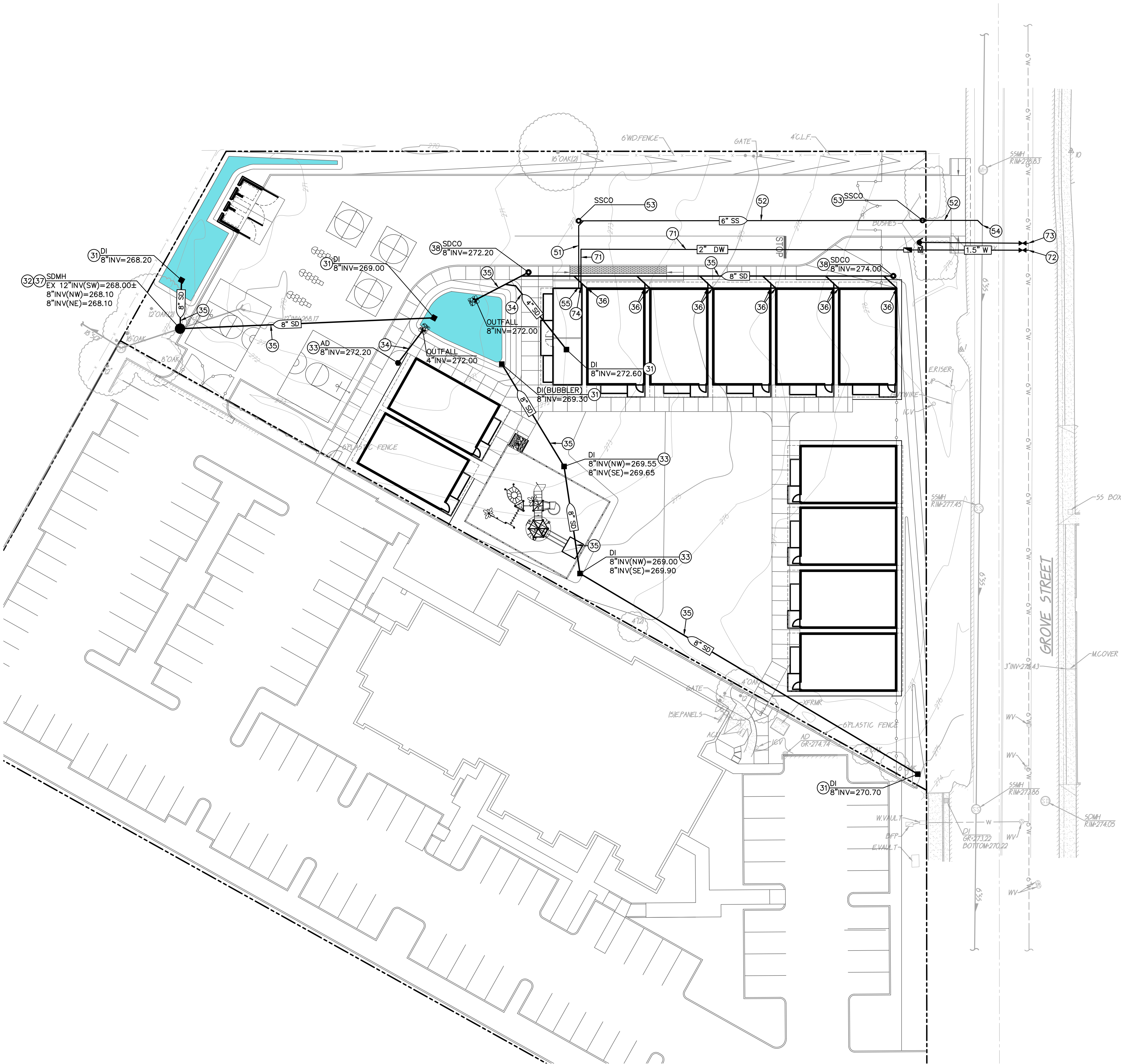
PROJECT

PLACER ACADEMY
4700 GROVE STREET
ROCKLIN, CA 95677

UTILITY PLAN



Date 12.10.20	Drawing Number C3.1
Scale AS NOTED	Project Number 20032.1



DRAINAGE NOTES

31. CONSTRUCT DROP INLET.
32. CONSTRUCT STORM DRAIN MANHOLE.
33. CONSTRUCT AREA DRAIN.
34. PLACE 4" STORM DRAIN.
35. PLACE 8" STORM DRAIN.
36. PROVIDE DOWNSPOUT CONNECTION.
37. CONNECT TO EXISTING STORM DRAIN.
38. CONSTRUCT STORM DRAIN CLEANOUT.

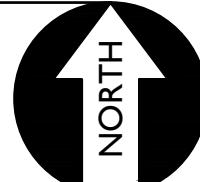
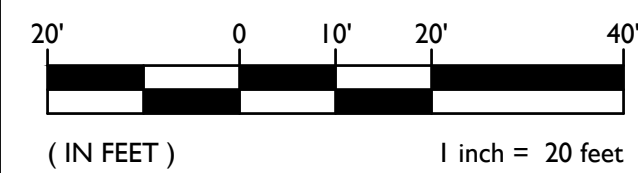
SANITARY SEWER NOTES

51. PLACE 4" SEWER.
52. PLACE 6" SEWER.
53. CONSTRUCT SEWER CLEANOUT.
54. CONNECT TO EXISTING SEWER.
55. CONNECT TO BUILDING SEWER SERVICE.

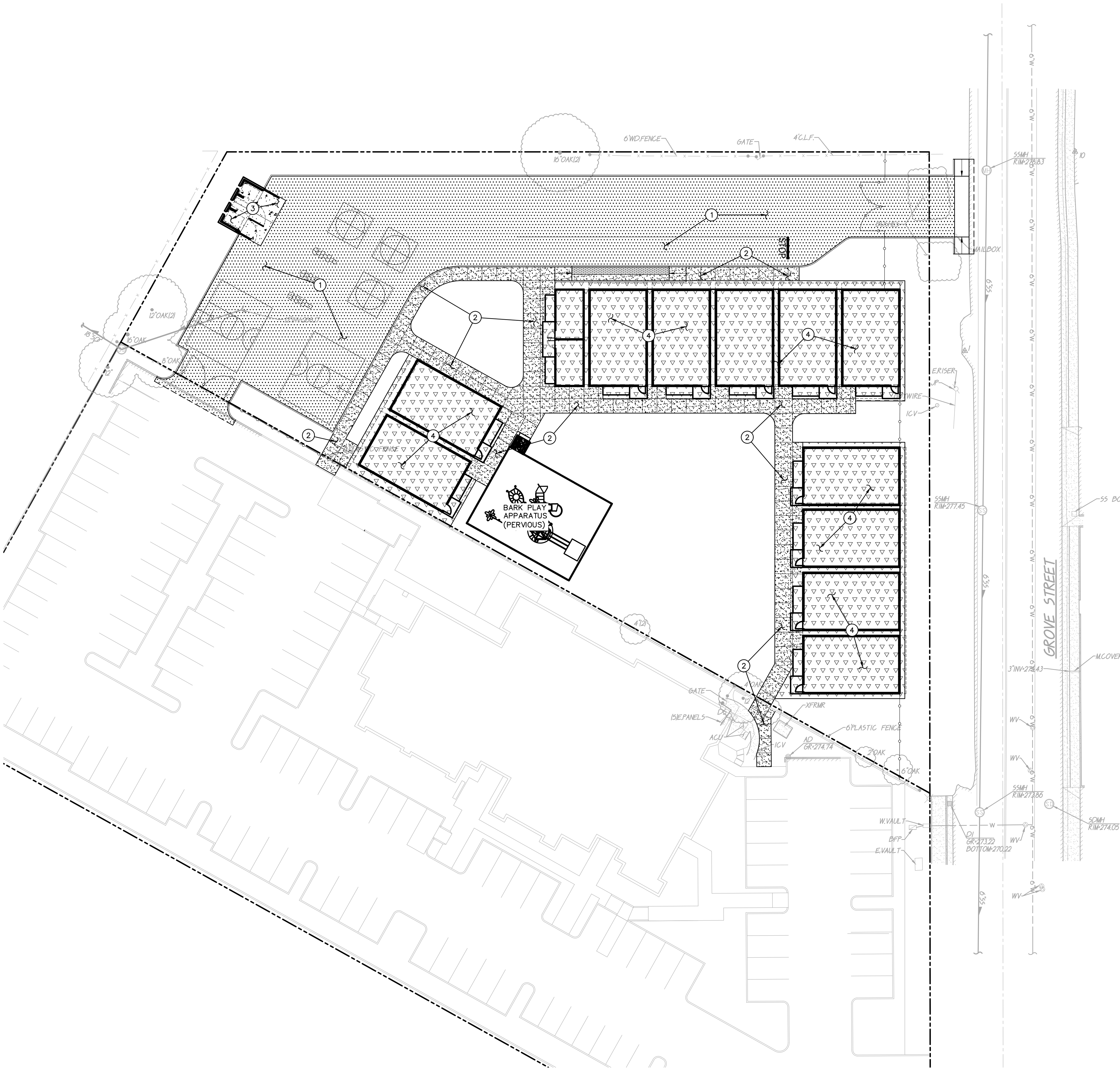
WATER NOTES

71. PLACE 2" WATER PIPE.
72. PLACE 1.5" DOMESTIC WATER SERVICE.
73. PLACE FIRE HYDRANT ASSEMBLY.
74. CONNECT TO BUILDING DOMESTIC WATER SERVICE.

GRAPHIC SCALE



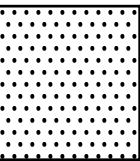
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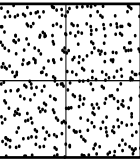


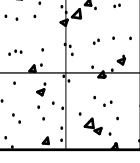
PAVING GENERAL NOTES:

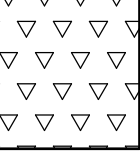
1. ASPHALT MIX SHALL MEET CALTRANS SPECIFICATIONS FOR TYPE B ASPHALTIC CONCRETE. REFERENCE CALTRANS AND PROJECT SPECIFICATIONS.
2. AGGREGATE BASE SHALL MEET CALTRANS SPECIFICATIONS FOR CLASS II AGGREGATE BASE.
3. ALL AGGREGATE BASE SHALL BE MOISTURE CONDITIONED TO, OR SLIGHTLY ABOVE, OPTIMUM MOISTURE CONTENT AND COMPACTED TO 95% RELATIVE COMPACTION.
4. RECYCLED ASPHALT MAY BE USED AS CONCRETE AND ASPHALT BASE MATERIAL PROVIDED IT MEETS CITY OF SACRAMENTO SPECIFICATIONS FOR CLASS II AB.
5. PAVEMENT SUBGRADE PREPARATION, I.E. SCARIFICATION, MOISTURE CONDITIONING, AND COMPACTION SHALL BE PERFORMED AFTER;
A. POT HOLING ALL EXISTING UTILITIES.
B. THE INSTALLATION OF UNDERGROUND UTILITIES AND TRENCHES BACKFILLED IN ACCORDANCE WITH THESE PLANS.
6. ALL AREAS DISTURBED BY GRADING, DEMOLITION, OR CONSTRUCTION ACCESS, WHICH ARE NOT SURFACED BY THIS SET OF PLANS, OR LANDSCAPE PLANS, SHALL BE RESTORED.
7. REFER TO GRADING PLANS FOR CURBS, CURB GUTTERS, VALLEY GUTTERS, AND OTHER CONCRETE STRUCTURES AND PAVING FEATURES NOT SPECIFICALLY NOTED ON THIS PLAN.
8. ADJUST TO FINISH GRADE ALL BOXES, FRAMES, COVERS SLEEVES, POST HOLES, GRATES, ETC. FOUND IN NEW ASPHALT OR CONCRETE PAVING AREAS, WHICH ARE NOT NOTED FOR REMOVAL. CLEAN/OR REPLACE AS NECESSARY TO ENSURE PROPER SEATING.

PAVING LEGEND

- 

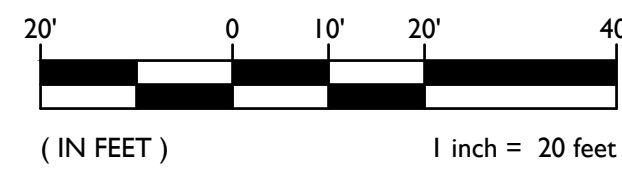
① TYPE 1 PAVING
PLACE 3" AC OVER 8" CLASS II AB ON COMPACTED SUBGRADE.
- 

② TYPE 2 PAVING
PLACE 5" PCC WITH #4 REBAR @ 18" O.C.E.W. OVER 4" CLASS II AB ON COMPACTED SUBGRADE.
- 

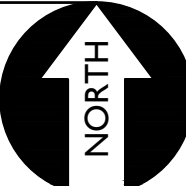
③ TYPE 3 PAVING
PLACE 6" PCC WITH #4 REBAR @ 18" O.C.E.W. OVER 6" CLASS II AB ON COMPACTED SUBGRADE.
- 

④ TYPE 4
PLACE 12" OF AGGREGATE BASE ON COMPACTED SUBGRADE

GRAPHIC SCALE



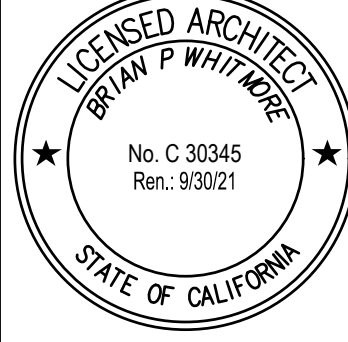
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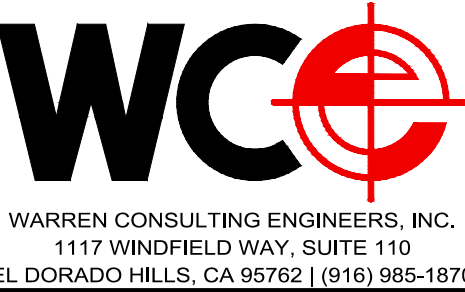
NO.	REMARKS	DATE

KEY PLAN

PROJECT

PLACER ACADEMY
4700 GROVE STREET
ROCKLIN, CA 95677

PAVING PLAN

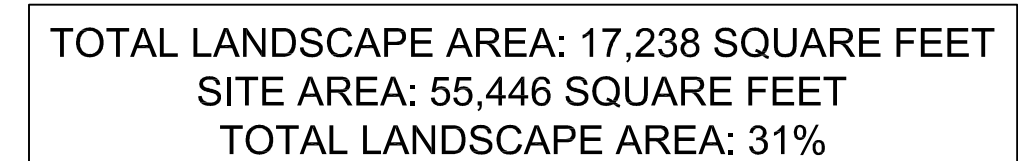


Date
12.10.20
Drawing Number
C4.1
Scale
AS NOTED
Project Number
20032.1

PLANT LEGEND					
SYM	BOTANICAL/ COMMON NAME	SIZE	QTY	WATER USE	HTxWD
	<u>TREES</u>				
	CERCIS CANADENSIS 'OKLAHOMA'/EASTERN REDBUD	15 GAL	18	LOW	18"x18"
	LAURUS NOBILIS/BAY LAUREL	24" BOX	11	LOW	25"x20"
	PISTACIA CHINENSIS/CHINESE PISTACHE	15 GAL	6	LOW	30"x30"
	QUERCUS WISLIZENII/INTERIOR LIVE OAK	24" BOX	7	LOW	40"x40"
	<u>SHRUBS/ GROUNDCOVER</u>				
	ARCTOSTAPHYLOS 'EMERALD CARPET'/MANZANITA	5 GAL	--	LOW	--
	CISTUS LADANIFER/CRIMSON SPOT ROCKROSE	5 GAL	--	LOW	4"x4"
	DIETES VEGETA/FORTNIGHT LILY	5 GAL	--	LOW	30"x24"
	MYRTUS COMMUNIS 'COMPACTA'/COMPACT MYRTLE	5 GAL	--	LOW	3"x3"
	MUHLENBERGIA RIGENS/DEER GRASS	5 GAL	--	LOW	4"x4"
	NANDINA 'GULF STREAM'/ HEAVENLY BAMBOO	5 GAL	--	LOW	30"x30"
	ROSMARINUS OFFICINALIS TUSCAN BLUE/ROSEMARY	5 GAL	--	LOW	5"x3"
	<u>VINES</u>				
	TRACHELOSPERMUM JASMINOIDES/ STAR JASMINE (STAKED)	5 GAL	4	MED	--

PLANTING NOTES

1. PLANTING SHALL CONFORM TO PLACER COUNTY REQUIREMENTS FOR LANDSCAPE SITE DEVELOPMENT.
2. PROVIDE MINIMUM SLOPE OF 1 ½% FOR POSITIVE DRAINAGE AWAY FROM CENTER IN ALL PLANTED AREAS.
3. THE PLANT QUANTITIES SHOWN ON THE DRAWINGS ARE INFORMATIONAL ONLY. THE CONTRACTOR IS RESPONSIBLE FOR FINAL QUANTITIES REQUIRED TO COMPLETE THE WORK. IN CASE OF DISCREPANCY, THE PLAN SHALL GOVERN.
4. ALL TREES SHALL BE PLANTED A MINIMUM OF 5' FROM UNDERGROUND UTILITIES.
5. ALL EXISTING TREES SHALL BE PROTECTED FROM DAMAGE OR INJURY. NO PARKING OR STACKING OF CONSTRUCTION MATERIAL IS ALLOWED WITHIN THE DRIPLINE OF AN EXISTING TREE.
6. IMMEDIATELY AFTER AWARD OF CONTRACT, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IF SPECIFIED PLANT MATERIAL IS AVAILABLE FROM COMMERCIAL NURSERIES. IN THE EVENT THAT A PLANT IS NOT AVAILABLE, THE LANDSCAPE ARCHITECT WILL PROVIDE ALTERNATE PLANT MATERIAL SELECTIONS. SUCH CHANGES WILL NOT ALTER THE CONTRACTOR'S ORIGINAL BID PRICE UNLESS A CREDIT IS DUE TO THE OWNER.
7. THE CONTRACTOR SHALL ENSURE THAT ALL EXCAVATED PLANT PITS HAVE POSITIVE DRAINAGE. PLANT PITS SHALL BE FULLY FILLED WITH WATER AND SHALL DRAIN WITHIN ONE (1) HOUR OF FILLING. THE CONTRACTOR SHALL EXCAVATE THROUGH ANY IMPERVIOUS LAYER IF ENCOUNTERED.
8. ALL PLANT MATERIAL SHALL COMPLY WITH ANSI Z601 'STANDARD FOR NURSERY STOCK'.
9. ROOT BARRIERS SHALL BE PROVIDED FOR ALL TREES WITHIN ANY PLANTING AREAS THAT ARE LESS THAN 10' WIDE.
10. ALL PLANTER AREAS SHALL RECEIVE A 3" LAYER OF BARK MULCH.
11. THE CONTRACTOR SHALL PROVIDE A SOILS REPORT PREPARED BY A QUALIFIED SOILS SPECIALIST AND SUBMIT TO THE OWNER FOR FINAL APPROVAL. SOILS SAMPLES SHALL BE COLLECTED AFTER ROUGH GRADING OPERATIONS AND PRIOR TO THE INSTALLATION OF PLANT MATERIAL. SOIL SAMPLES SHALL BE SUFFICIENTLY NUMEROUS TO ACCOUNT FOR ANY SOIL VARIATIONS THAT MAY BE PRESENT ON THE SITE. THE FOLLOWING MINIMUM ITEMS SHALL BE INCLUDED IN THE ANALYSIS:
 - A. INFILTRATION RATE.
 - B. SOIL TEXTURE.
 - C. CATION EXCHANGE CAPACITY.
 - D. SOIL FERTILITY INCLUDING TESTS FOR NITROGEN, POTASSIUM, PHOSPHOROUS, PH, ORGANIC MATTER AND SPECIFIC CONDUCTANCE (E.C.).
12. PRIOR TO PLANTING, SOIL AMENDMENTS SHALL BE ADDED PER RECOMMENDATIONS OF THE SOILS REPORT. SOIL AMENDMENTS SHOWN ON THE PLANS ARE TO BE USED FOR BIDDING PURPOSES ONLY. THE RESULTS OF THE SOILS TESTS THE CONTRACTOR PERFORMS SHALL DETERMINE ACTUAL AMENDMENTS. FAILURE TO PERFORM SOIL ANALYSIS AND RECOMMENDED SOILS AMENDMENTS WILL RESULT IN REPLACEMENT OF PLANT MATERIAL. CONTRACTOR WILL BE REQUIRED TO REMOVE AND REPLACE ANY PLANT MATERIAL, BARK, ETC INSTALLED PRIOR TO SOIL AMENDMENTS (AT CONTRACTORS EXPENSE) TO ALLOW FOR INSTALLATION OF REQUIRED AMENDMENTS.





EXISTING
RESIDENTIAL

PROPOSED
FIRE ACCESS
GATE

EXISTING VACANT
LOT
COMMERCIAL
ZONE

TWO-WAY DRIVE
AISLE

DROP OFF LAKE

HARD
COURT/BLACKTOP
AREA
TURN AROUND AREA

PLAY AREA

ZONING: C-2 (LAND USE: RETAIL COMMERCIAL)

PROPOSED ACCESS GATE
(NEEDS ACCESSIBLE POT)

PROPOSED
FIRE ACCESS
GATE



EXTERIOR ELEVATIONS - FRONT - DUAL SLOPE

SCALE: 1/4" = 1'-0"



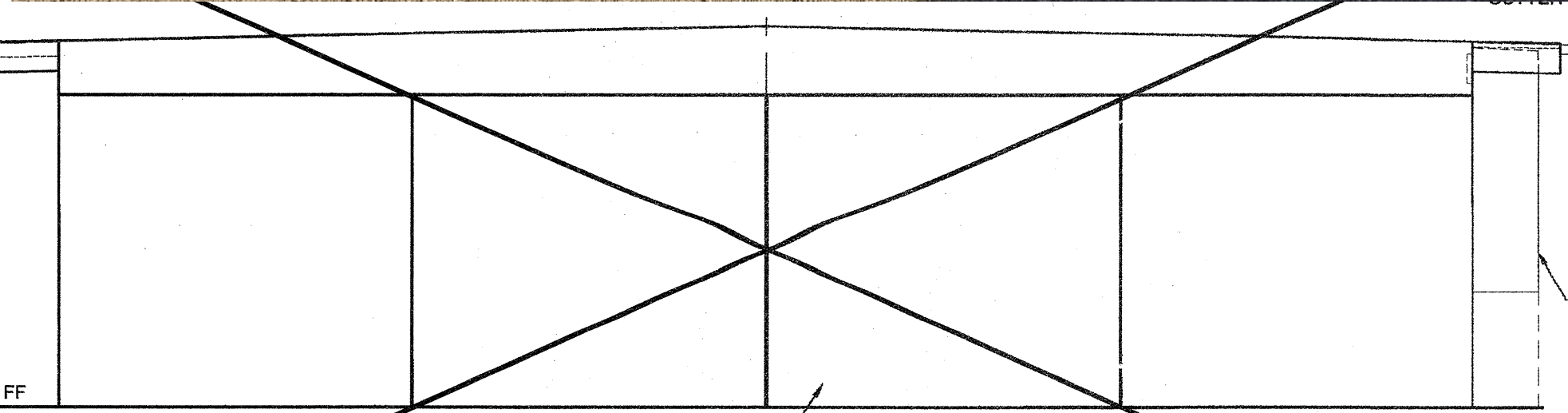
EXTERIOR

SCALE: 1/4" = 1'-0"



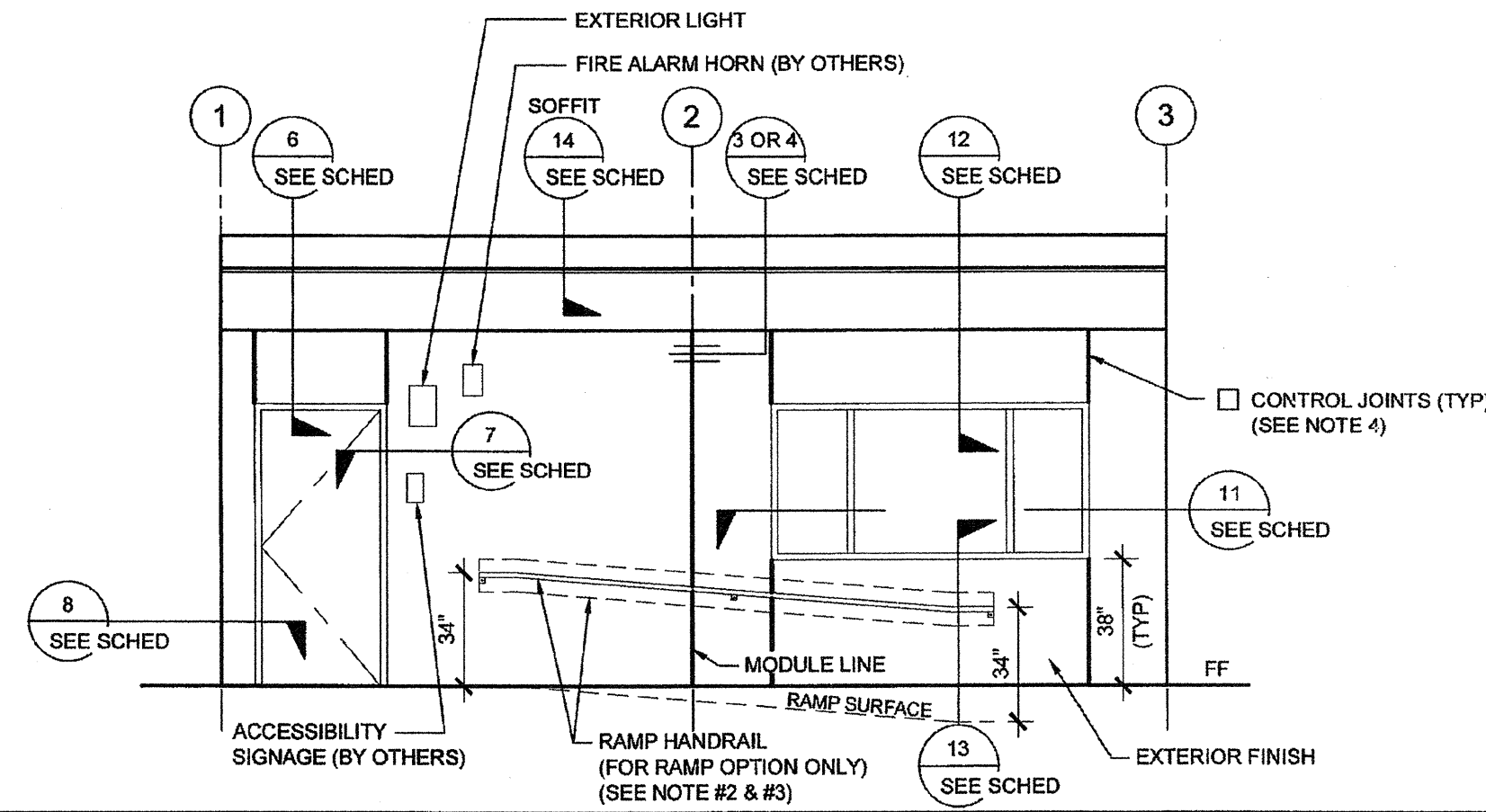
EXTER

SCALE: 1/4" = 1'-0"



EXTERIOR ELEVATIONS - RIGHT - DUAL SLOPE

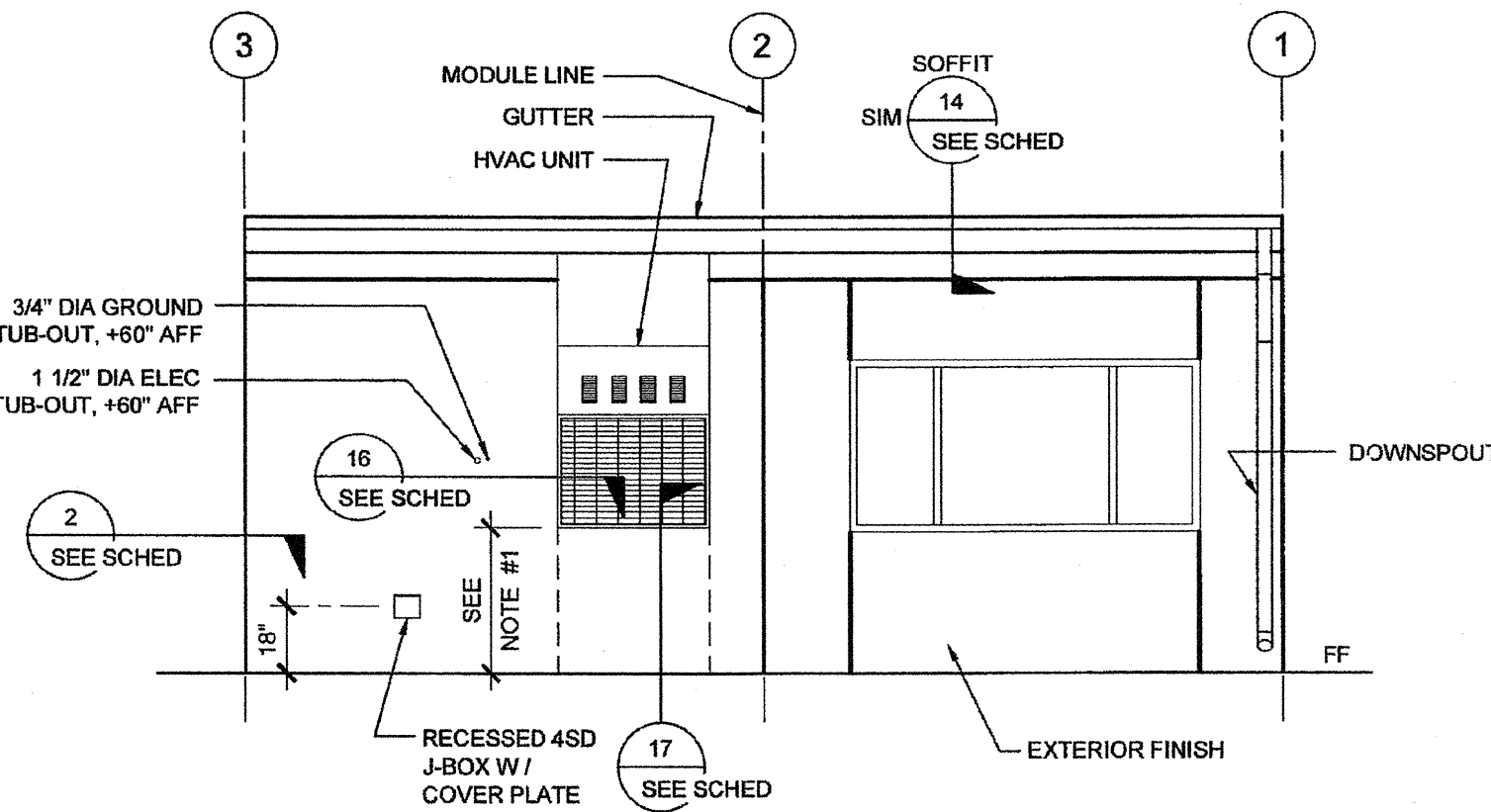
SCALE: 1/4" = 1'-0"



EXTERIOR ELEVATIONS - FRONT - MONO SLOPE

FACING EXISTING SCHOOL CAMPUS

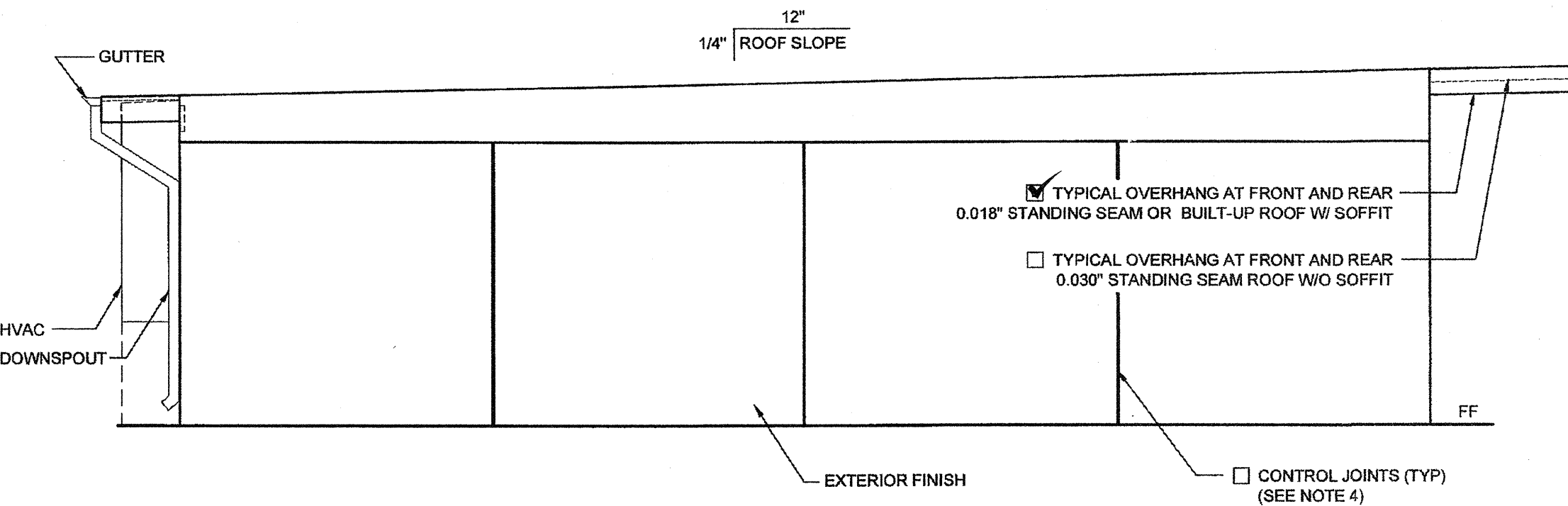
SCALE: 1/4" = 1'-0"



EXTERIOR ELEVATIONS - REAR - MONO SLOPE

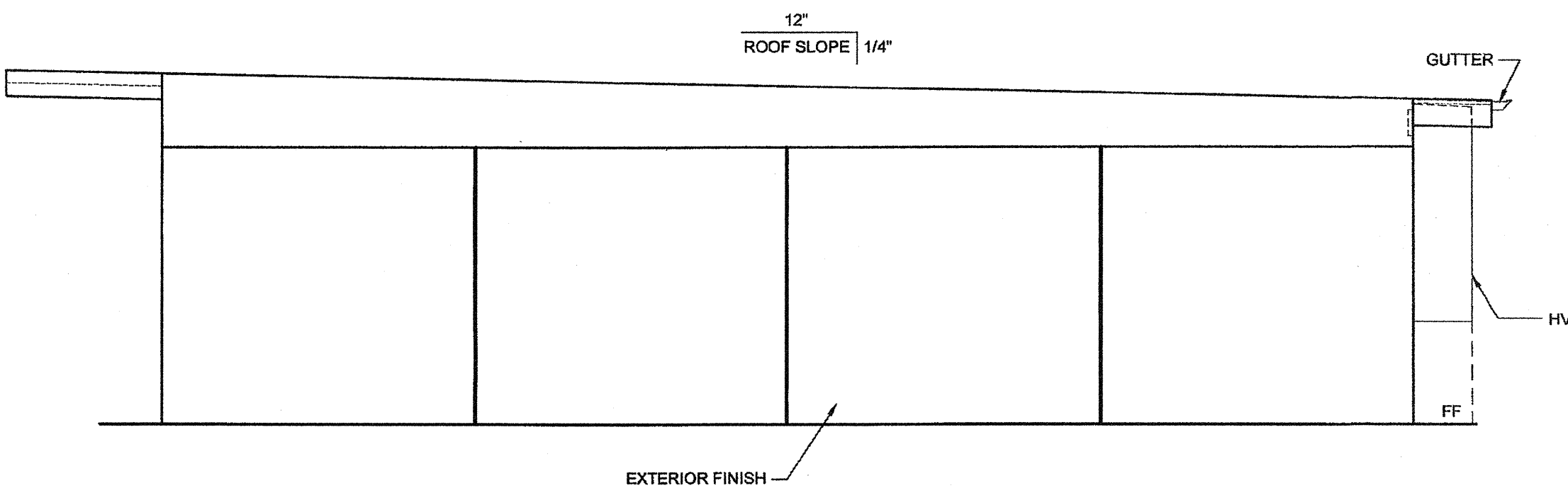
FACING GROVE STREET

SCALE: 1/4" = 1'-0"



EXTERIOR ELEVATIONS - LEFT - MONO SLOPE

SCALE: 1/4" = 1'-0"



EXTERIOR ELEVATIONS - RIGHT - MONO SLOPE

SCALE: 1/4" = 1'-0"

NOTES (EXTERIOR ELEVATION)

1. PROVIDE PROTECTION RAIL AROUND HVAC UNIT(S) IF LOCATED IN A PEDESTRIAN WAY IF THE HEIGHT FROM GRADE TO BOTTOM OF UNIT EXCEEDS 27" (N.C.). REFERENCE TO DET. # 2/AS.61 FOR WOOD STUDS, # 11/AS.81 FOR STEEL STUDS.
2. RAMP (WHERE OCCURS), NOT SHOWN FOR CLARITY.
3. WALL BEYOND HANDRAIL SHALL NOT HAVE ANY SHARP OR ABRASIVE SURFACE ADJACENT TO HANDRAILS. (GRIND SMOOTH ALL METAL RAILING CONNECTIONS - SMOOTH SURFACE TO EXTEND 8" ABOVE HANDRAIL).
4. FOR PLASTER ONLY, PROVIDE CONTROL JOINT AT EACH MODULE LINE, ON END WALLS, 10'-0" OC AT SIDE WALLS, AND / OR ABOVE AND BELOW OPENINGS. WHERE FIRE RATED WALLS ARE REQUIRED, MATERIALS AND METHODS OF CONSTRUCTION USED TO PROTECT JOINTS WILL COMPLY WITH CBC SECTION 703.2 AND 705.
5. HANDRAIL IS NOT ALLOWED AT PLASTER OPTION WHERE RAMP IS AGAINST THE WALL. SEE DETAIL 1/R-2.01 FOR SIMILAR APPLICATION.

DETAIL SCHEDULE

EXTERIOR FINISH:	SHEET #:
☒ SIDING OVER WOOD STUDS	A-5.50
☐ PLASTER OVER 1/2" OSB OR 1/2" CDX PLY WITH WOOD STUDS	A-5.51
☐ SIDING OVER STEEL STUDS	A-5.60
☐ PLASTER OVER 1/2" OSB OR 1/2" CDX PLY WITH STEEL STUDS	A-5.61

FIRE RATED DETAIL SCHEDULE

FIRE PROTECTION:	SHEET #:
☐ 1 HOUR - SIDING OVER WOOD STUDS	A-5.52
☐ 1 HOUR - PLASTER OVER 1/2" OSB OR 1/2" CDX PLY WITH WOOD STUDS	A-5.53
☐ 1 HOUR - SIDING OVER STEEL STUDS	A-5.62
☐ 1 HOUR - PLASTER OVER 1/2" OSB OR 1/2" CDX PLY WITH STEEL STUDS	A-5.63

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SILVER CREEK INDUSTRIES, INC.



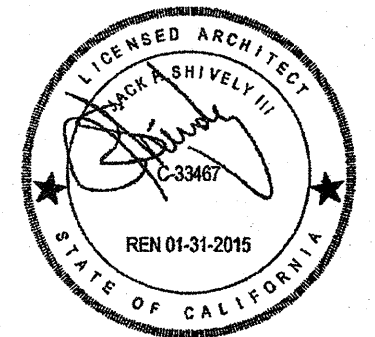
2830 BARRETT AVE. PERRIS, CALIFORNIA 92571
PHONE: 951-943-5393 FAX: 951-943-2211

PROJECT NAME:

MOBILE MODULAR
STOCKPILE
(100) 24' x 40' CR.

SHEET TITLE:

EXTERIOR ELEVATION
24' X 40'
MONO / DUAL SLOPE

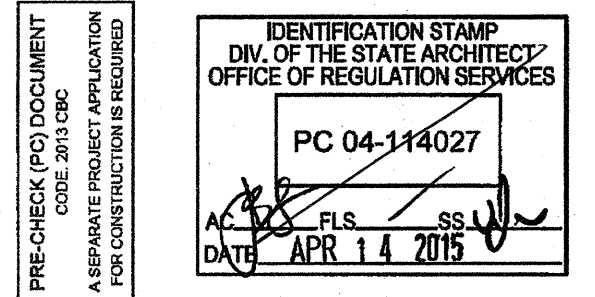


ARCHITECT OF RECORD
SUBMISSION DATE

PROJECT SPECIFIC STATE AGENCY APPROVAL

IDENTIFICATION STAMP
DIV. OF THE STATE ARCHITECT
04 - 117709
ACS - FLS - GS - CI
DATE AUG 09 2018

ORIGINAL PC STATE AGENCY APPROVAL



REVISIONS



SILVER CREEK INDUSTRIES
24' x 40' PC (HIGH SEISMIC)

PROJECT NO:

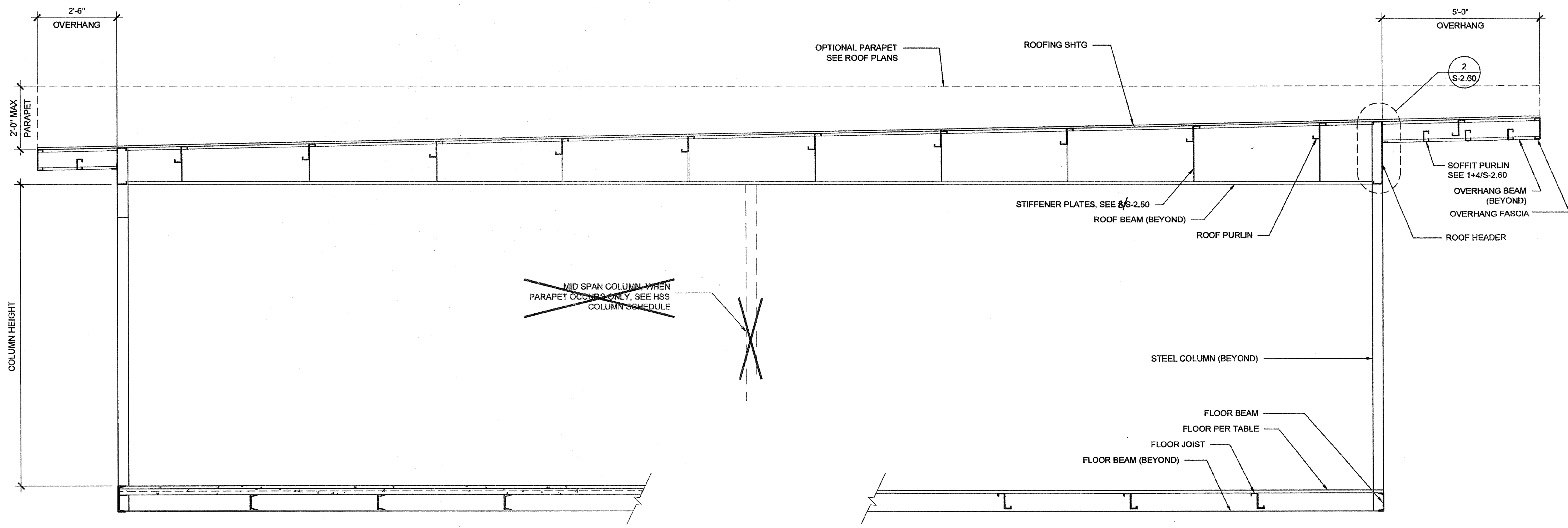
DRAWN BY:

SCALE: AS NOTED

DATE: 09-10-14

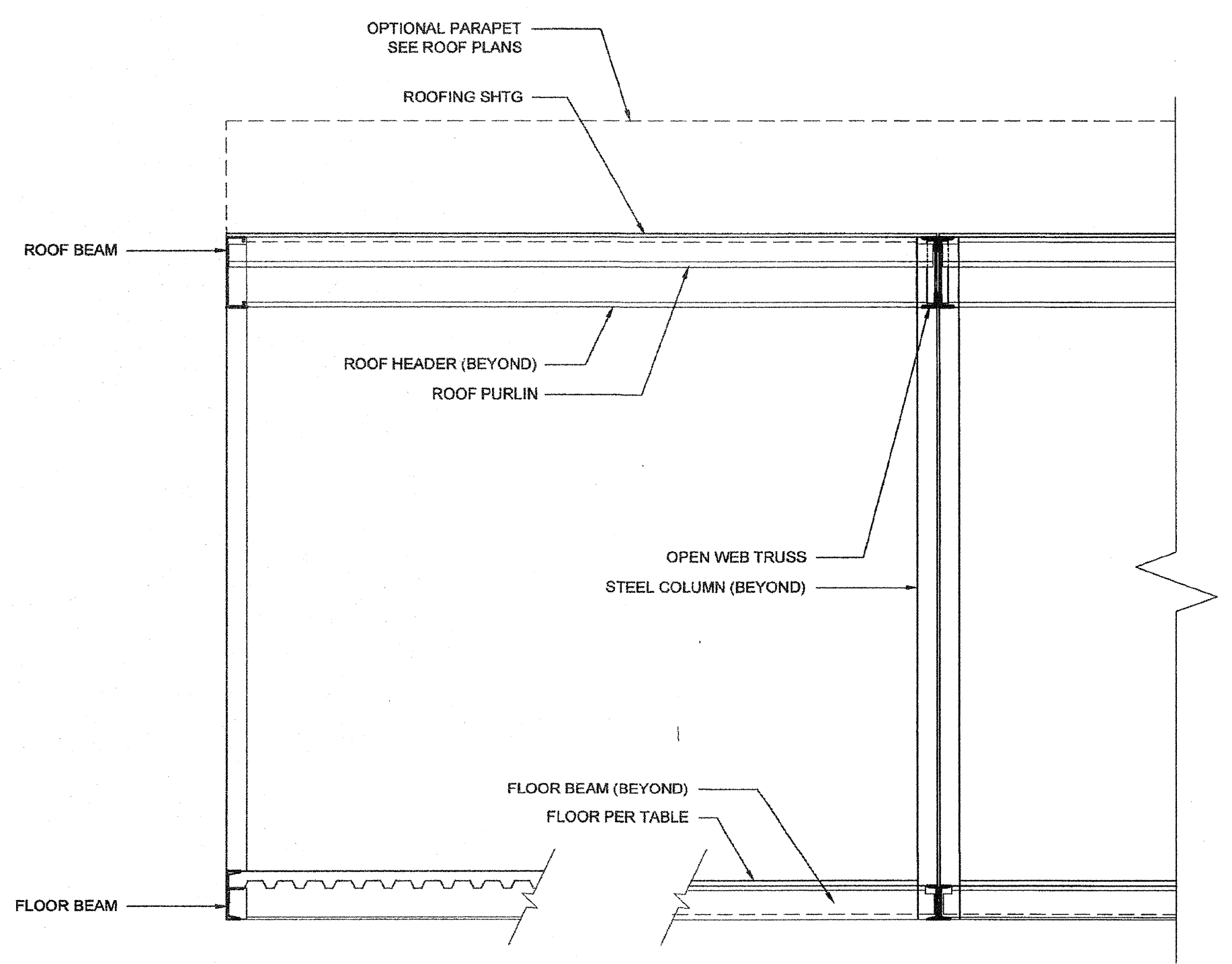
P.C. SHEET NUMBER

A-4.01



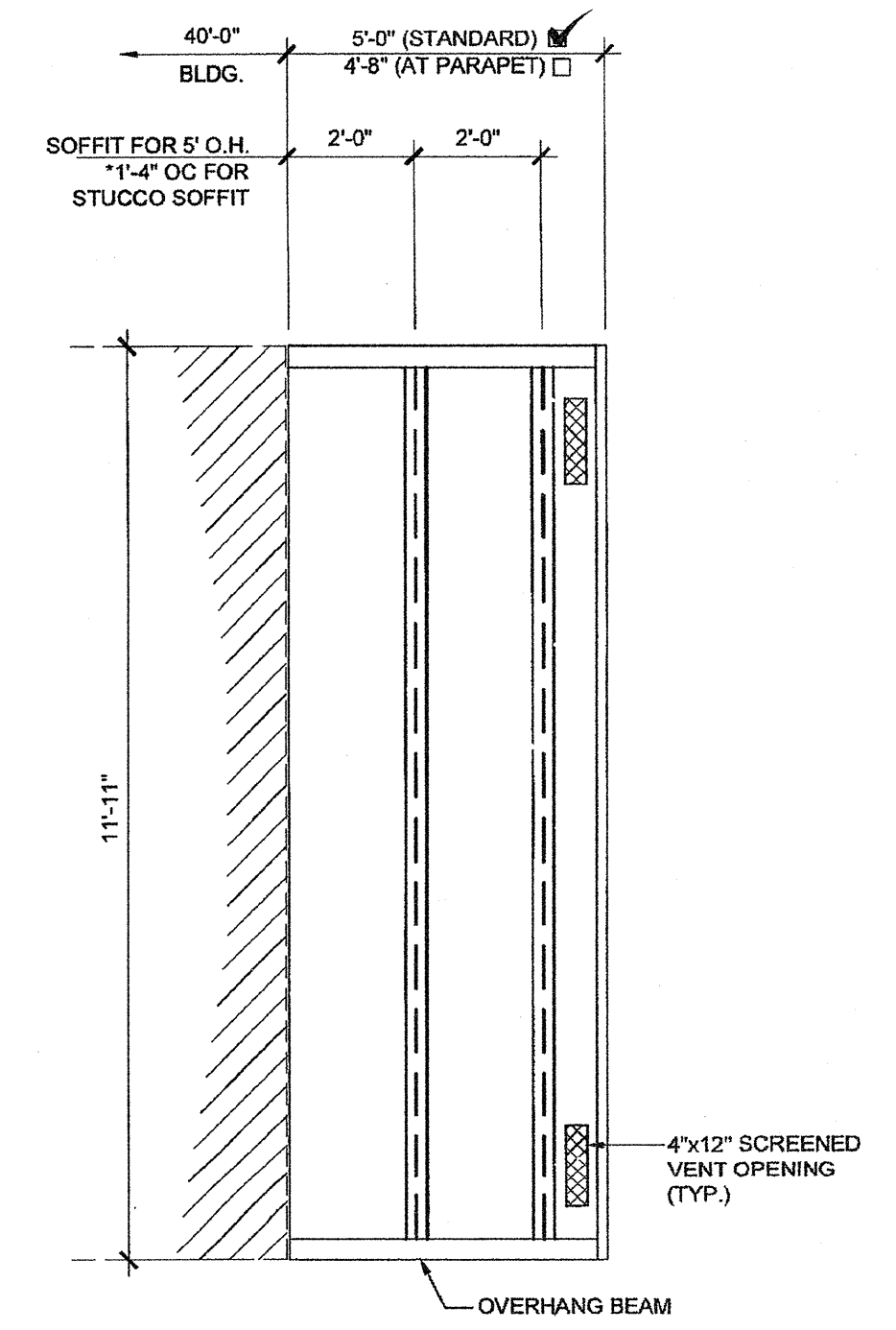
BUILDING SECTION

SCALE: 1/2" = 1'-0" 1



BUILDING SECTION

SCALE: 1/2" = 1'-0" 3



ENCL. SOFFIT PLAN-OPT.

SCALE: 3/8" = 1'-0" 2

NOTES

1. ALL INFORMATION SUCH AS DETAILS, SECTIONS, CONNECTIONS, AND MATERIAL ATTACHMENT SHALL BE REFERENCED FROM OTHER SHEETS WITHIN THIS SET WHERE IT APPLIES.

FLOOR CONSTRUCTION

- ☒ WOOD FLOOR
- ☐ CONCRETE FLOOR

HSS COLUMN SCHEDULE

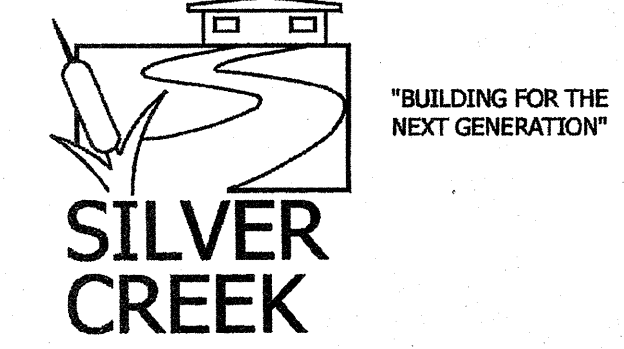
COL HT	METAL ROOF	B.U.R OR UP TO 18' PARAPET	UP TO 48' PARAPET
☒ 9'-0"	☒ 5 x 5 x 1/4	☐ 6 x 6 x 1/4	☒ 8 x 8 x 1/4
☐ UP TO 10.5'	☐ 6 x 6 x 1/4	☒ 8 x 8 x 1/4	☒ 9 x 9 x 1/4

FLOOR BEAM
☐ = C7x9.8
☒ = C8x11.5

NOTE: CONCRETE FLOOR REQUIRES C10x15.3 FLOOR BEAMS

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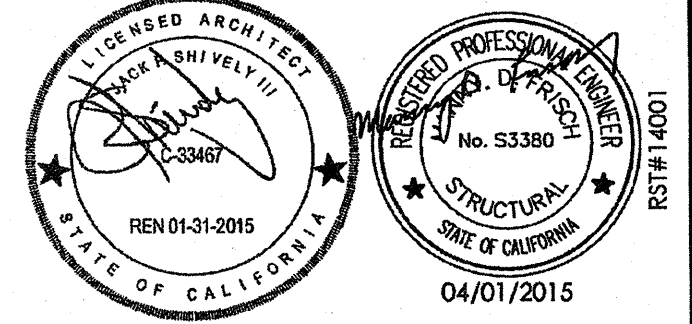
2830 BARRETT AVE. PERRIS, CALIFORNIA 92571
PHONE: 951-943-5393 FAX: 951-943-2211

PROJECT NAME:

MOBILE MODULAR STOCKPILE
(100) 24' x 40' CR.

SHEET TITLE:

BUILDING SECTIONS
MONO SLOPE



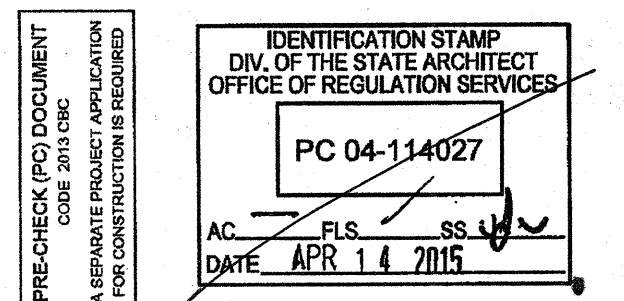
ARCHITECT OF RECORD
SUBMISSION DATE

PROJECT SPECIFIC STATE AGENCY APPROVAL

IDENTIFICATION STAMP
DIV. OF THE STATE ARCHITECT

04 117709
ACS / FLS / SS / G
DATE AUG 09 2018

ORIGINAL PC STATE AGENCY APPROVAL



REVISIONS

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SILVER CREEK INDUSTRIES
24' x 40' PC (HIGH SEISMIC)

PROJECT NO:

DRAWN BY:

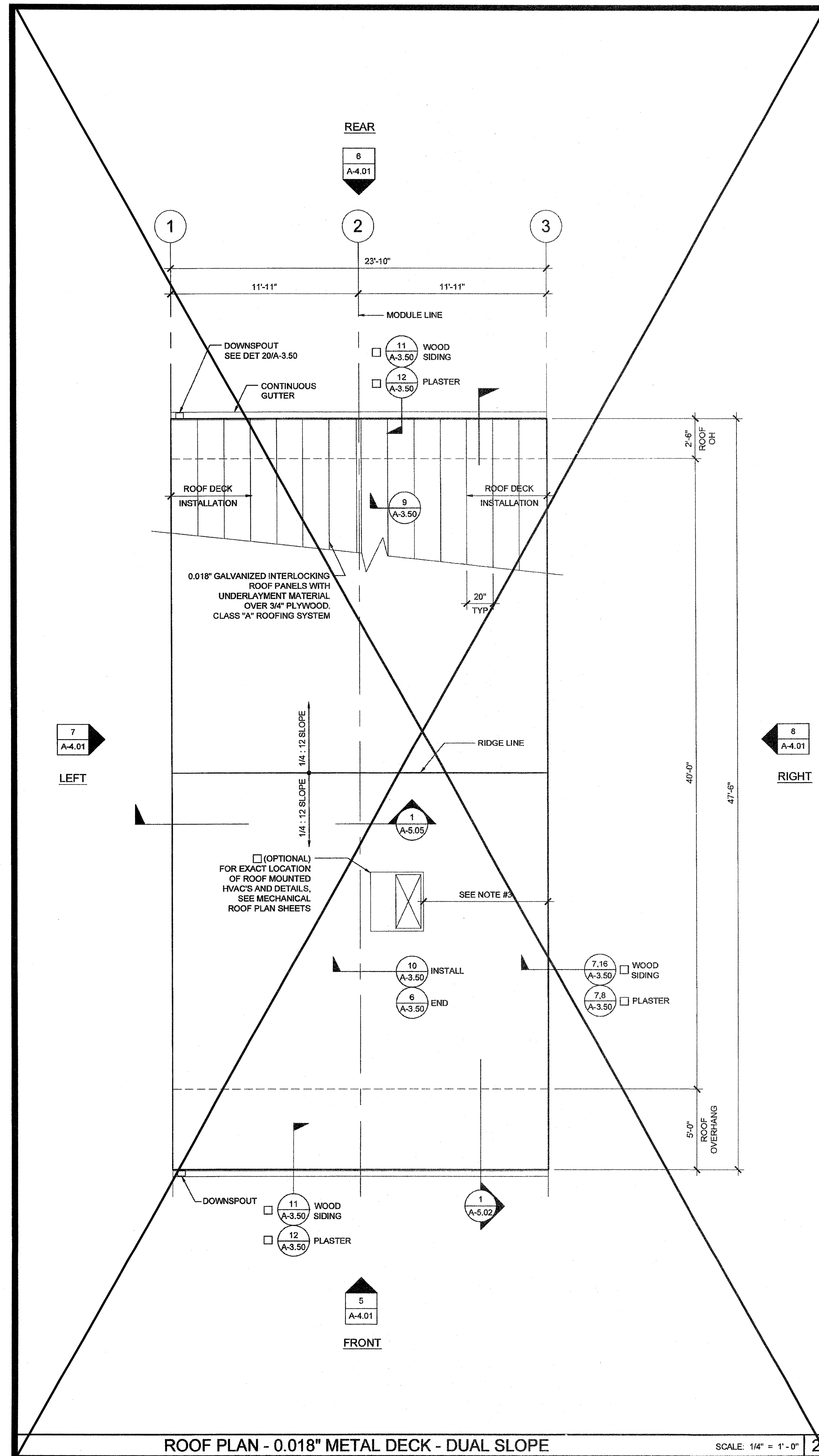
SCALE: AS NOTED

DATE: 09-10-14

P.C. SHEET NUMBER

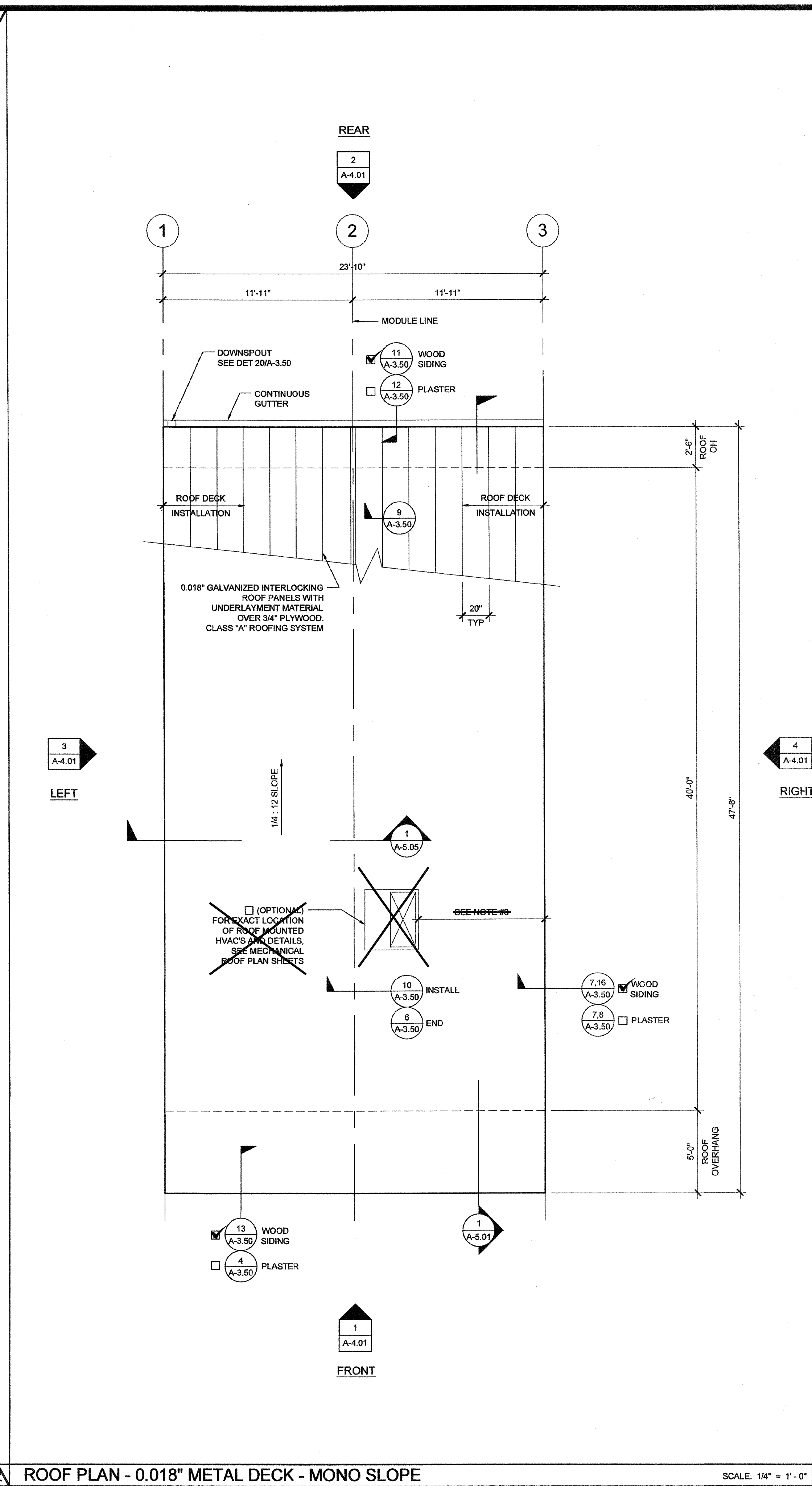
S-3.01

-- HIGH SEISMIC --



ROOF PLAN - 0.018" METAL DECK - DUAL SLOPE

SCALE: 1/4" = 1' - 0"



ROOF PLAN - 0.018" METAL DECK - MONO SLOPE

SCALE: 1/4" = 1' - 0"

NOTES

- GROUP E OCCUPANCIES - BUILDINGS SHALL HAVE ROOF COVERINGS AS SPECIFIED IN CBC TABLE 1505.1 - CLASS A.
- LOCATIONS OF DRAFTSTOP AND/OR FULL HEIGHT PARTITIONS AS REQUIRED PER CBC 718.4.3 SHALL BE SHOWN ON PROJECT SPECIFIC PLANS LOCATED AT MODULE LINES.
- ALL ROOFTOP EQUIPMENT THAT REQUIRES SERVICE & ROOF ACCESS HATCHES MUST BE A MIN. OF 10'-0" AWAY FROM ALL ROOF EDGES TO OPENING EDGES. OR PROVIDE 42" MIN. CBC 2013 SECTIONS 1013.6 & 1013.7. PARAPET OR GUARDRAIL.
- FOR SPECIFIC DOWNSPOUT LOCATIONS FOR VARIOUS BUILDING SIZES, SEE KEY PLANS ON SHEET A-0.3. LOCATE ONE (1) DOWNSPOUT FOR EVERY THREE (3) MODULES (TYP).
- ANY BUILDING OVER 3,000 SQFT REQUIRES A DRAFT STOP UNLESS BUILDING IS EQUIPPED WITH FIRE SPRINKLERS.

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SILVER CREEK INDUSTRIES, INC.



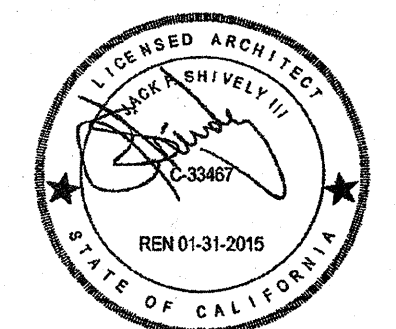
2830 BARRETT AVE. PERRIS, CALIFORNIA 92571
PHONE: 951-943-5393 FAX: 951-943-2211

PROJECT NAME:

MOBILE MODULAR
STOCKPILE
(100) 24' x 40' CR.

SHEET TITLE:

ROOF PLAN
24'x40' - 0.018" METAL DECK
MONO OR DUAL SLOPE



ARCHITECT OF RECORD
SUBMISSION DATE

PROJECT SPECIFIC STATE AGENCY APPROVAL

IDENTIFICATION STAMP
DIV. OF THE STATE ARCHITECT

04 - 117709
ACS PLS SS G
DATE AUG 09 2018

ORIGINAL PC STATE AGENCY APPROVAL

PRE-CHECK (PO DOCUMENT)
CODE 26150
A REVIEW FOR CONSTRUCTION IS REQUIRED

IDENTIFICATION STAMP
DIV. OF THE STATE ARCHITECT
OFFICE OF REGULATION SERVICES
PC 04-114027
AC PLS SS G
DATE APR 14 2019

REVISIONS

SILVER CREEK INDUSTRIES
24' x 40' PC (HIGH SEISMIC)

PROJECT NO:

DRAWN BY:

SCALE: AS NOTED

DATE: 09-10-14

P.C. SHEET NUMBER

A-3.01

MODULAR BUILDING
BODY COLOR



SHERWIN WILLIAMS
CAMEL (CUSTOM COLOR)
SATIN FINISH

MODULAR BUILDING
TRIM AND FASCIA COLOR
&
TRASH ENCLOSURE GATE COLORS



SHERWIN WILLIAMS
MESA BROWN (CUSTOM COLOR)
SATIN FINISH

TRASH ENCLOSURE-SPLIT FACE CMU



BASALITE-BASE 625



PLACER ACADEMY-PORTABLE BUILDINGS

4700 Grove Street, Rocklin, CA

architecture
planning
interiors

BCA ARCHITECTS

80 9TH STREET, SUITE 2050, SACRAMENTO, CA 95841
916.408.588.3800 | www.BCAarchitects.com

COLOR AND MATERIAL BOARD | 12/22/2020

Placer Academy Charter Project Description

December 30, 2020

The project consists of a Charter School providing Transitional Kindergarten through 8th grade classes. The school is currently in the process of adapting an existing school resource facility located at 4750 Grove Street to house a portion of their students. These students are currently learning remotely and at the existing campus, located at 2213 Sunset Boulevard within Rocklin. The proposed project is to build out the vacant site to the north of the existing building to create a single unified campus.

The Placer Academy Charter mission is to provide enrichment opportunities and positive relationships that challenge and inspire students to be compassionate, engaged, problem-solvers. Placer Academy Charter encourages students to meet academic challenges with openness, enthusiasm and a willingness to seek solutions creatively. An integral part of the learning process has the school community learning how to ask questions, solve problems, and make thoughtful decisions. A climate of expectation and success is encouraged, and all pupils are helped to set realistic targets and then given every assistance in achieving them. The goal is to facilitate the development of self-confidence and to provide the students with the academic foundation necessary for them to reach their true potential and enjoy a successful experience in higher education.

Students at Placer Academy Charter attend school on a traditional 5-day per week schedule with early release at noon on Fridays. This allows staff the opportunity to collaborate and plan for instruction to meet the needs of all students.

Placer Academy Charter is a TK-8 program serving students from Rocklin, Lincoln, Roseville and the surrounding areas. Placer Academy Charter currently has a K-8 program that serves 360 students and a waiting list of about 50 students throughout these grade levels. In this location, the student population will not exceed 456 students.

Prior to March of 2020 when California Schools transitioned to remote learning the student body consisted of 360 students from 246 families. 90 students attended classes at the Stanford Ranch campus and 270 students attend classes at the Sunset Campus. There were 39 families that drove students to both campuses each day. The consolidation of the two campuses into one will reduce vehicle miles traveled for over 15% of the families who were attending the two campuses.

The Stanford Ranch campus has been vacated as will the Sunset Campus. Currently underway are plans to renovate the existing building at 4750 Grove Street and to install two temporary modular classrooms.

The Project which will be an expansion of that campus will improve the site with eleven modular classroom buildings, one modular restroom building, an asphalt play area, a turf play area, play equipment and a pick-up and drop-off area with on-site cueing.

The site is a vacant commercially zoned property. To the North is a single residence to the along Grove Street and unimproved portion of a commercial to the rear of the site. To the South is an exiting building that is to be utilized by the Placer Academy. To the West a Commercial property. To the East is a Church with a kindergarten program.

As it sits today the site is unimproved and generally flat. There are several trees covered by the City's tree ordinance. They have been identified in the tree exhibit within the application. The site will be served with utilities that are proximate to the site and access will be taken from Grove Street and through reciprocal

access from the site to the South. That access point will generally be closed for traffic, but will serve as Emergency Vehicle Access and as needed for school purposes.