



New Project Information

The City of Rocklin has begun processing the below referenced application(s) for project approval. The request is now being reviewed for compliance with the requirements and regulations of relevant City, State, and Federal agencies, and Utility providers. Once any issues have been resolved notice will be provided to alert neighbors and interested parties of the availability of project information, the opportunity to comment on a project, and of any pending review or action.

Application Received: May 18, 2021

Project Name and Requested Approvals:

KAMS FURNITURE & UPHOLSTERY

BARRO ZONE ENTITLEMENT, BZ2021-0003

- Design Review

Staff Description of Project:

This application is a request for approval of a Business Attraction, Retention, and Revitalization Overlay (BARRO) Zone entitlement for a Design Review to remodel the front of a commercial building (previous an auto body shop) to provide for a furniture showroom in the front building, and furniture upholstery in the rear building. The project includes front building remodeling with new storefront door and windows (replacing existing roll up doors facing Rocklin Road). No changes are proposed for the rear building.

Location:

3745 Rocklin Road. APN 010-122-019.

Existing Land Use Designations:

The property is designated Mixed Use (MU) in the Rocklin General Plan and is zoned General Retail Service Commercial (C-4). The project site is located within the BARRO Zone.

This project does / XX **does not** require modification or change of the land use designations and regulations currently applicable to the project site.

Compliance with the California Environmental Quality Act:

A preliminary review of this project pursuant to the California Environmental Quality Act (CEQA) Section 15301, Existing Facilities, and 15303, New Construction or Conversion of Small Structures, has tentatively identified a Categorical Exemption as the appropriate level of environmental review for this project.

Applicant & Property Owner:

The applicant is Bahman A. Aval. The property owner is Amaneh Feiz Maghrebi Chalekdani.

Attached Information:

For additional detail please see the attached information from the project application form and the submitted application exhibits

P:\PUBLIC PLANNING FILES\Request for Comment\2021\10 - Kams Furniture & Upholstery\2-Project Information.docx

APPLICATION SUBMITTAL REQUIREMENTS / CHECK-IN SHEET

To be Returned with the Application Package

To be Completed by Staff Planner (Completed by: JS)
 Project Name: Hans Furniture & Upholstery Date: 5/18/2021

Required*	FORMS & DOCUMENTS:	Received
	Completed Application Form (p. 3-5)	✓
	Completed Agent Authorization Form (one per authorized agent) (p. 6)	✓
	Completed Notification of Owners of Mineral Rights (p. 7)	✓
	Completed Notice of Department of Fish and Game Filing Fees (p. 8)	✓
	Completed Hazardous Waste and Substances Statement (p. 9)	✓
	Completed Mitigation for Air Quality Impacts Statement (p. 10-11)	✓
	Completed Environmental Information Sheet (p. 12-16)	✓
	Completed Formatting and Minimum Requirements checklist (p. 17-23)	✓
	One Preliminary Title Report for all subject properties (current within six months)	✓
	Soil Report	
	STANDARD EXHIBIT SETS:	
	One CD or USB Flash Drive of All Project Exhibits and submission materials	✓
	Two Sets 11" x 17" Reductions of All Project Exhibits for the initial submittal	✓
	** All plan sets to be collated, stapled into single sets, and folded to 8-1/2" x 11"	✓
	<i>Exhibit Sets to include the following sheets as applicable:</i>	
	Site Plan	
	Preliminary Grading and Drainage	
	Preliminary Landscape Plan (include symbols, quantities, botanical names, container sizes, and average height based on American Standards for Nursery Stock)	✓
	Elevations of All Four Sides of All Buildings	
	Architectural and Site Details (trash enclosures, bike racks, special building treatments)	
	Building Sections and Roof Plans	
	Rough Floor Plans	
	Elevations of Sign Design	
NA	A Stormwater Control Plan and draft Operation and Maintenance Plan consistent with the requirements of the City of Rocklin Post Construction LID Manual (www.rocklin.ca.us/LID)	
NA	Tentative Map (separate set from design review/use permit, if applicable)	
	SPECIAL EXHIBITS:	
	Color and Material Boards for Buildings and Signs (maximum size: 8 1/2" x 14")	
	Colored Building Elevations	
	Colored Sign Elevations	
	Colored Landscaping Plan	

	Color Renderings (11" x 17" Reductions)	
	Photo-simulations (11" x 17" Reductions)	
NA	ADDITIONAL INFORMATION (as may be required; may include, but is not limited to, the following):	
	Tree Survey/Arborist Report	
	Wetland/Riparian Delineation	
	Archeological/Cultural Survey	
	Traffic Study	
	Phase 1 Site Assessment	
	Photometric Study	
	Noise Study	
	Air Quality / Green House Gas	

* Unless waived by a Staff Planner

Additional Submittal Information

- Note 1:** All use permits and design review applications shall include a site plan, building exterior elevations, preliminary landscape plans, rough floor plans, preliminary grading plans, a color and materials board, and colored elevations and landscaping plans.
- Note 2:** The applicant shall be responsible for contacting the Army Corps of Engineers, to determine whether a wetland delineation is needed, and the Fish and Game Department, regarding floodplains and riparian areas, prior to application submittal.
- Note 3:** Any dedication resulting in transfer of ownership from a private party to the City will require a Phase One Hazardous Materials Study in accordance with current ASTM standards and shall be transferred with free and clear title.
- Note 4:** The City requests that the property owner or property manager notify tenants of the proposed project and the date, time, and location of the public hearing.
- Note 5:** Applicants are strongly encouraged to conduct neighborhood and/or property owners association meetings prior to the City scheduling the project for public hearing.



City of Rocklin

Planning Division
3970 Rocklin Road
Rocklin, California 95677
Phone (916) 625-5160 FAX (916) 625-5195

UNIVERSAL APPLICATION FORM

NAME OF PROJECT: Kams Furniture & Upholstery

LOCATION: 3745 Rocklin Road, Rocklin

ASSESSOR'S PARCEL NUMBERS: 010-122-019

DATE OF APPLICATION (STAFF): 5/18/2021

RECEIVED BY (STAFF INITIALS): JS

FILE NUMBERS (STAFF): B22021-0003

NOE \$ 520

FEES: \$ 4020

RECEIPT NO.: _____

Pre-Application Meeting Requirements:

It is required that a pre-application meeting be held with a Staff Planner prior to submitting most applications for planning entitlements and permits. The purpose of the pre-application meeting is to expedite application processing by enabling staff to work with the applicant to assure that the officially submitted application materials are in the proper format and that the applicant understands the City of Rocklin's goals, policies, and ordinances that may affect the project. A copy of these and other planning provisions is available at the applicant's request.

Generally, two sets of preliminary plans and a written description of the proposed project should be brought with the applicant to the pre-application meeting. To schedule this meeting, please contact a Staff Planner at the Rocklin Community Development Department by calling (916) 625-5160.

DATE OF PRE-APPLICATION MEETING: 5/18/2021

THIS APPLICATION IS FOR THE FOLLOWING ENTITLEMENTS: (CHECK APPROPRIATE SQUARES)

- | | | |
|--|--|---|
| <input type="checkbox"/> General Plan Amendment (GPA)
Fee: | <input type="checkbox"/> Tentative Subdivision Map (SD)
Fee: | <input type="checkbox"/> Use Permit (U)
<input type="checkbox"/> Minor (PC Approval - New Bldg) Fee:
<input type="checkbox"/> Minor (PC Approval - Existing Bldg) Fee:
<input type="checkbox"/> Major (CC Approval) Fee: |
| <input checked="" type="checkbox"/> BARRO Zone Application (BZ) <u>B22021-0003</u>
Fee: <u>\$4020</u> | <input type="checkbox"/> Tentative Parcel Map (DL)
Fee: | <input type="checkbox"/> Variance (V)
Fee: |
| <input type="checkbox"/> Rezone (Reclassification) (Z)
Fee: | <input type="checkbox"/> Design Review (DR)
Commercial Fee: <u>3500</u>
Residential Fee:
Signs Fee: | <input type="checkbox"/> Oak Tree Preservation Plan Permit
Planning Commission Fee:
City Council Fee: |
| <input type="checkbox"/> General Development Plan (PDG)
Fee: | <input type="checkbox"/> Concurrent Application (2 or more entitlements)
Fee: | <input type="checkbox"/> Modification to Approved Projects
Fee: |

File Number _____

Environmental Requirements:
(STAFF)

- ☒ Exempt - \$200
☐ Negative Declaration -

- ☐ Mitigated Negative Declaration -
☐ EIR - See Fee Schedule

MAY 18 2021

BY: JS

UNIVERSAL APPLICATION FORM (CONT.)

GENERAL PLAN DESIGNATION:	PROPERTY DATA:	UTILITIES:	
Existing: <u>MU</u>	Acres: <u>0.4225</u>	EXISTING	PROPOSED
Proposed: _____	Square Feet: <u>18404.0</u>	<input type="checkbox"/> Pub. Sewer	<input type="checkbox"/> Pub. Sewer
Zoning:	Dimensions: _____	<input type="checkbox"/> Septic Sewer	<input type="checkbox"/> Septic Sewer
Existing: <u>C4</u>	No. of	<input type="checkbox"/> Pub. Water	<input type="checkbox"/> Pub. Water
Proposed: <u>C4</u>	Units: <u>2</u>	<input type="checkbox"/> Well Water	<input type="checkbox"/> Well Water
	Building	<input type="checkbox"/> Electricity	<input type="checkbox"/> Electricity
	Size: <u>2432 & 1820</u>	<input type="checkbox"/> Gas	<input type="checkbox"/> Gas
	Proposed	<input type="checkbox"/> Cable	<input type="checkbox"/> Cable
	Parking: _____		
	Required		
	Parking: _____		
	Access: _____		

PROJECT REQUEST: Remodeling of an existing commercial building (auto body shop) to
a furniture show room, in the front building, and furniture upholstery in the rear building.
no changes is planedfor the rear building. The project includes front remodeling with new
door and windows, new ADA restroom, and replacing the existing stairs.

(Example: Request for approval of design review to construct a 10,000 square foot office building on 1.5 acres)

NOTE: Annexations, Lot Line Adjustments, and Rocklin Ranch Industrial Park Specific Plan Use Permits require special application forms and additional submittal information available from the Planning Division.

UNIVERSAL APPLICATION FORM (CONT.)

PLEASE PRINT OR TYPE:

NAME OF PROPERTY OWNER: Amaneh Feiz Maghrebi Chalekdani

ADDRESS: 5520 Paragon Court

CITY: Rocklin STATE: CA ZIP: 95677

PHONE NUMBER: (916) 678-8350

EMAIL ADDRESS: kamran79@gmail.com

FAX NUMBER: -

SIGNATURE OF OWNER _____

(Signature Authorizing Application; provide owner's signature letter if signature is other than property owner.)

NAME OF APPLICANT
(If different than owner): Bahman Asgarzadeh Aval

CONTACT: Bahman Asgarzadeh Aval

ADDRESS 1065 Porthill Lane

CITY: Roseville STATE: CA ZIP: 95747

PHONE NUMBER: (650) 464 1558

EMAIL ADDRESS: sigmadraft@aol.com

FAX NUMBER: -

SIGNATURE OF APPLICANT _____

AGENT AUTHORIZATION FORM

Property owners desiring to authorize individuals to represent them in conjunction with any application or matter before the City shall provide written authorization using this form. A separate form shall be used for each individual or firm authorized, and shall specifically note any restrictions upon the authorized person.

Project Name: 3745 Rocklin Road
Location: 3745 Rocklin Road, Rocklin
Assessors Parcel Number(s): 010-122-019
Entitlements for which authorization is applicable (use permit, variance, tentative map, etc.):
Name of person and / or firm authorized to represent property owner (Please print): Bahman Asgarzadeh Aval
Address (Including City, State, and Zip Code): 1065 Porthill Lane, Roseville CA 95747
Phone Number: (650) 464 1558
Fax Number: --
Email Address: sigmadraft@aol.com
The above named person or firm is authorized as: Agent (<input checked="" type="checkbox"/>) Buyer (<input type="checkbox"/>) Lessee (<input type="checkbox"/>)
The above named person or firm is authorized to (check all that are applicable): (<input checked="" type="checkbox"/>) File any and all papers in conjunction with the aforementioned request, including signing the application (<input checked="" type="checkbox"/>) Speak on behalf of and represent the owner at any Staff meeting and/or public hearing. (<input checked="" type="checkbox"/>) Sign any and all papers in my stead, with the exception of the application form.
The duration and validity of this authorization shall be: (<input checked="" type="checkbox"/>) Unrestricted (<input type="checkbox"/>) Valid until:
Owners Authorization Signature & Date:
Owners Name (Please Print): Amaneh Feiz Maghrebi Chalekdani
Owners Address (Including City, State, and Zip Code): 5520 Paragon Court, Rocklin
Phone Number: (916) 678-8350
Email Address: kamran79@gmail.com



City of Rocklin

Planning Division

3970 Rocklin Road

Rocklin, California 95677

Phone (916) 625-5160 FAX (916) 625-5195

ENVIRONMENTAL INFORMATION SHEET

(To be completed by
applicant)

LOCATION OF PROJECT (ADDRESS) 3745 Rocklin Road, Rocklin

ASSESSORS PARCEL # 010-122-019

NAME OF PROJECT 3745 Rocklin Road

CONTACT/APPLICANT BahBahman Asgarzadeh Aval

ADDRESS 1065 Porthill Lane, Roseville CA 95747

PHONE (650) 464 1558

EMAIL sigmadraft@aol.com

Project Description - Describe in detail. Add separate sheet if necessary.

Remodeling of an existing commercial building (Auto Body shop) to a furniture show room in the front building

and a furniture upholstery in the rear building. No changes is planed for the rear building. The project includes,
remodeling of the front facade of the building, new door and storefront windows.

~~Replacing the existing rest room into a ADA rest room, replacing of the existing stairs.~~

Property size:	<u>18404.0</u>	<u>0.4225</u>
	<u>Square Feet</u>	<u>Acres</u>
Land Use:	<u>C4</u>	<u>C4</u>
	<u>Existing</u>	<u>Proposed</u>

RELATED PROJECTS: If this project is a part or portion of a larger project, describe the previous project by name, general development plan number, or other project identification. _____

PREVIOUS ENVIRONMENTAL DOCUMENTS: If this project is part of a larger project for which a negative declaration or an environmental impact report has been prepared and certified, reference the document below. Include the date and SCH#, if possible: _____

OTHER REQUIRED PERMITS OR APPROVALS:

<u>Permit or Approval</u>	<u>Agency</u>	<u>Address</u>	<u>Contact Person/Phone</u>
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PREVIOUS LAND USES: Describe existing and previous land uses of the site for the last 10 years or more: Auto Body shop

SITE CHARACTERISTICS

1. What natural features (trees, rock outcroppings etc.) presently exist on the site?

Trees and rock outcroppings

2. What are the surrounding land uses?

East Restaurants West Park North Auto Upholstery South Train station

3. Is the project proposed on land which contains fill or a slope of 10% or more? No

4. Are there any existing erosion problems? no

5. Is the site on expansive soils (as defined in Table 18 of the UBC) or immediately adjoining an area subject to slides, liquefaction, slope instability or other related hazards? _____

If so, describe in detail, or refer to attached soils report.

unknown

6. Grading, excavating or filling activities - Quantity of cubic yards to be:

a. Moved within the site 0.0

b. Deposited on the site 0.0

c. Removed from the site 0.0

Disposal site _____

7. Are there any streams or permanent water courses on the site? _____

Describe No

8. Will the proposed project change drainage patterns or the quality of groundwater?

If so explain. If not, why not. No

9. Will the project affect any drainage channel, creek, pond or any other water body?

Describe below: No

10. Is any portion of the property located in a flood plain? No
If so describe _____

11. Are there any jurisdictional wetlands or vernal pools on the site? If so how will they be impacted by the project? No

12. Are there any trees or shrubs on the project site? Yes
What types? _____
Are any to be removed or transplanted? No
State the location of transplant site: _____
State the number & species to be removed: _____
13. Will the project affect the habitat of any endangered, threatened, or other special status species?
No

14. Will the project result in any new noise source, or will it place new residents in an area of high traffic noise or noise from any other source? No

15. What type of equipment will be associated with the project during construction?
Regular light construction equipment.

During permanent operation? _____
16. Describe any air pollutants, other than vehicle exhaust, which would be generated by this project, both during and after construction. Dust particulates are considered pollutants.

17. Will the project produce new sources of dust, ash, smoke, fumes or objectionable odor? If yes, describe the source of the emission, methods to control emissions and means of mitigating those effects on adjacent properties: No

18. Will the project create any new light source, other than street lighting? If yes, describe below:
Possibly lighted store sign

19. Is this property covered by a Williamson Act contract? No

20. Has this property ever been used for agricultural purposes? No _____ If so, for what purpose and when? _____
21. Does the project involve the use of routine transport or disposal of hazardous materials?
No

22. Are there any known mineral resources of value to the region and the residents of the state located on the site? If so, what types? No

23. How close is the nearest school? 0.4 Miles

24. PROPOSED BUILDING CHARACTERISTICS (BOTH RESIDENTIAL AND NON-RESIDENTIAL)

Size of new structure(s) or addition in gross square feet: _____
 Building height measured from ground to highest point in feet: 20 feet Type text here
 Number of floors/stories: 2
 Height of other appurtenances (antennas, steeples, mechanical equipment, etc.) measured from ground: non Type text here
 Project site coverage: Building 4252 sq.ft. 23 %
 Landscaping 925.0 sq.ft. 5.0 %
 Paving 0 sq.ft. 0 %
 Exterior building materials: Stucco
 Exterior building colors: white
 Wall and/or fencing material: wood
 Total number of off-street parking spaces required: 0 Provided: 0
 Total number of bicycle parking spaces: 0

25. Is there any exposed mechanical equipment associated with the project? No
 Location and screening method _____

26. RESIDENTIAL PROJECTS

Total lots _____ Total dwelling units _____
 Density/acre _____ Total acreage _____

	Single Family		Two Family		Multi-Family (More than 2 units)
Number of Units					
Size of lot/unit					
Studio					
1 Bedroom					
2 Bedroom					
3 Bedroom					
4+ Bedroom					

27. RETAIL, COMMERCIAL, INDUSTRIAL, INSTITUTIONAL OR OTHER PROJECT

Type of use(s): Retail-Furniture store
 Oriented to: Regional _____ City Rocklin Neighborhood Down town
 Hours of operation: 8 am - 5 pm
 Total occupancy/Building capacity: 18
 Gross floor area: 2432.0 Number of fixed seats: 0
 Number of employees (total): 3 Employees per shift: 3 Number of Shifts 1
 Number of visitors/customers on site at busiest time (best estimate): 3
 Other occupants (specify): _____

ALL PROJECTS

28. Approximately how many tons of solid waste will the project produce each year? less than a ton

29. Will the proposed use involve any toxic or hazardous material? No
Is the project site within 2,000 feet of an identified hazardous/toxic site? No
Is the project site within 2,000 feet of a school or hospital? No
If the project involves any hazardous material, explain: _____

30. How many new residents is the project estimated to generate? _____
31. Will the project generate a demand for additional housing? _____
32. What is the current and estimated number of motor vehicles to arrive at the site as a result of the project? 2 _____
33. Could the project increase traffic hazards to motor vehicles, bicyclists or pedestrians? _____
If yes, explain no _____
34. How close is the project to the nearest public park or recreation area? 100 feet _____
35. What school districts will be affected by this project? _____
36. Describe energy-efficient features included in the project. _____

37. Describe how the following services or utilities will be provided:
Power and Natural Gas _____
Telephone _____
Water _____
Sewer _____
Storm Drainage _____
Solid Waste _____
38. Will the project block any vista or view currently enjoyed by the public? No _____
39. Are there any known historic or significant building features on or near the site? If so, will the project result in any impact to the building? No _____
40. Are there any archaeological features on the site? no _____ If so, will the project result in any impact to these features? _____



CITY OF ROCKLIN

MEMORANDUM

Sherrie A.
COPY

TO: All Engineers/Surveyors Doing Business with the City of Rocklin

FROM: Larry M. Wing, Engineering Services Manager *LMW*

SUBJECT: Final Maps, Parcel Maps, and Lot Line Adjustments

DATE: December 16, 2005

Effective January 1, 2006, all final maps, parcel maps, and lot line adjustments shall require an electronic copy of the map or lot line adjustment prior to the City approval. This electronic copy shall be in a .pdf and either a .dwg format on CD or DVD or shape file.

Additionally, all improvement plans for residential and commercial projects shall require an electronic copy of the plans prior to the City approval. This electronic copy shall be in a .pdf format on CD or DVD.

The electronic copies shall be in addition to the City's requirement and the developer's responsibility to submit paper copies of final approved plans.

DATE 1-3-06
REC'D BY SEA

3745 ROCKLIN ROAD ROCKLIN

TENANT REMODELING

NOTES

GENERAL NOTES

- ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER AND ASSOCIATES PRIOR TO COMMENCEMENT OF ANY AND ALL WORK.
- THE GENERAL CONTRACTOR IN CONJUNCTION W/ OWNERS AND SUB-CONTRACTORS IS TO VERIFY LOCATION OF ALL UTILITIES AND EXISTING CONDITIONS AT THE SITE PRIOR TO BIDDING AND COMMENCEMENT OF CONSTRUCTION.
- ALL WORK IS TO BE IN CONFORMANCE WITH THE 2019 EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC), UNIFORM MECHANICAL CODE (UMC) CALIFORNIA PLUMBING CODE AND THE CALIFORNIA ELECTRICAL CODE (CEC), 2010 CALIFORNIA FIRE CODE.
- ALL EXIST DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. (SEC. 1003.3.1.6)

NOTES

- WALL TO WALL DIMENSIONS ARE TO THE FACE OF STUD, U.O.N.
- ALL OFFICE EQUIPMENT IS N.I.C.
- GENERAL CONTRACTOR TO PROVIDE AND INSTALL ONE 2AIOBC FIRE EXTINGUISHER AND CABINET PER, 3000.00 5F AS INDICATED ON THE FLOOR PLANS OR AS INDICATED ELSEWHERE IN THESE DOCUMENTS.
- ALL DOOR HARDWARE SHALL BE INSTALLED PER C.B.C. TITLE 24 REQUIREMENTS AND SHALL MEET BUILDING STANDARDS.
- THERMOSTATS SHALL BE A MAXIMUM OF 48" AFF
- GENERAL CONTRACTOR IS TO PROVIDE ALL NECESSARY BLOCKING IN WALLS FOR TENANT PROVIDE AND INSTALLED CABINETS. COORDINATE WITH THE TENANT.
- ABS OR PVC SANITARY PIPING SHALL NOT BE USED
- CONDUIT BOXES SHALL BE METALLIC AND ROMEX WIRING IS PROHIBITED
- ALL 15, 20 AND 30 AMP RECEPTACLE OUTLETS SHALL BE LOCATED NO MORE THAN 48" MEASURED FROM THE TOP OF THE RECEPTACLE OUTLET BOX NOR LESS THAN 15" MEASURED FROM THE BOTTOM OF THE FINISH FLOOR.
- TOP OF SWITCH BOXES SHALL BE INSTALLED NO GREATER THAN 48" ABOVE THE FLOOR.
- PTR VALVE DRAIN FOR THE WATER HEATER SHALL TERMINATE AT THE EXTERIOR OF THE BUILDING
- ALL NEW INTERIOR WALLS TO HAVE 3/4" RADIUS GYP. BD. EDGES
- ANY GAS-PIPING UPON THE ROOF SHALL BE GALVANIZED PIPE
- NO WATER PIPING SHALL BE INSTALLED IN OR UNDER A SLAB FLOOR
- FIRE PREVENTION APPROVAL IS REQUIRED BEFORE A CERTIFICATE OF OCCUPANCY IS ISSUED
- ALL EXISTING UNUSED ELECTRICAL CONDUIT AND CEILING SUPPORTS SHALL BE REMOVED
- ALL BUILDING, PLUMBING, HEATING AND AIR CONDITIONING WORK SHALL CONFORM TO THE 2010 EDITION OF THE CBC, CFC, CMC, AND THE CALIFORNIA ENERGY CODE
- ALL COMMERCIAL AND INDUSTRIAL OCCUPANCIES SHALL BE WIRED IN ELECTRICAL METALLIC TUBING OR RIGID METAL CONDUIT. NON-METAL TUBING MAY BE USED AS PERMITTED IN ARTICLE 331 OF CEC.
- ALL CONTRACTORS AND SUB CONTRACTORS MUST HAVE A VALID CURRENT BUSINESS LICENSE BEFORE INSPECTION(S) CAN BE CARRIED OUT.
- CONTACT THE CITY ENGINEER BEFORE COMMENCING ANY WORK WITHIN THE PUBLIC RIGHT OF WAY.
- FINA APPROVAL BY THE COMMUNITY DEVELOPMENT DEPARTMENT, BUILDING, AND FIRE SAFETY DIVISION MUST BE OBTAINED BEFORE OCCUPANCY WILL BE PERMITTED.
- PROVIDE ACCESSIBLE SIGNAGE AT PRIMARY BUILDING ENTRANCE. THE SIGN SHALL REPLACED ON THE NEAREST ADJACENT WALL, PREFERABLY ON THE RIGHT. MOUNTING HEIGHT SHALL BE 60" ABOVE FINISHED FLOOR TO CENTER LINE OF THE SIGN. MOUNTING LOCATION SHALL BE DETERMINED SO THAT A PERSON MAY APPROACH WITHIN 3' OF THE SIGN WITHOUT ENCOUNTERING PROTRUDING OBJECTS OF STANDING WITHIN THE SWING OF A DOOR. (CBC. 1117B5.7., 1127B.3)
- COPPER PIPING SHALL BE USED FOR ALL POTABLE WATER SERVICES FROM THE WATER METERS LOCATED IN THE PUBLIC RIGHT OF WAY TO THE BUILDING SERVED. ALL MATERIALS USED IN THE WATER SUPPLY SYSTEM, EXCEPT VALVES AND SIMILAR DEVICES, SHALL BE OF ALIKE MATERIAL EXCEPT FOR WHERE OTHERWISE APPROVED BY THE ENFORCEMENT AGENCY.
- ALL EXTERIOR DOORS SHALL HAVE 2% MAX. SLOPE IN ANY DIRECTION. THE FLOOR OR LANDING SHALL NOT BE MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGE IN LEVEL BETWEEN 1/2" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN ONE UNIT VERTICAL IN 2 UNITS HORIZONTAL (50% SLOPE). CHANGE IN LEVEL GREATER THAN 1/2" SHALL BE ACCOMPLISHED BY MEANS OF A RAMP 201 CBC 107.10.1

NOTES

CODES

APPLICABLE BUILDING CODES

- 2019 CALIFORNIA BUILDING CODE
- 2019 CBC STRUCTURAL AMENDMENTS
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 UNIFORM FIRE CODE (WITH LOCAL AMENDMENTS)
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA GREEN BUILDING STANDARDS
- 2019 STATE OF CALIFORNIA TITLE 24 AMENDMENTS
- 2019 CALIFORNIA FIRE CODE

SYMBOLS LEGEND

- EXISTING WALL TO REMAIN
- NEW FURRED WALL- 2 x 4 @ 16" O.C. STUD WALL, W/ 1/2" GYP. BOARD
- NEW WALL- 2 x 4 @ 16" O.C. STUD WALL, W/ 1/2" GYP. BOARD AND R-13 INSULATION
- ALIGN NEW CONSTRUCTION FACE WITH EXISTING CONSTRUCTION FACE
- OFFICE ROOM NAME
- 119 ROOM NUMBER
- 100 DOOR NUMBER REFER TO DOOR SCHEDULE
- FEC FIRE EXTINGUISHER CABINET W/ FIRE EXTINGUISHER
- FE WALL MOUNTED FIRE EXTINGUISHER
- 1 KEYNOTE INDICATOR
- REVISION CLOUD & DELTA NUMBER
- 8 A6 DETAIL REFERENCE NUMBER SHEET NUMBER
- 1a A1 DETAIL SECTION REFERENCE NUMBER SHEET NUMBER
- A SECTION REFERENCE LETTER

PROJECT DATA

OWNER KAMRAN KESHAVARZ

A.P.N. 010-122-019-000

ZONING C

LOT SIZE 0.4225 ACRES, 18404 sq/ft

OCCUPANCY TYPE AUTO REPAIR

OCCUPANCY GROUP B

CONSTRUCTION TYPE V-B

FIRE SPRINKLER NO

NUMBER OF STORIES TWO

TOTAL SQUARE FOOTAGE 1st FLOOR 1837.0 sq/ft
2nd FLOOR 595.0 sq/ft

PROJECT SCOPE

- INTERIOR REMODELING
- NEW STAIRS IN THE MAIN ROOM
- NEW ADA RESTROOM
- NEW FRONT WINDOWS AND DOOR

DATES

DRAWING INDEX

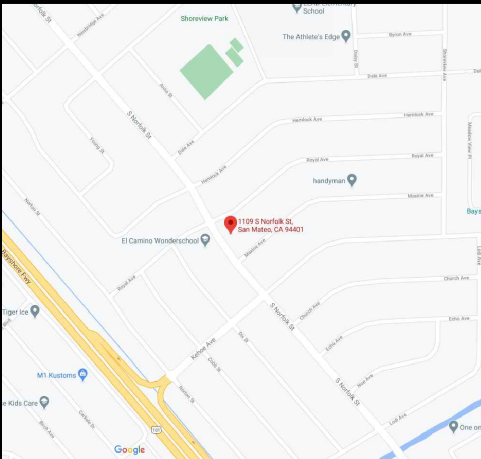
ARCHITECTURAL

- A1.0 TITLE / COVER SHEET
- A1.1 SITE PLAN, & SITE PICTURES
- A2 EXISTING FLOOR PLANS
- A2.1 PROPOSED FLOOR PLANS
- A3 ELEVATIONS
- A3.1 ELEVATIONS
- A4 DETAILS
- D1, D2 ADA DETAILS

COPY RIGHTS;

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VICINITY MAP



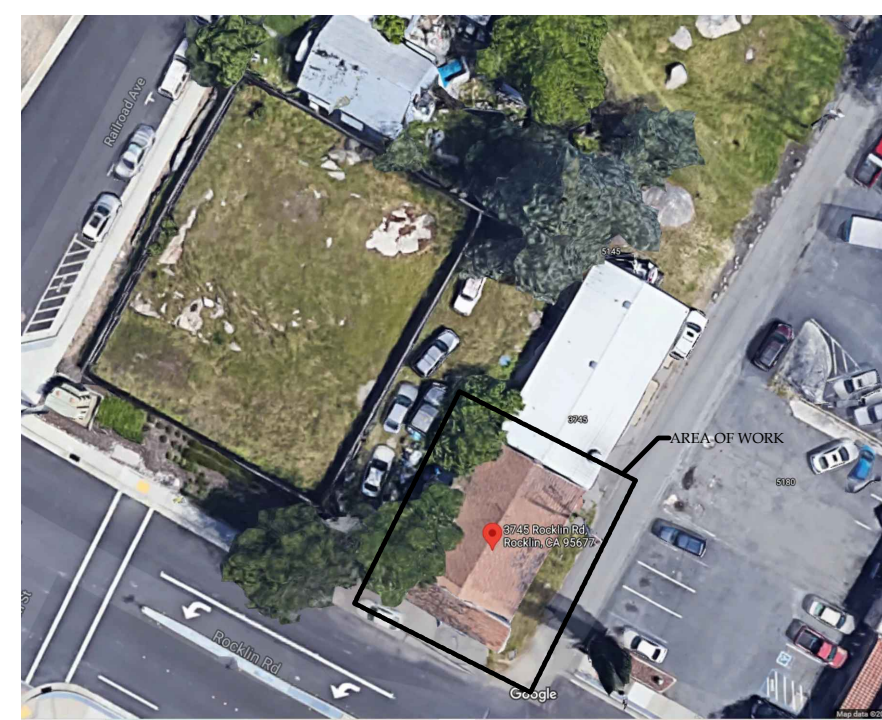
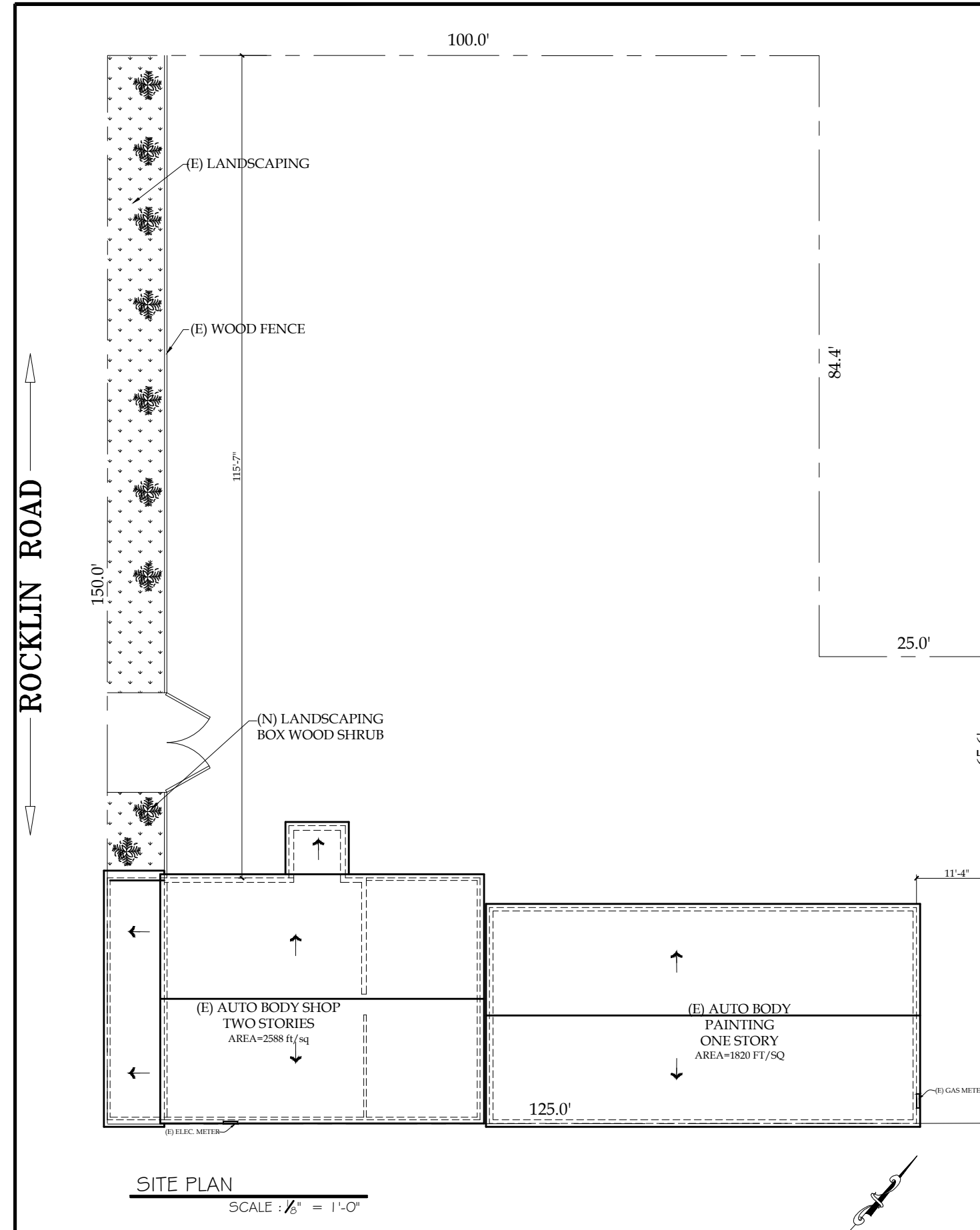
DESIGNER

SIGMA DESIGN
BAHMAN A-AVAL
1065 PORTHILL LANE
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CA 95120
(650) 464-1558

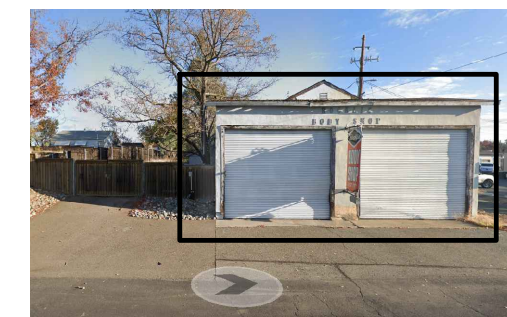
Bahman

WATER CONSERVING PLUMBING FIXTURES TABLE Per 2019 California Mechanical Code

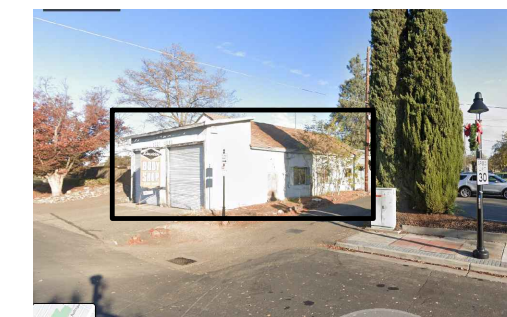
FIXTURE TYPE	NON-COMPLIANT PLUMBING FIXTURE	COMPLIANT PLUMBING FIXTURE
WATER CLOSET	EXCEED 1.6 GALLONS/FLUSH	SINGLE FLUSH TOILETS: 1.28 GALLONS/FLUSH
SHOWER HEAD	EXCEED 2.5 GALLONS / MINUTE	2.0 GALLONS/MINUTE @ 80 PSI, ALSO CERTIFIED TO THE PERFORMANCE CRITERIA OF U.S. EPA WATER SENSE SPECIFICATION FOR SHOWERHEADS
FAUCETS, LAVATORY	EXCEED 2.2 GALLONS / MINUTE	1.5 GALLONS / MINUTE @ 60 PSI
KITCHEN	EXCEED 2.2 GALLONS / MINUTE	1.8 GALLONS / MINUTE @ 60 PSI MAY TEMPORARILY INCREASE UP TO 2.2 GALLONS/MINUTE@60 PSI



AERIAL VIEW



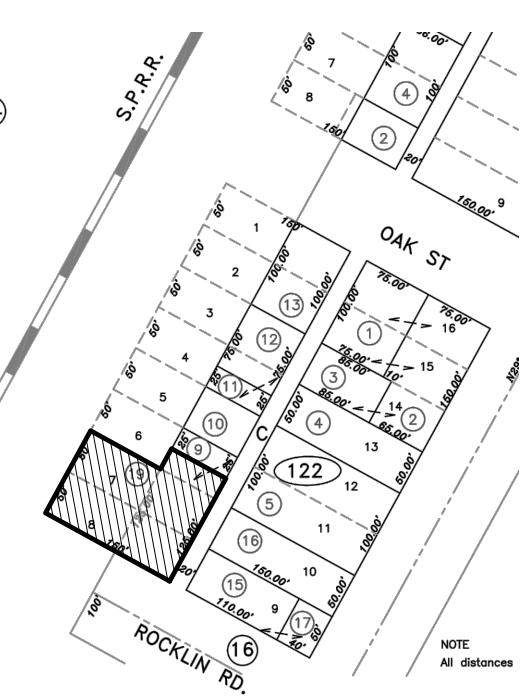
FRONT VIEW



LEFT SIDE VIEW



RIGHT SIDE VIEW



SIGMA
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Designer:
Bahman A. Aval
Bahman

AREA PLAN

REVISIONS

3745 ROCKLIN ROAD
ROCKLIN, CA 95677

Date: 4-28-2021
Drawn By: B.A.
Project Number:
107-21-3741 Rocklin Rd.

PAGE NO: **A1.1**
SCALE:

- DOOR HARDWARE NOTES:**
1. ALL METAL DOORS AND FRAMES MUST CONFORM TO THE RECOMMENDATIONS OF THE STEEL DOOR INSTITUTE FOR PERFORMANCE CRITERIA AND INSTALLATION PROCEDURE
 2. ALL HARDWARE FOR HANDICAPPED ACCESSIBLE AREAS MUST COMPLY WITH REQUIREMENTS OF CALIFORNIA TITLE 24. PROVIDE LEVER TYPE HANDLES AT APPROPRIATE MOUNTING HEIGHTS.
 3. ALL DOOR AND HARDWARE MUST BE INSTALLED AS RECOMMENDED BY THE MANUFACTURER.
 4. ALL CABINET, COUNTER & SHELF WORK TO BE COORDINATED BY CONTRACTOR PER OWNERS DIRECTIONS.
 5. CONTRACTOR TO KEY ALL DOOR LOCKS (INCLUDING EXISTING DOORS)
 6. CONTRACTOR SHALL PROVIDE MASTER KEYING AS REQUIRED BY OWNER. PROVIDE DUPLICATE KEYS AS REQUIRED BY OWNER
 7. DOOR SHALL HAVE MAX. DOOR OPENING EFFORTS: 5 lbs. (EXT.), 5 lbs. (INT.)
 8. ALL DOORS TO BE EQUIPPED WITH SINGLE EFFORT, NON-GRASP HARDWARE (I.E. LEVER) CENTERED BETWEEN 30" AND 44" ABOVE FINISHED FLOOR
 9. ALL EGRESS DOORS SHALL HAVE SINGLE ACTION OR PANIC HARDWARE, CBC 1133B.2.5.2
 10. THE SWEEP PERIOD FOR DOORS WITH CLOSER SHOULD BE ADJUSTED SO THAT IT TAKES AT LEAST 3 SECONDS TO CLOSE FROM 70° OPEN POSITION TO 3° FROM LATCH. (CBC 1133B.2.5)
 11. OPERATION OF THIS DOOR MUST BE "READILY OPENABLE FROM THE CAB SIDE WITHOUT A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT" PER CBC 1008.1.8.3
 12. ALL DOORS SHALL BE FULLY ACCESSIBLE. SIZE OF ALL DOORS SHALL BE 3'-0" MIN. IN NOMINAL WIDTH AND 6'-8" MIN. IN NOMINAL HEIGHT

LEGEND

↓ INDICATES FULLY ACCESSABLE EXIT/FD ACCESS DOOR

FEC FIRE EXTINGUISHER CABINET & 2A-10B-C FIRE EXTINGUISHER. "POTTER ROEMER" 1724 SEMI-RECESSED. FINISH: BAKED WHITE FACTORY FINISH. CONTRACTOR TO PROVIDE ADDITIONAL FEC. AS DIRECTED BY THE FIRE DEPARTMENT.

NEW WALL MOUNTED EXIT SIGN W/ BATTERY BACK UP AND EMERGENCY LIGHT.

DUPLEX RECEPTACLE OUTLET ON GROUND FAULT INTERRUNTOR CIRCUIT

LIGHT SWITCH

VACANCY SENSOR SWITCH

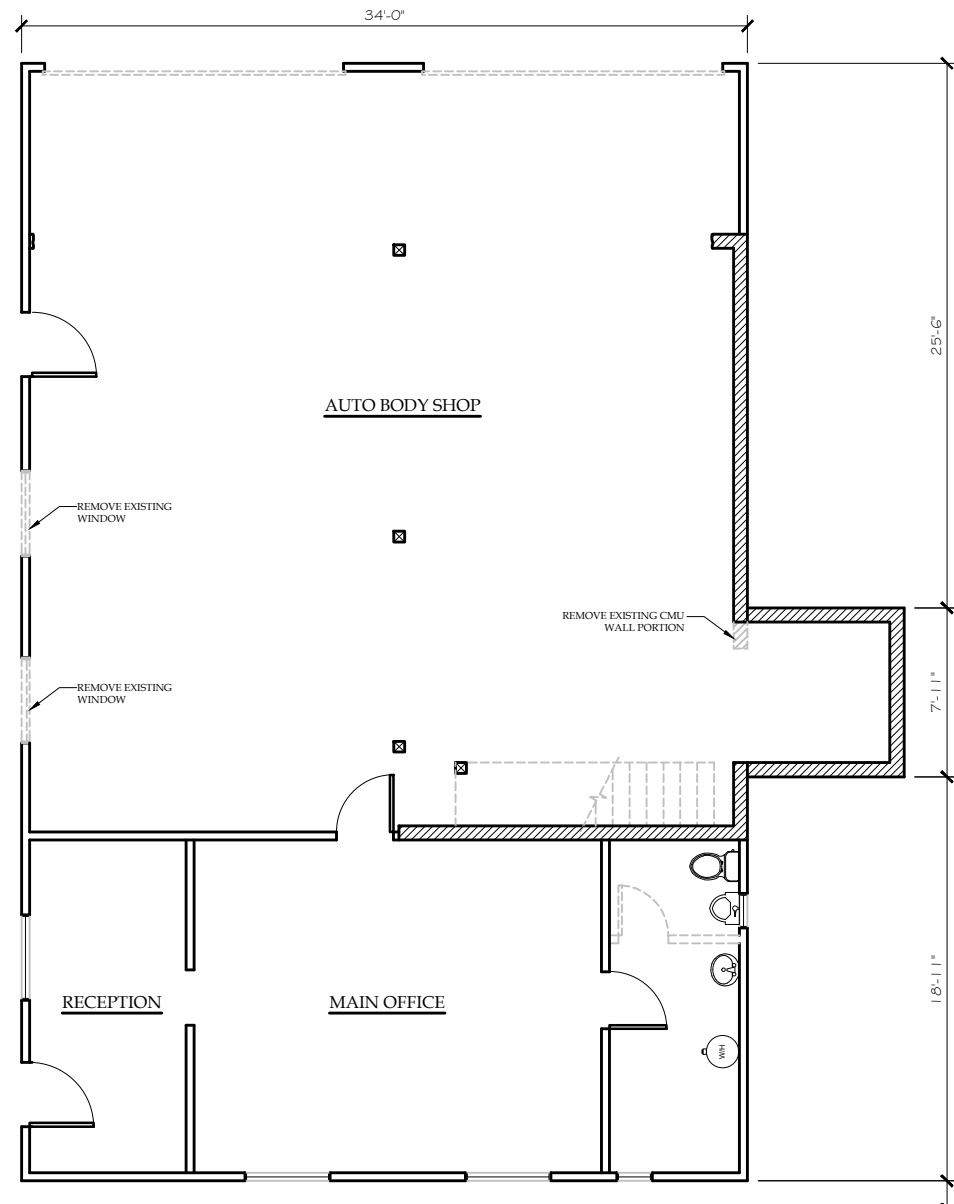
EXHAUST FAN.

WALL MOUNTED L.E.D. SENSOR OR DIMMER INTERIOR FIXTURE

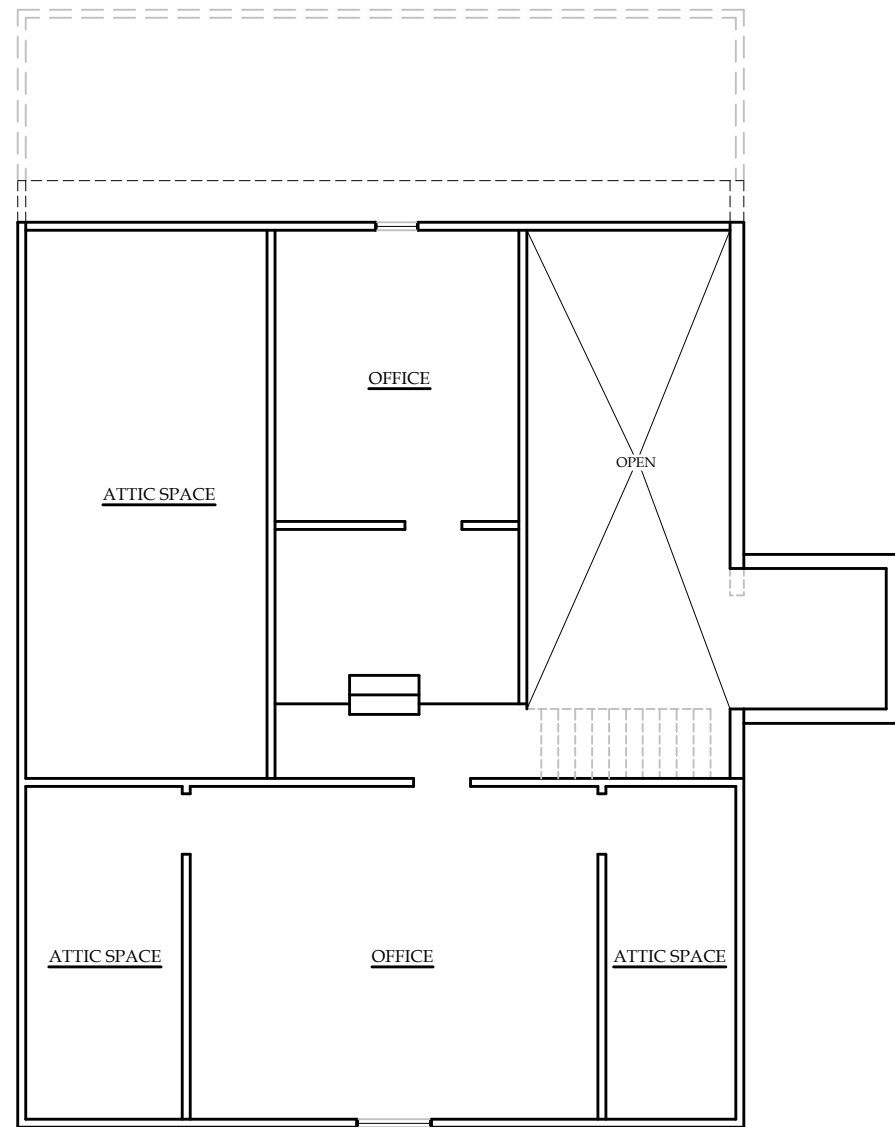
SINGLE HUNG L.E.D. SENSOR OR DIMMER INTERIOR FIXTURE

L.E.D. LIGHT

EXIT SIGN NOTES:
EXIT SIGNS SHALL BE SELF LUMINOUS TYPE OR ELECTRICALLY ILLUMINATED & ENERGIZED FROM SEPARATE CIRCUITS, ONE OF WHICH SHALL BE FROM STORAGE BATTERIES OR AN ON SITE GENERATOR.
ADDITIONAL DIRECTIONAL EXIT SIGNS MAY BE REQUIRED PRIOR TO FINAL INSPECTION AND SUBJECT TO BUILDING INSPECTOR



EXISTING FIRST FLOOR PLAN
SCALE : $\frac{1}{4}" = 1'-0"$



EXISTING SECOND FLOOR PLAN
SCALE : $\frac{1}{4}" = 1'-0"$


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Bahman A. Aval


EXISTING &
FLOOR PLANS

REVISIONS

3745 ROCKLIN ROAD
ROCKLIN, CA 95677

Date: 4-28-2021

Drawn By: B.A.

Project Number:
107-21-3741 Rocklin Rd.

PAGE NO: **A2**
OF 1

SCALE:

DOOR HARDWARE NOTES:

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2. ALL HARDWARE FOR HANDICAPPED ACCESSIBLE AREAS MUST COMPLY WITH REQUIREMENTS OF CALIFORNIA TITLE 24. PROVIDE LEVER TYPE HANDLES AT APPROPRIATE MOUNTING HEIGHTS.
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9. ALL EGRESS DOORS SHALL HAVE SINGLE ACTION OR PANIC HARDWARE, CBC 1133B.2.5.2
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11. OPERATION OF THIS DOOR MUST BE "READILY OPENABLE FROM THE CAB SIDE WITHOUT A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT" PER CBC 1008.1.8.3
12. ALL DOORS SHALL BE FULLY ACCESSIBLE. SIZE OF ALL DOORS SHALL BE 3'-0" MIN. IN NOMINAL WIDTH AND 6'-8" MIN. IN NOMINAL HEIGHT

LEGEND

- INDICATES FULLY ACCESSIBLE EXIT /FD ACCESS DOOR
- FEC FIRE EXTINGUISHER CABINET & 2A-10B-C FIRE EXTINGUISHER. "POTTER ROEMER" 1724 SEMI-RECESSED. FINISH: BAKED WHITE FACTORY FINISH. CONTRACTOR TO PROVIDE ADDITIONAL FEC. AS DIRECTED BY THE FIRE DEPARTMENT.
- SEE NEW WALL MOUNTED EXIT SIGN W/ BATTERY BACK UP AND EMERGENCY LIGHT.
- DUPLEX RECEPTACLE OUTLET ON GROUND FAULT INTERRUPTOR CIRCUIT
- LIGHT SWITCH
- VACANCY SENSOR SWITCH
- EXHAUST FAN.
- WALL MOUNTED L.E.D. SENSOR OR DIMMER INTERIOR FIXTURE
- SINGLE HUNG L.E.D. SENSOR OR DIMMER INTERIOR FIXTURE.
- L.E.D. LIGHT

EXIT SIGN NOTES:

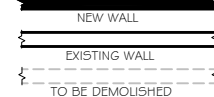
EXIT SIGNS SHALL BE SELF LUMINOUS TYPE OR ELECTRICALLY ILLUMINATED & ENERGIZED FROM SEPARATE CIRCUITS, ONE OF WHICH SHALL BE FROM STORAGE BATTERIES OR AN ON SITE GENERATOR.

ADDITIONAL DIRECTIONAL EXIT SIGNS MAY BE REQUIRED PRIOR TO FINAL INSPECTION AND SUBJECT TO BUILDING INSPECTOR

WINDOW SCHEDULE

GLAZING								FRAME		REMARKS
	TYPE	WIDTH	HEIGHT	THICK	DESCRIP	MATERIAL	FINISH	MATERIAL	FINISH	
WINDOW	A	4'-8"	7'-0"	1"	DBLE. PN.	CLEAR	F.F.	ALUMINUM	F.F.	STOREFRONT WINDOW
WINDOW	B	4'-0"	7'-0"	1"	DBLE. PN.	CLEAR	F.F.	ALUMINUM	F.F.	STOREFRONT WINDOW
WINDOW	C	4'-0"	2'-0"	1"	DBLE. PN.	CLEAR	F.F.	ALUMINUM	F.F.	STOREFRONT WINDOW
WINDOW	D	6'-0"	2'-0"	1"	DBLE. PN.	CLEAR	F.F.	ALUMINUM	F.F.	STOREFRONT WINDOW
WINDOW	E	4'-8"	2'-0"	1"	DBLE. PN.	CLEAR	F.F.	ALUMINUM	F.F.	STOREFRONT WINDOW
DOOR	1	3'-0"	7'-0"	1 3/4"		CLEAR	F.F.	ALUMINUM	F.F.	STOREFRONT DOOR

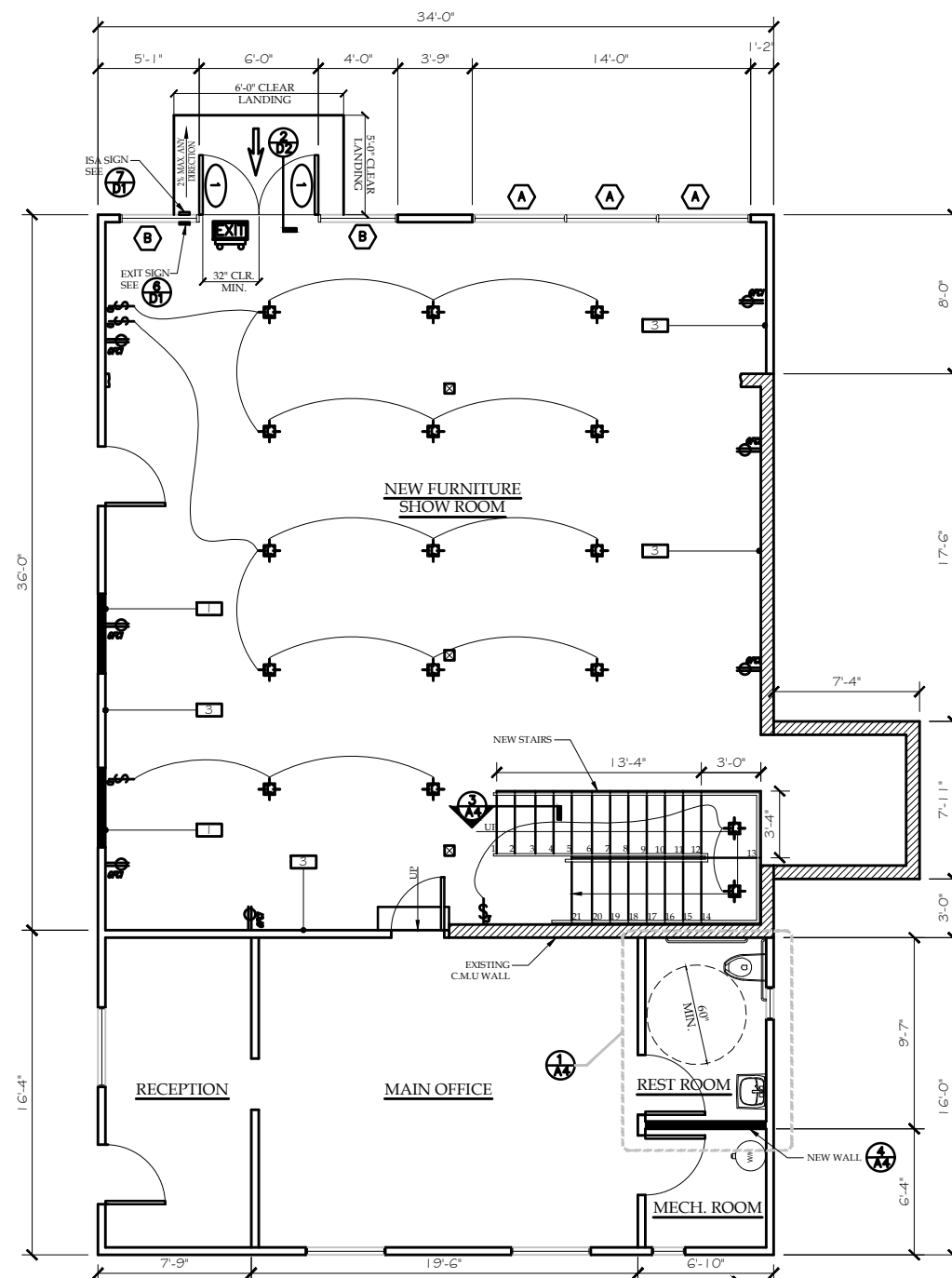
WALL LEGEND:



NOTES:

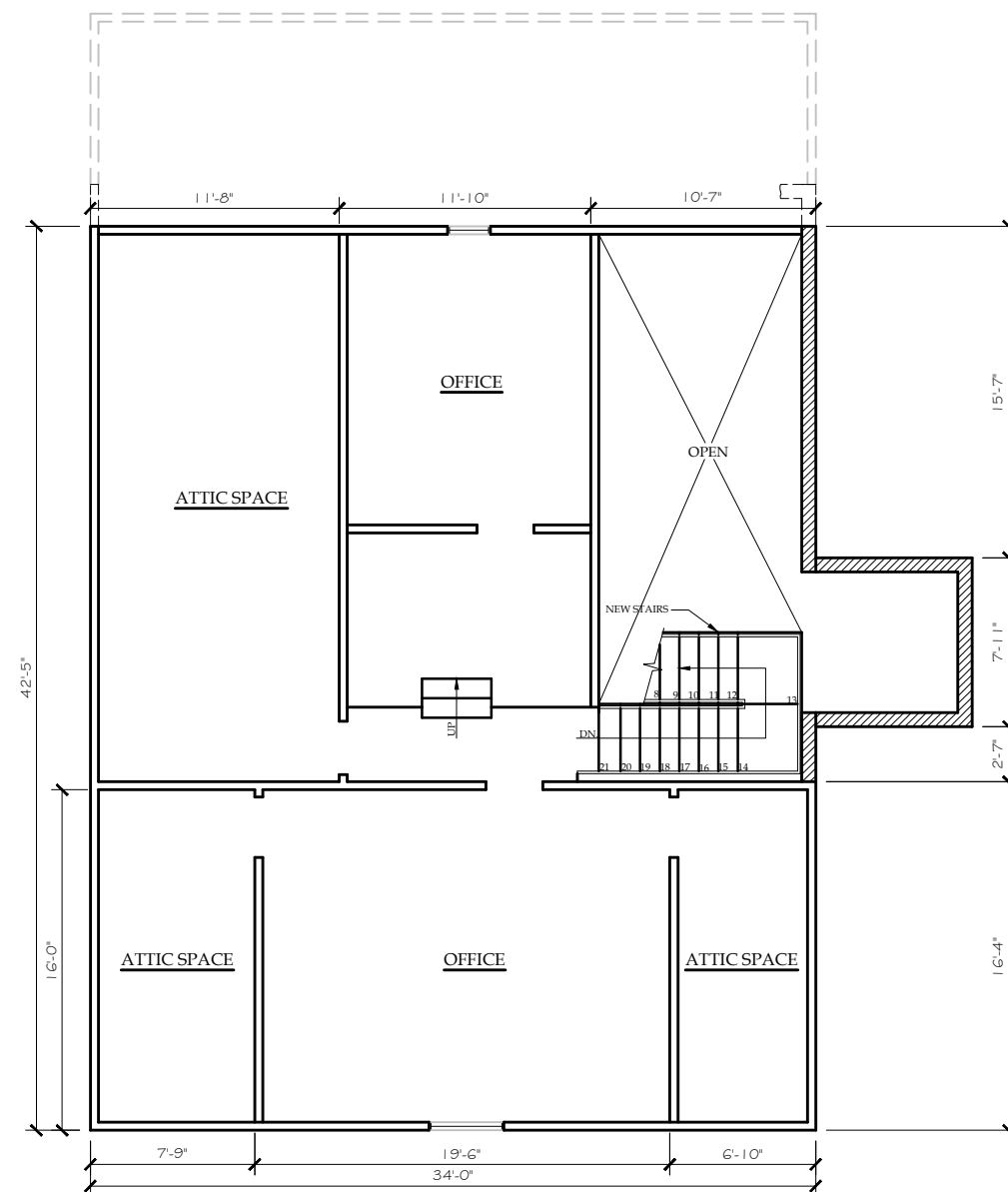
1. REMOVE THE WINDOW AND CLOSE THE WALL OPENING W/ 3-COAT, 7" MIN. THICK EXTERIOR STUCCO. O/ 2 LAYERS OF GRADE "D" PAPER, O/ 1/2" PLYWD. O/ 2x WD STUDS @ 16" O.C. W/ R-13 BATT. INSUL. IN CAVITY AS REQ'D. STUCCO WALLS SHALL BE IN COMPLIANCE WITH ASTM C 926 AND ASTM 1063 AND THE PROVISIONS OF THIS CODE.

2. NEW IMP. ACT. RESISTANT ALUMINUM STOREFRONT DOOR.
3. NEW 7/8" THICK DRY WALL ON ALL WALLS



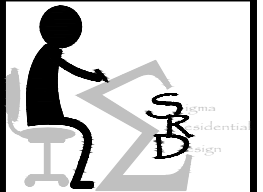
PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



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Bahman Aval

PROPOSED
FLOOR PLANS

REVISIONS

3745 ROCKLIN ROAD
ROCKLIN, CA 95677

Date: 4-28-2021

Drawn By: B.A.

Project Number:
107-21-3741 Rocklin Rd.

PAGE NO: **A2.1**

SCALE:

WINDOW SCHEDULE										
GLAZING								FRAME		REMARKS
	TYPE	WIDTH	HEIGHT	THICK	DESCRIP	MATERIAL	FINISH	MATERIAL	FINISH	
WINDOW	A	4'-8"	7'-0"	1"	DBLE. PN.	CLEAR	F.F.	ALUMINUM	F.F.	STOREFRONT WINDOW
WINDOW	B	4'-0"	7'-0"	1"	DBLE. PN.	CLEAR	F.F.	ALUMINUM	F.F.	STOREFRONT WINDOW
WINDOW	C	4'-0"	2'-0"	1"	DBLE. PN.	CLEAR	F.F.	ALUMINUM	F.F.	STOREFRONT WINDOW
WINDOW	D	6'-0"	2'-0"	1"	DBLE. PN.	CLEAR	F.F.	ALUMINUM	F.F.	STOREFRONT WINDOW
WINDOW	E	4'-8"	2'-0"	1"	DBLE. PN.	CLEAR	F.F.	ALUMINUM	F.F.	STOREFRONT WINDOW
DOOR	1	3'-0"	7'-0"	1 3/4"		CLEAR	F.F.	ALUMINUM	F.F.	STOREFRONT DOOR



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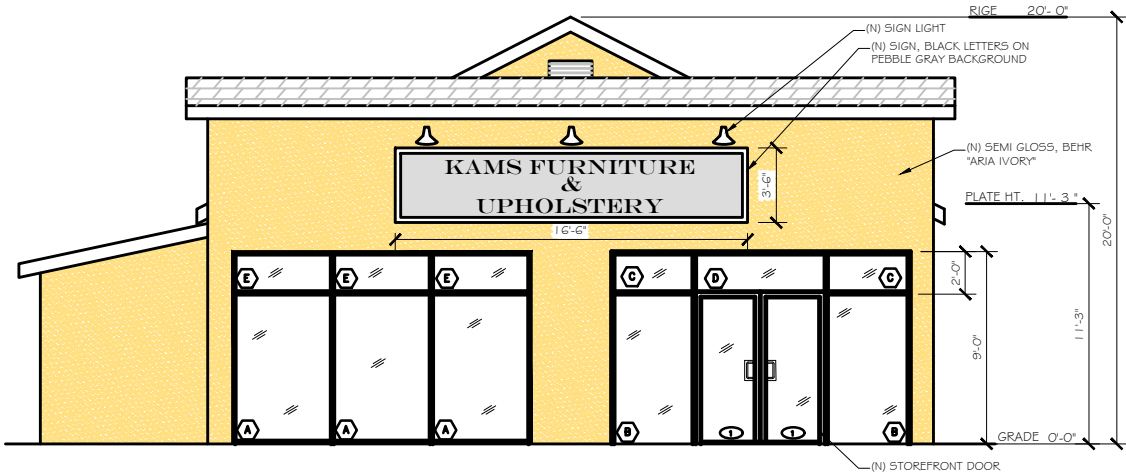
Designer:
Bahman A. Aval

ELEVATIONS

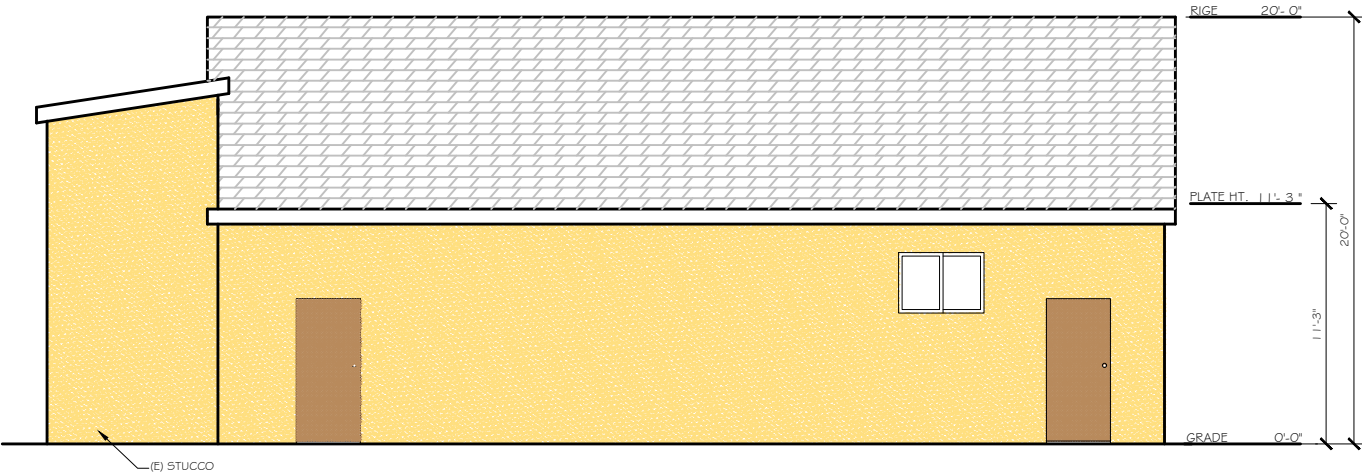
REVISIONS

3745 ROCKLIN ROAD
ROCKLIN, CA 95677

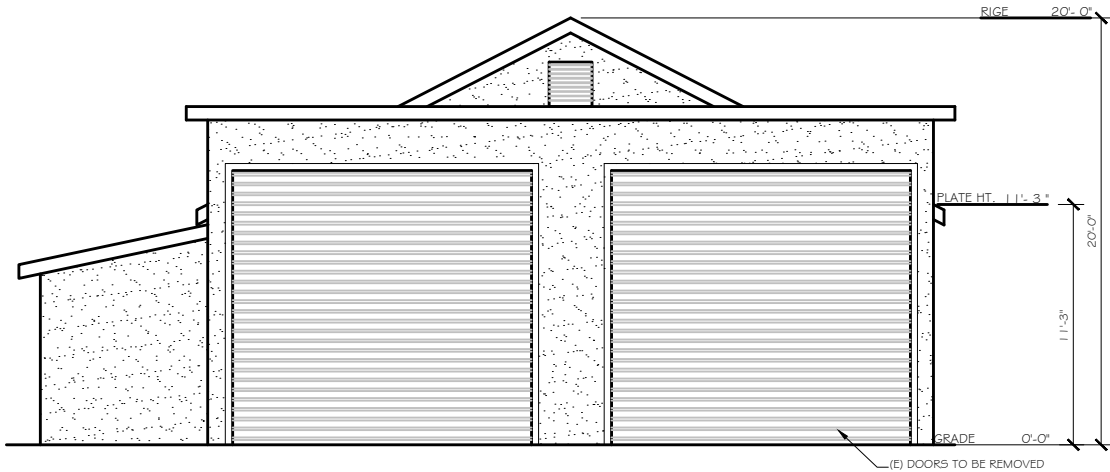
Date: 4-28-2021
Drawn By: B.A.
Project Number:
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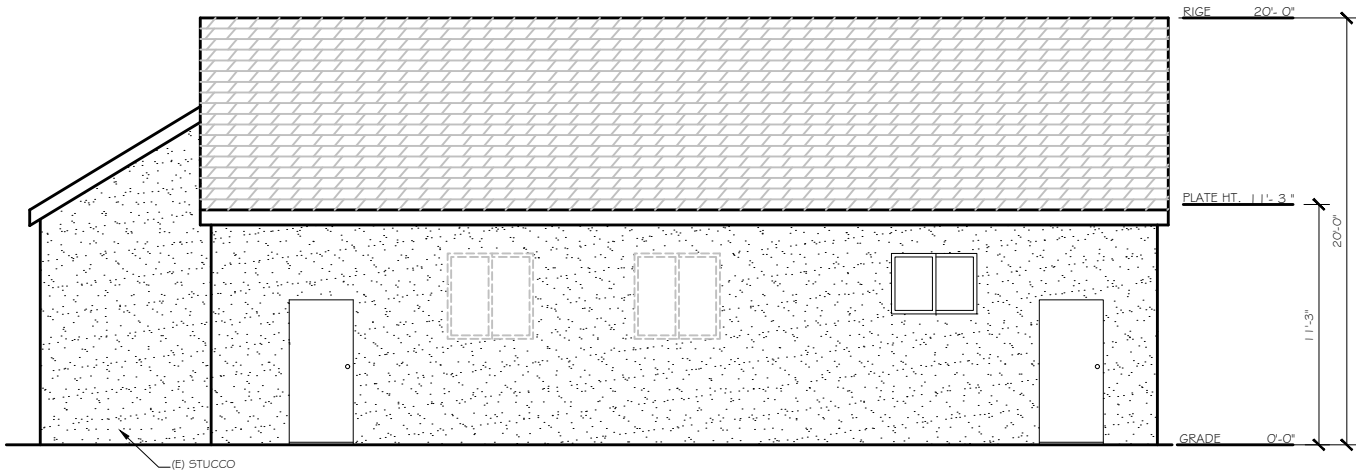
PROPOSED FRONT ELEVATIONS
SCALE : 1/4"=1'-0"



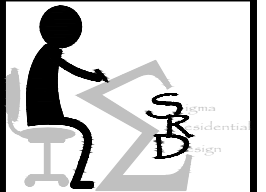
PROPOSED LEFT ELEVATIONS
SCALE : 1/4"=1'-0"



EXISTING FRONT ELEVATIONS
SCALE : 1/4"=1'-0"



EXISTING LEFT ELEVATIONS
SCALE : 1/4"=1'-0"



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Designer:
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Bahman

ELEVATIONS

REVISIONS

3745 ROCKLIN ROAD
ROCKLIN, CA 95677

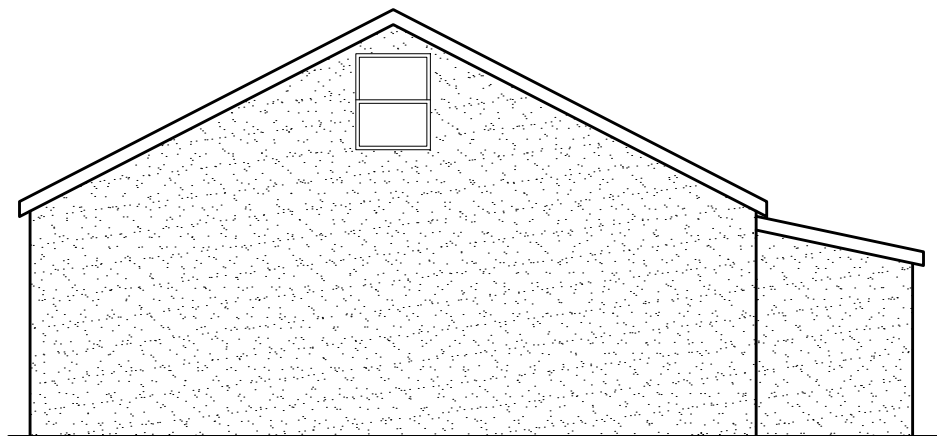
Date: 4-28-2021

Drawn By: B.A.

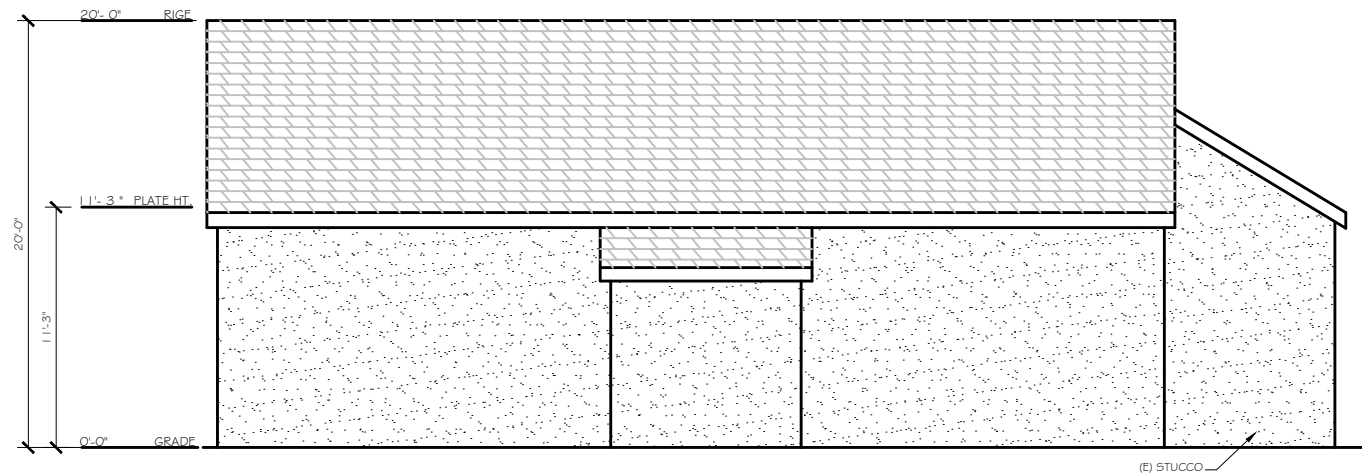
Project Number:
107-21-3741 Rocklin Rd.

PAGE NO: **A3.1**

SCALE:



REAR ELEVATION
(NO CHANGE) SCALE : 1/4"=1'-0"



EXISTING RIGHT ELEVATION
(NO CHANGE) SCALE : 1/4"=1'-0"

SEMA DESIGN



Sigma
Residential
Design

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Designer:
Bahman A. Aval


DETAILS

REVISIONS

3745 ROCKLIN ROAD
ROCKLIN, CA 95677

Date: 4-28-2021
Drawn By: B.A.
Project Number:
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PAGE NO: **A4**
SCALE:

