



New Project Information

The City of Rocklin is processing the below referenced application(s) for project approval. The request is now being reviewed for compliance with the requirements and regulations of relevant City, State, and Federal agencies, and Utility providers. Once any issues have been resolved a hearing date will be set and public notice provided to alert neighbors and interested parties of the hearing date, availability of project information, the opportunity to comment on the project.

Application Received: October 28, 2024

Project Name and Requested Approvals:

Whitney Walk

- Tentative Subdivision Map (SD2024-0001)
- Design Review (DR2024-0005)
- Oak Tree Preservation Permit (TRE2024-0001)

Staff Description of Project:

SB 330 Application – strict timelines required by law. Request for approval of a Tentative Subdivision Map (SD2024-0001) to create 60 detached and 55 attached single-family lots. Design Review (DR2024-0005) to allow for the development of a 115 separate one- and two-unit buildings on 12.85 total acres.

Location:

The project site is located west of Whitney Boulevard/Sunset Boulevard intersection. The Assessor's Parcel Numbers (APNs) are 016-210-011 and 016-240-044.

Land Use Designation(s)/Zoning:

The property is designated HDR on 12.85 acres. The property is zoned PD-R on 10.5 acres and OS on 2.35 acres.

This project does / XX does not require modification or change of the land use designations and regulations currently applicable to the project site.

Compliance with the California Environmental Quality Act:

A preliminary review of this project pursuant to the California Environmental Quality Act (CEQA) has tentatively identified that the project will be analyzed through a Mitigation Negative Declaration.

Applicant & Property Owner:

The property owner is Whitney Sunset 14 LLC. The applicant is Parish & Associates

Attached Information:

For additional detail, please visit the following link:

<https://www.rocklin.ca.us/post/>

2020
INDEX TO CITY OF ROCKLIN UNIVERSAL APPLICATION DOCUMENTS

A. Documents to be completed and returned with all applications

- I. Application Submittal Requirements / Check-In Sheet
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- V. Department of Fish and Game Filing Fee Notice
- VI. Hazardous Waste & Substances Statement
- VII. Mitigation for Air Quality Impacts
- VIII. Environmental Information Form
- IX. Formatting Requirements and Minimum Information to be Included on Exhibits

B. Reference Information

- XI. City of Rocklin Community Development Reference Directory
- XII. Memorandum from City Engineer regarding maps and lot line adjustments
- XIII. Post-Construction Low Impact Development (LID) Information Sheet
- XIV. Fire Civil Plan Review Information Sheet

APPLICATION SUBMITTAL REQUIREMENTS / CHECK-IN SHEET

To be Returned with the Application Package

To be Completed by Staff Planner (Completed by: AL per letter dated 8/11/24)

Project Name: Whitney Walk Date: 10/18/2024

Required*	FORMS & DOCUMENTS:	Received
✓	Completed Application Form (p. 3-5)	
✓	Completed Agent Authorization Form (one per authorized agent) (p. 6)	
✓	Completed Notification of Owners of Mineral Rights (p. 7)	
✓	Completed Notice of Department of Fish and Game Filing Fees (p. 8)	
✓	Completed Hazardous Waste and Substances Statement (p. 9)	
✓	Completed Mitigation for Air Quality Impacts Statement (p. 10-11)	
✓	Completed Environmental Information Sheet (p. 12-16)	
✓	Completed Formatting and Minimum Requirements checklist (p. 17-23)	
✓	One Preliminary Title Report for all subject properties (current within six months)	
✓	Soil Report	
	STANDARD EXHIBIT SETS:	
✓	One CD or USB Flash Drive of All Project Exhibits and submission materials	
✓	Two Sets 11" x 17" Reductions of All Project Exhibits for the initial submittal	
	<i>** All plan sets to be collated, stapled into single sets, and folded to 8-1/2" x 11"</i>	
	<i>Exhibit Sets to include the following sheets as applicable:</i>	
✓	Site Plan	
✓	Preliminary Grading and Drainage	
✓	Preliminary Landscape Plan (include symbols, quantities, botanical names, container sizes, and average height based on American Standards for Nursery Stock)	
✓	Elevations of All Four Sides of All Buildings	
✓	Architectural and Site Details (trash enclosures, bike racks, special building treatments)	
✓	Building Sections and Roof Plans	
✓	Rough Floor Plans	
N/A	Elevations of Sign Design	
✓	A Stormwater Control Plan and draft Operation and Maintenance Plan consistent with the requirements of the City of Rocklin Post Construction LID Manual (www.rocklin.ca.us/LID)	
✓	Tentative Map (separate set from design review/use permit, if applicable)	
	SPECIAL EXHIBITS:	
✓	Color and Material Boards for Buildings and Signs (maximum size: 8½" x14")	
✓	Colored Building Elevations	
N/A	Colored Sign Elevations	
	Colored Landscaping Plan to be provided prior to hearing	

✓	Color Renderings (11" x 17" Reductions)	
N/A	Photo-simulations (11" x 17" Reductions)	
	ADDITIONAL INFORMATION (as may be required; may include, but is not limited to, the following):	
✓	Tree Survey/Arborist Report	
✓	Wetland/Riparian Delineation	
✓	Archeological/Cultural Survey	
✓	Traffic Study	
✓	Phase 1 Site Assessment	
N/A	Photometric Study	
✓	Noise Study	
✓	Air Quality / Green House Gas	
✓	Preliminary Drainage Report & SWQ Plan	

* Unless waived by a Staff Planner

Additional Submittal Information

- Note 1:** All use permits and design review applications shall include a site plan, building exterior elevations, preliminary landscape plans, rough floor plans, preliminary grading plans, a color and materials board, and colored elevations and landscaping plans.
- Note 2:** The applicant shall be responsible for contacting the Army Corps of Engineers, to determine whether a wetland delineation is needed, and the Fish and Game Department, regarding floodplains and riparian areas, prior to application submittal.
- Note 3:** Any dedication resulting in transfer of ownership from a private party to the City will require a Phase One Hazardous Materials Study in accordance with current ASTM standards and shall be transferred with free and clear title.
- Note 4:** The City requests that the property owner or property manager notify tenants of the proposed project and the date, time, and location of the public hearing.
- Note 5:** Applicants are strongly encouraged to conduct neighborhood and/or property owners association meetings prior to the City scheduling the project for public hearing.



City of Rocklin

Planning Division
3970 Rocklin Road
Rocklin, California 95677
Phone (916) 625-5160 FAX (916) 625-5195

UNIVERSAL APPLICATION FORM

NAME OF PROJECT: Whitney Walk

LOCATION: South of Sunset Blvd on the East & West side of S. Whitney Blvd

ASSESSOR'S PARCEL NUMBERS: 016-210-011, 016-240-044 & 039

DATE OF APPLICATION (STAFF): _____ RECEIVED BY (STAFF INITIALS): _____

FILE NUMBERS (STAFF): _____ FEES: _____

RECEIPT NO.: _____

Pre-Application Meeting Requirements:

It is required that a pre-application meeting be held with a Staff Planner prior to submitting most applications for planning entitlements and permits. The purpose of the pre-application meeting is to expedite application processing by enabling staff to work with the applicant to assure that the officially submitted application materials are in the proper format and that the applicant understands the City of Rocklin's goals, policies, and ordinances that may affect the project. A copy of these and other planning provisions is available at the applicant's request.

Generally, two sets of preliminary plans and a written description of the proposed project should be brought with the applicant to the pre-application meeting. To schedule this meeting, please contact a Staff Planner at the Rocklin Community Development Department by calling (916) 625-5160.

DATE OF PRE-APPLICATION MEETING: 8/14/24 Letter from AL

THIS APPLICATION IS FOR THE FOLLOWING ENTITLEMENTS: (CHECK APPROPRIATE SQUARES)

- | | | |
|---|---|---|
| <input type="checkbox"/> General Plan Amendment (GPA)
Fee: | <input checked="" type="checkbox"/> Tentative Subdivision Map (SD)
Fee:) | <input type="checkbox"/> Use Permit (U)
<input type="checkbox"/> Minor (PC Approval – New Bldg) Fee:
<input type="checkbox"/> Minor (PC Approval – Existing Bldg) Fee:
<input type="checkbox"/> Major (CC Approval) Fee: |
| <input type="checkbox"/> BARRO Zone Application (BZ)
Fee: | <input type="checkbox"/> Tentative Parcel Map (DL)
Fee: | <input type="checkbox"/> Variance (V)
Fee: |
| <input type="checkbox"/> Rezone (Reclassification) (Z)
Fee: | <input checked="" type="checkbox"/> Design Review (DR)
Commercial Fee:
Residential Fee:
Signs Fee: | <input checked="" type="checkbox"/> Oak Tree Preservation Plan Permit
Planning Commission Fee:
City Council Fee: |
| <input type="checkbox"/> General Development Plan (PDG)
Fee: | | <input type="checkbox"/> Modification to Approved Projects
Fee: |
| <input checked="" type="checkbox"/> Concurrent Application (2 or more entitlements)
Fee: \$20,924 | | |

File Number _____

Environmental Requirements: (STAFF)

- ☐ Exempt -
☐ Negative Declaration -

- ☒ Mitigated Negative Declaration – **\$8,057**
☐ EIR – See Fee Schedule

UNIVERSAL APPLICATION FORM (CONT.)

GENERAL PLAN DESIGNATION:	PROPERTY DATA:	UTILITIES:	
Existing: <u>HDR</u>	Acres: <u>12.85 AC</u>	EXISTING	PROPOSED
Proposed: <u>HDR</u>	Square Feet: _____	<input checked="" type="checkbox"/> Pub. Sewer	<input checked="" type="checkbox"/> Pub. Sewer
Zoning:	Dimensions: <u>700'x850'</u>	<input type="checkbox"/> Septic Sewer	<input type="checkbox"/> Septic Sewer
Existing: <u>PD-R</u>	No. of Units: <u>170</u>	<input checked="" type="checkbox"/> Pub. Water	<input checked="" type="checkbox"/> Pub. Water
Proposed: <u>PD-R</u>	Building Size: <u>1,593-1,788 SF SFR</u> <u>1,230-1,767 SF Duets</u>	<input type="checkbox"/> Well Water	<input type="checkbox"/> Well Water
	Proposed Parking: <u>354 spaces</u>	<input checked="" type="checkbox"/> Electricity	<input checked="" type="checkbox"/> Electricity
	Required Parking: <u>340 spaces</u>	<input checked="" type="checkbox"/> Gas	<input type="checkbox"/> Gas
	Access: _____	<input checked="" type="checkbox"/> Cable	<input checked="" type="checkbox"/> Cable

PROJECT REQUEST: _____

Project is proposing 60 single family high density lots and 110 units that are duets.

The site will have public streets and public utilities. No required zone change or general plan update. This is a requirement to update the general development standards. This application includes a Design Review request, Oak Tree preservation plan, Tentative Subdivision Map, and Tentative Condominium Map. This application is associated with a SB330 application previously submitted.

(Example: Request for approval of design review to construct a 10,000 square foot office building on 1.5 acres)

NOTE: Annexations, Lot Line Adjustments, and Rocklin Ranch Industrial Park Specific Plan Use Permits require special application forms and additional submittal information available from the Planning Division.

UNIVERSAL APPLICATION FORM (CONT.)

PLEASE PRINT OR TYPE:

NAME OF PROPERTY OWNER: Whitney Sunset 14, LLC (c/o Peter Saetes)

ADDRESS: 1031 Roseville Parkway #148

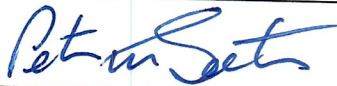
CITY: Roseville STATE: CA ZIP: 95678

PHONE NUMBER: (916) 628-7778

EMAIL ADDRESS: peter@saetesinvestments.com

FAX NUMBER: _____

SIGNATURE OF OWNER



(Signature Authorizing Application; provide owner's signature letter if signature is other than property owner.)

NAME OF APPLICANT

(If different than owner): Parish & Associates

CONTACT: Robert Parish

ADDRESS P.O. Box 6567

CITY: Auburn STATE: CA ZIP: 95604

PHONE NUMBER: (916) 802-4771

EMAIL ADDRESS: rob@parish-associates.com

FAX NUMBER: _____

SIGNATURE OF APPLICANT _____

UNIVERSAL APPLICATION FORM (CONT.)

PLEASE PRINT OR TYPE:

NAME OF PROPERTY OWNER: Whitney Sunset 14, LLC (c/o Peter Saetes)

ADDRESS: 1031 Roseville Parkway #148

CITY: Roseville STATE: CA ZIP: 95678

PHONE NUMBER: (916) 628-7778

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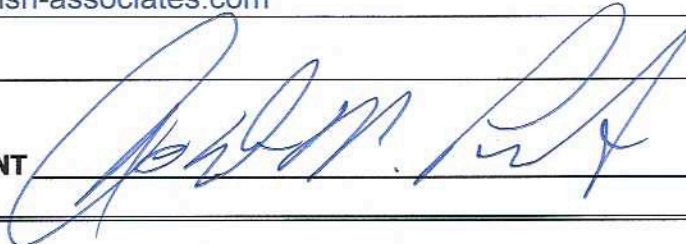
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PHONE NUMBER: (916) 802-4771

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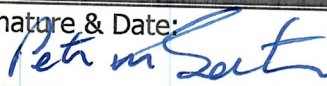
FAX NUMBER: _____

SIGNATURE OF APPLICANT



AGENT AUTHORIZATION FORM

Property owners desiring to authorize individuals to represent them in conjunction with any application or matter before the City shall provide written authorization using this form. A separate form shall be used for each individual or firm authorized, and shall specifically note any restrictions upon the authorized person.

Project Name: Whitney Walk
Location: South of Sunset Blvd on the East & West side of S. Whitney Blvd
Assessors Parcel Number(s): 016-210-011, 016-240-044 & 039
Entitlements for which authorization is applicable (use permit, variance, tentative map, etc.): Tentative Subdivision Map, Tentative Condominium Map, Design Review, Oak Tree Preservation Plan
Name of person and / or firm authorized to represent property owner (Please print): Parish & Associates; Robert Parish
Address (Including City, State, and Zip Code): P.O. Box 6567, Auburn, CA 95604
Phone Number: (916) 802-4771
Fax Number:
Email Address: rob@parish-associates.com
The above named person or firm is authorized as: Agent (<input checked="" type="checkbox"/>) Buyer (<input type="checkbox"/>) Lessee (<input type="checkbox"/>)
The above named person or firm is authorized to (check all that are applicable): (<input checked="" type="checkbox"/>) File any and all papers in conjunction with the aforementioned request, including signing the application (<input checked="" type="checkbox"/>) Speak on behalf of and represent the owner at any Staff meeting and/or public hearing. (<input checked="" type="checkbox"/>) Sign any and all papers in my stead, with the exception of the application form.
The duration and validity of this authorization shall be: (<input checked="" type="checkbox"/>) Unrestricted (<input type="checkbox"/>) Valid until:
Owners Authorization Signature & Date:  10/22/24
Owners Name (Please Print): Peter Saetes
Owners Address (Including City, State, and Zip Code): 1031 Roseville Parkway, #148 Roseville, CA 95678
Phone Number: (916) 628-7778
Email Address: peter@saetesinvestments.com

NOTIFICATION OF OWNERS OF MINERAL RIGHTS

Government Code section 6509a(a)(2) states that if the Subdivision Map Act requires notice to be given pursuant to Section 65091, in addition to noticing the surrounding property owners, notice must also be given to anyone who has filed with the County recorder's office a "notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code" on the subject property.

Therefore, mailing labels must be provided with this application for any owner of a mineral right pertaining to the subject real property who has recorded a notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code (Subdivision Map Act Section 65091(a)(2)).

See page 24 of this application for instructions on how to submit mailing labels.

Section 65091(a)(2)

"(2) When the Subdivision Map Act (Div. d 9commencing with Section 66410)) requires notice of a public hearing to be given pursuant to this section, notice shall also be given to any owner of a mineral right pertaining to the subject property who has recorded a notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code."

There **are** / **are not** (circle one) owner(s) of record of preserved mineral rights on the subject property and I, Robert Parish, the applicant or applicant's representative, **have** / **have not** (circle one) provided the name and mailing address of record for any and all owners of mineral rights pursuant to Section 883.230 of the Civil Code.

 10-24-24
Signature Date

**STATE OF CALIFORNIA
DEPARTMENT OF FISH AND GAME
FILING FEES**

In 1990, the State adopted a fee pursuant to AB 3158 for the review of environmental documentation by the State Department of Fish and Game. Subsequently, in 1991, the fees were challenged. Then, in June 1995, the Department of Fish and Game instructed the jurisdictions to stop collecting fees. Following a great deal of court action and in a memorandum dated February 26, 1996, the State Clearinghouse, Office of Planning and Research, stated that the fees must again be collected.

On September 29, 2006, Senate Bill 1535 was passed increasing the amounts of filing fees collected by the Department, and requires the Department to adjust the fees annually pursuant to Fish and Game Code Section 713.

As of January 1, 2020, State law requires all applicants who have a Notice of Determination filed for a Negative Declaration to pay a \$2,406.75 fee and those with a Notice of Determination for an Environmental Impact Report to pay a \$3,343.25 fee. Both types must pay an additional \$50.00 administrative fee making the total fees \$2,456.75 and \$3,393.25 respectively. Applicants whose projects require the filing of a Notice of Exemption will need to pay a \$50.00 administrative fee. The City will notify each applicant which of the fees must be paid.

PLEASE NOTE: Effective January 1, 2008, the fee exemption for projects determined to have a *De Minimis Impact Finding* has been eliminated. (Section 711.4 Fish and Game Code).

The Fish and Game filing fee must be paid prior to the filing of the Notice of Determination with the County Clerk. Since the CEQA law requires a Notice of Determination to be filed with the County within 5 days of an action by the City, all applicants must remit to the City the necessary fee amount no later than the day of the final scheduled public hearing for the proposed project.

PLEASE MAKE ALL CHECKS PAYABLE TO PLACER COUNTY.

If you have any questions regarding this matter, please do not hesitate to contact the Planning Department at (916) 625-5160. Upon review of the above, please sign and return this document with your application.

I, Robert Parish, the applicant or applicant's representative, have read the information above and understand its meaning.

Signature

Date

HAZARDOUS WASTE AND SUBSTANCES STATEMENT

Pursuant to California Government Code Section 56962.5, I have consulted the Hazardous Waste and Substances Sites List (Cortese List), consolidated by the State of California, Environmental Protection Agency and find that;

The project, including any alternatives, _____ is, ☒ is not (check which applies) located on a site which is included on the Hazardous Waste and Substances Sites List (Cortese List). If on the list, provide the following information:

Regulatory identification number: _____ Date of list: _____

Type of problem: _____

I declare under penalty of perjury of the laws of the State of California that the foregoing is true and correct.

Dated: 10-24-20

Applicant: 

Applicants can verify this information by reviewing the Hazardous Waste and Substances Sites List (Cortese List), available for review at the City of Rocklin Planning Department counter, or at the California Department of Toxic Substance Control web site:

<http://www.calepa.ca.gov/SiteCleanup/CorteseList/default.htm>

MITIGATION FOR AIR QUALITY IMPACTS

The US Environmental Protection Agency (EPA) and the California Air Resources Board (CARB) have established air quality standards, referred to as the National Ambient Air Quality Standards (NAAQS) and the State Ambient Air Quality Standards (SAAQS) respectively. The federal Clean Air Act and State Clean Air Act both require that areas in violation of the ambient air quality standards adopt strategies to attain these standards. The Placer County Air Pollution Control District (APCD) has primary responsibility for planning and maintenance and/or attainment of air quality standards within Placer County. California is divided into 15 air basins for the purpose of monitoring air quality. Placer County is included in the Sacramento Valley Air Basin. Areas may be classified as attainment, non-attainment, or unclassified with regard to the adopted standards. The unclassified designation is assigned in cases where monitoring data is insufficient to make a definitive determination. Under the federal standards, all of Placer County, including Rocklin, is designated as non-attainment for ozone. All other pollutants are designated unclassified in Rocklin. Under the state standards, South Placer, including Rocklin, is designated as non attainment for ozone and PM10 and unclassified for hydrogen sulfide and visibility reducing particulate.

The project would have the following short-term construction impacts, if not mitigated:

- a. Construction activities, including grading, would generate a variety of pollutants, the most significant of which would be dust (PM10). This would exacerbate the existing PM10 non attainment condition if not mitigated.
- b. Construction equipment would produce short-term combustion emissions, and asphalt materials used for streets and driveways would produce pollutants during curing.

The mitigation measures listed below will reduce the short term impacts to less-than-significant. In the long-term, vehicle trips to and from the project site would generate Carbon Monoxide and ozone precursor emissions, thereby contributing to the non-attainment status of the local air basin. These incremental and cumulative adverse air quality impacts cannot be completely mitigated. However, these impacts were anticipated by the City of Rocklin General Plan, and were addressed through the 1991 Rocklin General Plan EIR and the North Rocklin Circulation and Traffic Study. Findings of overriding significance were adopted for the unmitigatable and unavoidable significant air quality impacts.

Therefore, I, as the applicant for the proposed project, agree that the mitigation measures listed below are incorporated as a part of my project description in order to mitigate for the short term impacts.

MITIGATION FOR AIR QUALITY IMPACTS (CONT.)

MITIGATIONS

1. The project shall conform with the requirements of the Placer County APCD.
2. Prior to commencement of grading, the applicant shall submit a dust control plan for approval by the City Engineer and the Placer County Air Pollution Control District. The plans shall specify measures to reduce dust pollution during all phases of construction.
3. Traffic speeds on all unpaved road surfaces shall be posted at 25 m.p.h. or less.
4. All grading operations shall be suspended when wind speeds exceed 25 m.p.h.
5. All trucks leaving the site shall be washed off to eliminate dust and debris.
6. All construction equipment shall be maintained in clean condition.
7. All exposed surfaces shall be revegetated as quickly as feasible.
8. If fill dirt is brought to the construction site, tarps or soil stabilizers shall be placed on the dirt piles to minimize dust problems.
9. Apply water or dust palliatives on all exposed earth surfaces as necessary to control dust. Construction contracts shall include dust control treatment as frequently as necessary to minimize dust.
10. Construction equipment shall be properly maintained and tuned.
11. Utilize low emission mobile construction equipment where possible.
12. Open burning of vegetative material is prohibited.

Robert Parish

Applicant's Name (printed)

Applicant's Signature

Date



City of Rocklin

Planning Division

3970 Rocklin Road

Rocklin, California 95677

Phone (916) 625-5160 FAX (916) 625-5195

ENVIRONMENTAL INFORMATION SHEET

(To be completed by
applicant)

LOCATION OF PROJECT (ADDRESS) South of Sunset Blvd on the East & West side of S. Whitney Blvd

ASSESSORS PARCEL # 016-210-011, 016-240-044 & 039

NAME OF PROJECT Whitney Walk

CONTACT/APPLICANT Robert Parish

ADDRESS P.O. Box 6567, Auburn, CA 95604

PHONE (916) 802-4771

EMAIL rob@parish-associates.com

Project Description - Describe in detail. Add separate sheet if necessary.

Project is proposing 60 single family high density lots and 110 units that are duets.

The site will have public streets and public utilities. No required zone change or general

plan update. This is a requirement to update the general development standards. This

application includes a Design Review request, Oak Tree preservation plan, Tentative

Subdivision Map, and Tentative Condominium Map. This application is associated with

a SB330 application previously submitted.

Property size:

Square Feet

12.85 ac

Acres

Land Use:

Vacant

Residential

Existing

Proposed

RELATED PROJECTS: If this project is a part or portion of a larger project, describe the previous project by name, general development plan number, or other project identification. _____

PREVIOUS ENVIRONMENTAL DOCUMENTS: If this project is part of a larger project for which a negative declaration or an environmental impact report has been prepared and certified, reference the document below. Include the date and SCH#, if possible: DR2015-144, MND2015-142, PDG2013-03, Z2013-04 SD2015-143

OTHER REQUIRED PERMITS OR APPROVALS:

Permit or Approval

Agency

Address

Contact Person/Phone

PREVIOUS LAND USES: Describe existing and previous land uses of the site for the last 10 years or more: Vacant

SITE CHARACTERISTICS

1. What natural features (trees, rock outcroppings etc.) presently exist on the site?
Oak Trees & native grasses

2. What are the surrounding land uses?
East Open Space West residential North residential & commercial South residential
3. Is the project proposed on land which contains fill or a slope of 10% or more? Yes
4. Are there any existing erosion problems? No
5. Is the site on expansive soils (as defined in Table 18 of the UBC) or immediately adjoining an area subject to slides, liquefaction, slope instability or other related hazards? No
If so, describe in detail, or refer to attached soils report.

6. Grading, excavating or filling activities - Quantity of cubic yards to be:
 - a. Moved within the site +/- 28,050 cy
 - b. Deposited on the site _____
 - c. Removed from the site +/- 22,335 cyDisposal site unknown at this time
7. Are there any streams or permanent water courses on the site? No, adjacent to the site
Describe East of site is existing Antelope Creek

8. Will the proposed project change drainage patterns or the quality of groundwater? NO
If so explain. If not, why not. _____

9. Will the project affect any drainage channel, creek, pond or any other water body? NO
Describe below: _____

10. Is any portion of the property located in a flood plain? YES
If so describe Lot J - Open Space lot
11. Are there any jurisdictional wetlands or vernal pools on the site? If so how will they be impacted by the project? NO
12. Are there any trees or shrubs on the project site? YES
What types? OAKS
Are any to be removed or transplanted? YES
State the location of transplant site: _____
State the number & species to be removed: SEE ARBORIST REPORT
13. Will the project affect the habitat of any endangered, threatened, or other special status species?
NO
14. Will the project result in any new noise source, or will it place new residents in an area of high traffic noise or noise from any other source? NO
15. What type of equipment will be associated with the project during construction?
Earthmoving excavators, dozers, scrapers, compactors, paving machine, etc
During permanent operation? None
16. Describe any air pollutants, other than vehicle exhaust, which would be generated by this project, both during and after construction. Dust particulates are considered pollutants.
Minimal Dust
17. Will the project produce new sources of dust, ash, smoke, fumes or objectionable odor? If yes, NO describe the source of the emission, methods to control emissions and means of mitigating those effects on adjacent properties: _____
18. Will the project create any new light source, other than street lighting? If yes, describe below:
NO
19. Is this property covered by a Williamson Act contract? NO
20. Has this property ever been used for agricultural purposes? NO If so, for what purpose and when? _____
21. Does the project involve the use of routine transport or disposal of hazardous materials?
NO
22. Are there any known mineral resources of value to the region and the residents of the state located on the site? If so, what types? NO
23. How close is the nearest school? 0.6 miles - Anelope Creek Elementary School

24. PROPOSED BUILDING CHARACTERISTICS (BOTH RESIDENTIAL AND NON-RESIDENTIAL)

Size of new structure(s) or addition in gross square feet: See architectural plans

Building height measured from ground to highest point in feet: See Architectural plans

Number of floors/stories: 2 and 3 stories

Height of other appurtenances (antennas, steeples, mechanical equipment, etc.) measured from ground: see architectural plans

Project site coverage: Building 139,422 sq.ft. 29.8 %

Landscaping 214,495 sq.ft. 45.9 %

Paving 113,627 sq.ft. 24.3 %

Exterior building materials: see architectural plans

Exterior building colors: see architectural plans

Wall and/or fencing material: Rock retaining, CMU retaining, Basalite Block

Total number of off-street parking spaces required: 340 Provided: 354

Total number of bicycle parking spaces: unlimited in Garages

25. Is there any exposed mechanical equipment associated with the project? see architectural plans

Location and screening method screened on roof

26. RESIDENTIAL PROJECTS

Total lots 115 Total dwelling units 170

Density/acre 16.7 Total acreage 12.85

	Single Family	Two Family	Multi-Family (More than 2 units)
Number of Units	<u>60</u>	<u>55</u>	
Size of lot/unit	<u>1,855 min</u>	<u>2,054 min</u>	
Studio			
1 Bedroom			
2 Bedroom		<u>1,230-1,520sf</u>	
3 Bedroom	<u>1,593-1,788 sf</u>	<u>1,767 sf</u>	
4+ Bedroom			

27. RETAIL, COMMERCIAL, INDUSTRIAL, INSTITUTIONAL OR OTHER PROJECT

Type of use(s): _____

Oriented to: Regional _____ City _____ Neighborhood _____

Hours of operation: _____

Total occupancy/Building capacity: _____

Gross floor area: _____ Number of fixed seats: _____

Number of employees (total): _____ Employees per shift: _____ Number of Shifts _____

Number of visitors/customers on site at busiest time (best estimate): _____

Other occupants (specify): _____

ALL PROJECTS

28. Approximately how many tons of solid waste will the project produce each year? +/- 340 tons

29. Will the proposed use involve any toxic or hazardous material? NO
Is the project site within 2,000 feet of an identified hazardous/toxic site? NO
Is the project site within 2,000 feet of a school or hospital? NO
If the project involves any hazardous material, explain: _____

30. How many new residents is the project estimated to generate? +/- 510
31. Will the project generate a demand for additional housing? NO
32. What is the current and estimated number of motor vehicles to arrive at the site as a result of the project? 0 current 112 estimated
33. Could the project increase traffic hazards to motor vehicles, bicyclists or pedestrians? NO
If yes, explain _____
34. How close is the project to the nearest public park or recreation area? 1.0 miles Johnson Springview Park
35. What school districts will be affected by this project? Rocklin Unified School District
36. Describe energy-efficient features included in the project. Solar

37. Describe how the following services or utilities will be provided:
Power and Natural Gas Underground off S. Whiteny
Telephone Underground off S. Whiteny
Water Underground off S. Whiteny & Chalmette Ct
Sewer Underground off S. Whiteny
Storm Drainage Underground off S. Whiteny
Solid Waste individual trash totters
38. Will the project block any vista or view currently enjoyed by the public? NO
39. Are there any known historic or significant building features on or near the site? If so, will the project result in any impact to the building? NO
40. Are there any archaeological features on the site? NO If so, will the project result in any impact to these features? _____

FORMATTING AND MINIMUM INFORMATION REQUIREMENTS

To Be Completed By Applicant

INSTRUCTIONS: The following are the formatting and minimum information requirements for the applicable exhibits and documents submitted as a part of all applications. Please check off the line indicating the information has been included and / or formatting requirements met and **submit this checklist with your application**. Mark the line *N/A* if the item is not applicable.

EXHIBIT SETS (Copies of all project drawings stapled together as follows, except tentative maps)

- ☒ 1. All project maps and drawings collated together
- ☒ 2. Sets stapled together along the left margin
- ☒ 3. Each set folded to 8-1/2" x 11" (If there are too many sheets to staple and fold to 8 1/2" x 11" in a single set the plan sets may be broken into two to three subsets, each subset to be stapled, folded to 8 1/2" x 11", and labeled as "1 of ___", "2 of ___", etc. as appropriate, and the subsets rubber banded together into units.)
- ☒ 4. Full sized and 11" x 17" reduced sets collated in the same order and including the same sheets
- ☒ 5. All sheets in the 11" x 17" reduced sets clearly legible
- ☒ 6. For the initial submittal and re-submittals, provide ~~2 sets of full size~~ and 2 sets of 11" x 17" reduced size drawings (Additional copies to be provided when requested by the City for referral and final, pre-hearing submittals.)

COLORED EXHIBITS (Full size drawings, colored)

- ☒ 1. Exhibits rolled not mounted
- ☒ 2. Colors as close as possible to the true colors proposed to be used

MATERIALS SAMPLE BOARD (Accurate samples of colors and materials for ALL finishes proposed)

- ☒ 1. Maximum size not to exceed 8-1/2" x 14" (May be a series labeled with the project name and numbered "1 of ___", "2 of ___", etc.)
- ☒ 2. Actual chips, samples, and swatches (preferred) or colors shown as close as possible to the true colors proposed to be used
- ☒ 3. Manufacturer name and product name and identification number called out

SITE PLAN (A plot plan drawn to scale showing the following)

- ☒ 1. Proposed and existing structures (including those to be relocated or removed)
- ☒ 2. Square footage of structures and area of all parcels or pads
- ☒ 3. Dimensions (i.e. property lines, driveways, structures)
- ☒ 4. Natural features (Trees to stay and be removed, rock outcroppings, quarries, etc.)

- ✓ 5. All property lines, including those on-site, those immediately off-site and those across any street.
- ✓ 6. Circulation
- ✓ 7. All existing and proposed public right-of-way improvements
- ✓ 8. North arrow
- ✓ 9. Vicinity map
- ✓ 10. Reciprocal driveways, if appropriate
- N/A 11. Trash enclosures. (Auburn Placer Disposal to approve location and size.)
- ✓ 12. Landscaped areas
- ✓ 13. Prominent features including structures and natural features of surrounding properties
- ✓ 14. All existing and proposed easements (i.e. open space, floodplain, scenic, proposed abandonments, etc., including name of person or group to own and maintain area)
- N/A 15. Location, size, and height of pole lights, signs, street lights, flag poles
- ✓ 16. Scale (Scale shall be shown in printed text and with a bar scale).
- ✓ 17. Project notes including
 - Owner;
 - Developer;
 - Engineer/Architect;
 - Service Providers;
 - General Plan and Zoning;
 - Assessors Parcel Number(s);
 - Land Area;
 - Building Area;
 - Parking including calculations for parking requirements (The general parking lot design shall be consistent with City of Rocklin Improvement Standards, including size, dimensions, driveway widths, and required landscaping)

DISABLED ACCESS REQUIREMENTS FOR SITE PLANS

- N/A 1. Accessible route of travel requirements (per Title 24):
 - At least one accessible route within the boundary of the site shall be provided from public transportation stops, public streets, or sidewalks
 - The accessible route of travel shall be the most practical direct route between the accessible entrance to the site and accessible building entrance and accessible site facilities
 - The accessible route of travel shall be provided to all entrances and exterior ground floor exits along normal paths of travel, as well as to the trash enclosure(s)
 - When more than one building or facility is located on a site, the accessible route of travel shall be provided between buildings and accessible facilities
 - The accessible route of travel shall be at least 48 inches wide and have a cross slope no greater than 1/4 inch per foot (1 inch vertical per 50 inches horizontal)
 - The accessible route of travel shall be provided in such a way that persons with disabilities are not compelled to wheel or walk behind parked cars other than their own
 - Clearly delineate all accessible routes and accessible parking areas and include sufficient grade call outs to assure compliance with required slopes
- N/A 2. Accessible parking area requirements:
 - Accommodate required number of handicap spaces

- One-quarter inch per foot slope in any direction, maximum
- Reasonable distance to entrance
- Equally dispersed throughout project for multiple buildings

Questions or clarification of the Disabled Access requirements should be addressed by the Building Department. Sites that require variation from the guidelines will be handled on a case by case basis.

PHASING PLAN

- N/A 1. A complete phasing plan including improvements to be completed at each phase.
- N/A 2. Interim dead-end streets more than 150' in length require a temporary turn-around.

PRELIMINARY GRADING AND DRAINAGE PLANS

- ✓ 1. Natural features, soils and geology studies as required by the City Engineer
- ✓ 2. Natural and finished contours and spot elevations where appropriate
- N/A 3. Wetland and riparian delineation
- ✓ 4. Existing or proposed drainage facilities including detention basins
- ✓ 5. Standard utilities (i.e. storm drains, sewer, and water)
- ✓ 6. Amount of cut and fill in cubic yards
- N/A 7. Identified archeological sites including mortar beds
- ✓ 8. Typical street gradients in percentages
- ✓ 9. Existing and proposed public right-of-way improvements
- ✓ 10. Spot elevations immediately off-site
- ✓ 11. 100 year flood plains
- ✓ 12. Proposed retaining walls
- ✓ 13. North arrow
- ✓ 14. Scale (Scale shall be shown in printed text and with a bar scale)

PRELIMINARY LANDSCAPING PLAN

- ✓ 1. Planting schedule that includes quantities, botanical and common names of all plants used, symbols for all plants, minimum container size (specify 15 gallon size for trees and 5 gallon for shrubs), and the average height range for trees in the specified container size (based on the American Standards for Nursery Stock).
- N/A 2. Detailed planting plans are required for entrances to multifamily residential, commercial, and industrial projects
- ✓ 3. Indicate use of granite in landscaping/freestanding signage, plants will not block signs
- N/A 4. Parking lot shading provided at 1 tree located every 5 spaces
- N/A 5. Provide calculations demonstrating that at least 20% of a non-residential site is in landscaping
- N/A 6. Berming or masonry screening walls three feet high along rights-of-way where adjacent to proposed parking or driveway aisles. Provide line of sight cross sections from streets and parking areas including medians and entrances to assure traffic safety

- ☒ 7. Year round color and screening
- ☒ 8. Utility features such as manholes, pipes, and ditches are to be kept out of the landscape planter areas to the extent possible. In instances where such features are proposed in the landscape areas, they should be located in a way that minimizes impacts to anticipated tree locations or the establishment of trees, shrubs, and ground cover.
- ☒ 9. Drought resistant plantings, use of appropriate plant materials, meets requirements of the Water Conservation in Landscaping Act
- ☒ 10. Fencing, materials and location
- ☒ 11. Indicate preserved oak trees and tree preservation techniques implemented
- ☒ 12. Scale (Scale shall be shown in printed text and with a bar scale)

BUILDING ELEVATIONS

- ☒ 1. All four elevations of each proposed building labeled to include directional and other information to clarify orientation (i.e. North/Granite Drive Elevation). Designs should depict compatibility with neighboring structures and terrain
- ☒ 2. Building height
- ☒ 3. At least one elevation calling out colors and materials
- ☒ 4. Location of mechanical equipment and screening (Cross sections and roof plan)
- ☐ 5. Lighting specifications (manufacture name, fixture type and identification information, and proposed wattage). Submittal of cut sheets is encouraged
- ☒ 6. Scale (Scale shall be shown in printed text and with a bar scale)
- ☒ 7. For multi-building projects, provide a key plan on each sheet

FLOOR PLAN

- ☒ 1. Dimensions
- ☒ 2. Square footage
- ☒ 3. Intended uses
- ☒ 4. Scale (Scale shall be shown in printed text and with a bar scale)

OAK TREE PRESERVATION PLAN

- ☒ 1. All existing oak trees located on site (Tree Survey)
- ☒ 2. All trees labeled with corresponding number from arborist report
- ☒ 3. Schedule of trees by number, type, size, condition, and removal information
- ☒ 4. All trees to be removed should have an X through the center
- ☒ 5. Spot elevation of tree at base
- ☒ 6. Scale (Scale shall be shown in printed text and with a bar scale)


SIGN ELEVATION

- _____ 1. Elevations of all signs (Freestanding and building-mounted)
- _____ 2. Location(s) of wall sign(s) on building(s)
- _____ 3. Sign height dimensioned
- _____ 4. Sign length dimensioned
- _____ 5. Call out all materials and colors
- _____ 6. Location of all freestanding signs on site plan
- _____ 7. Type of illumination specified
- _____ 8. Scale (scale shall be shown in printed text with a bar scale)

TENTATIVE PARCEL MAP

- _____ 1. The scale of the tentative parcel map should be 1" = 50 feet unless otherwise permitted by the City Engineer
- _____ 2. All dimensions shown in feet and hundredths of a foot
- _____ 3. If more than three sheets are necessary to show the entire subdivision, an index map shall be included on one of the sheets
- _____ 4. Scale (Scale shall be shown on each sheet in both printed text and with a bar scale)
- _____ 6. North arrow on each sheet
- _____ 7. Title sheet shall be provided except where the size of the subdivision permits the information required to be included on the same sheet as the map of the subdivision.
- _____ 8. All existing property lines with dimensions
- _____ 9. All proposed property lines with dimensions
- _____ 10. Parcel area (Square footage and/or acreage) for each proposed parcel
- _____ 11. The adjacent public rights-of-way, with dimension(s) of the right of way
- _____ 12. All existing structures
- _____ 13. All oak trees and granite outcroppings
- _____ 14. Riparian boundary (as identified by a qualified biologist)
- _____ 15. 100 year floodplain boundaries
- _____ 16. All existing and proposed easements
- _____ 17. Archeological features
- _____ 18. Surrounding land uses, particularly locations of structures and driveways

TENTATIVE SUBDIVISION MAP

-  1. Project notes including
Proposed subdivision name
Service Providers;
General Plan and Zoning;
Assessors Parcel Number;
Land Area;
North Arrow;
Existing Land Use;
Proposed Land Use

- ☒ 2. Names, addresses and telephone numbers of record owners and subdivider of the land.
- ☒ 3. Name, address, and phone number of the persons, firm, or organization that prepared the map and the applicable registration or license number.
- ☒ 4. A vicinity or key map of appropriate scale covering sufficient adjoining territory so as to clearly indicate the nearest street intersections, major access streets, property lines of other adjacent properties in the ownership of the subdivider, and other significant features which will have a bearing on the proposed subdivision and its location in relationship to surrounding areas.
- ☒ 5. The scale of the map shall be at least one inch equals one hundred feet. The scale shall be shown as both printed text and with a bar scale on each page.
- ☒ 6. No single sheet shall exceed 72 inches in length and 54 inches in width. The minimum sheet shall be 18 inches in width and 26 inches in width.
- ☒ 7. Boundaries of the subdivision with sufficient information to locate the property
- ☒ 8. The boundaries and dimensions of all lots, with all lots consecutively numbered.
- ☒ 9. The minimum, maximum, and average lots sizes shall be stated.
- ☒ 10. Name of all adjacent subdivisions, if any, and property lines sufficient to show their relationship to the proposed subdivision
- ☒ 11. Contour lines at intervals of not more than 2 feet, unless waived by the City Engineer. Topographic information shall be sufficient to fully show the configuration of the land and any and all depressions that may present drainage problems, and shall extend beyond the tract boundaries where necessary to show drainage conditions on surrounding property which may affect the subdivision.
- ☐ N/A 12. Lots exceeding a 25% slope shall be so noted.
- ☐ N/A 13. The location of all railroad rights of way and grade crossings
- ☐ N/A 14. Approximate location of all existing wells, abandoned wells and sumps, including septic systems or other underground systems
- ☐ N/A 15. The location of any active or abandoned quarries
- ☐ N/A 16. An indication of any physical restriction or condition in the subdivision which affects the use of the property
- ☒ 17. All structures, including fences and signs, within the subdivision, dimensioned and distanced to the other structures and to existing and proposed street and lot lines, present and future use of all structures to be noted
- ☒ 18. The locations, widths, and purposes of all existing and proposed easements for utilities, drainage, and other public purposes, whether private or public, shown by dashed lines, within and adjacent to the subdivision, including proposed building setback lines
- ☐ N/A 19. The location of all potentially dangerous areas, including geologically hazardous areas, and areas subject to inundation or flood hazard adjacent to the property involved and the proposed method of providing storm water drainage and erosion control.
- ☒ 20. The location of all ponds, reservoirs, streams and tributaries and their respective floodplains
- ☒ 21. The location and general description of any trees with a diameter of 6 inches or greater with notations as to their retention or destruction. Where groves of trees exist, the perimeter of the canopy shall be shown symbolically on the map.
- ☒ 22. The location of any significant natural features and/or possible historical or archeological site or remains, including but not limited to, natural springs, caves, Indian grinding rocks, petroglyphs, burial sites, historical buildings and/or their ruins, and significant rock outcroppings

- ✓ 23. The boundaries and dimensions of all lots, a number assigned to each lot, and the total number of lots.
- ✓ 24. The location, width, and existing/proposed names or designations of all existing or proposed streets, alleys, pedestrian ways and other rights of ways, including but not limited to bikeways, paths, etc. whether public or private. Any change in existing street names shall be specifically requested in writing
- N/A 25. Any modification being requested in accordance with the provisions of Rocklin Municipal Code 16.36 which is shown on the tentative map shall be clearly labeled and identified as to nature and purpose
- ✓ 26. The location of all natural and man-made improvements to all properties surrounding the subdivision, including but not limited to off-site natural contours, finished grades, buildings, existing road improvements, and property lines. Cross sections are encouraged or may be required to illustrate elevation differences between the project and existing adjacent development.

COMMUNITY DEVELOPMENT DEPARTMENT

DAVID MOHLENBROK, Director

PLANNING (916) 625-5120

BRET FINNING, Planning Services Manager

Terry Stemple, Department Specialist
Laura Webster, Director, Office of Long Range Planning
Dara Dungworth, Senior Planner
Nathan Anderson, Senior Planner
Shauna Nauman, Assistant Planner
Jennifer Schlaht, Planning/Building Tech
Janette Haley, Planning/Building Tech

ENGINEERING (916) 625-5120

ED CROUSE, City Engineer

Lynn Toth, Associate Engineer
Ashley Kettenhofen, Planning/Building Tech

BUILDING & PERMIT SERVICES (916) 625-5120

KEVIN RUYBAL, Chief Building Official

Mike Kelly, Building Division Supervisor
John Schaad, Building Inspector II
Russ Sneed, Building Inspector II
Mark Twiggs, Building Inspector I
Elaine Clark, Fire Prevention Plans Examiner
Raquel Torneros, Planning/Building Tech
Gabbie Sotir, Permit Services Coordinator
John Carter, Office Assistant II
Tina Montano, Office Assistant II

HOUSING (916) 625-5592

SHARON COHEN, Housing Specialist

CODE ENFORCEMENT (916) 625-5492

RYAN TAYLOR, Senior Code Enforcement Officer

Jacob Slipak, Code Enforcement Officer
Ben Horner, Code Enforcement Officer
Stacy Ingram, Office Assistant II

ADDRESS: 3970 Rocklin Road, Rocklin, CA 95677

FAX: (916) 625-5195 Planning/Building/Engineering

TDD: (916) 632-4013 (all city offices)

City of Rocklin

Community Development Department

Planning

Engineering

Building

Housing

Code Enforcement

REFERENCE DIRECTORY

Services/Agencies

School Districts

Health Department

Contractor Information

Mobile Homes in Trailer Parks



For more information,
please visit our website at:

www.rocklin.ca.us

January 7, 2020

DISPOSAL		WATER		SCHOOL DISTRICTS	
RECOLOGY AUBURN PLACER DISPOSAL SERVICE 12305 Shale Ridge Lane Auburn, CA 95602 (530) 885-3735 Customer Service: 1 (800) 573-5545 www.recologyauburnplacer.com		PLACER COUNTY WATER AGENCY 144 Ferguson Rd. P. O. Box 6570 Auburn, CA 95604 (530) 823-4850; 1 (800) 464-0030 www.pcwa.net		ROCKLIN UNIFIED SCHOOL DISTRICT 2615 Sierra Meadows Dr Rocklin, CA 95677 (916) 624-2428 www.rocklinusd.org	
SEWER		GAS & ELECTRIC		TELEPHONE COMPANIES	
SOUTH PLACER MUNICIPAL UTILITY DISTRICT 5807 Springview drive Rocklin, CA 95677 (916) 786-8555 www.spmud.ca.gov		PACIFIC GAS & ELECTRIC COMPANY 333 Sacramento Street Auburn, CA 95603 (530) 889-3270; 1 (800) 743-5000 www.pge.com		AT & T (FORMERLY SBC/PACIFIC BELL) Residential Customer Service: 1 (800) 310-2355 Business Customer Service: 1 (800) 750-2355 www.att.com	
HEALTH DEPARTMENT		MOBILE HOMES IN TRAILER PARKS		CONTRACTOR'S LICENSE BOARD	
PLACER COUNTY ENVIRONMENTAL HEALTH DEPARTMENT 3091 Country Center Dr., #180 Auburn, CA 95603 (530) 745-2300 www.placer.ca.gov		CA DEPT. OF HOUSING & COMMUNITY DEV./DIV. OF CODES & STANDARDS 9342 Tech Center Dr., #550 Sacramento, CA 95826 (916) 255-2501; (916) 255-2532 http://housing.hcd.ca.gov/codes		STATE OF CALIFORNIA CONTRACTORS STATE LICENSE BOARD 9821 Business Park Drive Sacramento, CA 95827 (916) 255-3900, (800) 321-2752 www.cslb.ca.gov	
CABLE TV		MOSQUITO ABATEMENT		POST OFFICE	
WAVE BROADBAND (FORMERLY STARSTREAM CABLE) 4120 Citrus Ave. Rocklin, CA 95677 (916) 652-9479 www.wavebroadband.com		PLACER MOSQUITO ABATEMENT DISTRICT P O Box 216 (150 Waverly Drive) Lincoln, CA 95648 (916) 435-2140 www.placermosquito.org		UNITED STATES POSTAL SERVICE 5515 Pacific Street Rocklin, CA 95677 (800) 275-8777 www.usps.com	
CHAMBER OF COMMERCE		PLACER COUNTY OFFICES		CITY OF ROCKLIN CHAMBER OF COMMERCE	
CITY OF ROCKLIN CHAMBER OF COMMERCE 3700 Rocklin Road Rocklin, CA 95677 (916) 624-2548 www.rocklinchamber.com		Assessors: (530) 889-4300 Recorder: (530) 886-5600 Public Works: (530) 889-7500 Building: (530) 886-3010 www.placer.ca.gov		PLACER UNION HIGH SCHOOL DISTRICT <i>(DEL ORO HS)</i> 13000 New Airport Rd. P.O. Box 5048 Auburn, CA 95604 (530) 886-4400 www.puhisd.k12.ca.us	



CITY OF ROCKLIN

MEMORANDUM

Sherrie A.
COPY

TO: All Engineers/Surveyors Doing Business with the City of Rocklin

FROM: Larry M. Wing, Engineering Services Manager *LMW*

SUBJECT: Final Maps, Parcel Maps, and Lot Line Adjustments

DATE: December 16, 2005

Effective January 1, 2006, all final maps, parcel maps, and lot line adjustments shall require an electronic copy of the map or lot line adjustment prior to the City approval. This electronic copy shall be in a .pdf and either a .dwg format on CD or DVD or shape file.

Additionally, all improvement plans for residential and commercial projects shall require an electronic copy of the plans prior to the City approval. This electronic copy shall be in a .pdf format on CD or DVD.

The electronic copies shall be in addition to the City's requirement and the developer's responsibility to submit paper copies of final approved plans.

DATE 1-3-06
REC'D BY SEA



A5.1	SCHMATIC FLOOR PLAN BUILDING 1 UNIT 1 - 1,767 SF UNIT 2 - 1,427 SF
A5.2	SCHMATIC FLOOR PLAN BUILDING 1 UNIT 1 - 1,767 SF UNIT 2 - 1,427 SF
A5.3	SCHMATIC ELEVATIONS BUILDING 1 - MODERN AGRARIAN
A5.4	SCHMATIC ELEVATIONS BUILDING 1 - NAPA FARMHOUSE
A5.5	SCHMATIC ELEVATIONS BUILDING 1 - CALIFORNIA BUNGALOW
A5.6	SCHMATIC ELEVATIONS BUILDING 1 - ROOF PLANS
A5.7	SCHMATIC FLOOR PLAN BUILDING 1 ALT UNIT 1 - 1,767 SF UNIT 2 - 1,381 SF
A5.8	SCHMATIC FLOOR PLAN BUILDING 1 ALT UNIT 1 - 1,767 SF UNIT 2 - 1,381 SF
A5.9	SCHMATIC ELEVATIONS BUILDING 1 ALT - MODERN AGRARIAN
A5.10	SCHMATIC ELEVATIONS BUILDING 1 ALT - NAPA FARMHOUSE
A5.11	SCHMATIC ELEVATIONS BUILDING 1 ALT - CALIFORNIA BUNGALOW
A5.12	SCHMATIC ELEVATIONS BUILDING 1 ALT - ROOF PLANS
A6.1	SCHMATIC FLOOR PLAN BUILDING 2 UNIT 1 - 1,230 SF UNIT 2 - 1,520 SF
A6.2	SCHMATIC FLOOR PLAN BUILDING 2 UNIT 1 - 1,230 SF UNIT 2 - 1,520 SF
A6.3	SCHMATIC ELEVATIONS BUILDING 2 - MODERN AGRARIAN
A6.4	SCHMATIC ELEVATIONS BUILDING 2 - NAPA FARMHOUSE
A6.5	SCHMATIC ELEVATIONS BUILDING 2 - CALIFORNIA BUNGALOW
A6.6	SCHMATIC ELEVATIONS BUILDING 2 - ROOF PLANS
A7.1	COLOR + MATERIALS MODERN AGRARIAN
A7.2	COLOR + MATERIALS NAPA FARMHOUSE
A7.3	COLOR + MATERIALS CALIFORNIA BUNGALOW

Table with 2 columns: Category and Value. Rows include Garage Spaces, Driveway Spaces, On-Street Parallel, Off-Street Standard, and Total Spaces.

- GENERAL NOTES:
- 1. STREETS "A" & "B" ARE PROPOSED TO BE PUBLIC.
 - 2. ALLEYS 1 - 9 ARE PROPOSED TO BE PRIVATE.
 - 3. EXISTING OPEN SPACE AND CONSERVATION EASEMENT TO BE CONVERTED TO PARCEL WITH FINAL MAP.
 - 4. EXISTING ACCESS ESMT. PER DOC-2003-133319, O.R.P.C. SLOPE ESMT. PER DOC-2003-133320, O.R.P.C. ACCESS AGREEMENT PER DOC-2007-89575, O.R.P.C. SLOPE AGREEMENT PER DOC-2007-89579, O.R.P.C. TO BE ABANDONED AFTER RECORDATION OF PROPOSED BOUNDARY LINE ADJUSTMENT.
 - 5. EXISTING PARKING LOT IMPROVEMENTS ON ADJACENT PROPERTY (APN: 016-210-009-000) ENCR OACH PROJECT PROPERTY (0' TO 4.9').

Preliminary Site Plan

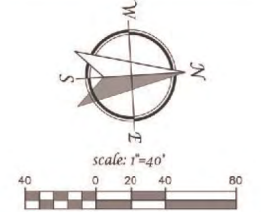


KEY FEATURES LEGEND:

- SINGLE-FAMILY (DETACHED)
- SINGLE-FAMILY DUET (ATTACHED)
- ROCKERY RETAINING WALL
- MASONRY SOUNDWALL w/PLASTER
- POST & CABLE FENCING
- OPEN VIEW (STEEL TUBE) FENCING
- BACK OF WALK
- PUBLIC CURB, GUTTER & SIDEWALK
- PARALLEL PARKING
- ACCESS GATE
- EXISTING TREE TO REMAIN
- EXISTING OVERHEAD UTILITY LINES
- LIMIT OF FEMA FLOOD ZONE AE

SURFACE LEGEND:

- ASPHALT PAVEMENT
- LANDSCAPE AREA
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- BIO-RETENTION FEATURE



WHITNEY WALK - ROCKLIN

C-2

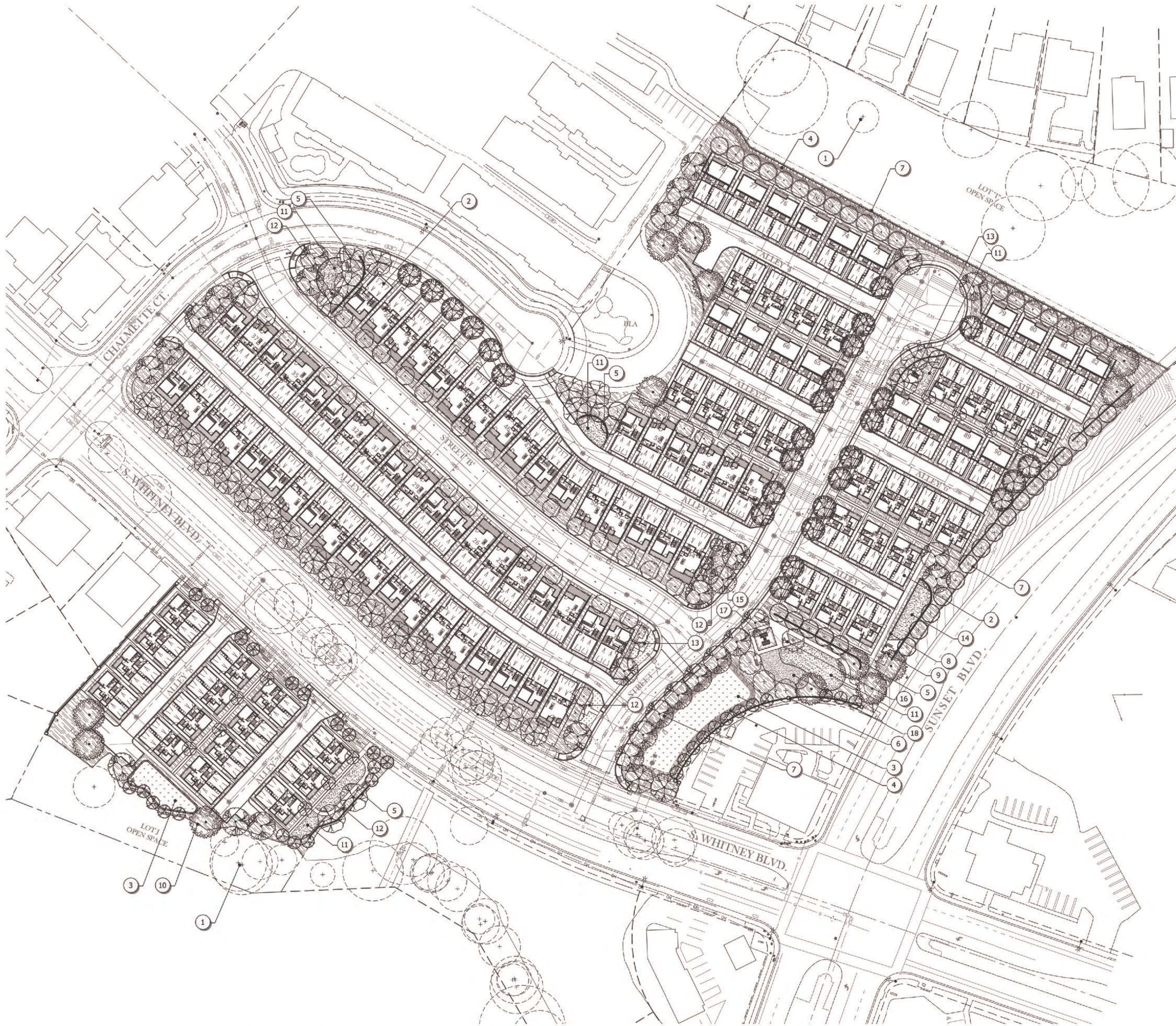
Southwest Corner of Sunset Blvd. & South Whitney Blvd., Rocklin, California

Proposed By: Whitney Sunset 14, LLC
1031 Roseville Parkway, Suite 148
Roseville, CA 95678

In Association With:
JD+A (Architects), TSD Engineering, Inc. (Civil), Fuhrman
Leamy Land Group (Landscape Architecture)

AUGUST 16, 2024 - INITIAL SUBMITTAL

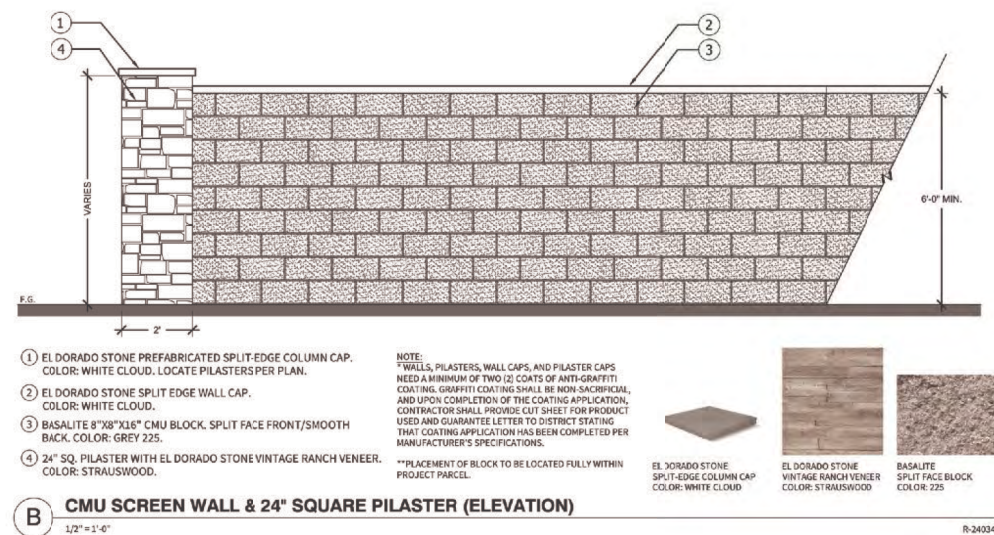
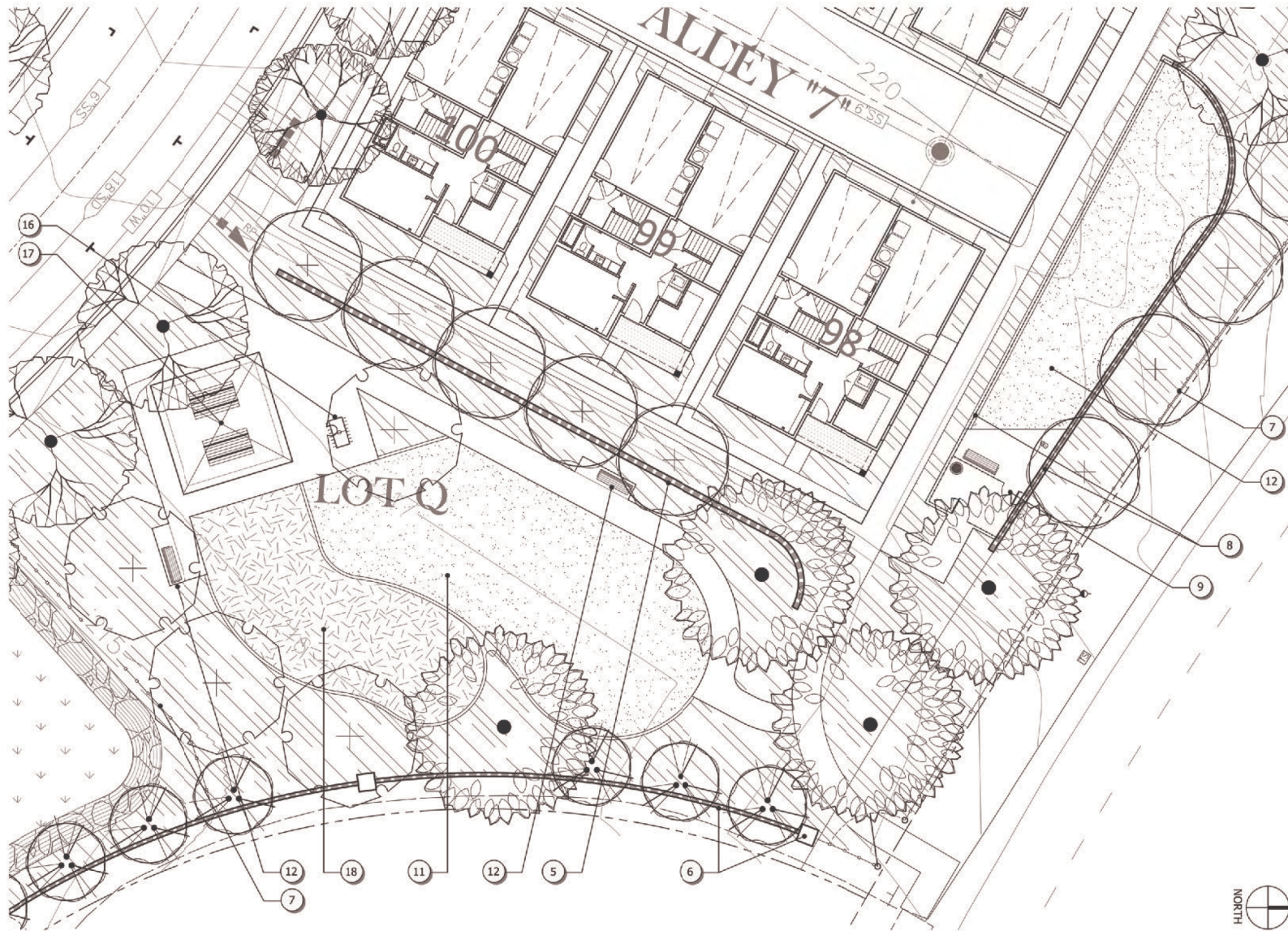
TSD ENGINEERING, INC. logo and address: 785 Orchard Drive, Suite #110, Folsom, CA 95630. Phone: (916) 608-0707, Fax: (916) 608-0701.



TREE SCHEDULE				
SYMBOL	BOTANICAL / COMMON NAME	SIZE	WATER USE	QTY
	ACER RUBRUM 'REDPOINTE' REDPOINTE MAPLE (40'X20')	15 GAL.	MOD	34
	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY RED MAPLE (40'X35')	24" BOX	MOD	33
	ARCTOSTAPHYLOS MANZANITA 'DR. HURD' DR. HURD COMMON MANZANITA (15'X15')	15 GAL.	VERY LOW	25
	CERCIS CANADENSIS EASTERN REDBUD (20'X20')	24" BOX	LOW	25
	CHIONANTHUS RETUSUS CHINESE FRINGE TREE (20'X15')	15 GAL.	MOD	11
	PODOCARPUS GRACILIOR FERN PINE (40'X20')	15 GAL.	MOD	19
	QUERCUS LOBATA VALLEY OAK (60'X40')	24" BOX	LOW	13
	TILIA CORDATA 'GREENSPIRE' GREENSPIRE LINDEN (40'X25')	15 GAL.	MOD	4
	ULMUS PARVIFOLIA 'DRAKE' DRAKE LACEBARK ELM (50'X35')	24" BOX	MOD	29
	ULMUS PROPINQUA 'JFS-BIEBERICH' EMERALD SUNSHINE® ELM	15 GAL.	LOW	27
	ZELKOVA SERRATA 'CITY SPRITE' COMPACT SAWLEAF ZELKOVA (20'X15')	24" BOX	MOD	10

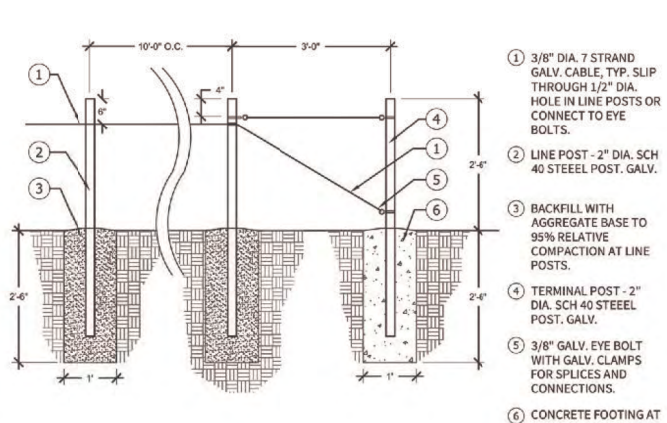
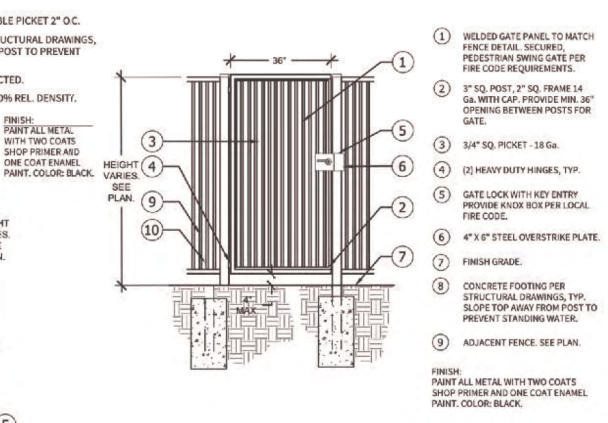
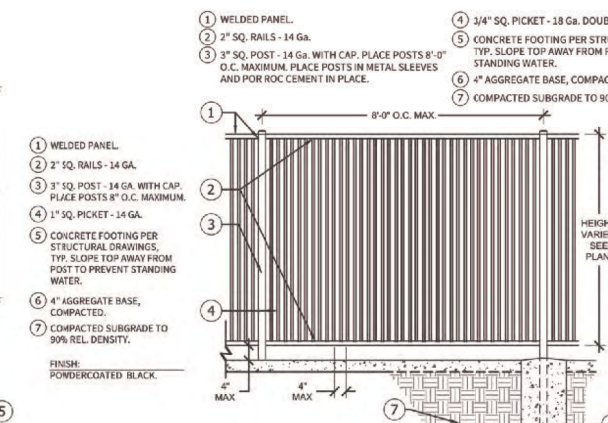
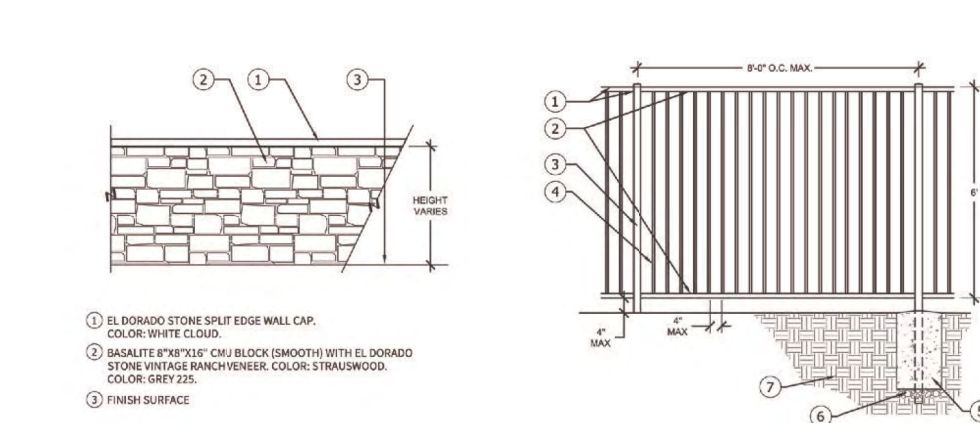
CONCEPT PLANT SCHEDULE		
SHRUB AREAS		
	ARBITUS UNEDO 'COMPACTA' / COMPACT STRAWBERRY TREE	5 GAL., LOW
	ARCTOSTAPHYLOS X 'JOHN DOURLEY' / JOHN DOURLEY MANZANITA	5 GAL., LOW
	BACCHARIS X 'STERILE CENTENNIAL' / CENTENNIAL COYOTE BRUSH	5 GAL., LOW
	CALLISTEMON VIMINALIS 'LITTLE JOHN' / DWARF WEEPING BOTTLEBRUSH	1 GAL., LOW
	CHONDRPETALLUM TECTORUM / SMALL CAPE RUSH	5 GAL., LOW
	CISTUS LADANIFER / CRIMSON SPOT ROCKROSE	5 GAL., LOW
	CISTUS X 'GRAYSWOOD PINK' / GRAYSWOOD PINK ROCKROSE	1 GAL., LOW
	DIETES BICOLOR / FORTNIGHT JULY	1 GAL., LOW
	ELYMUS CONDENSATUS 'CANYON PRINCE' / CANYON PRINCE WILD RYE	1 GAL., LOW
	GREVILLEA ROSMARINIFOLIA / ROSEMARY GREVILLEA	5 GAL., LOW
	LIGUSTRUM JAPONICUM 'TEXANUM' / TEXAS JAPANESE PRIVET	15 GAL., LOW
	LOMANDRA LONGIFOLIA 'BREEZE' / BREEZE MAT RUSH	1 GAL., LOW
	MUHLENBERGIA CAPILLARIS / PINK MUHLY GRASS	1 GAL., LOW
	OLEA EUROPAEA 'LITTLE OLLIE' TM / LITTLE OLLIE OLIVE	5 GAL., LOW
	RHAPHIOLEPIS INDICA 'PINK DANCER' / PINK DANCER INDIAN HAWTHORN	15 GAL., LOW
	SALVIA MICROPHYLLA 'HOT LIPS' / HOT LIPS SAGE	1 GAL., LOW
	WESTRINGIA FRUTICOSA 'MUNDI' TM PP 24042 / LOW COAST ROSEMARY	5 GAL., LOW
GROUND COVER AREA		
	ACACIA REDOLENS 'LOW BOY' / LOW BOY PROSTRATE ACACIA (2'X8')	1 GAL., LOW
	CEANOTHUS G. H. 'DIAMOND HEIGHTS' / DIAMOND HEIGHTS CARMEL CREEPER (1'X5')	1 GAL., LOW
	COPROSMA KIRKII 'VERDE VISTA' / VERDE VISTA CREEPING COPROSMAT (3'X6')	1 GAL., LOW
	LOMANDRA LONGIFOLIA PLATINUM BEAUTY / PLATINUM BEAUTY LOMANDRA (3'X3')	1 GAL., LOW
	TEUCRIUM X LUCIDRYS PROSTRATUM / GERMANDER (6'X3')	1 GAL., LOW
	NEPETA X FAASSENII 'LIMELIGHT' / LIMELIGHT CATMINT (8'X2')	1 GAL., LOW
TURF AREA		
	TURF SOD BOLERO PLUS / FESCUE BLEND	SOD, HIGH
NO MOW TURF AREA		
	NO MOW TURF SOD / FINE FESCUE BLEND	SOD, MOD
STORMWATER FEATURES		
	TURF SOD BIOFILTRATION SOD / DELTA BLUEGRASS BIOFILTRATION SOD	SOD, MOD

REFERENCE NOTES SCHEDULE	
SYMBOL	DESCRIPTION
	EXISTING TREES TO REMAIN. VERIFY IN FIELD.
	PROPOSED BUILDINGS. SEE ARCHITECTURAL PLANS.
	PROPOSED STORMWATER APPURTENANCES. SEE CIVIL PLANS.
	PROPOSED ROCKERY WALLS. SEE CIVIL PLANS.
	PROPOSED RETAINING WALLS. SEE DETAIL C, SHEET PL2.
	PROPOSED CMU SCREEN WALL WITH 24" SQUARE PILASTERS. SEE DETAILS B, SHEET PL2.
	PROPOSED 6' OPEN METAL FENCING. SEE DETAIL D, SHEET PL2.
	PROPOSED 6' OPEN METAL DOG FENCING. SEE DETAIL E, SHEET PL2.
	PROPOSED 6' OPEN METAL PEDESTRIAN GATE AT DOG PARK. SEE DETAIL F, SHEET PL2.
	PROPOSED POST & CABLE FENCING. SEE DETAIL G, SHEET PL2.
	PROPOSED TURF AREAS.
	PROPOSED BENCHES.
	PROPOSED PICNIC AREAS.
	PROPOSED DOG PARK.
	PROPOSED CORNHOLE.
	PROPOSED FOOSBALL TABLE.
	PROPOSED SHADE STRUCTURE & PICNIC AREA.
	PROPOSED TOT LOT.



REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	EXISTING TREES TO REMAIN. VERIFY IN FIELD.
2	PROPOSED BUILDINGS. SEE ARCHITECTURAL PLANS.
3	PROPOSED STORMWATER APPURTENANCES. SEE CIVIL PLANS.
4	PROPOSED ROCKERY WALLS. SEE CIVIL PLANS.
5	PROPOSED RETAINING WALLS. SEE DETAIL C, SHEET PL2.
6	PROPOSED CMU SCREEN WALL WITH 24" SQ. PILASTERS. SEE DETAIL B, SHEET PL2.
7	PROPOSED 6" OPEN METAL FENCING. SEE DETAIL D, SHEET PL2.
8	PROPOSED 6" OPEN METAL DOG FENCING. SEE DETAIL E, SHEET PL2.
9	PROPOSED 6" OPEN METAL PEDESTRIAN GATE AT DOG PARK. SEE DETAIL F, SHEET PL2.
10	PROPOSED POST & CABLE FENCING. SEE DETAIL G, SHEET PL2.
11	PROPOSED TURF AREAS.
12	PROPOSED BENCHES.
13	PROPOSED PICNIC AREAS.
14	PROPOSED DOG PARK.
15	PROPOSED CORNHOLE.
16	PROPOSED FOOSBALL TABLE.
17	PROPOSED SHADE STRUCTURE & PICNIC AREA.
18	PROPOSED TOT LOT.



\\naspp001\ppl\Library\CloudStorage\JeffreyD\Architectural\Projects\Whitney Sunset\14\024039 WHITNEY WALK (SUNSET HILLS HIGH DENSITY) DESIGN\WORKING FILES\02 LAYOUT\01 DOORSPR9409_01_SITE PLAN_0402.dwg



PLANNING SUBMITTAL

WHITNEY SUNSET 14 LLC

WHITNEY WALK
CITY OF ROCKLIN, CALIFORNIA
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SCHEMATIC RENDERING | SINGLE FAMILY | SOUTH WHITNEY FRONTAGE



JD+A JOB NUMBER: 24039
DATE: 08.26.2024

A1.1

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\\naspprimgpl\larry\Cad\Bouge\Bryne\dwg\Bryne\Shaw02 PROJECT\WHITNEY SUNSET 14 LLC\0209 WHITNEY WALK (SUNSET HILLS HIGH DENSITY) DESIGN\WORKING FILES\WORKING LAYOUT\01 BDOORSPR0209_A1 SITE PLAN_001.dwg



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WHITNEY WALK

CITY OF ROCKLIN, CALIFORNIA

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SCHEMATIC RENDERING | DUETS | ALLEYSCAPE

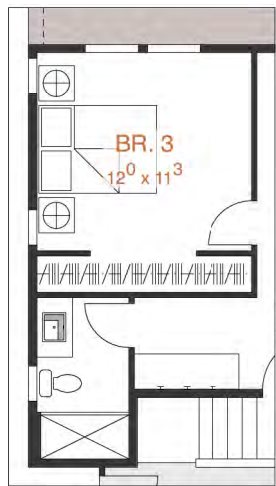
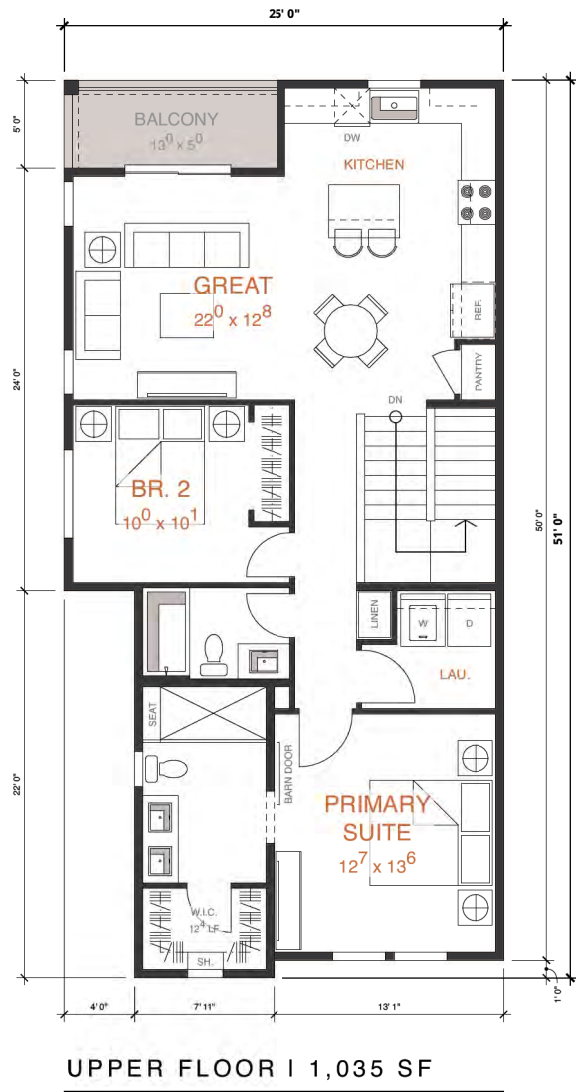


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DATE: 08.26.2024

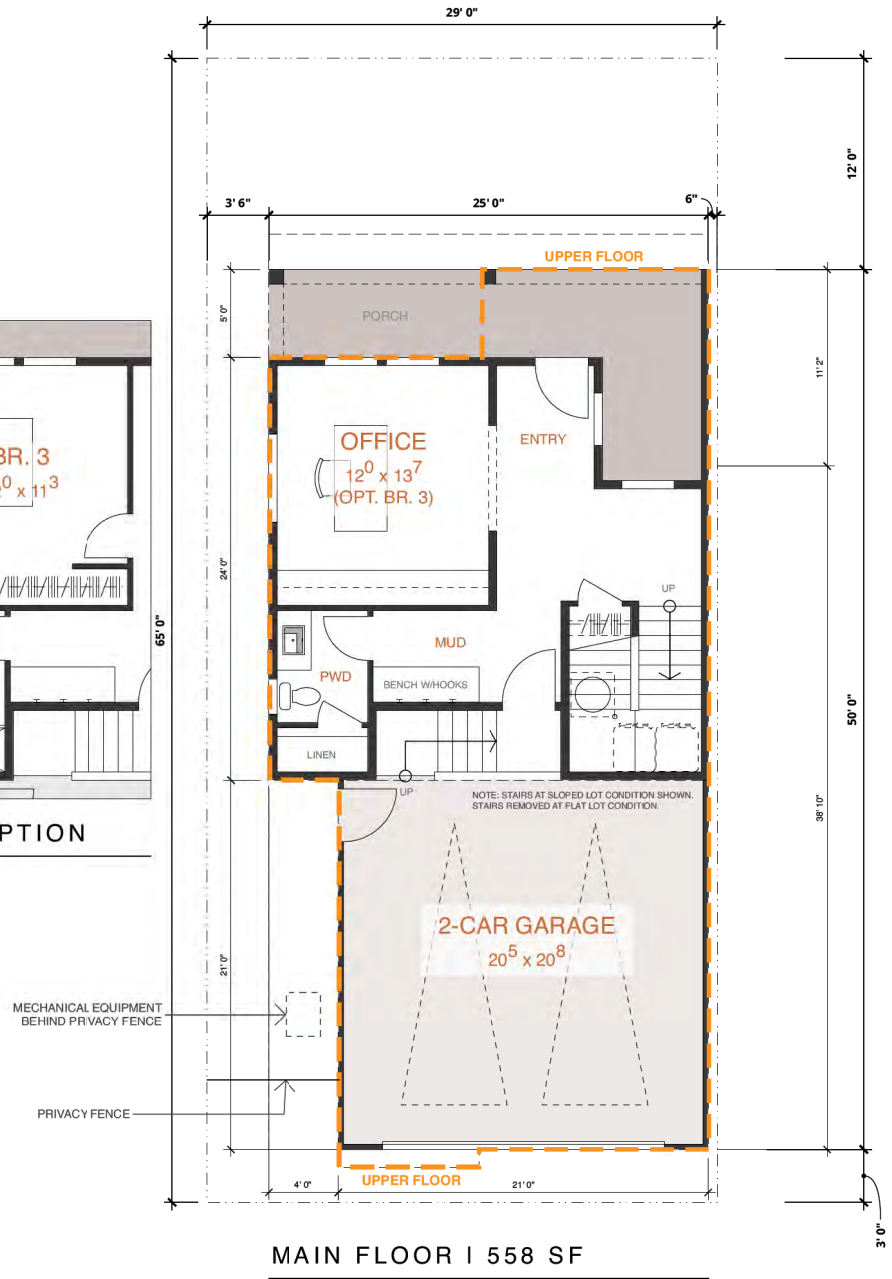
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BR. 3 OPTION



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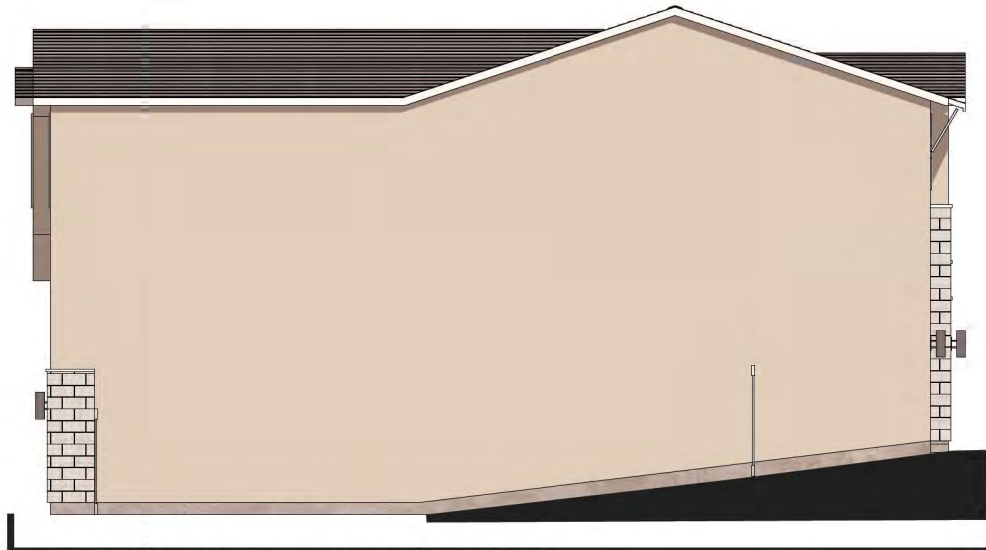
SCHEMATIC FLOOR PLAN | PLAN 1 - 1,593 SF



JD+A JOB NUMBER: 24039
DATE: 08.26.2024

A2.1

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NOTE: "ZERO" LOT LINE WALL TO BE INTERNAL FACING ONLY; NO CORNER CONDITIONS.



28'-2" a.f.f.
TOP OF RIDGE



NOTE: SLOPED LOT CONDITION SHOWN.



24'-7" a.f.f.
TOP OF RIDGE

SCHEMATIC ELEVATIONS | PLAN 1 - MODERN AGRARIAN

0 2 4 8
SCALE: 1/4" = 1'-0"



JD+A JOB NUMBER: 24039
DATE: 08.26.2024

A2.2

PLANNING SUBMITTAL

WHITNEY SUNSET 14 LLC

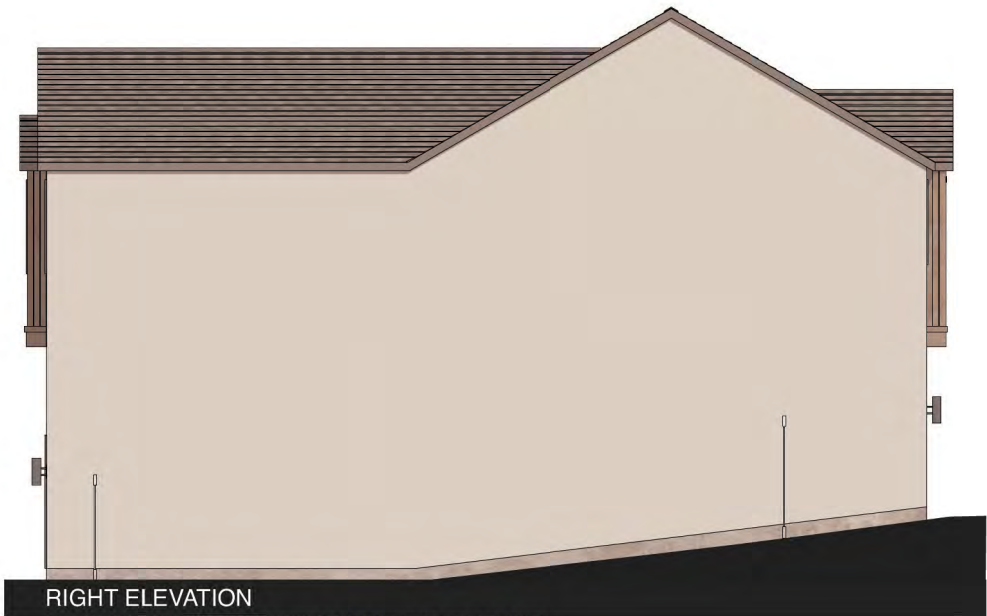
WHITNEY WALK

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\\nas01\projects\library\cloudstorage\egnyte\jda\arch\egnyte\shaded\08 PROJECTS\WHITNEY SUNSET 14 LLC\0409 WHITNEY WALK (SUNSET HILLS HIGH DENSITY)01 DESIGN WORKING FILES\02 LAYOUT\01 SIDING\0409_A2_SFD_PLAN_1_3042.dwg



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SCHEMATIC ELEVATIONS | PLAN 1 - NAPA FARMHOUSE

0 2 4 8
SCALE: 1/4" = 1'-0"



JD+A JOB NUMBER: 24039
DATE: 08.26.2024

A2.3

\\nas01\projects\Library\CloudStorage\Jeffrey\Drawings\Projects\WHITNEY SUNSET 14 LLC\0409 WHITNEY WALK (SUNSET HILLS HIGH DENSITY)01 DESIGN WORKING FILES\02 LAYOUT\01 SIDE\SP54088_A2_SFD_PLAN_1_3042.dwg



NOTE: "ZERO" LOT LINE WALL TO BE INTERNAL FACING ONLY; NO CORNER CONDITIONS.



28'-8" a.f.f.
TOP OF RIDGE

REAR ELEVATION



NOTE: SLOPED LOT CONDITION SHOWN.



24'-7" a.f.f.
TOP OF RIDGE

FRONT ELEVATION | SCHEME 8

PLANNING SUBMITTAL

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WHITNEY WALK

CITY OF ROCKLIN, CALIFORNIA

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SCHEMATIC ELEVATIONS | PLAN 1 - CALIFORNIA BUNGALOW

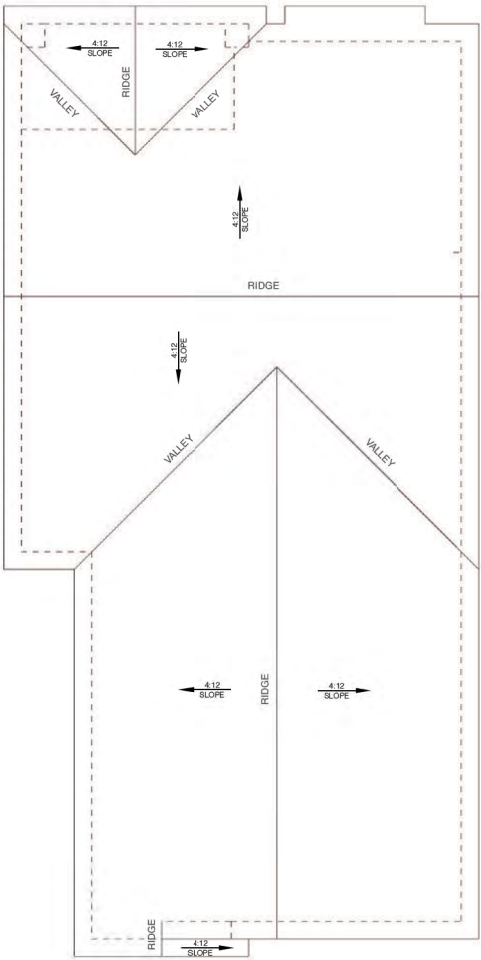
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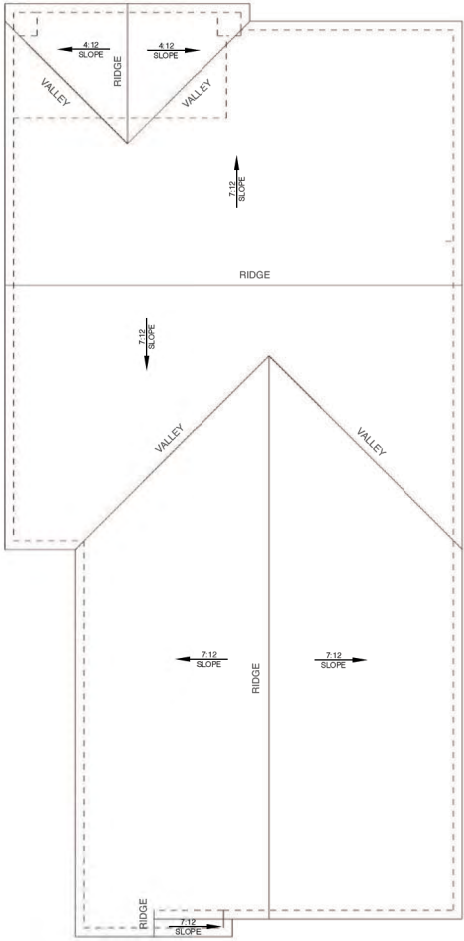
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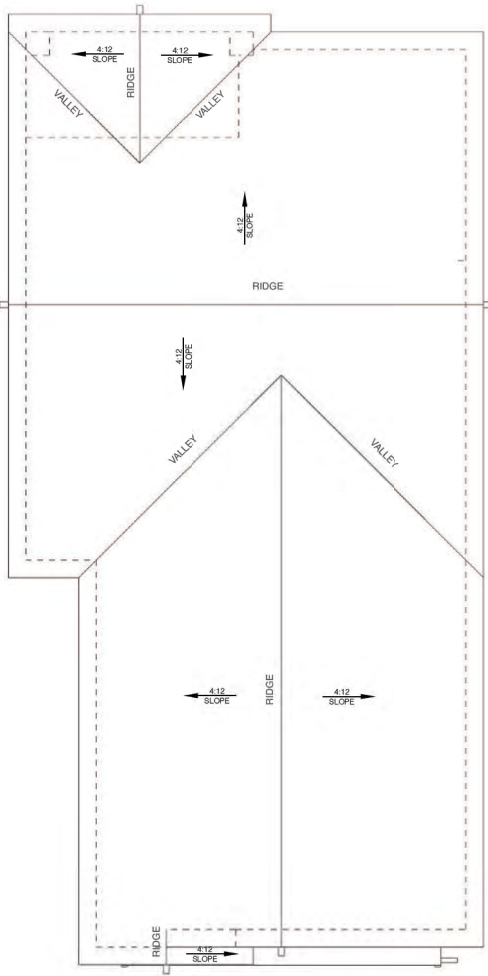
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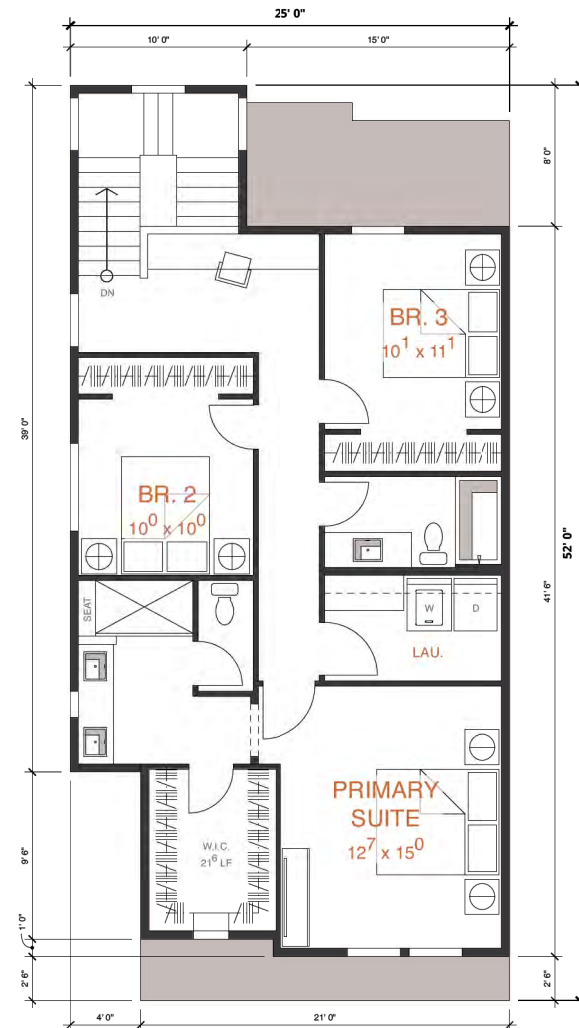
MODERN ARGARIAN
ROOF PLAN



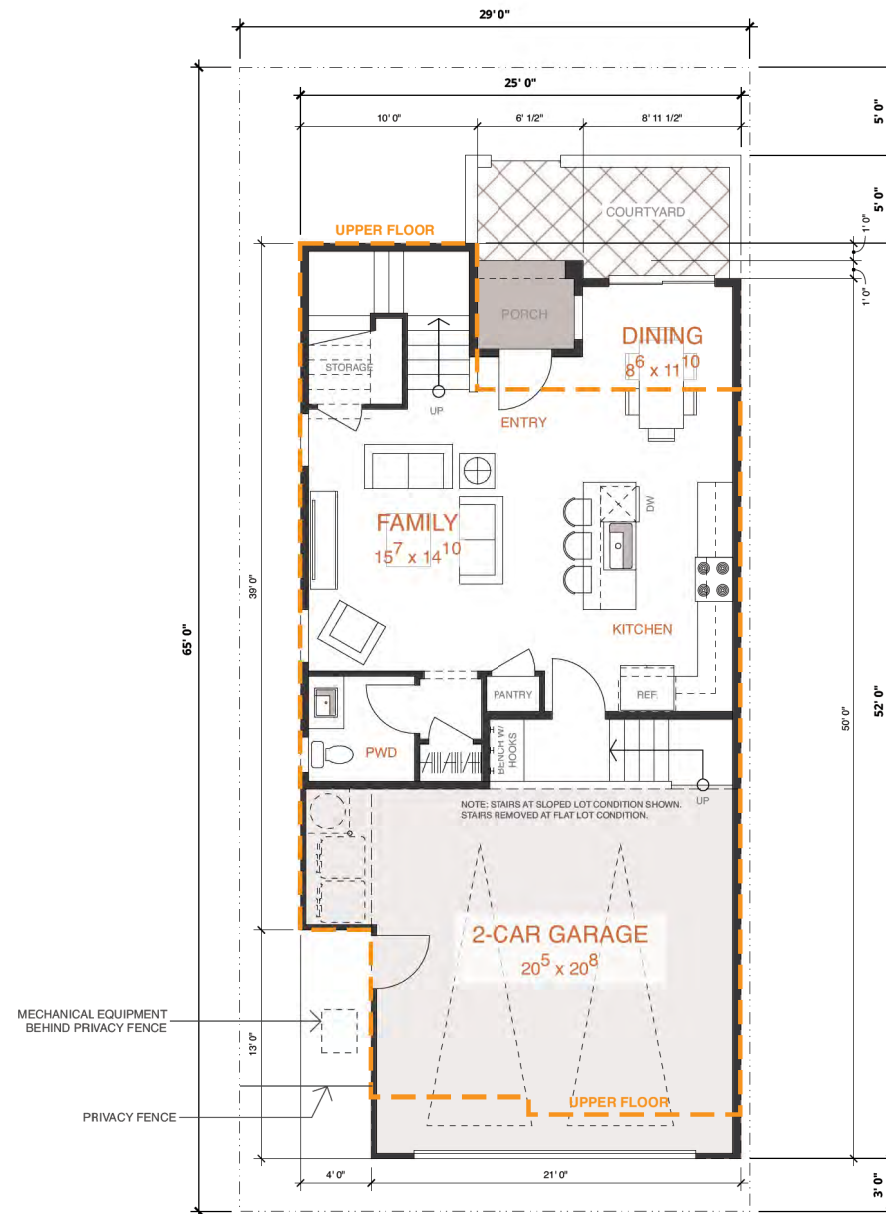
NAPA FARMHOUSE
ROOF PLAN



CALIFORNIA BUNGALOW
ROOF PLAN



UPPER FLOOR | 976 SF



MAIN FLOOR | 751 SF

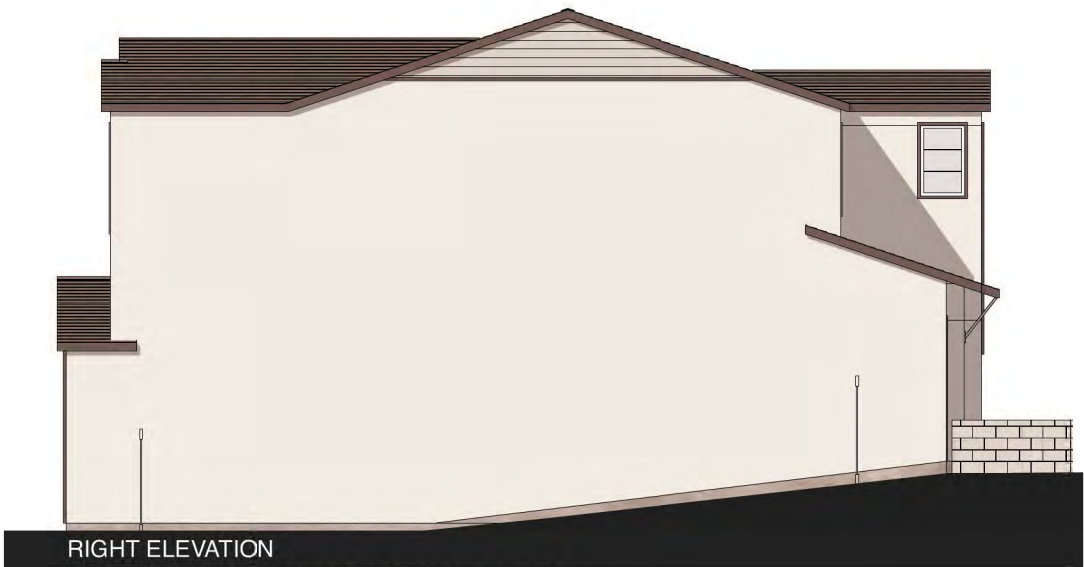
SCHEMATIC FLOOR PLAN | PLAN 2 - 1,727 SF



JD+A JOB NUMBER: 24039
DATE: 08.26.2024

A3.1

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RIGHT ELEVATION

NOTE: "ZERO" LOT LINE WALL TO BE INTERNAL FACING ONLY; NO CORNER CONDITIONS.



REAR ELEVATION

29'-2" a.f.f.
TOP OF RIDGE



LEFT ELEVATION

NOTE: SLOPED LOT CONDITION SHOWN.



FRONT ELEVATION | SCHEME 3

26'-3" a.f.f.
TOP OF RIDGE

PLANNING SUBMITTAL

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WHITNEY WALK
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SCHEMATIC ELEVATIONS | PLAN 2 - MODERN AGRARIAN

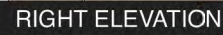
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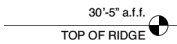
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JD+A JOB NUMBER: 24039
DATE: 08.26.2024

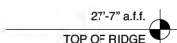
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NOTE: "ZERO" LOT LINE WALL TO BE INTERNAL FACING ONLY: NO CORNER CONDITIONS



NOTE: SLOPED LOT CONDITION SHOWN



0 2 4 8

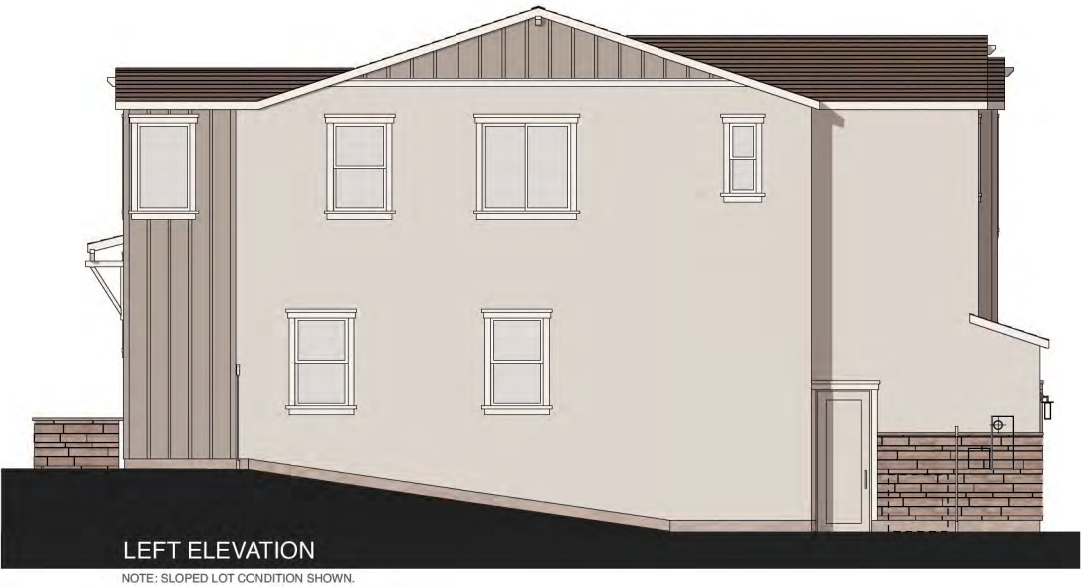
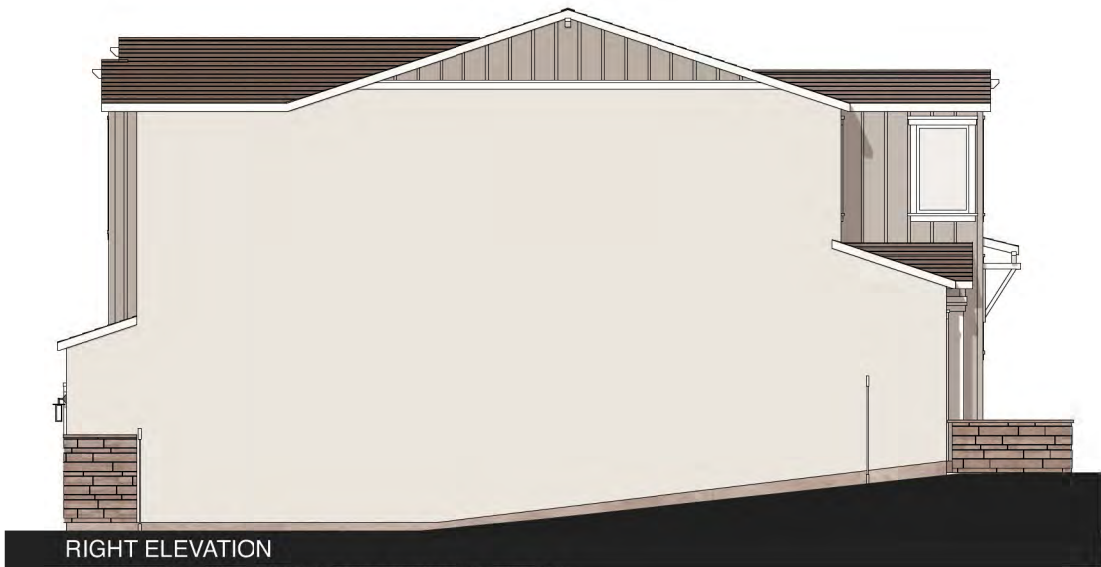
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A3.3

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SCHEMATIC ELEVATIONS | PLAN 2 - CALIFORNIA BUNGALOW

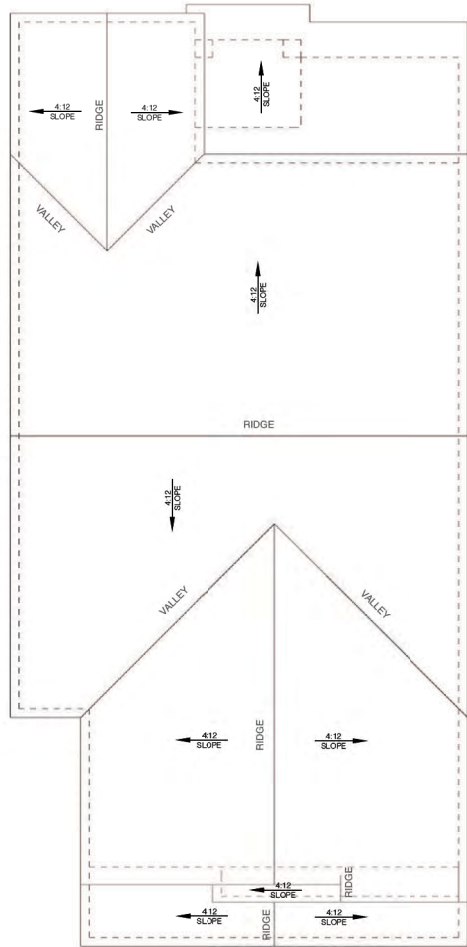
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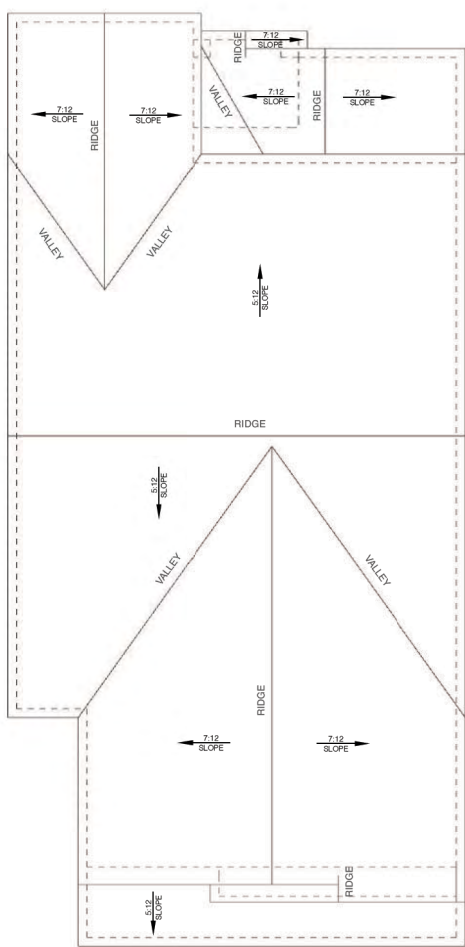
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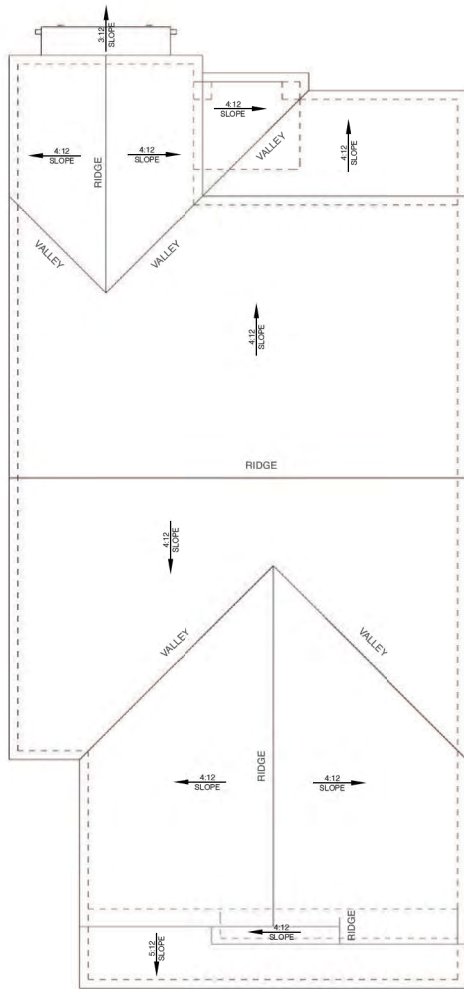
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MODERN ARGARIAN
ROOF PLAN

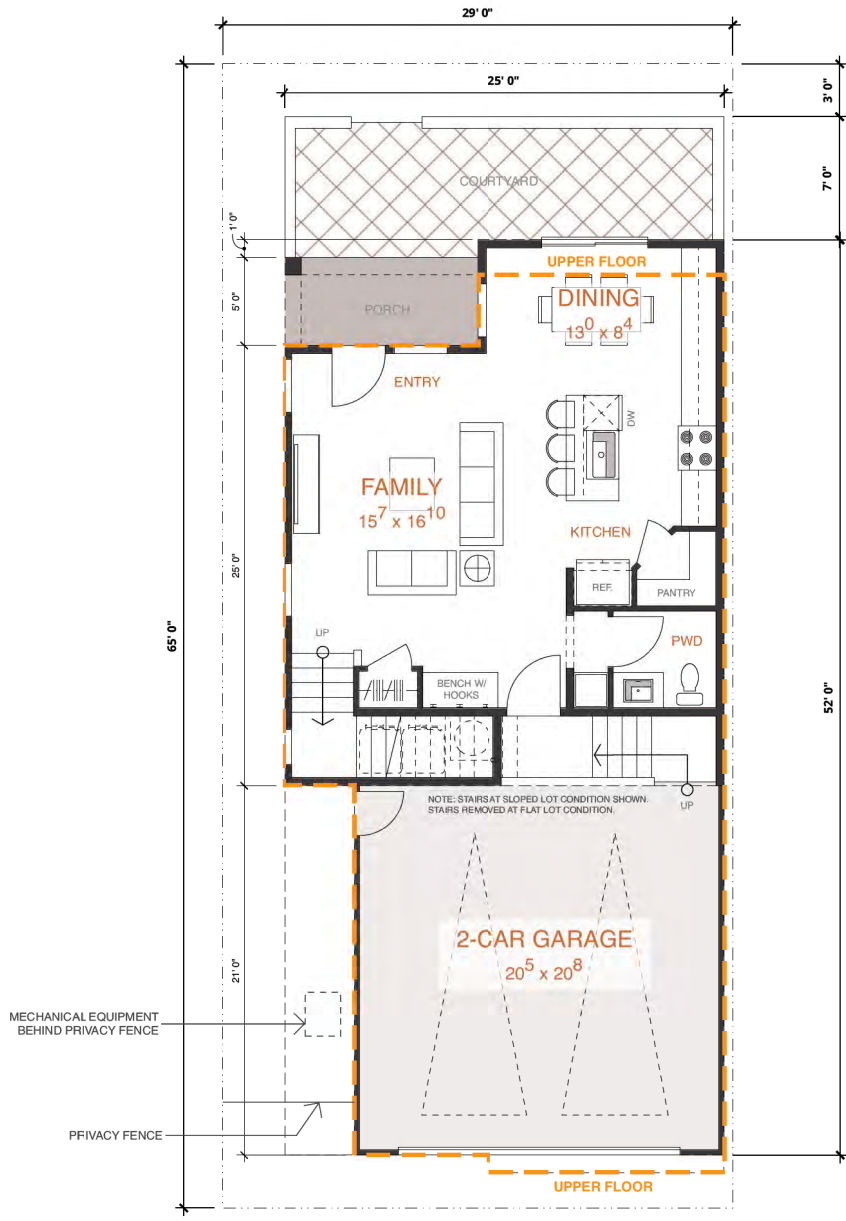
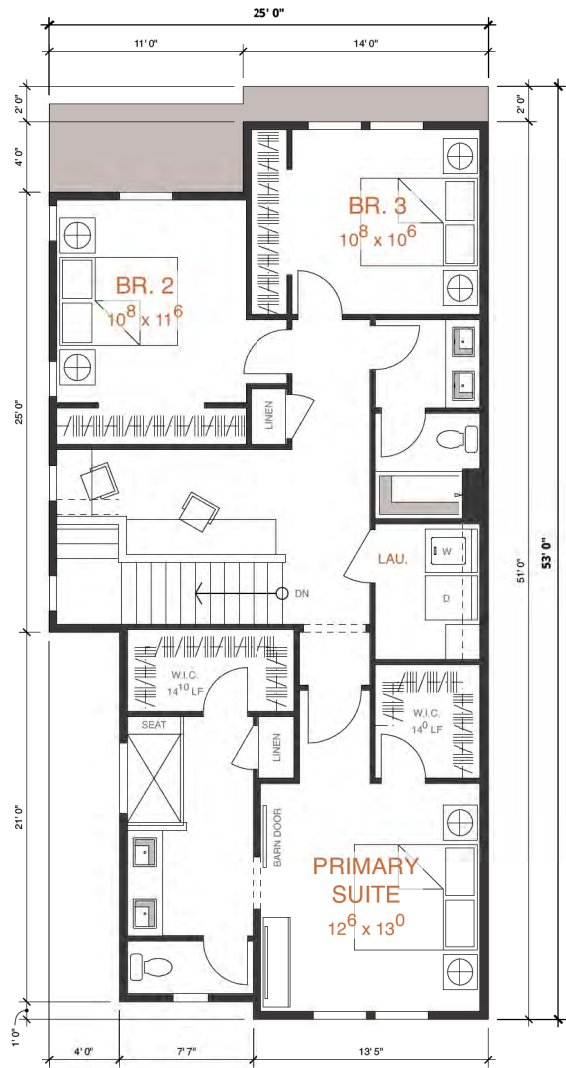


NAPA FARMHOUSE
ROOF PLAN



CALIFORNIA BUNGALOW
ROOF PLAN

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WHITNEY WALK
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SCHEMATIC FLOOR PLAN | PLAN 3 - 1,788 SF



JD+A JOB NUMBER: 24039
DATE: 08.26.2024

A4.1

\\nas01\projects\Library\CloudStorage\Jeffrey\Drawings\Projects\Whitney Sunset 14 LLC\2020 Whitney Walk (Sunset Hills High Density)\01 DESIGN WORKING FILES\02 LAYOUTS\02020\02020\A4_SFD_PLAN_3_3042.dwg



RIGHT ELEVATION

NOTE: "ZERO" LOT LINE WALL TO BE INTERNAL FACING ONLY; NO CORNER CONDITIONS.



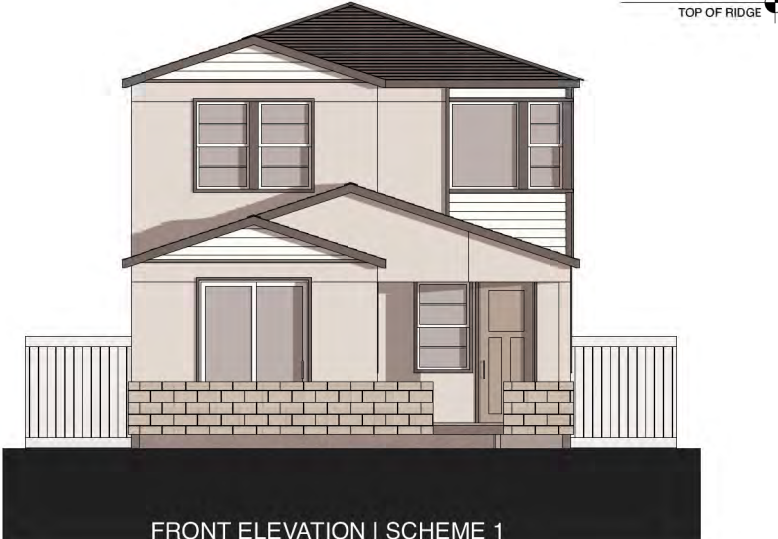
REAR ELEVATION

27'-4" a.f.f.
TOP OF RIDGE



LEFT ELEVATION

NOTE: SLOPED LOT CONDITION SHOWN.



FRONT ELEVATION | SCHEME 1

24'-5" a.f.f.
TOP OF RIDGE

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WHITNEY SUNSET 14 LLC

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SCHEMATIC ELEVATIONS | PLAN 3 - MODERN AGRARIAN

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SCALE: 1/4" = 1'-0"

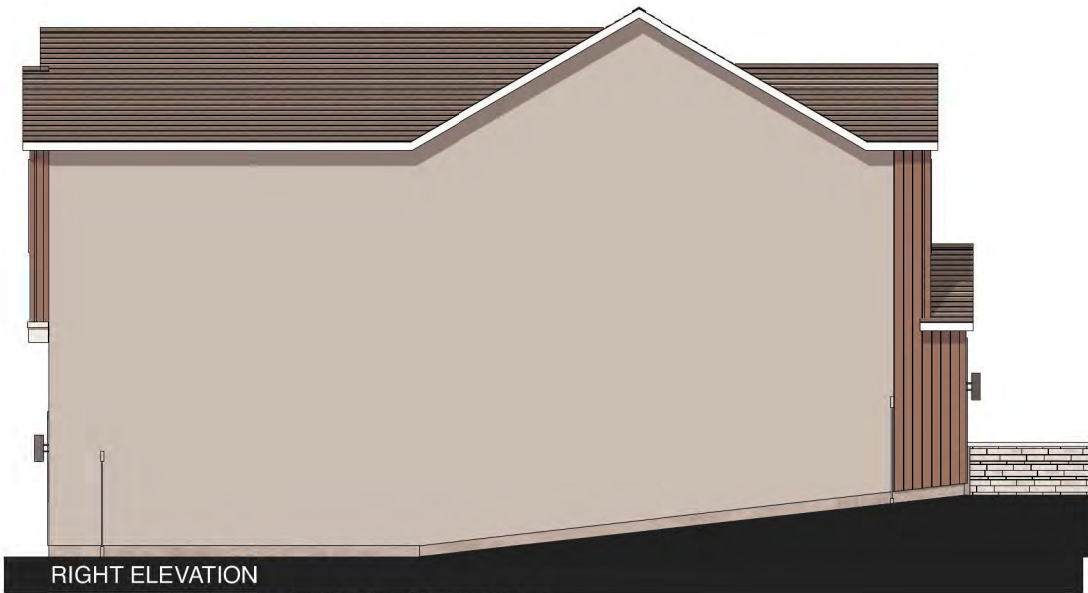


JD+A JOB NUMBER: 24039
DATE: 08.26.2024

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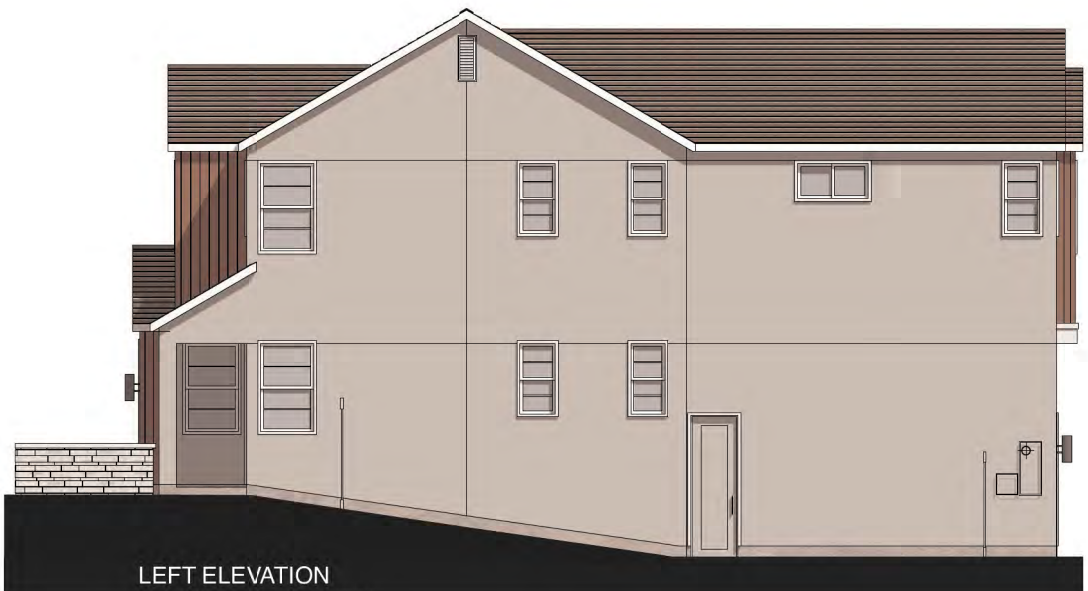
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NOTE: "ZERO" LOT LINE WALL TO BE INTERNAL FACING ONLY; NO CORNER CONDITIONS.



30'-10" a.f.f.
TOP OF RIDGE



NOTE: SLOPED LOT CONDITION SHOWN.



27'-7" a.f.f.
TOP OF RIDGE

SCHEMATIC ELEVATIONS | PLAN 3 - NAPA FARMHOUSE

0 2 4 8
SCALE: 1/4" = 1'-0"



JD+A JOB NUMBER: 24039
DATE: 08.26.2024

A4.3

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WHITNEY WALK

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SCHEMATIC ELEVATIONS | PLAN 3 - CALIFORNIA BUNGALOW

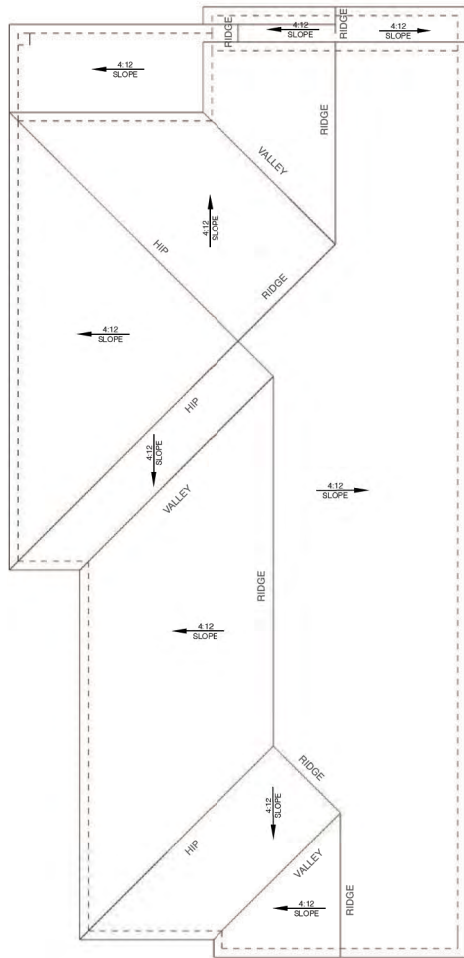
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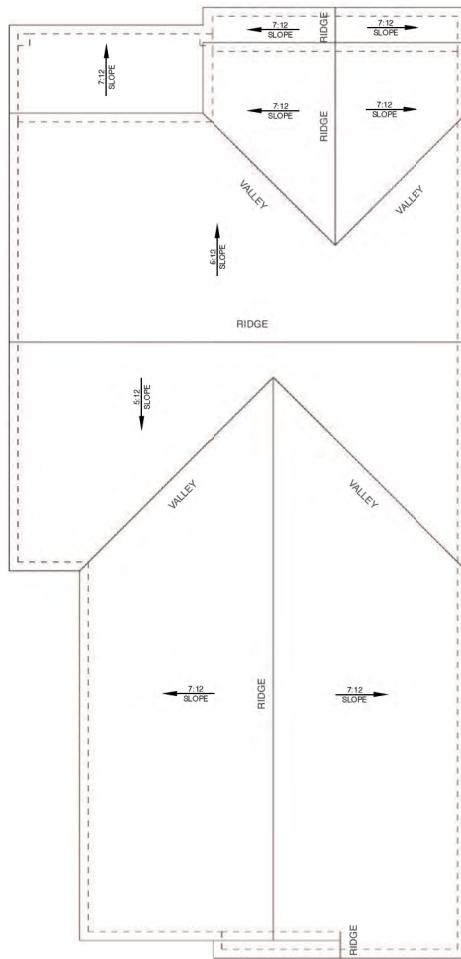
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JD+A JOB NUMBER: 24039
DATE: 08.26.2024

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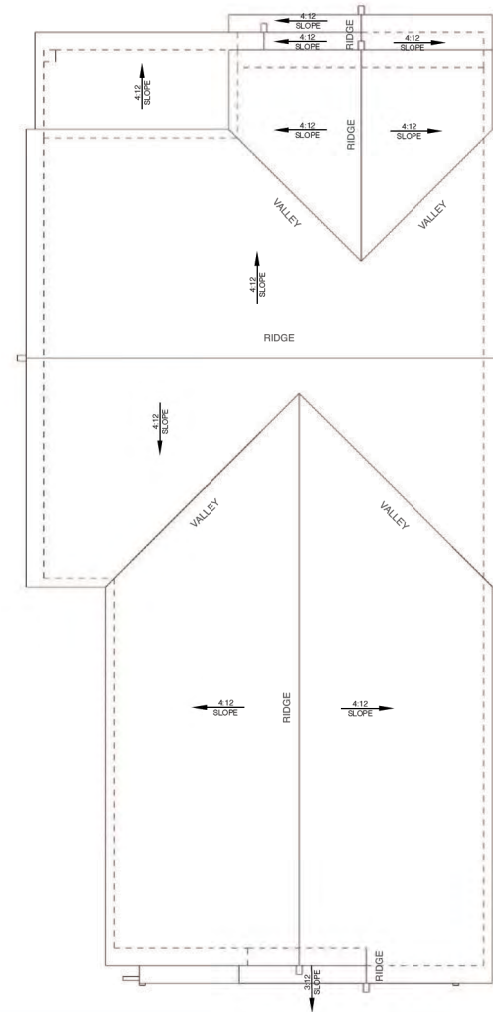


MODERN ARGARIAN
ROOF PLAN



NAPA FARMHOUSE

ROOF PLAN



CALIFORNIA BUNGALOW

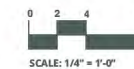
ROOF PLAN

WHITNEY SUNSET 14 LLC

WHITNEY WALK

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SCHEMATIC FLOOR PLAN | BUILDING 1 | UNIT 1 - 1,767 SF | UNIT 2 - 1,427 SF



JD+A JOB NUMBER: 24039
DATE: 08.26.2024

A5.1

WHITNEY WALK
CITY OF ROCKLIN, CALIFORNIA
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0 2 4 8

SCALE: 1/4" = 1'-0"



A5.2



\\nasplang\planning\CloudStorage\JDA\JEFFREY\Projects\Whitney Sunset 14 LLC\24039 WHITNEY WALK SUNSET 14 LLC\24039 WORKING FILES\LAYOUT\761 BDRP\24039_A5.3\A5.3_2024.dwg

32'-0" a.f.f.
TOP OF RIDGE



RIGHT ELEVATION

33'-7" a.f.f.
TOP OF RIDGE



REAR ELEVATION

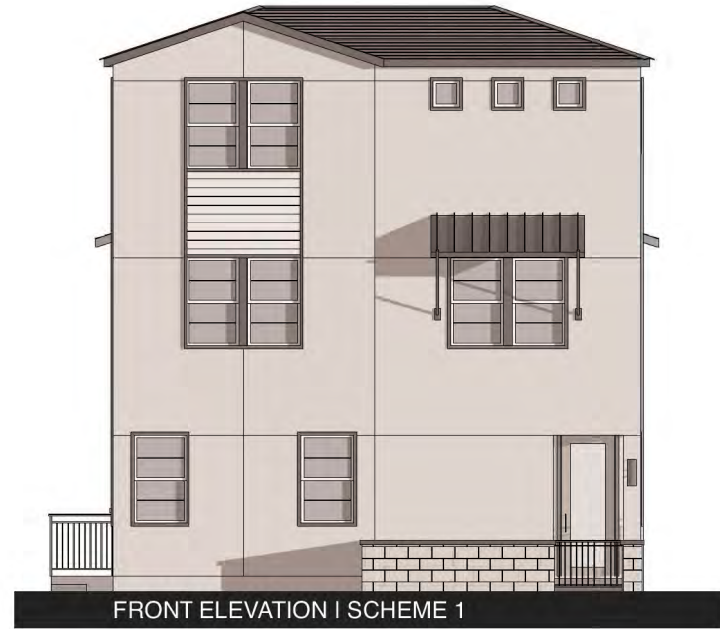
34'-1" a.f.f.
TOP OF RIDGE

33'-7" a.f.f.
TOP OF RIDGE



LEFT ELEVATION

32'-0" a.f.f.
TOP OF RIDGE



FRONT ELEVATION | SCHEME 1

32'-0" a.f.f.
TOP OF RIDGE

PLANNING SUBMITTAL

WHITNEY SUNSET 14 LLC

WHITNEY WALK

CITY OF ROCKLIN, CALIFORNIA

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SCHEMATIC ELEVATIONS | BUILDING 1 - MODERN AGRARIAN

0 2 4 8
SCALE: 1/4" = 1'-0"



JD+A JOB NUMBER: 24039
DATE: 08.26.2024

A5.3

3001 DOUGLAS BOULEVARD | SUITE 110 | ROSEVILLE, CALIFORNIA 95661 | 916.783.3700 | WWW.JDAARCH.COM

\\nasprimg01\larry\cloud\Boulevard\Bryne-plans\02 PROJECTS\WHITNEY SUNSET 14 LLC\24039 WHITNEY WALK HIGH DENSITY\01 DESIGN\02 WORKING FILES\02 LAYOUT\01 BUILDING\24039_A5.4\BUILDINGS_1_3042.dwg

34'-8" a.f.f.
TOP OF RIDGE



RIGHT ELEVATION

33'-7" a.f.f.
TOP OF RIDGE



REAR ELEVATION

34'-1" a.f.f.
TOP OF RIDGE

33'-7" a.f.f.
TOP OF RIDGE



LEFT ELEVATION

34'-8" a.f.f.
TOP OF RIDGE



FRONT ELEVATION | SCHEME 6

34'-8" a.f.f.
TOP OF RIDGE

PLANNING SUBMITTAL

WHITNEY SUNSET 14 LLC

WHITNEY WALK

CITY OF ROCKLIN, CALIFORNIA

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SCHEMATIC ELEVATIONS | BUILDING 1 - NAPA FARMHOUSE

0 2 4 8
SCALE: 1/4" = 1'-0"



JD+A JOB NUMBER: 24039
DATE: 08.26.2024

A5.4

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\\nasplanning\Library\CloudStorage\Ernie-Jason\Shared\PROJECTS\WHITNEY SUNSET 14 LLC\24039 WHITNEY WALK HIGH DENSITY\WORKING FILES\02 LAYOUT\761 BDRP\24039_A5.5\BUILDINGS_1_3042.dwg

32'-4" a.f.f.
TOP OF RIDGE



33'-7" a.f.f.
TOP OF RIDGE



34'-1" a.f.f.
TOP OF RIDGE

33'-7" a.f.f.
TOP OF RIDGE



32'-4" a.f.f.
TOP OF RIDGE



32'-4" a.f.f.
TOP OF RIDGE

PLANNING SUBMITTAL

WHITNEY SUNSET 14 LLC

WHITNEY WALK

CITY OF ROCKLIN, CALIFORNIA

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SCHEMATIC ELEVATIONS | BUILDING 1 - CALIFORNIA BUNGALOW

0 2 4 8
SCALE: 1/4" = 1'-0"

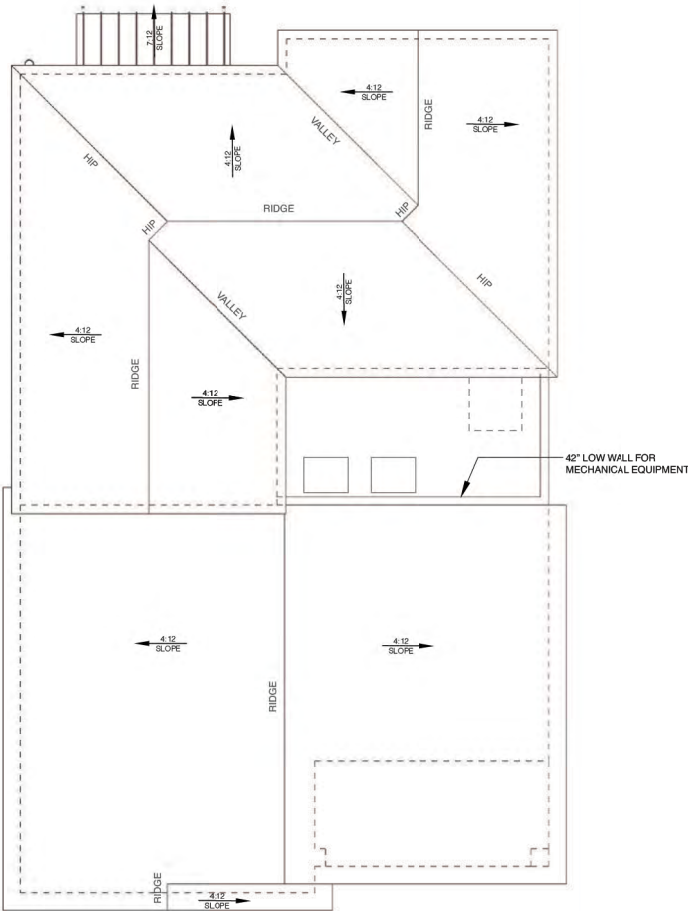


JD+A JOB NUMBER: 24039
DATE: 08.26.2024

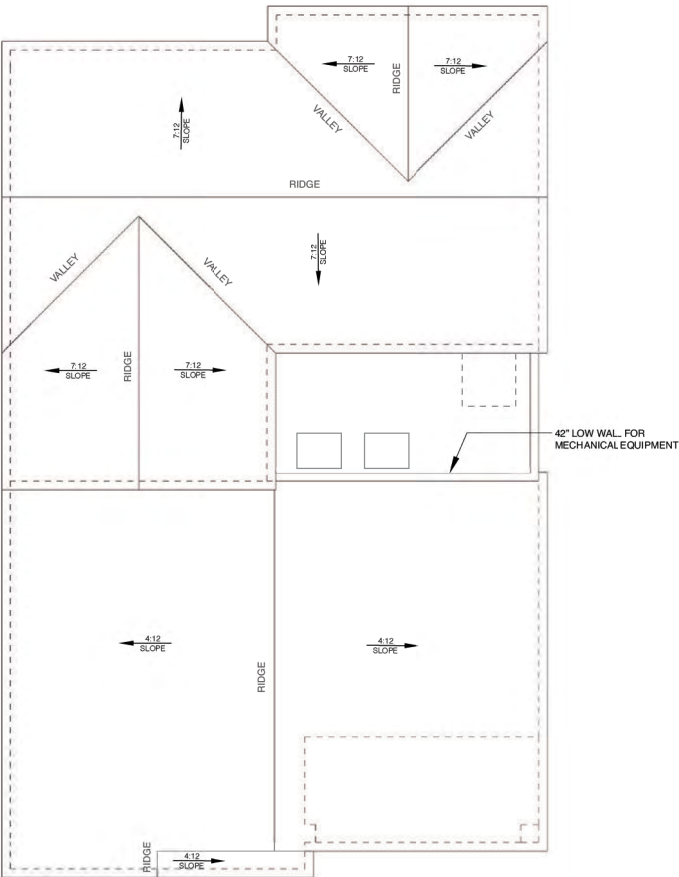
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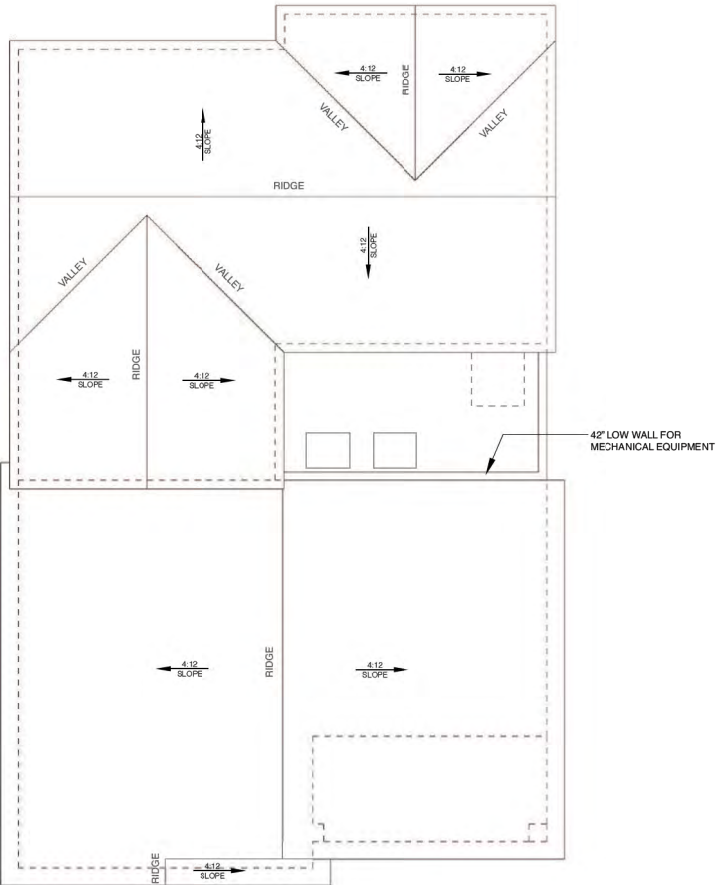
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MODERN ARGARIAN
ROOF PLAN



NAPA FARMHOUSE
ROOF PLAN



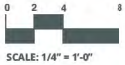
CALIFORNIA BUNGALOW
ROOF PLAN

PLANNING SUBMITTAL

WHITNEY SUNSET 14 LLC

WHITNEY WALK
CITY OF ROCKLIN, CALIFORNIA
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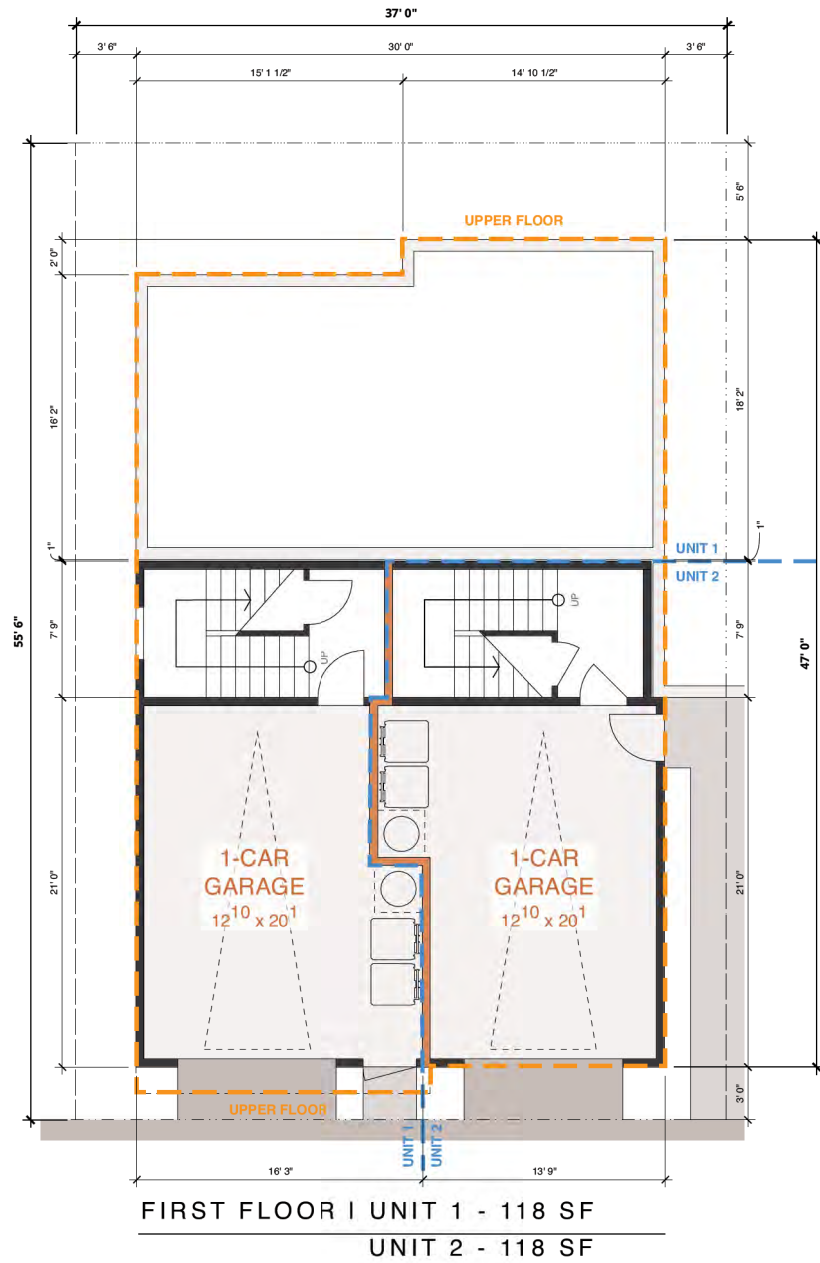
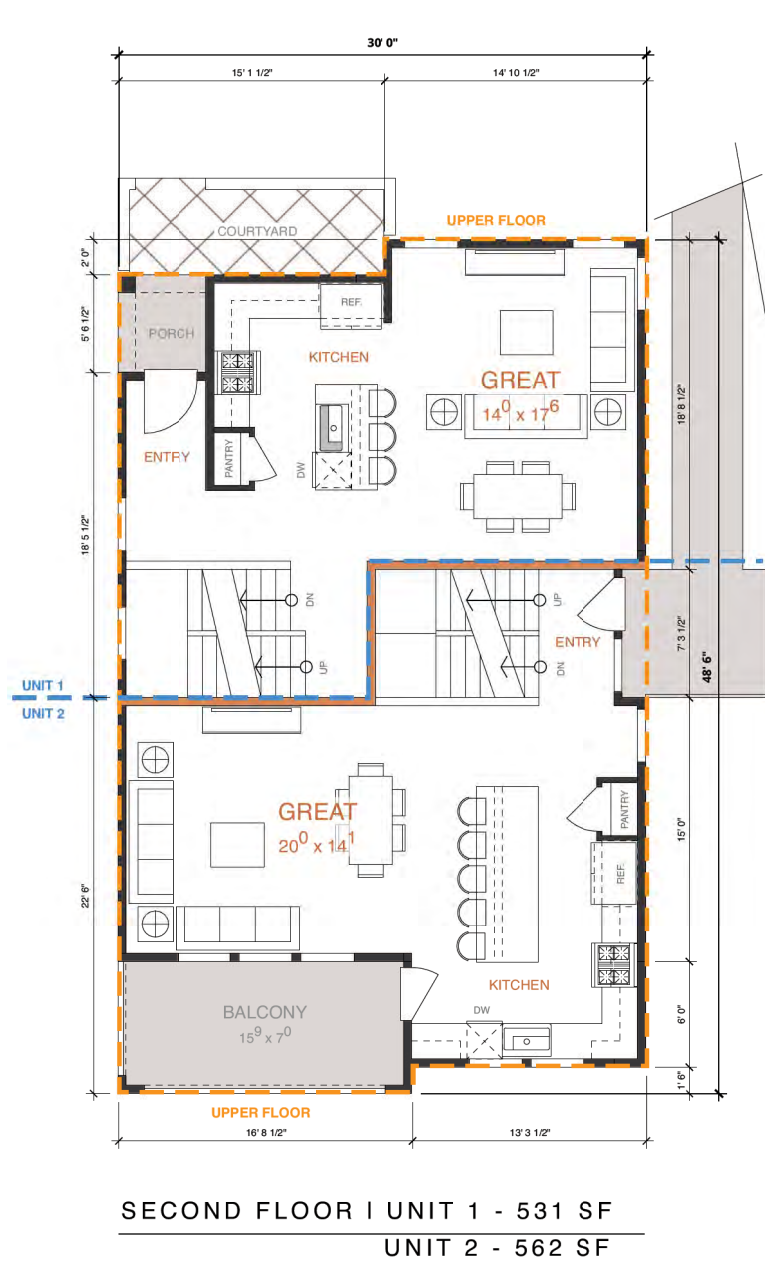
SCHEMATIC ELEVATIONS | BUILDING 1 - ROOF PLANS



JD+A JOB NUMBER: 24039
DATE: 08.26.2024

A5.6

\\nasplang\planning\CloudStorage\Engineering\planning\Shawco\PROJECTS\WHITNEY SUNSET 14 LLC\24039 WHITNEY WALK GUNSET FLLS HIGH DENSITY\01 DESIGN\02 WORKING FLESS\02 LAYOUT\01 BDRP\24039_A5.7\BDRP\24039_A5.7_2024.dwg



PLANNING SUBMITTAL

WHITNEY SUNSET 14 LLC

WHITNEY WALK
CITY OF ROCKLIN, CALIFORNIA
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SCHEMATIC FLOOR PLAN | BUILDING 1 ALT | UNIT 1 - 1,767 SF | UNIT 2 - 1,381 SF

0 2 4 8
SCALE: 1/4" = 1'-0"



JD+A JOB NUMBER: 24039
DATE: 08.26.2024

A5.7

WHITNEY SUNSET 14 LLC

WHITNEY WALK
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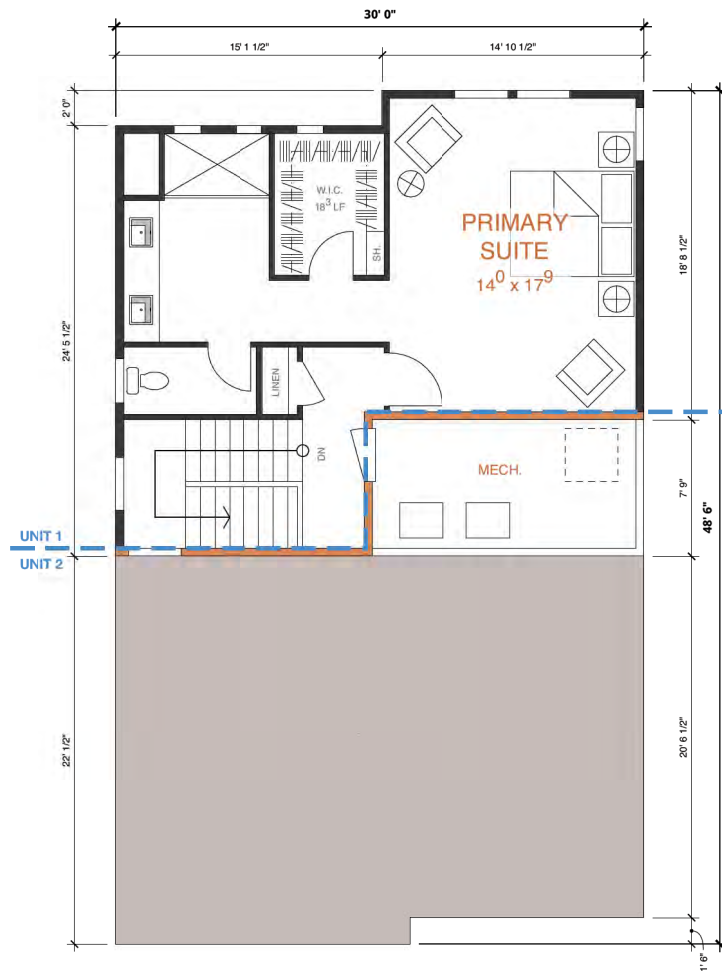
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SCHEMATIC FLOOR PLAN | BUILDING 1 ALT | UNIT 1 - 1,767 SF | UNIT 2 - 1,381 SF

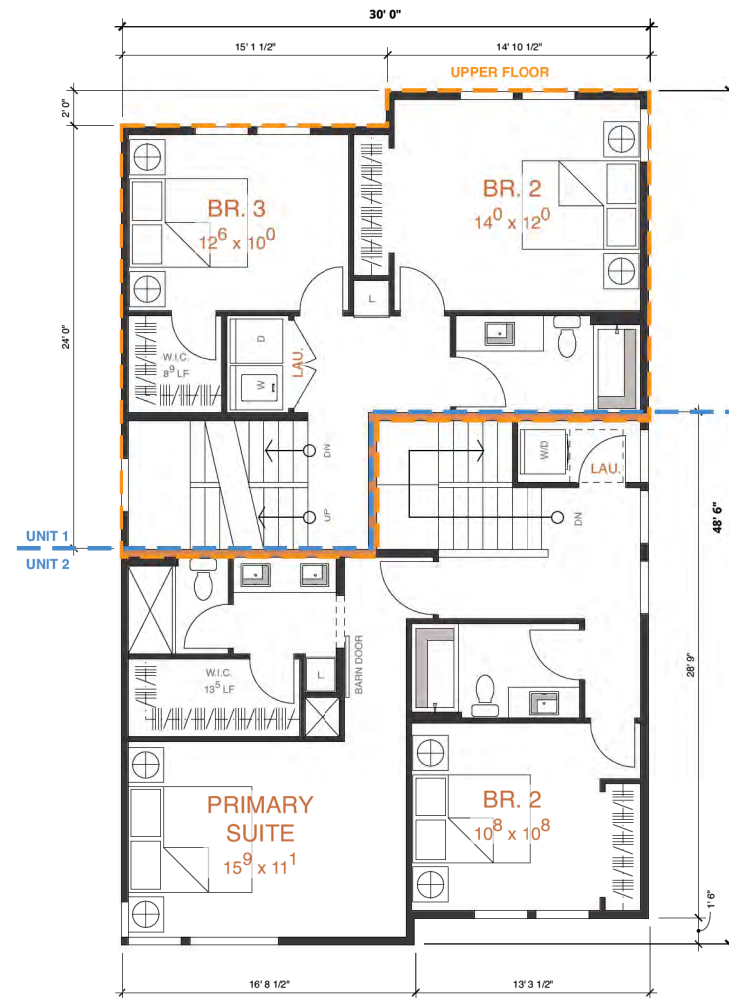


JD+A JOB NUMBER: 24039
DATE: 08.26.2024

A5.8



FOURTH FLOOR I UNIT 1 - 562 SF



THIRD FLOOR | UNIT 1 - 556 SF

UNIT 2 - 701 SF

\\nasplanning\Library\CloudStorage\Ernie-planning\Projects\Whitney Sunset 14 LLC\24039 Whitney Walk\Gunset Hills High Density\Working Files\02 Layout\761 BDRP\24039_A5.9\BDRP_24039_A5.9.dwg

32'-0" a.f.f.
TOP OF RIDGE



RIGHT ELEVATION

33'-7" a.f.f.
TOP OF RIDGE



REAR ELEVATION

34'-1" a.f.f.
TOP OF RIDGE

33'-7" a.f.f.
TOP OF RIDGE



LEFT ELEVATION

32'-0" a.f.f.
TOP OF RIDGE



FRONT ELEVATION | SCHEME 1

32'-0" a.f.f.
TOP OF RIDGE

PLANNING SUBMITTAL

WHITNEY SUNSET 14 LLC

WHITNEY WALK

CITY OF ROCKLIN, CALIFORNIA

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SCHEMATIC ELEVATIONS | BUILDING 1 ALT - MODERN AGRARIAN

0 2 4 8
SCALE: 1/4" = 1'-0"



JD+A JOB NUMBER: 24039
DATE: 08.26.2024

A5.9

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\\nasprange\larry\cloud\Boulevard\Bryne-plans\02 PROJECTS\WHITNEY SUNSET 14 LLC\24039 WHITNEY WALK\HILLS HIGH DENSITY\01 DESIGN\02 WORKING FILES\02 LAYOUT\01 BUILDING\24039_A5.10\BUILDINGS_1_3042.dwg

34'-8" a.f.f.
TOP OF RIDGE



33'-7" a.f.f.
TOP OF RIDGE



34'-1" a.f.f.
TOP OF RIDGE

33'-7" a.f.f.
TOP OF RIDGE



34'-8" a.f.f.
TOP OF RIDGE



34'-8" a.f.f.
TOP OF RIDGE

PLANNING SUBMITTAL

WHITNEY SUNSET 14 LLC

WHITNEY WALK

CITY OF ROCKLIN, CALIFORNIA

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SCHEMATIC ELEVATIONS | BUILDING 1 ALT - NAPA FARMHOUSE

0 2 4 8
SCALE: 1/4" = 1'-0"

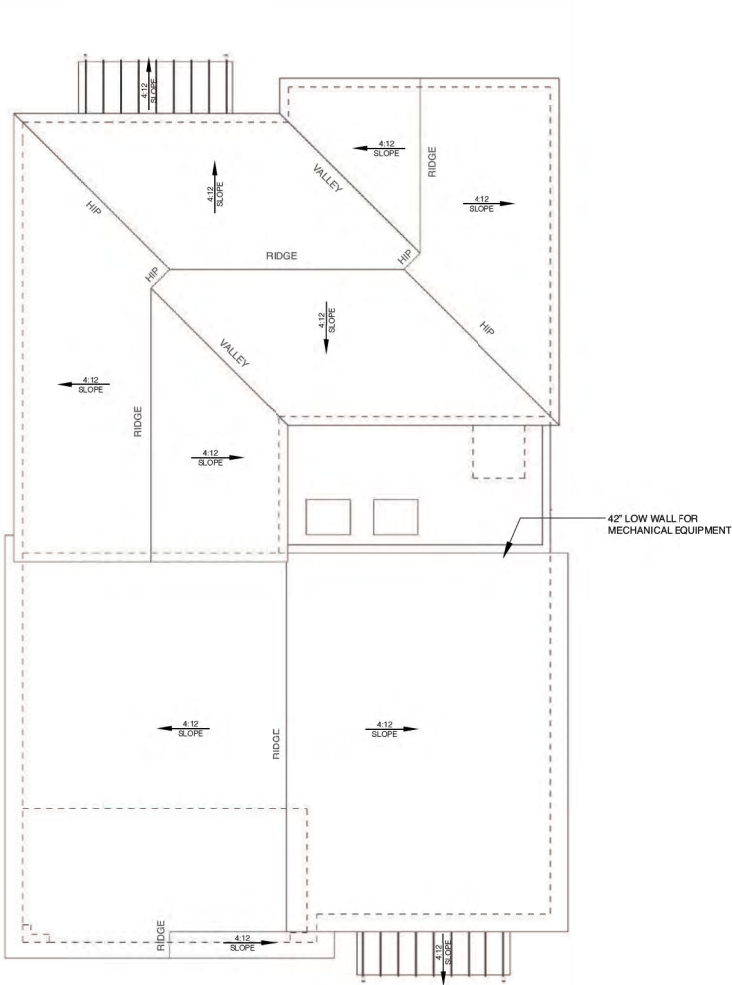


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DATE: 08.26.2024

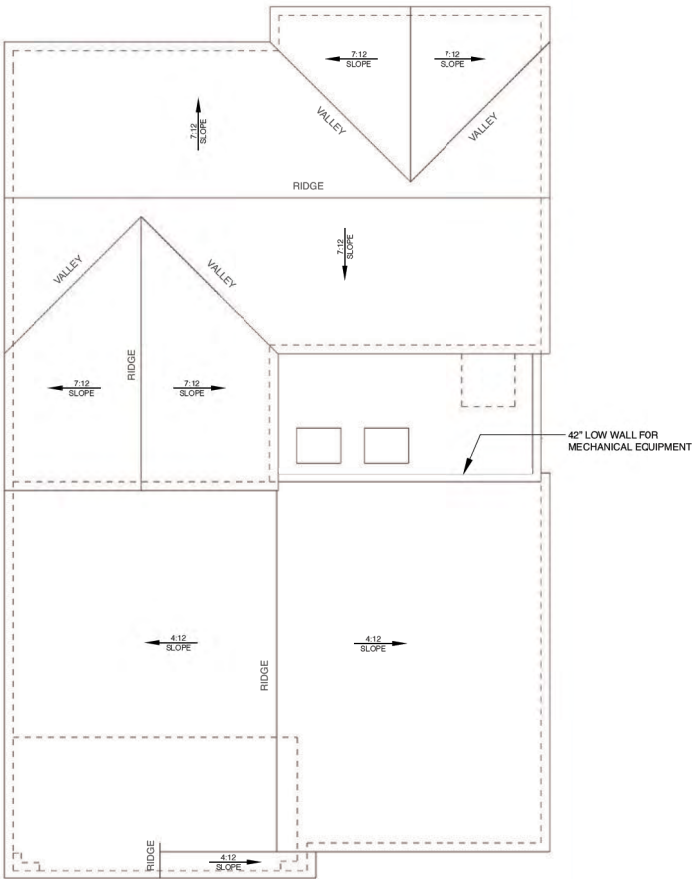
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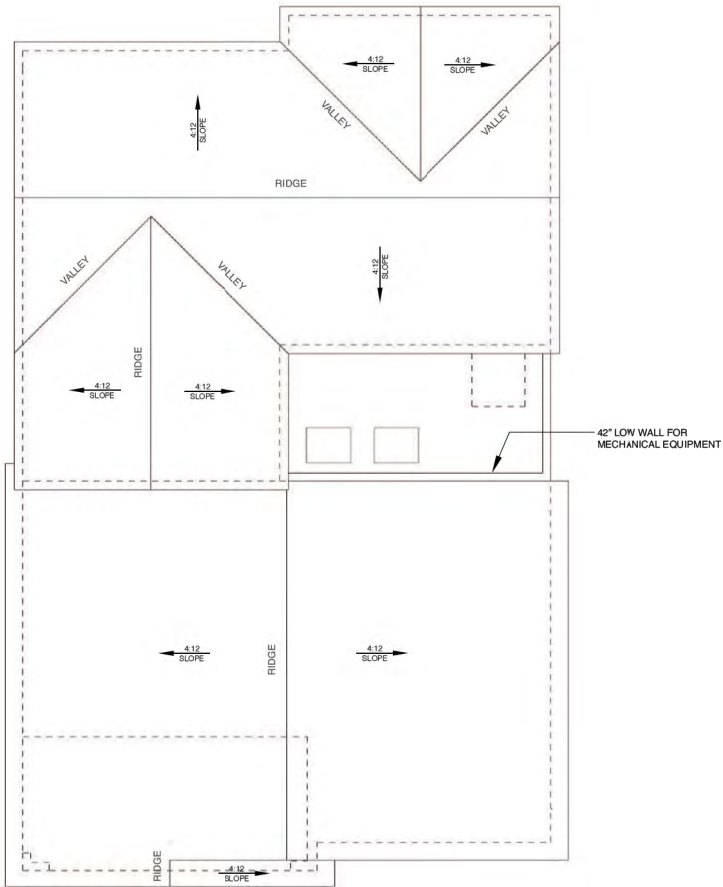
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MODERN ARGARIAN
ROOF PLAN



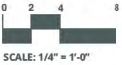
NAPA FARMHOUSE
ROOF PLAN



CALIFORNIA BUNGALOW
ROOF PLAN

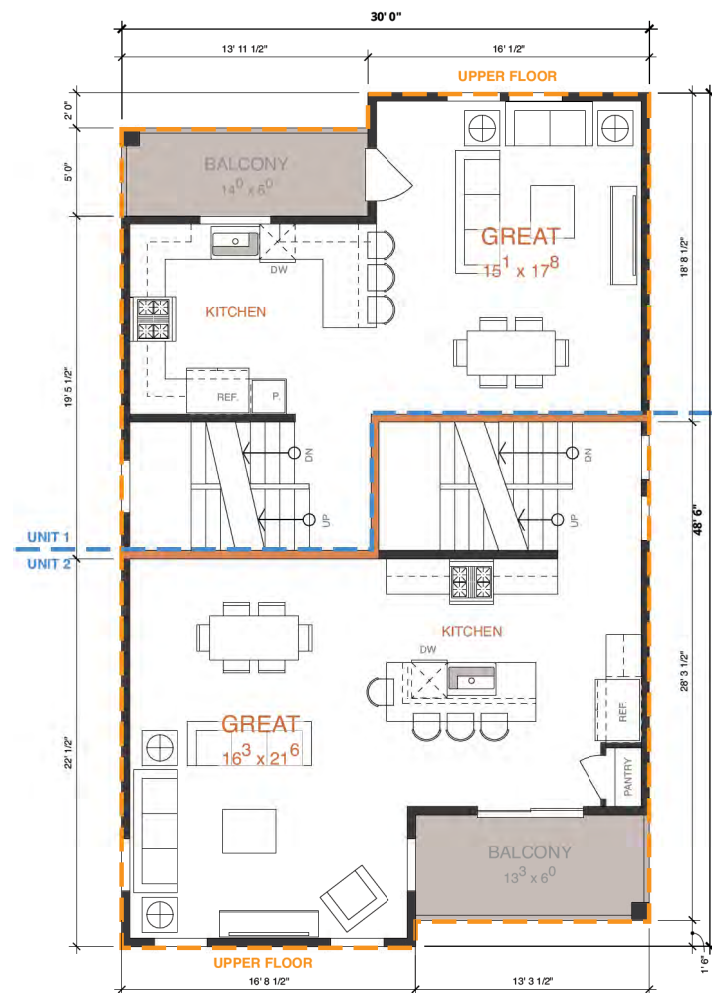
PLANNING SUBMITTAL

SCHEMATIC ELEVATIONS | BUILDING 1 ALT - ROOF PLANS

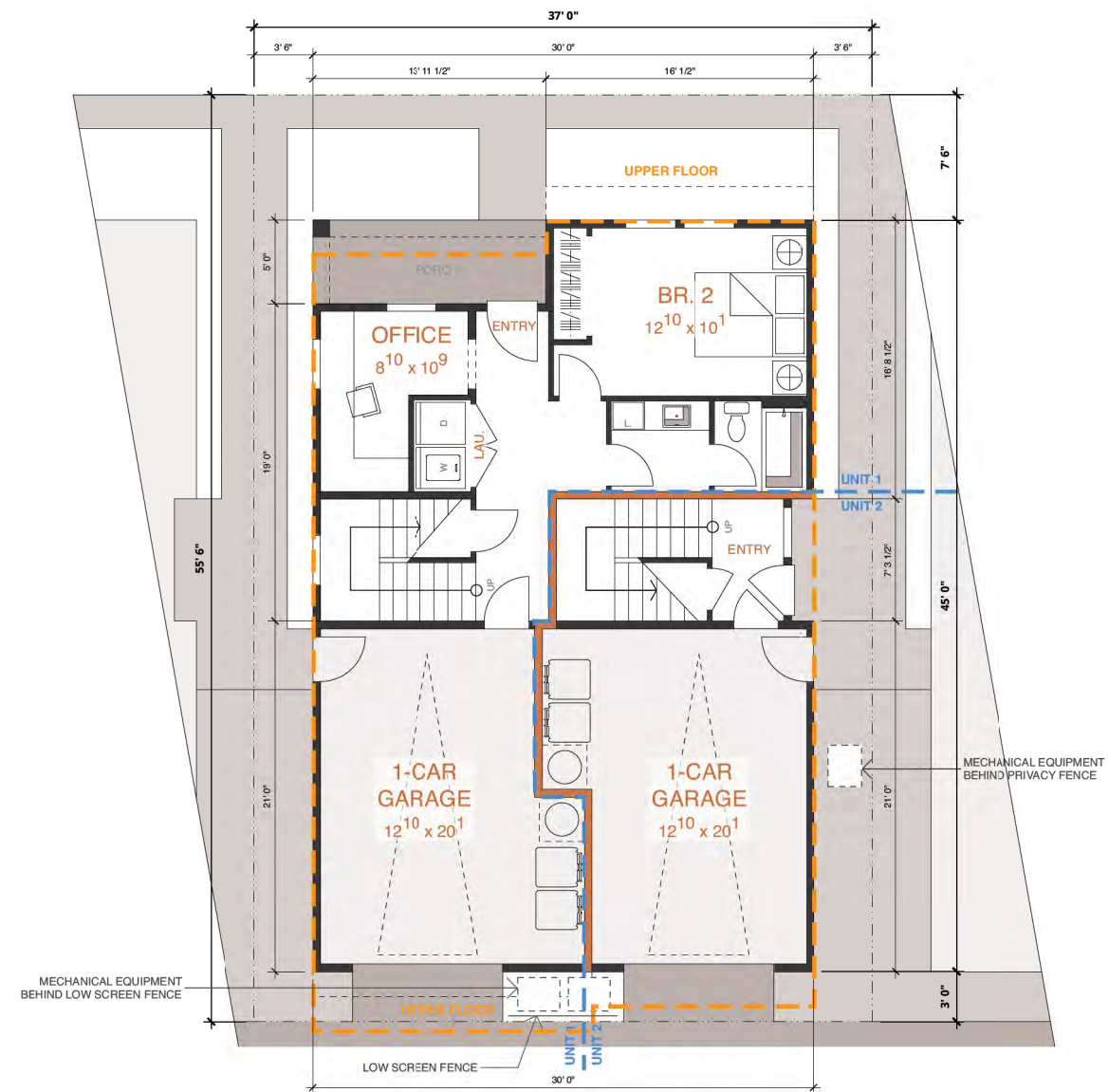


JD+A JOB NUMBER: 24039
DATE: 08.26.2024

A5.12



SECOND FLOOR | UNIT 1 - 556 SF
UNIT 2 - 701 SF



FIRST FLOOR | UNIT 1 - 118 SF

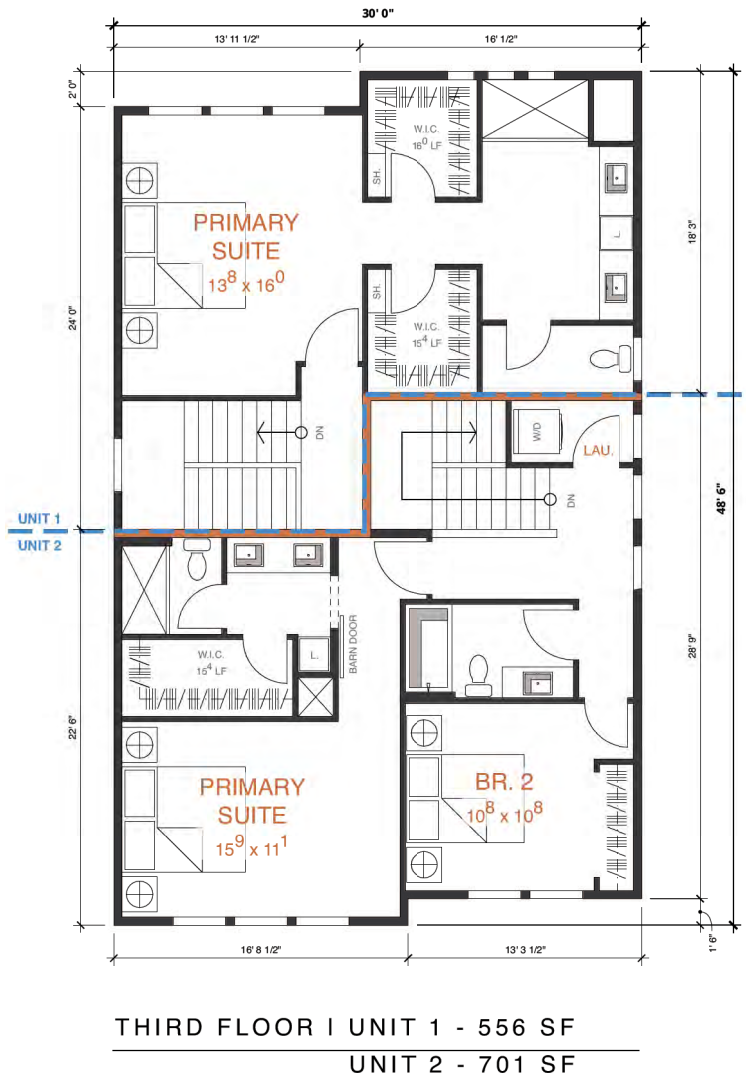
UNIT 2 - 118 SF

WHITNEY WALK
CITY OF ROCKLIN, CALIFORNIA
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SCHEMATIC FLOOR PLAN | BUILDING 2 | UNIT 1 - 1,230 SF | UNIT 2 - 1,520 SF



A6.2



WHITNEY WALK
CITY OF ROCKLIN, CALIFORNIA
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SCHEMATIC ELEVATIONS | BUILDING 2 - MODERN AGRARIAN



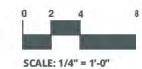
JD+A JOB NUMBER: 24039
DATE: 08.26.2024

A6.3

WHITNEY WALK
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SCHEMATIC ELEVATIONS | BUILDING 2 - NAPA FARMHOUSE



JD+A JOB NUMBER: 24039
DATE: 08.26.2024

A6.4

\\nasphang\at\any\CloudStorage\JDA\JEFFREY DEMURE\Projects\Whitney Sunset\14 LLC\24039 WHITNEY WALK SUNSET HILLS HIGH DENSITY\01 DESIGN\02 WORKING FILES\0701 SCOPES\24039_A6.DIETS_BUILDING 2_3042.dwg



PLANNING SUBMITTAL

WHITNEY SUNSET 14 LLC

WHITNEY WALK
CITY OF ROCKLIN, CALIFORNIA
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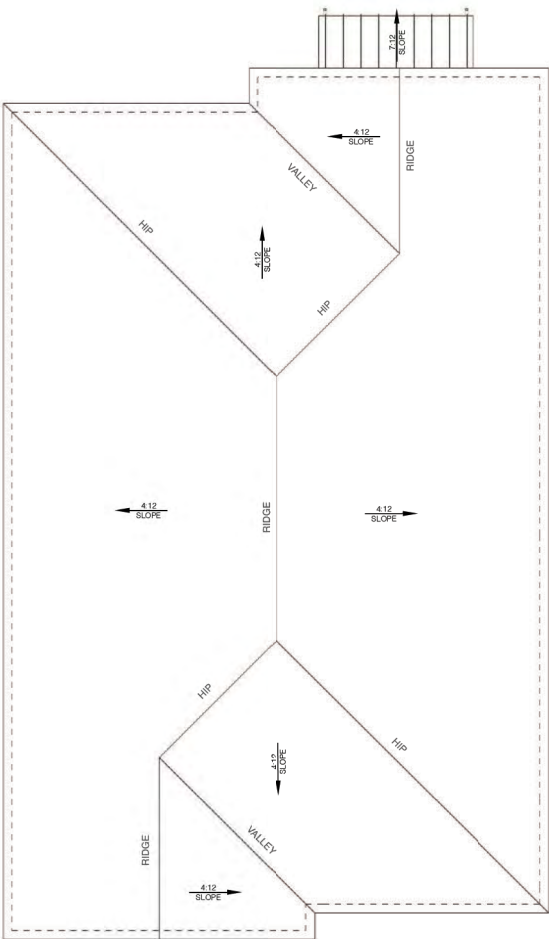
SCHEMATIC ELEVATIONS | BUILDING 2 - CALIFORNIA BUNGALOW



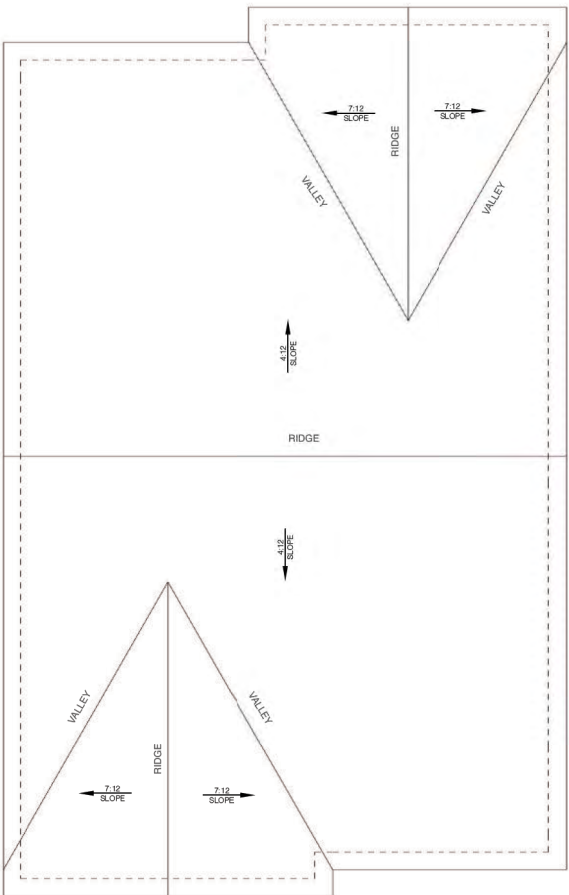
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DATE: 08.26.2024

A6.5

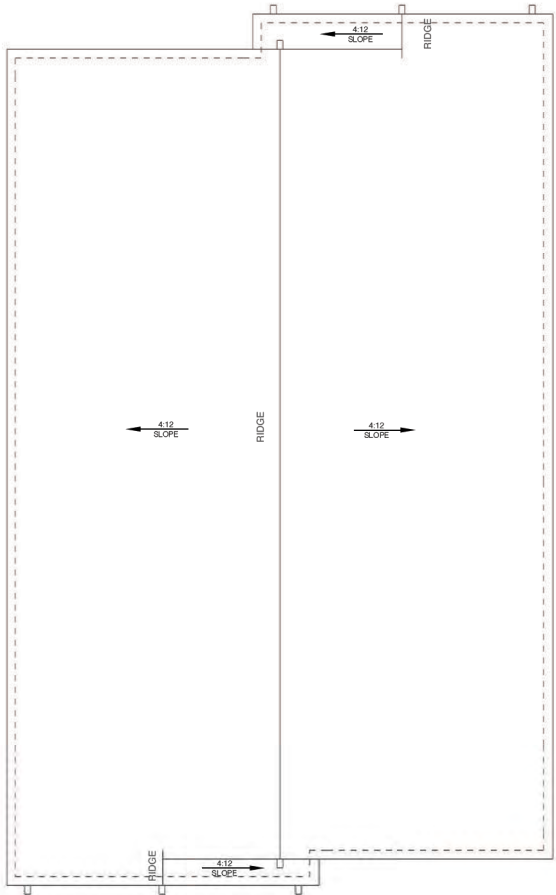
3001 DOUGLAS BOULEVARD | SUITE 110 | ROSEVILLE, CALIFORNIA 95661 | 916.783.3700 | WWW.JDAARCH.COM



MODERN ARGARIAN
ROOF PLAN



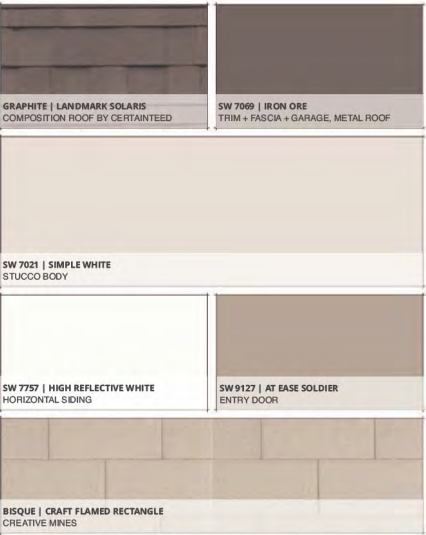
NAPA FARMHOUSE
ROOF PLAN



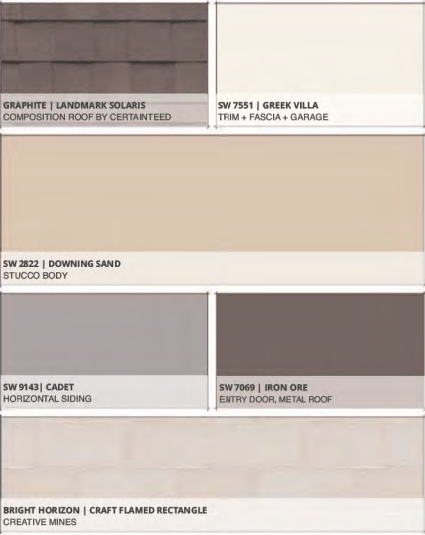
CALIFORNIA BUNGALOW
ROOF PLAN

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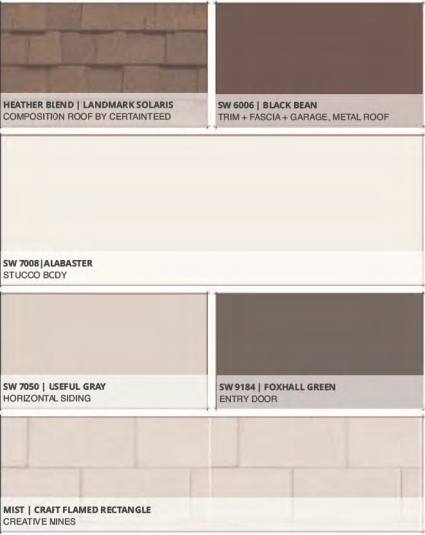
SCHEME 1



SCHEME 2



SCHEME 3



PLANNING SUBMITTAL

A:\new\pangal\bury\CloudStorage\Jeffrey-Demure\Drawings\Projects\Whitney Sunset 14\LLCS\09 WHITNEY WALK (SUNSET HILLS HIGH DENSITY) DESIGN\02 WORKING FILES\03 LAYOUT\01 SDO\BPS\009_A7_COLOR + MATERIALS_3042

SCHEME 4



SCHEME 5



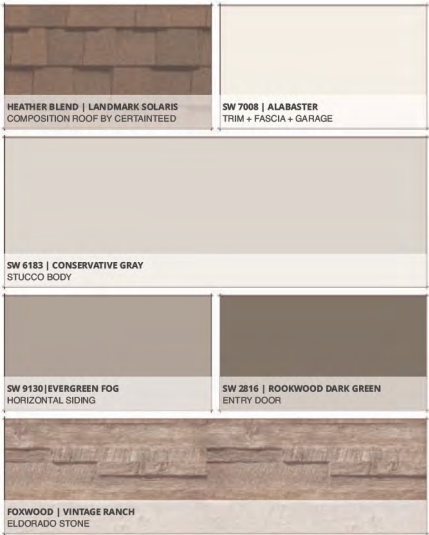
SCHEME 6



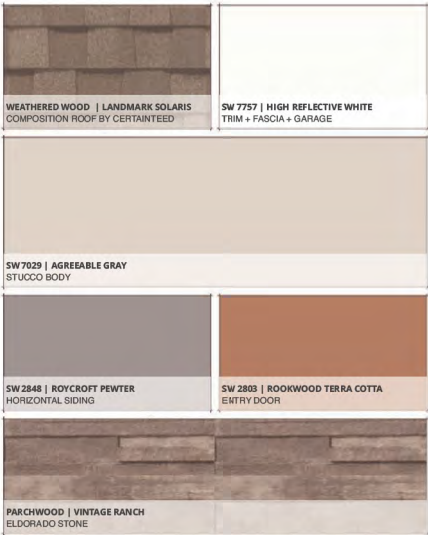
PLANNING SUBMITTAL

A:\new\p\angel_barry\CloudStorage\Expyre\plans\Expyre\Shared\2 PROJECTS\WHITNEY SUNSET 14\LLCS\09 WHITNEY WALK (SUNSET HILLS HIGH DENSITY)01 DESIGN\02 WORKING FILES\03 LAYOUT\01 SDOBP\SK09_A7_COLOR + MATERIALS_3A42

SCHEME 7



SCHEME 8



SCHEME 9



OWNER
WHITNEY SUNSET 14, LLC
1031 ROSEVILLE PARKWAY, SUITE 148
ROSEVILLE, CA 95678
ATTN: PETER SAETES
peter@saetesinvestments.com
(916) 628-7778

WHITNEY SUNSET 14, LLC

APPLICANT
PARISH & ASSOCIATES, INC.
P.O. BOX 6567
AUBURN, CA 95604
ATTN: ROB PARISH
rob@parish-associates.com
(916) 961-5201

Parish & Associates, Inc.
Project Management • Land Development • Landscape

ENGINEER
TSD ENGINEERING, INC.
785 ORCHARD DRIVE, SUITE 110
FOLSOM, CA 95630
ATTN: CASEY FEICKERT
cfeickert@tsdeng.com
(916) 608-0707



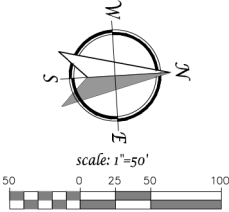
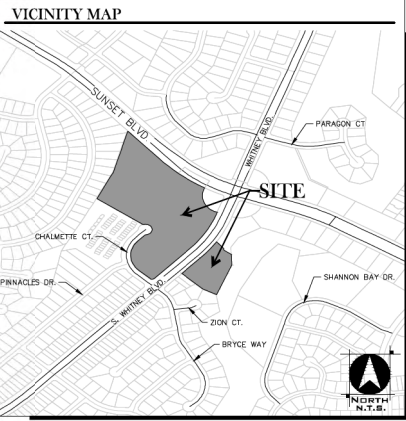
ARCHITECT
JEFFREY DEMURE + ASSOCIATES
3001 DOUGLAS BOULEVARD, SUITE 110
ROSEVILLE, CA 95661
ATTN: SEAN RICHARDSON
srichardson@jdaarch.com
(916) 783-3700



LANDSCAPE ARCHITECT
FUHRMAN LEAMY LAND GROUP
2140 PROFESSIONAL DRIVE, SUITE 115
ROSEVILLE, CA 95661
ATTN: KEVIN LEAMY
kevinl@fllandgroup.com
(916) 783-5263



INDEX OF EXHIBITS:	
C-0	PRELIMINARY COVER SHEET
C-1	TENTATIVE SUBDIVISION MAP
C-2	PRELIMINARY SITE PLAN
C-3	PRELIMINARY GRADING & DRAINAGE PLAN
C-4	PRELIMINARY SECTIONS
C-5	PRELIMINARY SECTIONS
C-6	PRELIMINARY SECTIONS
C-7	PRELIMINARY UTILITY PLAN
C-8	PRELIMINARY FIRE ACCESS PLAN
C-9	PRELIMINARY TREE EXHIBIT
PL1	PRELIMINARY LANDSCAPE PLAN
PL2	PRELIMINARY LANDSCAPE DETAILS



WHITNEY WALK - ROCKLIN

C-0

Southwest Corner of Sunset Blvd. & South
Whitney Blvd., Rocklin, California

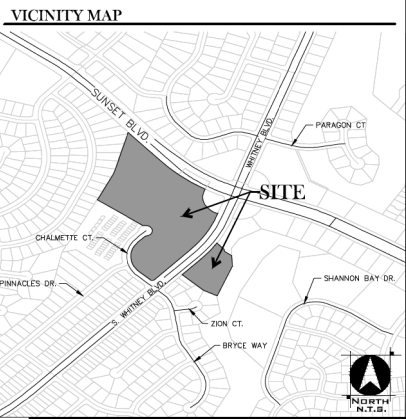
Proposed **Whitney Sunset 14, LLC**
By: 1031 Roseville Parkway, Suite 148
Roseville, CA 95678

In Association With:
**JD+A (Architects), TSD Engineering, Inc. (Civil), Fuhrman
Leamy Land Group (Landscape Architecture)**

OCTOBER 18, 2024 - INITIAL SUBMITTAL

TSD ENGINEERING, INC.
785 Orchard Drive, Suite #110
Folsom, CA 95630
Phone: (916) 608-0707
Fax: (916) 608-0701

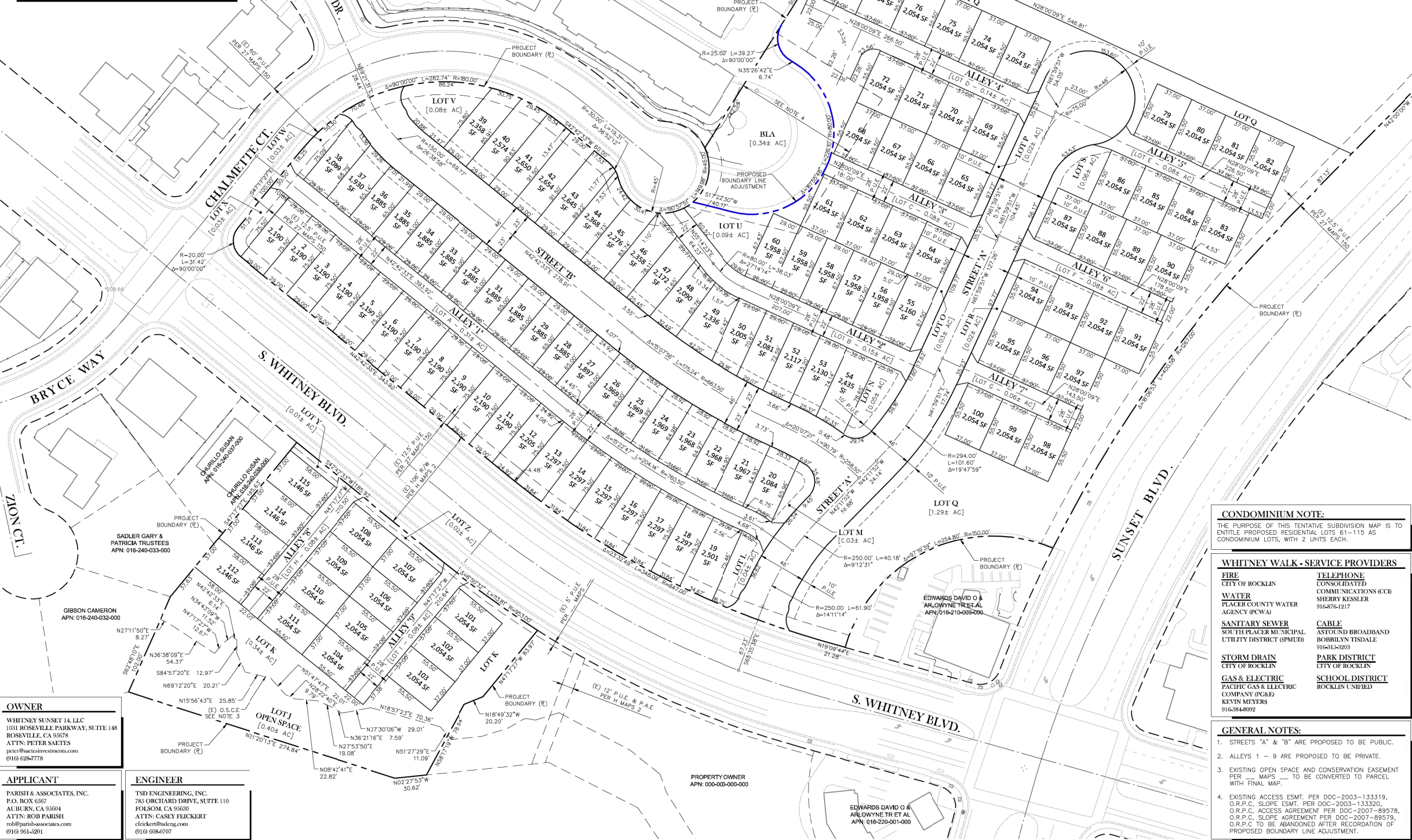
Tentative Subdivision Map
And Condominium Project



BASIS OF BEARING:
THE BASIS OF BEARINGS FOR THIS SURVEY IS IDENTICAL TO THAT SHOWN ON THE FINAL MAP OF "REMANINDER OF LOT 2, SUNSET PARK UNIT NO. 1" FILED IN BOOK 27 OF PARCEL MAPS AT PAGE 150, PLACER COUNTY RECORDS, BASED UPON FOUND MONUMENTS SHOWN HEREON.

FLOOD ZONE:
ZONE X (AREA OF MINIMAL FLOOD HAZARD) PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NO. 06061C0942, DATED NOVEMBER 2, 2018.

CITY OF ROCKLIN
BENCHMARK - R 8-2 249.40 FEET
BEING IS A FOUND COPPERWELD IN CENTERLINE ± OF CONCRETE ISLAND OF BRIDGE SUNSET BLVD. OVER UNION PACIFIC RR 500' WEST OF PACIFIC ST. STAMPED "D 13 HV 11". ELEVATION = 249.40 FT (NGVD29)



WHITNEY WALK - PROJECT SUMMARY

ASSESSORS PARCEL NO. 016-210-011, 016-210-044 & 016-210-030-000	
EXISTING LAND USE	
VACANT	
EXISTING GENERAL PLAN	- HDR
EXISTING ZONING	- PD-R
PROPOSED LAND USE	
RESIDENTIAL	
PROPOSED GENERAL PLAN	- HDR
PROPOSED ZONING	- PD-R
PROPOSED RESIDENTIAL LOTS - 170 UNITS	
SINGLE FAMILY DETACHED	- 60 UNITS
SINGLE FAMILY DUET (ATTACHED)	- 110 UNITS
PROPOSED LETTERED LOTS - 26 LOTS	
LOT-A [ALLEY 1]	- 13,336 SF
LOT-B [ALLEY 2]	- 6,371 SF
LOT-C [ALLEY 3]	- 3,260 SF
LOT-D [ALLEY 4]	- 6,147 SF
LOT-E [ALLEY 5]	- 3,707 SF
LOT-F [ALLEY 6]	- 3,537 SF
LOT-G [ALLEY 7]	- 2,728 SF
LOT-H [ALLEY 8]	- 3,519 SF
LOT-I [ALLEY 9]	- 3,523 SF
LOT-J [OPEN SPACE]	- 17,662 SF
LOT-K [LANDSCAPE]	- 14,611 SF
LOT-L [LANDSCAPE]	- 1,806 SF
LOT-M [LANDSCAPE]	- 1,165 SF
LOT-N [LANDSCAPE]	- 2,196 SF
LOT-O [LANDSCAPE]	- 1,169 SF
LOT-P [LANDSCAPE]	- 1,049 SF
LOT-Q [LANDSCAPE]	- 3,617 SF
LOT-R [LANDSCAPE]	- 1,049 SF
LOT-S [LANDSCAPE]	- 2,466 SF
LOT-T [OPEN SPACE]	- 84,920 SF
LOT-U [LANDSCAPE]	- 3,728 SF
LOT-V [LANDSCAPE]	- 3,437 SF
LOT-W [LANDSCAPE]	- 1,340 SF
LOT-X [LANDSCAPE]	- 1,403 SF
LOT-Y [LANDSCAPE]	- 558 SF
LOT-Z [LANDSCAPE]	- 1,067 SF
PROJECT AREAS	
RESIDENTIAL LOTS	- 5,55± AC [241,890± SF]
LETTERED LOTS (OPEN SPACE)	- 2,26± AC [102,582± SF]
LETTERED LOTS (OTHER)	- 3,22± AC [139,692± SF]
STREET R/W	- 1.40± AC [60,867± SF]
BOUNDARY LINE ADJUSTMENT	- 0.34± AC [14,738± SF]
TOTAL	- 12.85± AC [559,808± SF]
RESIDENTIAL LOT SIZES	
MINIMUM LOT SIZE	- 1,885± SF
MAXIMUM LOT SIZE	- 2,654± SF
AVERAGE LOT SIZE	- 2,103± SF
PROPOSED DENSITY	
167± DU/AC	
NOTES:	
1. DESIGNATED OPEN SPACE LOTS "J" & "T"	
2. DENSITY CALCULATION EXCLUDES AREAS FOR DESIGNATED OPEN SPACE LOTS "J" & "T" AND PROPOSED BOUNDARY LINE ADJUSTMENT	

CONDOMINIUM NOTE:

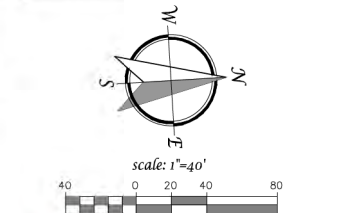
THE PURPOSE OF THIS TENTATIVE SUBDIVISION MAP IS TO ENTITLE PROPOSED RESIDENTIAL LOTS 61-115 AS CONDOMINIUM LOTS, WITH 2 UNITS EACH.

WHITNEY WALK - SERVICE PROVIDERS

FIRE CITY OF ROCKLIN	TELEPHONE CONSOLIDATED COMMUNICATIONS (CCI)
WATER PLACER COUNTY WATER AGENCY (PCWA)	SHERIFF KESSLER 916-876-1217
SANITARY SEWER SOUTH PLACER MUNICIPAL UTILITY DISTRICT (SPMUD)	CABLE ASTOUND BROADBAND BOBBILYN TISDALE 916-614-8089
STORM DRAIN CITY OF ROCKLIN	PARK DISTRICT CITY OF ROCKLIN
GAS & ELECTRIC PACIFIC GAS & ELECTRIC COMPANY (PG&E) KEVIN MEYERS 916-384-8092	SCHOOL DISTRICT ROCKLIN UNIFIED

GENERAL NOTES:

- STREETS "A" & "B" ARE PROPOSED TO BE PUBLIC.
- ALLEYS 1 - 9 ARE PROPOSED TO BE PRIVATE.
- EXISTING OPEN SPACE AND CONSERVATION EASEMENT PER MAPS TO BE CONVERTED TO PARCEL WITH FINAL MAP.
- EXISTING ACCESS ESMT. PER DOC-2003-133319, O.R.P.C. SLOPE ESMT. PER DOC-2003-133320, O.R.P.C. ACCESS AGREEMENT PER DOC-2007-89578, O.R.P.C. SLOPE AGREEMENT PER DOC-2007-89579, O.R.P.C. TO BE ABANDONED AFTER RECORDED OF PROPOSED BOUNDARY LINE ADJUSTMENT.



OWNER
WHITNEY SUNSET 14, LLC
1031 ROSEVILLE PARKWAY, SUITE 148
ROSEVILLE, CA 95678
ATTN: PETER SAETES
peter@saetesinvestments.com
(916) 628-7778

APPLICANT
PARISH & ASSOCIATES, INC.
P.O. BOX 6967
AUBURN, CA 95604
ATTN: ROB PARISH
rob@parishassociates.com
(916) 961-0201

ENGINEER
TSD ENGINEERING, INC.
783 ORCHARD DRIVE, SUITE 110
FOLSOM, CA 95630
ATTN: CASEY FEICKERT
cfeickert@tsdeng.com
(916) 698-0707

WHITNEY WALK - ROCKLIN

Southwest Corner of Sunset Blvd. & South
Whitney Blvd., Rocklin, California

Proposed By: **Whitney Sunset 14, LLC**
1031 Roseville Parkway, Suite 148
Roseville, CA 95678

In Association With:
**JD+A (Architects), TSD Engineering, Inc. (Civil), Fuhrman
Leamy Land Group (Landscape Architecture)**

OCTOBER 18, 2024 - INITIAL SUBMITTAL

TSD ENGINEERING, INC.
expect more.
785 Orchard Drive, Suite #110
Folsom, CA 95630
Phone: (916) 608-0707
Fax: (916) 608-0701

WHITNEY WALK - PARKING SUMMARY	
GARAGE SPACES	~190 [SINGLE FAMILY DETACHED]
GARAGE SPACES	~110 [DUET ATTACHED]
DRIVEWAY SPACES	~14 [LOTS 39-45]
ON-STREET (PARALLEL)	~104 [9'x24']
OFF-STREET (STANDARD)	~6 [9'x19' w/ 2' OVERHANG]
TOTAL SPACES	~354

- GENERAL NOTES:**
- STREETS "A" & "B" ARE PROPOSED TO BE PUBLIC.
 - ALLEYS 1 - 9 ARE PROPOSED TO BE PRIVATE.
 - EXISTING OPEN SPACE AND CONSERVATION EASEMENT TO BE CONVERTED TO PARCEL WITH FINAL MAP.
 - EXISTING ACCESS ESMT. PER DOC-2003-133319, O.R.P.C. SLOPE ESMT. PER DOC-2003-133320, O.R.P.C. ACCESS AGREEMENT PER DOC-2007-89578, O.R.P.C. SLOPE AGREEMENT PER DOC-2007-89579, O.R.P.C. TO BE ABANDONED AFTER RECORDATION OF PROPOSED BOUNDARY LINE ADJUSTMENT.
 - EXISTING PARKING LOT IMPROVEMENTS ON ADJACENT PROPERTY (APN: 016-210-009-000) ENCROACH PROJECT PROPERTY (0' TO 4.9'±).

Preliminary Site Plan

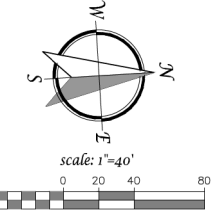


KEY FEATURES LEGEND:

- SINGLE-FAMILY (DETACHED) [SEE LOT DETAIL "B01" SHEET C-6]
- SINGLE-FAMILY DUET (ATTACHED) [SEE LOT DETAIL "B02" SHEET C-6]
- ROCKERY RETAINING WALL
- MASONRY SOUNDWALL w/PIELASTER
- POST & CABLE FENCING
- OPEN VIEW (STEEL TUBE) FENCING
- BACK OF WALK
- PUBLIC CURB, GUTTER & SIDEWALK [WITH PARALLEL PARKING]
- PARALLEL PARKING STALL MARKINGS (TYP.)
- ACCESS GATE
- EXISTING TREE TO REMAIN
- EXISTING OVERHEAD UTILITY LINES
- LIMIT OF FEMA FLOOD ZONE AE [100-YR FLOOD EXTENT]

SURFACE LEGEND:

- ASPHALT PAVEMENT
- LANDSCAPE AREA
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- BIO-RETENTION FEATURE



WHITNEY WALK - ROCKLIN

C-2

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Preliminary Grading & Drainage Plan

KEY FEATURES LEGEND:

	SINGLE-FAMILY (DETACHED) [SEE LOT DETAIL "B01" SHEET C-6]		EXISTING GRADE		PROPOSED 1ST LEVEL FINISH FLOOR OF LIVING SPACE
	SINGLE-FAMILY DUET (ATTACHED) [SEE LOT DETAIL "B02" SHEET C-6]		PROPOSED FINISH GRADE		EXISTING STARS REC'D TO 1ST LEVEL FINISH FLOOR OF LIVING SPACE
	ROCKERY RETAINING WALL		EXISTING GRADE SLOPE		PROPOSED STORM DRAIN (PUBLIC)
	MASONRY SOUNDWALL w/PLASTER		PROPOSED FINISH GRADE SLOPE		STORM DRAIN MANHOLE (EXISTING/PROPOSED)
	EXISTING 5-FT CONTOUR [MAJOR]		TOP OF RETAINING WALL		DRAIN INLET (EXISTING/PROPOSED)
	EXISTING 1-FT CONTOUR [MINOR]		FINISH GRADE AT BOTTOM OF WALL		OVERLAND RELEASE DIRECTION
	PROPOSED 5-FT CONTOUR [MAJOR]		EXIST. GRADE AT BOTTOM/TOP OF WALL		EXISTING TREE TO REMAIN
	PROPOSED 1-FT CONTOUR [MINOR]		SINGLE-FAMILY DUET (ATTACHED) BUILDING WITH 3-FT STEP BETWEEN GARAGE FINISH FLOOR AND 1ST LEVEL FINISH FLOOR OF LIVING SPACE SHOWN		EXISTING OVER-HEAD UTILITY LINES
			SINGLE-FAMILY (DETACHED) BUILDING WITH 3-FT STEP BETWEEN GARAGE FINISH FLOOR AND 1ST LEVEL FINISH FLOOR OF LIVING SPACE SHOWN		LIMIT OF FEMA FLOOD ZONE AE [100-YR FLOOD EXTENT]

SURFACE LEGEND:

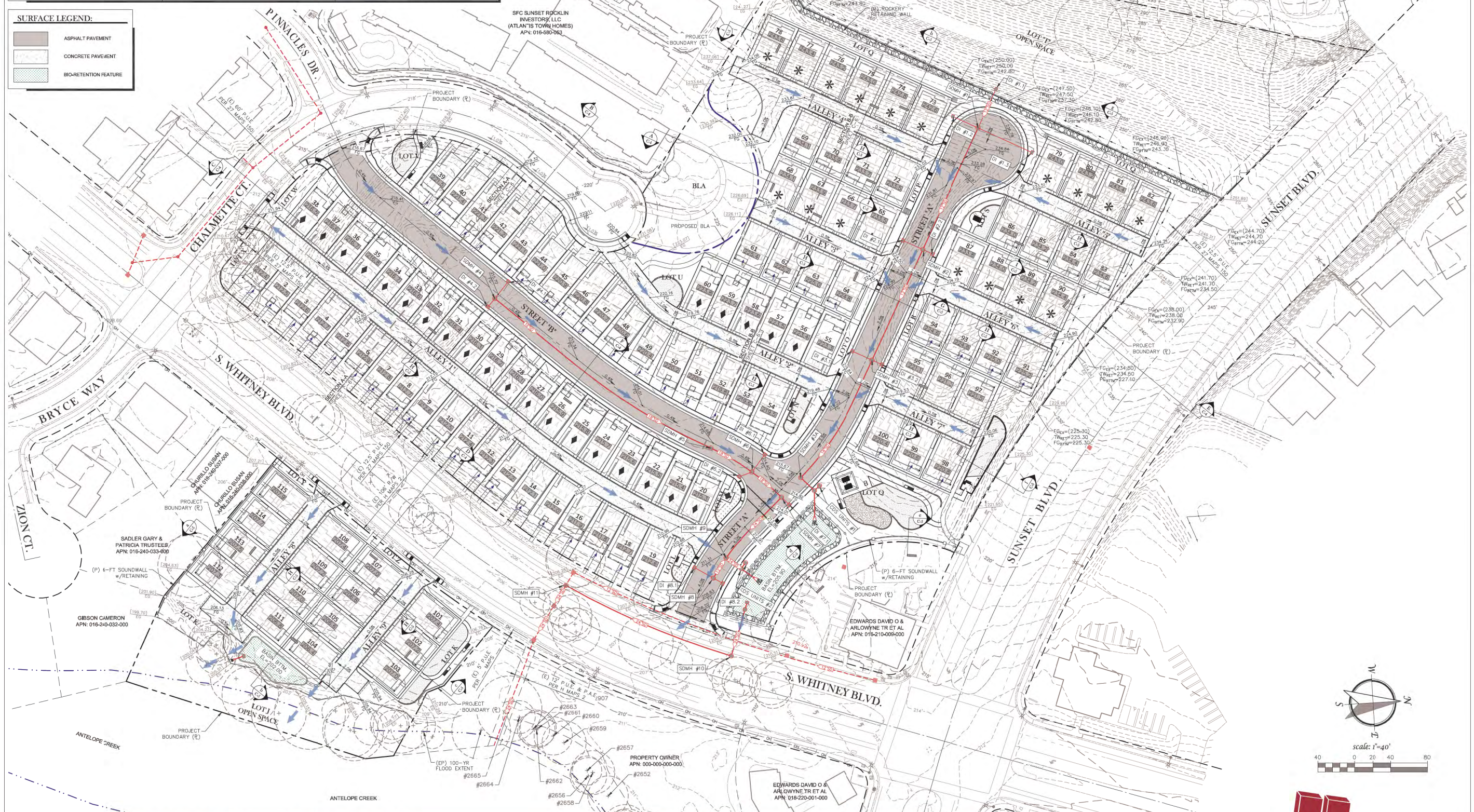
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	BIO-RETENTION FEATURE

PRELIMINARY EARTHWORK:

THE FOLLOWING NUMBERS ARE PRELIMINARY AND PROVIDED FOR PERMITTING PURPOSES ONLY

CUT: 28,050 CY
FILL: 5,715 CY
NET: 22,335 CY (CUT - EXPORT)

RAW NUMBERS ONLY, NO SHRINKAGE OR SWELL ACCOUNTED FOR.



WHITNEY WALK - ROCKLIN

Southwest Corner of Sunset Blvd. & South
Whitney Blvd., Rocklin, California

Proposed By: **Whitney Sunset 14, LLC**
1031 Roseville Parkway, Suite 148
Roseville, CA 95678

In Association With:
**JD+A (Architects), TSD Engineering, Inc. (Civil), Fuhrman
Leamy Land Group (Landscape Architecture)**

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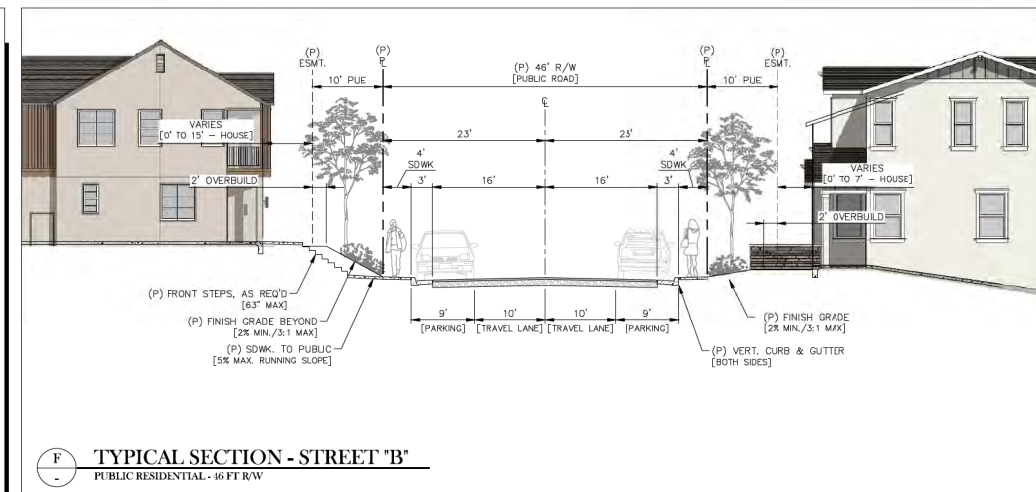
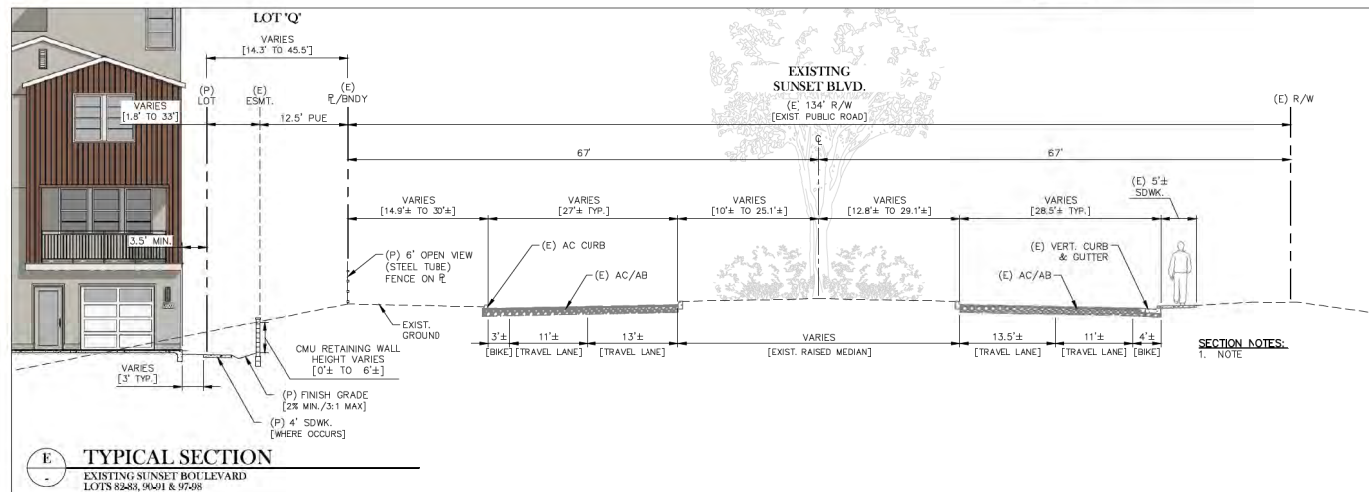
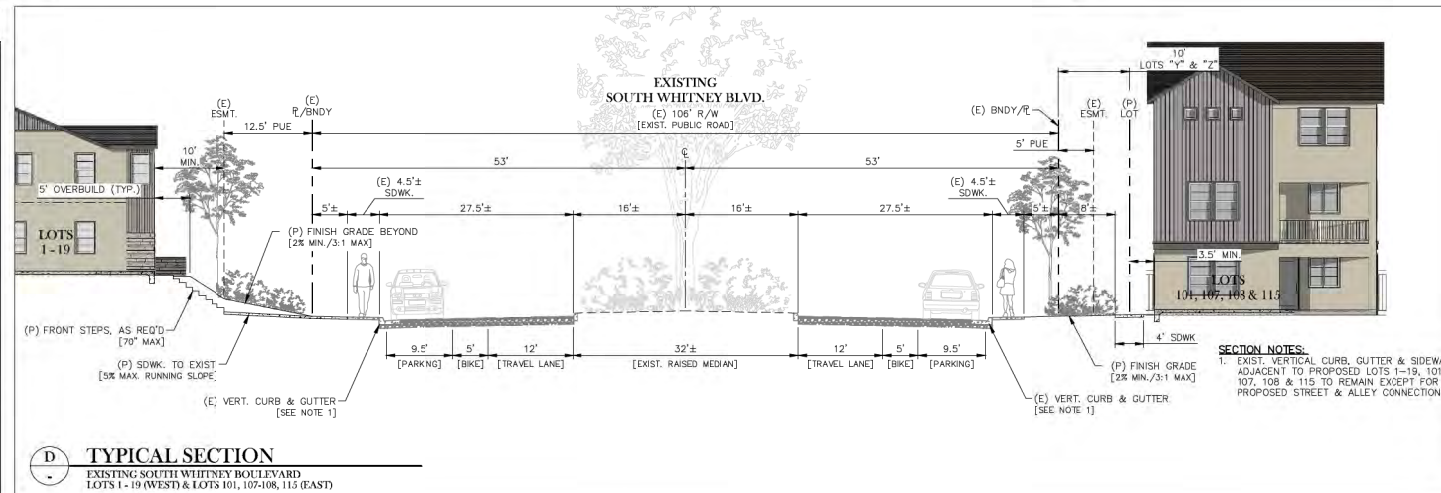
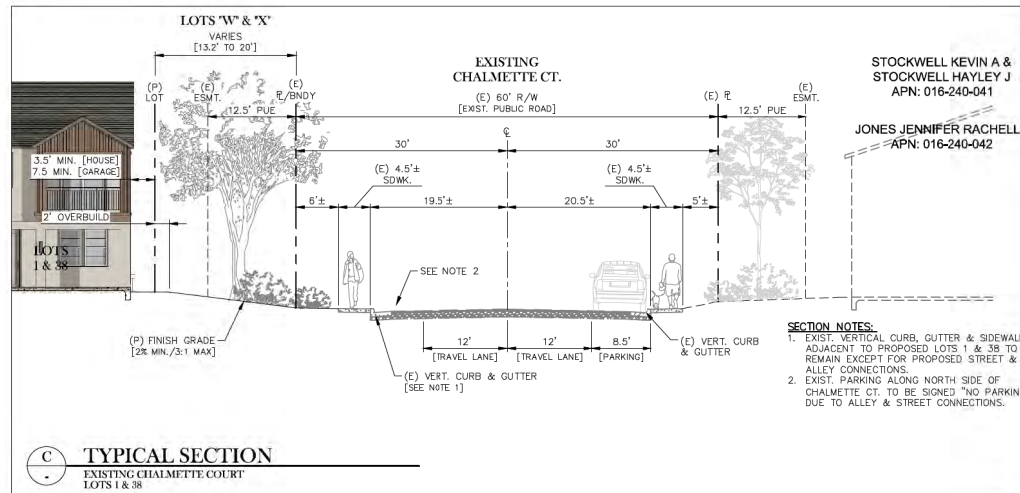
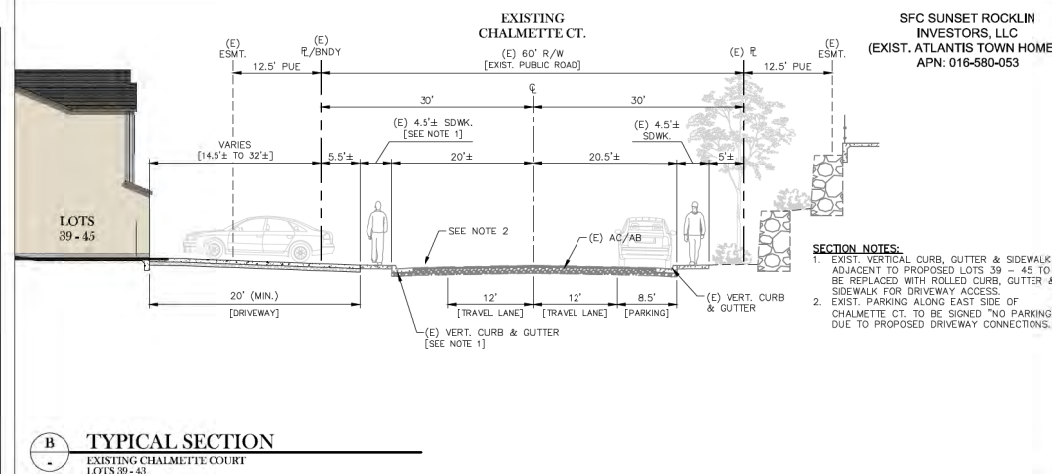
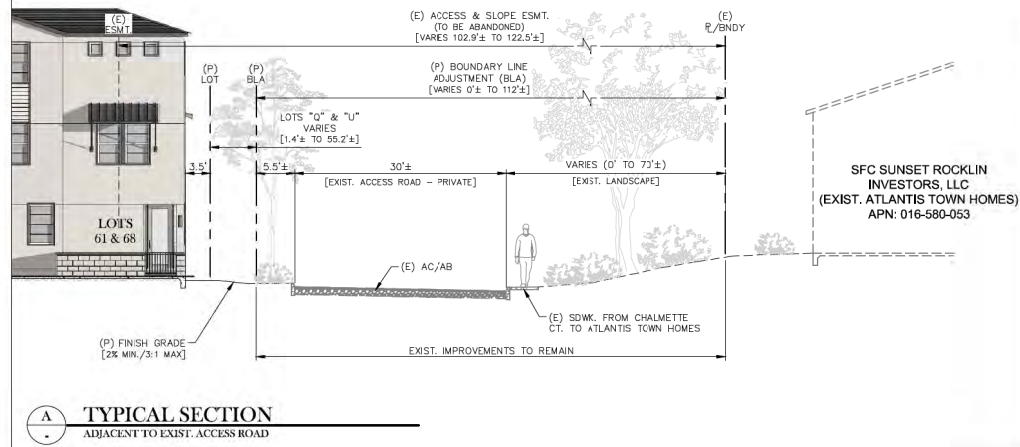
C-3

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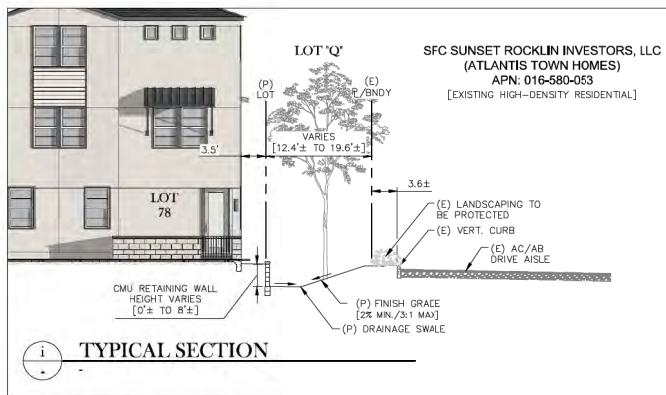
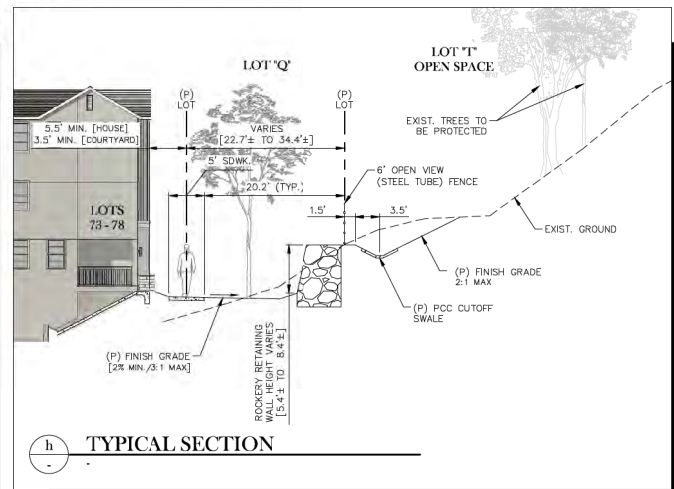
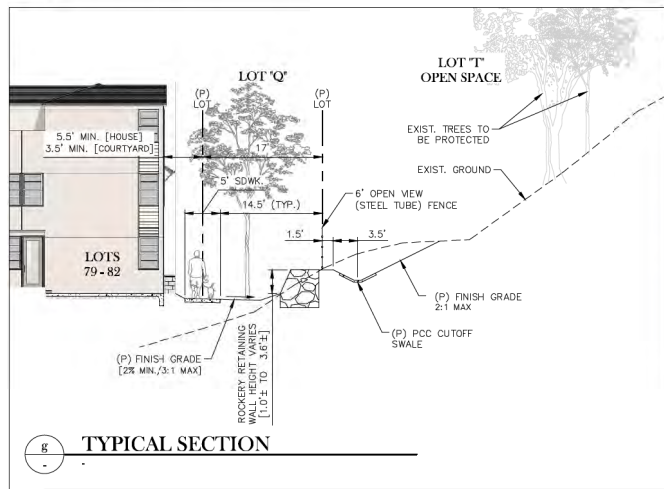
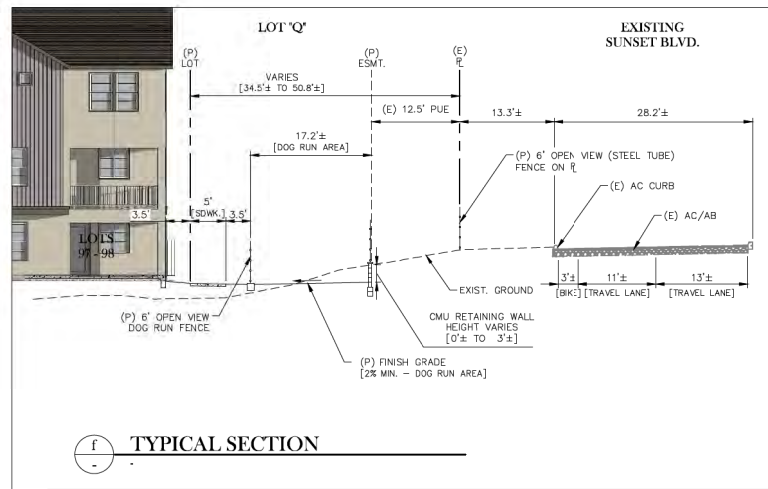
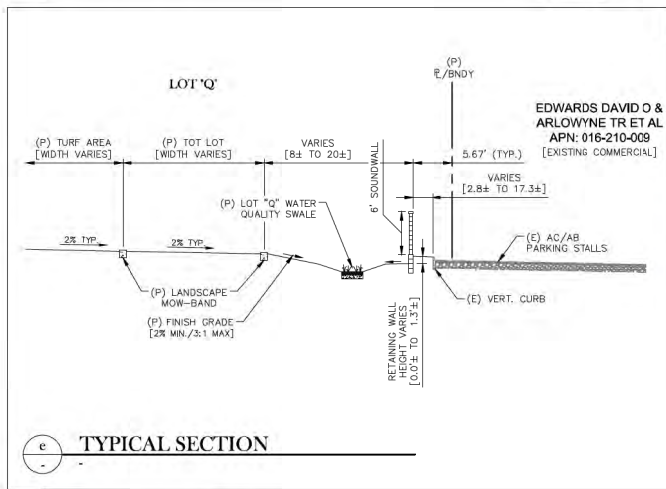
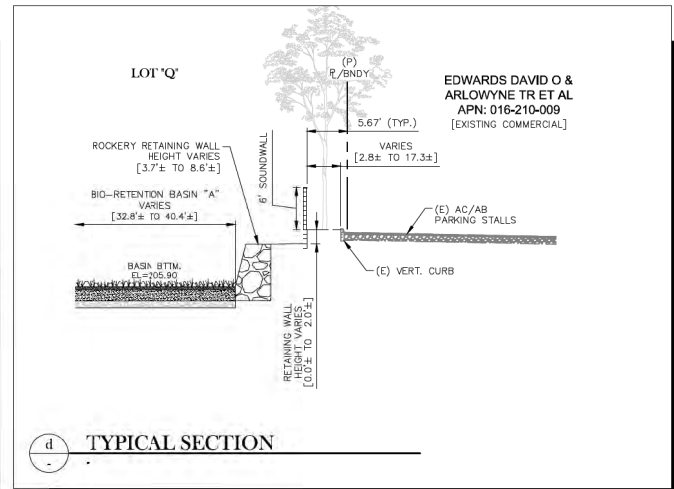
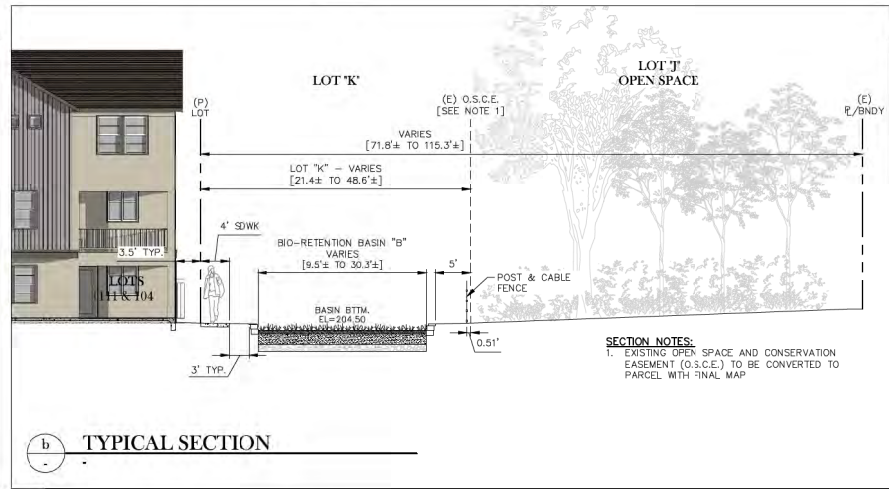
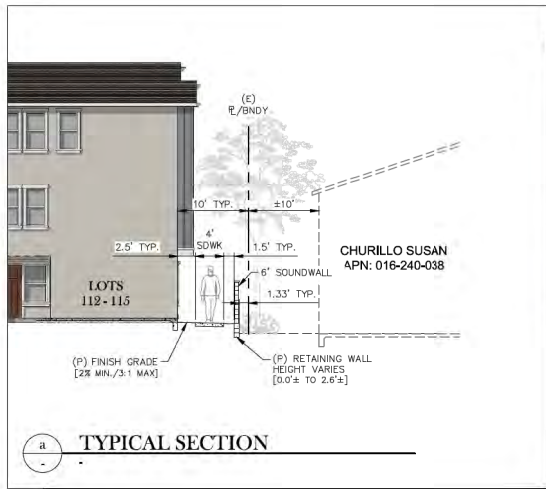
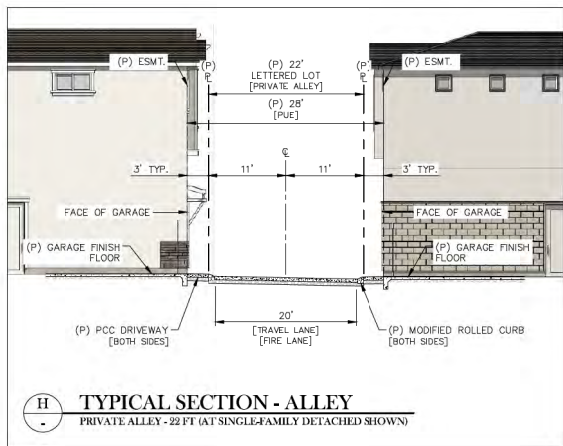
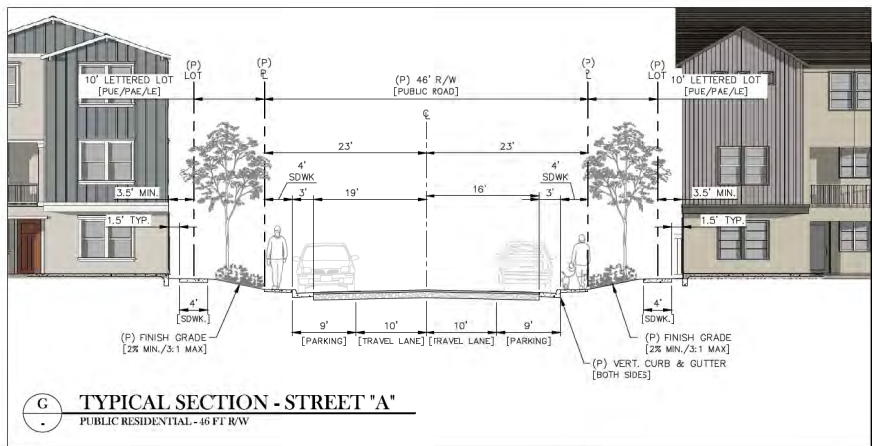
785 Orchard Drive, Suite #110
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Fax: (916) 608-0701

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Preliminary Sections



Preliminary Sections



WHITNEY WALK - ROCKLIN

Southwest Corner of Sunset Blvd. & South
Whitney Blvd., Rocklin, California

Proposed By: Whitney Sunset 14, LLC
1031 Roseville Parkway, Suite 148
Roseville, CA 95678

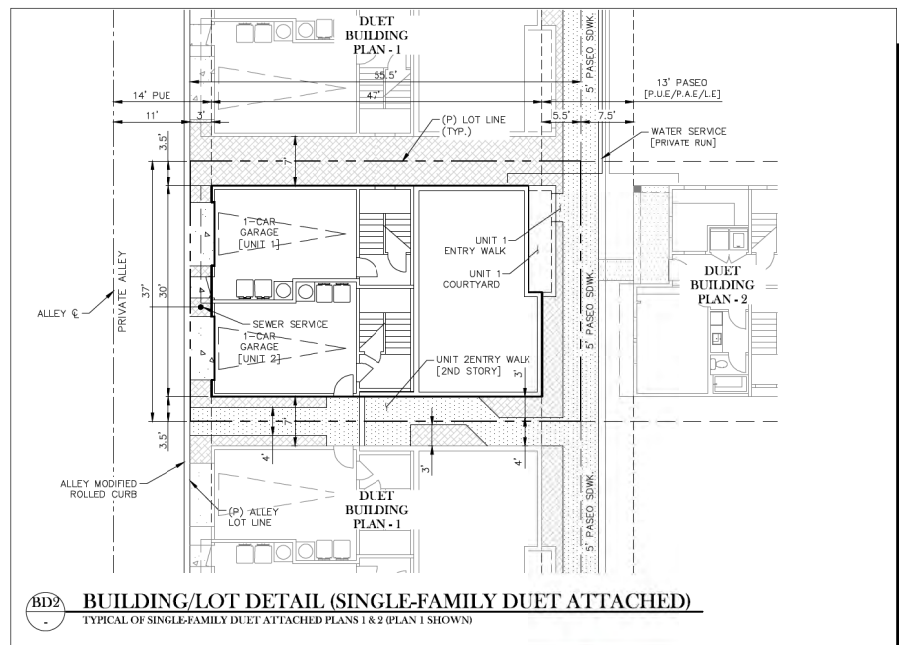
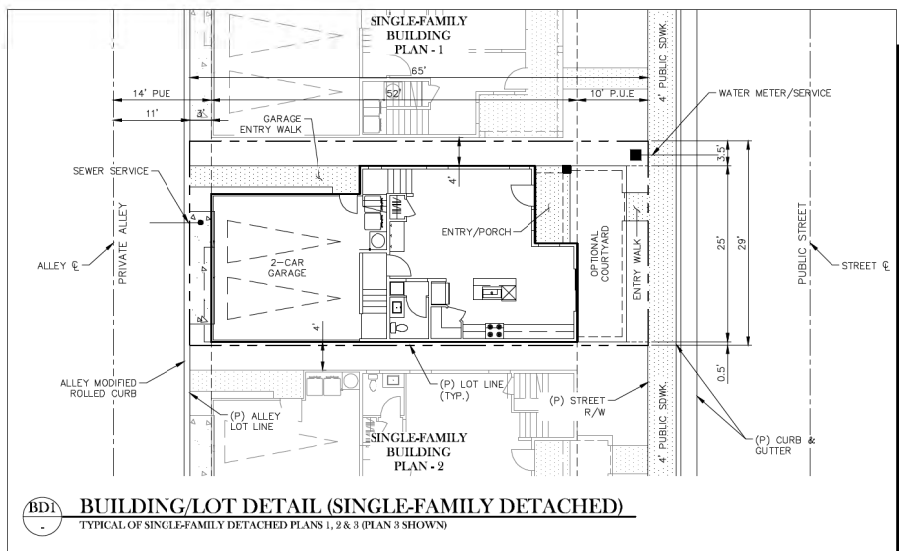
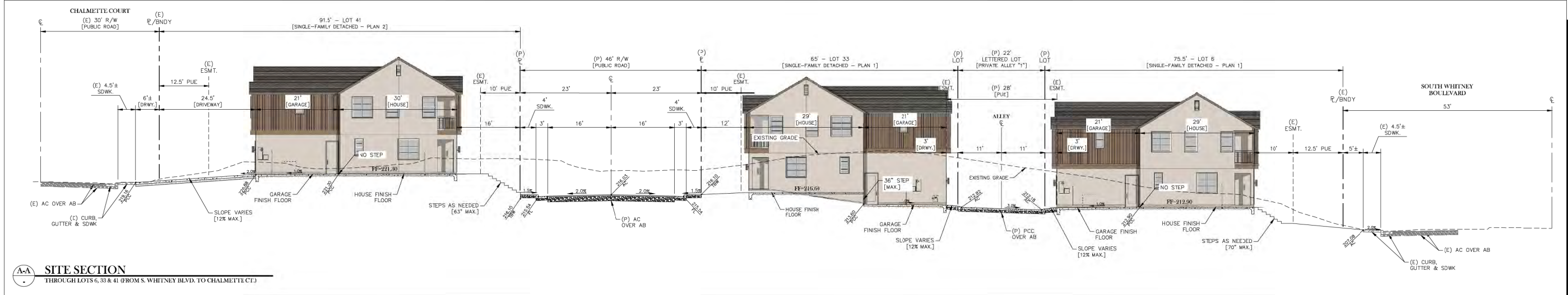
In Association With:
JD+A (Architects), TSD Engineering, Inc. (Civil), Fuhrman
Leamy Land Group (Landscape Architecture)

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C-5

TSD ENGINEERING, INC.
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Fax: (916) 608-0701

Preliminary Sections



WHITNEY WALK - ROCKLIN

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Fax: (916) 608-0701

Preliminary Utility Plan

KEY FEATURES LEGEND:		
DESCRIPTION	PROPOSED	EXISTING
SEWER MAIN [PUBLIC]		
SEWER MANHOLE [PUBLIC]		
SEWER SERVICE		
WATER MAIN [PUBLIC]		
WATER SERVICE [w/METER]		
FIRE HYDRANT [PUBLIC]		
IRRIGATION BACKFLOW [RP]		
JOINT TRENCH		
OVERHEAD UTILITY LINES		
GAS LINE		
COMMUNICATION LINES		



WHITNEY WALK - ROCKLIN

C-7

Southwest Corner of Sunset Blvd. & South
Whitney Blvd., Rocklin, California

Proposed By: **Whitney Sunset 14, LLC**
1031 Roseville Parkway, Suite 148
Roseville, CA 95678

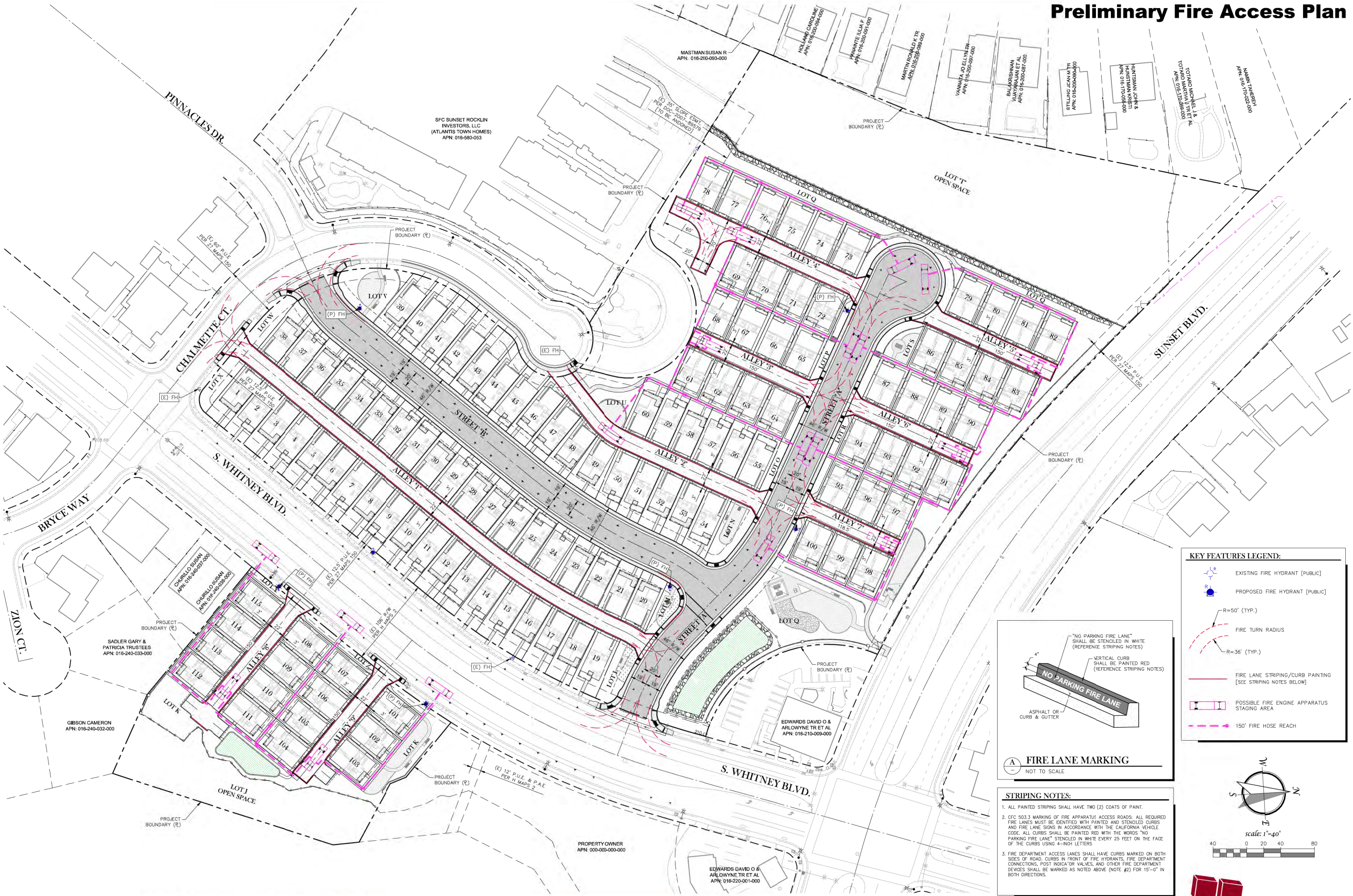
In Association With:
**JD+A (Architects), TSD Engineering, Inc. (Civil), Fuhrman
Leamy Land Group (Landscape Architecture)**

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**TSD ENGINEERING, INC.**
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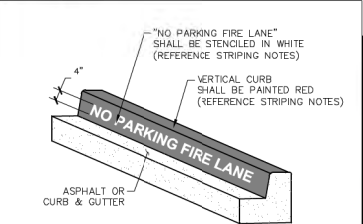
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Preliminary Fire Access Plan



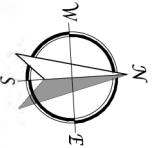
KEY FEATURES LEGEND:

- EXISTING FIRE HYDRANT [PUBLIC]
- PROPOSED FIRE HYDRANT [PUBLIC]
- R=50' (TYP.)
- R=36' (TYP.)
- FIRE TURN RADIUS
- FIRE LANE STRIPING/CURB PAINTING [SEE STRIPING NOTES BELOW]
- POSSIBLE FIRE ENGINE APPARATUS STAGING AREA
- 150' FIRE HOSE REACH



FIRE LANE MARKING

- STRIPING NOTES:**
- ALL PAINTED STRIPING SHALL HAVE TWO (2) COATS OF PAINT.
 - GFC 503.3 MARKING OF FIRE APPARATUS ACCESS ROADS. ALL REQUIRED FIRE LANES MUST BE IDENTIFIED WITH PAINTED AND STENCILED CURBS AND FIRE LANE SIGNS IN ACCORDANCE WITH THE CALIFORNIA VEHICLE CODE. ALL CURBS SHALL BE PAINTED RED WITH THE WORDS "NO PARKING FIRE LANE" STENCILED IN WHITE EVERY 25 FEET ON THE FACE OF THE CURBS USING 4-INCH LETTERS.
 - FIRE DEPARTMENT ACCESS LANES SHALL HAVE CURBS MARKED ON BOTH SIDES OF ROAD. CURBS IN FRONT OF FIRE HYDRANTS, FIRE DEPARTMENT CONNECTIONS, POST INDICATOR VALVES, AND OTHER FIRE DEPARTMENT DEVICES SHALL BE MARKED AS NOTED ABOVE (NOTE #2) FOR 15'-0" IN BOTH DIRECTIONS.



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WHITNEY WALK - ROCKLIN

C-8

Southwest Corner of Sunset Blvd. & South
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Roseville, CA 95678

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OCTOBER 18, 2024 - INITIAL SUBMITTAL

Preliminary Tree Exhibit

KEY FEATURES LEGEND:

- #100 TREE TAG # [PER ARBORIST REPORT] EXISTING TREE TO REMAIN
- DUR [PER ARBORIST REPORT]
- #100 TREE TAG # [PER ARBORIST REPORT] EXISTING TREE TO BE REMOVED
- DUR [PER ARBORIST REPORT]

NOTES:

- TREE LOCATIONS, SPECIES, SIZES AND RATING PER "PRELIMINARY ARBORIST REPORT & TREE INVENTORY" BY CALIFORNIA TREE & LANDSCAPE CONSULTING, INC., DATED FEBRUARY 25, 2022
- TREES WITH AN ARBORIST RATING RANKED 0, 1 OR 2 MAY BE REMOVED WITHOUT MITIGATION REQUIRED. REFERENCE ARBORIST REPORT FOR MORE INFORMATION.

WHITNEY WALK - TREE IMPACT TABLE

Tag	Protected By Code	Species Common Name	Species Botanical Name	DBH (in)	DUR (feet)	Arborist Rating	Mitigation Inches	Development Status
2944	Yes	Valley Oak	Quercus lobata	11	20	3	-	Remove
2945	Yes	Valley Oak	Quercus lobata	9	18	3	-	Remove
2946	Yes	Valley Oak	Quercus lobata	9	18	3	-	Remove
2947	Yes	Valley Oak	Quercus lobata	9	18	3	-	Remove
2948	Yes	Valley Oak	Quercus lobata	10	20	3	-	Remove
2949	Yes	Valley Oak	Quercus lobata	14	30	3	-	Remove
2950	Yes	Interior Live Oak	Quercus wislizeni	6	12	3	-	Remove
2951	Yes	Valley Oak	Quercus lobata	20	40	3	-	Remove
2952	Yes	Valley Oak	Quercus lobata	18	36	3	-	Remove
2953	Yes	Valley Oak	Quercus lobata	12	24	3	-	Remove
2954	Yes	Valley Oak	Quercus lobata	10	20	3	-	Remove
2955	Yes	Valley Oak	Quercus lobata	10	20	3	-	Remove
2956	Yes	Valley Oak	Quercus lobata	10	20	3	-	Remove
2957	Yes	Valley Oak	Quercus lobata	10	20	3	-	Remove
2958	Yes	Valley Oak	Quercus lobata	10	20	3	-	Remove
2959	Yes	Valley Oak	Quercus lobata	10	20	3	-	Remove
2960	Yes	Valley Oak	Quercus lobata	10	20	3	-	Remove
2961	Yes	Valley Oak	Quercus lobata	10	20	3	-	Remove
2962	Yes	Valley Oak	Quercus lobata	10	20	3	-	Remove
2963	Yes	Valley Oak	Quercus lobata	10	20	3	-	Remove
2964	Yes	Valley Oak	Quercus lobata	10	20	3	-	Remove
2965	Yes	Valley Oak	Quercus lobata	10	20	3	-	Remove
2966	Yes	Valley Oak	Quercus lobata	10	20	3	-	Remove
2967	Yes	Valley Oak	Quercus lobata	10	20	3	-	Remove
2968	Yes	Valley Oak	Quercus lobata	10	20	3	-	Remove
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2982	Yes	Valley Oak	Quercus lobata	10	20	3	-	Remove
2983	Yes	Valley Oak	Quercus lobata	10	20	3	-	Remove
2984	Yes	Valley Oak	Quercus lobata	10	20	3	-	Remove
2985	Yes	Valley Oak	Quercus lobata	10	20	3	-	Remove
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2988	Yes	Valley Oak	Quercus lobata	10	20	3	-	Remove
2989	Yes	Valley Oak	Quercus lobata	10	20	3	-	Remove
2990	Yes	Valley Oak	Quercus lobata	10	20	3	-	Remove
2991	Yes	Valley Oak	Quercus lobata	10	20	3	-	Remove
2992	Yes	Valley Oak	Quercus lobata	10	20	3	-	Remove
2993	Yes	Valley Oak	Quercus lobata	10	20	3	-	Remove
2994	Yes	Valley Oak	Quercus lobata	10	20	3	-	Remove
2995	Yes	Valley Oak	Quercus lobata	10	20	3	-	Remove
2996	Yes	Valley Oak	Quercus lobata	10	20	3	-	Remove
2997	Yes	Valley Oak	Quercus lobata	10	20	3	-	Remove
2998	Yes	Valley Oak	Quercus lobata	10	20	3	-	Remove
2999	Yes	Valley Oak	Quercus lobata	10	20	3	-	Remove
3000	Yes	Valley Oak	Quercus lobata	10	20	3	-	Remove

WHITNEY WALK - TREE DATA SUMMARY

TOTAL INVENTORIED TREES	128	Trees	18 49.5 Total DBH (in)
TOTAL PROPOSED REMOVALS	49	Trees	692 Total DBH (in)
TOTAL OAK TREES	127	Trees	18 35.5 Total DBH (in)
TOTAL OAK TREES REMOVED	49	Trees	692 Total DBH (in)
TOTAL OAK TREES REMOVED - RATING 0, 1, & 2	5	Trees	47 Total DBH (in)

Species	Total Trees	Rating 0, 1, & 2	Rating 3 & 4
Interior live oak	5	2	3
Valley Oak	113	17	96
Blue oak	9	1	8

KEY TO RATING SYSTEM:

- 0 = Dead, no sign of life
- 1 = Extreme problems, limited potential for recovery
- 2 = Major problems, possibility for recovery
- 3 = Fair condition with minor problems
- 4 = Good condition, no apparent problems
- 5 = No problems observed



WHITNEY WALK - ROCKLIN

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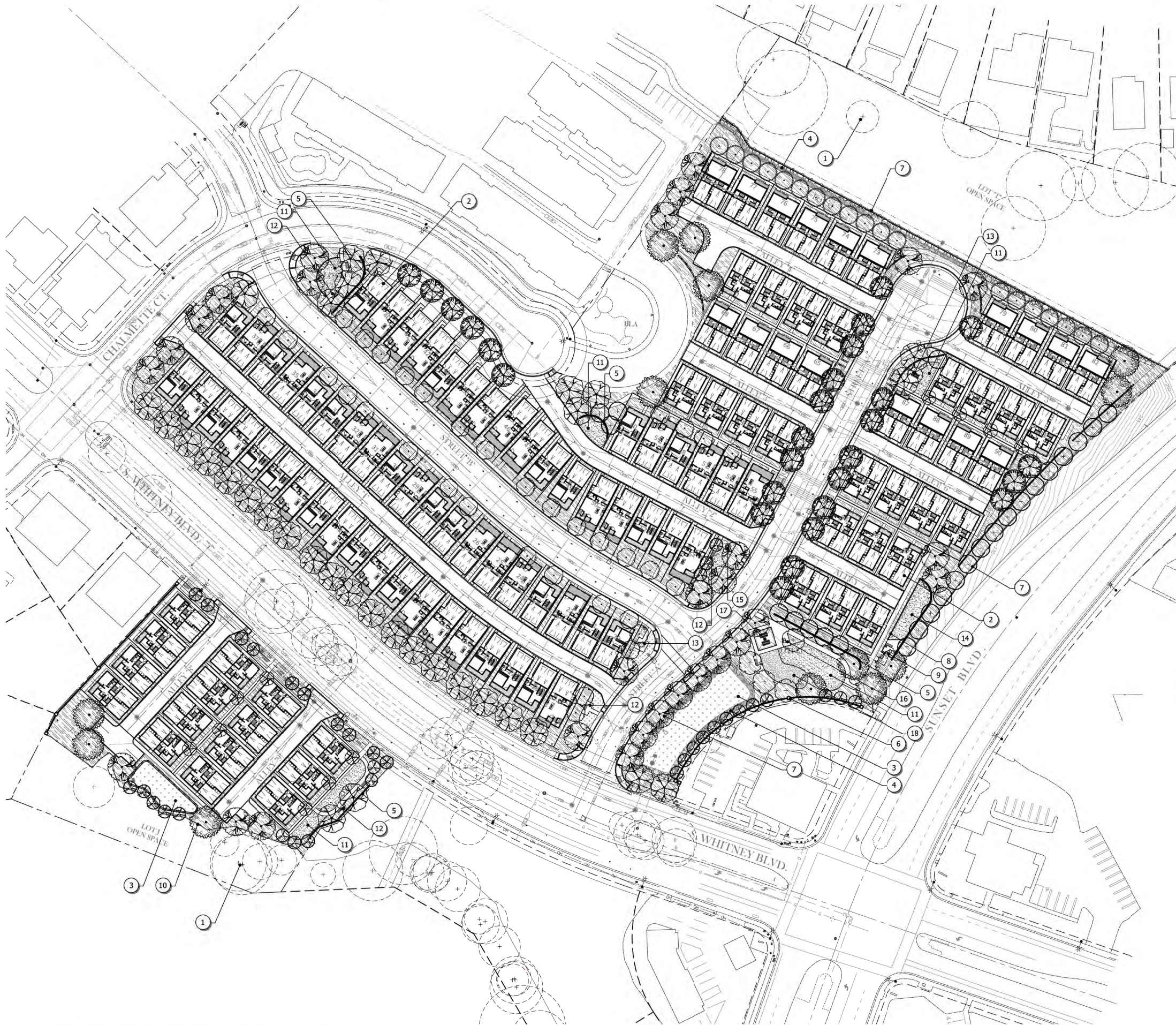
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Scale: 1"=40'

40 0 20 40 80

TSD ENGINEERING, INC.
expect more.

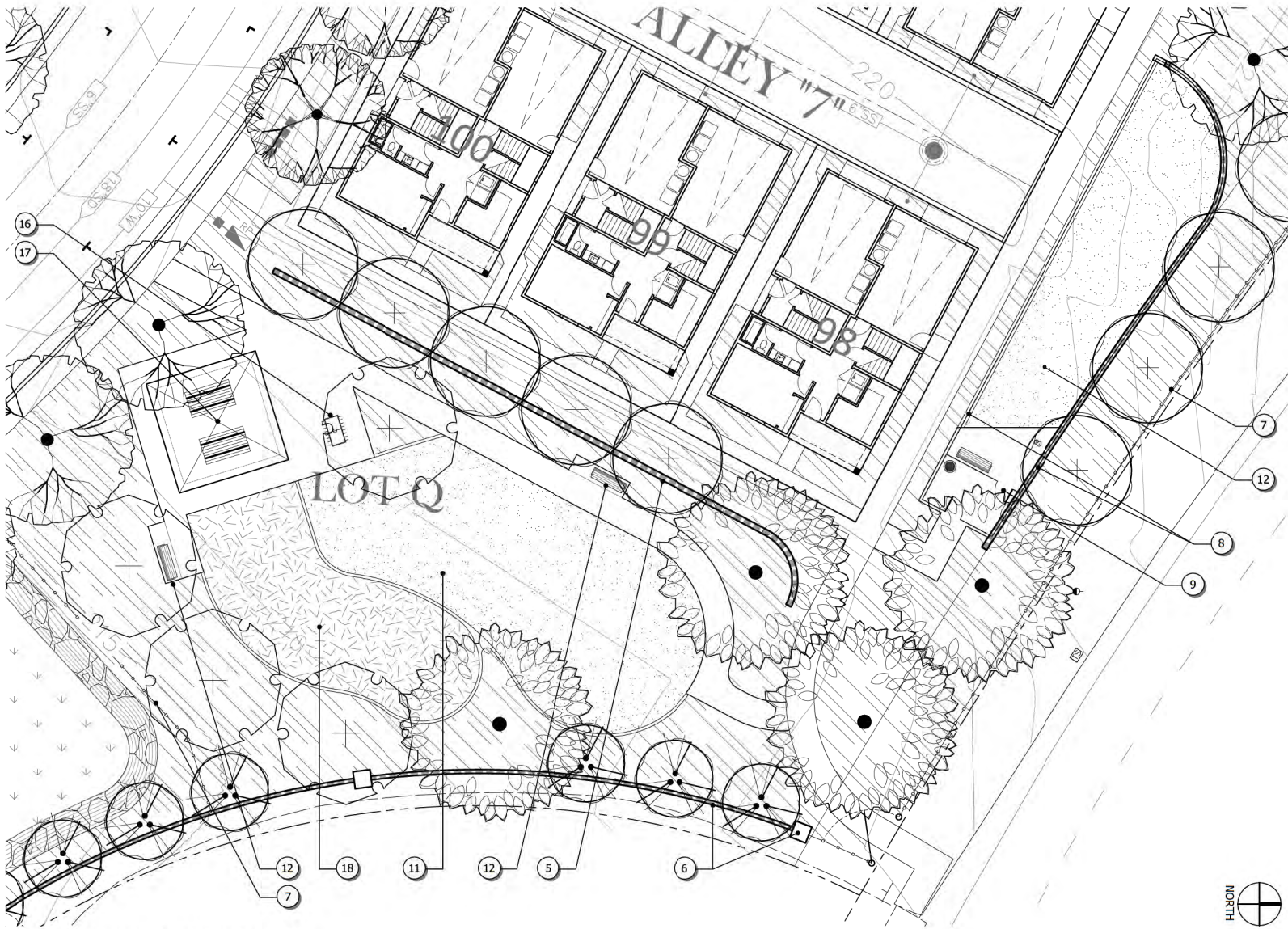
785 Orchard Drive, Suite #110
Folsom, CA 95630
Phone: (916) 608-0707
Fax: (916) 608-0701



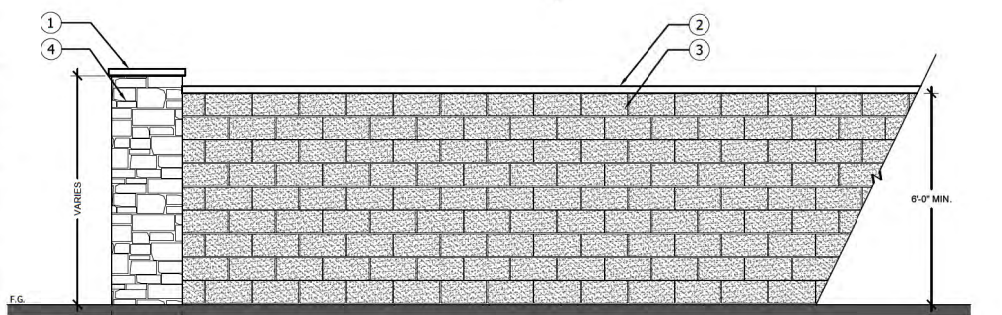
TREE SCHEDULE				
SYMBOL	BOTANICAL / COMMON NAME	SIZE	WATER USE	QTY
	ACER RUBRUM 'REDPOINTE' REDPOINTE MAPLE (40'X20')	15 GAL.	MOD	34
	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY RED MAPLE (40'X35')	24" BOX	MOD	33
	ARCTOSTAPHYLOS MANZANITA 'DR. HURD' DR. HURD COMMON MANZANITA (15'X15')	15 GAL.	VERY LOW	25
	CERCIS CANADENSIS EASTERN REDBUD (20'X20')	24" BOX	LOW	25
	CHIONANTHUS RETUSUS CHINESE FRINGE TREE (20'X15')	15 GAL.	MOD	11
	PODOCARPUS GRACILIOR FERN PINE (40'X20')	15 GAL.	MOD	19
	QUERCUS LOBATA VALLEY OAK (60'X40')	24" BOX	LOW	13
	TILIA CORDATA 'GREENSPIRE' GREENSPIRE LINDEN (40'X25')	15 GAL.	MOD	4
	ULMUS PARVIFOLIA 'DRAKE' DRAKE LACEBARK ELM (50'X35')	24" BOX	MOD	29
	ULMUS PROPINQUA 'JFS-BIEBERICH' EMERALD SUNSHINE® ELM	15 GAL.	LOW	27
	ZELKOVA SERRATA 'CITY SPRITE' COMPACT SAWLEAF ZELKOVA (20'X15')	24" BOX	MOD	10

CONCEPT PLANT SCHEDULE		
SHRUB AREAS		
	ARBITUS UNEDO 'COMPACTA' / COMPACT STRAWBERRY TREE	5 GAL., LOW
	ARCTOSTAPHYLOS X 'JOHN DOURLEY' / JOHN DOURLEY MANZANITA	5 GAL., LOW
	BACCHARIS X 'STERILE CENTENNIAL' / CENTENNIAL COYOTE BRUSH	5 GAL., LOW
	CALLISTEMON VIMINALIS 'LITTLE JOHN' / DWARF WEEPING BOTTLEBRUSH	1 GAL., LOW
	CHONDRLOPETALUM TECTORUM / SMALL CAPE RUSH	5 GAL., LOW
	CISTUS LADANIFER / CRIMSON SPOT ROCKROSE	5 GAL., LOW
	CISTUS X 'GRAYSWOOD PINK' / GRAYSWOOD PINK ROCKROSE	1 GAL., LOW
	DIERIS BICOLOR / FORTNIGHT LILY	1 GAL., LOW
	ELMUS CONDENSATUS 'CANYON PRINCE' / CANYON PRINCE WILD RYE	1 GAL., LOW
	GREVILLEA ROSMARINIFOLIA / ROSEMARY GREVILLEA	5 GAL., LOW
	LIGUSTRUM JAPONICUM 'TEXANUM' / TEXAS JAPANESE PRIVET	15 GAL., LOW
	LOMANDRA LONGIFOLIA 'BREEZE' / BREEZE MAT RUSH	1 GAL., LOW
	MUHLENBERGIA CAPILLARIS / PINK MUHLY GRASS	1 GAL., LOW
	OLEA EUROPAEA 'LITTLE OLLIE' TM / LITTLE OLLIE OLIVE	5 GAL., LOW
	RHAPHIOLEPIS INDICA 'PINK DANCER' / PINK DANCER INDIAN HAWTHORN	15 GAL., LOW
	SALVIA MICROPHYLLA 'HOT LIPS' / HOT LIPS SAGE	1 GAL., LOW
	WESTRINGIA FRUTICOSA 'MUNDI' TM PP 24042 / LOW COAST ROSEMARY	5 GAL., LOW
GROUND COVER AREA		
	ACACIA REDOLENS 'LOW BOY' / LOW BOY PROSTRATE ACACIA (2'X6')	1 GAL., LOW
	CEANOTHUS G. H. 'DIAMOND HEIGHTS' / DIAMOND HEIGHTS CARMEL CREEPER (1'X5')	1 GAL., LOW
	COPROSMA KIRKII 'VERDE VISTA' / VERDE VISTA CREEPING COPROSMAT (3'X6')	1 GAL., LOW
	LOMANDRA LONGIFOLIA PLATINUM BEAUTY / PLATINUM BEAUTY LOMANDRA (3'X3')	1 GAL., LOW
	TEUCRIUM X LUCIDRYS PROSTRATUM / GERMANDER (6'X3')	1 GAL., LOW
	NEPETA X FAASSENII 'LIMELIGHT' / LIMELIGHT CATMINT (8'X2')	1 GAL., LOW
TURF AREA		
	TURF SOD BOLERO PLUS / FESCUE BLEND	SOD, HIGH
NO MOW TURF AREA		
	NO MOW TURF SOD / FINE FESCUE BLEND	SOD, MOD
STORMWATER FEATURES		
	TURF SOD BIOFILTRATION SOD / DELTA BLUEGRASS BIOFILTRATION SOD	SOD, MOD

REFERENCE NOTES SCHEDULE	
SYMBOL	DESCRIPTION
	EXISTING TREES TO REMAIN. VERIFY IN FIELD.
	PROPOSED BUILDINGS. SEE ARCHITECTURAL PLANS.
	PROPOSED STORMWATER APPURTENANCES. SEE CIVIL PLANS.
	PROPOSED ROCKERY WALLS. SEE CIVIL PLANS.
	PROPOSED RETAINING WALLS. SEE DETAIL C, SHEET PL2.
	PROPOSED CMU SCREEN WALL WITH 24" SQUARE PILASTERS. SEE DETAILS B, SHEET PL2.
	PROPOSED 6' OPEN METAL FENCING. SEE DETAIL D, SHEET PL2.
	PROPOSED 6' OPEN METAL DOG FENCING. SEE DETAIL E, SHEET PL2.
	PROPOSED 6' OPEN METAL PEDESTRIAN GATE AT DOG PARK. SEE DETAIL F, SHEET PL2.
	PROPOSED POST & CABLE FENCING. SEE DETAIL G, SHEET PL2.
	PROPOSED TURF AREAS.
	PROPOSED BENCHES.
	PROPOSED PICNIC AREAS.
	PROPOSED DOG PARK.
	PROPOSED CORNHOLE.
	PROPOSED FOOSBALL TABLE.
	PROPOSED SHADE STRUCTURE & PICNIC AREA.
	PROPOSED TOT LOT.



A LOT Q PARK: MAIN AMENITY SPACE
SCALE: 1" = 10'-0"



- 1 EL DORADO STONE PREFABRICATED SPLIT-EDGE COLUMN CAP. COLOR: WHITE CLOUD. LOCATE PILASTERS PER PLAN.
- 2 EL DORADO STONE SPLIT-EDGE WALL CAP. COLOR: WHITE CLOUD.
- 3 BASALITE 8"x8"x16" CMU BLOCK, SPLIT FACE FRONT/SMOOTH BACK. COLOR: GREY 225.
- 4 24" SQ. PILASTER WITH EL DORADO STONE VINTAGE RANCH VENEER. COLOR: STRAUSWOOD.

NOTE:
*WALLS, PILASTERS, WALL CAPS, AND PILASTER CAPS NEED A MINIMUM OF TWO (2) COATS OF ANTI-GRAFFITI COATING. GRAFFITI COATING SHALL BE NON-SACRIFICIAL, AND UPON COMPLETION OF THE COATING APPLICATION, CONTRACTOR SHALL PROVIDE CUT SHEET FOR PRODUCT USED AND GUARANTEE LETTER TO DISTRICT STATING THAT COATING APPLICATION HAS BEEN COMPLETED PER MANUFACTURER'S SPECIFICATIONS.
**PLACEMENT OF BLOCK TO BE LOCATED FULLY WITHIN PROJECT PARCEL.

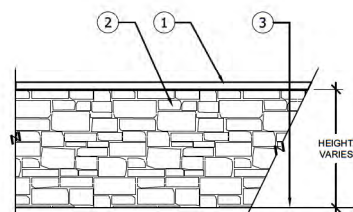


B CMU SCREEN WALL & 24" SQUARE PILASTER (ELEVATION)
1/2" = 1'-0"

R-24034-01

REFERENCE NOTES SCHEDULE

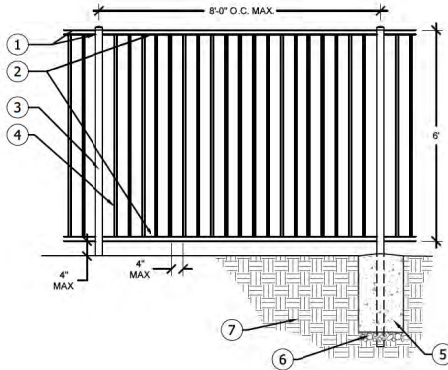
SYMBOL	DESCRIPTION
1	EXISTING TREES TO REMAIN. VERIFY IN FIELD.
2	PROPOSED BUILDINGS. SEE ARCHITECTURAL PLANS.
3	PROPOSED STORMWATER APPURTENANCES. SEE CIVIL PLANS.
4	PROPOSED ROCKERY WALLS. SEE CIVIL PLANS.
5	PROPOSED RETAINING WALLS. SEE DETAIL C, SHEET PL2.
6	PROPOSED CMU SCREEN WALL WITH 24" SQ. PILASTERS. SEE DETAIL B, SHEET PL2.
7	PROPOSED 6' OPEN METAL FENCING. SEE DETAIL D, SHEET PL2.
8	PROPOSED 6' OPEN METAL DOG FENCING. SEE DETAIL E, SHEET PL2.
9	PROPOSED 6' OPEN METAL PEDESTRIAN GATE AT DOG PARK. SEE DETAIL F, SHEET PL2.
10	PROPOSED POST & CABLE FENCING. SEE DETAIL G, SHEET PL2.
11	PROPOSED TURF AREAS.
12	PROPOSED BENCHES.
13	PROPOSED PICNIC AREAS.
14	PROPOSED DOG PARK.
15	PROPOSED CORNHOLE.
16	PROPOSED FOOSBALL TABLE.
17	PROPOSED SHADE STRUCTURE & PICNIC AREA.
18	PROPOSED TOT LOT.



- 1 EL DORADO STONE SPLIT-EDGE WALL CAP. COLOR: WHITE CLOUD.
- 2 BASALITE 8"x8"x16" CMU BLOCK (SMOOTH) WITH EL DORADO STONE VINTAGE RANCH VENEER. COLOR: STRAUSWOOD. COLOR: GREY 225.
- 3 FINISH SURFACE

C RETAINING WALL (ELEVATION)
1/2" = 1'-0"

R-24034-19

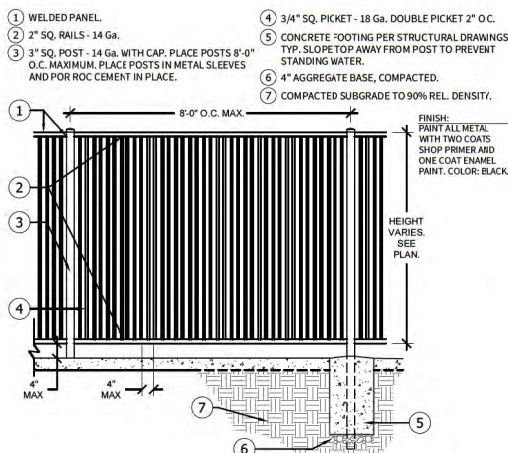


- 1 WELDED PANEL.
- 2 2" SQ. RAILS - 14 GA.
- 3 3" SQ. POST - 14 GA. WITH CAP. PLACE POSTS 8'-0" O.C. MAXIMUM. PLACE POSTS IN METAL SLEEVES AND POR ROC CEMENT IN PLACE.
- 4 1" SQ. PICKET - 14 GA.
- 5 CONCRETE FOOTING PER STRUCTURAL DRAWINGS, TYP. SLOPE TOP AWAY FROM POST TO PREVENT STANDING WATER.
- 6 4" AGGREGATE BASE, COMPACTED.
- 7 COMPACTED SUBGRADE TO 90% REL. DENSITY.

FINISH: POWDERCOATED BLACK.

D TUBULAR METAL FENCE
1/2" = 1'-0"

R-24034-27

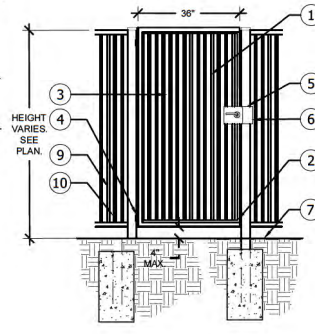


- 1 WELDED PANEL.
- 2 2" SQ. RAILS - 14 GA.
- 3 3" SQ. POST - 14 GA. WITH CAP. PLACE POSTS 8'-0" O.C. MAXIMUM. PLACE POSTS IN METAL SLEEVES AND POR ROC CEMENT IN PLACE.
- 4 3/4" SQ. PICKET - 18 GA. DOUBLE PICKET 2" O.C.
- 5 CONCRETE FOOTING PER STRUCTURAL DRAWINGS, TYP. SLOPE TOP AWAY FROM POST TO PREVENT STANDING WATER.
- 6 4" AGGREGATE BASE, COMPACTED.
- 7 COMPACTED SUBGRADE TO 90% REL. DENSITY.

FINISH: PAINT ALL METAL WITH TWO COATS SHOP PRIMER AND ONE COAT ENAMEL PAINT. COLOR: BLACK.

E TUBULAR METAL 'PUPPY PANEL' FENCE
1/2" = 1'-0"

R-24034-37

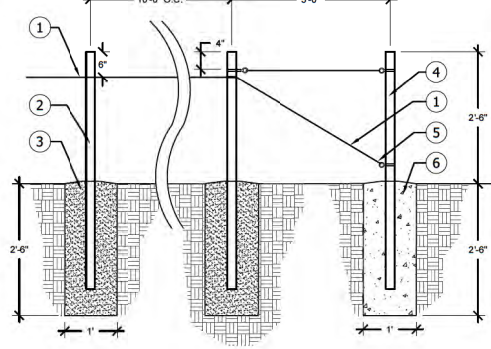


- 1 WELDED GATE PANEL TO MATCH FENCE DETAIL. SECURED, PEDESTRIAN SWING GATE PER FIRE CODE REQUIREMENTS.
- 2 3" SQ. POST, 2" SQ. FRAME 14 GA. WITH CAP. PROVIDE MIN. 36" OPENING BETWEEN POSTS FOR GATE.
- 3 3/4" SQ. PICKET - 18 GA.
- 4 (2) HEAVY DUTY HINGES, TYP.
- 5 GATE LOCK WITH KEY ENTRY PROVIDE KNOX BOX PER LOCAL FIRE CODE.
- 6 4" X 6" STEEL OVERSTRIKE PLATE.
- 7 FINISH GRADE.
- 8 CONCRETE FOOTING PER STRUCTURAL DRAWINGS, TYP. SLOPE TOP AWAY FROM POST TO PREVENT STANDING WATER.
- 9 ADJACENT FENCE. SEE PLAN.

FINISH: PAINT ALL METAL WITH TWO COATS SHOP PRIMER AND ONE COAT ENAMEL PAINT. COLOR: BLACK.

F 'PUPPY PANEL' PEDESTRIAN GATE
1/2" = 1'-0"

R-24034-47



- 1 3/8" DIA. 7 STRAND GALV. CABLE, TYP. SLIP THROUGH 1/2" DIA. HOLE IN LINE POSTS OR CONNECT TO EYE BOLTS.
- 2 LINE POST - 2" DIA. SCH 40 STEEL POST, GALV.
- 3 BACKFILL WITH AGGREGATE BASE TO 95% RELATIVE COMPACTION AT LINE POSTS.
- 4 TERMINAL POST - 2" DIA. SCH 40 STEEL POST, GALV.
- 5 3/8" GALV. EYE BOLT WITH GALV. CLAMPS FOR SPLICES AND CONNECTIONS.
- 6 CONCRETE FOOTING AT TERMINAL POSTS.

G POST & CABLE FENCE (METAL POSTS)
3/4" = 1'-0"

R-24034-02

OWNER
WHITNEY SUNSET 14, LLC
1031 ROSEVILLE PARKWAY, SUITE 148
ROSEVILLE, CA 95678
ATTN: PETER SAETES
peter@saetesinvestments.com
(916) 628-7778

WHITNEY SUNSET 14, LLC

APPLICANT
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P.O. BOX 6567
AUBURN, CA 95604
ATTN: ROB PARISH
rob@parish-associates.com
(916) 961-5201

Parish & Associates, Inc.
Project Management • Land Development • Landmarks

ENGINEER
TSD ENGINEERING, INC.
785 ORCHARD DRIVE, SUITE 110
FOLSOM, CA 95630
ATTN: CASEY FEICKERT
cfeickert@tsdeng.com
(916) 608-0707



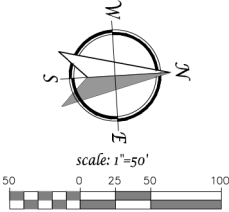
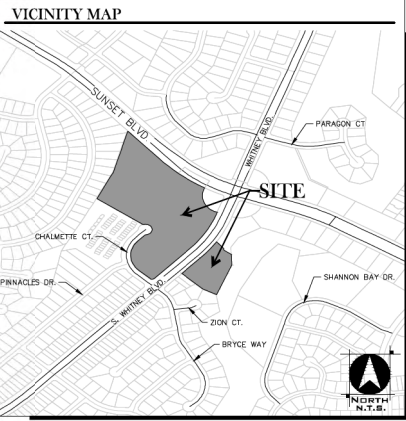
ARCHITECT
JEFFREY DEMURE + ASSOCIATES
3001 DOUGLAS BOULEVARD, SUITE 110
ROSEVILLE, CA 95661
ATTN: SEAN RICHARDSON
srichardson@jdaarch.com
(916) 783-3700



LANDSCAPE ARCHITECT
FUHRMAN LEAMY LAND GROUP
2140 PROFESSIONAL DRIVE, SUITE 115
ROSEVILLE, CA 95661
ATTN: KEVIN LEAMY
kevinl@fllandgroup.com
(916) 783-5263



INDEX OF EXHIBITS:	
C-0	PRELIMINARY COVER SHEET
C-1	TENTATIVE SUBDIVISION MAP
C-2	PRELIMINARY SITE PLAN
C-3	PRELIMINARY GRADING & DRAINAGE PLAN
C-4	PRELIMINARY SECTIONS
C-5	PRELIMINARY SECTIONS
C-6	PRELIMINARY SECTIONS
C-7	PRELIMINARY UTILITY PLAN
C-8	PRELIMINARY FIRE ACCESS PLAN
C-9	PRELIMINARY TREE EXHIBIT
PL1	PRELIMINARY LANDSCAPE PLAN
PL2	PRELIMINARY LANDSCAPE DETAILS



WHITNEY WALK - ROCKLIN

C-0

Southwest Corner of Sunset Blvd. & South
Whitney Blvd., Rocklin, California

Proposed **Whitney Sunset 14, LLC**
By: 1031 Roseville Parkway, Suite 148
Roseville, CA 95678

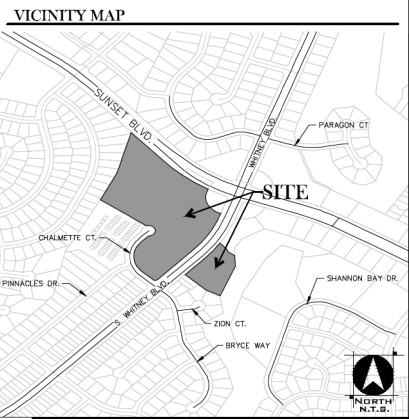
In Association With:
**JD+A (Architects), TSD Engineering, Inc. (Civil), Fuhrman
Leamy Land Group (Landscape Architecture)**

OCTOBER 18, 2024 - INITIAL SUBMITTAL



TSD ENGINEERING, INC.
785 Orchard Drive, Suite #110
Folsom, CA 95630
Phone: (916) 608-0707
Fax: (916) 608-0701

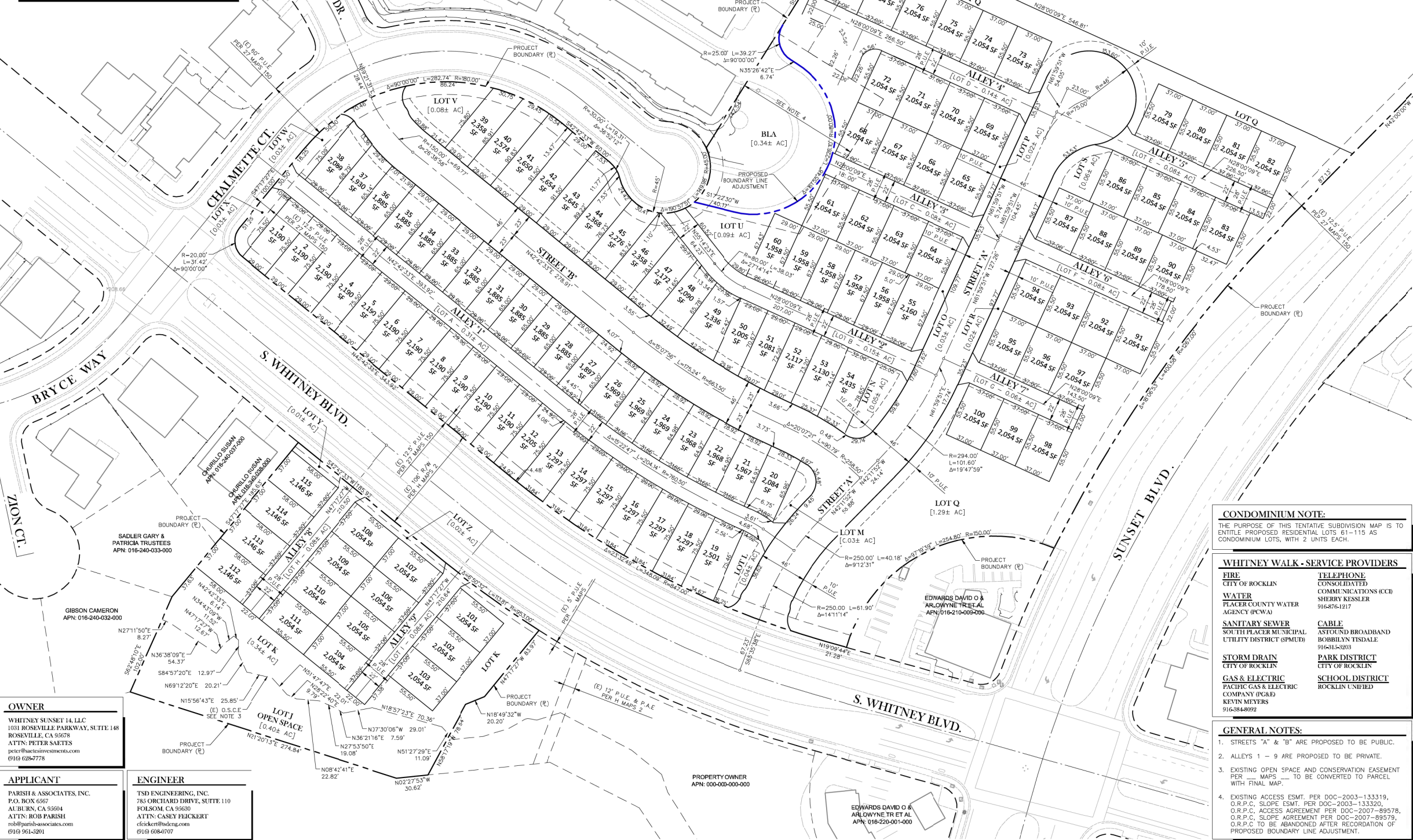
Tentative Subdivision Map
And Condominium Project



BASIS OF BEARING:
THE BASIS OF BEARINGS FOR THIS SURVEY IS IDENTICAL TO THAT SHOWN ON THE FINAL MAP OF "REMANINDER OF LOT 2, SUNSET PARK UNIT NO. 1" FILED IN BOOK 27 OF PARCEL MAPS AT PAGE 150, PLACER COUNTY RECORDS, BASED UPON FOUND MONUMENTS SHOWN HEREON.

FLOOD ZONE:
ZONE X (AREA OF MINIMAL FLOOD HAZARD) PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NO. 06061C0942, DATED NOVEMBER 2, 2018.

CITY OF ROCKLIN
BENCHMARK - R 8-2 249.40 FEET
BEING IS A FOUND COPPERWELD IN CENTERLINE ± OF CONCRETE ISLAND OF BRIDGE SUNSET BLVD. OVER UNION PACIFIC RR 500' WEST OF PACIFIC ST. STAMPED "D 13 HV 11" ELEVATION = 249.40 FT (NGVD29)



WHITNEY WALK - PROJECT SUMMARY

ASSESSORS PARCEL NO. 016-210-011, 016-210-044 & 016-210-030-000	
EXISTING LAND USE	
VACANT	
EXISTING GENERAL PLAN	- HDR
EXISTING ZONING	- PD-R
PROPOSED LAND USE	
RESIDENTIAL	
PROPOSED GENERAL PLAN	- HDR
PROPOSED ZONING	- PD-R
PROPOSED RESIDENTIAL LOTS - 170 UNITS	
SINGLE FAMILY DETACHED	- 60 UNITS
SINGLE FAMILY DUET (ATTACHED)	- 110 UNITS
PROPOSED LETTERED LOTS - 26 LOTS	
LOT-A [ALLEY 1]	- 13,336 SF
LOT-B [ALLEY 2]	- 6,371 SF
LOT-C [ALLEY 3]	- 3,260 SF
LOT-D [ALLEY 4]	- 6,147 SF
LOT-E [ALLEY 5]	- 3,707 SF
LOT-F [ALLEY 6]	- 3,537 SF
LOT-G [ALLEY 7]	- 2,728 SF
LOT-H [ALLEY 8]	- 3,519 SF
LOT-I [ALLEY 9]	- 3,523 SF
LOT-J [OPEN SPACE]	- 17,662 SF
LOT-K [LANDSCAPE]	- 14,611 SF
LOT-L [LANDSCAPE]	- 1,806 SF
LOT-M [LANDSCAPE]	- 1,165 SF
LOT-N [LANDSCAPE]	- 2,196 SF
LOT-O [LANDSCAPE]	- 1,169 SF
LOT-P [LANDSCAPE]	- 1,049 SF
LOT-Q [LANDSCAPE]	- 3,617 SF
LOT-R [LANDSCAPE]	- 1,049 SF
LOT-S [LANDSCAPE]	- 2,466 SF
LOT-T [OPEN SPACE]	- 84,920 SF
LOT-U [LANDSCAPE]	- 3,728 SF
LOT-V [LANDSCAPE]	- 3,437 SF
LOT-W [LANDSCAPE]	- 1,340 SF
LOT-X [LANDSCAPE]	- 1,403 SF
LOT-Y [LANDSCAPE]	- 558 SF
LOT-Z [LANDSCAPE]	- 1,067 SF
PROJECT AREAS	
RESIDENTIAL LOTS	- 5,55± AC [241,890± SF]
LETTERED LOTS (OPEN SPACE)	- 2,26± AC [102,582± SF]
LETTERED LOTS (OTHER)	- 3,22± AC [139,692± SF]
STREET R/W	- 1.40± AC [60,867± SF]
BOUNDARY LINE ADJUSTMENT	- 0.34± AC [14,738± SF]
TOTAL	- 12.85± AC [559,808± SF]
RESIDENTIAL LOT SIZES	
MINIMUM LOT SIZE	- 1,885± SF
MAXIMUM LOT SIZE	- 2,654± SF
AVERAGE LOT SIZE	- 2,103± SF
PROPOSED DENSITY	
167± DU/AC	
NOTES:	
1. DESIGNATED OPEN SPACE LOTS "J" & "T"	
2. DENSITY CALCULATION EXCLUDES AREAS FOR DESIGNATED OPEN SPACE LOTS "J" & "T" AND PROPOSED BOUNDARY LINE ADJUSTMENT	

CONDOMINIUM NOTE:

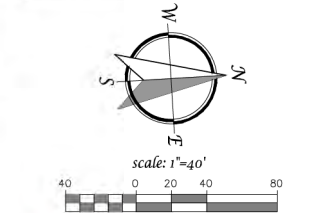
THE PURPOSE OF THIS TENTATIVE SUBDIVISION MAP IS TO ENTITLE PROPOSED RESIDENTIAL LOTS 61-115 AS CONDOMINIUM LOTS, WITH 2 UNITS EACH.

WHITNEY WALK - SERVICE PROVIDERS

FIRE CITY OF ROCKLIN	TELEPHONE CONSOLIDATED COMMUNICATIONS (CCI)
WATER PLACER COUNTY WATER AGENCY (PCWA)	SHERIFF KESSLER 916-876-1217
SANITARY SEWER SOUTH PLACER MUNICIPAL UTILITY DISTRICT (SPMUD)	CABLE ASTOUND BROADBAND BOBBILYN TISDALE 916-614-8089
STORM DRAIN CITY OF ROCKLIN	PARK DISTRICT CITY OF ROCKLIN
GAS & ELECTRIC PACIFIC GAS & ELECTRIC COMPANY (PG&E)	SCHOOL DISTRICT ROCKLIN UNIFIED
KEYN MEYERS 916-384-8092	

GENERAL NOTES:

- STREETS "A" & "B" ARE PROPOSED TO BE PUBLIC.
- ALLEYS 1 - 9 ARE PROPOSED TO BE PRIVATE.
- EXISTING OPEN SPACE AND CONSERVATION EASEMENT PER MAPS TO BE CONVERTED TO PARCEL WITH FINAL MAP.
- EXISTING ACCESS ESMT. PER DOC-2003-133319, O.R.P.C. SLOPE ESMT. PER DOC-2003-133320, O.R.P.C. ACCESS AGREEMENT PER DOC-2007-89578, O.R.P.C. SLOPE AGREEMENT PER DOC-2007-89579, O.R.P.C. TO BE ABANDONED AFTER RECORDATION OF PROPOSED BOUNDARY LINE ADJUSTMENT.



WHITNEY WALK - ROCKLIN

Southwest Corner of Sunset Blvd. & South
Whitney Blvd., Rocklin, California

Proposed By: **Whitney Sunset 14, LLC**
1031 Roseville Parkway, Suite 148
Roseville, CA 95678

In Association With:
JD+A (Architects), TSD Engineering, Inc. (Civil), Fuhrman Leamy Land Group (Landscape Architecture)

OCTOBER 18, 2024 - INITIAL SUBMITTAL

TS&E ENGINEERING, INC.
expect more.
785 Orchard Drive, Suite #110
Folsom, CA 95630
Phone: (916) 608-0707
Fax: (916) 608-0701

WHITNEY WALK - PARKING SUMMARY	
GARAGE SPACES	~ 190 [SINGLE FAMILY DETACHED]
GARAGE SPACES	~ 110 [DUET ATTACHED]
DRIVEWAY SPACES	~ 14 [LOTS 39-45]
ON-STREET (PARALLEL)	~ 104 [9'x24']
OFF-STREET (STANDARD)	~ 6 [9'x19' w/ 2' OVERHANG]
TOTAL SPACES	~ 354

- GENERAL NOTES:**
- STREETS "A" & "B" ARE PROPOSED TO BE PUBLIC.
 - ALLEYS 1 - 9 ARE PROPOSED TO BE PRIVATE.
 - EXISTING OPEN SPACE AND CONSERVATION EASEMENT TO BE CONVERTED TO PARCEL WITH FINAL MAP.
 - EXISTING ACCESS ESMT. PER DOC-2003-133319, O.R.P.C. SLOPE ESMT. PER DOC-2003-133320, O.R.P.C. ACCESS AGREEMENT PER DOC-2007-89578, O.R.P.C. SLOPE AGREEMENT PER DOC-2007-89579, O.R.P.C. TO BE ABANDONED AFTER RECORDATION OF PROPOSED BOUNDARY LINE ADJUSTMENT.
 - EXISTING PARKING LOT IMPROVEMENTS ON ADJACENT PROPERTY (APN: 016-210-009-000) ENCROACH PROJECT PROPERTY (0' TO 4.9'±).

Preliminary Site Plan

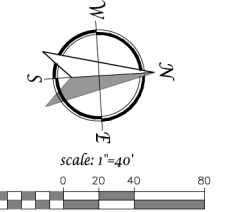


KEY FEATURES LEGEND:

- SINGLE-FAMILY (DETACHED) [SEE LOT DETAIL "B01" SHEET C-6]
- SINGLE-FAMILY DUET (ATTACHED) [SEE LOT DETAIL "B02" SHEET C-6]
- ROCKERY RETAINING WALL
- MASONRY SOUNDWALL w/PIELASTER
- POST & CABLE FENCING
- OPEN VIEW (STEEL TUBE) FENCING
- BACK OF WALK
- PUBLIC CURB, GUTTER & SIDEWALK [WITH PARALLEL PARKING]
- PARALLEL PARKING STALL MARKINGS (TYP.)
- ACCESS GATE
- EXISTING TREE TO REMAIN
- EXISTING OVERHEAD UTILITY LINES
- LIMIT OF FEMA FLOOD ZONE AE [100-YR FLOOD EXTENT]

SURFACE LEGEND:

- ASPHALT PAVEMENT
- LANDSCAPE AREA
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- BIO-RETENTION FEATURE



WHITNEY WALK - ROCKLIN

C-2

P:\Projects\328-004\02 DWG\3- Planning\WGV\WV_C2 - Preliminary Site Plan.dwg, Ton, 12:21:59, 10-16-24

Preliminary Grading & Drainage Plan

KEY FEATURES LEGEND:

	SINGLE-FAMILY (DETACHED) [SEE LOT DETAIL "B01" SHEET C-6]		EXISTING GRADE		PROPOSED 1ST LEVEL FINISH FLOOR OF LIVING SPACE
	SINGLE-FAMILY DUET (ATTACHED) [SEE LOT DETAIL "B02" SHEET C-6]		PROPOSED FINISH GRADE		EXISTING STARS REC'D TO 1ST LEVEL FINISH FLOOR OF LIVING SPACE
	ROCKERY RETAINING WALL		EXISTING GRADE SLOPE		PROPOSED STORM DRAIN (PUBLIC)
	MASONRY SOUNDWALL w/PLASTER		PROPOSED FINISH GRADE SLOPE		STORM DRAIN MANHOLE (EXISTING/PROPOSED)
	EXISTING 5-FT CONTOUR [MAJOR]		TOP OF RETAINING WALL		DRAIN INLET (EXISTING/PROPOSED)
	EXISTING 1-FT CONTOUR [MINOR]		FINISH GRADE AT BOTTOM OF WALL		OVERLAND RELEASE DIRECTION
	PROPOSED 5-FT CONTOUR [MAJOR]		EXIST. GRADE AT BOTTOM/TOP OF WALL		EXISTING TREE TO REMAIN
	PROPOSED 1-FT CONTOUR [MINOR]		SINGLE-FAMILY DUET (ATTACHED) BUILDING WITH 3-FT STEP BETWEEN GARAGE FINISH FLOOR AND 1ST LEVEL FINISH FLOOR OF LIVING SPACE SHOWN		EXISTING OVER-HEAD UTILITY LINES
			SINGLE-FAMILY (DETACHED) BUILDING WITH 3-FT STEP BETWEEN GARAGE FINISH FLOOR AND 1ST LEVEL FINISH FLOOR OF LIVING SPACE SHOWN		LIMIT OF FEMA FLOOD ZONE AE [100-YR FLOOD EXTENT]

SURFACE LEGEND:

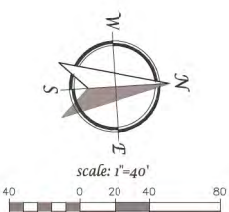
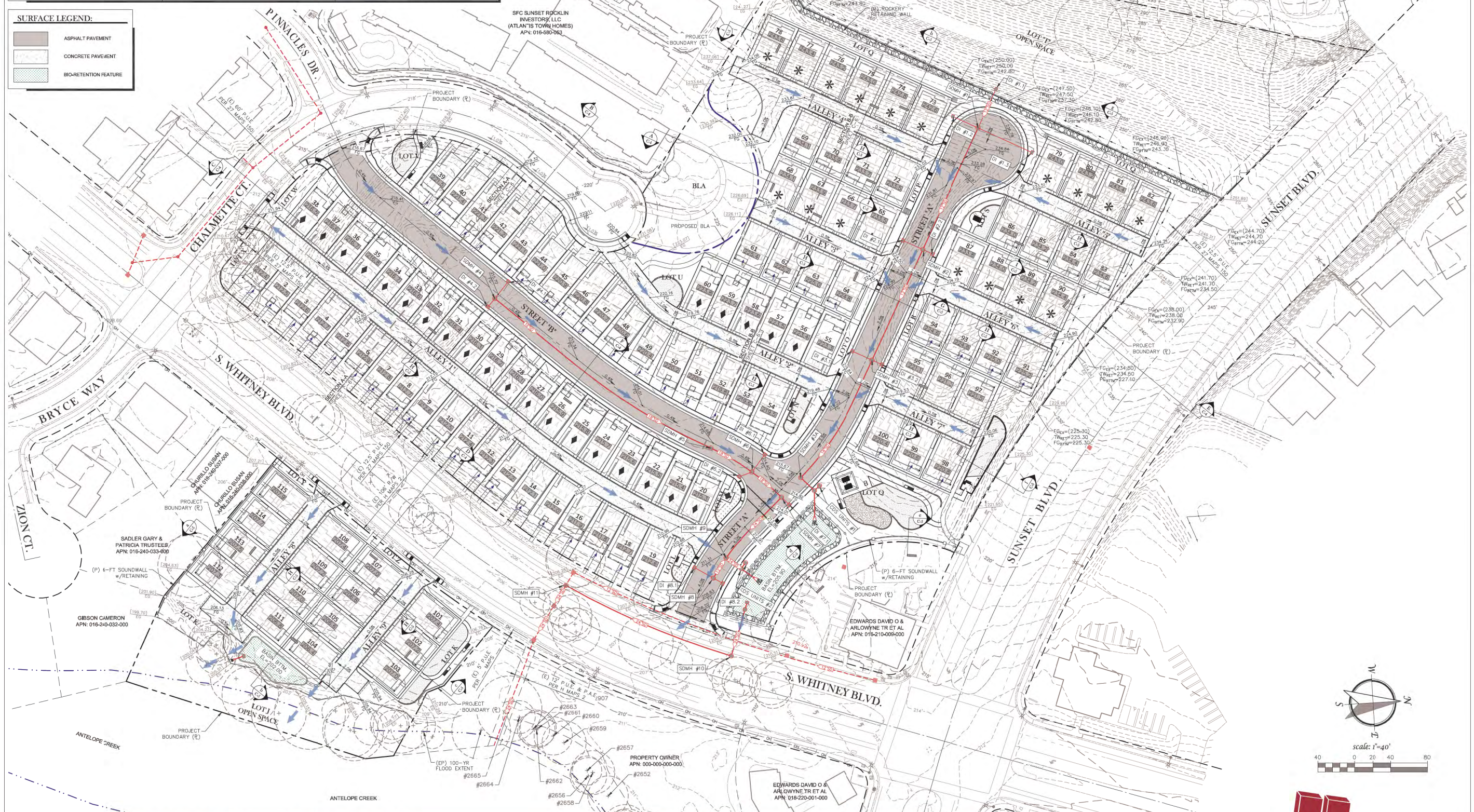
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	BIO-RETENTION FEATURE

PRELIMINARY EARTHWORK:

THE FOLLOWING NUMBERS ARE PRELIMINARY AND PROVIDED FOR PERMITTING PURPOSES ONLY

CUT: 28,050 CY
FILL: 5,715 CY
NET: 22,335 CY (CUT - EXPORT)

RAW NUMBERS ONLY, NO SHRINKAGE OR SWELL ACCOUNTED FOR.



WHITNEY WALK - ROCKLIN

Southwest Corner of Sunset Blvd. & South
Whitney Blvd., Rocklin, California

Proposed By: **Whitney Sunset 14, LLC**
1031 Roseville Parkway, Suite 148
Roseville, CA 95678

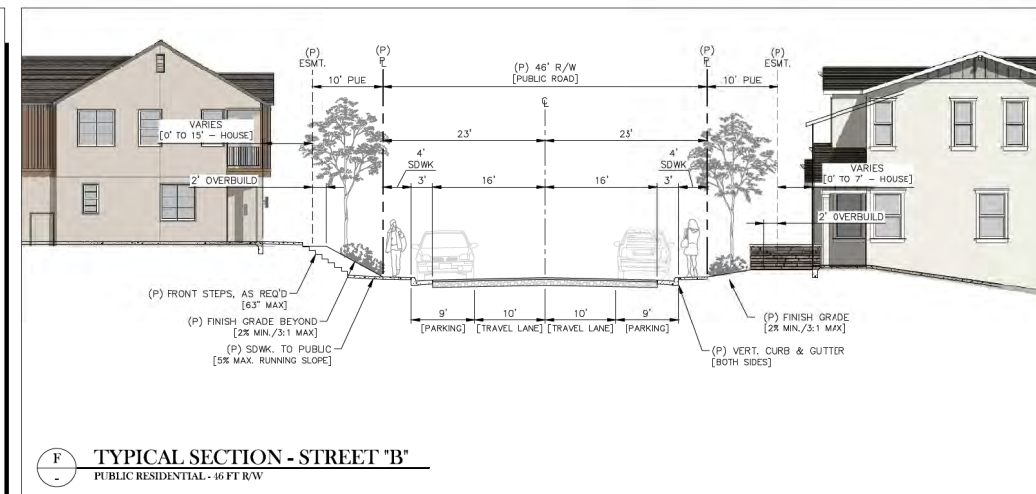
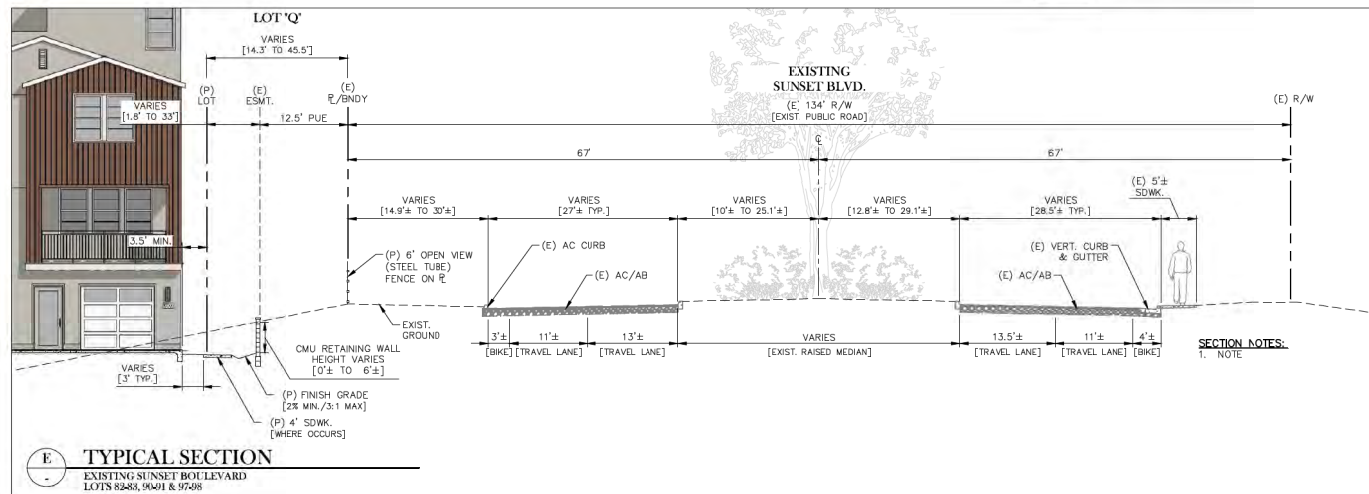
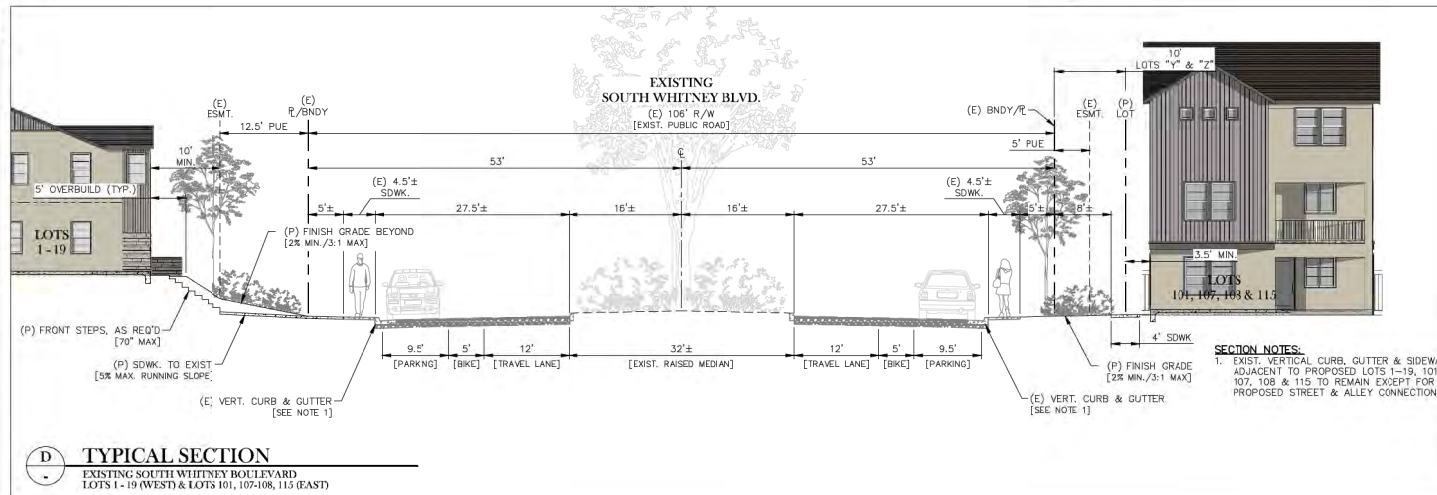
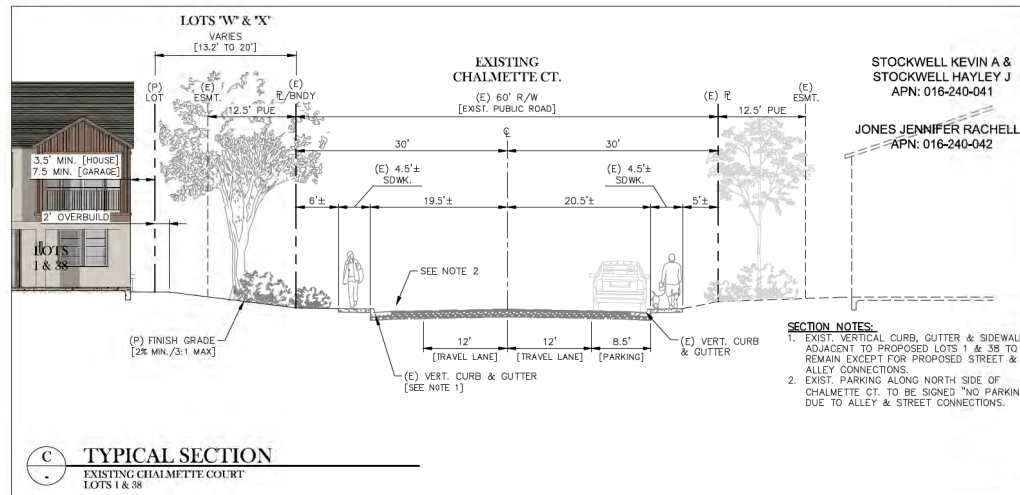
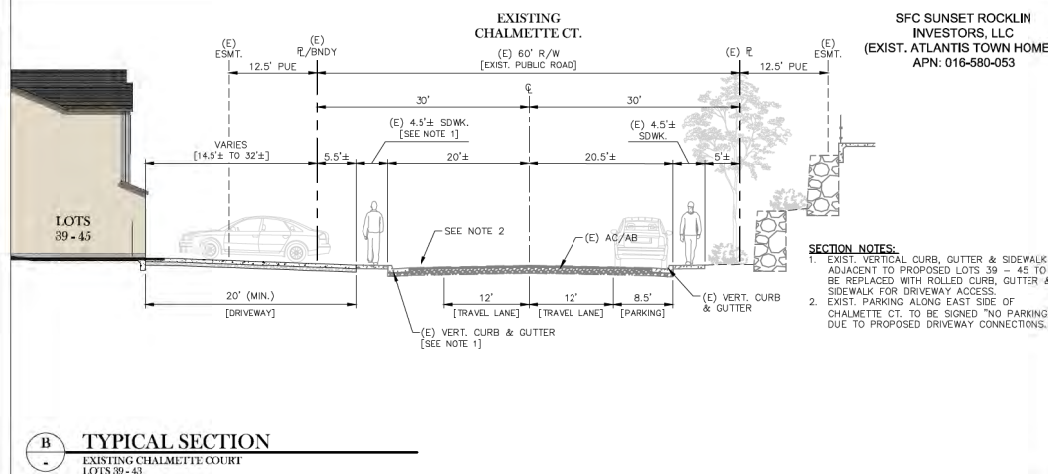
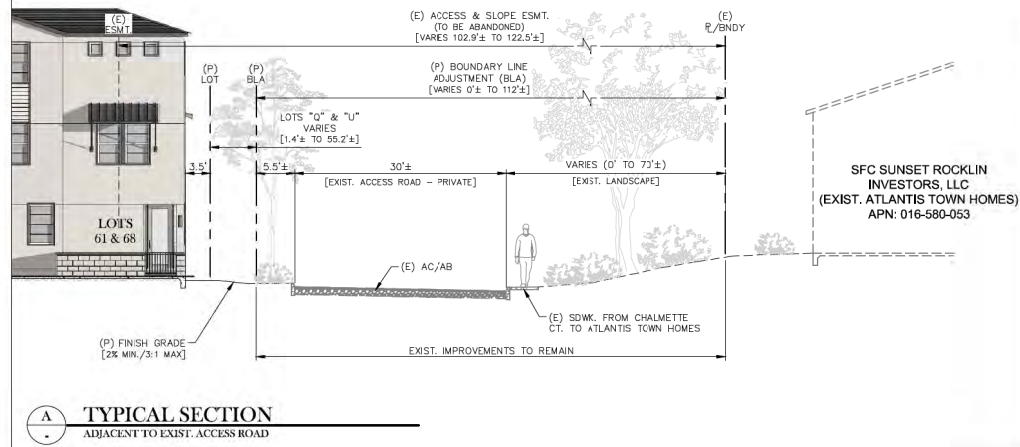
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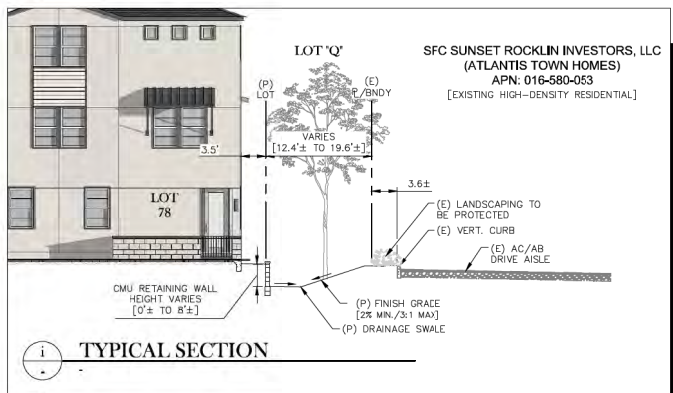
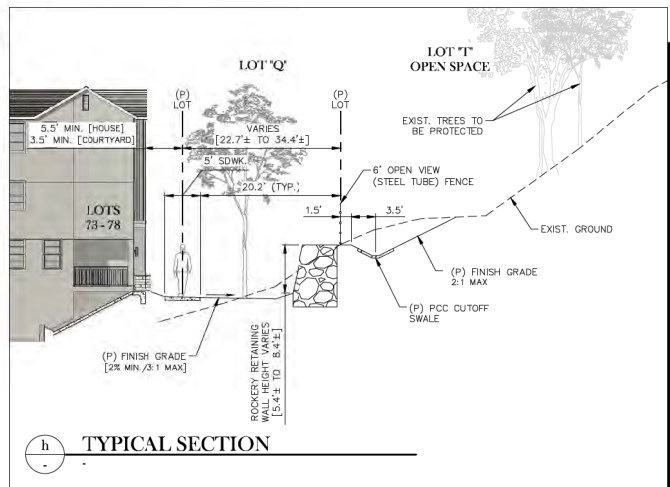
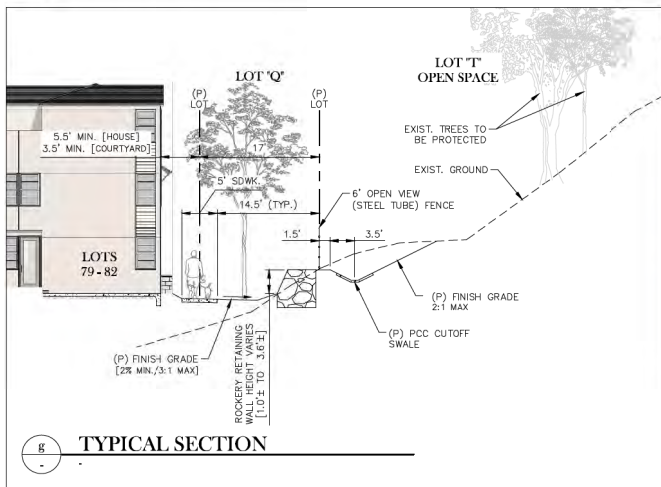
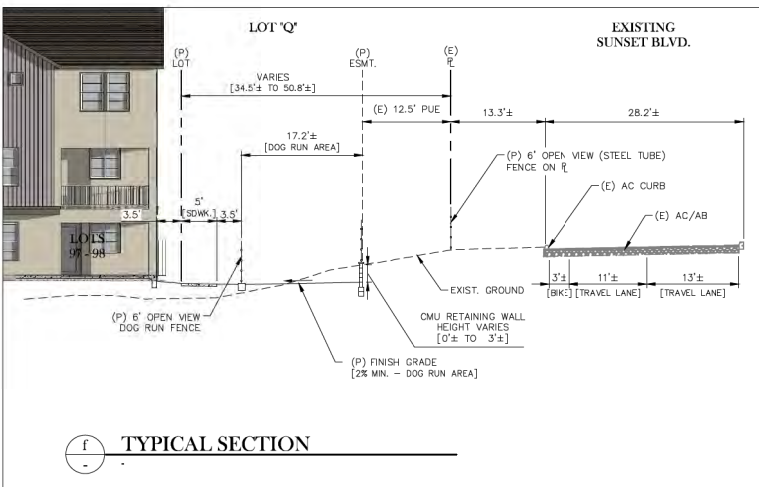
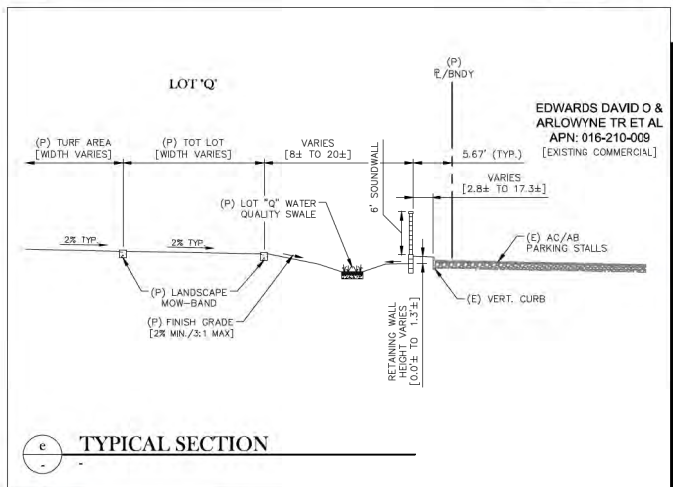
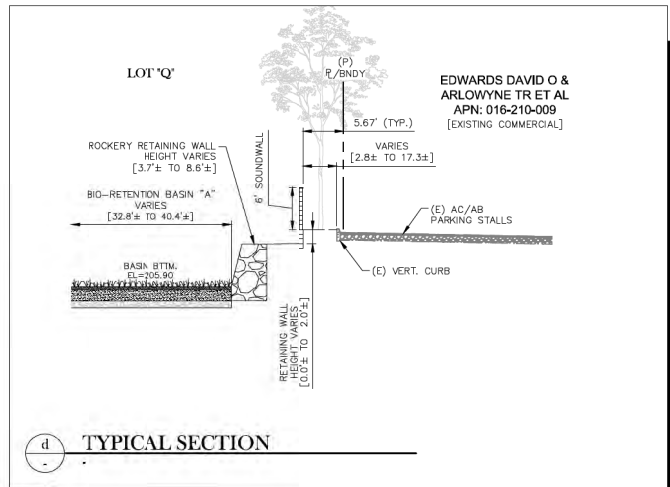
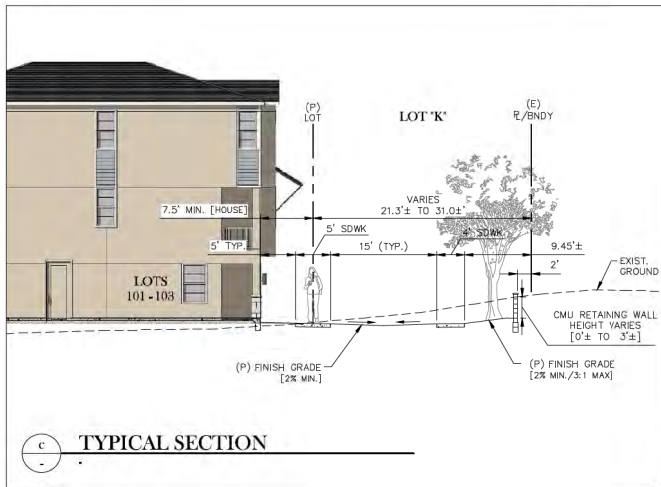
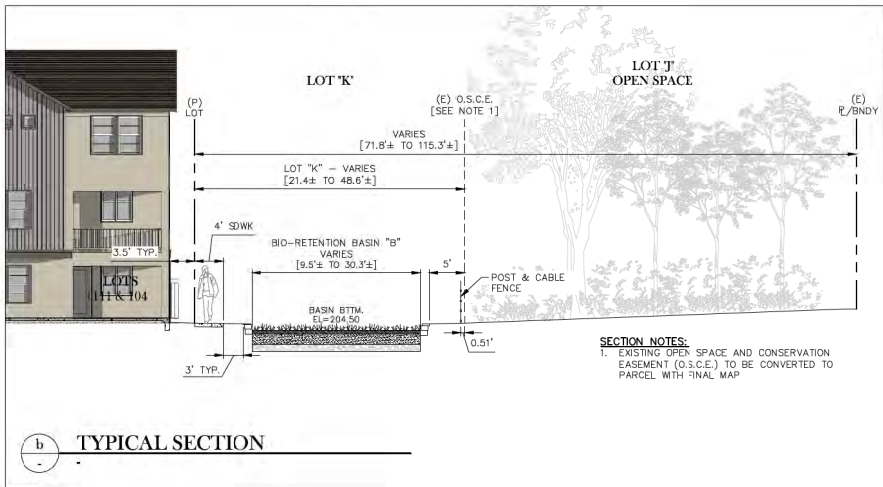
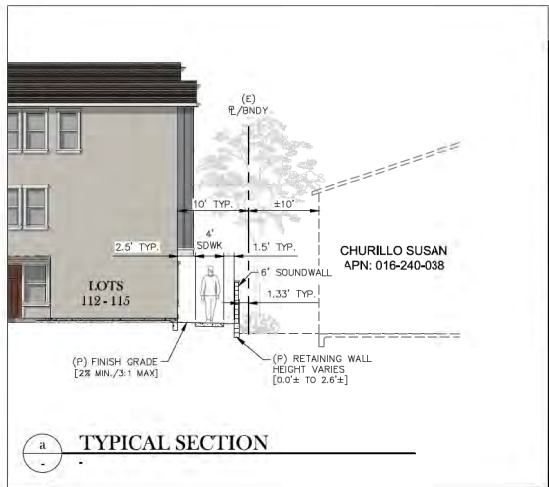
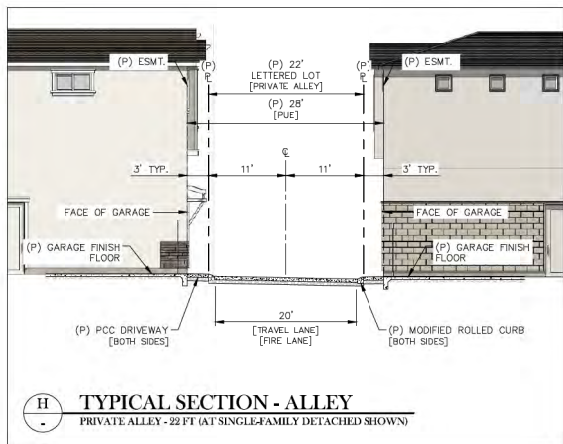
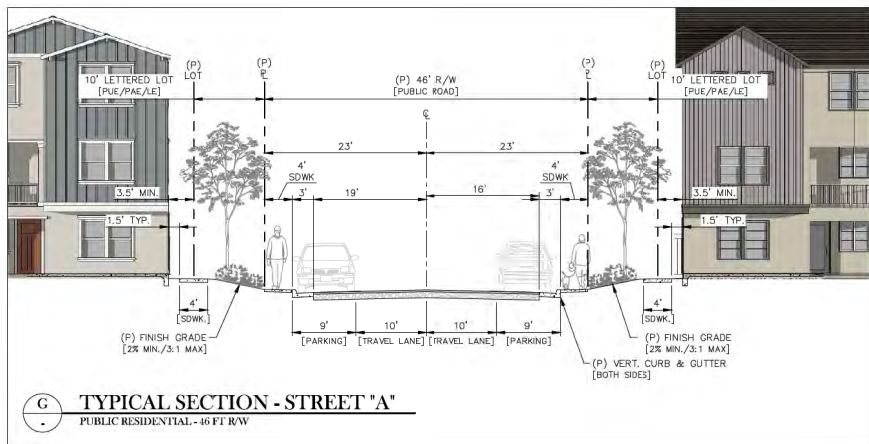
C-3

TSD ENGINEERING, INC.
expect more.
785 Orchard Drive, Suite #110
Folsom, CA 95630
Phone: (916) 608-0707
Fax: (916) 608-0701

Preliminary Sections



Preliminary Sections



WHITNEY WALK - ROCKLIN

Southwest Corner of Sunset Blvd. & South
Whitney Blvd., Rocklin, California

Proposed By: Whitney Sunset 14, LLC
1031 Roseville Parkway, Suite 148
Roseville, CA 95678

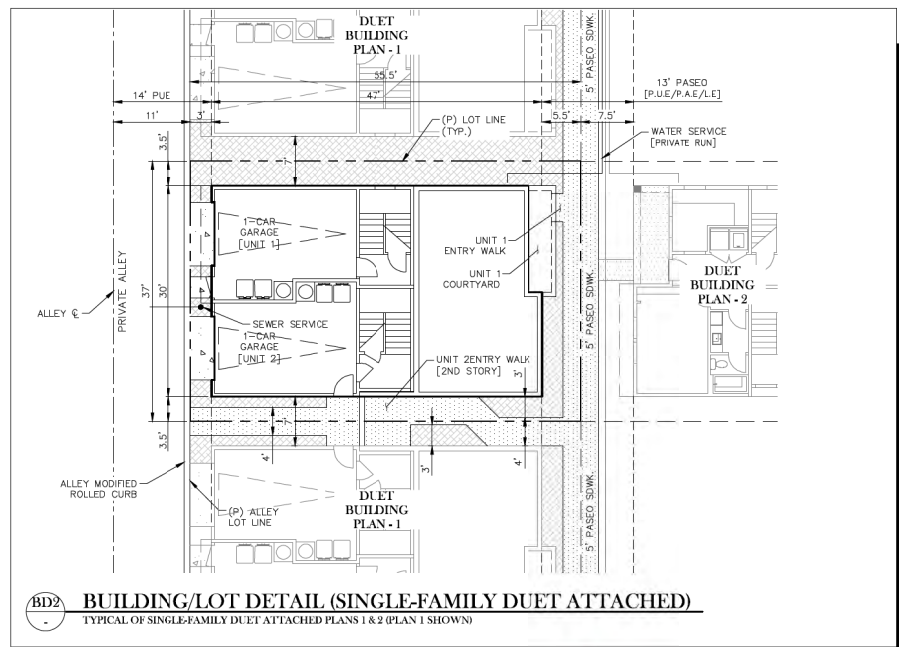
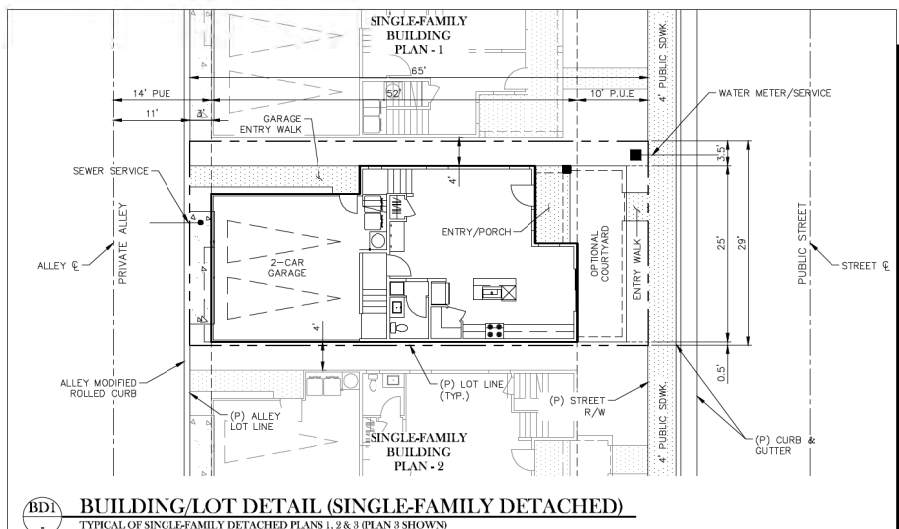
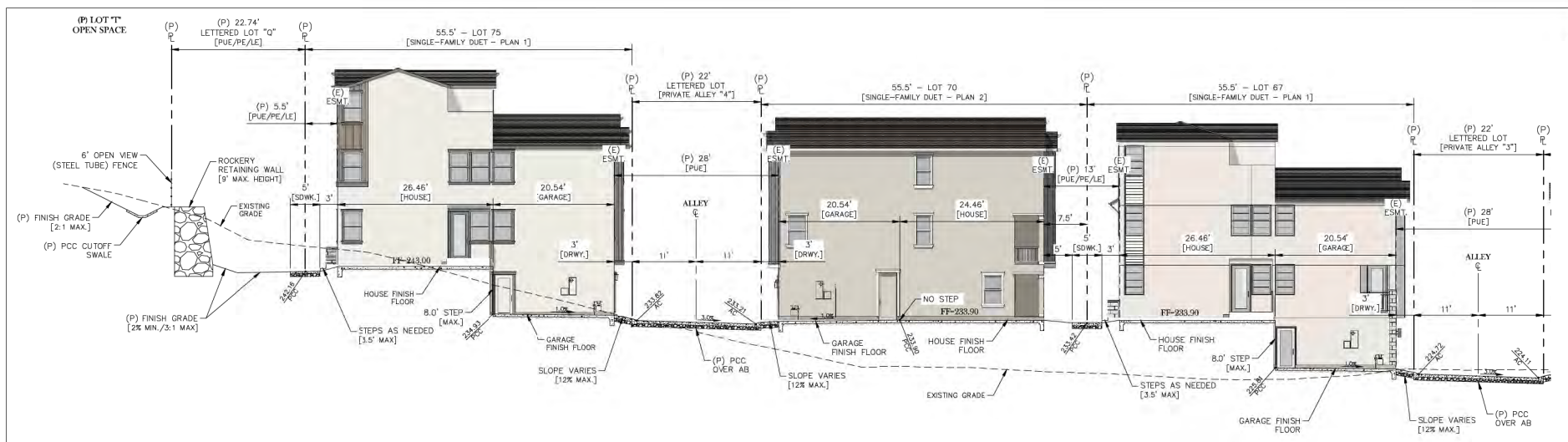
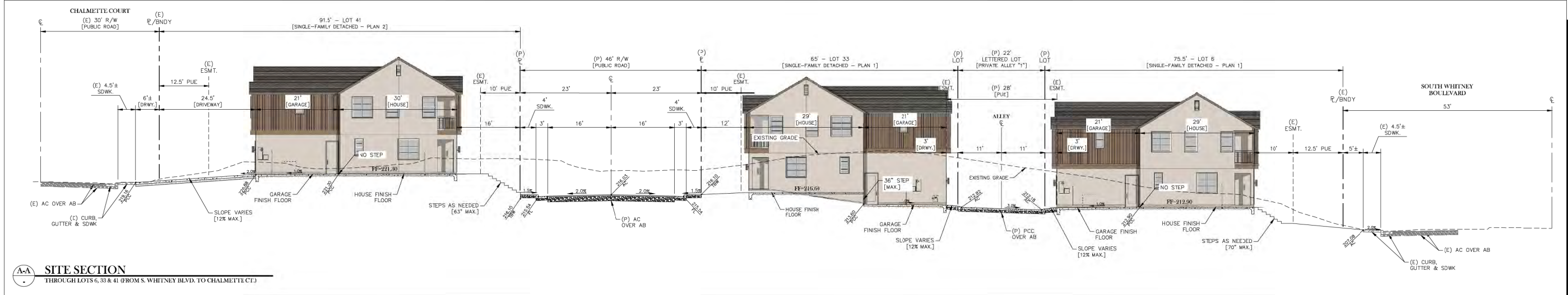
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TSD ENGINEERING, INC.
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Preliminary Sections



WHITNEY WALK - ROCKLIN

Southwest Corner of Sunset Blvd. & South
Whitney Blvd., Rocklin, California

Proposed By: **Whitney Sunset 14, LLC**
1031 Roseville Parkway, Suite 148
Roseville, CA 95678

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785 Orchard Drive, Suite #110
Folsom, CA 95630
Phone: (916) 608-0707
Fax: (916) 608-0701

Preliminary Utility Plan

KEY FEATURES LEGEND:		
DESCRIPTION	PROPOSED	EXISTING
SEWER MAIN [PUBLIC]		
SEWER MANHOLE [PUBLIC]		
SEWER SERVICE		
WATER MAIN [PUBLIC]		
WATER SERVICE [w/METER]		
FIRE HYDRANT [PUBLIC]		
IRRIGATION BACKFLOW [RP]		
JOINT TRENCH		
OVERHEAD UTILITY LINES		
GAS LINE		
COMMUNICATION LINES		



WHITNEY WALK - ROCKLIN

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Southwest Corner of Sunset Blvd. & South
Whitney Blvd., Rocklin, California

Proposed By: **Whitney Sunset 14, LLC**
1031 Roseville Parkway, Suite 148
Roseville, CA 95678

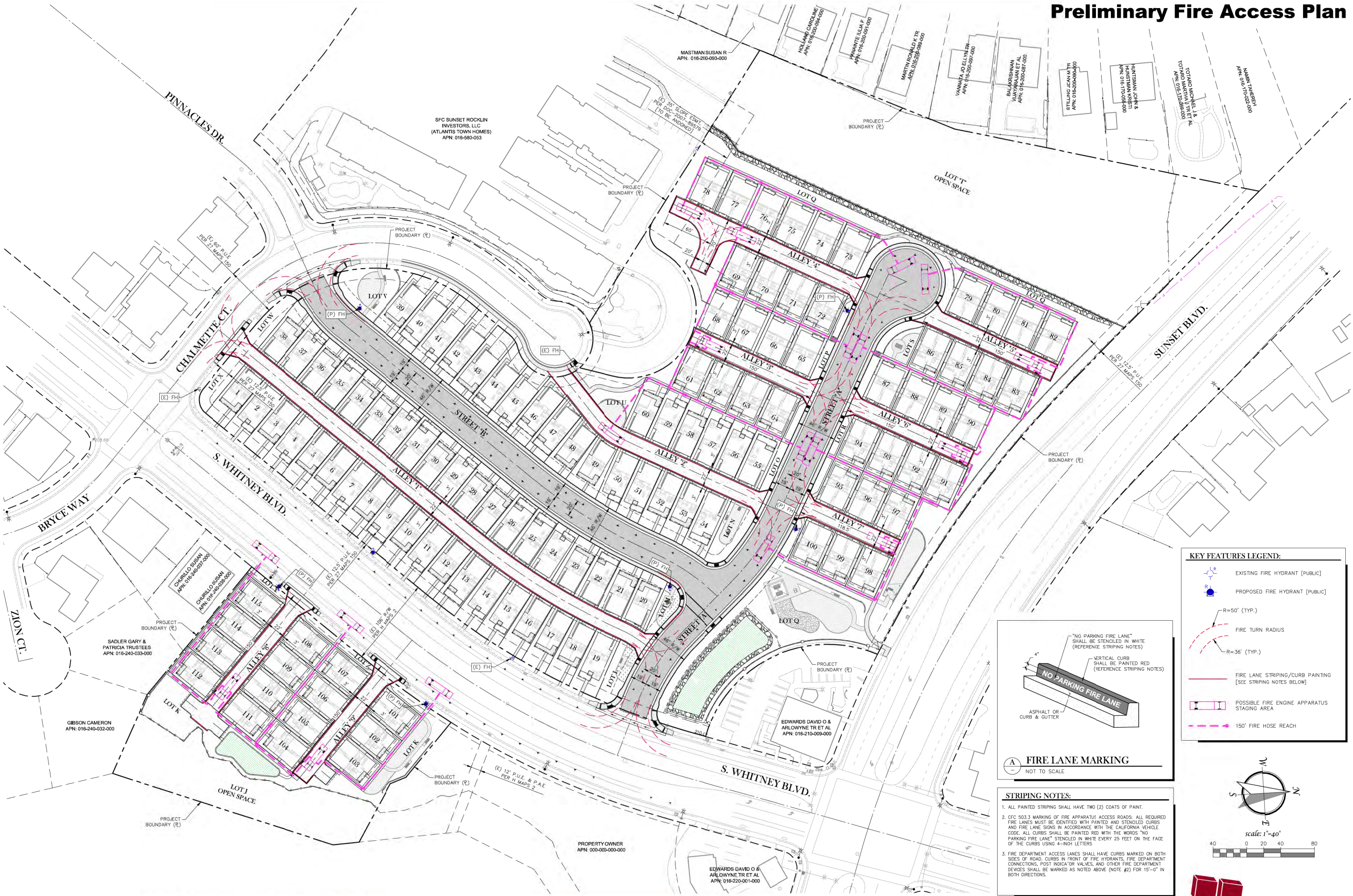
In Association With:
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Leamy Land Group (Landscape Architecture)**

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785 Orchard Drive, Suite #110
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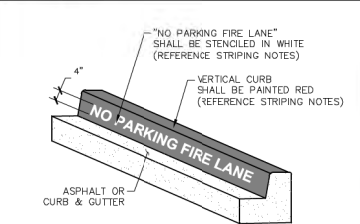
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Preliminary Fire Access Plan

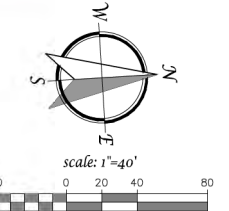


KEY FEATURES LEGEND:

- EXISTING FIRE HYDRANT [PUBLIC]
- PROPOSED FIRE HYDRANT [PUBLIC]
- R=50' (TYP.)
- R=36' (TYP.)
- FIRE TURN RADIUS
- FIRE LANE STRIPING/CURB PAINTING [SEE STRIPING NOTES BELOW]
- POSSIBLE FIRE ENGINE APPARATUS STAGING AREA
- 150' FIRE HOSE REACH



- STRIPING NOTES:**
- ALL PAINTED STRIPING SHALL HAVE TWO (2) COATS OF PAINT.
 - GFC 503.3 MARKING OF FIRE APPARATUS ACCESS ROADS. ALL REQUIRED FIRE LANES MUST BE IDENTIFIED WITH PAINTED AND STENCILED CURBS AND FIRE LANE SIGNS IN ACCORDANCE WITH THE CALIFORNIA VEHICLE CODE. ALL CURBS SHALL BE PAINTED RED WITH THE WORDS "NO PARKING FIRE LANE" STENCILED IN WHITE EVERY 25 FEET ON THE FACE OF THE CURBS USING 4-INCH LETTERS.
 - FIRE DEPARTMENT ACCESS LANES SHALL HAVE CURBS MARKED ON BOTH SIDES OF ROAD. CURBS IN FRONT OF FIRE HYDRANTS, FIRE DEPARTMENT CONNECTIONS, POST INDICATOR VALVES, AND OTHER FIRE DEPARTMENT DEVICES SHALL BE MARKED AS NOTED ABOVE (NOTE #2) FOR 15'-0" IN BOTH DIRECTIONS.



WHITNEY WALK - ROCKLIN

C-8

Southwest Corner of Sunset Blvd. & South
Whitney Blvd., Rocklin, California

Proposed By: **Whitney Sunset 14, LLC**
1031 Roseville Parkway, Suite 148
Roseville, CA 95678

In Association With:
**JD+A (Architects), TSD Engineering, Inc. (Civil), Fuhrman
Leamy Land Group (Landscape Architecture)**

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Folsom, CA 95630
Phone: (916) 608-0707
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Preliminary Tree Exhibit

KEY FEATURES LEGEND:

- #100 TREE TAG # [PER ARBORIST REPORT] EXISTING TREE TO REMAIN
- DUR [PER ARBORIST REPORT]
- #100 TREE TAG # [PER ARBORIST REPORT] EXISTING TREE TO BE REMOVED
- DUR [PER ARBORIST REPORT]

NOTES:

- TREE LOCATIONS, SPECIES, SIZES AND RATING PER "PRELIMINARY ARBORIST REPORT & TREE INVENTORY" BY CALIFORNIA TREE & LANDSCAPE CONSULTING, INC., DATED FEBRUARY 25, 2022.
- TREES WITH AN ARBORIST RATING RANKED 0, 1 OR 2 MAY BE REMOVED WITHOUT MITIGATION REQUIRED. REFERENCE ARBORIST REPORT FOR MORE INFORMATION.

WHITNEY WALK - TREE IMPACT TABLE

Tag	Protected By Code	Species Common Name	Species Botanical Name	DBH (in)	DUR (feet)	Arborist Rating	Mitigation Inches	Development Status
2944	Yes	Valley Oak	Quercus lobata	11	20	3	-	Remove
2945	Yes	Valley Oak	Quercus lobata	9	18	3	8	Remove
2946	Yes	Valley Oak	Quercus lobata	9	18	3	8	Remove
2947	Yes	Valley Oak	Quercus lobata	9	18	3	8	Remove
2948	Yes	Valley Oak	Quercus lobata	30	25	2	-	Remove
2949	Yes	Valley Oak	Quercus lobata	24	30	3	-	Remove
2950	Yes	Valley Oak	Quercus lobata	20	18	3	-	Remove
2951	Yes	Valley Oak	Quercus lobata	20	21	3	-	Remove
2952	Yes	Valley Oak	Quercus lobata	17	18	3	-	Remove
2953	Yes	Valley Oak	Quercus lobata	11	30	3	-	Remove
2954	Yes	Valley Oak	Quercus lobata	9	18	3	-	Remove
2955	Yes	Valley Oak	Quercus lobata	28	35	3	-	Remove
2956	Yes	Valley Oak	Quercus lobata	22	30	3	-	Remove
2957	Yes	Valley Oak	Quercus lobata	20	31	3	-	Remove
2958	Yes	Valley Oak	Quercus lobata	11	15	2	6	Remove
2959	Yes	Valley Oak	Quercus lobata	14	20	3	14	Remove
2960	Yes	Valley Oak	Quercus lobata	8	18	3	8	Remove
2961	Yes	Valley Oak	Quercus lobata	14	28	3	-	Remove
2962	Yes	Valley Oak	Quercus lobata	20	31	3	-	Remove
2963	Yes	Valley Oak	Quercus lobata	11	15	2	6	Remove
2964	Yes	Valley Oak	Quercus lobata	14	20	3	14	Remove
2965	Yes	Valley Oak	Quercus lobata	8	18	3	8	Remove
2966	Yes	Valley Oak	Quercus lobata	14	28	3	-	Remove
2967	Yes	Valley Oak	Quercus lobata	20	31	3	-	Remove
2968	Yes	Valley Oak	Quercus lobata	11	15	2	6	Remove
2969	Yes	Valley Oak	Quercus lobata	14	20	3	14	Remove
2970	Yes	Valley Oak	Quercus lobata	8	18	3	8	Remove
2971	Yes	Valley Oak	Quercus lobata	14	28	3	-	Remove
2972	Yes	Valley Oak	Quercus lobata	20	31	3	-	Remove
2973	Yes	Valley Oak	Quercus lobata	11	15	2	6	Remove
2974	Yes	Valley Oak	Quercus lobata	14	20	3	14	Remove
2975	Yes	Valley Oak	Quercus lobata	8	18	3	8	Remove
2976	Yes	Valley Oak	Quercus lobata	14	28	3	-	Remove
2977	Yes	Valley Oak	Quercus lobata	20	31	3	-	Remove
2978	Yes	Valley Oak	Quercus lobata	11	15	2	6	Remove
2979	Yes	Valley Oak	Quercus lobata	14	20	3	14	Remove
2980	Yes	Valley Oak	Quercus lobata	8	18	3	8	Remove
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2983	Yes	Valley Oak	Quercus lobata	11	15	2	6	Remove
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2985	Yes	Valley Oak	Quercus lobata	8	18	3	8	Remove
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2995	Yes	Valley Oak	Quercus lobata	8	18	3	8	Remove
2996	Yes	Valley Oak	Quercus lobata	14	28	3	-	Remove
2997	Yes	Valley Oak	Quercus lobata	20	31	3	-	Remove
2998	Yes	Valley Oak	Quercus lobata	11	15	2	6	Remove
2999	Yes	Valley Oak	Quercus lobata	14	20	3	14	Remove
3000	Yes	Valley Oak	Quercus lobata	8	18	3	8	Remove

WHITNEY WALK - TREE DATA SUMMARY

TOTAL INVENTORIED TREES	128	Trees	18 49.5 Total DBH (in)
TOTAL PROPOSED REMOVALS	49	Trees	692 Total DBH (in)
TOTAL OAK TREES	127	Trees	18 35.5 Total DBH (in)
TOTAL OAK TREES REMOVED	49	Trees	692 Total DBH (in)
TOTAL OAK TREES REMOVED - RATING 0, 1, & 2	5	Trees	47 Total DBH (in)

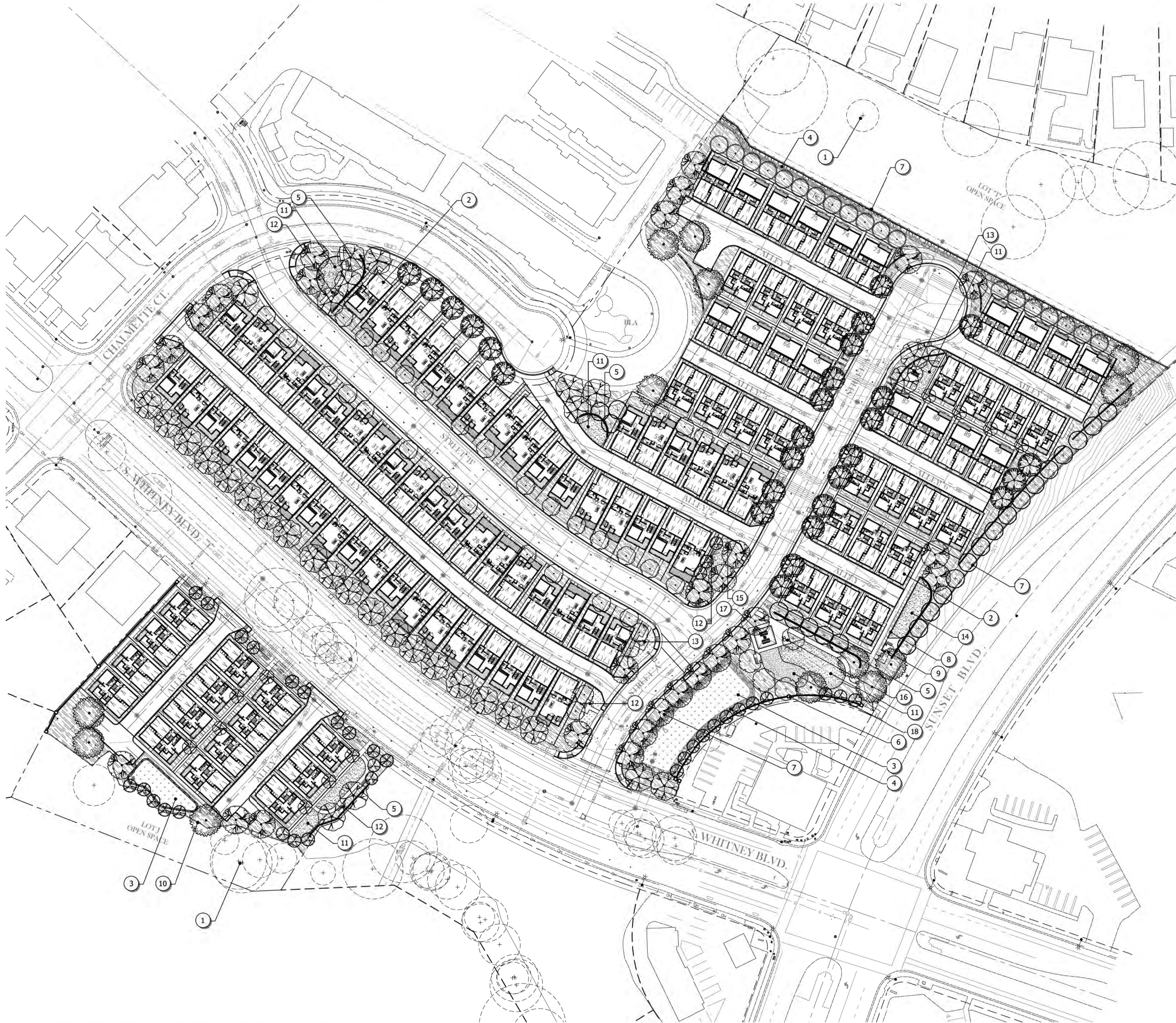
Species	Total Trees	Rating 0, 1, & 2	Rating 3 & 4
Interior live oak	5	2	3
Valley Oak	113	17	96
Blue oak	9	1	8

KEY TO RATING SYSTEM:

- 0 = Dead, no sign of life
- 1 = Extreme problems, limited potential for recovery
- 2 = Major problems, possibility for recovery
- 3 = Fair condition with minor problems
- 4 = Good condition, no apparent problems
- 5 = No problems observed



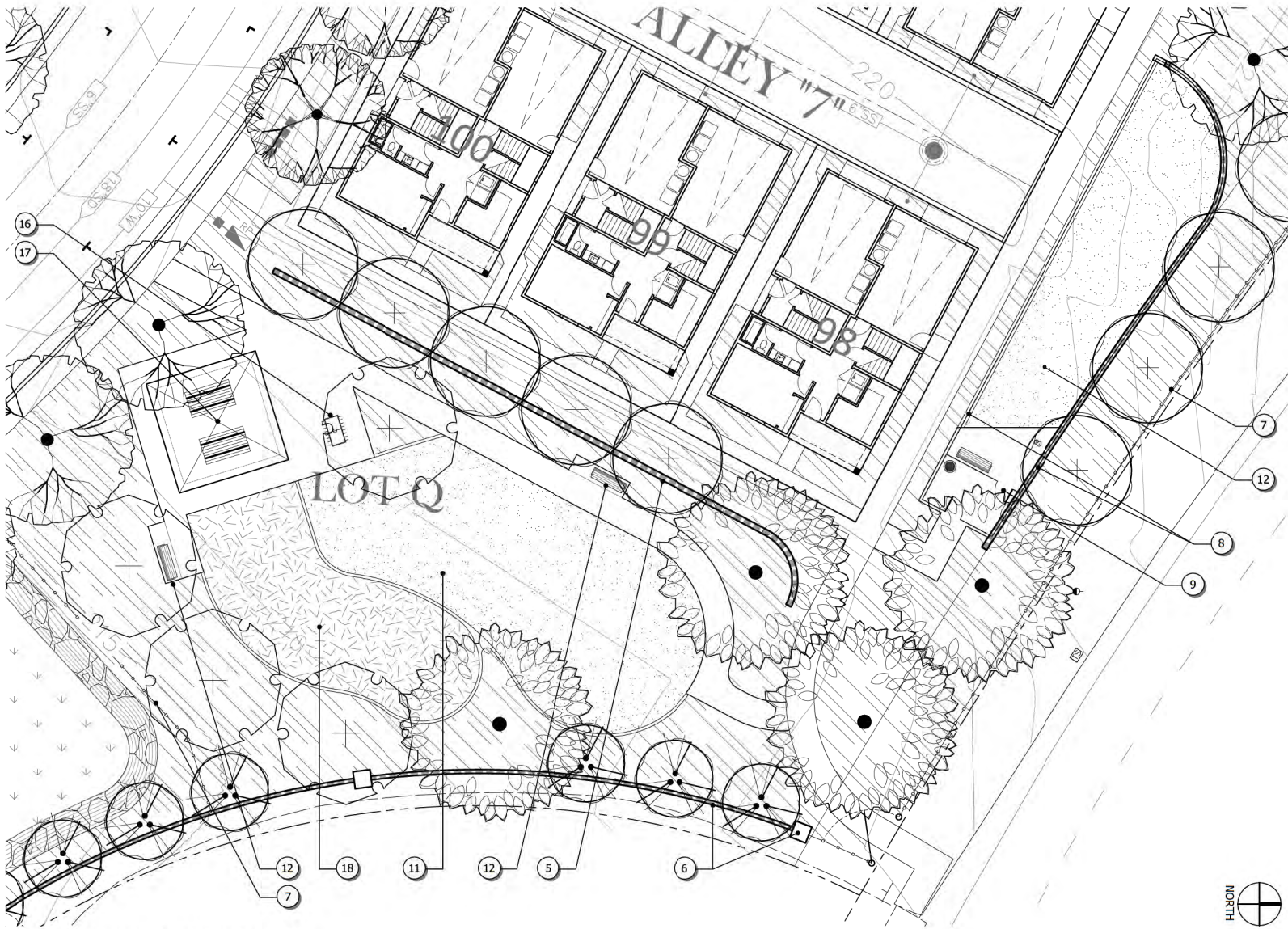
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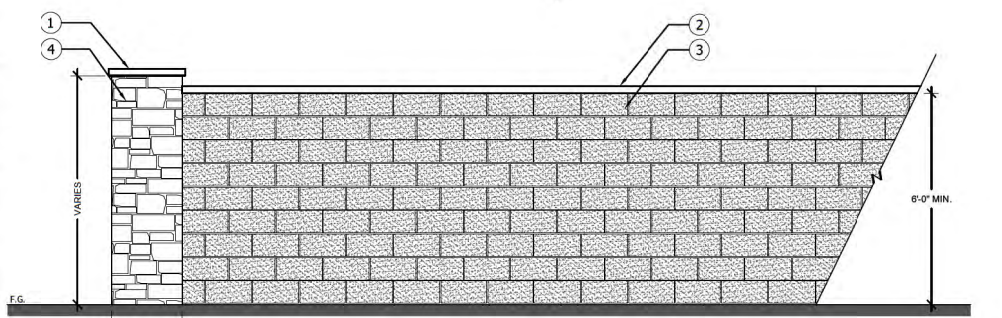
TREE SCHEDULE				
SYMBOL	BOTANICAL / COMMON NAME	SIZE	WATER USE	QTY
	ACER RUBRUM 'REDPOINTE' REDPOINTE MAPLE (40'X20')	15 GAL.	MOD	34
	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY RED MAPLE (40'X35')	24" BOX	MOD	33
	ARCTOSTAPHYLOS MANZANITA 'DR. HURD' DR. HURD COMMON MANZANITA (15'X15')	15 GAL.	VERY LOW	25
	CERCIS CANADENSIS EASTERN REDBUD (20'X20')	24" BOX	LOW	25
	CHIONANTHUS RETUSUS CHINESE FRINGE TREE (20'X15')	15 GAL.	MOD	11
	PODOCARPUS GRACILIOR FERN PINE (40'X20')	15 GAL.	MOD	19
	QUERCUS LOBATA VALLEY OAK (60'X40')	24" BOX	LOW	13
	TILIA CORDATA 'GREENSPIRE' GREENSPIRE LINDEN (40'X25')	15 GAL.	MOD	4
	ULMUS PARVIFOLIA 'DRAKE' DRAKE LACEBARK ELM (50'X35')	24" BOX	MOD	29
	ULMUS PROPINQUA 'JFS-BIEBERICH' EMERALD SUNSHINE® ELM	15 GAL.	LOW	27
	ZELKOVA SERRATA 'CITY SPRITE' COMPACT SAWLEAF ZELKOVA (20'X15')	24" BOX	MOD	10

CONCEPT PLANT SCHEDULE				
SHRUB AREAS				
	ARBITUS UNEDO 'COMPACTA' / COMPACT STRAWBERRY TREE	5 GAL., LOW		
	ARCTOSTAPHYLOS X 'JOHN DOURLEY' / JOHN DOURLEY MANZANITA	5 GAL., LOW		
	BACCHARIS X 'STERILE CENTENNIAL' / CENTENNIAL COYOTE BRUSH	5 GAL., LOW		
	CALLISTEMON VIMINALIS 'LITTLE JOHN' / DWARF WEEPING BOTTLEBRUSH	1 GAL., LOW		
	CHONDRLOPETALUM TECTORUM / SMALL CAPE RUSH	5 GAL., LOW		
	CISTUS LADANIFER / CRIMSON SPOT ROCKROSE	5 GAL., LOW		
	CISTUS X 'GRAYSWOOD PINK' / GRAYSWOOD PINK ROCKROSE	1 GAL., LOW		
	DIERIS BICOLOR / FORTNIGHT LILY	1 GAL., LOW		
	ELYMUS CONDENSATUS 'CANYON PRINCE' / CANYON PRINCE WILD RYE	1 GAL., LOW		
	GREVILLEA ROSMARINIFOLIA / ROSEMARY GREVILLEA	5 GAL., LOW		
	LIGULSTRUM JAPONICUM 'TEXANUM' / TEXAS JAPANESE PRIVET	15 GAL., LOW		
	LOMANDRA LONGIFOLIA 'BREEZE' / BREEZE MAT RUSH	1 GAL., LOW		
	MUHLENBERGIA CAPILLARIS / PINK MUHLY GRASS	1 GAL., LOW		
	OLEA EUROPAEA 'LITTLE OLLIE' TM / LITTLE OLLIE OLIVE	5 GAL., LOW		
	RHAPHIOLEPIS INDICA 'PINK DANCER' / PINK DANCER INDIAN HAWTHORN	15 GAL., LOW		
	SALVIA MICROPHYLLA 'HOT LIPS' / HOT LIPS SAGE	1 GAL., LOW		
	WESTRINGIA FRUTICOSA 'MUNDI' TM PP 24042 / LOW COAST ROSEMARY	5 GAL., LOW		
GROUND COVER AREA				
	ACACIA REDOLENS 'LOW BOY' / LOW BOY PROSTRATE ACACIA (2'X6')	1 GAL., LOW		
	CELANOTHUS G. H. 'DIAMOND HEIGHTS' / DIAMOND HEIGHTS CARMEL CREEPER (1'X5')	1 GAL., LOW		
	COPROSMA KIRKII 'VERDE VISTA' / VERDE VISTA CREEPING COPROSMAT (3'X6')	1 GAL., LOW		
	LOMANDRA LONGIFOLIA PLATINUM BEAUTY / PLATINUM BEAUTY LOMANDRA (3'X3')	1 GAL., LOW		
	TEUCRIUM X LUCIDRYS PROSTRATUM / GERMANDER (6'X3')	1 GAL., LOW		
	NEPETA X FAASSENII 'LIMELIGHT' / LIMELIGHT CATMINT (8'X2')	1 GAL., LOW		
TURF AREA				
	TURF SOD BOLERO PLUS / FESCUE BLEND	SOD, HIGH		
NO MOW TURF AREA				
	NO MOW TURF SOD / FINE FESCUE BLEND	SOD, MOD		
STORMWATER FEATURES				
	TURF SOD BIOFILTRATION SOD / DELTA BLUEGRASS BIOFILTRATION SOD	SOD, MOD		

REFERENCE NOTES SCHEDULE	
SYMBOL	DESCRIPTION
1	EXISTING TREES TO REMAIN. VERIFY IN FIELD.
2	PROPOSED BUILDINGS. SEE ARCHITECTURAL PLANS.
3	PROPOSED STORMWATER APPURTENANCES. SEE CIVIL PLANS.
4	PROPOSED ROCKERY WALLS. SEE CIVIL PLANS.
5	PROPOSED RETAINING WALLS. SEE DETAIL C, SHEET PL2.
6	PROPOSED CMU SCREEN WALL WITH 24" SQUARE PILASTERS. SEE DETAILS B, SHEET PL2.
7	PROPOSED 6' OPEN METAL FENCING. SEE DETAIL D, SHEET PL2.
8	PROPOSED 6' OPEN METAL DOG FENCING. SEE DETAIL E, SHEET PL2.
9	PROPOSED 6' OPEN METAL PEDESTRIAN GATE AT DOG PARK. SEE DETAIL F, SHEET PL2.
10	PROPOSED POST & CABLE FENCING. SEE DETAIL G, SHEET PL2.
11	PROPOSED TURF AREAS.
12	PROPOSED BENCHES.
13	PROPOSED PICNIC AREAS.
14	PROPOSED DOG PARK.
15	PROPOSED CORNHOLE.
16	PROPOSED FOOSBALL TABLE.
17	PROPOSED SHADE STRUCTURE & PICNIC AREA.
18	PROPOSED TOT LOT.



A LOT Q PARK: MAIN AMENITY SPACE
SCALE: 1" = 10'-0"



- 1 EL DORADO STONE PREFABRICATED SPLIT-EDGE COLUMN CAP. COLOR: WHITE CLOUD. LOCATE PILASTERS PER PLAN.
- 2 EL DORADO STONE SPLIT-EDGE WALL CAP. COLOR: WHITE CLOUD.
- 3 BASALITE 8"x8"x16" CMU BLOCK, SPLIT FACE FRONT/SMOOTH BACK. COLOR: GREY 225.
- 4 24" SQ. PILASTER WITH EL DORADO STONE VINTAGE RANCH VENEER. COLOR: STRAUSWOOD.

NOTE:
*WALLS, PILASTERS, WALL CAPS, AND PILASTER CAPS NEED A MINIMUM OF TWO (2) COATS OF ANTI-GRAFFITI COATING. GRAFFITI COATING SHALL BE NON-SACRIFICIAL, AND UPON COMPLETION OF THE COATING APPLICATION, CONTRACTOR SHALL PROVIDE CUT SHEET FOR PRODUCT USED AND GUARANTEE LETTER TO DISTRICT STATING THAT COATING APPLICATION HAS BEEN COMPLETED PER MANUFACTURER'S SPECIFICATIONS.
**PLACEMENT OF BLOCK TO BE LOCATED FULLY WITHIN PROJECT PARCEL.

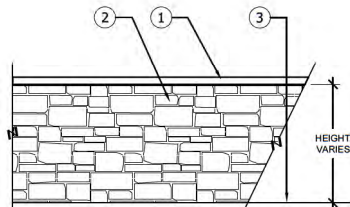


B CMU SCREEN WALL & 24" SQUARE PILASTER (ELEVATION)
1/2" = 1'-0"

R-24034-01

REFERENCE NOTES SCHEDULE

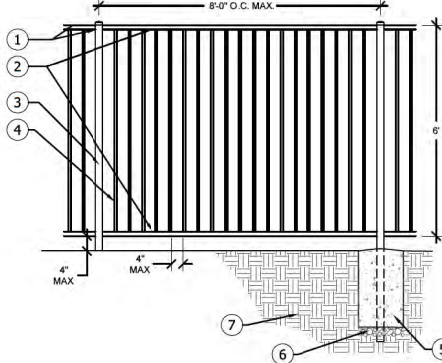
SYMBOL	DESCRIPTION
1	EXISTING TREES TO REMAIN. VERIFY IN FIELD.
2	PROPOSED BUILDINGS. SEE ARCHITECTURAL PLANS.
3	PROPOSED STORMWATER APPURTENANCES. SEE CIVIL PLANS.
4	PROPOSED ROCKERY WALLS. SEE CIVIL PLANS.
5	PROPOSED RETAINING WALLS. SEE DETAIL C, SHEET PL2.
6	PROPOSED CMU SCREEN WALL WITH 24" SQ. PILASTERS. SEE DETAIL B, SHEET PL2.
7	PROPOSED 6' OPEN METAL FENCING. SEE DETAIL D, SHEET PL2.
8	PROPOSED 6' OPEN METAL DOG FENCING. SEE DETAIL E, SHEET PL2.
9	PROPOSED 6' OPEN METAL PEDESTRIAN GATE AT DOG PARK. SEE DETAIL F, SHEET PL2.
10	PROPOSED POST & CABLE FENCING. SEE DETAIL G, SHEET PL2.
11	PROPOSED TURF AREAS.
12	PROPOSED BENCHES.
13	PROPOSED PICNIC AREAS.
14	PROPOSED DOG PARK.
15	PROPOSED CORNHOLE.
16	PROPOSED FOOSBALL TABLE.
17	PROPOSED SHADE STRUCTURE & PICNIC AREA.
18	PROPOSED TOT LOT.



- 1 EL DORADO STONE SPLIT-EDGE WALL CAP. COLOR: WHITE CLOUD.
- 2 BASALITE 8"x8"x16" CMU BLOCK (SMOOTH) WITH EL DORADO STONE VINTAGE RANCH VENEER. COLOR: STRAUSWOOD. COLOR: GREY 225.
- 3 FINISH SURFACE

C RETAINING WALL (ELEVATION)
1/2" = 1'-0"

R-24034-19

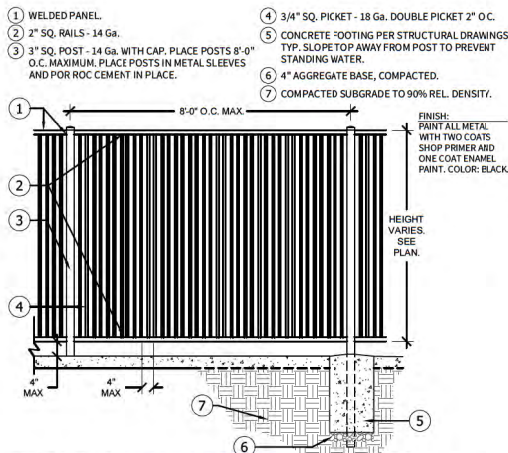


- 1 WELDED PANEL.
- 2 2" SQ. RAILS - 14 GA.
- 3 3" SQ. POST - 14 GA. WITH CAP. PLACE POSTS 8'-0" O.C. MAXIMUM. PLACE POSTS IN METAL SLEEVES AND POR ROC CEMENT IN PLACE.
- 4 1" SQ. PICKET - 14 GA.
- 5 CONCRETE FOOTING PER STRUCTURAL DRAWINGS, TYP. SLOPE TOP AWAY FROM POST TO PREVENT STANDING WATER.
- 6 4" AGGREGATE BASE, COMPACTED.
- 7 COMPACTED SUBGRADE TO 90% REL. DENSITY.

FINISH: POWDERCOATED BLACK.

D TUBULAR METAL FENCE
1/2" = 1'-0"

R-24034-27

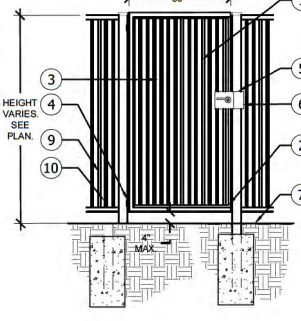


- 1 WELDED PANEL.
- 2 2" SQ. RAILS - 14 GA.
- 3 3" SQ. POST - 14 GA. WITH CAP. PLACE POSTS 8'-0" O.C. MAXIMUM. PLACE POSTS IN METAL SLEEVES AND POR ROC CEMENT IN PLACE.
- 4 3/4" SQ. PICKET - 18 GA. DOUBLE PICKET 2" O.C.
- 5 CONCRETE FOOTING PER STRUCTURAL DRAWINGS, TYP. SLOPE TOP AWAY FROM POST TO PREVENT STANDING WATER.
- 6 4" AGGREGATE BASE, COMPACTED.
- 7 COMPACTED SUBGRADE TO 90% REL. DENSITY.

FINISH: PAINT ALL METAL WITH TWO COATS SHOP PRIMER AND ONE COAT ENAMEL PAINT. COLOR: BLACK.

E TUBULAR METAL 'PUPPY PANEL' FENCE
1/2" = 1'-0"

R-24034-37

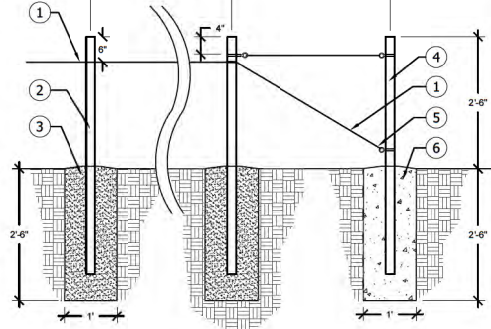


- 1 WELDED GATE PANEL TO MATCH FENCE DETAIL. SECURED, PEDESTRIAN SWING GATE PER FIRE CODE REQUIREMENTS.
- 2 3" SQ. POST, 2" SQ. FRAME 14 GA. WITH CAP. PROVIDE MIN. 36" OPENING BETWEEN POSTS FOR GATE.
- 3 3/4" SQ. PICKET - 18 GA.
- 4 (2) HEAVY DUTY HINGES, TYP.
- 5 GATE LOCK WITH KEY ENTRY PROVIDE KNOX BOX PER LOCAL FIRE CODE.
- 6 4" X 6" STEEL OVERSTRIKE PLATE.
- 7 FINISH GRADE.
- 8 CONCRETE FOOTING PER STRUCTURAL DRAWINGS, TYP. SLOPE TOP AWAY FROM POST TO PREVENT STANDING WATER.
- 9 ADJACENT FENCE. SEE PLAN.

FINISH: PAINT ALL METAL WITH TWO COATS SHOP PRIMER AND ONE COAT ENAMEL PAINT. COLOR: BLACK.

F 'PUPPY PANEL' PEDESTRIAN GATE
1/2" = 1'-0"

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- 1 3/8" DIA. 7 STRAND GALV. CABLE, TYP. SLIP THROUGH 1/2" DIA. HOLE IN LINE POSTS OR CONNECT TO EYE BOLTS.
- 2 LINE POST - 2" DIA. SCH 40 STEEL POST, GALV.
- 3 BACKFILL WITH AGGREGATE BASE TO 95% RELATIVE COMPACTION AT LINE POSTS.
- 4 TERMINAL POST - 2" DIA. SCH 40 STEEL POST, GALV.
- 5 3/8" GALV. EYE BOLT WITH GALV. CLAMPS FOR SPLICES AND CONNECTIONS.
- 6 CONCRETE FOOTING AT TERMINAL POSTS.

G POST & CABLE FENCE (METAL POSTS)
3/4" = 1'-0"

R-24034-02