



## New Project Information

The City of Rocklin is processing the below referenced application(s) for project approval. The request is now being reviewed for compliance with the requirements and regulations of relevant City, State, and Federal agencies, and Utility providers. Once any issues have been resolved a hearing date will be set and public notice provided to alert neighbors and interested parties of the hearing date, availability of project information, the opportunity to comment on the project.

**Application Received:** May 7, 2026

**Project Name and Requested Approvals:**

3934 Rawhide Road

Design Review (DR2026-0001)

- Design Review

**Staff Description of Project:**

The project is a request for a Design Review for the approval of grading, building massing, and tree removal associated with the construction of a new single-family dwelling on a 0.87-acre undeveloped parcel located at 3934 Rawhide Road.

**Location:**

The property is located at 3934 Rawhide Road, Rocklin CA 95677 (APN: 030-210-069).

**Land Use Designation(s)/Zoning:**

The property is designated Low Density Residential (LDR) in the Rocklin General Plan and is zoned Residential Single Family, 20,000-square-foot minimum lots (RE-20).

This project does / XX does not require modification or change of the land use designations and regulations currently applicable to the project site.

**Compliance with the California Environmental Quality Act:**

A preliminary review of this project pursuant to the California Environmental Quality Act (CEQA) has tentatively identified a Categorical Exemption as the appropriate level of environmental review for this project.

**Applicant & Property Owner:**

The applicant is Suelamita Hryshkevych with Global Arch Construction and the property owner is Greg Sears.

**Attached Information:**

For additional detail, please visit the following link: <https://www.rocklin.ca.us/current-applications>

# NEW RESIDENCE

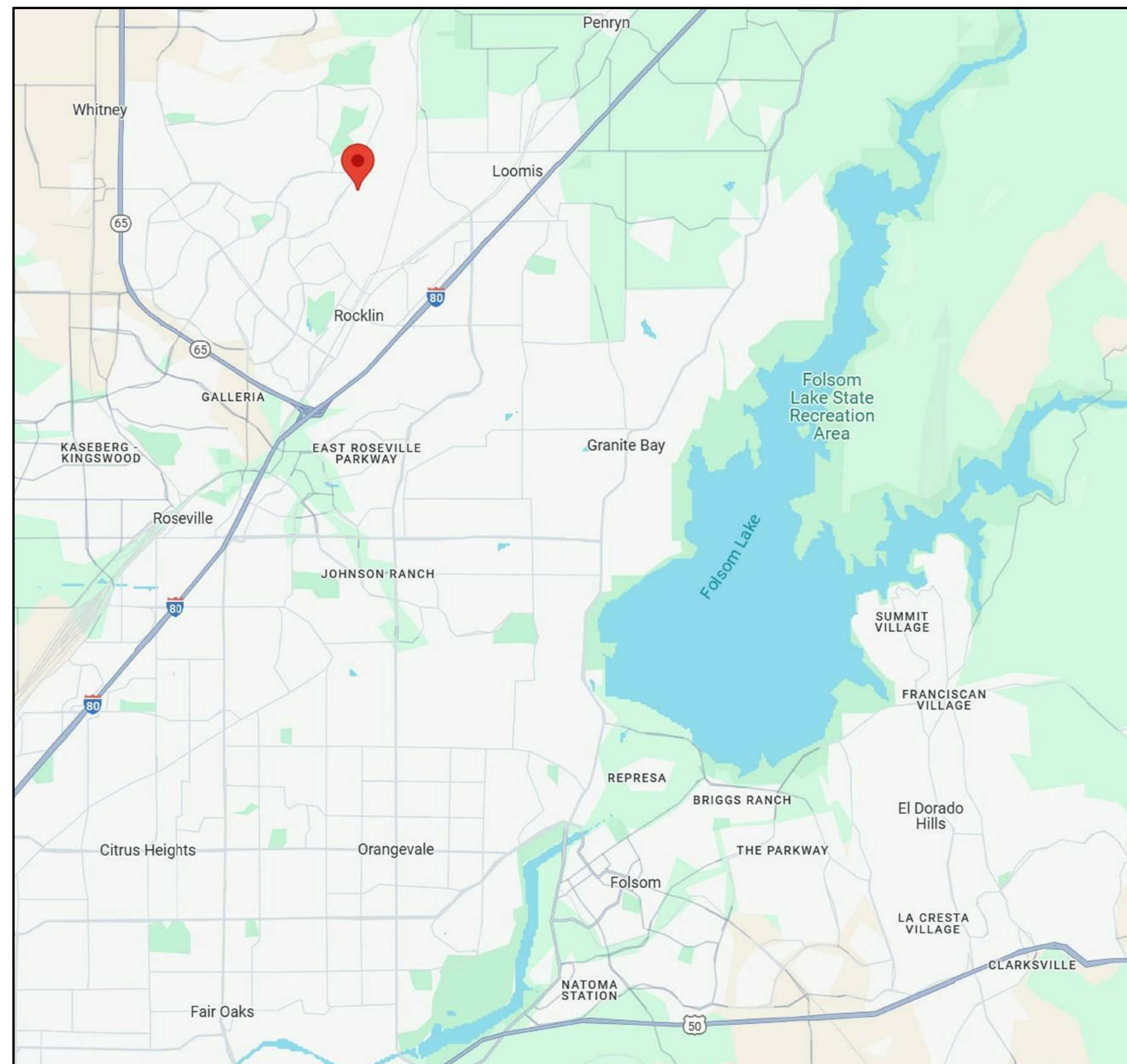
3934 RAWHIDE RD.  
ROCKLIN, CA 95677



GLOBAL ARCH INC.  
800 ATLANTIC STREET  
ROSEVILLE, CA 95678  
TEL: (916)205-2425

COVER SHEET  
NEW RESIDENCE  
3934 RAWHIDE RD.  
ROCKLIN, CA 95677

## VICINITY MAP



## SCOPE OF WORK

CONSTRUCT NEW 3698 SQUARE FOOT CONDITIONED RESIDENCE WITH 1251 SQUARE FOOT UNCONDITIONED GARAGE, AND STORAGE SPACE.

## SQUARE FOOTAGE SUMMARY

CONDITIONED LOWER FLOOR	2391 SF
CONDITIONED UPPER FLOOR	1318 SF
	3708 SF
UNCONDITIONED GARAGE	1251 SF
UNCONDITIONED ATTIC STORAGE	1094 SF
UNCONDITIONED MECHANICAL STORAGE	30 SF
	2375 SF
COVERED UNCONDITIONED REAR LOWER PATIO	265 SF
COVERED UNCONDITIONED FRONT LOWER PATIO	133 SF
COVERED UNCONDITIONED UPPER FRONT DECK	73 SF
UNCOVERED UNCONDITIONED UPPER REAR DECK PATIO	57 SF
	529 SF

## SHEET INDEX

A1.0	COVER SHEET
A2.0	LEVEL 1 FLOOR PLAN
A3.0	LEVEL 2 FLOOR PLAN
A4.0	ROOF PLAN
A5.0	ELEVATIONS
A6.0	ELEVATIONS
A7.0	ARCHITECTURAL SITE PLAN
A8.0	ARCHITECTURAL NOTES
C1	PRELIMINARY GRADING PLAN
C2	PRELIMINARY DRIVEWAY PLAN AND PROFILE
C3	PRELIMINARY CROSS SECTIONS
P-1	PERSPECTIVES

## PROJECT INFORMATION

CONSTRUCTION TYPE:	V-B	2022 CALIFORNIA RESIDENTIAL CODE
OCCUPANCY GROUP:	R-3	2022 CALIFORNIA PLUMBING CODE
ZONING:	RE-20	2022 CALIFORNIA MECHANICAL CODE
SPRINKLERED:	YES	2022 CALIFORNIA ELECTRICAL CODE
STORIES ABOVE GRADE:	2	2022 CALIFORNIA BUILDING CODE
ASSESSORS PARCEL:	030-210-069-000	2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS
JURISDICTION:	CITY OF ROCKLIN	2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
LOT AREA:	.85 ACRES	2022 CALIFORNIA FIRE CODE & NFPA 13D
OWNER:	GREG SEARS	2022 FIRE SAFE VEGETATION & DEBRIS MANAGEMENT
EMAIL:	gtsears@msn.com	2022 WILDLAND URBAN INTERFACE (WUI)
PHONE:	916-541-3662	

## NOTES

- THE CONTRACTOR SHALL INVESTIGATE, VERIFY & BE RESPONSIBLE FOR ALL CONDITIONS & DIMENSIONS OF THE PROJECT & SHALL NOTIFY DESIGNER ABOUT CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH WORK. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO ORDERING OR FABRICATING MATERIALS.
- THE DWELLING AND ATTACHED GARAGE IS REQUIRED TO HAVE RESIDENTIAL FIRE SPRINKLERS INSTALLED IN COMPLIANCE WITH THE 2022 EDITION OF NFPA 13D AS AMENDED BY CALIFORNIA FOLLOWING REVIEW OF THE PROPOSED PROJECT. THE 3934 RAWHIDE ROAD NEW SINGLE FAMILY RESIDENCE PROJECT INCLUDES OVER 5,000 SQUARE FEET OF NEW IMPERVIOUS SURFACES AND IS SUBJECT TO LOW IMPACT DEVELOPMENT AND POST-CONSTRUCTION REQUIREMENTS. A STORMWATER CONTROL PLAN, STORMWATER FACILITIES OPERATION AND MAINTENANCE PLAN, AND STORMWATER MANAGEMENT COMPLIANCE EASEMENT AGREEMENT WILL BE REQUIRED.

## REVISIONS

NO.	DATE

DRAWN BY: S.S. *Salt*  
REV. BY: AC *Deany*  
DATE: 08/18/2025

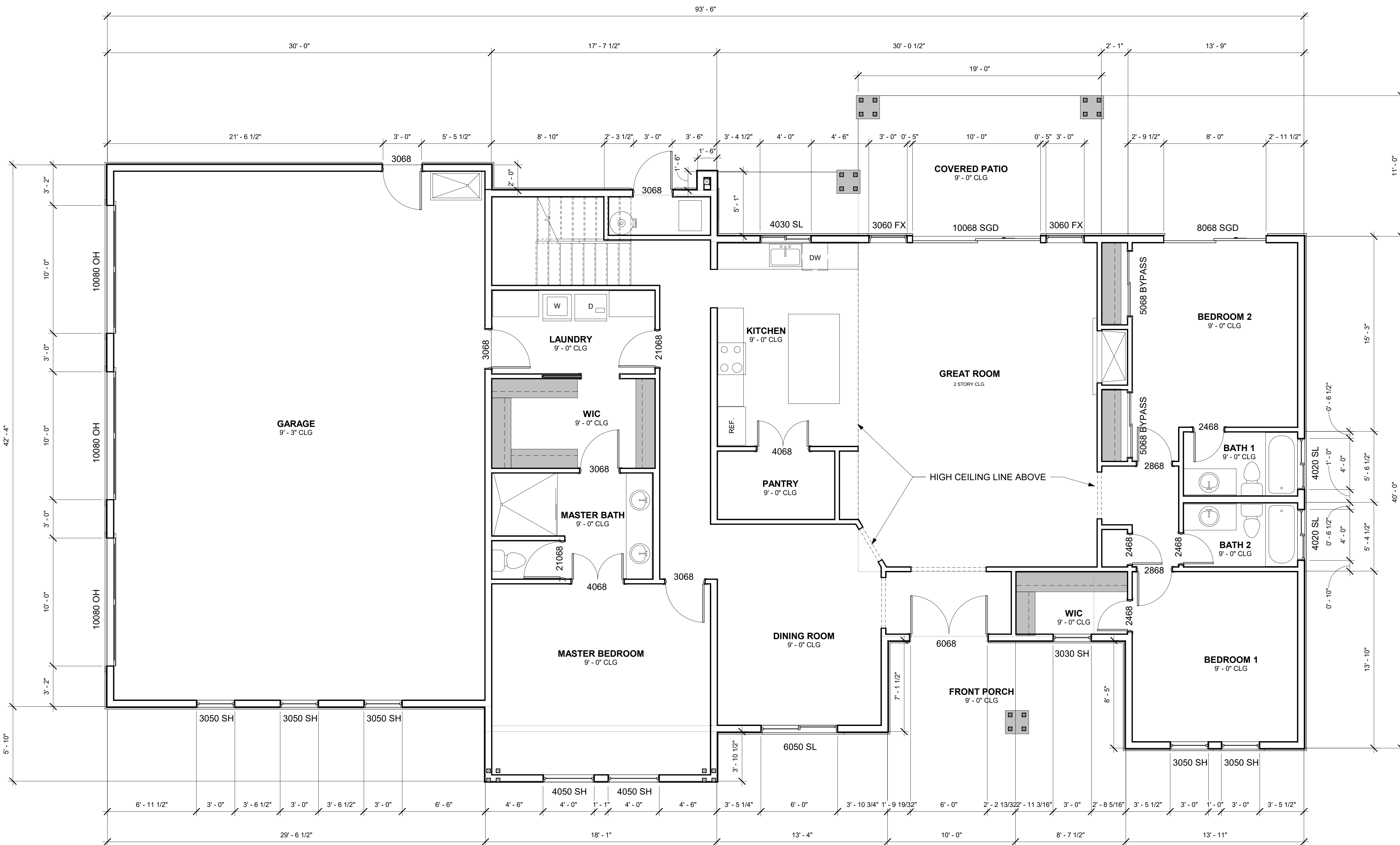
## SHEET #

A1.0



GLOBAL ARCH INC.  
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LEVEL 1 FLOOR PLAN  
NEW RESIDENCE  
3934 RAWHIDE RD.  
ROCKLIN, CA 95677



1 LEVEL 1 FLOOR PLAN  
1/4" = 1'-0"

REVISIONS

NO.	DATE

DRAWN BY: S.S.

REV. BY: AC

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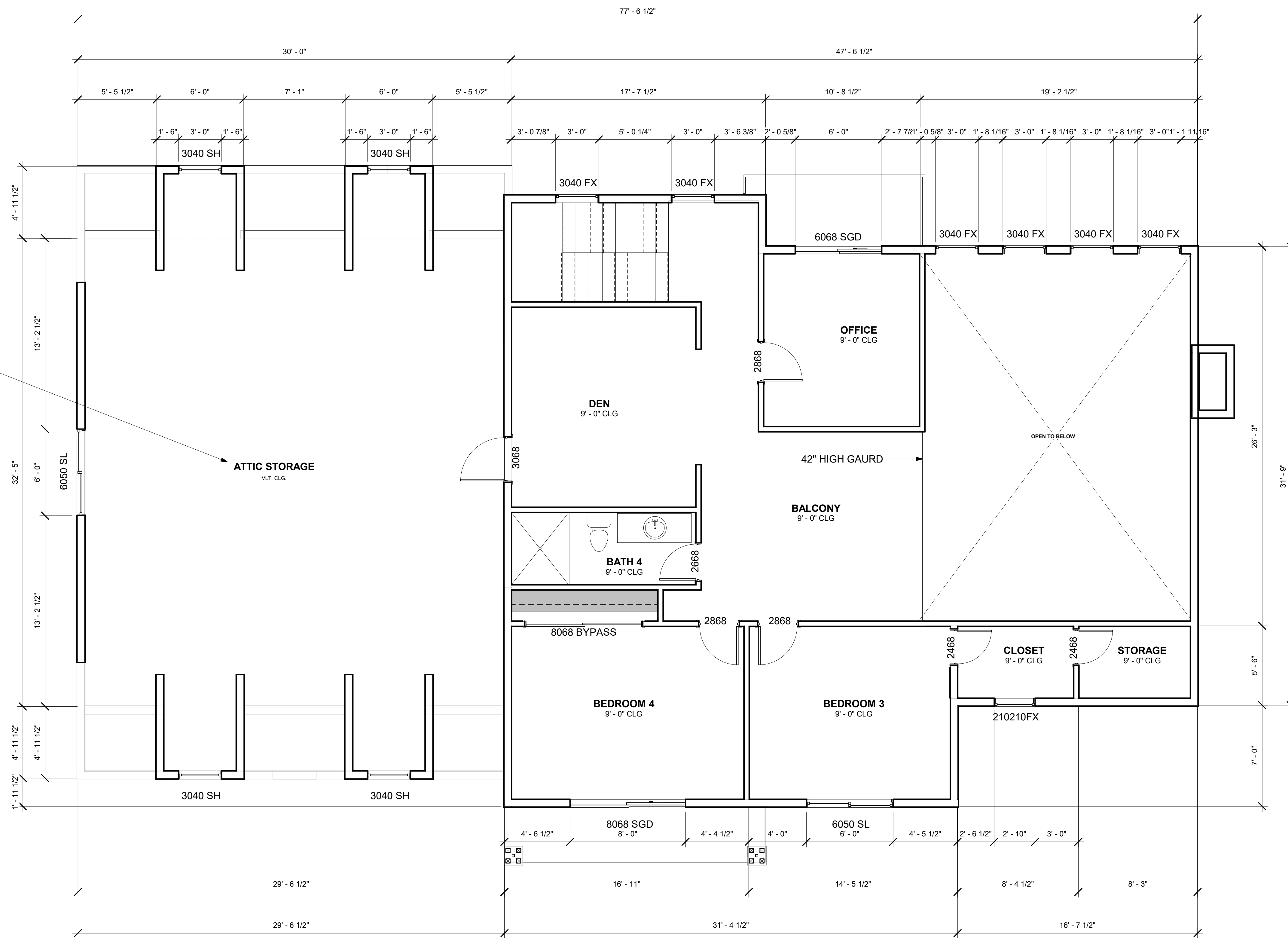
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A2.0



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LEVEL 2 FLOOR PLAN  
NEW RESIDENCE  
3934 RAWHIDE RD.  
ROCKLIN, CA 95677



ATTIC SPACE UTILIZED FOR STORAGE SHALL BE PROVIDED WITH SPRINKLER PROTECTION IN ACCORDANCE WITH NFPA 13D.

ATTIC STORAGE  
V.L.T. CLG.

① LEVEL 2 FLOOR PLAN  
1/4" = 1'-0"

REVISIONS

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REV. BY: AC  
*Ac*

DATE: 08/18/2025

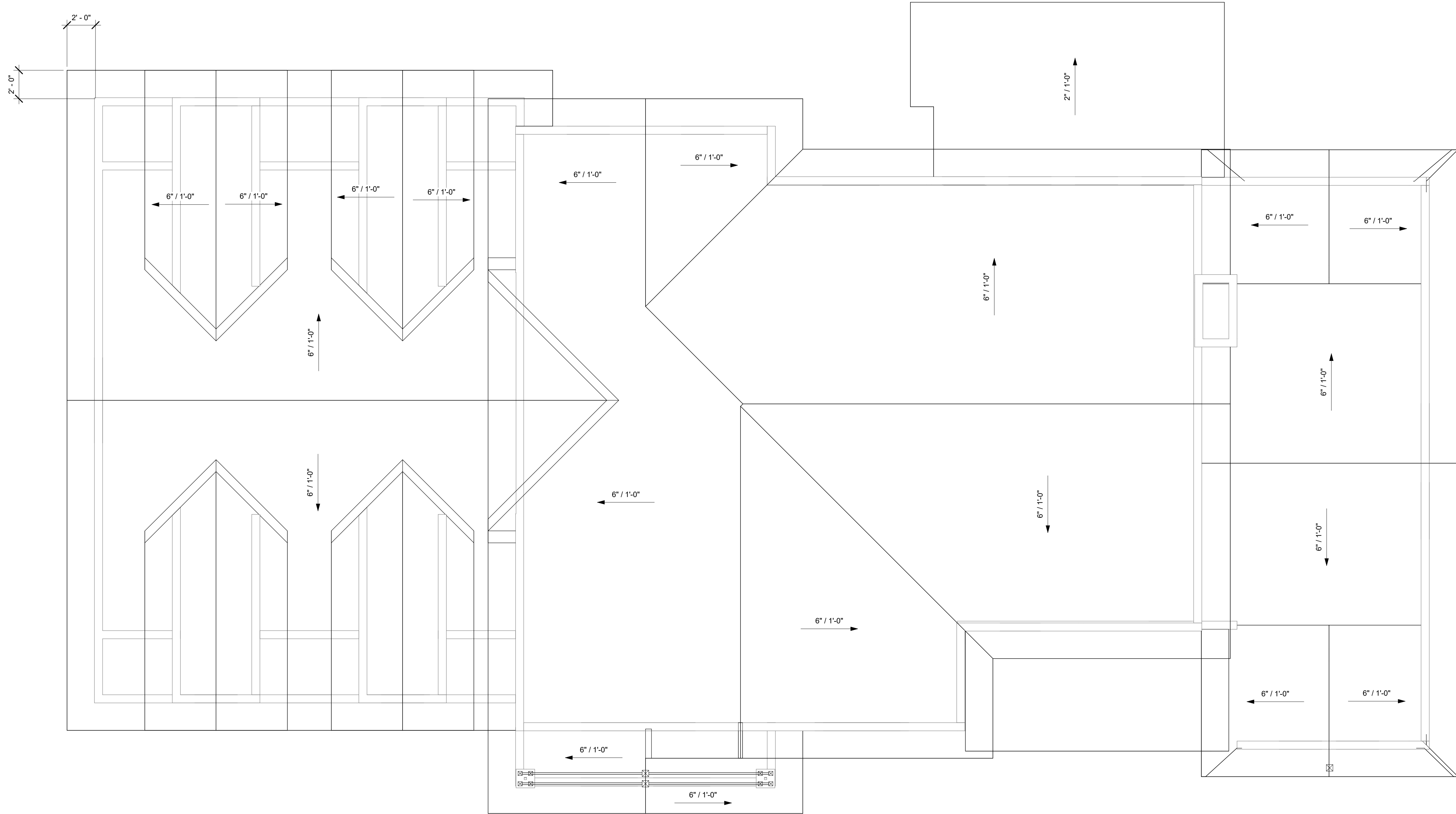
SHEET #

A3.0



GLOBAL ARCH INC.  
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ROOF PLAN  
 NEW RESIDENCE  
 3934 RAWHIDE RD.  
 ROCKLIN, CA 95677



① ROOF PLAN  
 1/4" = 1'-0"

REVISIONS

NO.	DATE

DRAWN BY: S.S.

*S.S.*

REV. BY: AC

*AC*

DATE: 08/18/2025

SHEET #

A4.0



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ELEVATIONS  
 NEW RESIDENCE  
 3934 RAWHIDE RD.  
 ROCKLIN, CA 95677



① LEFT ELEVATION  
 1/4" = 1'-0"



③ RIGHT ELEVATION  
 1/4" = 1'-0"

REVISIONS

NO.	DATE

DRAWN BY: S.S.

*S.S.*

REV. BY: AC

*AC*

DATE: 08/18/2025

SHEET #

A5.0



GLOBAL ARCH INC.  
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ELEVATIONS  
NEW RESIDENCE  
3934 RAWHIDE RD.  
ROCKLIN, CA 95677



CLASS "A" COMP SHINGLES.  
OWENS CORNING  
TRUDEFINITION DURATION -  
ONYX BLACK

BATT & BOARD HARDIE SIDING  
JAMES HARDIE IRON GREY

STONE VENEER:  
EL DORADO STONE  
CYPRESS RIDGE CATANIA

① FRONT ELEVATION  
1/4" = 1'-0"



CLASS "A" COMP SHINGLES.  
OWENS CORNING  
TRUDEFINITION DURATION -  
ONYX BLACK

BATT & BOARD HARDIE SIDING  
JAMES HARDIE IRON GREY

STONE VENEER:  
EL DORADO STONE  
CYPRESS RIDGE CATANIA

② REAR ELEVATION  
1/4" = 1'-0"

REVISIONS

NO.	DATE

DRAWN BY: S.S.

*S.S.*

REV. BY: AC

*AC*

DATE: 08/18/2025

SHEET #

A6.0

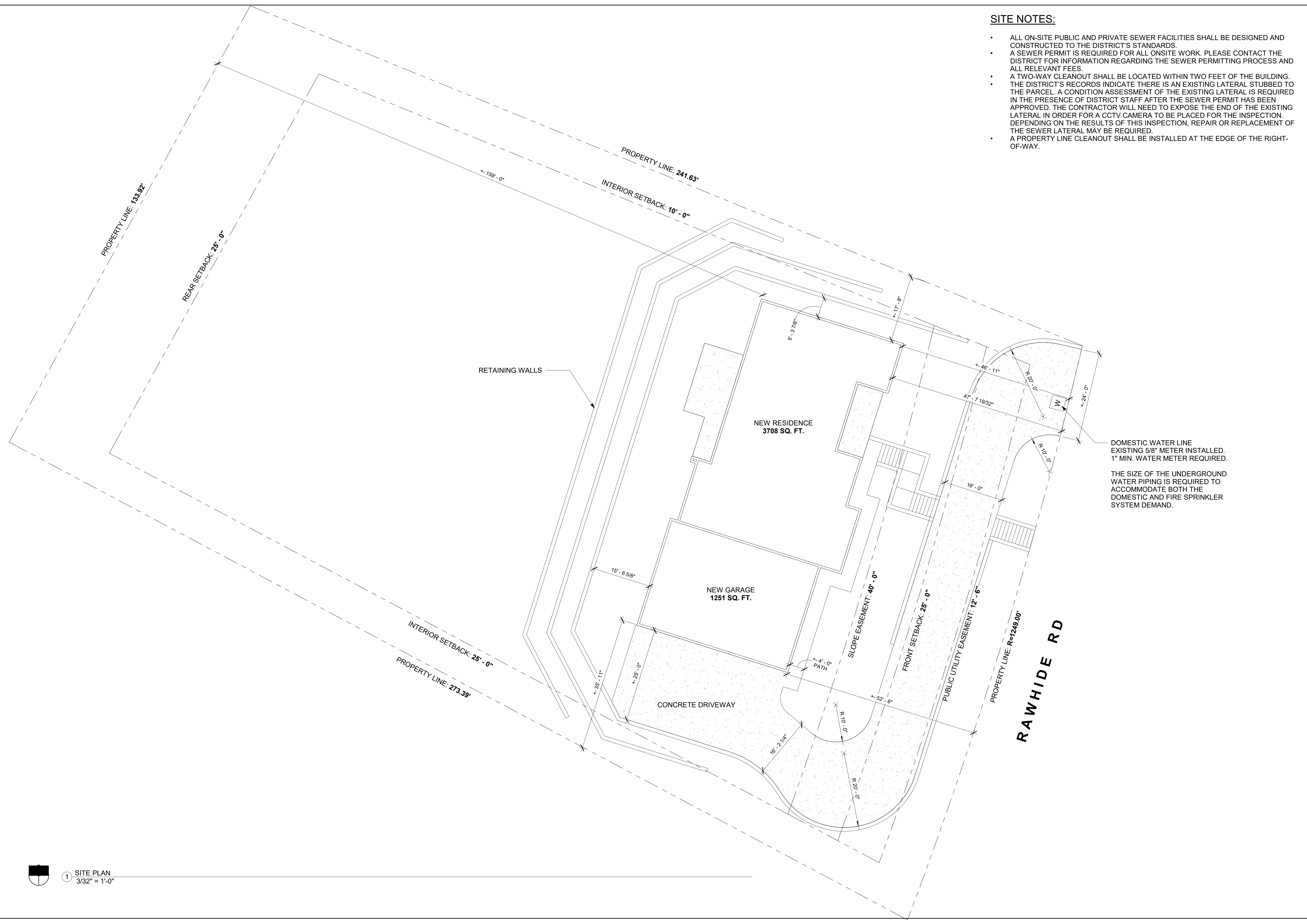


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ARCHITECTURAL SITE PLAN  
NEW RESIDENCE  
3934 RAWHIDE RD.  
ROCKLIN, CA 95677

**SITE NOTES:**

- ALL ON-SITE PUBLIC AND PRIVATE SEWER FACILITIES SHALL BE DESIGNED AND CONSTRUCTED TO THE DISTRICT'S STANDARDS.
- A SEWER PERMIT IS REQUIRED FOR ALL ONSITE WORK. PLEASE CONTACT THE DISTRICT FOR INFORMATION REGARDING THE SEWER PERMITTING PROCESS AND ALL RELEVANT FEES.
- A TWO-WAY CLEANOUT SHALL BE LOCATED WITHIN TWO FEET OF THE BUILDING. THE DISTRICT'S RECORDS INDICATE THERE IS AN EXISTING LATERAL STUBBED TO THE PARCEL. A CONDITION ASSESSMENT OF THE EXISTING LATERAL IS REQUIRED IN THE PRESENCE OF DISTRICT STAFF AFTER THE SEWER PERMIT HAS BEEN APPROVED. THE CONTRACTOR WILL NEED TO EXPOSE THE END OF THE EXISTING LATERAL IN ORDER FOR A CCTV CAMERA TO BE PLACED FOR THE INSPECTION. DEPENDING ON THE RESULTS OF THIS INSPECTION, REPAIR OR REPLACEMENT OF THE SEWER LATERAL MAY BE REQUIRED.
- A PROPERTY LINE CLEANOUT SHALL BE INSTALLED AT THE EDGE OF THE RIGHT-OF-WAY.



DOMESTIC WATER LINE  
EXISTING 5/8" METER INSTALLED.  
1" MIN. WATER METER REQUIRED.

THE SIZE OF THE UNDERGROUND  
WATER PIPING IS REQUIRED TO  
ACCOMMODATE BOTH THE  
DOMESTIC AND FIRE SPRINKLER  
SYSTEM DEMAND.

REVISIONS

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DRAWN BY: S.S.

REV. BY: AC

DATE: 08/18/2025

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REV. BY: AC

DATE: 08/18/2025

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A8.0

**GENERAL NOTES:**

- IN DWELLING UNITS, A SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR WALL OR CEILING GIVING IMMEDIATE ACCESS TO EACH SEPARATE SLEEPING AREA. FOR MULTY-STORY DWELLING UNITS AND DWELLING WITH BASEMENTS, A SMOKE ALARM IS REQUIRED IN EACH STORY AND IN BASEMENT. WHEN SLEEPING ROOMS ARE ON AN UPPERLEVEL, THE SMOKE ALARM SHALL BE AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING UNIT IN EACH THEY ARE LOCATED. IN NEW CONSTRUCTIONS REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM A COMMERCIAL SOURCE AND HAVE A BATTERY BACKUP. 2022 CRC R314 & R315.
- EVERY SLEEPING ROOM BELOW THE FOURTH STORY SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE THAT SHALL OPENS DIRECTLY INTO A PUBLIC-MIN.NET STREET, PUBLIC WAY, YARD, OR EXIT COURT. 2022 CRC R310.2  
  - MIN. NET CLEAR OPENING AREA OF 5.7 SQ. FT
  - EXCEPTION: 5 SQ FT REQUIRED FOR GRADE-FLOOR OPENINGS
  - 24" MIN. NET CLEAR OPENING HEIGHT.
  - 20" MIN. NET CLEAT OPENING WIDTH, AND
  - BOTTOM NET CLEAR OPENING NOT GREATER THAN 44" ABOVE THE FLOOR
  - R308.4.3 FOR OTHER GLAZING REQUIREMENTS, TEMPERED GLAZING REQUIREMENT PER CRC308.4 & CRC308.1
- EGRESS DOOR: AT LEAST ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT. THE EGRESS DOOR SHALL BE SIDE HINGES AND SHALL PROVIDE MIN CLEAR WIDTH OF 32" WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP WITH THE DOOR OPEN 90 DEGREES. MIN CLEAR HEIGHT OF THE DOOR OPENING SHALL NOT BE LESS THAN 78" MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP. ALL EXTERIOR DOORS TO HAVE WEATHER STRIPPING AND COMPLY WITH CALIFORNIA ENERGY EFFICIENCY CODE. 2022 CRC R311.3
- FLOOR LANDINGS AT EXTERIOR DOORS: THERE SHALL BE A LANDING OF FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED AND MIN 36" MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED Y" UNITS VERTICAL TO 12" HORIZONTAL (2%). LANDING OR FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1 1/2" LOWER THAN THE TOP OF THE THRESHOLD. LANDING OR FLOOR ON THE EXTERIOR SIDE OF EXTERIOR DOORS SHALL NOT BE MORE THAN 7 3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR.THE EXTERIOR LANDING AT THE EXTERIOR DOOR SHALL BE A MAX 1 1/2" BELOW THE TOP OF THE THRESHOLD, PROVIDED THE DOOR SWINGS OUTWARD (OVER THE LANDING). CRC 2022 R311.3.1, R311.3.2.
- NATURAL LIGHT REQUIRED FOR ALL HABITABLE ROOMS AT 8% MINIMUM OF THE FLOOR AREA SERVED BY MEANS OF EXTERIOR GLAXED OPENINGS, R303.1.
- NATURAL VENTILATION REQUIRED FOR ALL HABITABLE ROOMS AT A MINIMUM OF THE FLOOR AREA SERVED AY MEANS OF OPENABLE EXTERIOR OPENINGS, R303.1 ROOMS CONTAINING BATHTUBS, SPAS AND SIMILAR BATHING FIXTURES SHALL BE PROVIDED WITH MECHANICAL VENTILATION AS PER 2022 CMC 402.3.
- WHERE WINDOW SILL IS MORE THAN 6" ABOVE FINISHED GRADE, THE LOWEST PART OF THE WINDOW SHALL BE AT LEAST 36" ABOVE THE FINISHED FLOOR OF THE ROOM. GLAZING BETWEEN THE FLOOR AND A HEIGHT OF 24" SHALL BE FIXED OR HAVE OPENINGS SUCH AS 4" SPHERE CANNOT PASS THROUGH. 2022 CRC R308 .
- OPENABLE WINDOWS SHALL BE LOCATED A MIN 10' FROM ANY PLUMBING VENTS, CHIMNEYS, ETC.
- GLAZING IN THE FOLLOWING LOCATIONS SHOULD BE SAFETY GLAZING MATERIAL IN ACCORDANCE WITH CRC308 TEMPERED GLAZING (EXCEPT TEMPERED SPANDREL GLASS SHALL BE PERMANENTLY IDENTIFIED BY A MANUFACTURER MARKING THAT IS PERMANENTLY APPLIED AND CANNOT BE REMOVED WITHOUT BEING DESTROYED.  
  - GLAZING DOORS AND IN THE SAME PLANE OF A DOOR IN THE CLOSED POSITION AND WITHIN 2' OF EITHER SIDE OF THE DOOR.
  - WITHIN A PORTION OF THE WALL ENCLOSING A TUB/SHOWER WHERE THE BOTTOM EXPOSED EDGE OF GLAZING IS LESS THAN 60" ABOVE THE STANDING SURFACE AND DRAIN INLET.
  - ANY GLAZING MEETING ALL THE FOLLOWING CONDITIONS, R308.4.3:  
    - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQFT
    - EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FINISHED FLOOR.
    - EXPOSED TOP EDGE IS GREATER THAN 36" ABOVE THE FINISHED FLOOR.
    - WHERE A WALKING SURFACE IS WITHIN 36" HORIZONTALLY OF THE GLAZING
- BELOW GRADE HOT WATER PIPING IS REQUIRED TO BE INSTALLED IN A WATERPROOF AND NON-CRUSHABLE SLEEVE OR CASING THAT ALLOWS FOR REPLACEMENT OF BOTH THE PIPING AND INSULATION.
- ATTIC ACCESS OPENING NOT LESS THAN 22"x30" WITH 30" MIN. VERTICAL HEADROOM
- BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH SHOWERS AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT OF 6' ABOVE THE FLOOR. WATER CLOSE SHAL HAVE 15" FROM ITS CENTER TO A SIDE ANY WALL OR OBSTRUCTION ON EACH OF ITS CENTERLINE AND 24" CLEAR SPACE IN FRONT, PER 2022 CPC 402.5.
- SHOWER COMPARTMENTS SHALL BE NOT LESS THAN 1,024 SQ. IN. AND ALSO BE CAPABLE OF ENCOMPASSING A 30" DIAMETER CIRCLE. PER 2022CPC 408.6.

**EGRESS WINDOW REQUIREMENTS:**

- CLEAR OPENING THAT IS A MINIMUM OF 24" HIGH AND 20" WIDE.
- NET CLEAR OPENABLE AREA OF NOT LESS THAN 5.7 SQUARE FEET.  
  - EXCEPTION: GRADE FLOOR OPENINGS OR BELOW GRADE OPENINGS SHALL HAVE A NET CLEAR OPENING AREA OF NOTLESS THAN 5 SQUARE FEET.
- SILL HEIGHT TO BE A MAXIMUM OF 44" ABOVE THE FLOOR.

**TEMPERED GLASS REQUIREMENTS:**

- GLAZING IN ENCLOSURES FOR OR WALLS FACING BATHTUBS OR SHOWERS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING ISLESS THAN 60" A.F.F. AND LESS THAN 60" FROM THE TUB/ SHOWER SHALL BE TEMPERED.
- GLAZING ADJACENT TO THE STAIRWAY WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 36" ABOVE THE NOSE OF THE TREAD SHALL BE TEMPERED.
- GLAZING ADJACENT TO A DOOR AND WHERE GLAZING IS LESS THAN 60" A.F.F., AND MEET THE BELOW REQUIREMENTS PER CRC R308.4.  
  - ALL WINDOWS ADJACENT TO AND WITHIN 24" OF EITHER EDGE OF A DOOR IN THE CLOSED POSITION
  - GLAZING IS ON A WALL PERPENDICULAR TO THE PLANE OF THEDOOR IN A CLOSED POSITION AND WITHIN 24" OF THE HINGE SIDE OF AN IN-SWINGING DOOR.
- TEMPERED GLASS IS REQUIRED IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:  
  - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET;
  - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR;
  - THE TOP EDGE OF THE GLAZING IS MORE THAN 36 INCHES ABOVE THE FLOOR; AND
  - ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE GLAZING.
- GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING OR SLIDING DOORS.
- GLAZING ADJACENT TO STAIRWAYS OR LANDINGS WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 36" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.

**GREEN BUILDING CODE NOTES:**

- PLUMBING FIXTURES AND FITTINGS REQUIRED IN SECTION 4.303.1SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBINGCODE, AND SHALL MEET THE APPLICABLE REFERENCED STANDARDS.CGBSC 4.303.2
- AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THETIME OF FINAL INSPECTION SHALL BE PROVIDED WITH INTEGRAL RAINSENSORS OR SOIL MOISTURE SENSORS THAT ADJUST IRRIGATION INRESPONSE TO CHANGE IN PLANTS' NEEDS AS WEATHER CONDITIONSCHANGE. CGBSC 4.304.1
- ANNUAL SPACERS AROUND PIPES, ELECTRICAL CABLES, CONDUITS OROTHER OPENINGS IN PLATES AT EXTERIOR WALL SHALL BE PROTECTEDAGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENING WITHCEMENT MORTAR, CONCRETE MASONRY OR SIMILAR ACCEPTABLEMETHODS. CGBSC. 4.406
- A MINIMUM OF 65 PERCENT OF THE CONSTRUCTION WASTEGENERATED AT THE SITE SHALL BE DIVERTED TO RECYCLE ORSALVAGE. CGBSC. 4.408.1
- AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED PRIORTO FINAL INSPECTION. CGBSC 4.410.1
- GAS FIREPLACES SHALL BE A DIRECT-VENT SEALED COMBUSTIONTYPE. WOOD/PELLET STOVES SHALL COMPLY WITH U.S. EPA NEWSOURCE PERFORMANCE STANDARDS (NSPS) EMISSIONS LIMITS. CGBSC4.503.1
- DUCT AND VENT OPENINGS SHALL BE COVERED DURINGCONSTRUCTION. CGBSC 4.504.1
- ADHESIVES, SEALANTS AND CAULKSHALL BE COMPLIANT WITH VOCAND OTHER TOXIC COMPOUND LIMITS. CGBSC 4.504.2.1
- PAINTS, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITHVOC LIMITS.
- AEROSOL PAINTS AND COATING SHALL BE COMPLIANT WITH PRODUCTSWEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS.CGBSC 4.504.2.3
- DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANTVOC LIMIT FINISH MATERIALS HAVEBEEN USED. CGBSC 4.504.2.4
- CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOCLIMITS. CGBSC 4.504.3
- 80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALLCOMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN THECOLLABORATIVE OF HIGH PERFORMANCE SCHOOLS (CHPS) HIGHPERFORMANCE PRODUCTS DATABASE OR COMPLIANT WITH CHPSCRITERIA CERTIFIED UNDER THE GREEN GUARD CHILDREN & SCHOOLSPROGRAM OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERINGINSTITUTE (RFCI) FLOOR SCORE PROGRAM OR MEET THE CALIFORNIADEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVACUATION OF VOLATILE ORGANIC CHEMICLEMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTALCHAMBERS." CGBSC 4.504.4
- PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) ANDHARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALLCOMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS. CGBSC4.504.5
- MOISTURE CONTENT OR BUILDING MATERIALS USED IN ENCLOSEDWALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE ANDCANNON EXCEED 19%. CGBSC 4.505.3
- DUCT SYSTEMS SHALL BE SIZED AND DESIGNED AND EQUIPMENT SHALLBE SELECTED USING THE FOLLOWING METHODS CGBSC 4.507.2  
  - ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TOANSI/ACCA MANUAL J-2019 OR EQUIVALENT.
  - SIZE DUCT SYSTEMS ACCORDING TO ANSI/ACCA 1 MANUAL D-2016OR EQUIVALENT.
  - SELECT HEATING AND COOLING EQUIPMENT ACCORDING TOANSI/ACCA 3 MANUAL S-2014 OR EQUIVALENT.

**NOTES:**

- THE DESIGN AND CONSTRUCTION OF ALL ON-SITE AND OFF-SITE FACILITIES WHICH MAY BE REQUIRED AS A RESULT OF THIS PROJECT. INCLUDING THE ACQUISITION AND GRANTING OF SEWER EASEMENTS. WILL BE THE RESPONSIBILITY OF THE DEVELOPER/OWNER. ALL WORK SHALL CONFORM TO SOUTH PLACER MUNICIPAL UTILITY DISTRICT'S (THE DISTRICT'S) STANDARD SPECIFICATIONS AND IMPROVEMENT STANDARDS FOR SANITARY SEWERS (STANDARDS).
- THE CONTRACTOR SHALL PROVIDE EROSION, SEDIMENT, AND POLLUTION CONTROL BEST MANAGEMENT PRACTICES (BMPs) WHEN AND WHERE APPLICABLE.
- DIRECT ALL NEW DOWNSPOUTS ONTO NATURAL GROUND OR LANDSCAPED AREAS WHERE POSSIBLE.
- NO PERMANENT STRUCTURE INCLUDING WITHOUT LIMITATION GARAGES, PATIOS, CONCRETE SLABS, TOOL SHEDS, ROOF OVERHANGS, AND SIMILAR STRUCTURES) SHALL BE CONSTRUCTED ONTOP OF WATER, SEWER OR DRAINAGE PIPELINE OR ANYWHERE WITHIN THE ASSOCIATED UTILITY EASEMENTS.
- SLOPE AWAY FROM THE HOUSE 6" PER 10' FOR WATER DRAIN.
- DIRECT ALL NEW DOWNSPOUTS ONTO NATURAL GROUND OR LANDSCAPE AREAS WHERE FEASIBLE.
- SLOPE SWALE AT 1% MIN. TO FACE OF CURB (TYP).
- HOSE BIBBS AND LAWN SPRINKLES SYSTEMS SHALL HAVE APPROVED BACKFLOW DEVICES.
- ALL PLUMBING FIXTURE AREABOVE MANHOLE OF STREET. IT IS A RESPONSIBILITY OF THE GENERAL CONTRACTOR TO MEET THE INTENT OF THE CODE WITH REGARDS TO THE RESIDENTIAL MANDATORY MEASURES AS PER CALIFORNIA GREEN BUILDING STANDARDS CODE SECTION 4A.602, pp.85-94.
- SEWER PIPE MATERIAL: ABS INTERIOR/ EXTERIOR.
- WATER PIPING:  
  - INTERIOR PEX (CROSS LINKED POLYETHYLENE- WITH COPPERFITTING;
  - EXTERIOR SCHEDULE 40 MAIN WATER SERVICE LINE TO BESCHEDULE 40 PVC PIPE. PROVIDE BLUE INSULATED 18 AWG COPPER TRACER WIRE SUITABLE FOR DIRECT BURIAL ADJACENT TO THE PIPE AND TERMINATE IT ABOVE GROUND AT BOTH ENDS.COC 604.8
- GAS: STREET TO GAS METER PIPING PER LOCAL UTILITY COMPANY. INTERIOR GAS PIPING: BLACK IRON.

**CONSTRUCTION NOTES:**

- "ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO **CITY OF ROCKLIN** STANDARD SPECIFICATION, DATED JUNE 2022
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES AND FOR THE PROTECTION OF AND REPAIR OF DAMAGE TO THEM. CONTACT UNDERGROUND SERVICE ALERT 1-800-642-2444, 48 HOURS BEFORE WORK IS TO BEGIN.
- DIRECT ALL NEW DOWNSPOUTS ONTO NATURAL GROUND OR LANDSCAPED AREAS WHERE FEASIBLE.
- FLOOD ZONE X ,PANEL 0190.
- NO PERMANENT STRUCTURE (INCLUDING WITHOUT LIMITATION GARAGES, PATIOS, CONCRETE SLABS, TOOL SHED, ROOF OVERHANGS AND SIMILAR STRUCTURES) SHALL BE CONSTRUCTED ON TOP OF WATER, SEWER OR DRAINAGE PIPELINES OR ANYWHERE WITHIN THE ASSOCIATED UTILITY EASEMENTS. (ORD. 2001-033) CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXACT LOCATIONS AND PROTECTION OF ALL EXISTING MAINS AND LINES. YOU CAN CONTACT CITY CREWS AT 311 TO LOCATE SERVICES.
- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO DETERMINE THE LOCATION OF ANY EASEMENTS OF RECORD ENCUMBERED WITHIN THE PROPERTY."
- EROSION AND SEDIMENT CONTROL NOTES:  
  - THE CONTRACTOR SHALL FOLLOW THE GUIDELINES FOR **CITY OF ROCKLIN** "ADMINISTRATIVE AND TECHNICAL PROCEDURES MANUAL FOR GRADING AND EROSION AND SEDIMENT CONTROL".
  - PRIOR TO THE COMMENCEMENT OF WORK, CONTRACTOR SHALL PLACE FILTER BAGS IN AND AROUND ANY STORM DRAIN. INLETS WHICH RECEIVE RUNOFF FROM THE LIMITS OF THE CONSTRUCTION ZONE. CONTRACTOR SHALL MONITOR AND MAINTAIN THE FILTER BAGS AND GRAVEL BAGS UNTIL THE COMPLETION OF THE PROJECT.
  - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED BEFORE AND AFTER ALL STORMS TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.
  - ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE SWEEP AT THE END OF EACH WORKING DAY OR AS NECESSARY.

**DOOR NOTES:**

ALL EXTERIOR DOORS SHALL BE SOLID CORE w/ STILES AND RAILS NOT LESS THAN 1-3/8" THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1-1/4" OR SHALL HAVE A FIRE RATING OF 20 MINUTES. PER CRC R337.8.3

**APPICABLE CODES:**

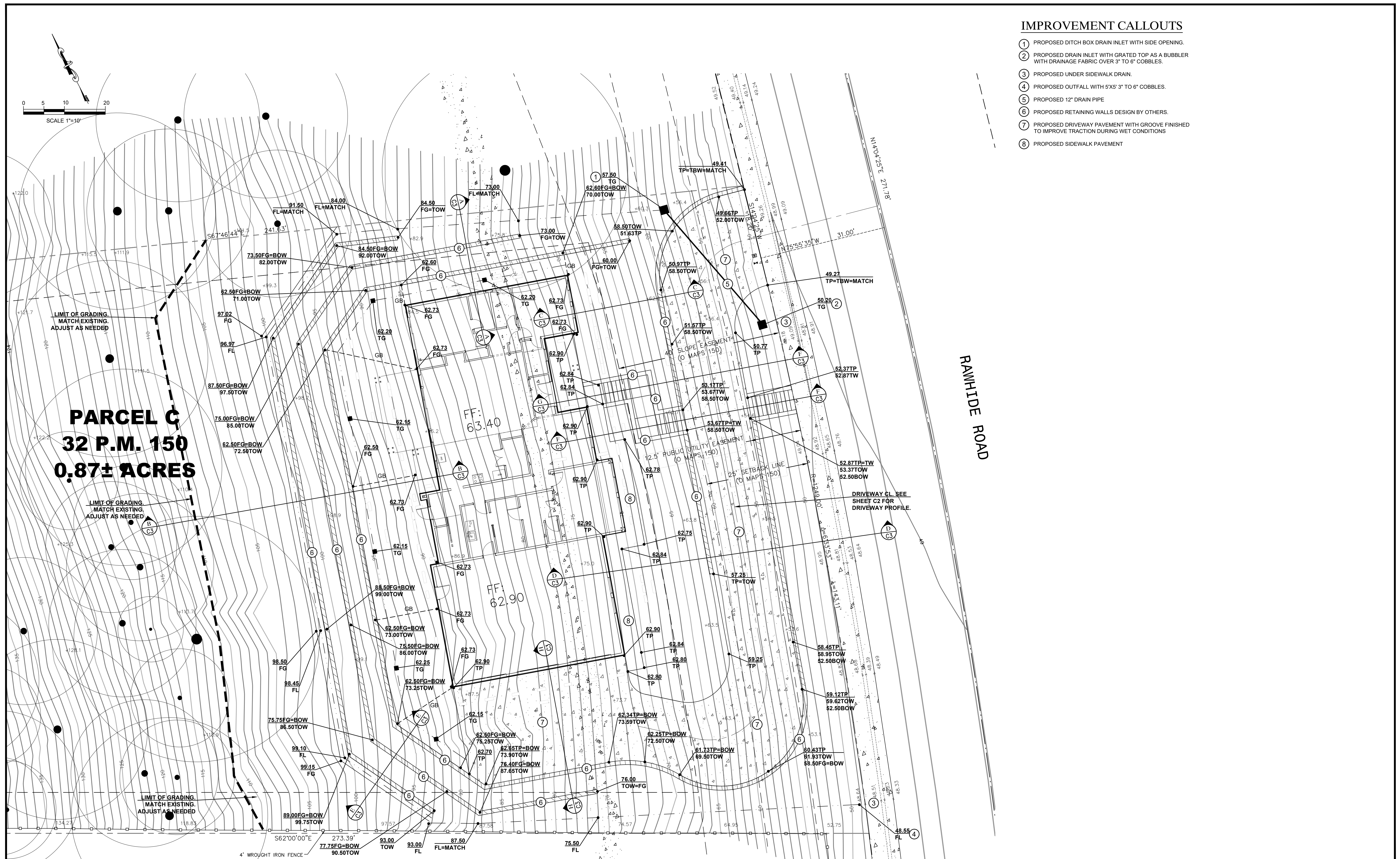
- THIS STRUCTURE IS DESIGNED IN CONFORMANCE WITH THE CURRENT 2022 CALIFORNIA RESIDENTIAL CODE, 2022 CALIFORNIA MECHANICAL CODE, 2022 CALIFORNIA PLUMBING CODE, 2022 CALIFORNIA ELECTRICAL CODE, 2022 FIRE CODE, NFPA 13D AND 2022 CALIFORNIA ENERGY STANDARDS, 2022 CALIFORNIA GREEN BUILDING CODE, 2022 CBC **CITY OF ROCKLIN** ORDINANCE AND MUNICIPAL CODE.
- THE PROJECT MUST COMPLY WITH ROCKLIN MUNICIPAL CODE CHAPTER 8.10 "FIRE SAFE VEGETATION AND DEBRIS MANAGEMENT" AND THE CITY OF ROCKLIN FIRE DEPARTMENT "WILDLAND URBAN INTERFACE (WUI) DEFENSIBLE SPACE" STANDARD. PLEASE SHOW ON THE SITE PLAN THE AREAS WITHIN 30 FEET OF THE PROPERTY LINE/DWELLING AND THE AREAS BETWEEN 30 FEET AND 100 FEET OF THE DWELLING/DETACHED GARAGE. ADD THE "OPERATIONAL STANDARDS" FROM THE "WILDLAND URBAN INTERFACE (WUI) DEFENSIBLE SPACE" STANDARD TO THE SITE PLAN IN A NOTE SECTION.
- THE CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS AND DIMENSIONS OF THE PROJECT AND SHALL NOTIFY DESIGNER ABOUT CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH WORK.
- ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BEFORE PROCEEDING WITH THE WORK.
- ANY WASTE LINE SERVING MORE THAN 3 TOILETS WILL BE REQUIRED TOBE A MINIMUM OF 4 INCHES. PER CPC TABLE 703.2.
- THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OF THE INLET OF AN APPROVED DRAINAGE DEVICE A MIN OF 12" PLUS 2% PER FOOT. WHERE GUTTER IS NOT PRESENT, THE MEASUREMENT SHALL BE TAKEN FROM THE CROWN OF THE ROAD.

**SITE AND GRADING NOTES:**

- NO FILL SHALL BE BROUGHT ONTO THE SITE WITHOUT A GRADING PERMIT.NO MATERIAL SHALL BE REMOVED FROM THE SITE WITHOUT A GRADING PERMIT.
- NOTES:  
  - LIMIT OF GRADING WORK WITH THIS PERMIT IS LIMITED TO 10'BEYOND THE BUILDING ENVELOPE.
  - POSITIVE DRAINAGE AWAY FROM THE STRUCTURE PER CBC REQUIREMENTS (5% AWAY ON LANDSCAPING FOR 10' AND 2% AWAY ON HARDSCAPE FOR 5'), INCLUDING ON UPHILL
  - TOP/ TOE OF ANY GRADED SLOPE SHALL BE AT LEAST 2' FROM THE PROPERTY.
  - CONTRACTOR SHALL ENSURE GRADED SLOPES DO NOT EXCEED 2:1.
  - PROVIDE COMPACTION REPORTS TO THE BUILDING OFFICIALS.
  - NO FILL SHALL BE BROUGHT ONTO THE SITE WITHOUT A GRADINGPERMIT. NO MATERIAL SHALL BE REMOVED FROM THE SITE WITHOUT GRADING REPORT.
  - NO EARTH MAY BE DISTURBED WITHOUT AN APPROVED ESCP IMPLEMENTED IN PLACE.

**IMPROVEMENT CALLOUTS**

- ① PROPOSED DITCH BOX DRAIN INLET WITH SIDE OPENING.
- ② PROPOSED DRAIN INLET WITH GRATED TOP AS A BUBBLER WITH DRAINAGE FABRIC OVER 3" TO 6" COBBLES.
- ③ PROPOSED UNDER SIDEWALK DRAIN.
- ④ PROPOSED OUTFALL WITH 5'X5' 3" TO 6" COBBLES.
- ⑤ PROPOSED 12" DRAIN PIPE
- ⑥ PROPOSED RETAINING WALLS DESIGN BY OTHERS.
- ⑦ PROPOSED DRIVEWAY PAVEMENT WITH GROOVE FINISHED TO IMPROVE TRACTION DURING WET CONDITIONS
- ⑧ PROPOSED SIDEWALK PAVEMENT



**PARCEL C  
32 P.M. 150  
0.87± ACRES**

BENCHMARK ELEVATION: \_\_\_\_\_

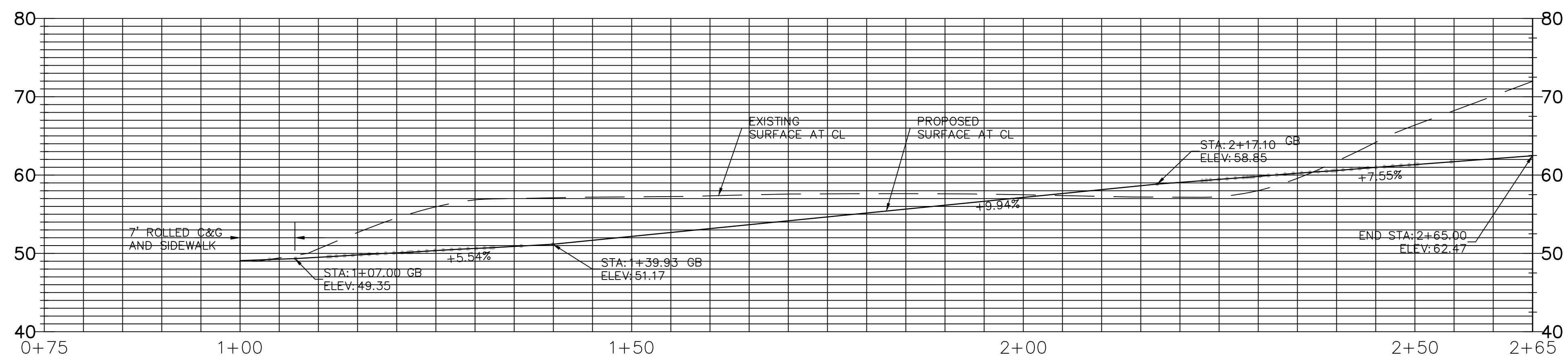
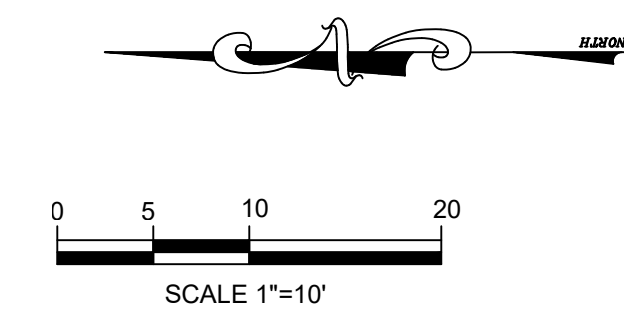
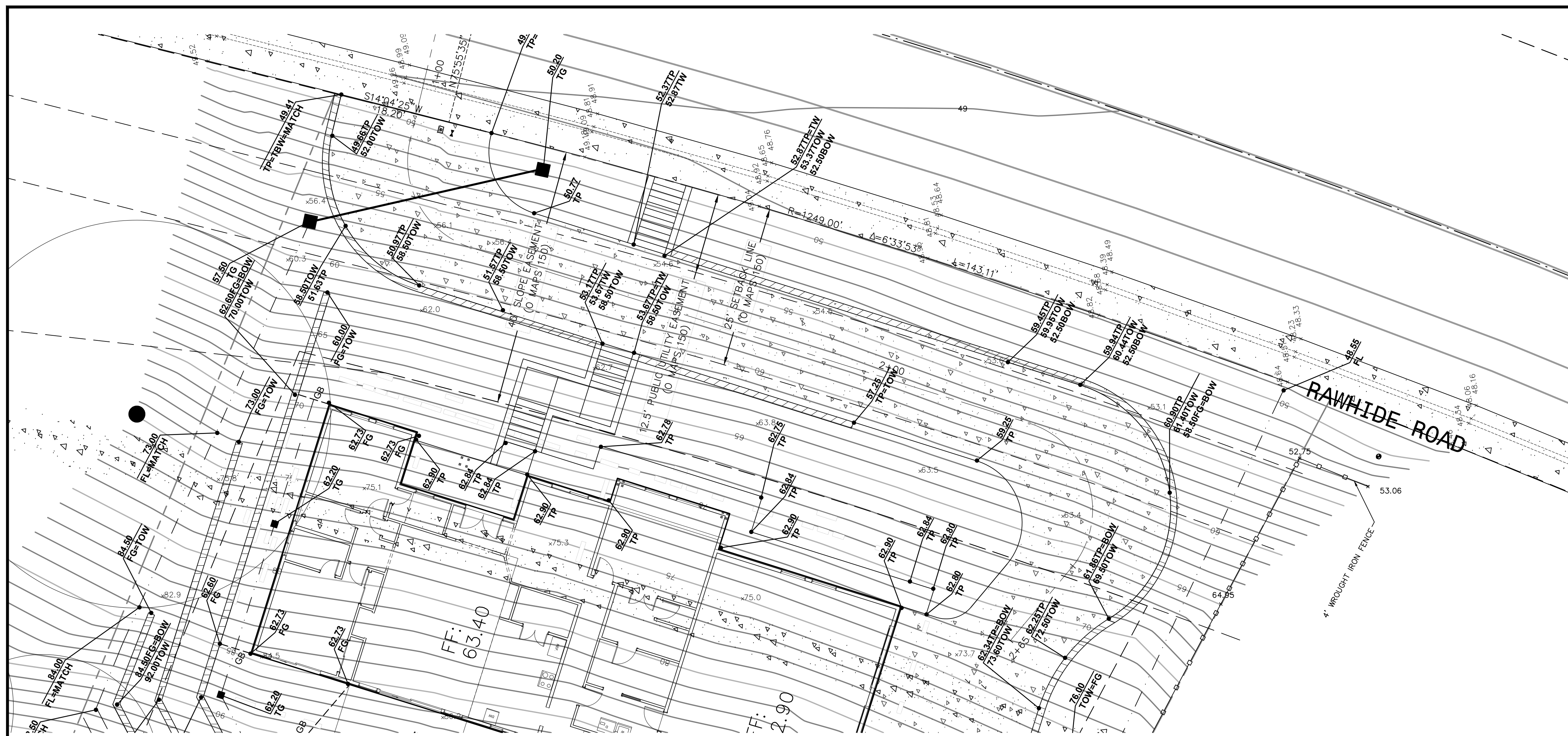
**JTS ENGINEERING CONSULTANTS, INC.**  
1808 J STREET  
SACRAMENTO, CALIFORNIA 95811 TEL: (916) 441-6708

DESIGNED:	SCALE:
DRAWN:	H: 1"=10'
CHECKED: PHYA	V:
SUBMITTED: PASTOR H. Y. ABEJUJELA III	RCE: 94339

NO.	DESCRIPTION	ENGR INIT	APPROVAL BY	DATE

PRELIMINARY GRADING PLAN  
**3934 RAWHIDE RD**  
CITY OF ROCKLIN  
APN: 030-210-049  
CALIFORNIA

DATE: 07/25/2025  
SHEET  
**C1**  
OF 3



**DRIVEWAY PROFILE**  
 HORIZONTAL SCALE = 1"=10'  
 VERTICAL SCALE: 1"=10'

BENCHMARK ELEVATION: \_\_\_\_\_

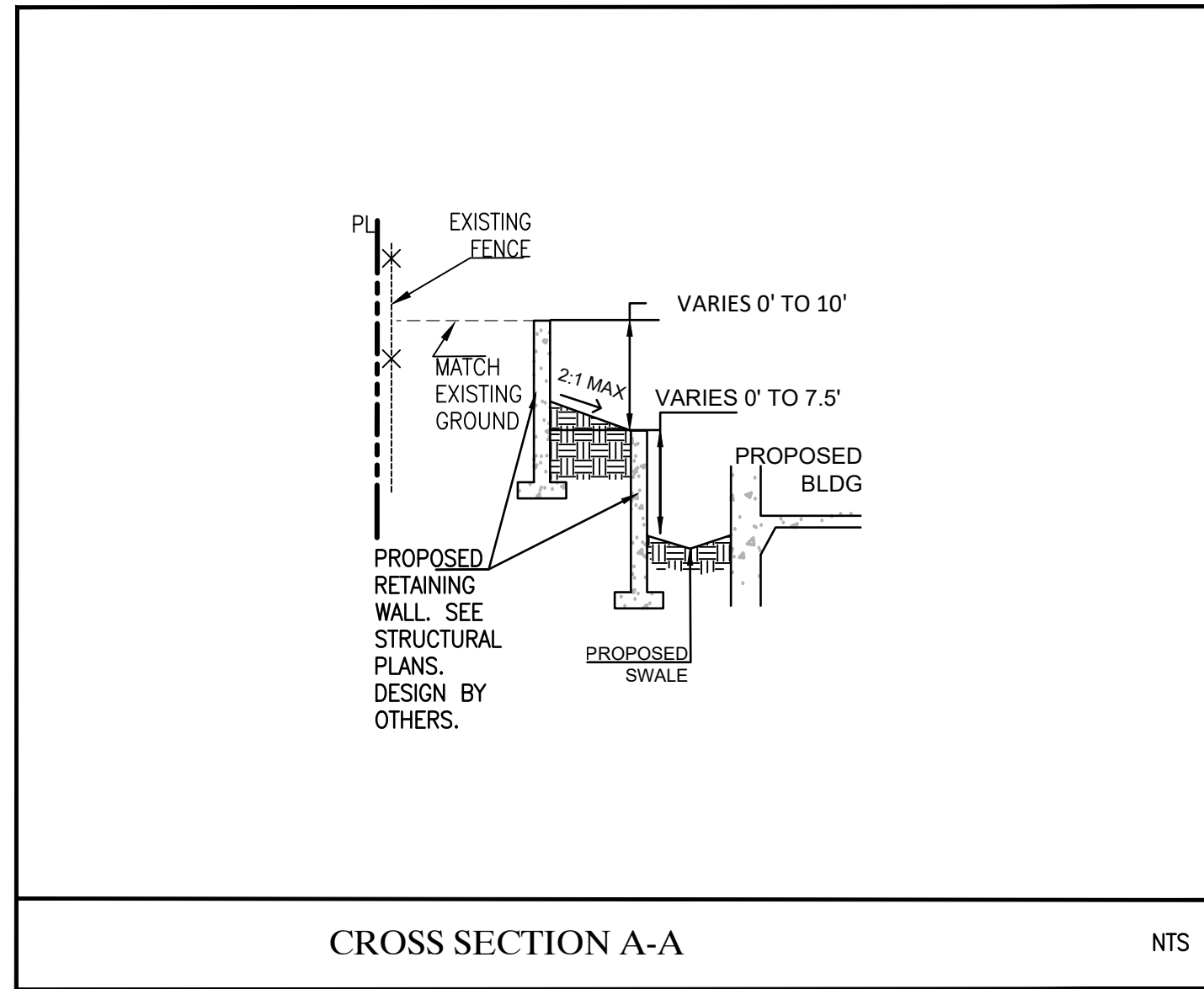
**JTS ENGINEERING CONSULTANTS, INC.**  
 1808 J STREET  
 SACRAMENTO, CALIFORNIA 95811 TEL: (916) 441-6708

DESIGNED:	SCALE:
DRAWN:	H: 1"=10'
CHECKED: PHYA	V:
SUBMITTED: PASTOR H. Y. ABEJUOLA III	RCE: 94339

NO.	DESCRIPTION	ENGR INIT	APPROVAL BY	DATE

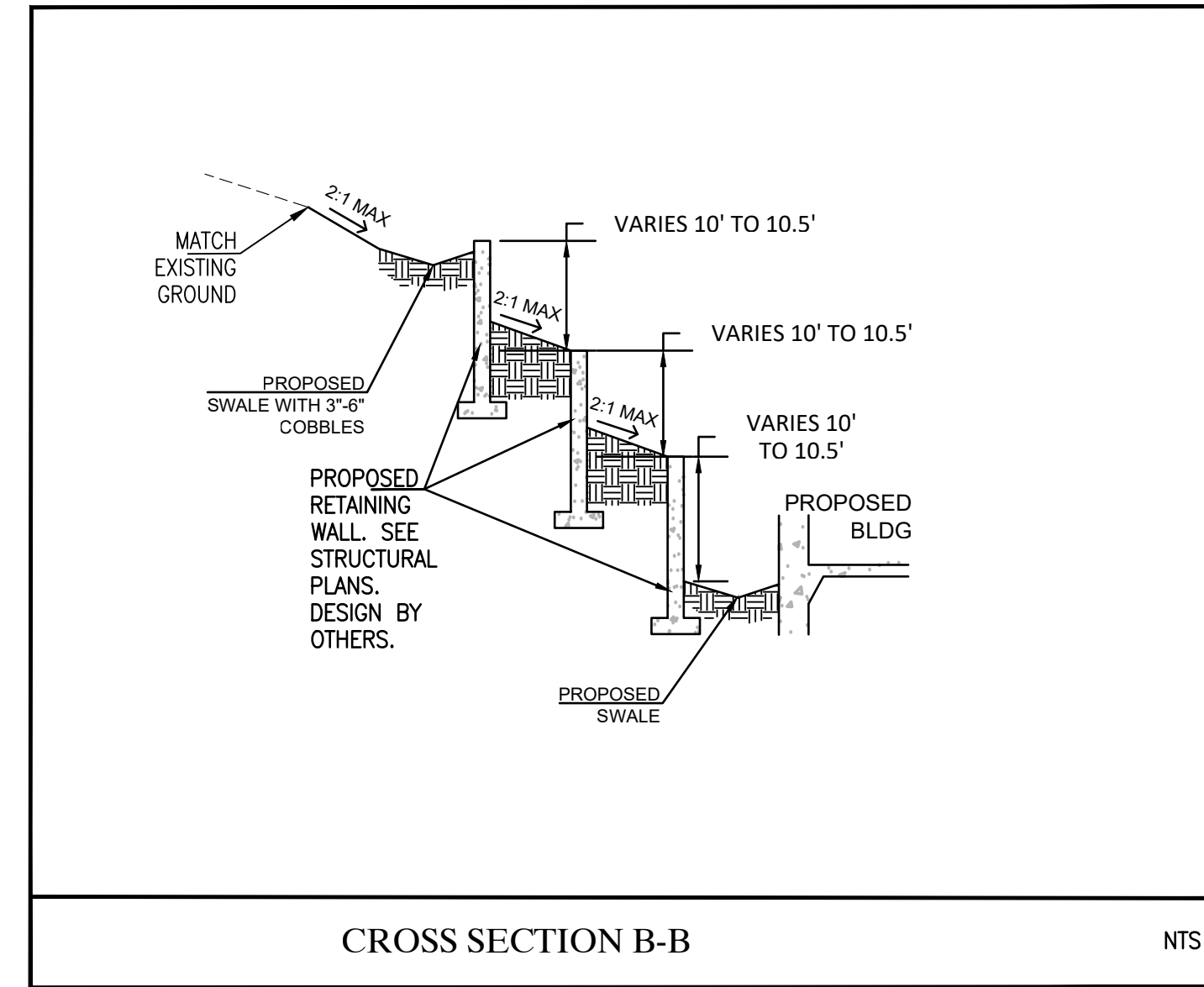
PRELIMINARY DRIVEWAY PLAN AND PROFILE  
**3934 RAWHIDE RD**  
 CITY OF ROCKLIN APN: 030-210-049 CALIFORNIA

DATE: 07/25/2025  
 SHEET  
**C2**  
 OF 3



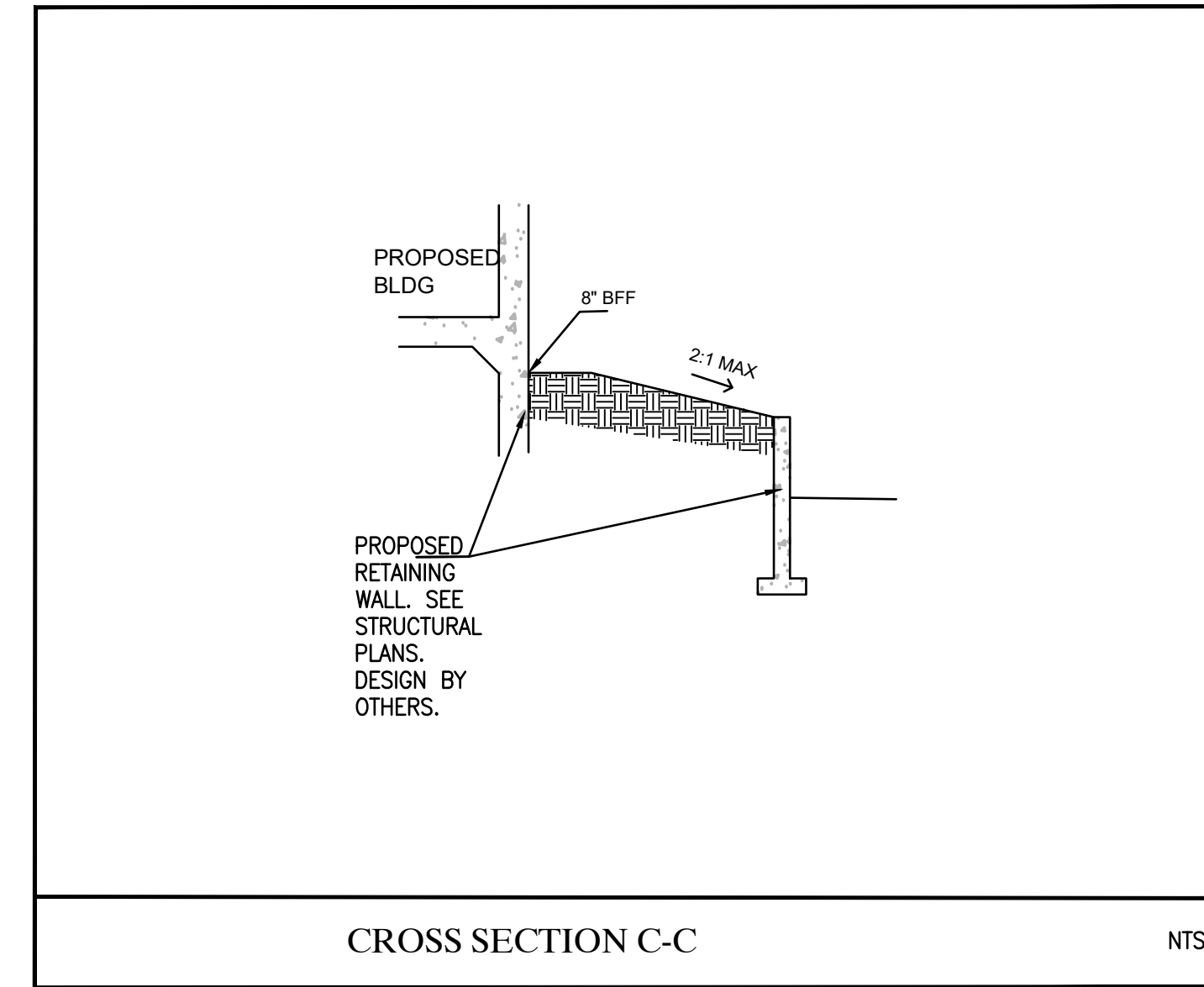
CROSS SECTION A-A

NTS



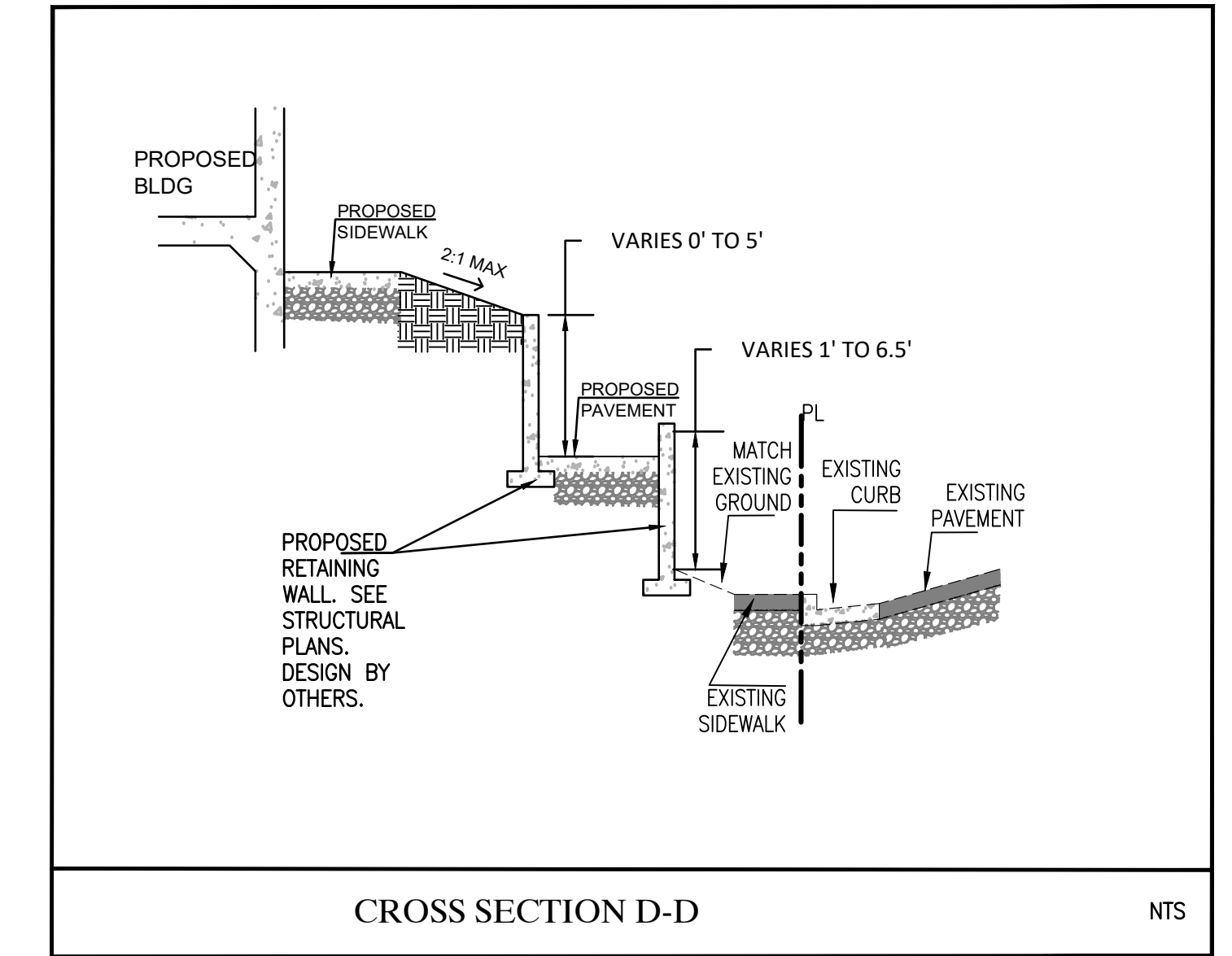
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NTS



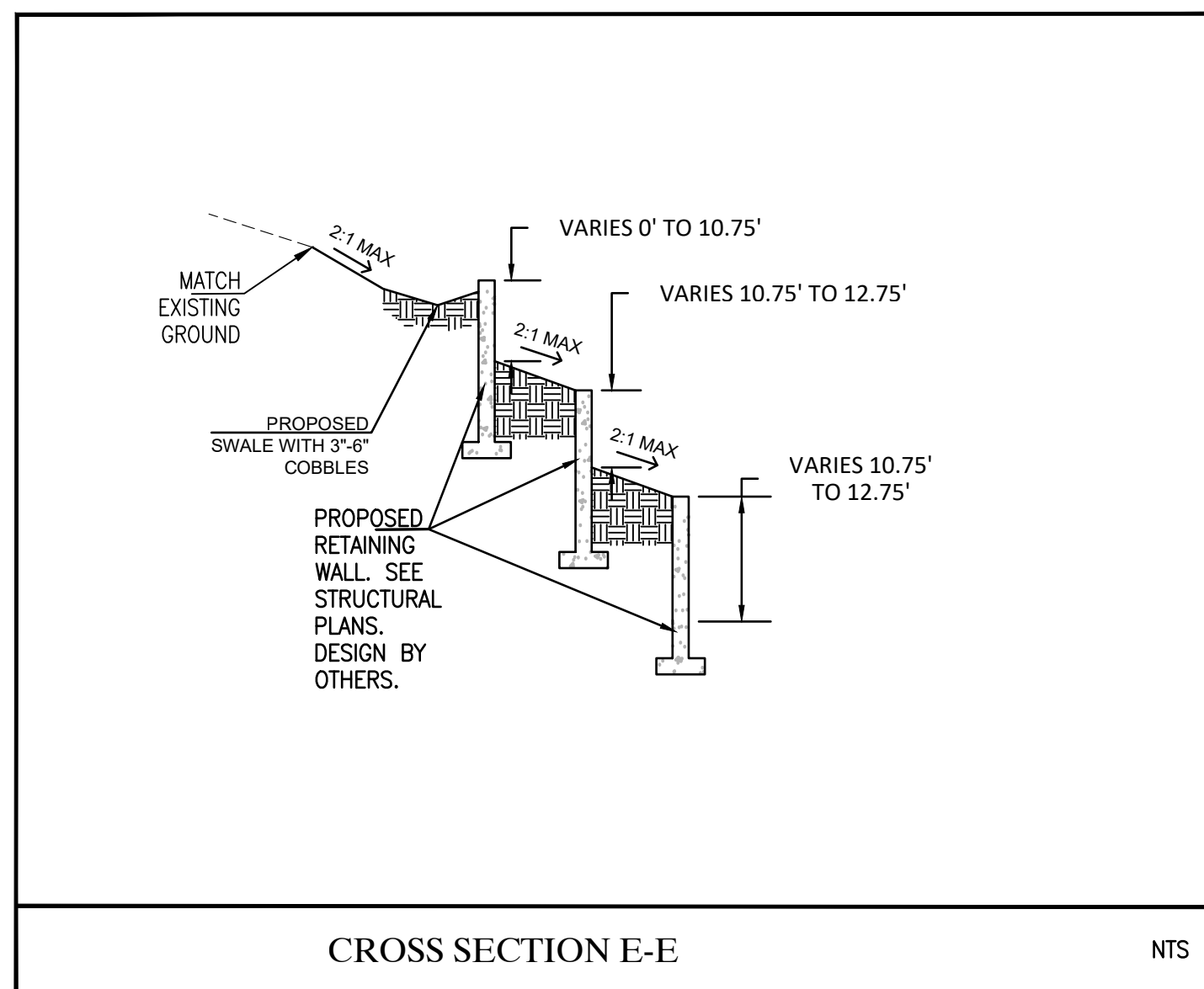
CROSS SECTION C-C

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CROSS SECTION D-D

NTS



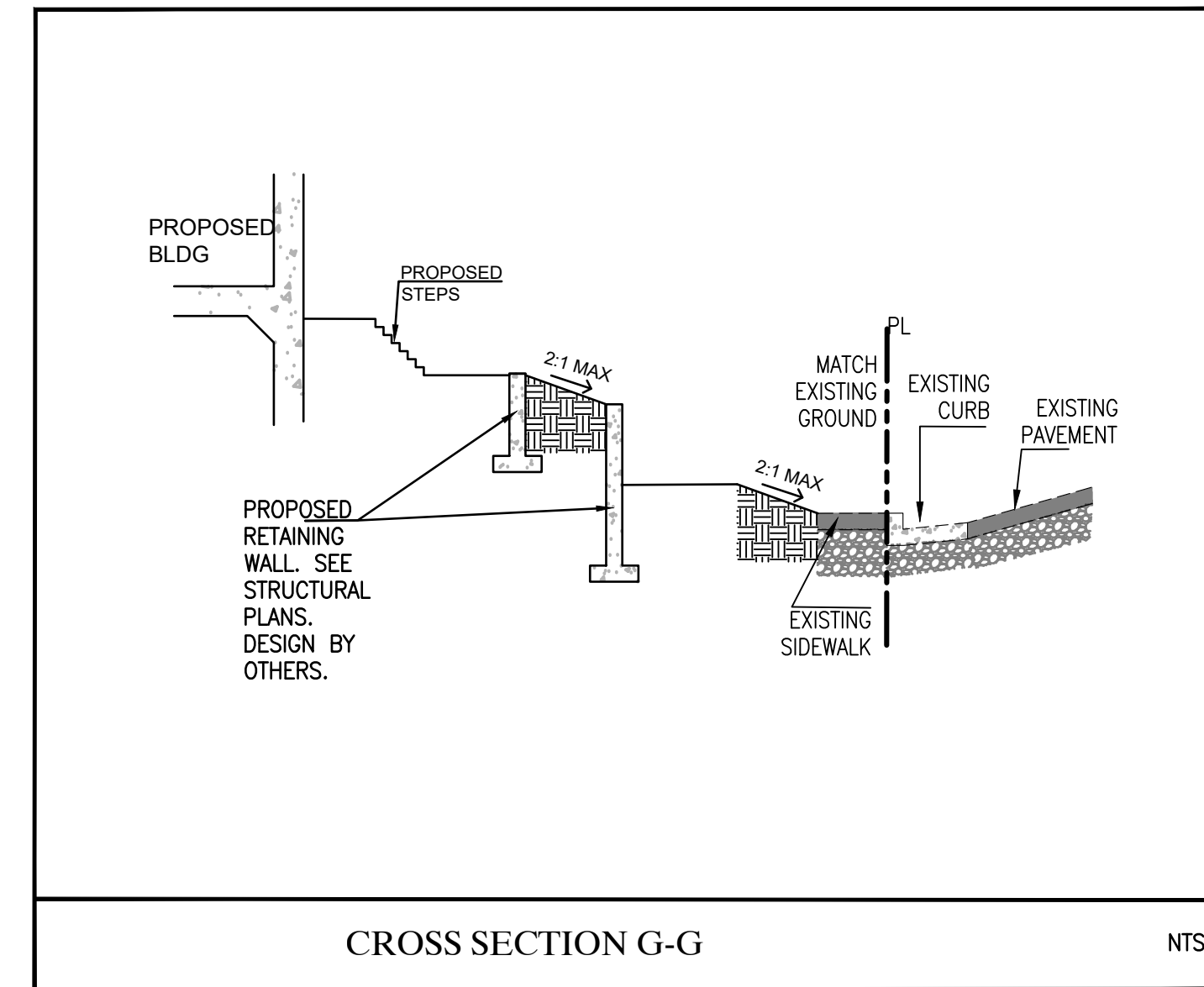
CROSS SECTION E-E

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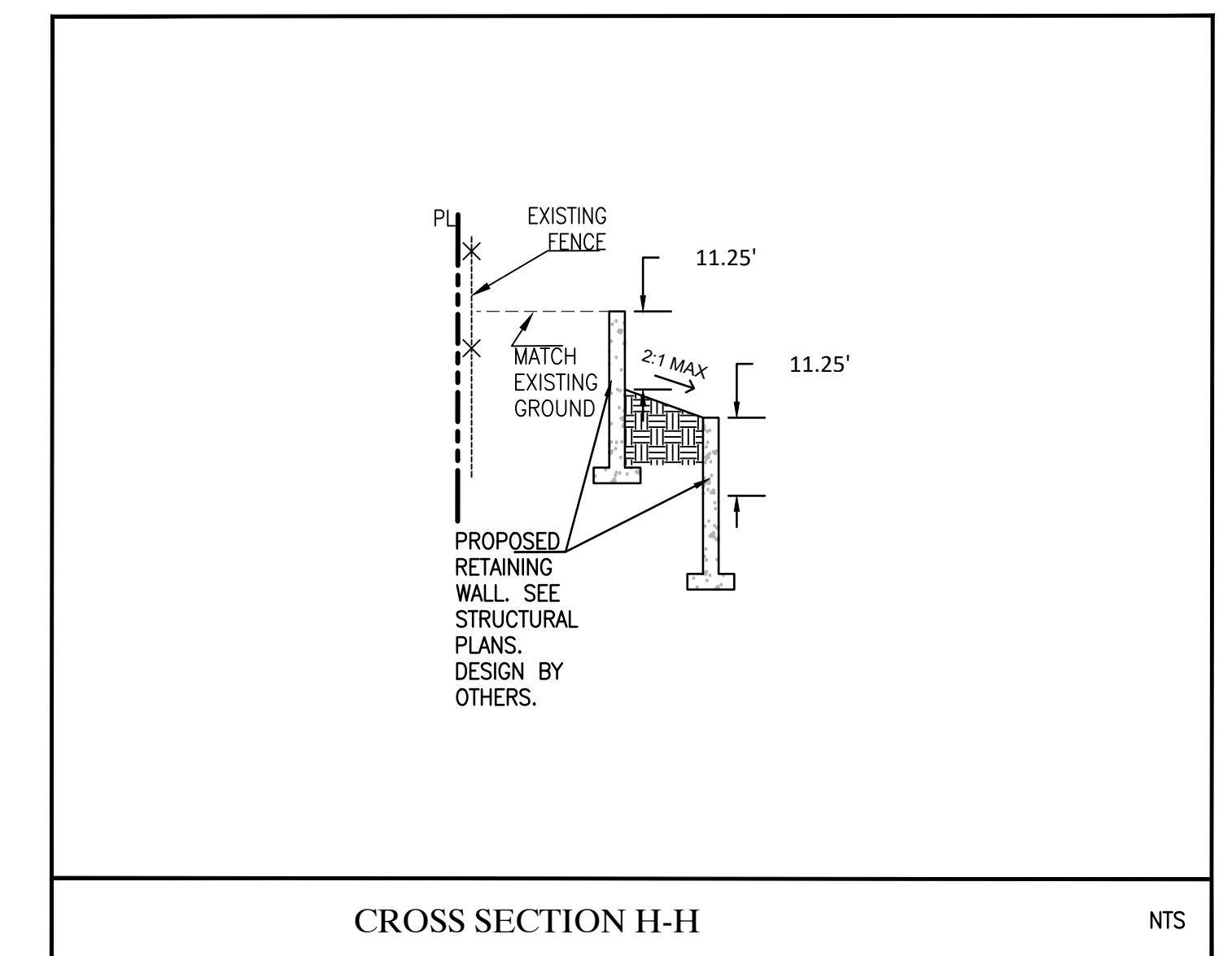
CROSS SECTION F-F

NTS



CROSS SECTION G-G

NTS



CROSS SECTION H-H

NTS

BENCHMARK ELEVATION: \_\_\_\_\_

**JTS** ENGINEERING  
CONSULTANTS, INC.  
1808 J STREET  
SACRAMENTO, CALIFORNIA 95811 TEL: (916) 441-6708

DESIGNED: \_\_\_\_\_ SCALE: \_\_\_\_\_  
DRAWN: \_\_\_\_\_ H: 1"=10'  
CHECKED: PHYA V: \_\_\_\_\_  
SUBMITTED: PASTOR H. Y. ABEJUOLA III RCE: 94339

NO.	DESCRIPTION	ENGR INIT	APPROVAL	
			BY	DATE

CITY OF ROCKLIN

PRELIMINARY CROSS SECTIONS  
3934 RAWHIDE RD

APN: 030-210-049

CALIFORNIA

DATE: 07/25/2025  
SHEET  
**C3**  
OF 3



GLOBAL ARCH INC.  
 800 ATLANTIC STREET  
 ROSEVILLE, CA 95678  
 TEL: (916)205-2425



PERSPECTIVES  
 NEW RESIDENCE  
 3934 RAWHIDE RD.  
 ROCKLIN, CA 95677



REVISIONS

NO.	DATE

DRAWN BY: S.S.

*S.S.*

REV. BY: AC

*AC*









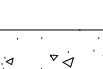
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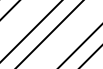

SHEET #



P-1

**SYMBOL LEGEND:**

**NEW LANDSCAPING**

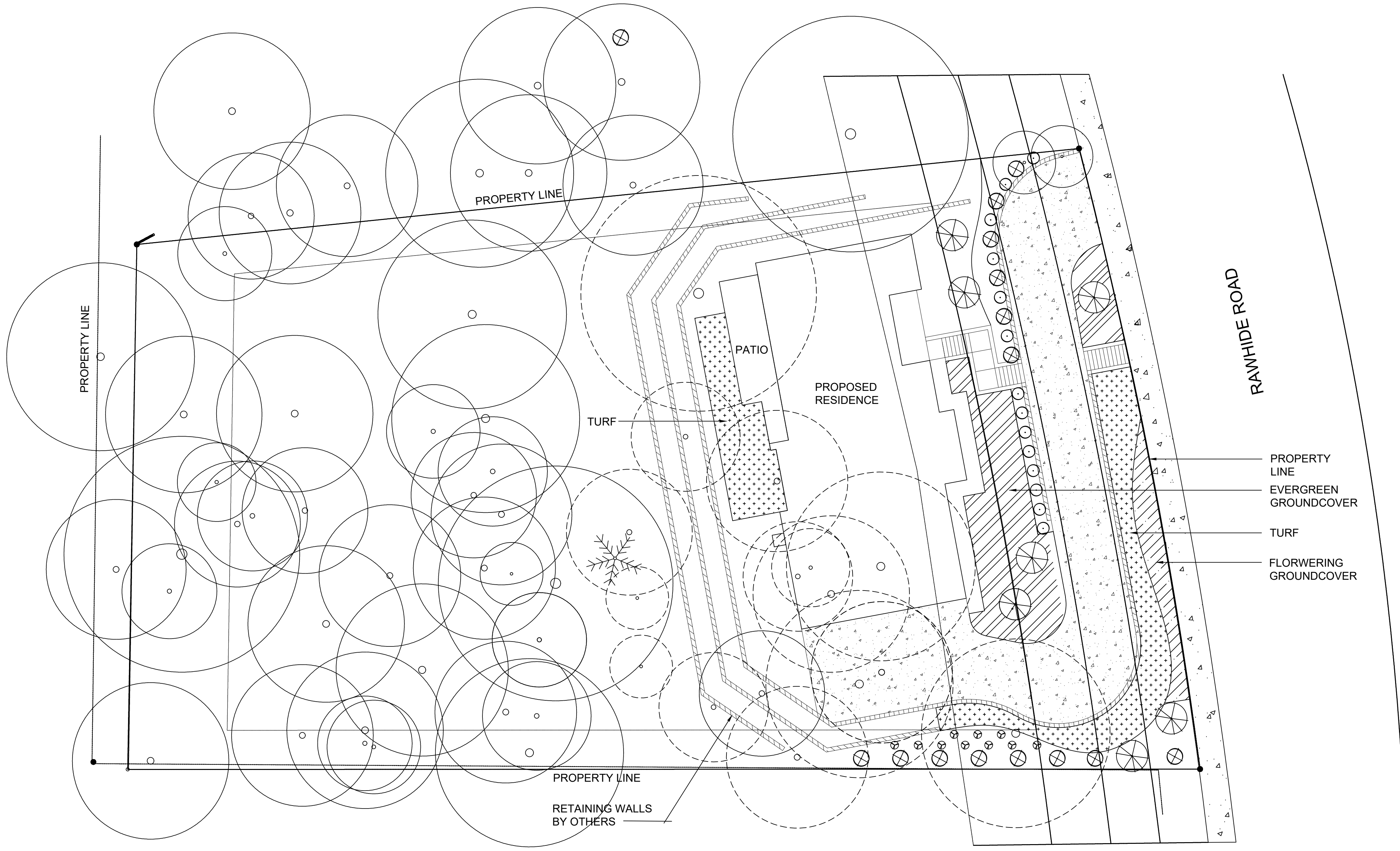
-  **Pistacia chinensis 'Keith Davey'**  
Keith Davey Chinese Pistache
-  **Arbutus 'Marina'**  
Marina Strawberry Tree
-  **Cercis occidentalis**  
Western Redbud
-  **Cercis canadensis 'Merlot'**  
Merlot Rosebud Tree
-  **Dianella revoluta**  
Flax Lilly
-  **Diets iridioides**  
Fortnight Lily
-  **Cistus x fernandesiae**  
Anne Palmer Rockrose
-  **Muhlenbergia rigens**  
Deer Grass
-  **Nandina domestica 'Aka'**  
Blush Pink Heavenly Bamboo

-  **PAVING**
-  **TURF**  
**Agrostis Pallens**  
Bentgrass
-  **EVERGREEN GROUNDCOVER**  
**Festuca glauca**  
Bouler Blue Fescue
-  **EVERGREEN GROUNDCOVER**  
**Arctostaphylos 'Emerald Carpet'**  
Emerald Carpet Manzanita
-  **FLOWERING GROUNDCOVER**  
**Epilobium canum**  
California Fuchsia

-  **EXISTING TREE TO REMAIN**
-  **TREE TO BE REMOVED**

**NOTES:**

1. ALL TREE, SHRUB AND TURF SELECTIONS TO BE LOW WATER USE



**PRELIMINARY LANDSCAPE PLAN**  
 1/16" = 1'-0"

**REVISIONS**

NO.	DATE

DRAWN BY: S.S.  
 REV. BY: AC  
 DATE: 03/11/2021

**SHEET #**

**L1.0**