



## New Project Information

The City of Rocklin is processing the below referenced application(s) for project approval. The request is now being reviewed for compliance with the requirements and regulations of relevant City, State, and Federal agencies, and Utility providers. Once any issues have been resolved a hearing date will be set and public notice provided to alert neighbors and interested parties of the hearing date, availability of project information, the opportunity to comment on the project.

**Application Received:** February 16, 2023

**Project Name and Requested Approvals:**

Byers Gymnastics Center

- Design Review (DR2023-0005)
- Conditional Use Permit (U2023-0001)
- Environmental (ENV2023-0003)

**Staff Description of Project:**

The project is a request for approval of a Design Review (DR2023-0005) and Conditional Use Permit (U2023-0001) to construct a 18,900 square foot commercial building with an additional 630 square feet of covered walkway for a gymnastics center on an approximately 1.9-acre site within the Rocklin Corporate Center.

**Location:**

The project site is located at 1110 Sunset Boulevard (Rocklin Corporate Center Lot 16). The Assessor's Parcel Number (APN) is 017-284-006.

**Land Use Designation(s)/Zoning:**

The property is designated Retail Commercial (RC) in the Rocklin General Plan and the zoning is Planned Development Business Professional/Commercial (PD-BP/C) within the Stanford Ranch General Development Plan.

This project    **does** / **XX does not** require modification or change of the land use designations and regulations currently applicable to the project site.

**Compliance with the California Environmental Quality Act:**

A preliminary review of this project pursuant to the California Environmental Quality Act (CEQA) has tentatively identified a Categorical Exemption (ENV2023-0003) as the appropriate level of environmental review for this project.

**Applicant & Property Owner:**

The property owner is Thomahawk LLC. The project applicant is Massie & Co.

**Attached Information:**

For additional detail, please visit the following link:

<https://www.rocklin.ca.us/post/>



## City of Rocklin

Planning Division  
3970 Rocklin Road  
Rocklin, California 95677  
Phone (916) 625-5160 FAX (916) 625-5195

# UNIVERSAL APPLICATION FORM

NAME OF PROJECT: Byers Gymnastics Center

LOCATION: 1110 Sunset Blvd - Rocklin Corporate Center Lot 16

ASSESSOR'S PARCEL NUMBERS: 017-284-006

DATE OF APPLICATION (STAFF): 2/16/23 RECEIVED BY (STAFF INITIALS): MC

FILE NUMBERS (STAFF): DR2023-0005; U2023-0001; ENV2023-0003 FEES: \$19,464.00

RECEIPT NO.: R52401

### Pre-Application Meeting Requirements:

It is required that a pre-application meeting be held with a Staff Planner prior to submitting most applications for planning entitlements and permits. The purpose of the pre-application meeting is to expedite application processing by enabling staff to work with the applicant to assure that the officially submitted application materials are in the proper format and that the applicant understands the City of Rocklin's goals, policies, and ordinances that may affect the project. A copy of these and other planning provisions is available at the applicant's request.

Generally, two sets of preliminary plans and a written description of the proposed project should be brought with the applicant to the pre-application meeting. To schedule this meeting, please contact a Staff Planner at the Rocklin Community Development Department by calling (916) 625-5160.

DATE OF PRE-APPLICATION MEETING: 12-19-2022

### THIS APPLICATION IS FOR THE FOLLOWING ENTITLEMENTS: (CHECK APPROPRIATE SQUARES)

<input type="checkbox"/> General Plan Amendment (GPA) Fee:	<input type="checkbox"/> Tentative Subdivision Map (SD) Fee:	<input type="checkbox"/> Use Permit (U) <input checked="" type="checkbox"/> Minor (PC Approval – New Bldg) Fee: <u>n/a</u> <input type="checkbox"/> Minor (PC Approval – Existing Bldg) Fee: <input type="checkbox"/> Major (CC Approval) Fee:
<input type="checkbox"/> BARRO Zone Application (BZ) Fee:	<input type="checkbox"/> Tentative Parcel Map (DL) Fee: <u>n/a</u>	<input type="checkbox"/> Variance (V) Fee:
<input type="checkbox"/> Rezone (Reclassification) (Z) Fee:	<input type="checkbox"/> Design Review (DR) <input checked="" type="checkbox"/> Commercial Fee: <u>n/a</u> <input type="checkbox"/> Residential Fee: <input type="checkbox"/> Signs Fee:	<input type="checkbox"/> Oak Tree Preservation Plan Permit <input type="checkbox"/> Planning Commission Fee: <input type="checkbox"/> City Council Fee:
<input type="checkbox"/> General Development Plan*(PDG) Fee:		<input type="checkbox"/> Modification to Approved Projects Fee: File Number: _____
<input checked="" type="checkbox"/> Concurrent Application (2 or more entitlements) Fee: <u>\$19,022.00</u>		

Environmental Requirements:  
(STAFF)

☒ Exempt - \$442.00  
☐ Negative Declaration –

☐ Mitigated Negative Declaration –  
☐ EIR – See Fee Schedule



# UNIVERSAL APPLICATION FORM (CONT.)

GENERAL PLAN DESIGNATION:	PROPERTY DATA:	UTILITIES:	
		EXISTING	PROPOSED
Existing: <u>Mixed Use</u>	Acres: <u>1.9</u>	<input checked="" type="checkbox"/> Pub. Sewer	<input checked="" type="checkbox"/> Pub. Sewer
Proposed: <u>Retail Commercial</u>	Square Feet: <u>82,764</u> <small>354.00', 313.00', 176.90', 165.75', 117.10', 147.25'</small>	<input type="checkbox"/> Septic Sewer	<input type="checkbox"/> Septic Sewer
ZONING:	Dimensions: <u>117.10', 147.25'</u>	<input checked="" type="checkbox"/> Pub. Water	<input checked="" type="checkbox"/> Pub. Water
Existing: <u>Mixed Use</u>	No. of Units: <u>1</u>	<input type="checkbox"/> Well Water	<input type="checkbox"/> Well Water
Proposed: <u>PD-BP/C</u>	Building Size: <u>18,900</u>	<input checked="" type="checkbox"/> Electricity	<input checked="" type="checkbox"/> Electricity
	Proposed Parking: <u>90*</u>	<input checked="" type="checkbox"/> Gas	<input checked="" type="checkbox"/> Gas
	Required Parking: <u>95</u>	<input checked="" type="checkbox"/> Cable	<input checked="" type="checkbox"/> Cable
	Access: <u>4</u>	<p><i>*Existing Entitlements and CC&amp;R's for Sunset West Retail Center allowed for shared parking. Proposed parking count does not take into consideration any shared parking stalls</i></p>	

## PROJECT REQUEST:

Request for approval of design review and conditional use permit to construct a 18,900 square foot commercial building with additional 630 square feet of covered walkway for a gymnastics center on approximately 1.9 acres.

*(Example: Request for approval of design review to construct a 10,000 square foot office building on 1.5 acres)*

NOTE: Annexations, Lot Line Adjustments, and Rocklin Ranch Industrial Park Specific Plan Use Permits require special application forms and additional submittal information available from the Planning Division.

UNIVERSAL APPLICATION FORM (CONT.)

PLEASE PRINT OR TYPE:

NAME OF PROPERTY OWNER: Thomahawk LLC

ADDRESS: 2009 Opportunity Drive

CITY: Roseville STATE: CA ZIP: 95678

PHONE NUMBER: 916.580.4158

EMAIL ADDRESS: vkr@byersroseville.com

FAX NUMBER: \_\_\_\_\_

SIGNATURE OF OWNER Rhonda Hawkins  
(Signature Authorizing Application; provide owner's signature letter if signature is other than property owner.)

NAME OF APPLICANT  
(If different than owner): Massie & Co.

CONTACT: Dave Morton

ADDRESS 5800 Lonetree Blvd, Suite 201

CITY: Rocklin STATE: CA ZIP: 95765

PHONE NUMBER: 916.256.3588

EMAIL ADDRESS: dave@massieco.com

FAX NUMBER: \_\_\_\_\_

SIGNATURE OF APPLICANT Dave Morton

AGENT AUTHORIZATION FORM

Property owners desiring to authorize individuals to represent them in conjunction with any application or matter before the City shall provide written authorization using this form. A separate form shall be used for each individual or firm authorized, and shall specifically note any restrictions upon the authorized person.

Project Name: Byers Gymnastics Center  
Location: 1110 Sunset BLVD, Rocklin - Rocklin Corporate Center Lot 16  
Assessors Parcel Number(s): 017-284-006

Entitlements for which authorization is applicable (use permit, variance, tentative map, etc.):  
Conditional Use Permit, Design Review

Name of person and / or firm authorized to represent property owner (Please print):

Massie & Co.

Dave Morton & Ryan Massie

Address: 5800 Lonetree Blvd, Suite 201

City: Rocklin State: CA Zip: 95765

Phone Number: 916.256.3588 Fax Number: \_\_\_\_\_

Email Address: dave@massieco.com ; ryan@massieco.com

The above named person or firm is authorized as:

Agent ( ☒ ) Buyer ( ☐ ) Lessee ( ☐ )

The above named person or firm is authorized to (check all that are applicable):

( ☒ ) File any and all papers in conjunction with the aforementioned request, including signing the application

( ☒ ) Speak on behalf of and represent the owner at any Staff meeting and/or public hearing.

( ☒ ) Sign any and all papers in my stead, with the exception of the application form.

The duration and validity of this authorization shall be:

( ☒ ) Unrestricted ( ☐ ) Valid until: \_\_\_\_\_

Owners Authorization Signature & Date:

Signature: Rhonda Hawbass Date: 2-15-23

Owners Name (Please Print): Thomahawk LLC

Owners Address: 2009 Opportunity Drive

City: Roseville State: CA Zip: 95678

Phone Number: 916.580.4158

Email Address: vkr@byersroseville.com

# AGENT AUTHORIZATION FORM

Property owners desiring to authorize individuals to represent them in conjunction with any application or matter before the City shall provide written authorization using this form. A separate form shall be used for each individual or firm authorized, and shall specifically note any restrictions upon the authorized person.

Project Name: Byers Gymnastics Center  
 Location: 1110 Sunset BLVD, Rocklin - Rocklin Corporate Center Lot 16  
 Assessors Parcel Number(s): 017-284-006

Entitlements for which authorization is applicable (use permit, variance, tentative map, etc.):  
Conditional Use Permit, Design Review

Name of person and / or firm authorized to represent property owner (Please print):

KPFF, Inc.

Address: 1101 Creekside Ridge Drive, Suite 150

City: Roseville State: CA Zip: 95678

Phone Number: 916.772.7688 Fax Number: \_\_\_\_\_

Email Address: ashley.koontz@kpff.com ; jennifer.shively@kpff.com ; sarah.puccinelli@kpff.com

The above named person or firm is authorized as:

Agent (☒) Buyer (\_\_\_\_) Lessee (\_\_\_\_)

The above named person or firm is authorized to (check all that are applicable):

(☒) File any and all papers in conjunction with the aforementioned request, including signing the application

(☒) Speak on behalf of and represent the owner at any Staff meeting and/or public hearing.

(\_\_\_\_) Sign any and all papers in my stead, with the exception of the application form.

The duration and validity of this authorization shall be:

(\_\_\_\_) Unrestricted (\_\_\_\_) Valid until:

Owners Authorization Signature & Date:

Signature: Rhonda Hawkins Date: 2-15-23

Owners Name (Please Print): Thomahawk LLC

Owners Address: 2009 Opportunity Drive

City: Roseville State: CA Zip: 95678

Phone Number: 916.580.4158

Email Address: vkr@byersroseville.com



**NOTIFICATION OF  
OWNERS OF MINERAL RIGHTS**

Government Code section 6509a(a)(2) states that if the Subdivision Map Act requires notice to be given pursuant to Section 65091, in addition to noticing the surrounding property owners, notice must also be given to anyone who has filed with the County recorder's office a "notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code" on the subject property.

Therefore, mailing labels must be provided with this application for any owner of a mineral right pertaining to the subject real property who has recorded a notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code (Subdivision Map Act Section 65091(a)(2)).

**See page 24 of this application for instructions on how to submit mailing labels.**

Section 65091(a)(2)

"(2) When the Subdivision Map Act (Div. d 9commencing with Section 66410)) requires notice of a public hearing to be given pursuant to this section, notice shall also be given to any owner of a mineral right pertaining to the subject property who has recorded a notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code."

---

There are \_\_\_\_\_ / are not ☒ (check one) owner(s) of record of preserved mineral rights on the subject property and I, Dave Morton ☒, the applicant or applicant's representative, have \_\_\_\_\_ / have not ☒ (check one) provided the name and mailing address of record for any and all owners of mineral rights pursuant to Section 883.230 of the Civil Code.



Signature

2-15-2023

Date

STATE OF CALIFORNIA  
DEPARTMENT OF FISH AND GAME  
FILING FEES

In 1990, the State adopted a fee pursuant to AB 3158 for the review of environmental documentation by the State Department of Fish and Game. Subsequently, in 1991, the fees were challenged. Then, in June 1995, the Department of Fish and Game instructed the jurisdictions to stop collecting fees. Following a great deal of court action and in a memorandum dated February 26, 1996, the State Clearinghouse, Office of Planning and Research, stated that the fees must again be collected.

On September 29, 2006, Senate Bill 1535 was passed increasing the amounts of filing fees collected by the Department, and requires the Department to adjust the fees annually pursuant to Fish and Game Code Section 713.

As of January 1, 2020, State law requires all applicants who have a Notice of Determination filed for a Negative Declaration to pay a \$2,406.75 fee and those with a Notice of Determination for an Environmental Impact Report to pay a \$3,343.25 fee. Both types must pay an additional \$50.00 administrative fee making the total fees \$2,456.75 and \$3,393.25 respectively. Applicants whose projects require the filing of a Notice of Exemption will need to pay a \$50.00 administrative fee. The City will notify each applicant which of the fees must be paid.

PLEASE NOTE: Effective January 1, 2008, the fee exemption for projects determined to have a *De Minimis Impact Finding* has been eliminated. (Section 711.4 Fish and Game Code).

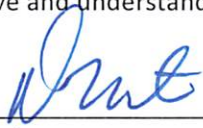
The Fish and Game filing fee must be paid prior to the filing of the Notice of Determination with the County Clerk. Since the CEQA law requires a Notice of Determination to be filed with the County within 5 days of an action by the City, all applicants must remit to the City the necessary fee amount *no later than* the day of the final scheduled public hearing for the proposed project.

PLEASE MAKE ALL CHECKS PAYABLE TO PLACER COUNTY.

If you have any questions regarding this matter, please do not hesitate to contact the Planning Department at (916) 625-5160. Upon review of the above, please sign and return this document with your application.

---

I, Dave Morton, the applicant or applicant's representative, have read the information above and understand its meaning.

  
\_\_\_\_\_  
Signature

2-15-2023  
\_\_\_\_\_  
Date

## HAZARDOUS WASTE AND SUBSTANCES STATEMENT

Pursuant to California Government Code Section 56962.5, I have consulted the Hazardous Waste and Substances Sites List (Cortese List), consolidated by the State of California, Environmental Protection Agency and find that;

The project, including any alternatives, \_\_\_\_\_ is, ☒ is not (check which applies) located on a site which is included on the Hazardous Waste and Substances Sites List (Cortese List). If on the list, provide the following information:

Regulatory identification number: \_\_\_\_\_ Date of list: \_\_\_\_\_

Type of problem: \_\_\_\_\_

I declare under penalty of perjury of the laws of the State of California that the foregoing is true and correct.

Dated: 2-15-2023

Applicant: 

Applicants can verify this information by reviewing the Hazardous Waste and Substances Sites List (Cortese List), available for review at the City of Rocklin Planning Department counter, or at the California Department of Toxic Substance Control web site: <http://www.calepa.ca.gov/SiteCleanup/CorteseList/default.htm>

## MITIGATION FOR AIR QUALITY IMPACTS

The US Environmental Protection Agency (EPA) and the California Air Resources Board (CARB) have established air quality standards, referred to as the National Ambient Air Quality Standards (NAAQS) and the State Ambient Air Quality Standards (SAAQS) respectively. The federal Clean Air Act and State Clean Air Act both require that areas in violation of the ambient air quality standards adopt strategies to attain these standards. The Placer County Air Pollution Control District (APCD) has primary responsibility for planning and maintenance and/or attainment of air quality standards within Placer County. California is divided into 15 air basins for the purpose of monitoring air quality. Placer County is included in the Sacramento Valley Air Basin. Areas may be classified as attainment, non-attainment, or unclassified with regard to the adopted standards. The unclassified designation is assigned in cases where monitoring data is insufficient to make a definitive determination. Under the federal standards, all of Placer County, including Rocklin, is designated as non-attainment for ozone. All other pollutants are designated unclassified in Rocklin. Under the state standards, South Placer, including Rocklin, is designated as non attainment for ozone and PM10 and unclassified for hydrogen sulfide and visibility reducing particulate.

The project would have the following short-term construction impacts, if not mitigated:

- a. Construction activities, including grading, would generate a variety of pollutants, the most significant of which would be dust (PM10). This would exacerbate the existing PM10 non attainment condition if not mitigated.
- b. Construction equipment would produce short-term combustion emissions, and asphalt materials used for streets and driveways would produce pollutants during curing.

The mitigation measures listed below will reduce the short term impacts to less-than-significant. In the long-term, vehicle trips to and from the project site would generate Carbon Monoxide and ozone precursor emissions, thereby contributing to the non-attainment status of the local air basin. These incremental and cumulative adverse air quality impacts cannot be completely mitigated. However, these impacts were anticipated by the City of Rocklin General Plan, and were addressed through the 1991 Rocklin General Plan EIR and the North Rocklin Circulation and Traffic Study. Findings of overriding significance were adopted for the unmitigatable and unavoidable significant air quality impacts.

Therefore, I, as the applicant for the proposed project, agree that the mitigation measures listed below are incorporated as a part of my project description in order to mitigate for the short term impacts.



## MITIGATION FOR AIR QUALITY IMPACTS (CONT.)

### MITIGATIONS

1. The project shall conform with the requirements of the Placer County APCD.
2. Prior to commencement of grading, the applicant shall submit a dust control plan for approval by the City Engineer and the Placer County Air Pollution Control District. The plans shall specify measures to reduce dust pollution during all phases of construction.
3. Traffic speeds on all unpaved road surfaces shall be posted at 25 m.p.h. or less.
4. All grading operations shall be suspended when wind speeds exceed 25 m.p.h.
5. All trucks leaving the site shall be washed off to eliminate dust and debris.
6. All construction equipment shall be maintained in clean condition.
7. All exposed surfaces shall be revegetated as quickly as feasible.
8. If fill dirt is brought to the construction site, tarps or soil stabilizers shall be placed on the dirt piles to minimize dust problems.
9. Apply water or dust palliatives on all exposed earth surfaces as necessary to control dust. Construction contracts shall include dust control treatment as frequently as necessary to minimize dust.
10. Construction equipment shall be properly maintained and tuned.
11. Utilize low emission mobile construction equipment where possible.
12. Open burning of vegetative material is prohibited.

Dave Morton

Applicant's Name (printed)



Applicant's Signature

2-15-2023

Date



## SITE CHARACTERISTICS

1. What natural features (trees, rock outcroppings etc.) presently exist on the site?  
No trees presently exist on the site. Just soil, natural light vegetation, and 2.5' tall wooden fence posts with strung cable between posts to outline non-drivable land within parcel limits.
2. What are the surrounding land uses?  
East PD-IP West PD-BP/ C North PD-BP/ C South PD-BP/ C
3. Is the project proposed on land which contains fill or a slope of 10% or more? No
4. Are there any existing erosion problems? No
5. Is the site on expansive soils (as defined in Table 18 of the UBC) or immediately adjoining an area subject to slides, liquefaction, slope instability or other related hazards? No  
If so, describe in detail, or refer to attached soils report.
6. Grading, excavating or filling activities - Quantity of cubic yards to be:
  - a. Moved within the site: 600
  - b. Deposited on the site: 0
  - c. Removed from the site: 500
  - d. Disposal site: TBD
7. Are there any streams or permanent water courses on the site? No  
Describe:
8. Will the proposed project change drainage patterns or the quality of groundwater? No  
If so explain. If not, why not:  
The project will tie into existing storm drain pipes and drain inlets, and utilize the existing Stormceptor stormwater treatment devices in the Center. The Center's stormwater system was designed for future buildings larger in size to the proposed smaller building, it is assumed the existing infrastructure will treat and convey stormwater without changing drainage patterns or quality of the groundwater.
9. Will the project affect any drainage channel, creek, pond or any other water body? No  
Describe below:
10. Is any portion of the property located in a flood plain? No  
If so describe:



11. Are there any jurisdictional wetlands or vernal pools on the site? No  
If so how will they be impacted by the project? \_\_\_\_\_
12. Are there any trees or shrubs on the project site? No  
What types? N/A  
Are any to be removed or transplanted? No  
State the location of transplant site: N/A  
State the number & species to be removed: N/A
13. Will the project affect the habitat of any endangered, threatened, or other special status species?  
No
14. Will the project result in any new noise source, or will it place new residents in an area of high traffic noise or noise from any other source?  
No
15. What type of equipment will be associated with the project during construction?  
Excavators, cement mixers, dump trucks, and bulldozer  
  
During permanent operation?  
None
16. Describe any air pollutants, other than vehicle exhaust, which would be generated by this project, both during and after construction. Dust particulates are considered pollutants.  
Dust particulates due to site leveling and due to excavating building foundations.
17. Will the project produce new sources of dust, ash, smoke, fumes or objectionable odor? No  
If yes, describe the source of the emission, methods to control emissions and means of mitigating those effects on adjacent properties: \_\_\_\_\_
18. Will the project create any new light source, other than street lighting? No  
If yes, describe below: \_\_\_\_\_
19. Is this property covered by a Williamson Act contract? No
20. Has this property ever been used for agricultural purposes? No  
If so, for what purpose and when? \_\_\_\_\_
21. Does the project involve the use of routine transport or disposal of hazardous materials? No
22. Are there any known mineral resources of value to the region and the residents of the state located on the site?  
If so, what types? No
23. How close is the nearest school? 1.2 miles



24. PROPOSED BUILDING CHARACTERISTICS (BOTH RESIDENTIAL AND NON-RESIDENTIAL)

Size of new structure(s) or addition in gross square feet: 18,900 SF

Building height measured from ground to highest point in feet: 35' max

Number of floors/stories: One

Height of other appurtenances (antennas, steeples, mechanical equipment, etc.) measured from ground:

N/A - All mechanical equipment to be screened by parapet

Project site coverage: Building 18,900 sq.ft. 23.2 %

Landscaping 5,082 sq.ft. 6.2 %

Paving 57,466 sq.ft. 70.6 %

Exterior building materials: Cement plaster, metal panel with plaster texture, glass

Exterior building colors: Warm earth tones to match existing center

Wall and/or fencing material: CMU walls at trash enclosure

Total number of off-street parking spaces required: 95 Provided: 90

Total number of bicycle parking spaces: 5 bicycle racks and 6 bicycle lockers

25. Is there any exposed mechanical equipment associated with the project? Yes

Location and screening method:

Located on building roof and screened by building parapet

26. RESIDENTIAL PROJECTS

Total lots N/A

Total dwelling units N/A

Density/acre \_\_\_\_\_

Total acreage \_\_\_\_\_

	Single Family	Two Family	Multi-Family (More than 2 units)
Number of Units			
Size of lot/unit			
Studio			
1 Bedroom			
2 Bedroom			
3 Bedroom			
4+ Bedroom			

27. RETAIL, COMMERCIAL, INDUSTRIAL, INSTITUTIONAL OR OTHER PROJECT

Type of use(s): Gymnastics Center

Oriented to: Regional \_\_\_\_\_ City \_\_\_\_\_ Neighborhood \_\_\_\_\_

Hours of operation: 9:00 am - 9:00 pm (M-F) 8:30 am - 3:00 pm (Sat) Closed (Sunday)

Total occupancy/Building capacity: 300

Gross floor area: 18,900 Number of fixed seats: 0

Number of employees (total): 20 Employees per shift: 10 Number of Shifts: 2

Number of visitors/customers on site at busiest time (best estimate): 200

Other occupants (specify): \_\_\_\_\_

ALL PROJECTS

28. Approximately how many tons of solid waste will the project produce each year? TBD
29. Will the proposed use involve any toxic or hazardous material? No  
Is the project site within 2,000 feet of an identified hazardous/toxic site? No  
Is the project site within 2,000 feet of a school or hospital? No  
If the project involves any hazardous material, explain:
30. How many new residents is the project estimated to generate? N/A
31. Will the project generate a demand for additional housing? No
32. What is the current and estimated number of motor vehicles to arrive at the site as a result of the project?  
Current: 0 Estimated: 90 parking spaces provided
33. Could the project increase traffic hazards to motor vehicles, bicyclists or pedestrians? No  
If yes, explain:
34. How close is the project to the nearest public park or recreation area? 0.5 miles or approx. 2,600 ft
35. What school districts will be affected by this project? None, not residential
36. Describe energy-efficient features included in the project  
Project meets CA Title 24 requirements and provides roof top solar
37. Describe how the following services or utilities will be provided:  
Power and Natural Gas: PG&E  
Telephone: AT&T or Surewest (TBD)  
Water: PCWA  
Sewer: SPMUD  
Storm Drainage: City of Rocklin  
Solid Waste: Recology Auburn Placer Disposal
38. Will the project block any vista or view currently enjoyed by the public? No
39. Are there any known historic or significant building features on or near the site? No  
If so, will the project result in any impact to the building?
40. Are there any archaeological features on the site? No  
If so, will the project result in any impact to these features?

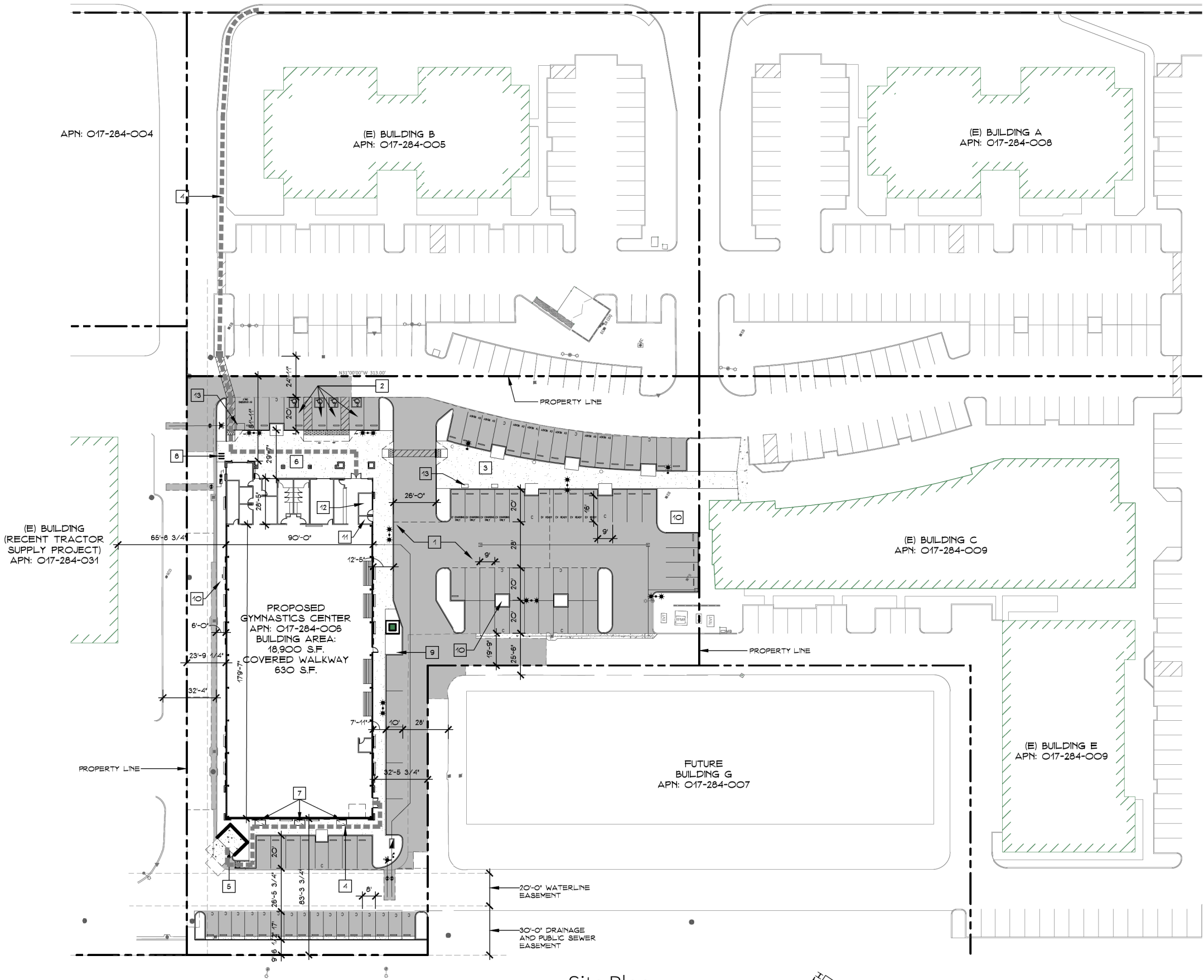
## **PROJECT DESCRIPTION**

The proposed project is for a new a single-story commercial building, approximately 20,000 square feet in size, with use as a gymnastics center with surrounding parking, hardscape, and landscaping. Building façade, materials, and proposed parking layout would be compatible with the surrounding development. The proposed project would be located on a 1.9-acre parcel in the Sunset Lonetree Center development, Lot 16.

The existing undeveloped parcel was originally entitled in 2004 as part of the Sunset West Retail Center, Rocklin Corporate Center Lots 11-19. Design Review DR-2003-15 and Use Permit U-2003-16 are assigned development numbers per Conditions of Approval per the City of Rocklin. Proposed parcel is currently vacant land.

Exterior site improvements will consist of adding additional shared parking, adding shade trees and cohesive landscaping, and adding pedestrian pathways. While also adding utility lines for sewer, water, stormwater, site lighting and dry utilities.

This project assumes existing underground utility lines for storm drain, sewer, and water have been installed around the perimeter of the parcel per original civil drawings permitted for the retail center. Existing sanitary sewer lines and corresponding easements run along the West and South sides of the parcel. Existing water line and corresponding easement runs along the South side of the parcel adjacent to the sanitary sewer line. This project proposes to tie into these existing lines with private utility lines.



Site Plan

SCALE: 1" = 30'



KEYNOTES	
1	AC PAVING
2	ACCESSIBLE PARKING STALLS
3	NEW CONCRETE SIDEWALK
4	ACCESSIBLE PATH OF TRAVEL TO PUBLIC WAY/TRASH ENCLOSURE
5	TRASH ENCLOSURE PER CITY STANDARDS
6	NEW FLATWORK
7	LONG TERM BICYCLE PARKING
8	SHORT TERM BICYCLE PARKING
9	ELECTRICAL TRANSFORMER
10	LANDSCAPING
11	FIRE RISER ROOM
12	ELECTRICAL ROOM
13	EV CHARGING STATIONS, TYP. OF 3

**PROJECT CONTACTS**

**OWNER:**  
BYERS GYMNASTICS  
2009 OPPORTUNITY DRIVE  
ROSEVILLE, CA. 95678  
TEL: 916-580-4158  
CONTACT: RHONDA HAWKINS

**CLIENT:**  
MASSIE & CO.  
5800 LONETREE BLVD. SUITE 201  
ROCKLIN, CA. 95765  
CONTACT: DAVE MORTON

**PROJECT MANAGEMENT:**  
KPFF CONSULTING ENGINEERS  
1101 CREEKSIDE RIDGE DR. SUITE 150  
ROSEVILLE, CA. 95678  
TEL: 916-772-7688  
CONTACT: ASHLEY KOONTZ

**ARCHITECT:**  
PWC ARCHITECTS  
3320 DATA DR. SUITE 200  
RANCHO CORDOVA, CA. 95670  
TEL: 916-851-1400  
CONTACT: BRIAN WILLIAMS

**CIVIL ENGINEER:**  
KPFF CONSULTING ENGINEERS  
1101 CREEKSIDE RIDGE DR. SUITE 150  
ROSEVILLE, CA. 95678  
TEL: 916-772-7688  
CONTACT: RYAN CARTER

SHEET INDEX	
A1.0	SITE PLAN
A1.1	SITE DETAILS
A2.1	PRELIMINARY FLOOR PLAN
A2.2	PRELIMINARY ROOF PLAN & SECTION A-A
A2.3	PRELIMINARY ELEVATIONS
A3.1	COLORS AND MATERIALS
C1.0	COVER SHEET
C2.0	DEMOLITION PLAN
C3.0	GRADING & UTILITY PLAN
C3.1	SECTIONS
C4.0	FIRE ACCESS PLAN
LA	LANDSCAPE PLAN
E1.1	SITE PHOTOMETRIC

**PROJECT INFORMATION**

**PROPERTY:**  
ADDRESS: 1110 SUNSET BLVD. LOT 16  
APN: 017-284-006  
TOTAL SITE AREA: ±1.9 AC (±82,764 SF)  
CITY: ROCKLIN, CALIFORNIA  
JURISDICTION: PLACER COUNTY  
EXISTING GENERAL PLAN: PD-MU  
EXISTING ZONING: PD-MU  
PROPOSED ZONING: PD-BP/COMM  
OCCUPANCY: A-3 (ASSEMBLY), B (BUSINESS)  
TYPE OF CONSTRUCTION: TYPE VB  
STORES: ONE  
BUILDING HEIGHT: 35'-0"  
BUILDING SIZE: 19,530 S.F.  
SITE FIRE PROTECTION: WET SYSTEM HYDRANTS  
FIRE PROTECTION: CENTRALLY MONITORED  
FULLY SPRINKLERED BUILDINGS AS REQUIRED BY CODE

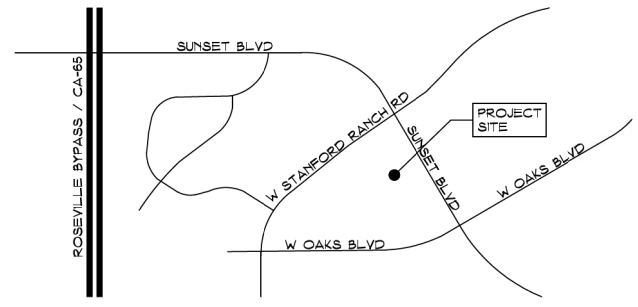
PARKING ANALYSIS*	
REQUIRED PARKING:	95 SPACES
PARKING PROVIDED:	90 SPACES
NEW STANDARD:	60 SPACES 9'-0" x 19' TYP.
NEW COMPACT:	26 SPACES 8'-0" x 16' MN.
NEW ACCESSIBLE:	4 SPACES (3 STANDARD, 1 VAN)
TOTAL SPACES:	90 SPACES

ACCESSIBLE PARKING	
REQUIRED STANDARD STALLS:	3
REQUIRED VAN STALLS:	1
TOTAL REQUIRED:	4
PROVIDED STANDARD STALLS:	3
PROVIDED VAN STALLS:	1
TOTAL PROVIDED:	4

EVCS PARKING	
REQUIRED EVCS CAPABLE SPACES:	17
PROVIDED EVCS CAPABLE SPACES:	17
REQUIRED EVCS SPACES W/ EVSE:	4
PROVIDED EVCS SPACES W/ EVSE:	4
PROVIDED EVCS VAN ACCESSIBLE:	1
TOTAL PROVIDED:	5

**BICYCLE PARKING:**  
SHORT-TERM RACKS: 3 (6 BICYCLES)  
LONG-TERM LOCKERS: 3 (6 BICYCLES)

\*: EXISTING ENTITLEMENTS AND CCR'S FOR SUNSET WEST RETAIL CENTER ALLOWED FOR SHARED PARKING. PROPOSED PARKING COUNT DOES NOT TAKE INTO CONSIDERATION ANY SHARED PARKING STALLS

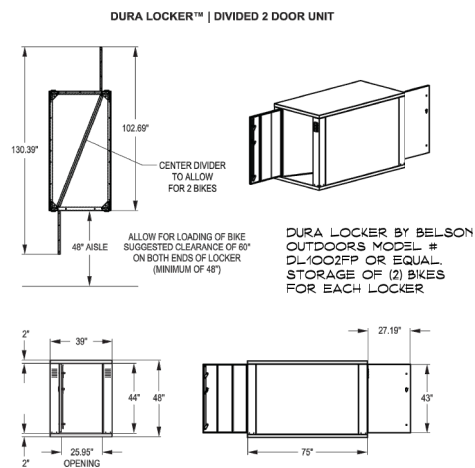


VICINITY PLAN

SCALE: NTS

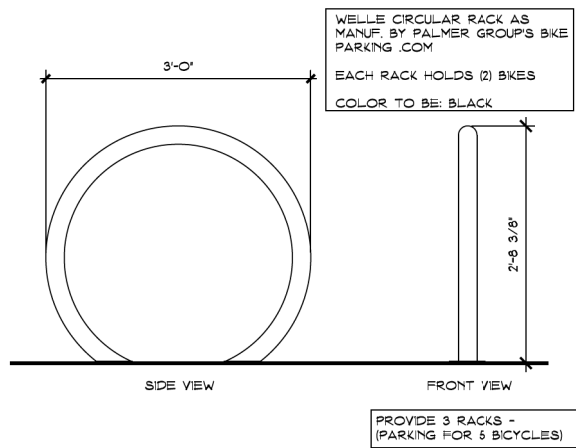






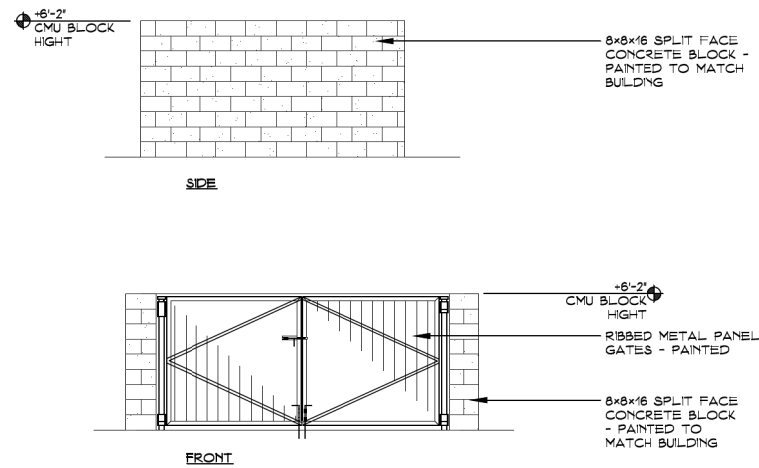
Bike Locker

NOT TO SCALE



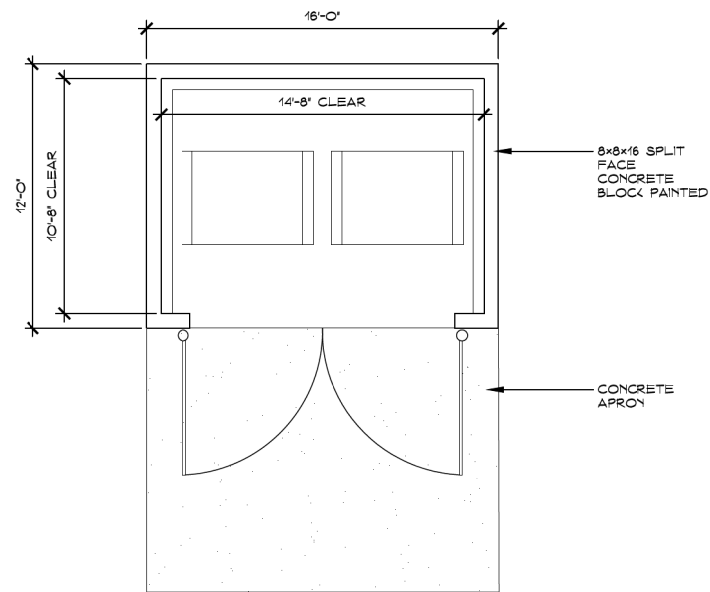
Bicycle Parking

SCALE: 1" = 1'-0"



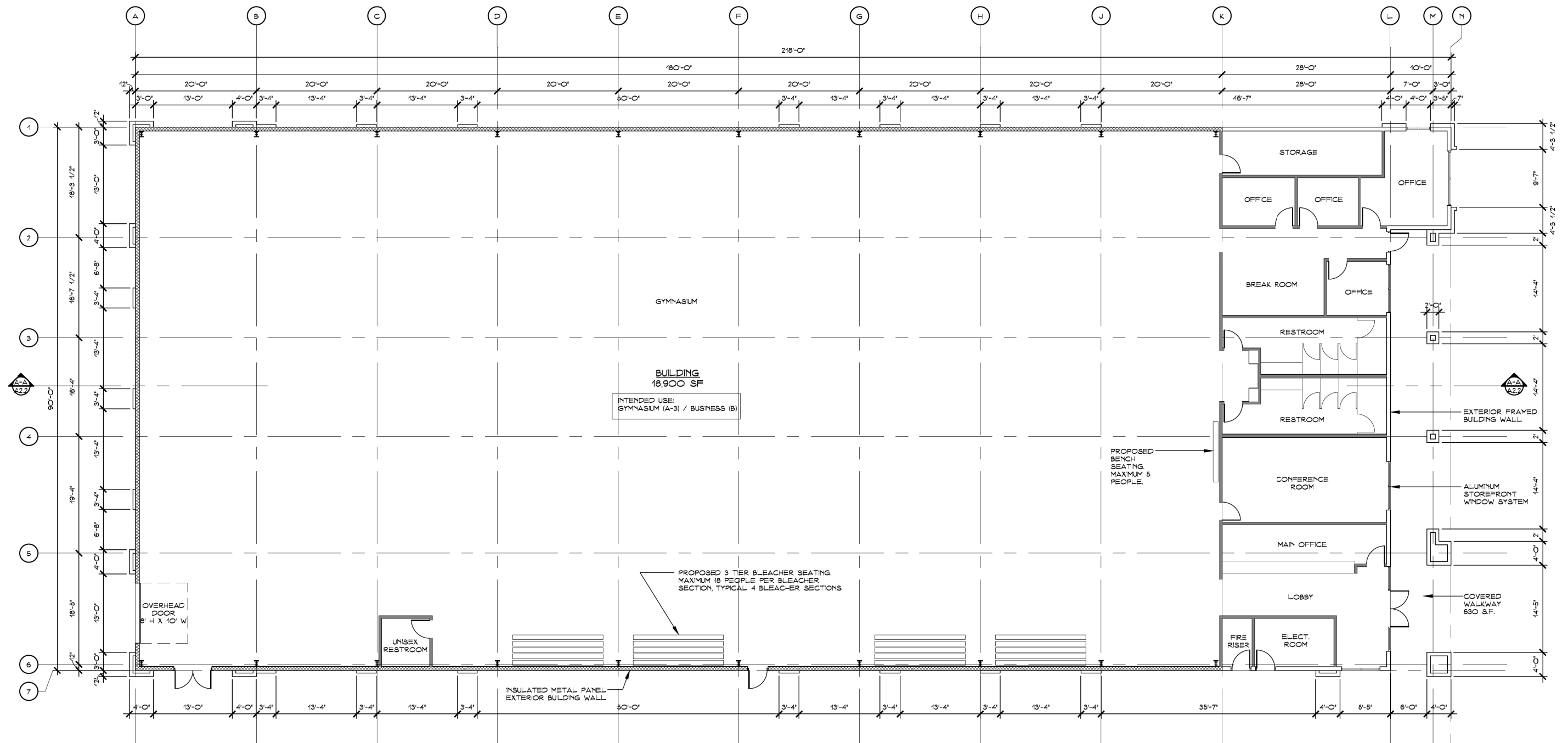
Trash Enclosure - Elevations

SCALE: 1/4" = 1'-0"



Trash Enclosure - Plan

SCALE: 1/4" = 1'-0"



## Floor Plan

SCALE: 1/8" = 1'-0"

LEGEND	
	EXTERIOR FRAMED WALL
	INSULATED METAL PANEL
	INTERIOR FRAMED WALL
	ALUMINUM STOREFRONT WINDOW SYSTEM
	BUILDING SECTION SEE SHEET A22
	GRID LINE

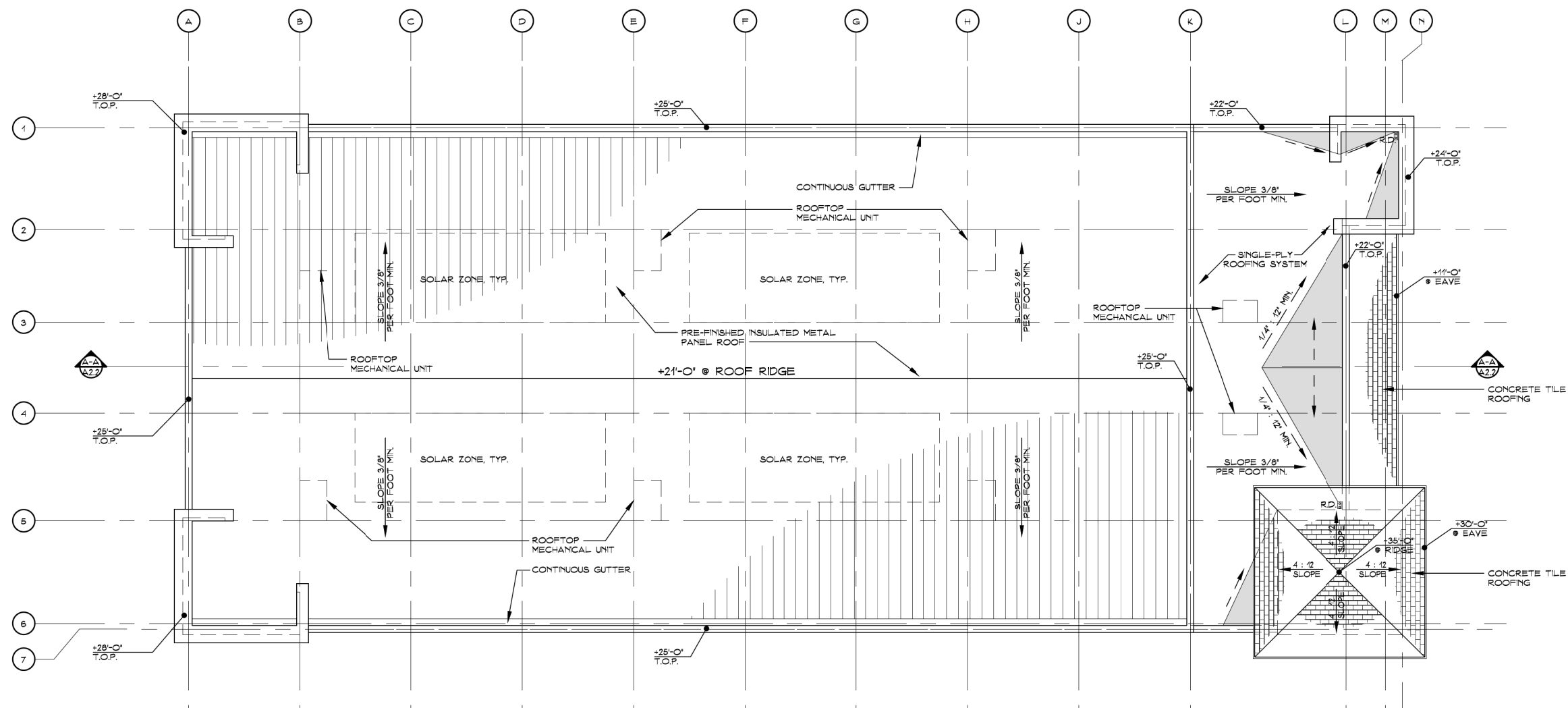
**BYERS GYMNASTICS**  
1110 Sunset Blvd., Rocklin, CA

**PRELIMINARY FLOOR PLAN**

Scale: As Noted

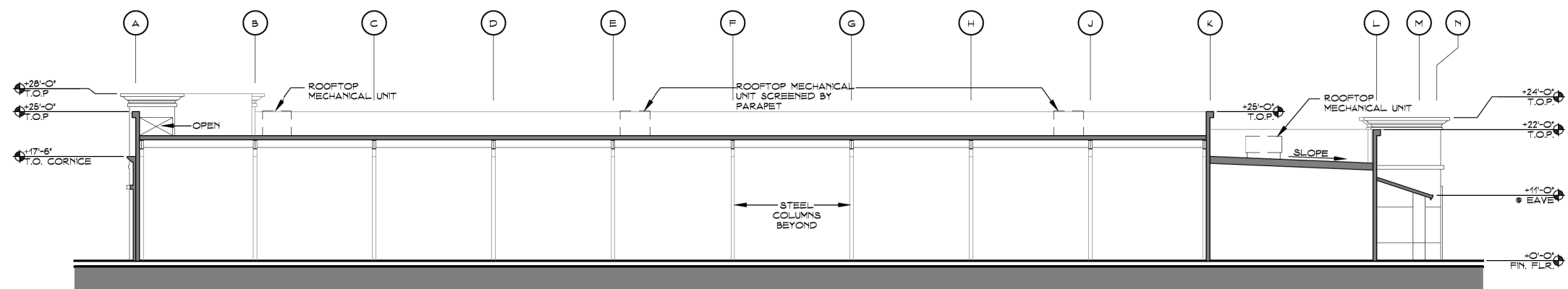
SHEET  
**A2.1**

**PERKINS, WILLIAMS & COTTERILL, INC.**  
**ARCHITECTS**  
3320 Data Drive, Suite 200 • Rancho Cordova, California 95670  
T (916) 851-1400 F (916) 851-1408 E [pwarch@pwarchitects.com](mailto:pwarch@pwarchitects.com)  
DATE: 2.10.23  
PROJECT: 22-720



Roof Plan

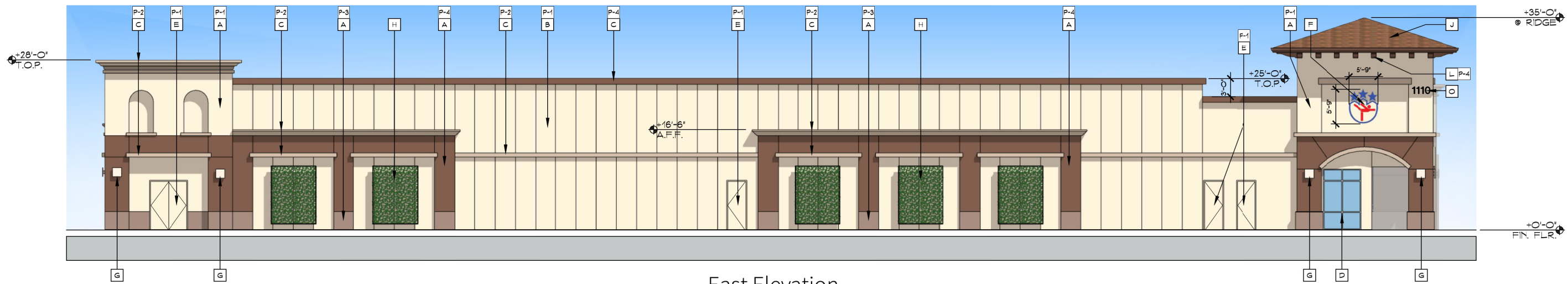
SCALE: 3/32" = 1'-0"



A-A Building Section

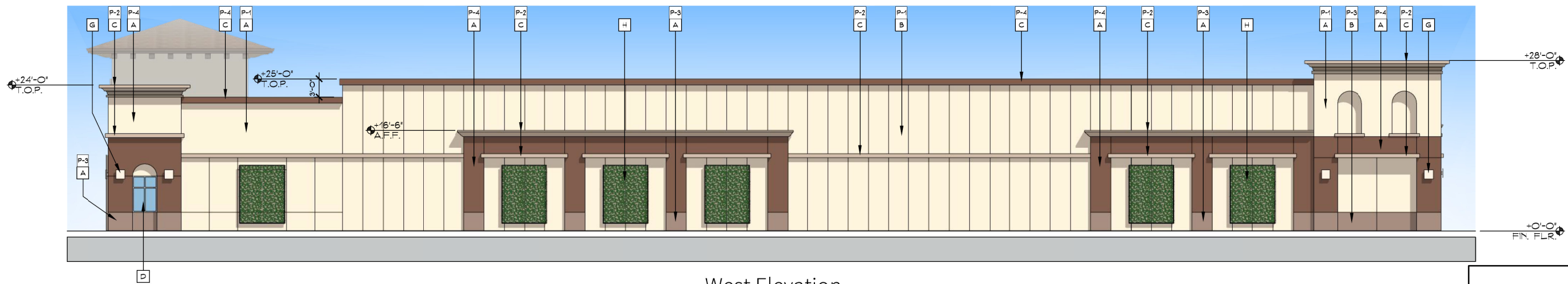
SCALE: 3/32" = 1'-0"

LEGEND	
	GRID LINES
	HEIGHT OF ELEMENT ABOVE FINISH FLOOR
	OVERFLOW & ROOF DRAIN
	OVERFLOW & ROOF DRAIN
	SLOPE OF ROOF TO DRAIN
	TOP OF PARAPET
	AREA OF FESCO BOARD



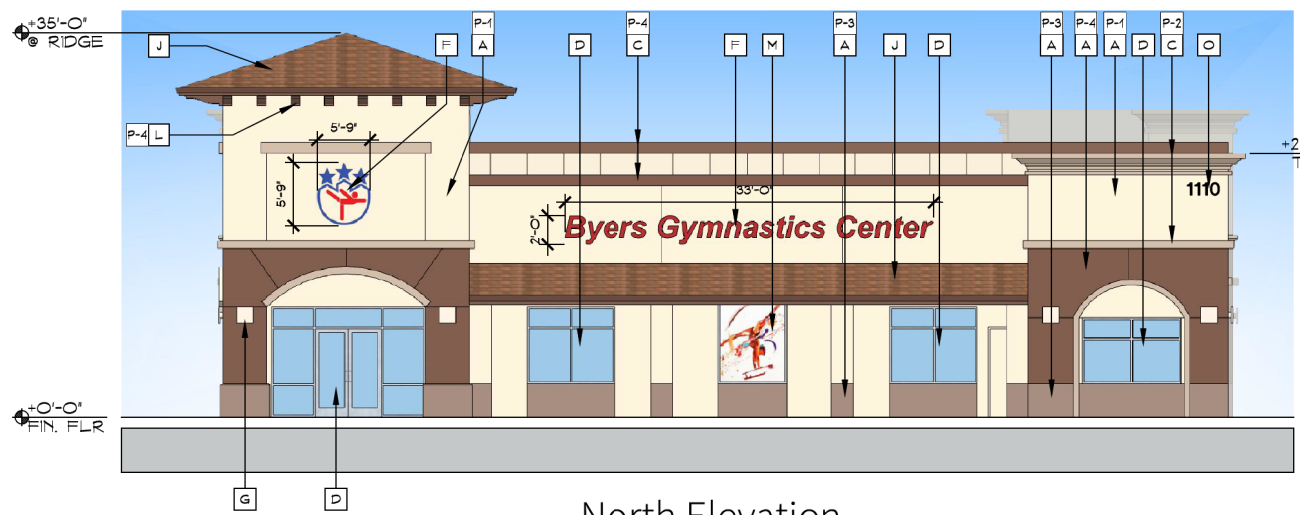
East Elevation

SCALE = 1/8" = 1'-0"



West Elevation

SCALE = 1/8" = 1'-0"



North Elevation

SCALE = 1/8" = 1'-0"



South Elevation

SCALE = 1/8" = 1'-0"

KEYNOTES	
A	CEMENT PLASTER - PAINTED
B	INSULATED METAL WALL PANELS WITH PLASTER FINISH - PAINTED
C	ARCHITECTURAL FOAM CORNICE - PAINTED
D	ALUMINUM STOREFRONT WINDOW SYSTEM
E	HOLLOW METAL DOOR IN HM FRAME - PAINTED TO MATCH WALL COLOR
F	FUTURE TENANT SIGNAGE - INTERNALLY ILLUMINATED W/ 100 S.F. MAX SIGN AREA PER TENANT FRONTAGE
G	ACCENT LIGHT FIXTURE
H	LANDSCAPE TRELLIS
J	CONCRETE TILE ROOFING
K	OVERHEAD DOOR
L	DECORATIVE ROOF CORBELS
M	WALL GRAPHIC
N	WALL MOUNTED LIGHT FIXTURE
O	INTERNALLY ILLUMINATED 18" HIGH ADDRESS NUMBER

PAINT LEGEND (MATCH (E) COLORS OF BUILDING A)	
P-1	ICI #491 - 'IVORY BEIGE' (RGB: 228,210,191)
P-2	ICI #425 'DUSTY TRAIL' (RGB: 188,169,152)
P-3	ICI #309 'ROWHOUSE' (RGB: 149,126,114)
P-4	ICI #263 'COCO RIDGE' (RGB: 115,83,69)

BYERS GYMNASTICS  
1110 Sunset Blvd., Rocklin, CA

PRELIMINARY ELEVATIONS

Scale: As Noted

SHEET  
**A2.3**  
PERKINS, WILLIAMS & COTTERILL, INC.  
**ARCHITECTS**  
3320 Data Drive, Suite 200 • Rancho Cordova, California 95670  
T (916) 851-1400 F (916) 851-1408 E pwcarch@pwcarchitects.com  
DATE: 2.10.23  
PROJECT: 22-720





BYERS GYMNASTICS  
1110 Sunset Blvd., Rocklin, CA

COLOR RENDERING

SHEET  
**A3.1**

**PERKINS, WILLIAMS & COTTERILL, INC.**  
**ARCHITECTS**  
3320 Data Drive, Suite 200 • Rancho Cordova, California 95670  
T (916) 851-1400 F (916) 851-1408 E pwcarch@pwcarchitects.com  
DATE: 2.10.23  
PROJECT: 22-720





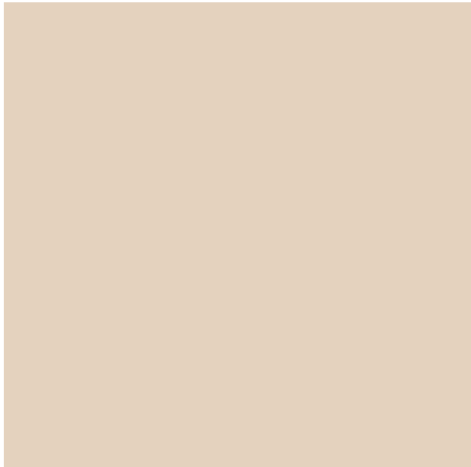
CLEAR ANODIZED ALUMINUM  
STOREFRONT SYSTEM



WALL MOUNTED TRELLIS  
NATURESCREEN DMT



CONCRETE ROOF TILE  
TO MATCH: MONIER LIFETILE  
SHAKE-CAYENNE "BRUSHED"  
#1457



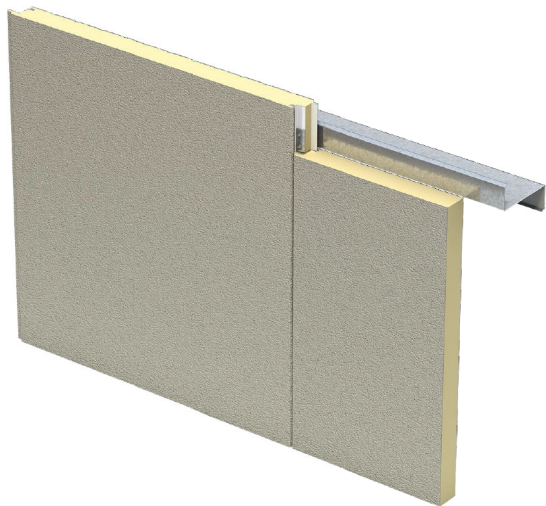
ICI #491 - "IVORY BEIGE"  
(RGB: 228,210,191)



ICI #425 "DUSTY TRAIL"  
(RGB: 188,169,152)



INSULATED METAL PANEL  
AWIP - ADOBETEXTURE (HE40A)  
PAINTED TO MATCH EXISTING CENTER



MEDIUM SAND PLASTER  
PAINT FINISH TO MATCH  
EXISTING CENTER



ICI #309 "ROWHOUSE"  
(RGB: 149,126,114)



ICI #263 "COCO RIDGE"  
(RGB: 115,83,69)

Exterior Paint Colors

# PRELIMINARY PLANS FOR BYERS GYMNASTICS

1110 SUNSET BOULEVARD, LOT 16  
ROCKLIN, CALIFORNIA

APN # 017-284-006

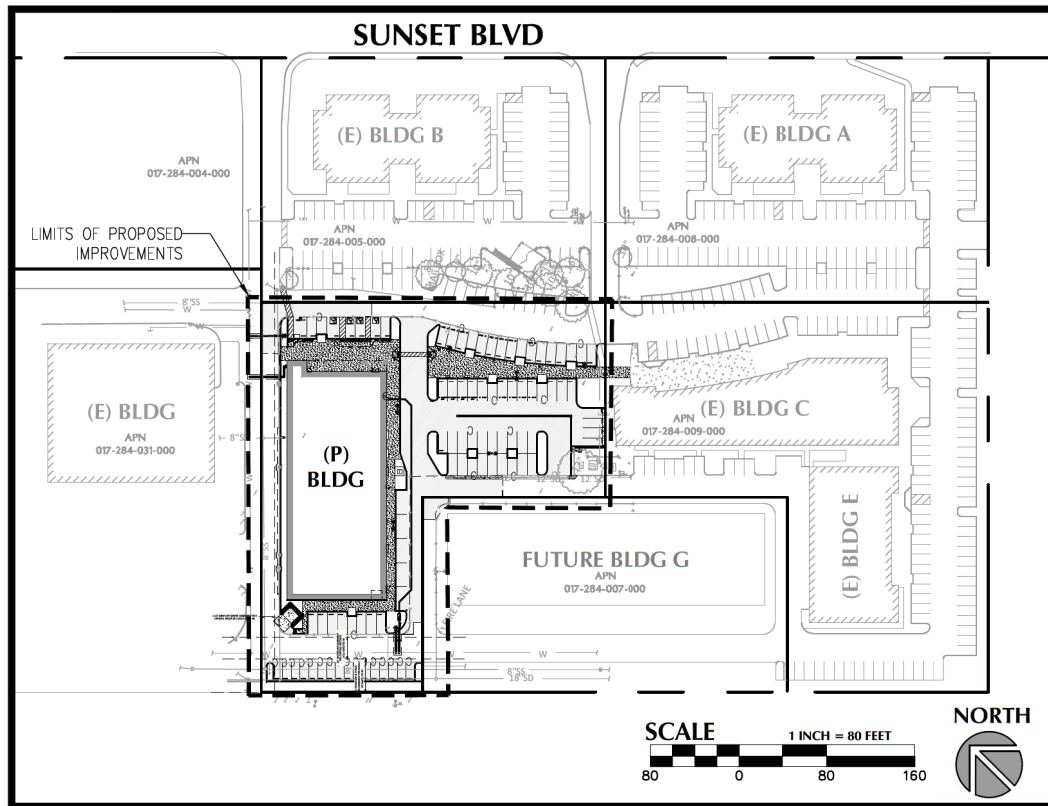
## LEGEND

	PROPOSED	EXISTING
PROPERTY LINE / RIGHT-OF-WAY LINE	---	---
EASEMENT LINE	---	---
CENTRINE	---	---
BUILDING OUTLINE	---	---
BUILDING OVERHANG	---	---
CURB	---	---
CURB AND GUTTER	---	---
SAWCUT LINE	---	---
ASPHALT PAVEMENT	---	---
ASPHALT PAVEMENT (HEAVY)	---	---
CONCRETE PAVEMENT	---	---
MAJOR CONTOUR	100	100
MINOR CONTOUR	99	99
GRADE BREAK	GB	---
RETAINING WALL	---	---
GRADING SLOPE	---	---
DAYLIGHT LINE	---	---
GAS LINE	G	G
ELECTRIC LINE	E	E
FIBER OPTIC LINE	FO	FO
TELECOMMUNICATIONS LINE	T	T
JOINT TRENCH	JT	---
SWALE	---	---
FENCE	---	---
STORM DRAIN LINE	24" SD	SD
SANITARY SEWER LINE	6" SS	SS
WATER MAIN LINE	12" W	W
STORM DRAIN MANHOLE	---	---
STORM DRAIN INLET	---	---
GRATED STORM DRAIN MANHOLE	---	---
FLARED END SECTION	---	---
CLEANOUT	---	---
SANITARY SEWER MANHOLE	---	---
GREASE INTERCEPTOR	---	---
FIRE HYDRANT	---	---
FIRE DEPARTMENT CONNECTION	---	---
BACKFLOW PREVENTOR/DDCV	---	---
GATE VALVE	---	---
POST INDICATOR VALVE	---	---
BLOW-OFF VALVE	---	---
AIR-RELEASE VALVE	---	---
WATER METER	---	---
CONCRETE THRUST BLOCK	---	---
LIGHT POLE - MAST ARM	---	---
LIGHT POLE	---	---
ELECTRIC BOX	---	---
TRANSFORMER	---	---
HANDICAP PARKING	---	---
POWER POLE	---	---
TREE PROTECTION	---	---
SPOT ELEVATIONS	XX.XX TC XX.XX FS	(XX.XX TC) (XX.XX FS)
GRADING SLOPE	2.00%	(2.00%)
SIGN	---	---

## ABBREVIATIONS

AC	ASPHALT CONCRETE
AD	AREA DRAIN
ADA	AMERICAN DISABILITIES ACT
APPROX.	APPROXIMATE
B	BOLLARD
BLDG	BUILDING
BOI	BOTTOM OF PIPE
BOW	BACK OF WALK
BS	BOTTOM OF STAIR
BW	BOTTOM OF WALL
CB	CATCH BASIN
CL	CENTERLINE
CMU	CORRUGATED METAL PIPE
CO	CONCRETE MASONRY UNIT
CONC.	CLEANOUT
COTG	CONCRETE
CP	CLEANOUT TO GRADE
DELTA	CONTROL POINT
D	DRIVEWAY
D/W	DRAIN CLEANOUT
DO	DRAIN INLET
DIA.	DRAIN INLET
DIP	DUCTILE IRON PIPE
E	ELECTRICAL
EG	EXISTING GRADE
(E)	EXISTING
DCO	FIRE DEPARTMENT CONNECTION
FF	FINISH FLOOR ELEVATION
FG	FINISH GRADE
FL	FIRE HYDRANT
FS	FOUNDATION
FND	FINISHED SURFACE
G	GAS
GB	GRADE BREAK
GL	GAS LINE
GR	GRATE ELEVATION
GV	GATE VALVE
H	HEIGHT
HP	HIGH POINT
ID	INSIDE DIAMETER
IE	INVERT ELEVATION
INV	INVERT
IRR	IRRIGATION
JT	JOINT TRENCH
JF	LINEAR FEET
LP	LIGHT POLE
MH	MANHOLE
MIN	MINIMUM
N	NORTH
N/D	NORTHING
OF	OUTSIDE DIAMETER
OVH/OH	OUTFALL
(P)	PROPOSED
P/L	PROPERTY LINE
PD/SIRIAN	PED/STRIAN
PIV	POST INDICATOR VALVE
PM	PARKING METER
POC	POINT ON CURVE
PP	POWER POLE
PRC	POINT OF REVERSE CURVATURE
PT	POINT OF TANGENT
P.U.E	PUBLIC UTILITY EASEMENT
PVC	POLYVINYL CHLORIDE
PWT	PAVEMENT
PVT	PRIVATE
RM	RIM ELEVATION
RD	ROOF DRAIN
R.O.W	RIGHT-OF-WAY
S	SLOPE (F/F)
SCO	SEWER CLEAN OUT
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SF	SQUARE FEET
SHT	SHEET
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
ST	STREET
STA	STATION
STD	STANDARD
S/W	SIDEWALK
TC	TOP OF CURB
TD	TRENCH DRAIN
TOP	TOP OF PIPE
TRANS.	TRANSFORMER
TS	TOP OF STAIR
TW	TOP OF WALL
TYP	TYPICAL
UG	UNDERGROUND
UGE	UNDERGROUND ELECTRIC
UNO	UNLESS NOTED OTHERWISE
VF	VERIFY IN FIELD
W	WATER
W/	WITH
WCR	WHEEL CHAIR RAMP
WM	WATER METER
WV	WATER VALVE

## SITE MAP



VERTICAL DATUM: CITY OF ROCKLIN  
BENCHMARK: 2" BRASS DISK IN WELL IN INTERSECTION OF IROQUOISA RD AND SIOUX ST (NOW WILDCAT BLVD)  
BENCHMARK NO. R 10-6  
EL. 171.23'

FLOOD ZONE:  
THIS PROJECT IS IN ZONE X, SPECIFICALLY WITHIN AN AREA OF MINIMAL FLOOD HAZARD, UNDER  
THE FEMA FLOOD MAP NUMBERED 06061C0941H, EFFECTIVE 11/02/2018

UTILITY REPRESENTATIVES			
UTILITY	AGENCY	REPRESENTATIVE	PHONE
GAS	SPMUD	JOSH LELKO	530-320-0149
ELECTRICITY	P.G.&E.	---	530-320-0149
TELEPHONE	AT&T	---	916-409-1384
WATER	PCWA	RICHARD WIRTH	530-823-4886
SEWER	SPMUD	JOSH LELKO	916-786-8555
DRAINAGE	CITY OF ROCKLIN	---	916-625-5500
CABLE T.V.	WAVE BROADBAND	---	916-630-7180
FIRE DISTRICT	ROCKLIN FIRE	JOANNA RAINS	916-625-5300

## TOTAL IMPERVIOUS AREA

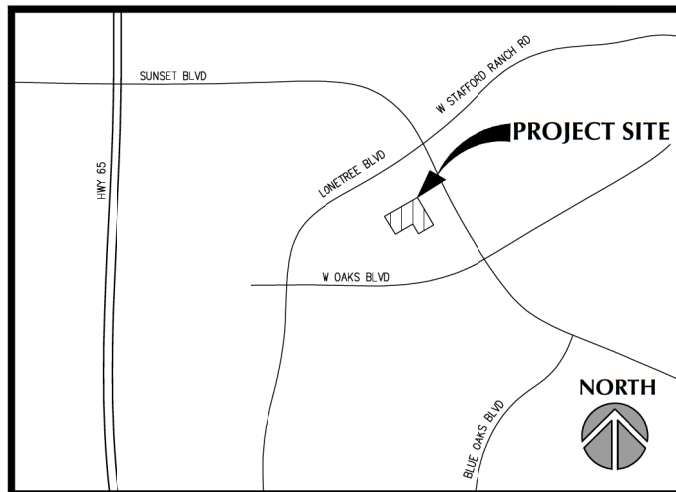
PRE-CONSTRUCTION (IMPERV.)	0.114 ACRES
POST-CONSTRUCTION (IMPERV.)	1.240 ACRES
CHANGE IN IMPERV. AREA	1.126 ACRES

## EARTHWORK SUMMARY

AREA (SF)	CUT (CY)	FILL (CY)	NET EXPORT (CY)
81,500	1,100	600	500
EARTHWORK QUANTITIES ARE ESTIMATED TO SUBGRADE AND DO NOT TAKE INTO ACCOUNT SHRINKAGE, EXCESS MATERIALS FROM TRENCHING AND MISC. UNKNOWN STRUCTURAL SECTIONS. CONTRACTOR SHOULD VERIFY EARTHWORK QUANTITIES.			

## VICINITY MAP

SCALE: NTS



## PROJECT CONTACTS

CLIENT:  
MASSE & CO.  
5800 LONETREE BLVD, SUITE 201  
ROCKLIN, CA 95765  
CONTACT: DAVE MORTON

CIVIL ENGINEER:  
KPF CONSULTING ENGINEERS  
1101 CREEKSIDE RIDGE DR, SUITE 150  
ROSEVILLE, CA 95678  
TEL: 916-772-7688  
CONTACT: RYAN CARTER

ARCHITECT:  
PWC ARCHITECTS  
3320 DATA DRIVE, SUITE 200  
RANCHO CORDOVA, CA 95670  
TEL: 916-851-1400  
CONTACT: BRIAN WILLIAMS

## SHEET INDEX

COVER SHEET	C1.0
DEMOLITION PLAN	C2.0
PRELIMINARY GRADING & UTILITY PLAN	C3.0
SECTIONS	C3.1
FIRE ACCESS PLAN	C4.0

kpff

1101 Creekside Ridge Dr, Suite 150  
Roseville, CA 95678  
O: 916.772.7688  
F: 916.772.7699  
www.kpff.com

Engineer's Stamp

PRELIMINARY  
NOT FOR  
CONSTRUCTION

Project

PRELIMINARY PLANS FOR  
BYERS GYMNASTICS  
1110 SUNSET BLVD, LOT 16  
ROCKLIN, CA

Sheet Title

COVER  
SHEET

SUBMITTALS	NO.	Date	Description	Approved
		02/10/2023	CONDITIONAL USE PERMIT	

DATE 02/10/2023

Designed AR

Drawn SL

Checked RC

JOB NO. 2200-205

Drawing No.

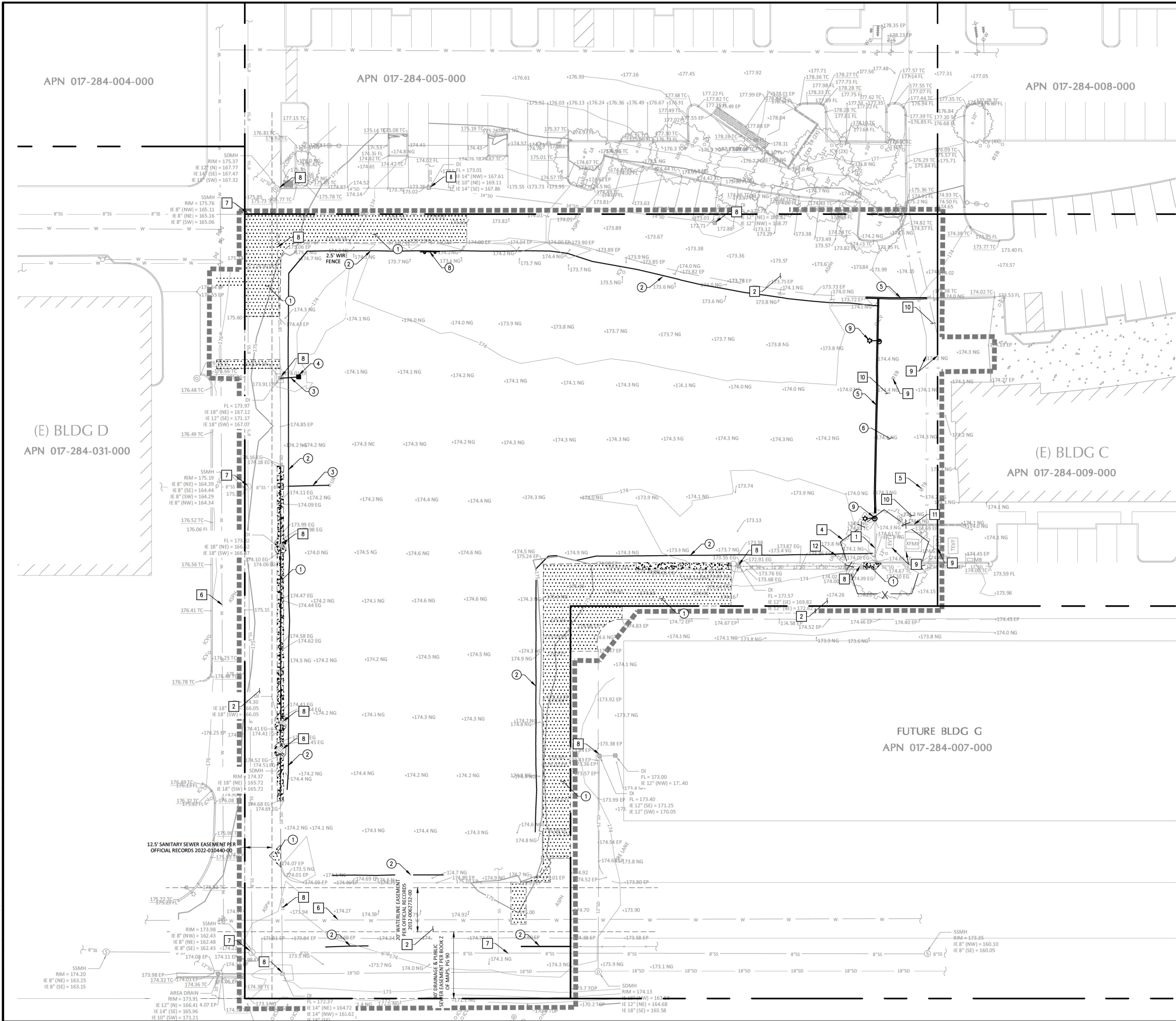
C1.0



CALL BEFORE YOU DIG



File: C2.0\_Demo\_Plan.dwg, TAB: C2.0  
Plotted: 2/14/23 at 11:41am By: Amber Rose  
XREFs: 2200-205 xtb 2200-205 xst 2200-098 xsv 2200-205 xsv



#### DEMOLITION GENERAL NOTES

- CONTRACTOR TO CLEAR PROJECT SITE AREA WITHIN THE CONFINES OF THE DEMOLITION LIMIT LINE. THE CONTRACTOR SHALL DEMOLISH AND REMOVE FROM THE SITE ALL EXISTING UTILITIES, STRUCTURES, PLANTERS, TREES, AND ALL OTHER SITE FEATURES, UNLESS OTHERWISE NOTED ON THE PLAN.
- REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS AND SHALL PAY ALL FEES NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION AND DISPOSAL OF SAID MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF THE DEMOLITION WORK.
- THE CONTRACTOR SHALL VERIFY AND LOCATE ALL EXISTING ABOVE AND UNDERGROUND UTILITIES. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND ARE SHOWN FOR GENERAL INFORMATION ONLY.
- DAMAGE TO ANY EXISTING UTILITIES AND SERVICES TO REMAIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
- EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT DEBRIS AND UNSUITABLE MATERIALS FROM ENTERING STORM DRAINS, SANITARY SEWERS AND STREETS.
- DUST CONTROL SHALL BE IMPLEMENTED DURING DEMOLITION.
- DEMOLITION IS LIMITED TO WITHIN DEMOLITION LIMIT LINE UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND QUANTITY OF EXISTING SURFACE STRUCTURES AND SHALL BE SOLELY RESPONSIBLE FOR ANY UNIDENTIFIED UTILITIES, IMPROVEMENTS, TREES, ETC. TO BE DEMOLISHED AND REMOVED WITHIN THE DEMOLITION LIMIT LINE, INCLUDING APPURTENANT FOUNDATIONS OR SUPPORTS.
- DEMOLITION CALLOUTS IN THIS SECTION ARE REPRESENTATIVE OF WHAT IS TO BE DONE, NOT AN ITEMIZED ACCOUNTING FOR EACH PIPE, CATCH BASIN, MANHOLE, VAULT, ETC. THAT IS TO BE DEMOLISHED, REMOVED AND DISPOSED OF.

#### DEMOLITION KEY NOTES

- SAWCUT AND REMOVE EXISTING PAVEMENT AND AGGREGATE BASE
- DEMOLISH EXISTING FENCE
- DEMOLISH UTILITY LINE
- DEMOLISH EXISTING STORM DRAIN INLET
- DEMOLISH EXISTING CURB
- REMOVE EXISTING LANDSCAPING PER LANDSCAPING PLAN
- REMOVE EXISTING LIGHT & POLE
- DEMOLISH EXISTING FOR SALE SIGN
- RELOCATE EXISTING LIGHT POLE. SEE SHEET C3.0.

#### PROTECTION KEY NOTES

- PROTECT IN PLACE EXISTING CURB / CURB AND GUTTER
- PROTECT IN PLACE EXISTING PAVEMENT
- PROTECT IN PLACE EXISTING LIGHT & POLE
- PROTECT IN PLACE EXISTING TREE
- PROTECT IN PLACE EXISTING TELECOMMUNICATION LINE AND BOX
- PROTECT IN PLACE EXISTING WATER LINE
- PROTECT IN PLACE EXISTING SEWER LINE AND MANHOLE
- PROTECT IN PLACE EXISTING STORM DRAIN LINE, MANHOLE, AND DRAIN INLET
- PROTECT IN PLACE EXISTING ELECTRICAL LINE AND BOX
- PROTECT IN PLACE EXISTING LANDSCAPING PER LANDSCAPING PLANS
- PROTECT IN PLACE EXISTING WALL AND FOOTING
- PROTECT IN PLACE EXISTING UNDERGROUND UTILITIES AND DEMOLISH STUB-OUTS FOR ELECTRICAL CONNECTION

#### DEMOLITION LEGEND

PROPERTY LINE	
OVERALL LIMIT OF WORK	
SAWCUT LINE	
DEMOLISH CONCRETE	
DEMOLISH ASPHALT	
TREE PROTECTION FENCING	
DEMOLISH UTILITY	
NOTE: LIMITS OF DEMOLITION ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY LIMITS PRIOR TO BEGINNING OF CONSTRUCTION	

SCALE  
1 INCH = 20 FEET  
20 0 20 40



**kpff**

1101 Creekside Ridge Dr, Suite 150  
Roseville, CA 95678  
O:916.772.7688  
F:916.772.7699  
[www.kpff.com](http://www.kpff.com)

Engineer's Stamp

PRELIMINARY  
NOT FOR  
CONSTRUCTION

Project

PRELIMINARY PLANS FOR  
BYERS GYMNASIACS  
1110 SUNSET BLVD, LOT 16  
ROCKLIN, CA

Sheet Title

DEMOLITION  
PLAN

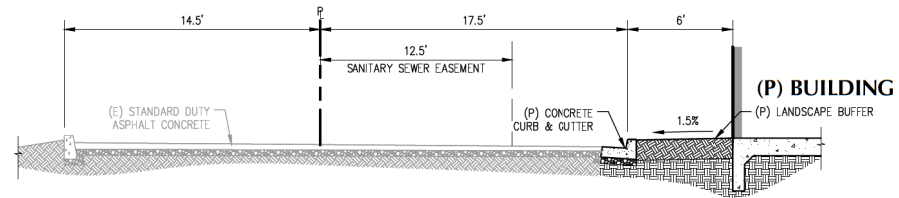
SUBMITTALS	Date	Description	Approved	NO.	DATE
	02/10/2023	CONDITIONAL USE PERMIT			02/10/2023
					AR
					SL
					RC
					2200-205
					Drawing No.

C2.0

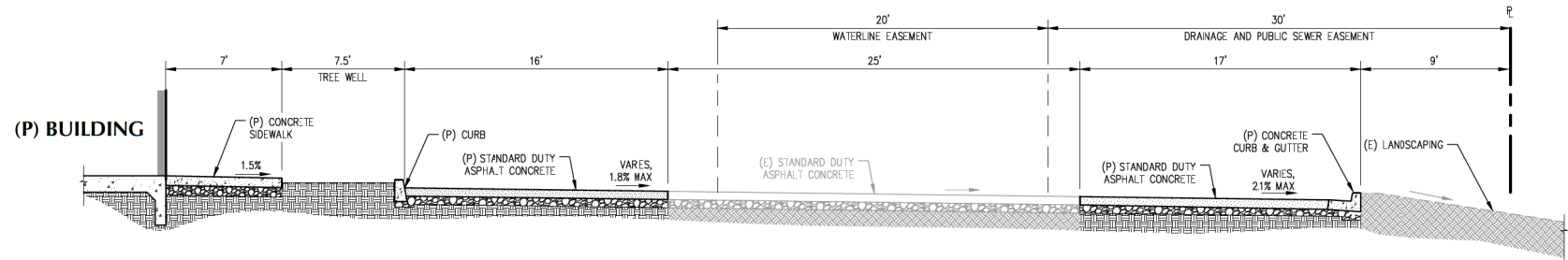




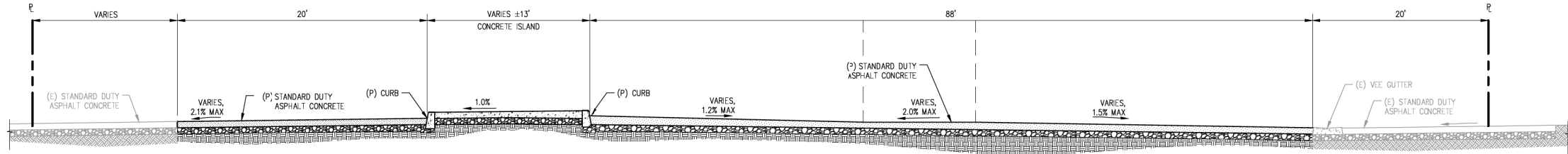
File: C3.1 Sections.dwg TAB:C3.1  
Plotted: 2/14/23 at 11:31 am By: Amber Rose  
XREFs: 2200-205 xtb



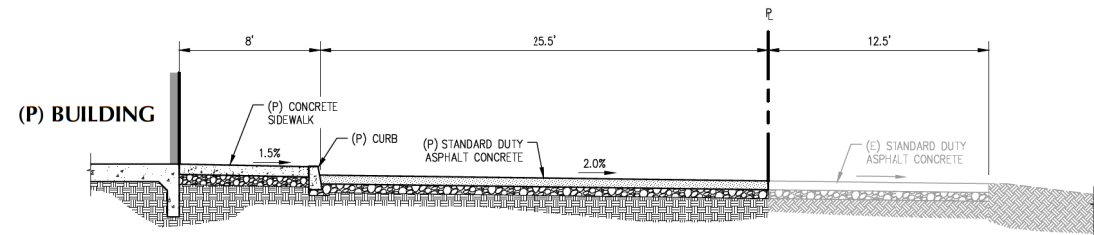
1 NORTHWEST SECTION  
SCALE: NTS



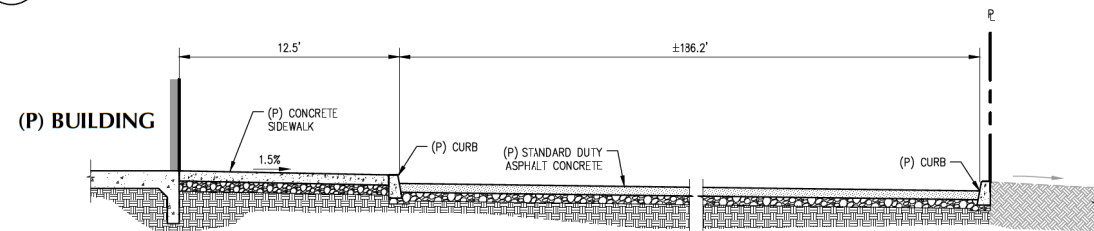
2 SOUTHWEST SECTION  
SCALE: NTS



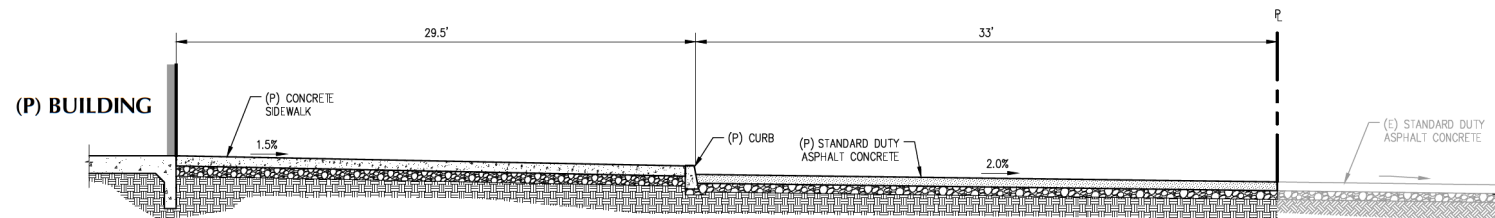
3 NORTHEAST SECTION  
SCALE: NTS



4 SOUTHEAST SECTION  
SCALE: NTS



5 EAST SECTION  
SCALE: NTS



6 NORTH SECTION  
SCALE: NTS

kpff

1101 Creekside Ridge Dr, Suite 150  
Roseville, CA 95678  
O:916.772.7688  
F:916.772.7699  
www.kpff.com

Engineer's Stamp

PRELIMINARY  
NOT FOR  
CONSTRUCTION

Project

PRELIMINARY PLANS FOR  
BYERS GYMNASICS  
1110 SUNSET BLVD, LOT 16  
ROCKLIN, CA

Sheet Title

SECTIONS

SUBMITTALS	NO.	Date	Description	Approved
		02/10/2023	CONDITIONAL USE PERMIT	

DATE 02/10/2023

Designed AR

Drawn SL

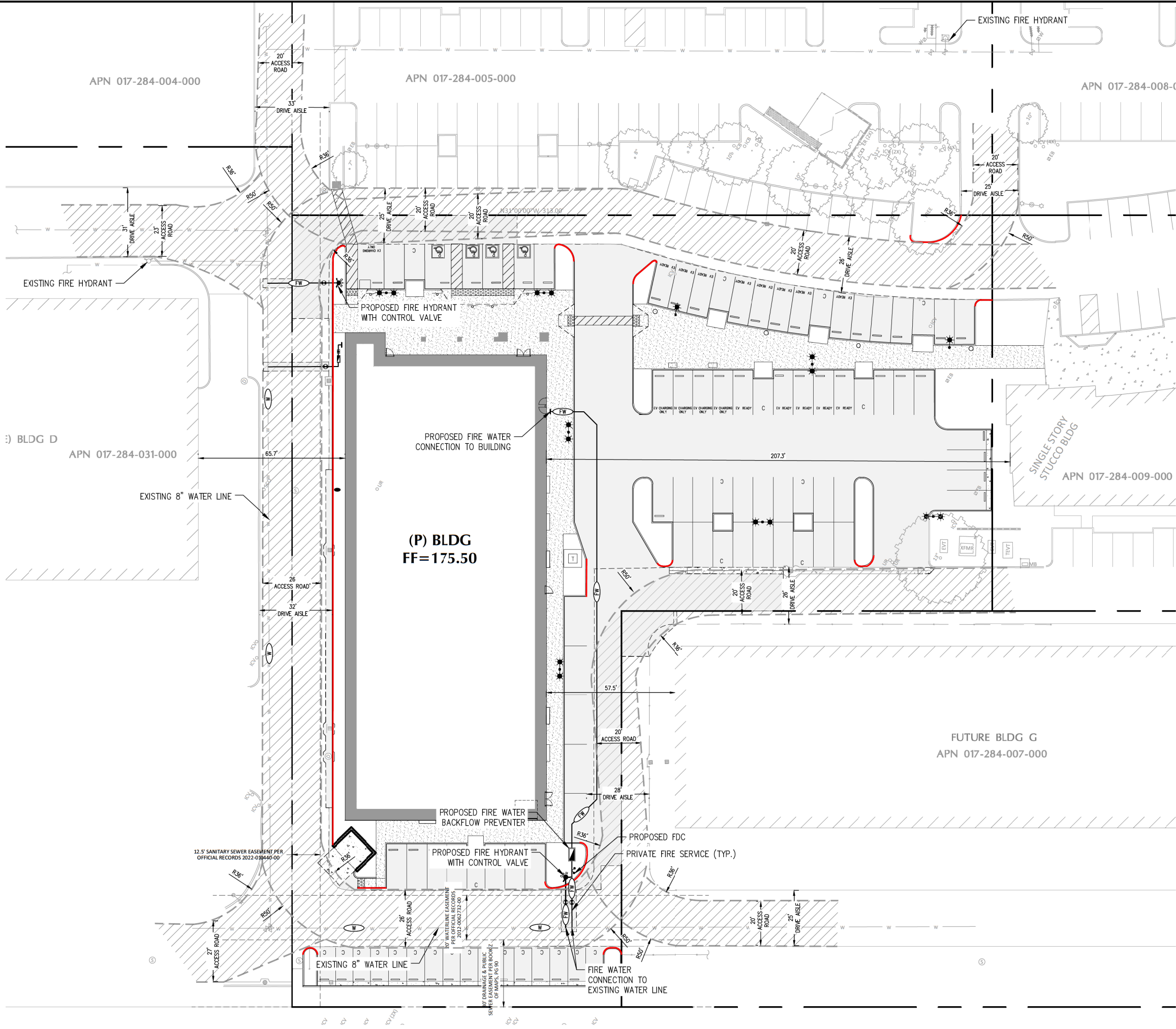
Checked RC

JOB NO. 2200-205

Drawing No.

C3.1





FIRE LANE LEGEND

FIRE LANE CURB STRIPING  
FIRE ACCESS ROUTE

FIRE ACCESS ROUTE

NOTES

1. THE INSTALLATION OF PERIMETER FENCING, GATES, OR BARRIERS THAT OBSTRUCT FIRE APPARATUS ACCESS ROADS SHALL REQUIRE A SEPARATE PLAN SUBMITTAL, REVIEW, AND APPROVAL BY THE FIRE DISTRICT PRIOR TO INSTALLATION.
2. UNDERGROUND FIRE SERVICE PLANS SHALL BE A SEPARATE SUBMITTAL. PLANS SHALL BE PROVIDED BY THE UNDERGROUND FIRE SERVICE INSTALLING CONTRACTOR PRIOR TO INSTALLATION. THIS SUBMITTAL SHALL INCLUDE THE TRENCH DETAIL, THE MANUFACTURER'S SPECIFICATION SHEETS FOR ALL PIPE, FITTINGS, AND APPURTENANCES AS WELL AS THE APPROPRIATE PLAN REVIEW FEE.
3. PAINT TOP AND SIDE OF CURB RED AND APPLY 4" WHITE "NO PARKING FIRE LANE" STENCIL ALONG SIDE OF CURB AT MAXIMUM INTERVAL OF 25' SPACING.
4. FIRE ACCESS LANE SHALL BE A MINIMUM OF 26 FEET CLEAR WIDTH WHEN FIRE HYDRANT IS LOCATED ALONG ACCESS LANE AND MINIMUM 20 FEET CLEAR WIDTH OTHERWISE. CLEAR HEIGHT SHALL BE A MINIMUM 13'-1/2" FEET.
5. SEPARATE PLANS ARE REQUIRED FOR GATE AND PERIMETER FENCING TO METRO FIRE FOR REVIEW AND APPROVE.
6. ONSITE FIRE HYDRANTS WILL BE PRIVATELY MAINTAINED

SCALE  
1 INCH = 20 FEET



kpff

1101 Creekside Ridge Dr, Suite 150  
Roseville, CA 95678  
O:916.772.7688  
F:916.772.7699  
www.kpff.com

Engineer's Stamp

PRELIMINARY  
NOT FOR  
CONSTRUCTION

Project

PRELIMINARY PLANS FOR  
BYERS GYMNASICS  
1110 SUNSET BLVD, LOT 16  
ROCKLIN, CA

Sheet Title

FIRE ACCESS  
PLAN

SUBMITTALS	NO.	Date	Description	Approved
		02/10/2023	CONDITIONAL USE PERMIT	

DATE 02/10/2023

Designed AR

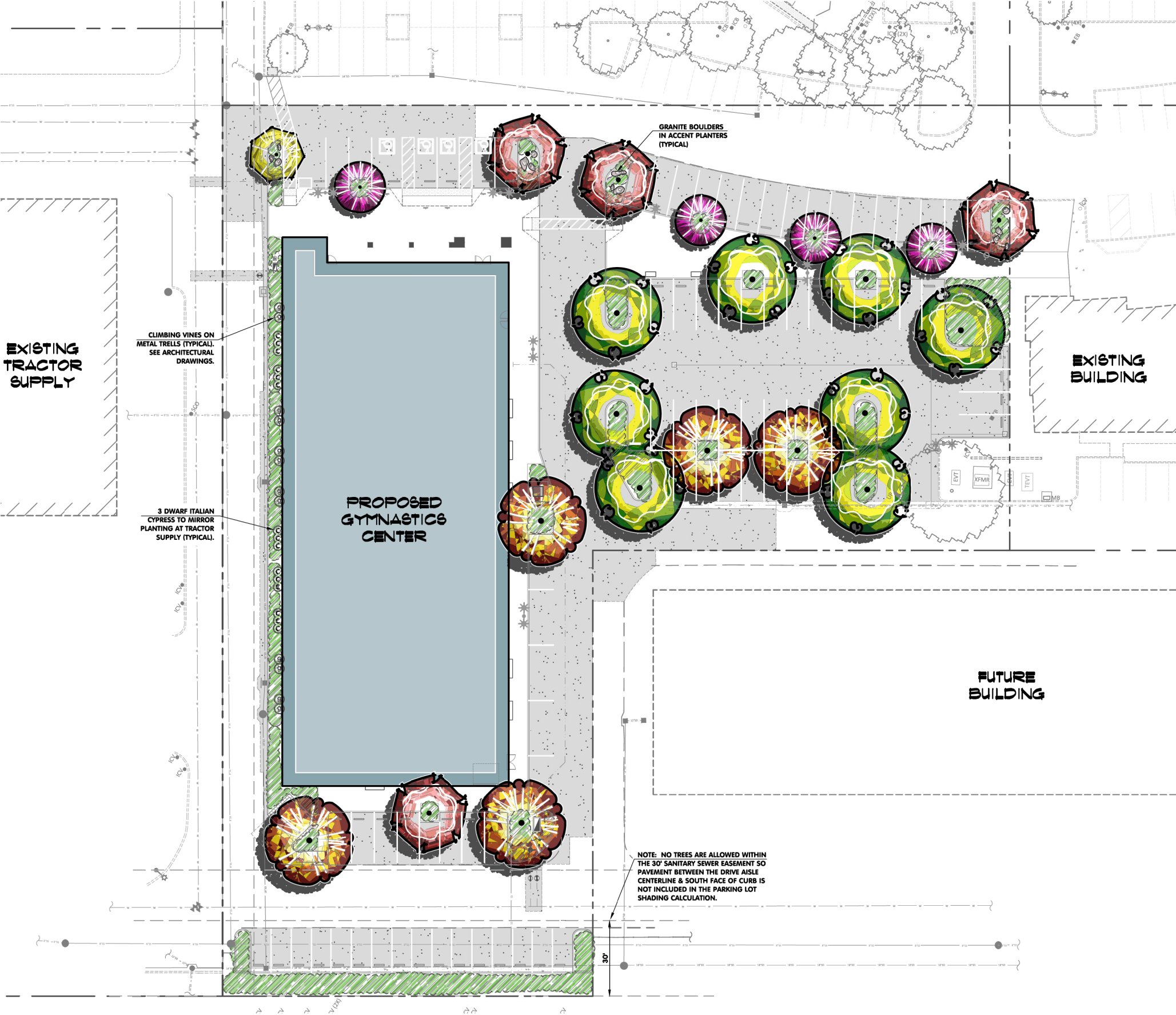
Drawn SL

Checked RC

JOB NO. 2200-205

Drawing No.

C4.0



PARKING LOT  
SHADE CALCULATIONS:

TREE TYPE	AREA/ FULL	QUANTITY				SUBTOTAL	TOTAL
		FULL	3/4	1/2	1/4		
20' DIA. TREES							
LAGERSTROEMIA INDICA	314 S.F.	0	0	1	0	157 S.F.	
PRUNUS CERASIFERA	314 S.F.	0	0	4	0	628 S.F.	
20' TOTAL:							785 S.F.
30' DIA. TREES							
PYRUS CALLERYANA	706 S.F.	0	0	4	0	1412 S.F.	
30' TOTAL:							1412 S.F.
35' DIA. TREES							
PISTACHIA CHINENSIS	962 S.F.	2	1	2	0	3608 S.F.	
PLATANUS ACERIFOLIA	962 S.F.	2	1	5	0	5051 S.F.	
35' TOTAL:							8658 S.F.
PARKING AREA:							21485 S.F.
SHADE REQUIRED: 50%							10742 S.F.
SHADE PROVIDED: 51%							10855 S.F.

PLANT LIST & LEGEND

SYMBOL	BOTANIC NAME/COMMON NAME	SIZE	QUANTITY	W.U.C.O.L.S. IV WATER USE	MATURE HT. x WD.
	LAGERSTROEMIA X. 'MUSKOGEE'/CRAPE MYRTLE (STANDARD)	15 GALLON	1	LOW	25'x20'
	PISTACHIA CHINENSIS/CHINESE PISTACHE	15 GALLON	5	LOW	35'x40'
	PLATANUS A. 'ARWOOD'/LONDON PLANETREE	15 GALLON	8	MODERATE	45'x60'
	PRUNUS C. 'KRAUTER VESUVIUS'/PURPLE PLUM	15 GALLON	4	MODERATE	20'x20'
	PYRUS CALLERYANA 'ARISTOCRAT'/FLOWERING PEAR	15 GALLON	4	MODERATE	50'x30'
C	CUPRESSUS SEMPERVIRENS 'TINY TOWERS'/DWARF ITALIAN CYPRESS	15 GALLON	15	LOW	10'x3'
G	GELESEMUM SEMPERVIRENS/CAROLINA JESSAMINE (VINE TIED TO TRELLIS)	5 GALLON	12	LOW	15'x10'
CANDIDATE PLANT PALETTE:					
SHRUBS & LARGE PERENNIALS					
	CHONDROPETALUM TECTORUM/DWF. CAPE RUSH	5 GALLON		LOW	3'x5'
	CISTUS PURPUREUS/PURPLE ROCKROSE	5 GALLON		LOW	4'x8'
	CALLISTEMON V. 'LITTLE JOHN'/DWF. BOTTLE BRUSH	5 GALLON		LOW	3'x7'
	COTONEASTER D. 'LOWFAST'/PROSTRATE COTONEASTER	5 GALLON		LOW	1'x8'
	DIETES VEGETA/FORTNIGHT LILY (ACCENT)	5 GALLON		LOW	3'x5'
	HETEROMELES ARBUTIFOLIA/TOYON (SCREEN)	5 GALLON		LOW	15'x15'
	LIGUSTRUM TEXANUM/TEXAS PRIVET (SCREEN)	5 GALLON		LOW	6'x3' (HEDGED)
GRASSES & GROUNDCOVERS					
	BACCHARIS PILULARIS 'PIGEON POINT'/DWF. COYOTE BRUSH	1 GALLON		LOW	2'x6'
	CALAMAGROSTIS X. 'STRICTA'/FEATHER REED GRASS	1 GALLON		LOW	3'x3'
	CAREX DIVULSA/EURASIAN GRAY SEDGE	1 GALLON		LOW	1'x3'
	ROSA X. 'MEIJOCOS'/PINK DRIFT ROSE (ACCENT)	1 GALLON		LOW	2'x6'
	ROSMARINUS O. 'COLLINGWOOD INGRAM'/ROSEMARY	1 GALLON		LOW	2'x6'
	TEUCRIUM CHAMAEDRY'S/DWARF GERMANDER	1 GALLON		LOW	1'x3'

Byers Gymnastics Center  
1110 Sunset Boulevard, Rocklin, California

Preliminary Landscape Plan  
SCALE: 1"=20'-0"



Garth Ruffner Landscape Architect (916) 797-2576  
4120 Douglas Blvd., Suite 306, #201, Roseville, CA 95746-5936  
GarthRuffner.com California R.L.A. #2838

Landscape Plan  
Project: BYERS GYMNASICS CENTER  
Job No. 42075 Date: FEB. 10, 2023  
Scale: 1"=20'-0"

LA



**KAD LED**  
LED Area Luminaire

**Specifications**

Size:	1.8' x 1.8'
Length:	17.5" (17.5")
Width:	17.5" (17.5")
Height:	7.5" (7.5")
Weight (lbs):	36 lbs (16.3 kg)

**Ordering Information**

EXAMPLE: KAD LED 40C 1000 40K RS MVOLT SP004 D08X0

LED	Color	Temp	Beam	Qty	Notes	Notes
LED	40C	1000	40K	1000	1000	1000

**Accessories**

Accessories	Notes
SP004	SP004

**SOLID STATE AREA LIGHTING**  
DSD SERIES-LED

**PROJECT NAME:** BYERS GYMNASIUM CENTER

**FEATURE TYPE:** PD, P2

**FEATURES**

- Capable Luminaire
- Capable Luminaire
- Capable Luminaire

**LED Driver**

**Ordering Information**

EXAMPLE: KAD LED 40C 1000 40K RS MVOLT SP004 D08X0

LED	Color	Temp	Beam	Qty	Notes	Notes
LED	40C	1000	40K	1000	1000	1000

**Accessories**

Accessories	Notes
SP004	SP004

**OW1721 SOUTHRIDGE**  
14" Outdoor Source

**Project:** WA

**Location:**

**Dimensions**

**Features**

**Ordering Information**

EXAMPLE: KBR8 LED 16C 700 40K SYM MVOLT D08X0

LED	Color	Temp	Beam	Qty	Notes	Notes
LED	16C	700	40K	1000	1000	1000

**Accessories**

Accessories	Notes
SP004	SP004

**KBR8 LED**  
LED Specification Bollard

**Project:** B

**Location:**

**Dimensions**

**Features**

**Ordering Information**

EXAMPLE: KBR8 LED 16C 700 40K SYM MVOLT D08X0

LED	Color	Temp	Beam	Qty	Notes	Notes
LED	16C	700	40K	1000	1000	1000

**Accessories**

Accessories	Notes
SP004	SP004

**Luminaire Definition(s)**

**LIGHT FIXTURE TYPE: PD2**  
Filename: DSD22-WPG-V-36LED-525mA-NW.ies  
[MANUFAC] U.S. ARCHITECTURAL LIGHTING  
[LUMCAT] DSD22-WPG-V-36LED-525mA-NW  
Photometry  
Arrangement Luminaire Lumens: 9374  
Luminaire Lumens: 4687  
Luminaire Watts: 57.6  
Arrangement Watts: 115.2  
Luminaire Efficiency (%): N.A.  
S/P Ratio: 1.00  
Total Light Loss Factor: 1.000  
Metrics  
Road Classification: Type VS, Very Short, N.A. (deprecated)  
LER: 81  
Upward Waste Light Ratio: 0.04  
Max UGR: 25.2  
BUG Rating: B2-U3-G3

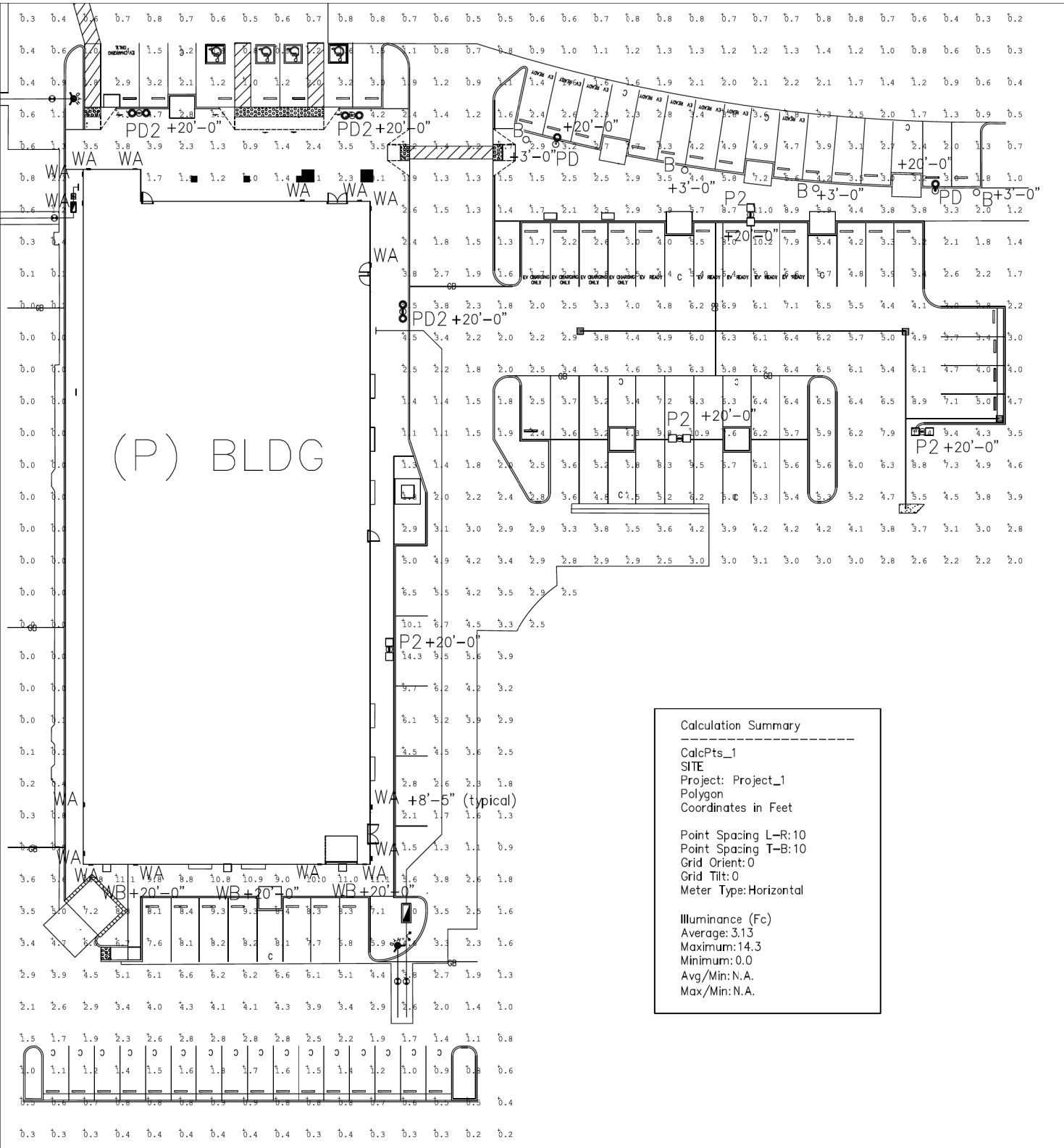
**LIGHT FIXTURE TYPE: PD**  
Filename: DSD22-WPG-V-36LED-525mA-NW.ies  
[MANUFAC] U.S. ARCHITECTURAL LIGHTING  
[LUMCAT] DSD22-WPG-V-36LED-525mA-NW  
Photometry  
Arrangement Luminaire Lumens: 4687  
Luminaire Lumens: 4687  
Luminaire Watts: 57.6  
Arrangement Watts: 57.6  
Luminaire Efficiency (%): N.A.  
S/P Ratio: 1.00  
Total Light Loss Factor: 1.000  
Metrics  
Road Classification: Type VS, Very Short, N.A. (deprecated)  
LER: 81  
Upward Waste Light Ratio: 0.04  
Max UGR: 25.2  
BUG Rating: B2-U3-G3

**LIGHT FIXTURE TYPE: B**  
Filename: KBR8 LED 16C 530 40K SYM MVOLT.ies  
[MANUFAC] Lithonia Lighting  
[LUMCAT] KBR8 LED 16C 530 40K SYM MVOLT  
Photometry  
Arrangement Luminaire Lumens: 1597  
Luminaire Lumens: 1597  
Luminaire Watts: 28  
Arrangement Watts: 28  
Luminaire Efficiency (%): N.A.  
S/P Ratio: 1.00  
Total Light Loss Factor: 1.000  
Metrics  
Road Classification: Type VS, Short, N.A. (deprecated)  
LER: 57  
Upward Waste Light Ratio: 0.00  
Max UGR: N.A.  
BUG Rating: B1-U0-G1

**LIGHT FIXTURE TYPE: P2**  
Filename: KAD\_LED\_60C\_1000\_40K\_R4\_MVOLT.ies  
[MANUFAC] Lithonia Lighting  
[LUMCAT] KAD LED 60C 1000 40K R4 MVOLT  
Photometry  
Arrangement Luminaire Lumens: 41384  
Luminaire Lumens: 20692  
Luminaire Watts: 216  
Arrangement Watts: 432  
Luminaire Efficiency (%): N.A.  
S/P Ratio: 1.00  
Total Light Loss Factor: 1.000  
Metrics  
Road Classification: Type IV, Medium, N.A. (deprecated)  
LER: 96  
Upward Waste Light Ratio: 0.00  
Max UGR: 43.9  
BUG Rating: B3-U0-G4

**LIGHT FIXTURE TYPE: WA**  
Filename: OW1725-L35K-H.ies  
[MANUFAC] VISA LIGHTING  
[LUMCAT] OW1725  
Photometry  
Arrangement Luminaire Lumens: 2144  
Luminaire Lumens: 2144  
Luminaire Watts: 50.1  
Arrangement Watts: 50.1  
Luminaire Efficiency (%): N.A.  
S/P Ratio: 1.00  
Total Light Loss Factor: 1.000  
Metrics  
Road Classification: N/A, N/A, N.A. (deprecated)  
LER: 43  
Upward Waste Light Ratio: 0.5  
Max UGR: 22.1  
BUG Rating: B1-U4-G2

**LIGHT FIXTURE TYPE: WB**  
Filename: KAD\_LED\_60C\_1000\_40K\_R4\_MVOLT.ies  
[MANUFAC] Lithonia Lighting  
[LUMCAT] KAD LED 60C 1000 40K R4 MVOLT  
Photometry  
Arrangement Luminaire Lumens: 20692  
Luminaire Lumens: 20692  
Luminaire Watts: 216  
Arrangement Watts: 216  
Luminaire Efficiency (%): N.A.  
S/P Ratio: 1.00  
Total Light Loss Factor: 1.000  
Metrics  
Road Classification: Type IV, Medium, N.A. (deprecated)  
LER: 96  
Upward Waste Light Ratio: 0.00  
Max UGR: 43.9  
BUG Rating: B3-U0-G4



**Calculation Summary**

CalcPts\_1  
SITE  
Project: Project\_1  
Polygon  
Coordinates in Feet

Point Spacing L-R: 10  
Point Spacing T-B: 10  
Grid Orient: 0  
Grid Tilt: 0  
Meter Type: Horizontal

Illuminance (Fc)  
Average: 3.13  
Maximum: 14.3  
Minimum: 0.0  
Avg/Min: N.A.  
Max/Min: N.A.

**Bosley Electric**  
COMPANY

COMMERCIAL AND INDUSTRIAL SERVICE AND CONTRACTING

935 Arden Way, Sacramento, CA 95815 (916) 568-5180  
FAX (916) 568-5183  
CA License No. 379245  
NV License No. 0038979

**CLASSIFICATION**  
B C-10  
Tim Bosley  
LICENSE NO.  
379245  
STATE OF CALIFORNIA

THESE PLANS HAVE BEEN PREPARED BY BOSLEY ELECTRIC FOR THEIR EXCLUSIVE USE IN ACCORDANCE WITH SECTION 472.3 OF THE PROFESSIONAL ENGINEERS ACT AND ARE NOT TO BE USED FOR THE PURPOSE OF BIDDING OR INSTALLATION BY ANY OTHER CONTRACTOR.

**Project:** BYERS GYMNASIUM CENTER  
ROCKLIN CORPORATE CENTER

**No. Revision**

**Date**

**Client:**

**Sheet Title:** SITE PHOTOMETRIC

**Date:** 2-10-2023  
**Project No.:** 8907-23

**Drawn By:** KC  
**Sheet No.:** E1.1