



**AGENDA**  
**SPECIAL MEETING**  
**CITY OF ROCKLIN PLANNING COMMISSION**  
**DATE: August 10, 2017**  
**TIME: 6:30 PM**  
**PLACE: Council Chambers, 3970 Rocklin Road**  
**[www.rocklin.ca.us](http://www.rocklin.ca.us)**

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**MEETING PROCEDURES AND STANDARDS OF DECORUM**

Citizens may address the Planning Commission on any items on the agenda, when the item is considered. Citizens wishing to speak may request recognition from the presiding officer by raising his or her hand and stepping to the podium when requested to do so. Although not required, speakers are requested to identify themselves by stating their name and city of residence for the official record.

For items not listed on the agenda, any person may do so under "Citizens Addressing the Planning Commission on non-agenda items." Three to five-minute time limits may be placed on citizen comments. As a reminder, the Brown Act does not permit the Commission to take action on items not on the agenda.

All remarks shall be addressed to the Commission as a body and not to any member thereof, or to staff, or to the public. No person, other than a member of the Commission, and the person having the floor, shall be permitted to enter into any discussion without the permission of the presiding officer.

Whenever any group of persons wishes to address the Commission on the same subject matter, it shall be proper for the Chairman to request that a spokesperson be chosen.

Any person who disrupts the meeting of the Commission, may be barred by the Chairman from further audience before the Commission during that meeting.

**WRITINGS RECEIVED AFTER AGENDA POSTING**

Any writing related to an agenda item for the open session of this meeting distributed to the Planning Commission less than 72 hours before this meeting is available for inspection at City Hall, 3970 Rocklin Road, Rocklin, during normal business hours. These writings will also be available for review at the planning commission meeting in the public access binder located on the table at the back of the Council Chambers. If you have questions related to this agenda, please call 916-625-5160.

**WRITTEN MATERIAL INTRODUCED INTO THE RECORD**

Any citizen wishing to introduce written material into the record at the hearing on any item is requested to provide a copy of the written material to the Planning Department prior to the hearing date so that the material may be distributed to the Planning Commission prior to the hearing.

**AMERICANS WITH DISABILITIES ACT**

In compliance with the Americans with Disabilities Act, the City of Rocklin encourages those with disabilities to participate fully in the public hearing process. If you have a special need in order to allow you to attend or participate in our public hearing process or programs, please contact our office at (916) 625-5160 well in advance of the public hearing or program you wish to attend so that we may make every reasonable effort to accommodate you.

**COURT CHALLENGES AND APPEAL PERIOD**

Court challenges to any public hearing items may be limited to only those issues which are raised at the public hearing described in the notice or in written correspondence delivered to the City at or prior to the public hearing. (Government Code Section 65009)

There is a 10-day appeal period for most Planning Commission decisions. However, a Planning Commission approval of a tentative parcel map has a 15-day appeal period. Appeals can be made by any interested party upon payment of the appropriate fee and submittal of the appeal request to the Rocklin City Clerk or the Planning Department, 3970 Rocklin Road, Rocklin.

### ELECTRONIC PRESENTATIONS

All persons with electronic presentations for public meetings will be required to bring their own laptop or other form of standalone device that is HDMI or VGA compatible. It is further recommended that presenters arrive early to test their presentations. The City is not responsible for the compatibility or operation of non-city devices or the functionality of non-city presentations.

### FURTHER INFORMATION

Any person interested in an agenda item may contact the Planning Staff prior to the meeting date, at 3970 Rocklin Road, Rocklin, CA 95677 or by phoning (916) 625-5160 for further information.

### POSTING OF AGENDA

In accordance with Government Code Section 54954.2(a) this agenda was posted on the City's bulletin board at City Hall, 3970 Rocklin Road, Rocklin, and City of Rocklin website at [www.rocklin.ca.us](http://www.rocklin.ca.us).

### AGENDA

#### INTRODUCTION

1. Meeting called to Order
2. Pledge of Allegiance
3. Roll Call
4. Minutes
5. Correspondence
6. Citizens Addressing the Commission on Non Agenda Items

#### CONSENT ITEMS

None

#### PUBLIC HEARINGS

7. THIS ITEM IS BEING CONTINUED TO AUGUST 15, 2017

#### **STANFORD TERRACE CONDOMINIUMS SUBDIVISION MAP, SD-2013-05 DESIGN REVIEW, DR-2013-12**

This application is a request for a re-approval of a prior Design Review and Tentative Subdivision Map to develop 119 townhomes on 7.3+/- acres. The subject property is approximately 7.3 +/- acres and is generally located on Stanford Ranch Road near the southwest intersection of Stanford Ranch Rd. and Sunset Blvd. APN 017-460-003.

The property is zoned Planned Development 20 units per acre (PD-20). The General Plan designation is High Density Residential (HDR).

A Mitigated Negative Declaration of Environmental Impacts was previously approved by the Rocklin City Council through Resolution No. 2014-234. The project site is not on any of the lists enumerated under Section 65962.5 of the Government Code related to hazardous wastes.

The applicant is Chris Scerri with Golden State Lumber, Inc. The property owner is Golden State Lumber, Inc.

- a. Resolution Of The Planning Commission Of The City Of Rocklin Recommending Approval A Tentative Subdivision Map (Stanford Terrace Condominiums / SD-2013-05)
- b. Resolution Of The Planning Commission Of The City Of Rocklin Recommending Approval A Design Review For Multi-Family Residential Homes (Stanford Terrace Condominiums / DR-2013-12)

**8. ROCKLIN STATION  
DESIGN REVIEW, DR2016-0006  
OAK TREE PRESERVATION PLAN PERMIT, TRE2016-0003  
TENTATIVE PARCEL MAP, DL2016-0003  
CONDITIONAL USE PERMIT, U2016-0005**

This application is a request for approval of a Design Review, Oak Tree Preservation Plan Permit, and a Tentative Parcel Map to re-divide the existing four parcels into five commercial parcels and to allow the construction of a commercial center including an automotive service use, retail space, and restaurant spaces, some with drive-through window service and/or outdoor dining, and associated site improvements, including parking and landscaping, and a freeway pylon sign exceeding 30 feet in height. The subject site is located on the southwest corner of the Interstate 80 off-ramp and Sierra College Boulevard. APNs 045-051-015, -019, -020, -021. The property is zoned Planned Development Commercial (PD-C). The General Plan designation is Retail Commercial (RC).

Notice is hereby given that the City of Rocklin will consider adoption of a Mitigated Negative Declaration for the development project described above. The review period for the Mitigated Negative Declaration begins on July 6, 2017 and ends at 5:00 p.m. on August 4, 2017. The environmental document is available for review during normal business hours at the City of Rocklin Community Development Department, Planning Division, located at 3970 Rocklin Road, Rocklin, CA 95677 and online at <http://www.rocklin.ca.us/depts/develop/planning/currentenvirodocs.asp>. Written comments regarding the environmental document may be submitted to the attention of the Environmental Coordinator at the mailing address above or e-mailed to [planner@rocklin.ca.us](mailto:planner@rocklin.ca.us).

The applicant is Sam Thomas of Thomas Sierra, LLC. The property owners are Cecil Finegold Family Receiving Trust and Cecil Finegold Charitable Remainder Trust.

- a. Resolution Of The Planning Commission Of The City Of Rocklin Approving A Mitigated Negative Declaration Of Environmental Impacts (Rocklin Station / DR2016-0006/TRE2016-0003, U2016-0005, DL2016-0003)
- b. Resolution Of The Planning Commission Of The City Of Rocklin Approving A Design Review And An Oak Tree Preservation Plan Permit (Rocklin Station / DR2016-0006/TRE2016-0003)

- c. Resolution Of The Planning Commission Of The City Of Rocklin Approving A Conditional Use Permit For A Freeway-Oriented Sign That Exceeds The Maximum Height Allowed By The City Of Rocklin Municipal Code (17.75.050) (Rocklin Station / U2016-0005)
- d. Resolution Of The Planning Commission Of The City Of Rocklin Approving A Tentative Parcel Map (Rocklin Station / DL2016-0003)

**9. GRACEPOINT ADVENTIST CHURCH SANCTUARY ADDITION TIME EXTENSION  
DESIGN REVIEW, DR2014-0015  
VARIANCE, V2014-0020**

This application is a request for approval of a one-year extension of time for a previously approved Design Review, DR2014-0015, and Variance, V2014-0020), which allows for the development of a 23,910 square foot sanctuary addition to the existing church building with enhanced entry, a new driveway, new signage and new site landscaping. The approved variance allows the height to exceed the thirty-foot (30') maximum, specified in the C-1 (Neighborhood Commercial) zoning district, by eight feet (8') for a total maximum height allowed of thirty-eight feet (38'). The subject property is 3500 Sunset Boulevard, is located on the southerly corner of the intersection of Springview Drive and Sunset Boulevard. APN 016-030-023. The property is zoned Neighborhood Commercial (C-1) and Planned Development Commercial (PD-C). The General Plan designation is Business Professional (BP) and Retail Commercial (RC).

The project was previously determined to be exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines through Planning Commission Resolution PC-2015-28.

The property owner is Northern California Conference Association of Seventh Day Adventist. The applicant is Steve Jones of Kelly Architects.

- a. Resolution Of The Planning Commission Of The City Of Rocklin Approving A Two-Year Time Extension For Design Review, Dr2014-0015, (Pc-2015-29) And Variance, V2014-0020 (Pc-2015-30) To Allow The Development Of A Sanctuary Addition To An Existing Church Building And To Exceed The 30-Foot Height Limit (Gracepoint Adventist Church Time Extension / Dr2014-0015 And V2014-0020)

**NON PUBLIC HEARINGS**

- 10. **Informational Items and Presentations**
- 11. **Reports and Discussion Items from Planning Commissioners**
- 12. **Reports from City Staff**
- 13. **Adjournment**



City of Rocklin Economic & Community Development Department

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**Planning Commission  
STAFF REPORT**

**Rocklin Station**

**Design Review, DR2016-0006  
Oak Tree Preservation Plan Permit, TRE2016-0003  
Conditional Use Permit, U2016-0005  
Tentative Parcel Map, DL2016-0003**

**August 10, 2017**

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**Recommendation**

Staff recommends the Planning Commission approve the following:

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN APPROVING A MITIGATED NEGATIVE DECLARATION OF ENVIRONMENTAL IMPACTS (ROCKLIN STATION / DR2016-0006/TRE2016-0003, U2016-0005, DL2016-0003)

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN APPROVING A DESIGN REVIEW AND AN OAK TREE PRESERVATION PLAN PERMIT (ROCKLIN STATION / DR2016-0006/TRE2016-0003)

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN APPROVING A CONDITIONAL USE PERMIT FOR A COMMERCIAL CENTER AND A 50 FOOT HIGH FREEWAY-ORIENTED SIGN (ROCKLIN STATION / U2016-0005)

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN APPROVING A TENTATIVE PARCEL MAP (ROCKLIN STATION / DL2016-0003)

**Proposal/Application Request**

This application is a request for approval of the following entitlements to allow the development of a retail commercial center on an approximately 6.6 net acre site:

- A Design Review for the site design, landscaping, architectural designs, colors and materials of a proposed commercial center.
- A Conditional Use Permit to approve a freeway-oriented sign that exceeds the maximum height of 30 feet allowed by the Rocklin Municipal Code.

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- A Tentative Parcel Map to re-subdivide four parcels of approximately 6.6 net acres into five commercial parcels.

The Rocklin Station project proposes the construction of a retail commercial center consisting of five buildings with various uses. The project is currently planned to include a 10,224 +/- square foot tire store, a 6,602 +/-square foot high turnover sit down restaurant which includes 2,568 +/- square feet of general retail space, three fast food restaurants with drive-throughs totaling 9,595 +/- square feet, and two fast food restaurants without drive-throughs totaling 3,600 +/- square feet.

**Project Applicant and Ownership**

The applicant and owner is Sam Thomas with Thomas Sierra, LLC.

**Location, Site Characteristics and Background**

The approximately 6.6 acre project site consists of four parcels located generally at the southwest corner of the intersection of Sierra College Boulevard, the Interstate-80 off-ramp /Crossings Drive, 4660 Sierra College Boulevard. The Assessor Parcel Numbers (APN) are 045-052-015, -019, -020, and -021, See **Figure 1**.

A single family residence was formerly located on the project site but it was demolished several years ago. The site generally slopes from north to south and supports oak trees, other native trees, and native and non-native grasses. In the southwest tip of the site there is an Elderberry shrub that is outside of the proposed development area and is designated to remain.

**Figure 1. Project Location**



**Surrounding Uses**

The project site is bound to the west and north by the Interstate 80 east bound off-ramp. East of the site, across Sierra College Boulevard, is the Rocklin Crossings retail commercial center. The Lifehouse Church is located to the south of the project site.

See **Table 1** for surrounding uses and see **Figure 2** for the current General Plan and Zoning.

**Table 1. Surrounding Uses**

	Current Use	Current General Plan / Zoning
Project Site	Vacant	Retail Commercial (RD) / Planned Development Commercial (PD-C)
North	Interstate 80 Off-Ramp	Caltrans Right-of-Way
South	Lifehouse Church	Retail Commercial (RD) / Planned Development Commercial (PD-C)
East	Sierra College Boulevard / Rocklin Crossings Commercial Center	Retail Commercial (RD) / Planned Development Commercial (PD-C)
West	Interstate 80 Off-Ramp	Caltrans Right-of-Way

**Figure 2. Current General Plan/Zoning**



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### **General Plan and Zoning Compliance**

The project site is designated Retail Commercial (RC) in the current General Plan. The site is zoned Planned Development Commercial (PD-C) in the Sierra College Area General Development Plan (Ordinance 857). The site is also within the Automotive Overlay Zone which allows an automobile shop (light) (such as a tire sales and installation/repair shop) by right when certain conditions are met (17.57.050.B). A conditional use permit is required for a freeway-oriented sign that exceeds the maximum height allowed in the Municipal Code (17.75.060). The proposed retail commercial center requires the approval of a Design Review entitlement for the project architecture, signage, site layout, and landscaping.

Staff has reviewed the proposed project and found that, subject to the approval of a design review and conditional use permit, it is consistent with both the zoning and General Plan.

### **Tentative Parcel Map**

The project proposes to subdivide the approximately 6.6 net acre site into five commercial parcels. The tentative parcel map would also establish access and public utility easements needed across and between the newly created parcels. A standard condition of approval would require reciprocal parking and access easements on all five parcels for the proposed development to function as a cohesive commercial center. A draft condition of approval would also require a reciprocal access easement be recorded in favor of the Lifehouse Church property to the south, to facilitate a future secondary access, at such time as the Church property is redeveloped.

### **Conditional Use Permit**

Municipal Code section 17.75.060.D. requires that Freeway-Oriented Signs obtain a conditional use permit and generally conform to a height limit of thirty feet. A taller sign may be allowed by conditional use permit provided that the applicant is able to demonstrate that the visibility of a thirty foot tall sign would be significantly blocked by a freeway overcrossing, ramps, trees or similar. The applicant worked with staff to utilize the Procedure for Determining Allowed Height set forth in the Municipal Code to verify that the requested fifty foot sign height would allow the sign to be visible over the nearby Sierra College Boulevard freeway overcrossing and associated on- and off-ramps. Subject to the approval of the requested Conditional Use Permit to allow a freeway-oriented sign at a height of fifty feet, the proposed freeway sign would be consistent with the Municipal Code.

### **Design Review**

The project is comprised of five buildings with two stand-alone drive-through fast food restaurants (Chick Fil A and Del Taco); a Shops building that includes a third drive-through fast food restaurant (Habit Burger), and space for another restaurant and/or retail space; a tire store (Les Schwab); and a sit-down restaurant with retail space (Cracker Barrel).

### **Access and Off-site Improvements**

Access is provided from a main entry off of Sierra College Boulevard west through the center of the parking areas. This entrance is proposed to be signalized and the project is required to modify the

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intersection of the project entry with Sierra College Boulevard and Schriber Way. The draft conditions also include the requirement for this signal to be synchronized with several nearby signals on Sierra College Boulevard, including the Caltrans signal at the Interstate 80 off ramp at Crossings Drive just to the north and to provide monitoring, reporting, and signal timing adjustments for approximately one year after the identified tenants have opened to optimize traffic flow. The project is also obligated to improve Sierra College Boulevard by widening an auxiliary/right turn lane across the Lifehouse Church property south to the existing Dominguez Road extension. As the City does not currently have all of the right of way needed to accommodate this off-site improvement, the applicant will be conditioned to enter into an agreement to pay the project's fair-share costs in lieu of constructing the improvements.

Eventually, a secondary access to the Dominguez Road extension would be provided for the center by construction of a future access, currently proposed to start near the Cracker Barrel building, across the existing Lifehouse Church property. The project is also conditioned to construct or contribute fair-share in-lieu fees for the future construction of this access. The project is also conditioned to record a reciprocal access easement in favor of the Lifehouse Church property upon the future redevelopment of that property.

#### Site Layout and Parking

The buildings are positioned to maximize visibility from Interstate 80 and Sierra College Boulevard with a majority of the parking areas located within the interior of the site. The drive-through lanes and locations provide adequate vehicle stacking. The project is required to provide 248 parking spaces and 274 parking spaces are proposed, which affords a surplus of 26 parking spaces for the center.

#### Pedestrian Amenities and Public Art Installation

The center provides several site amenities geared towards pedestrians. Four of the proposed restaurants include outdoor dining areas. Speed tables, a traffic calming device, are proposed in the drive aisle at either end of the Shops building to slow down traffic near the two pedestrian walkways linking the north and south sides of the site. One pedestrian path connects the Shops building to Chick Fil A and Del Taco and the other crosses the main driveway further west and continues north through the center of the parking lot to Del Taco and Les Schwab under a trellis with vines. Adjacent to the main entry, a separated sidewalk meanders from Sierra College Boulevard through an art plaza that also provides seating and a gathering space before continuing on to the Shops building. An interpretive granite quarry cart public art installation, approved by the Parks, Recreation and Arts Commission, will be located in the art plaza .

#### Landscaping and Fencing

The proposed on-site landscaping as shown in the landscape plan is consistent with the City's Design Review Criteria employing a mix of various species of trees, shrubs, and groundcovers. The project is conditioned to provide verification that the proposed landscaping will comply with the parking lot shade requirement to achieve 50% shading at maturity (15 years). A draft condition is also included to ensure that the protected Elderberry shrub is shown on the final landscape plans provided with the building permit(s) and adequately provides for an exclusion area around the

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shrub. A chain link fence is proposed on top of the retaining wall along the southern property line; use of chain link fencing is not consistent with the Design Review Criteria, therefore, a condition of approval has been included to require a tubular steel fence in lieu of the proposed chain link.

#### Building Architecture

Through the entitlement review process, Staff worked with the applicant to revise and refine the various buildings' architecture with a goal of retaining the individuality of each corporate tenant, while providing some continuity between the buildings. In addition to using a consistent paint and material color palette, the cornice and tower elements have been revised to be more uniform in design and proportion amongst all the buildings to provide an element that ties all the architecture together. Also, consistent exterior building light fixtures are being used on three of the four restaurants and the Les Schwab building. Cracker Barrel is architecturally dissimilar from the rest of the center since it is a well-known and unique destination restaurant with a distinct Southern country theme. Nevertheless, Cracker Barrel also worked with Staff to add faux windows with spandrel glass on the east and west elevations that provide relief and interest to what would have been nearly blank walls that did not comply with the Design Guidelines.

#### Signage

Signage for the center is conditioned to comply with the Sign Ordinance and the Design Review Criteria for signs. Several signs presented in the sign package in Exhibit B will or may need to be modified to comply with Code and Design Review Criteria. The Sign Ordinance does not allow logos on directional signs and directional signs are limited to a maximum of three square feet (Habit Burger and Del Taco). Allowable sign area is based on the linear frontage of a building elevation which may affect the size of the proposed Chick Fil A building sign. The Sign Ordinance also limits menu boards to forty square feet and eight feet tall. These are relatively minor adjustments that would be addressed when tenants come forward to obtain sign permits.

Staff has determined that the architecture, colors and materials, landscaping and site design of the proposed center, as modified by the recommended conditions of approval, are consistent with the Citywide Design Review Criteria.

#### Oak Tree Preservation Plan Permit

Within its boundaries, the project site includes a total of 385 native oak trees. Of these, 176 are not subject to mitigation as they are less than 6 inches in diameter at breast height or are dead, dying, or diseased. The remaining 209 oak trees are subject to mitigation as set forth in the Mitigated Negative Declaration prepared for the project.

#### Environmental Determination

Consistent with the requirements of CEQA, an Initial Study was prepared to determine the Rocklin Station project's potential impacts on the environment. The study found that the project could have significant impacts with regard to Biological and Cultural Resources; however, it was also able to identify mitigation measures that would reduce each of these potential impacts to a less than significant level. Therefore, a Mitigated Negative Declaration (MND) of environmental impacts was prepared for the project.

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**Recommendation**

Staff recommends that the Planning Commission approve the Rocklin Station project as proposed and conditioned.

*Prepared by Dara Dungworth, Senior Planner*

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## RESOLUTION NO. PC-2017-

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY  
OF ROCKLIN APPROVING A MITIGATED NEGATIVE  
DECLARATION OF ENVIRONMENTAL IMPACTS  
Rocklin Station  
(DR2016-0006, DL2016-0003, U2016-0005 and TRE2016-0003)

WHEREAS, the City of Rocklin's Environmental Coordinator prepared an Initial Study on the Rocklin Station project (DR2016-0006, DL2016-0003, U2016-0005 and TRE2016-0003) (the "Project") which identified potentially significant effects of the Project; and

WHEREAS, revisions to and/or conditions placed on the Project, were made or agreed to by the applicant before the mitigated negative declaration was released for public review, were determined by the environmental coordinator to avoid or reduce the potentially significant effects to a level that is clearly less than significant and that there was, therefore, no substantial evidence that the Project, as revised and conditioned, would have a significant effect on the environment; and

WHEREAS, the Initial Study and mitigated negative declaration of environmental impacts were then prepared, properly noticed, and circulated for public review.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Rocklin as follows:

Section 1. Based on the Initial Study, the revisions and conditions incorporated into the Project, the required mitigation measures, and information received during the public review process, the Planning Commission of the City of Rocklin finds that there is no substantial evidence that the Project, as revised and conditioned, may have a significant effect on the environment.

Section 2. The mitigated negative declaration reflects the independent judgment of the Planning Commission.

Section 3. All feasible mitigation measures identified in the City of Rocklin General Plan Environmental Impact Reports which are applicable to this Project have been adopted and undertaken by the City of Rocklin and all other public agencies with authority to mitigate the project impacts or will be undertaken as required by this project.

Section 4. The statements of overriding considerations adopted by the City Council when approving the City of Rocklin General Plan Update are hereby readopted for the purposes of this mitigated negative declaration and the significant identified impacts of this project related to aesthetics, air quality, traffic circulation, noise, cultural and paleontological resources, biological resources, and climate change and greenhouse gases.

Section 5. A mitigated negative declaration of environmental impacts and Mitigation Monitoring Program prepared in connection with the Project, attached hereto as Attachment 1 and incorporated by this reference, are recommended for approval for the Project.

Section 6. The Project Initial Study is attached as Attachment 1 and is incorporated by reference. All other documents, studies, and other materials that constitute the record of proceedings upon which the Planning Commission has based its decision are located in the office of the Rocklin Economic and Community Development Director, 3970 Rocklin Road, Rocklin, California 95677. The custodian of these documents and other materials is the Rocklin Economic and Community Development Director.

Section 7. Upon approval of the Project by the Planning Commission, the environmental coordinator shall file a Notice of Determination with the County Clerk of Placer County and, if the project requires a discretionary approval from any state agency, with the State Office of Planning and Research, pursuant to the provisions of section 21152(a) of the Public Resources Code and the State EIR Guidelines adopted pursuant thereto.

PASSED AND ADOPTED this \_\_\_ day of \_\_\_\_\_, 2017, by the following vote:

AYES: Commissioners:

NOES: Commissioners:

ABSENT: Commissioners:

ABSTAIN: Commissioners:

\_\_\_\_\_  
Chairperson

ATTEST:

\_\_\_\_\_  
Secretary



ECONOMIC AND COMMUNITY DEVELOPMENT DEPARTMENT  
CITY OF ROCKLIN  
3970 Rocklin Road  
Rocklin, California 95677  
(916) 625-5160

**ATTACHMENT 1**

**INITIAL STUDY AND ENVIRONMENTAL CHECKLIST**

**Rocklin Station**

**DR2016-0006, DL2016-0003, U2016-0005 and TRE2016-0003**

**Southwest corner of Sierra College Boulevard and Interstate 80  
in the City of Rocklin  
APN's 045-052-015, -019, -020, -021**

**July 6, 2017**

**PREPARED BY:**

**David Mohlenbrok, Environmental Services Manager, (916) 625-5162**

**CONTACT INFORMATION:**

This Initial Study has been prepared by the City of Rocklin, as Lead Agency, under the California Environmental Quality Act (CEQA). Any questions regarding this document should be addressed to David Mohlenbrok at the City of Rocklin Economic and Community Development Department, Planning Division, 3970 Rocklin Road, Rocklin, California 95677 (916) 625-5160.

**APPLICANT/OWNER:**

The applicant is Thomas Sierra, LLC and the property owner is Thomas Sierra, LLC.

Initial Study Page 2 Reso. No.	Rocklin Station DR2016-0006, DL2016-0003, U2016-0005 and TRE2016-0003
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## SECTION 1. INTRODUCTION

### A. Purpose of an Initial Study

The California Environmental Quality Act (CEQA) was enacted in 1970 for the purpose of providing decision-makers and the public with information regarding environmental effects of proposed projects; identifying means of avoiding environmental damage; and disclosing to the public the reasons behind a project’s approval even if it leads to environmental damage. The City of Rocklin has determined the proposed project is subject to CEQA and no exemptions apply. Therefore, preparation of an initial study is required.

An initial study is a preliminary analysis conducted by the lead agency, in consultation with other agencies (responsible or trustee agencies, as applicable), to determine whether there is substantial evidence that a project may have a significant effect on the environment. If the initial study concludes that the project, with mitigation, may have a significant effect on the environment, an environmental impact report should be prepared; otherwise the lead agency may adopt a negative declaration or mitigated negative declaration.

This Initial Study (IS) has been prepared in accordance with CEQA (Public Resources Code §21000 et seq.), the State CEQA Guidelines (Title 14, California Code of Regulations, §15000 et seq.), and the City of Rocklin CEQA Guidelines (1981, amended July 31, 2002).

This Initial Study has been prepared to identify and assess the anticipated environmental impacts of the Rocklin Station project. The document relies on a combination of a previous environmental document and site-specific studies to address in detail the effects or impacts associated with the proposed project. In particular, this Initial Study assesses the extent to which the impacts of the proposed project have already been addressed in the certified Final Environmental Impact Report for the Rocklin General Plan, as adopted by the Rocklin City Council on October 9, 2012 (the “General Plan EIR”).

### B. Document Format

This Initial Study is organized into five sections as follows:

Section 1, Introduction: provides an overview of the project and the CEQA environmental documentation process.

Section 2, Summary Information and Determination: Required summary information, listing of environmental factors potentially affected, and lead agency determination.

Section 3, Project Description: provides a description of the project location, project background, and project components.

Initial Study Page 3 Reso. No.	<i>Rocklin Station</i> <i>DR2016-0006, DL2016-0003, U2016-0005 and TRE2016-0003</i>
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Section 4, Evaluation of Environmental Impacts: provides a detailed discussion of the environmental factors that would be potentially affected by this project as indicated by the screening from the CEQA Guidelines Appendix G checklist.

Section 5, References: provides a list of reference materials used during the preparation of this Initial Study. The reference materials are available for review during normal business hours at the City of Rocklin Planning Department, 3970 Rocklin Road, Rocklin, CA, and can also be found on the City’s website under Planning Department, Current Environmental Documents.

C. CEQA Process

To begin the CEQA process, the lead agency identifies a proposed project. The lead agency then prepares an initial study to identify the preliminary environmental impacts of the proposed project. This document has been prepared in accordance with the provisions of the California Environmental Quality Act (CEQA) to analyze the possible environmental impacts of the project so that the public and the City of Rocklin decision-making bodies (Planning Commission, and/or City Council) can take these impacts into account when considering action on the required entitlements.

During the project approval process, persons and/or agencies may address either the Environmental Services staff or the City Council regarding the project. Public notification of agenda items for the City Council is posted 72 hours prior to the public meeting. The Council agenda can be obtained by contacting the Office of the City Clerk at City Hall, 3970 Rocklin Road, Rocklin, CA 95667 or via the internet at <http://www.rocklin.ca.us>.

Within five days of project approval, the City will file a Notice of Determination with the County Clerk. The Notice of Determination will be posted by the County Clerk within 24 hours of receipt. This begins a 30-day statute of limitations on legal challenges to the approval under CEQA. The ability to challenge the approval in court may be limited to those persons who objected to the approval of the project, and to issues that were presented to the lead agency by any person, either orally or in writing, during the public comment period.

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## SECTION 2. INITIAL STUDY SUMMARY AND DETERMINATION

### A. Summary Information

**Project Title:**

Rocklin Station

**Lead Agency Name and Address:**

City of Rocklin, 3970 Rocklin Road, Rocklin, CA 95677

**Contact Person and Phone Number:**

David Mohlenbrok, Environmental Services Manager, 916-625-5162

**Project Location:**

The project site is generally located on the southwest corner of Sierra College Boulevard and Interstate 80, in the City of Rocklin. The Assessor’s Parcel Numbers are 045-052-015, -019, -020, and -021.

**Project Sponsor’s Name:**

The applicant is Thomas Sierra, LLC and the property owner is Thomas Sierra, LLC.

**Current General Plan Designation:** Retail Commercial (RC)

**Proposed General Plan Designation:** Retail Commercial (RC)

**Current Zoning:** Planned Development-Commercial (PD-C)

**Proposed Zoning:** Planned Development-Commercial (PD-C)

**Description of the Project:**

The Rocklin Station project proposes the construction of a retail commercial center on an approximately 6.64 +/- acre site in the City of Rocklin. This project will require Design Review, Tentative Parcel Map, Conditional Use Permit and Oak Tree Preservation Permit entitlements. For more detail please refer to the Project Description set forth in Section 3 of this Initial Study.

**Surrounding Land Uses and Setting:**

The proposed project site is vacant and is bound by I-80 to the north and west, Sierra College Boulevard to the east, and Lifehouse Church to the south. To the east of Sierra College Boulevard is the Rocklin Crossings commercial center. To the west of I-80 is the Rocklin Commons commercial center. To the south of the Lifehouse Church are a few single family residences, vacant land designated as Retail Commercial and Recreation/Conservation, and Sierra Community College.

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**Other Actions Which May Be Required For Project Implementation (e.g., Permits, Financing Approval, or Participation Agreement):**

- Rocklin Engineering Division approval of Improvement Plans
- Rocklin Building Inspections Division issuance of Building Permits
- Placer County Water Agency construction of water facilities
- South Placer Municipal Utility District construction of sewer facilities
- U.S. Army Corps of Engineers, Section 404 wetlands permit
- Regional Water Quality Control Board, Section 401 water quality certification
- California Department of Fish and Wildlife, Streambed Alteration Agreement

**B. Environmental Factors Potentially Affected:**

Those factors checked below involve impacts that are “Potentially Significant”:

<input type="checkbox"/>	Aesthetics	<input type="checkbox"/>	Agriculture Resources	<input type="checkbox"/>	Air Quality
<input type="checkbox"/>	Biological Resources	<input type="checkbox"/>	Cultural Resources	<input type="checkbox"/>	Geology/Soils
<input type="checkbox"/>	Greenhouse Gas Emissions	<input type="checkbox"/>	Hazards & Hazardous Materials	<input type="checkbox"/>	Hydrology/Water Quality
<input type="checkbox"/>	Land Use/Planning	<input type="checkbox"/>	Mineral Resources	<input type="checkbox"/>	Noise
<input type="checkbox"/>	Population/Housing	<input type="checkbox"/>	Public Services	<input type="checkbox"/>	Recreation
<input type="checkbox"/>	Transportation/Traffic	<input type="checkbox"/>	Tribal Cultural Resources	<input type="checkbox"/>	Utilities/Service Systems
<input type="checkbox"/>	Mandatory Findings of Sig.	<input checked="" type="checkbox"/>	None After Mitigation		

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C. Determination:

On the basis of this Initial Study:

- I find that the proposed project WILL NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- I find that as originally submitted, the proposed project could have a significant effect on the environment; however, revisions in the project have been made by or agreed to by the project proponent which will avoid these effects or mitigate these effects to a point where clearly no significant effect will occur. A MITIGATED NEGATIVE DECLARATION will be prepared.
- I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- I find that the proposed project MAY have a “potentially significant impact” or “potentially significant unless mitigated” impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on the attached Environmental Checklist. An ENVIRONMENTAL IMPACT REPORT is required, to analyze the effects that remain to be addressed.
- I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or (MITIGATED) NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or (MITIGATED) NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

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Marc Mondell  
 Director of Economic and Community Development

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Date

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### SECTION 3. PROJECT DESCRIPTION

#### A. Project Location

The project site is generally located on the southwest corner of Sierra College Boulevard and I-80 in the City of Rocklin. The Assessor’s Parcel Numbers are 045-052-015, -019, -020, and -021 (Please see Attachment A, Vicinity Map).

The City of Rocklin is located approximately 25 miles northeast of Sacramento, and is within the County of Placer. Surrounding jurisdictions include: unincorporated Placer County to the north and northeast, the City of Lincoln to the northwest, the Town of Loomis to the east and southeast, and the City of Roseville to the south and southwest.

#### B. Description

The Rocklin Station project proposes the construction of a retail commercial center consisting of five buildings on a 6.64 +/- acre site in the City of Rocklin. The project is currently planned to include a 10,224 +/- square foot tire store, a 6,602 +/--square foot high turnover sit down restaurant which includes 2,568 +/- square feet of general retail space, three fast food restaurants with drive-throughs totaling 9,595 +/- square feet, and two fast food restaurants without drive-throughs totaling 3,600 +/- square feet. This project will require the following entitlements from the City of Rocklin: a Design Review for the site design, landscaping, architectural designs, colors and materials; a Tentative Parcel Map to subdivide four existing parcels into five retail commercial parcels; a Conditional Use Permit for the project’s freeway sign to exceed 30 feet in height, and an Oak Tree Preservation Plan to address the preservation, removal and mitigation of oak trees on the project site.

Access to the project would be from Sierra College Boulevard and a proposed new signalized intersection at the project’s driveway on Sierra College opposite Schriber Way. In the future, the project will also have access to Dominguez Road through the adjacent Lifehouse Church property. The project site is vacant and it is anticipated that site development will involve clearing and grading of the site, trenching and digging for underground utilities and infrastructure, and ultimately the construction of new roadways, driveways, buildings, and landscaping.

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## SECTION 4. EVALUATION OF ENVIRONMENTAL IMPACTS

### A. Explanation of CEQA Streamlining and Tiering Utilized in this Initial Study

This Initial Study will evaluate this project in light of the previously approved General Plan EIR, which is hereby incorporated by reference. This document is available for review during normal business hours at the City of Rocklin Planning Department, 3970 Rocklin Road, Rocklin, CA, and can also be found on the City’s website under Planning Department, Publications and Maps.

CEQA Guidelines Section 15183 provides a means of streamlining analysis for qualifying projects. Under Section 15183, effects are not considered “peculiar to the project or the parcel” if they are addressed and mitigated by uniformly applied development policies and standards adopted by the City to substantially mitigate that effect (unless new information shows that the policy or standard will not mitigate the effect). Policies and standards have been adopted by the City to address and mitigate certain impacts of development that lend themselves to uniform mitigation measures. These policies and standards include those found in the Oak Tree Ordinance (Rocklin Municipal Code, Chapter 17.77), the Flood Ordinance (Rocklin Municipal Code, Chapter 15.16), the Grading and Erosion and Sedimentation Control Ordinance (Rocklin Municipal Code, Chapter 15.28), the Stormwater Runoff Pollution Control Ordinance (Rocklin Municipal Code, Chapter 8.30), and the Goals and Policies of the Rocklin General Plan. Where applicable, the Initial Study will state how these policies and standards apply to the project. Where the policies and standards will substantially mitigate the effects of the proposed project, the Initial Study concludes that these effects are “not peculiar to the project or the parcel” and thus need not be revisited in the text of the environmental document for the proposed project.

This Initial Study has also been prepared pursuant to CEQA Guidelines sections 15063 and 15168. Section 15063 sets forth the general rules for preparing Initial Studies. One of the identified functions of an Initial Study is for a lead agency to “[d]etermine, pursuant to a program EIR, tiering, or another appropriate process, which of a project’s effects were adequately examined by an earlier EIR or negative declaration... The lead agency shall then ascertain which effects, if any, should be analyzed in a later EIR or negative declaration.” (CEQA Guidelines, section 15063, subd. (b)(1)(C).) Here, the City has used this initial study to determine the extent to which the General Plan EIR has “adequately examined” the effects of the proposed project.

Section 15168 sets forth the legal requirements for preparing “program EIRs” and for reliance upon program EIRs in connection with “[s]ubsequent activities” within the approved program. (See *Citizens for Responsible Equitable Environmental Development v. City of San Diego Redevelopment Agency* (2005) 134 Cal.App.4<sup>th</sup> 598, 614-617.) The General Plan EIR was a program EIR with respect to its analysis of impacts associated with eventual buildout of future anticipated development identified by the General Plan. Subdivision (c) of section 15168 provides as follows:

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- (c) Use with Later Activities. Subsequent activities in the program must be examined in light of the program EIR to determine whether an additional environmental document must be prepared.
  - (1) If a later activity would have effects that were not examined in the program EIR, a new Initial Study would need to be prepared leading to either an EIR or a Negative Declaration.
  - (2) If the agency finds that pursuant to Section 15162, no new effects could occur or no new mitigation measures would be required, the agency can approve the activity as being within the scope of the project covered by the program EIR, and no new environmental document would be required.
  - (3) An agency shall incorporate feasible mitigation measures and alternatives developed in the program EIR into subsequent actions on the project.
  - (4) Where the subsequent activities involve site specific operations, the agency should use a written checklist or similar device to document the evaluation of the site and the activity to determine whether the environmental effects of the operation were covered in the program EIR.

Consistent with these principles, this Initial Study serves the function of a “written checklist or similar device” documenting the extent to which the environmental effects of the proposed project “were covered in the program EIR” for the General Plan. As stated below, the City has concluded that the impacts of the proposed project are “within the scope” of the analysis in the General Plan EIR. Stated another way, these “environmental effects of the [site-specific project] were covered in the program EIR.” Where particular impacts were not thoroughly analyzed in prior documents, site-specific studies were prepared for the project with respect to impacts that were not “adequately examined” in the General Plan EIR, or were not “within the scope” of the prior analysis. These studies are hereby incorporated by reference and are available for review during normal business hours at the Rocklin Economic and Community Development Department, 3970 Rocklin Road, Rocklin, CA 95677 and can also be found on the City’s website under Planning Department, Current Environmental Documents. The specific studies are listed in Section 5, References.

The Initial Study is a public document to be used by the City decision-makers to determine whether a project may have a significant effect on the environment. If the City as lead agency, finds substantial evidence that any effects of the project were not “adequately examined” in the General Plan EIR or were not “within the scope” of the analysis in that document AND that these effects may have a significant effect on the environment if not mitigated, the City would be required to prepare an EIR with respect to such potentially significant effects. On the other hand, if the City finds that these unaddressed project impacts are not significant, a negative

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declaration would be appropriate. If in the course of analysis, the City identified potentially significant impacts that could be reduced to less than significant levels through mitigation measures to which the applicant agrees, the impact would be considered to be reduced to a less than significant level, and adoption of a mitigated negative declaration would be appropriate.

**B. Significant Cumulative Impacts; Statement of Overriding Considerations**

The Rocklin City Council has previously identified the following cumulative significant impacts as unavoidable consequences of urbanization contemplated in the Rocklin General Plan, despite the implementation of all available and feasible mitigation measures, and on that basis has adopted a statement of overriding considerations for each cumulative impact:

1. Air Quality:

Development in the City and the Sacramento Valley Air Basin as a whole will result in the following: violations of air quality standards as a result of short-term emissions from construction projects, increases in criteria air pollutants from operational air pollutants and exposure to toxic air contaminants, the generation of odors and a cumulative contribution to regional air quality impacts.

2. Aesthetics/Light and Glare:

Development in the City and the South Placer region as a whole will result in substantial degradation of the existing visual character, the creation of new sources of substantial light and glare and cumulative impacts to scenic vistas, scenic resources, existing visual character and creation of light and glare.

3. Traffic and Circulation:

Development in the City and the South Placer region as a whole will result in impacts to segments and intersections of the state/interstate highway system.

4. Noise

Development in the City and the South Placer region as a whole will result in impacts associated with exposure to surface transportation and stationary noise sources, and cumulative transportation noise impacts within the Planning area.

5. Cultural and Paleontological Resources

Development in the City and the South Placer region as a whole will result in cumulative impacts to historic character.

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6. Biological Resources

Development in the City and the South Placer region as a whole will result in the loss of native oak and heritage trees, the loss of oak woodland habitat, and cumulative impacts to biological resources.

7. Climate Change and Greenhouse Gases

Development in the City and the South Placer region as a whole will result in the generation of greenhouse gas emissions.

C. Mitigation Measures Required and Considered

It is the policy and a requirement of the City of Rocklin that all public agencies with authority to mitigate significant effects shall undertake or require the undertaking of all feasible mitigation measures specified in the prior environmental impact reports relevant to a significant effect which the project will have on the environment. Project review is limited to effects upon the environment which are peculiar to the parcel or to the project which were not addressed as significant effects in the General Plan EIR or which substantial new information shows will be more significant than described in the General Plan EIR. This Initial Study anticipates that feasible mitigation measures previously identified in the General Plan has been, or will be, implemented as set forth in that document, and evaluates this Project accordingly.

D. Evaluation of Environmental Checklist:

- 1) A brief explanation is provided for all answers except “No Impact” answers that are adequately supported by the information sources cited in the parentheses following each question. A “No Impact” answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A “No Impact” answer is explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
- 2) All answers take account of the whole action involved, including off-site as well as on-site elements, cumulative as well as project-level impacts, indirect as well as direct impacts, and construction as well as operational impacts.
- 3) If a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. “Potentially Significant Impact” is appropriate if there is substantial evidence that an effect may be significant.

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- 4) Answers of “Less than Significant with Mitigation Incorporated” describe the mitigation measures agreed to by the applicant and briefly explain how they reduce the effect to a less than significant level. Mitigation measures and supporting explanation from earlier EIRs or Negative Declaration may be cross-referenced and incorporated by reference.
  
- 5) Earlier analyses may be used where an effect has been adequately analyzed in an earlier EIR or negative declaration, and the City intends to use tiering. All prior EIRs and Negative Declarations and certifying resolutions are available for review at the Rocklin Economic and Community Development Department. In this case, a brief discussion will identify the following:
  - a) Which effects are within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and whether such effects are addressed by mitigation measures based on the earlier analysis; and
  
  - b) For effects that are “Less than Significant with Mitigation Measures Incorporated,” the mitigation measures which are incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.

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E. Environmental Checklist

I. <u>AESTHETICS</u> <b>Would the project:</b>	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
a) Have a substantial adverse effect on a scenic vista?				<b>X</b>	
b) Substantially degrade the existing visual character or quality of the site and its surroundings?			<b>X</b>		
c) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway.				<b>X</b>	
d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?			<b>X</b>		

**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

The development of a retail commercial center on a 6.64 +/- acre site will change the existing visual nature or character of the project site and area. The development of the project site would create new sources of light and glare typical of urban development. As discussed below, impacts to scenic vistas or viewsheds would not be anticipated.

**Prior Environmental Analysis:**

As a “program EIR” under CEQA Guidelines section 15168, the General Plan EIR analyzed the anticipated impacts that would occur to the visual character of the Planning Area as a result of the future urban development that was contemplated by the General Plan. When previously undeveloped land becomes developed, aesthetic impacts include changes to scenic character and new sources of light and glare (City of Rocklin General Plan Update Draft EIR, 2011, pages 4.3-1 through 4.3-18). Mitigation measures to address these impacts are incorporated into the General Plan in the Land Use and the Open Space, Conservation, and Recreation Elements, and

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include policies that encourage the use of design standards for unique areas and the protection of natural resources, including open space areas, natural resource areas, hilltops, waterways and oak trees, from the encroachment of incompatible land use.

The General Plan EIR concluded that, despite the goals and policies addressing visual character, views, and light and glare, significant aesthetic impacts will occur as a result of development under the General Plan and further, that these impacts cannot be reduced to a less than significant level. Specifically, the General Plan EIR found that buildout of the Rocklin General Plan will change and degrade the existing visual character, will create new sources of light and glare and will contribute to cumulative impacts to scenic vistas, scenic resources, existing visual character and creation of light and glare. Findings of fact and a statement of overriding consideration were adopted by the Rocklin City Council in regard to these cumulative impacts, which were found to be significant and unavoidable.

**Mitigation Measures from Uniformly Applied Development Policies and Standards:**

All applicable mitigation measures from the General Plan EIR, including the mitigation measures for aesthetic/visual impacts incorporated as goals and policies in the General Plan, will be applied to the project. These serve as uniformly applied development policies and standards and/or as conditions of approval for this project to ensure consistency with the General Plan and compliance with City rules and regulations.

**Significance Conclusions:**

**a. Scenic Vista - No Impact.** While vacant or mostly vacant areas have a natural aesthetic quality, there are no designated scenic vistas within the City of Rocklin or Planning Area. Alteration of mostly vacant and undeveloped areas of the project site through the construction of a retail commercial center would change the visual quality of the project site and surrounding area. However, since there are no designated scenic vistas, no impact would occur in this regard.

**b. Visual Quality – Less than Significant.** The construction of a retail commercial center is consistent with the type of development contemplated and analyzed for this area of Rocklin within the Rocklin General Plan EIR. The General Plan EIR analysis included the development of this site with retail commercial development. The building structures that are anticipated are of consistent height and scale with the zoning and land use designations of the site and with surrounding existing retail commercial development and anticipated future development, and there are no unusual characteristics of the project which would introduce incompatible elements or create aesthetic impacts not considered in the prior EIR. Existing buildings in the area include one-story and multi-story retail commercial buildings. These buildings and the anticipated future development of buildings within the nearby and adjacent retail commercial land use designations are collectively all of similar size and scale to the proposed project. All development in the Rocklin Planning Area is subject to existing City development standards set

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forth in the City’s Zoning Ordinance which helps to ensure that development form, character, height, and massing are consistent with the City’s vision for the character of the community.

The change in the aesthetics of the visual nature or character of the site and the surroundings is consistent with existing surrounding development and future nearby development that is anticipated by the City’s General Plan. As noted above, the General Plan EIR concluded that development under the General Plan will result in significant unavoidable aesthetic impacts and a Statement of Overriding Consideration was adopted by the Rocklin City Council in regard to these cumulative impacts. The project does not result in a change to the finding because the site would be developed with typical urban uses that are consistent and compatible with surrounding existing and anticipated future development and the proposed project is consistent with the Retail Commercial land use designation that was assumed in the General Plan EIR analysis.

**c. Scenic Highway and Scenic Resources – No Impact.** The proposed project is not located adjacent to or within the proximity of a state listed scenic highway (Interstate 80 is located nearby but is not a state listed scenic highway). Therefore, the proposed project would not substantially damage scenic resources, including, but not limited to trees, rock outcroppings, and historic buildings within a state scenic highway.

**d. Light and Glare – Less than Significant.** There are no specific features within the proposed project that would create unusual light and glare. New and/or increased sources of light and glare would be introduced to the project area however implementation of City Design Review guidelines and the General Plan policies addressing light and glare would also ensure that no unusual daytime glare or nighttime lighting is produced. The General Plan EIR acknowledged that impacts associated with increased light and glare would not be eliminated entirely, and the overall level of light and glare in the Planning Area would increase in general as urban development occurs and that increase cannot be fully mitigated. As noted above, the General Plan EIR concluded that development under the General Plan will result in significant unavoidable aesthetic impacts and a Statement of Overriding Consideration was adopted by the Rocklin City Council in regard to these cumulative impacts. The project does not result in a change to the finding because the site would be developed with typical urban uses that are consistent and compatible with surrounding existing and anticipated future development and the proposed project is consistent with the Retail Commercial land use designation that was assumed in the General Plan EIR analysis.

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II.

AGRICULTURAL RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state’s inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. Would the project:

	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?				X	
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?				X	
c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220 (g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104 (g))?				X	
d) Result in the loss of forest land or conversion of forest land to non-forest use?				X	
e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use?				X	

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**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

There are no agricultural or forestry impacts for the project or project site due to a lack of these resources on the project site, as further discussed below.

**Significance Conclusions:**

**a., b., and c. Farmland, Williamson Act, Cumulative Loss of Farmland - *No Impact.*** The Farmland Mapping and Monitoring Program (FMMP) land classifications system monitors and documents land use changes that specifically affect California’s agricultural land and is administered by the California Department of Conservation (CDC). The FMMP land classification system is cited by the State CEQA Guidelines as the preferred information source for determining the agricultural significance of a property (CEQA Guidelines, Appendix G). The CDC, Division of Land Resource Protection, Placer County Important Farmland Map of 2014 designates the project site as grazing land. This category is not considered Important Farmland under the definition in CEQA of “Agricultural Land” that is afforded consideration as to its potential significance (See CEQA Section 21060.1[a]), nor is it considered prime farmland, unique farmland, or farmland of statewide importance; therefore the proposed project would not convert farmland to a non-agricultural use. Also, the project site contains no parcels that are under a Williamson Act contract. Because the project would not convert important farmland to non-agricultural uses, would not conflict with existing agricultural or forestry use zoning or Williamson Act contracts, or involve other changes that could result in the conversion of important farmlands to non-agricultural uses, there would be no agricultural use impacts.

**d. and e. Conversion of Forest Land – *No Impact.*** The project site contains no parcels that are considered forestry lands or timberland. Because the project would not conflict with existing forestry use zoning or involve other changes that could result in the conversion of forest lands to non-forest uses, and there would be no impact on forestry resources.

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<p>III. <u>AIR QUALITY</u>  <b>Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determination. Would the project:</b></p>	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
a) Conflict with or obstruct implementation of applicable air quality plan?			<b>X</b>		
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?			<b>X</b>		
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?			<b>X</b>		
d) Expose sensitive receptors to substantial pollutant concentrations?			<b>X</b>		
e) Create objectionable odors affecting a substantial number of people?			<b>X</b>		

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**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

In the short-term, air quality impacts from the proposed project will result from construction related activities associated with grading and excavation to prepare the site for the installation of utilities and above ground structures and improvements.

In the long term, air quality impacts from the proposed project will result from vehicle trip generation to and from the project site and the resultant mobile source emissions of air pollutants (primarily carbon monoxide and ozone precursor emissions).

As discussed below, a retail commercial development of this type would not be expected to create objectionable odors.

**Prior Environmental Analysis:**

As a “program EIR” under CEQA Guidelines section 15168, the General Plan EIR analyzed the anticipated impacts that would occur to regional air quality as a result of the future urban development that was contemplated by the General Plan. These impacts included 8-hour ozone attainment, short-term construction emissions, operational air pollutants, increases in criteria pollutants, odors, and regional air quality impacts. (City of Rocklin General Plan Update Draft EIR, 2011, pages 4.2-1 through 4.2-43). Mitigation measures to address these impacts are incorporated into the General Plan in the Land Use, the Open Space, Conservation, and Recreation, and the Circulation Elements, and include policies that encourage a mixture of land uses, provisions for non-automotive modes of transportation, consultation with the Placer County Air Pollution Control District (PCAPCD), and the incorporation of stationary and mobile source control measures.

The General Plan EIR concluded that, despite these goals and policies, significant air quality impacts will occur as a result of development under the General Plan and further, that these impacts cannot be reduced to a less than significant level. Specifically, the General Plan EIR found that buildout of the Rocklin General Plan and other development within the Sacramento Valley Air Basin (SVAB) as a whole will result in the following: violations of air quality standards as a result of short-term emissions from construction projects, increases in criteria air pollutants from operational air pollutants and exposure to toxic air contaminants, the generation of odors and a cumulative contribution to regional air quality impacts. Findings of fact and a statement of overriding consideration were adopted by the Rocklin City Council in regard to these impacts, which were found to be significant and unavoidable. The project does not result in a change to this finding because the site is being developed with a Retail Commercial land use that is consistent with the land use that was anticipated by and analyzed within the General Plan EIR.

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**Mitigation Measures from Uniformly Applied Development Policies and Standards:**

All applicable mitigation measures from the General Plan EIR, including the mitigation measures for air quality impacts incorporated as goals and policies in the General Plan, will be applied to the future development. These serve as uniformly applied development policies and standards and/or as conditions of approval for this project to ensure consistency with the General Plan and compliance with City rules and regulations.

**Significance Conclusions:**

**a., b. and c. Conflict with or obstruct implementation of the applicable air quality plan, Violate any air quality standard or contribute substantially to an existing or projected air quality violation, and result in a cumulatively considerable net increase of any criteria pollutant for which the project region is nonattainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors) – *Less Than Significant Impact.*** The proposed project area is located within the Sacramento Valley Air Basin (SVAB) and is under the jurisdiction of the Placer County Air Pollution Control District (PCAPCD). The SVAB is designated nonattainment for the federal particulate matter 2.5 microns in diameter (PM<sub>2.5</sub>) and the State particulate matter 10 microns in diameter (PM<sub>10</sub>) standards, as well as for both the federal and State ozone standards. The federal Clean Air Act requires areas designated as federal nonattainment to prepare an air quality control plan referred to as the State Implementation Plan (SIP). The SIP contains the strategies and control measures for states to use to attain the national ambient air quality standards (NAAQS). The SIP is periodically modified to reflect the latest emissions inventories, planning documents, rules, and regulations of air basins as reported by the agencies with jurisdiction over them. In compliance with regulations, the PCAPCD periodically prepares and updates air quality plans that provide emission reduction strategies to achieve attainment of the NAAQS, including control strategies to reduce air pollutant emissions via regulations, incentive programs, public education, and partnerships with other agencies.

The current applicable air quality plan for the proposed project area is the *Sacramento Regional 8-Hour Ozone Attainment and Reasonable Further Progress Plan* (Ozone Attainment Plan), adopted September 26, 2013. The U.S. Environmental Protection Agency (USEPA) determined the Plan to be adequate and made such findings effective August 25, 2014. On January 9, 2015, the USEPA approved the 2013 Ozone Attainment Plan.

The 2013 Ozone Attainment Plan demonstrates how existing and new control strategies would provide the necessary future emission reductions to meet the CAA requirements, including the NAAQS. It should be noted that in addition to strengthening the 8-hour ozone NAAQS, the USEPA also strengthened the secondary 8-hour ozone NAAQS, making the secondary standard identical to the primary standard. The SVAB remains classified as a severe nonattainment area with an attainment deadline of 2027. On October 26, 2015 the USEPA released a final implementation rule for the revised NAAQS for ozone to address the requirements for

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reasonable further progress, modeling and attainment demonstrations, and reasonably available control measures (RACM) and reasonably available control technology (RACT). With the publication of the new NAAQS ozone rules, areas in nonattainment must update their ozone attainment plans and submit new plans by 2020/2021.

A conflict with, or obstruction of, implementation of the 2013 Plan could occur if a project generates greater emissions than what has been projected for the site in the emission inventories of the 2013 Plan. Emission inventories are developed based on projected increases in population, employment, regional vehicle miles traveled (VMT), and associated area sources within the region, which are based on regional projections that are, in turn, based on the City’s General Plan and zoning designations for the region. The proposed project is consistent with the Rocklin General Plan and zoning designations, and given that the 2013 Plan accounts for planned land uses consistent with adopted plans, this project will not conflict with or obstruct implementation of the 2013 Plan.

Construction activities, including grading, generate a variety of air pollutants; the most significant of which would be dust (PM<sub>10</sub>). To address short-term construction impacts, the City of Rocklin requires project applicants to incorporate into their project description a listing of mitigation measures recommended by the Placer County Air Pollution Control District by signing the City’s “Mitigation for Air Quality Impacts” form. These mitigation measures include the preparation of a dust control plan prior to the commencement of grading for approval by the City Engineer and the Placer County Air Pollution Control District. The dust control plan shall specify measures to reduce dust pollution during all phases of construction. The City’s “Mitigation for Air Quality Impacts” form and the associated short-term air quality mitigation measures are hereby incorporated by reference into this document. The specific measures noted on the City’s “Mitigation for Air Quality Impacts” form are as follows:

1. The project shall conform with the requirements of the Placer County APCD.
2. Prior to commencement of grading, the applicant shall submit a dust control plan for approval by the City Engineer and the Placer County Air Pollution Control District. The plans shall specify measures to reduce dust pollution during all phases of construction.
3. Traffic speeds on all unpaved road surfaces shall be posted at 25 m.p.h. or less.
4. All grading operations shall be suspended when wind speeds exceed 25 m.p.h.
5. All trucks leaving the site shall be washed off to eliminate dust and debris.
6. All construction equipment shall be maintained in clean condition.
7. All exposed surfaces shall be revegetated as quickly as feasible.
8. If fill dirt is brought to the construction site or exported from the site, tarps or soil stabilizers shall be placed on the dirt piles to minimize dust problems.
9. Apply water or dust palliatives on all exposed earth surfaces as necessary to control dust. Construction contracts shall include dust control treatment as frequently as necessary to minimize dust.
10. Construction equipment shall be properly maintained and tuned.
11. Utilize low emission mobile construction equipment where possible.

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12. Open burning will be allowed only with the approval of the Placer County APCD.

The requirement for the proposed project to incorporate into the project description a listing of mitigation measures has been met with this application. In addition, the project is required to comply with all PCAPCD rules and regulations for construction, including Rule 202 related to visible emissions, Rule 218 related to architectural coatings, Rule 228 related to fugitive dust, and Regulation 3 related to open burning.

Compliance with the PCAPCD rules and regulations would help to ensure that the project’s emissions would not substantially contribute to the PCAPCD’s non-attainment status for ozone or PM. Therefore, construction activities associated with development of the proposed project would not substantially contribute to the PCAPCD’s non-attainment status for ozone or PM. Because construction of the proposed project would comply with the rules and regulations for construction, development of the proposed project would not violate any air quality standard or contribute substantially to an existing or projected air quality violation and a less than significant short-term construction air quality impact would be anticipated.

The General Plan EIR identified a cumulative contribution to regional air quality impacts as a significant and unavoidable impact, and the City of Rocklin adopted Findings of Fact and a Statement of Overriding Considerations in recognition of this impact. The project does not result in a change to this finding because the site is being developed with Retail Commercial land uses that were included and analyzed as a part of the General Plan EIR.

**d. Sensitive Receptors – Less than Significant.** Land uses considered sensitive to air quality are generally those that include uses where exposure to pollutants could result in health-related risks to individuals. Sensitive receptors are people, or facilities that generally house people (e.g., schools, hospitals, residences) that may experience adverse effects from long-term exposure to unhealthy concentrations of air pollutants. The proposed project involves the development of retail commercial uses; thus, the project would not introduce sensitive receptors to the area. The nearest existing sensitive receptors to the project site are the church and single family residences located to the south of the project site. Emissions of CO would result from the incomplete combustion of carbon-containing fuels such as gasoline or wood and are particularly related to traffic levels. The project site is already planned for urban development; thus traffic on the surrounding roadways and intersections would not increase more than already anticipated for the area due to project implementation. Accordingly, CO levels at nearby intersections would not be expected to be higher than anticipated for the area. It should be noted that as older, more polluting vehicles are retired and replaced with newer, cleaner vehicles, the overall rate of emissions of CO for vehicle fleet throughout the State has been, and is expected to continue, decreasing. Therefore, emissions of CO would likely decrease from current levels over the lifetime of the project.

Per PCAPCD guidance, if a project will degrade an intersection in the project vicinity from an acceptable Level of Service (LOS) (e.g., LOS A, B, C, or D) to an unacceptable LOS (e.g., LOS E or

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F), or if the project will substantially worsen an already existing LOS F, then the project has the potential to cause a CO intersection hotspot. The Traffic Impact Analysis Report for Rocklin Station (Abrams Associates, June 27, 2017) examined Level of Service (LOS) for five study intersections affected by the project. The analysis showed that all five study intersections would not be degraded to an unacceptable LOS by the project; therefore the project would not generate localized concentrations of CO that would exceed standards.

In addition to the CO emissions discussed above, Toxic Air Contaminants (TACs) are also a category of environmental concern. The California Air Resources Board (CARB) *Air Quality and Land Use Handbook: A Community Health Perspective* (Handbook) provides recommendations for siting new sensitive land uses near sources typically associated with significant levels of TAC emissions, including, but not limited to, freeways and high traffic roads, distribution centers, and rail yards. CARB has identified diesel particulate matter (DPM) from diesel-fueled engines as a TAC. High volume freeways/roadways, stationary diesel engines, and facilities attracting heavy and constant diesel traffic were identified as having the highest associated health risks from DPM. Health risks from TACs are a function of both the concentration of emissions and the duration of exposure. Health-related risks associated with DPM in particular are primarily associated with long-term exposure and associated risk of contracting cancer.

Due to the retail commercial nature of the project, relatively few vehicle trips associated with the proposed project would be expected to be composed of heavy-duty diesel-fueled trucks and their associated emissions. The project does not involve long-term operation of any stationary diesel engine or other on-site stationary source of TACs. In addition, emissions of DPM resulting from construction equipment and vehicles are minimal and temporary, affecting a specific receptor for a period of weeks or perhaps months, and would be regulated through compliance with PCAPCD’s rules and regulations.

For freeways and roads with high traffic volumes, Table 4-1 of the CARB Handbook recommends “Avoid siting new sensitive land uses within 500 feet of a freeway, urban roads with 100,000 vehicles/day, or rural roads with 50,000 vehicles/day.” The proposed project does not consist of sensitive land uses therefore, the proposed project would not result in the exposure of sensitive receptors to substantial pollutant concentrations and the impact will be less than significant.

**e. Odors – Less Than Significant Impact.** Odors are generally regarded as an annoyance rather than a health hazard. Due to the subjective nature of odor impacts, the number of variables that can influence the potential for an odor impact, and the variety of odor sources, quantitative methodologies to determine the presence of a significant odor impact do not exist. Certain land uses such as wastewater treatment facilities, landfills, confined animal facilities, composting operations, food manufacturing plants, refineries, and chemical plants have the potential to generate considerable odors. The proposed project does not involve such land uses nor is it located near any such land uses. Although less common, emissions of DPM from heavy-duty diesel truck traffic could result in objectionable odors. While the proposed project would

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increase the total amount of vehicle trips in the area, the increase in area vehicle activity would not necessarily create an increase in heavy-duty diesel truck traffic, because the traffic increase would be a result of increased retail commercial land uses. Retail commercial land uses are not typically associated with heavy-duty diesel truck traffic, and thus the increase in daily trips attributable to retail commercial land uses would mainly involve single passenger vehicles that are not typically considered to be sources of objectionable odors.

In addition, PCAPCD Rule 205, Nuisance, addresses the exposure of “nuisance or annoyance” air contaminant discharges, including odors, and provides enforcement of odor control. Rule 205 is complaint-based, where if public complaints are sufficient to cause the odor source to be a public nuisance, then the PCAPCD is required to investigate the identified source as well as determine an acceptable solution for the source of the complaint, which could include operational modifications to correct the nuisance condition. Thus, although not anticipated, if odor or air quality complaints are made upon the future development under the proposed project, the PCAPCD would be required to ensure that such complaints are addressed and mitigated, as necessary.

Because the proposed project does not include the development of odor-generating land uses or development in proximity to odor-generating land uses, and because the increase in project area traffic would be largely through increased use of single passenger vehicles rather than heavy-duty diesel trucks, the proposed project would not be anticipated to create objectionable odors in the project area. Therefore, the proposed project would result in a less than significant impact related to objectionable odors.

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<b>IV.</b> <u><b>BIOLOGICAL RESOURCES</b></u> <b>Would the project:</b>	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?		<b>X</b>			
b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?				<b>X</b>	
c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?		<b>X</b>			
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?			<b>X</b>		
e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?		<b>X</b>			
f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?				<b>X</b>	

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**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

The proposed project will modify habitats through the removal of native and other plant material; the project site does contain oak trees, all of which will be removed with implementation of the project. Impacts to wetlands/waters of the U.S. are anticipated to occur due to their presence on the site, and impacts to special status animal and plant species are not anticipated to occur due to their lack of presence or potential presence on the project site.

**Prior Environmental Analysis**

As a “program EIR” under CEQA Guidelines section 15168, the General Plan EIR analyzed the anticipated impacts that would occur to the biological resources of the Planning Area as a result of the future urban development that was contemplated by the General Plan. These impacts included special-status species, species of concern, non-listed species, biological communities and migratory wildlife corridors (City of Rocklin General Plan Update Draft EIR, 2011, pages 4.10-1 through 4.10-47). Mitigation measures to address these impacts are incorporated into the General Plan in the Open Space, Conservation and Recreation Element, and include policies that encourage the protection and conservation of biological resources and require compliance with rules and regulations protecting biological resources, including the City of Rocklin Oak Tree Preservation Ordinance.

The General Plan EIR concluded that, despite these goals, policies and rules and regulations protecting biological resources, significant biological resources impacts will occur as a result of development under the General Plan and further, that these impacts cannot be reduced to a less than significant level. Specifically the General Plan EIR found that buildout of the Rocklin General Plan will impact sensitive biological communities, will result in the loss of native oak and heritage trees, will result in the loss of oak woodland habitat and will contribute to cumulative impacts to biological resources. Findings of fact and a statement of overriding considerations were adopted by the Rocklin City Council in regard to these impacts, which were found to be significant and unavoidable.

**Mitigation Measures from Uniformly Applied Development Policies and Standards:**

All applicable mitigation measures from the General Plan EIR, including the mitigation measures for biological resources impacts incorporated as goals and policies in the General Plan, will be applied to the project. These serve as uniformly applied development policies and standards and/or as conditions of approval for this project to ensure consistency with the General Plan and compliance with City rules and regulations.

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**Project-Level Environmental Analysis:**

The firm of LSA Associates, Inc., a Sacramento area consulting firm with recognized expertise in biological resources, prepared a biological assessment for the Rocklin Station project. Their report, dated June 2017 is available for review during normal business hours at the City of Rocklin Planning Department, 3970 Rocklin Road, Rocklin, CA, and is incorporated into this Mitigated Negative Declaration by this reference. City staff has reviewed the documentation and is also aware that LSA Associates, Inc. has a professional reputation that makes their conclusions presumptively credible and prepared in good faith. Based on its review of the analysis and these other considerations, City staff accepts the conclusions in the LSA Associates, Inc. report, which is summarized below.

The firm of Traverso Tree Service, a California consulting firm with recognized expertise in arboriculture, prepared an arborist report for the Rocklin Station project. Their reports, dated June 1, 2016 and June 23, 2017 are available for review during normal business hours at the City of Rocklin Planning Department, 3970 Rocklin Road, Rocklin, CA, and are incorporated into this Mitigated Negative Declaration by this reference. City staff has reviewed the documentation and is also aware that Traverso Tree Service has a professional reputation that makes their conclusions presumptively credible and prepared in good faith. Based on its review of the analysis and these other considerations, City staff accepts the conclusions in the Traverso Tree Service reports, which are summarized below.

**Project Site Description**

Vegetation on the 6.64 +/- acre project site is predominantly composed of mixed oak woodland and annual grassland. Topography on the property is generally flat and gradually slopes north to south through the property. Elevations range from 320 to 240 feet above mean sea level. Water entering the property at the north boundary is collected in a culvert that flows out to the southeast boundary and ultimately discharges the water into Secret Ravine, a perennial tributary to Dry Creek. A gravel driveway runs east-west to the remains of an old residence located in the central portion of the property. Surrounding land uses include a church to the south, retail uses to the east, and the I-80 freeway along the northern and western property boundaries. Lands in the vicinity of the property are predominantly developed.

**Biological Assessment Overview**

As part of the assessment of the project site’s biological resources, queries of the California Natural Diversity Database (CNDDDB), United States Fish and Wildlife (USFWS) species lists and California Native Plant Society (CNPS) Inventory and other literature reviews were conducted to provide updated information on special-status plant and wildlife species within the project region, referencing the Auburn, Gold Hill, Lincoln, Pilot Hill, Rocklin and Roseville 7.5-minute quadrangles. Biological site visits were made on September 3, 2015 and June 1, 2017 to determine: 1) plant communities present in the study area; 2) if existing conditions provided

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suitable habitat for any special-status plant or wildlife species, and 3) if sensitive habitats are present. Existing biological resources of the project site are summarized below, focusing on the potential for occurrence of special-status species and other sensitive resources.

A. Biological Communities

The vegetation communities found on the site are annual grassland, occupying approximately 3.57 acres, and mixed oak woodland, occupying approximately 3.07 acres. Aquatic resources on the property include two areas where seasonal wetlands occur.

B. Special-Status Plant and Animal Species

Special-status plant and animal species are those that have been afforded special recognition by federal, State, or local resources or organizations. Listed and special-status species are of relatively limited distribution and may require specialized habitat conditions.

Plants

No special-status plant species were observed during the field surveys. As a result, special status plant species are considered absent from the project site. The project site is not located within critical habitat for any special status plants.

Wildlife

Species that require specific habitat not present in the vicinity of the property were eliminated as potentially occurring and are not discussed further. Seven special status species that were determined likely to occur on the property, or otherwise warrant further discussion, are noted below:

- 1) Townsend’s big-eared bat – The oaks on the property do not have the right type/size of leaf to provide roosting habitat and it’s unlikely that the trees provide suitable cavity nest sites. Bat use of the site is likely limited to foraging. No bats or sign (e.g., guano, urine staining) were observed during the 2015 site survey; however focused surveys were not conducted. Due to the presence of potential foraging habitat and a known occurrence within 10 miles of the property, there is a low potential for Townsend’s big-eared bat to occur on the property.
- 2) Grasshopper sparrow – Suitable foraging and nesting habitat is present within the property; however, there is no known occurrence within 10 miles of the property, and the annual grasslands have been heavily grazed. Grasshopper sparrow is considered absent from the property.

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- 3) Western burrowing owl – No suitable nesting areas (burrows 4 inches in diameter or greater) occur on the property and the open area within the grassland habitat is too small to support burrowing owls, however, this species is known to be locally migratory and potential habitat is present on the property. No burrowing owl or associated sign (e.g., whitewash, pellets) were observed on the property during the field survey. Burrowing owl is considered absent from the property.
  
- 4) Swainson’s hawk – Although Swainson’s hawk is known to inhabit mixed oak woodlands, the canopy of the property is too dense to support foraging or nesting. The CNDDDB contains one record for Swainson’s hawk within 10 miles of the property; however, no Swainson’s hawk or associated sign was observed during the field survey. Swainson’s hawk is considered absent from the property.
  
- 5) White-tailed kite – Although the white-tailed kite is known to nest in mature valley oak trees, the canopy cover within the oak woodland is too dense and the open area within the grassland is too small to provide suitable foraging and nesting habitat for this species. There are no CNDDDB records for white-tailed kites within 10 miles of the property and this species was not observed during the 2015 survey. White-tailed kite is considered absent from the property.
  
- 6) Western spadefoot – The property is located within the known range for western spadefoot. This species typically occurs in grasslands and vernal pools complexes located on the valley floor and lower slopes of the foothills. There are four CNDDDB records for western spadefoot within 10 miles of the property, the closest of which is approximately 6.5 miles southwest in an unnamed tributary to Pleasant Grove Creek. However, the seasonal wetlands on the property are not depressional and therefore not suitable for spadefoot. Western spadefoot is considered absent from the property.
  
- 7) Valley Elderberry Longhorn Beetle (VELB) – An elderberry shrub was observed in the southwest corner of the property during the field survey. The observed shrub contained four stems ranging from 1-3 inches in diameter; three stems ranging from 3-5 inches in diameter, and one stem greater than 5 inches in diameter. All stems were measured at ground level. Exit holes were observed on the shrub. During a subsequent survey in June 2017 it was observed that the condition of the shrub had deteriorated substantially such that only the bottom 3-4 feet of the largest stem was still alive. VELB is considered potentially present on the property, but the portion of the site where the elderberry bush is located is not proposed to be developed.

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C. Hydrology and Jurisdictional Waters of the U.S.

The site includes 0.023 acres of potential seasonal wetlands and other waters of the U.S., in the north shoulder of the gravel driveway and in the eastern section of the property. The seasonal wetlands are in poor quality, consisting of disturbed seasonal wetlands associated with roadside runoff from Sierra College Boulevard and the I-80 eastbound off-ramp.

**Significance Conclusions:**

**a. Effect on Protected Species – *Less Than Significant With Mitigation.*** Wildlife using this areas will be displaced to adjacent habitat (to the south), ultimately leading to locally reduced wildlife populations. The loss of habitat in this region will contribute to the regional cumulative loss of wildlife habitat, including habitat for special status species.

Development could result in direct impacts to Townsend’s big-eared bat foraging habitat; however due to the small area of impact relative to the amount of foraging habitat in the region, the loss of Townsend’s big-eared bat foraging habitat on the property is not substantial.

The site is located in a partly developed, suburban environment. As such, it provides habitat to rodents, small mammals, birds and bats, typical of a suburban area. Tree-nesting raptor species forage and nest in a variety of habitats throughout Placer County and the mature trees on and adjacent to the project site do provide suitable nesting habitat.

To address the potential impacts to nesting raptors and migratory birds, the following mitigation measure, agreed to by the applicant, is being applied to the project:

*IV.-1 The applicant/developer shall attempt to time the removal of potential nesting habitat for raptors and migratory birds to avoid the nesting season (February - August).*

*If tree and vegetation removal and/or project grading or activities occur during the nesting season for raptors and migratory birds (February-August), the developer and/or contractor shall hire a qualified biologist approved by the City to conduct pre-construction surveys no more than 14 days prior to initiation of tree and vegetation removal activities. The survey shall cover all areas of suitable nesting habitat within 500 feet of project activity and shall be valid for one construction season. Prior to the start of tree and vegetation removal activities, documentation of the survey shall be provided to the City of Rocklin Public Services Department and if the survey results are negative, no further mitigation is required and necessary structure removal may proceed. If there is a break in demolition activity of more than 14 days, then subsequent surveys shall be conducted.*

*If the survey results are positive (active nests are found), impacts shall be avoided by the establishment of appropriate buffers. The biologist shall consult with the California Department of Fish and Wildlife (CDFW) and the City to determine the size of an appropriate buffer area*

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*(CDFW guidelines recommend implementation of 500-foot buffers). Monitoring of the nest by a qualified biologist may be required if the activity has the potential to adversely affect an active nest.*

*If construction activities are scheduled to occur during the non-breeding season (September-January), a survey is not required and no further studies are necessary.*

The applicant is agreeable to the above mitigation measure; implementation of the above measure will reduce impacts to nesting raptors and migratory birds to a less than significant level.

The project site contains an elderberry shrub which could provide habitat for VELB; however the portion of the site where the shrub is located is outside of the footprint of the project. To ensure protection of the elderberry shrub and VELB habitat during construction activities, the following mitigation measure, agreed to by the applicant, is being applied to the project:

*IV-2. The applicant/developer shall implement the following avoidance measures during construction activities.*

- 1. The area around the elderberry shrub to be avoided during construction activities will be fenced and/or flagged as close to construction limits as feasible.*
- 2. Where feasible, ground disturbing activities will not encroach within 20 feet from the dripline of an elderberry shrub.*
- 3. A qualified biologist will provide training for all contractors, work crews, and any onsite personnel on the status of the VELB, its host plant and habitat, the need to avoid damaging the elderberry shrub, and the possible penalties for noncompliance.*
- 4. A qualified biologist will monitor the work area at project appropriate intervals to assure that all avoidance and minimization measures are implemented.*
- 5. As feasible, all activities that could occur within 165 feet of an elderberry shrub will be conducted outside of the flight season of the VELB (March - July).*
- 6. Trimming, if required (unlikely due to the declining health of the elderberry shrub) will occur between November and February and will avoid the removal of any branches or stems that are ≥ 1 inch in diameter. Measures to address regular and/or large scale maintenance (trimming), if necessary, should be established in consultation with the USFWS.*
- 7. Herbicides will not be used within the drip-line of the elderberry shrub. Insecticides will not be used within 30 meters (98 feet) of an elderberry shrub. All chemicals will be applied using a backpack sprayer or similar direct application method.*
- 8. Mechanical weed removal within the drip-line of the shrub will be limited to the season when adults are not active (August - February) and will avoid damaging the elderberry shrub.*

The applicant is agreeable to the above mitigation measure; implementation of the above measure will reduce impacts to VELB habitat to a less than significant level.

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**b. Riparian Habitat and Sensitive Natural Communities – No Impact.** The project site is a generally flat, open field with scattered trees and 0.023 acres of disturbed seasonal wetlands. There is no riparian habitat associated with a stream, river or lake and no sensitive natural communities were identified on the project site; therefore no impact to riparian habitat or sensitive natural communities is anticipated.

**c. Wetlands – Less than Significant With Mitigation.** The project site contains 0.023 acres of disturbed seasonal wetlands which are subject to the U.S. Army Corps of Engineers jurisdiction. These wetlands are in poor quality and are associated primarily with roadside runoff from Sierra College Boulevard and the I-80 eastbound off-ramp. Correspondence with the U.S. Army Corps of Engineers regarding impacts to these wetlands indicated that due to the poor quality of the wetlands, no mitigation will be required as part of the Section 404 permitting process, however, the 404 permitting process will still need to be completed. To address the potential impacts to waters of the U.S. and riparian habitat, the following mitigation measure, agreed to by the applicant, is being applied to the project:

*IV.-3 Prior to any grading or construction activities, the appropriate Section 404 permit will need to be acquired for any project-related impacts to waters of the U.S. Any waters of the U.S. that would be lost or disturbed should be replaced or rehabilitated on a “no-net-loss” basis in accordance with the Corps’ mitigation guidelines. Habitat restoration, rehabilitation, and/or replacement should be at a location and by methods agreeable to the Corps. In association with the Section 404 permit and prior to the issuance of improvement plans, a Section 401 water quality certification from the Regional Water Quality Control Board and a USFWS Biological Opinion (if determined necessary) shall be obtained. All terms and conditions of said permits shall be complied with.*

*For potential impacts to riparian habitat, the project may be required to obtain a Section 1600 Streambed Alteration Agreement (SAA) from the California Department of Fish and Wildlife. If it is determined that a SAA is required, the applicant shall obtain one and all terms and conditions of the SAA shall be complied with.*

*Prior to any grading or construction activities, the applicant shall submit documentation to the Public Services Department that they have obtained an Army Corps of Engineers Section 404 permit, a Regional Water Quality Control Board Section 401 water quality certification, and if applicable, a United States Fish and Wildlife Service Biological Opinion and a California Department of Fish and Wildlife Section 1600 Streambed Alteration Agreement. The applicant shall also demonstrate to the Public Services Department that they have implemented habitat restoration, rehabilitation, and/or replacement as stipulated in their Section 404 permit. The applicant shall also demonstrate to the Public Services Department how they have, or intend to, comply with the terms and conditions of the Section 404 permit, the Section 401 water quality certification, and if applicable, the Biological Opinion and Section 1600 Streambed Alteration Agreement.*

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The applicant is agreeable to the above mitigation measure; implementation of the above measure will reduce impacts to waters of the U.S. and riparian habitat to a less than significant level.

**d. Fish and Wildlife Movement – *Less than Significant.*** The majority of the surrounding area is developed in an urban fashion, including Interstate 80 to the west and north and Sierra College Boulevard and retail commercial uses to the east of the project. Due to the proximity of local roadways to the site (Interstate 80 and Sierra College Boulevard), the amount of surrounding development and the lack of established wildlife corridors and perennial water courses on the project site, the proposed project is not anticipated to interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors or wildlife nursery sites.

**e. Local Policies/Ordinances – *Less than Significant with Mitigation.*** The City of Rocklin regulates the removal of and construction within the dripline of native oak trees with a trunk diameter of 6 inches or more at 4.5 feet above ground level under the Oak Tree Preservation Ordinance and the Oak Tree Preservation Guidelines. Seven oak species and five hybrids between these species are defined as “native oaks” by the City. Per the City’s oak tree ordinance, the diameter at breast height (DBH) of a multiple trunk tree is the measurement of the largest trunk only, and heritage trees are defined as native oak trees with a trunk diameter of 24 inches or more.

The City of Rocklin commissioned the firm of Phytosphere Research to evaluate, characterize, and make recommendations on the City’s urban forest, and from that effort, a 2006 report titled “Planning for the Future of Rocklin’s Urban Forest” was produced. One of the findings of this report was that the City’s overall tree canopy cover has increased from 11% in 1952 to 18% in 2003 (a 63% increase) due to the protection of existing oaks and growth of both new and existing trees. This finding supports the City’s on-going practice of requiring mitigation for oak tree removal through its Oak Tree Preservation Ordinance as being an effective way to maintain or even increase urban forest canopy.

The project site includes a total of 385 native oak trees within the boundaries of the project site, comprised of 371 Live Oaks, 9 Blue Oaks and 5 Valley Oaks. Of those 385 total native oak trees, 160 are not protected under the City’s Ordinance in that they are too small (i.e., trunk diameter is less than 6 inches DBH), resulting in a total of 225 protected oak trees on the project site. Of those 225 protected oak trees, 16 have been deemed by the project arborist to be in poor health/structure. All of the native oak trees are proposed for removal as a part of the development of the Rocklin Station project.

To compensate for the removal of the oak trees on the project site, the following mitigation measure, agreed to by the applicant, is being applied to the project:

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IV.-4 Prior to the issuance of improvement plans or grading permits, the applicant shall:

a) Clearly indicate on the construction documents that oak trees not scheduled for removal will be protected from construction activities in compliance with the pertinent sections of the City of Rocklin Oak Tree Preservation Ordinance.

b) To mitigate for the removal of oak trees on the project site, the project arborist shall provide the following information:

- The total number of surveyed oak trees;
- The total number of oak trees to be removed;
- The total number of oak trees to be removed because they are sick or dying, and
- The total, in inches, of the trunk diameters at breast height (TDBH) of all surveyed oak trees on the site in each of these categories.

c) The applicant shall pay a fee to be deposited into the City of Rocklin Tree Preservation Fund. Payments shall be calculated using the following formula:

Step 1: Trunk Diameter at Breast Height (TDBH) of all Surveyed Trees on the Site X 20% = Discount Diameter;

Step 2: TDBH of all Surveyed Trees on the Site to be Removed – Discount Diameter = Total Number of Inches of TDBH of Replacement Trees Required, and

Step 3: The applicant shall pay a fee of \$48 per inch of TDBH of Replacement Trees Required. Such payments shall be made prior to the issuance of improvement plans or grading permits, with review and approval by the Economic and Community Development Director.

The applicant is agreeable to the above mitigation measure; implementation of the above measure will reduce impacts related to oak tree removal to a less than significant level.

There are no facts or circumstances presented by the proposed project which create conflicts with other local policies or ordinances protecting biological resources.

**f. Habitat Conservation Plan/Natural Communities Conservation Plan – No Impact** The project would not conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state Habitat Conservation Plan because the site is not subject to any such plan; therefore there is no impact related to a conflict with a habitat conservation plan or natural communities conservation plan.

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<b>V.</b> <u>CULTURAL RESOURCES</u> <b>Would the project:</b>	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
a) Cause a substantial adverse change in the significance of a historical resource as defined in §15064.5?				<b>X</b>	
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5?		<b>X</b>			
c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?		<b>X</b>			
d) Disturb any human remains, including those interred outside of dedicated cemeteries?		<b>X</b>			

**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

The proposed project could affect known or unknown/undiscovered historical, archaeological, and/or paleontological resources or sites as development occurs.

**Prior Environmental Analysis:**

As a “program EIR” under CEQA Guidelines section 15168, the General Plan EIR analyzed the anticipated impacts that would occur to historical, cultural and paleontological resources within the Planning area as a result of the future urban development that was contemplated by the General Plan. These impacts included potential destruction or damage to any historical, cultural, and paleontological resources (City of Rocklin General Plan Update Draft EIR, 2011, pages 4.8-1 through 4.8-21). Mitigation measures to address these impacts are incorporated into the General Plan in the Land Use and Open Space, Recreation and Conservation Elements, and include goals and policies that encourage the preservation and protection of historical, cultural and paleontological resources and the proper treatment and handling of such resources when they are discovered.

The General Plan EIR concluded that despite these goals and policies, significant cultural resources impacts will occur as a result of development under the General Plan and further, that these impacts cannot be reduced to a less than significant level. Specifically, the General Plan EIR found that buildout of the Rocklin General Plan will contribute to cumulative impacts to historic character. Findings of fact and a statement of overriding considerations were

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adopted by the Rocklin City Council in regard to these impacts, which were found to be significant and unavoidable.

**Mitigation Measures from Uniformly Applied Development Policies and Standards:**

Historically significant structures and sites as well as the potential for the discovery of unknown archaeological or paleontological resources as a result of development activities are discussed in the Rocklin General Plan. Policies and mitigation measures have been included in the General Plan to encourage the preservation of historically significant known and unknown areas.

All applicable mitigation measures from the General Plan EIR, including the mitigation measures for cultural resources impacts incorporated as goals and policies in the General Plan, will be applied to the project. These serve as uniformly applied development policies and standards and/or as conditions of approval for this project to ensure consistency with the General Plan and compliance with City rules and regulations.

**Project-Level Environmental Analysis:**

The firm of LSA Associates, Inc., a Sacramento area consulting firm with recognized expertise in cultural resources, prepared a cultural resource report for the Rocklin Station project. The report, dated December 2015, is available for review during normal business hours at the City of Rocklin Planning Department, 3970 Rocklin Road, Rocklin, CA, and is incorporated into this Mitigated Negative Declaration by this reference. City staff has reviewed the documentation and is also aware that LSA Associates, Inc. has a professional reputation that makes their conclusions presumptively credible and prepared in good faith. Based on its review of the analysis and these other considerations, City staff accepts the conclusions in the LSA Associates, Inc. report, which is summarized below.

The LSA Associates, Inc. report included records searches of the North Central Information Center, archival research, literature and map review, intensive field parcel surveys performed by qualified archaeologists, and queries sent to the Native American Heritage Commission and Native American contacts.

From these efforts two cultural resources were identified: 1) a historic-period archaeological site that includes a gravel driveway, concrete foundations, a well or cistern, a fence line and landscaping. This resource severely lacks integrity, as its setting, feeling and association have all been compromised. It does not appear eligible for listing in the National Register of Historic Places (NRHP) or the California Register of Historic Resources (CRHR) under any criteria and does not appear to be a historical resource or a unique archaeological resource for purposes of CEQA; 2) a single shed and associated gravel driveway. This resource severely lacks integrity, as its setting, feeling and association have all been compromised. It does not appear eligible for listing in the National Register of Historic Places (NRHP) or the California Register of Historic Resources (CRHR) under any criteria and does not appear to be a historical resource or a unique

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archaeological resource for purposes of CEQA. However; the project site may contain unknown cultural resources that could potentially be discovered during construction activities.

**Significance Conclusions:**

**a. Historic Resources – No Impact.** CEQA Statutes Section 21084.1 identifies historic resources as those listed in or eligible for listing in the California Register of Historic Resources, based on a range of criteria, including association with events or patterns of events that have made significant contributions to broad patterns of historical development in the United States or California, including local, regional, or specific cultural patterns (California Register Criterion 1), structures which are directly associated with important persons in the history of the state or country (Criterion 2), which embody the distinctive characteristics of type, period, or other aesthetic importance (Criterion 3), or which have the potential to reveal important information about the prehistory or history of the state or the nation (such as archaeological sites) (Criterion 4).

In addition to meeting at least one of the above criteria, the structure must typically be over 50 years old (a state guideline rather than a statutory requirement) and have retained historic integrity sufficient to be clearly evident as a historic resource through a combination of location, design, setting, materials, workmanship, feeling and association with historic patterns. The definition of “integrity” in this context is based on criteria established by the National Register of Historic Places.

The project site does not contain any historic resources as defined in §15064.5 (the project archaeologist concluded that there are no identified cultural resources on the project site that are considered eligible for the National or State Register of Historic Places/Resources); therefore no impacts to historic resources are anticipated.

**b. and c. Archaeological Resources and Paleontological Resources – Less Than Significant With Mitigation.** As noted above, the project site does not contain identified cultural resources but may contain unknown/undiscovered cultural resources.

To address the potential of impacts to known cultural resources and the potential discovery of unknown cultural resources, the following mitigation measure, agreed to by the applicant is being applied to the project:

*V.-1 If an inadvertent discovery of cultural materials (e.g., unusual amounts of shell, charcoal, animal bone, bottle glass, ceramics, burned soil, structure/building remains) is made during project-related construction activities, ground disturbances in the area of the find shall be halted and a qualified professional archaeologist, the Environmental Services Manager and the Native American Heritage Commission shall be notified regarding the discovery. The archaeologist shall determine whether the resource is potentially significant as per CEQA (i.e., whether it is a historical resource, a unique archaeological resource, or a unique paleontological resource) and*

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*shall develop specific measures to ensure preservation of the resource or to mitigate impacts to the resource if it cannot feasibly be preserved in light of costs, logistics, technological considerations, the location of the find, and the extent to which avoidance and/or preservation of the find is consistent or inconsistent with the design and objectives of the project. Specific measures for significant or potentially significant resources would include, but are not necessarily limited to, preservation in place, in-field documentation, archival research, subsurface testing, and excavation. The specific type of measure necessary would be determined according to evidence indicating degrees of resource integrity, spatial and temporal extent, and cultural associations, and would be developed in a manner consistent with CEQA guidelines for preserving or otherwise mitigating impacts to archaeological and cultural artifacts.*

*In the event of the accidental discovery or recognition of any human remains, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains, until compliance with the provisions of Sections 15064.5 (e)(1) and (2) of the CEQA Guidelines, as well as Public Resources Code Section 5097.98, has occurred. If any human remains are discovered, all work shall stop in the immediate vicinity of the find and the County Coroner shall be notified, according to Section 7050.5 of the California Health and Safety Code. The City’s Environmental Services Manager shall also be notified. If the remains are Native American, the Coroner will notify the Native American Heritage Commission, which in turn will inform a most likely descendant. The descendant will then recommend to the landowner appropriate disposition of the remains and any grave goods, and the landowner shall comply with the requirements of AB2641 (2006).*

The applicant is agreeable to the above mitigation measure; implementation of the above measure will reduce impacts to known and unknown/ undiscovered cultural resources to a less than significant level.

**d. Human Remains – Less Than Significant With Mitigation.** No evidence of human remains is known to exist at the project site. However, in the event that during construction activities, human remains of Native American origin are discovered on the site during project demolition, it would be necessary to comply with state laws relating to the disposition of Native American burials, which fall under the jurisdiction of the Native American Heritage Commission (NAHC) (Public Resources Code Section 5097). In addition, State law (CEQA Guidelines Section 15064.5 and the Health and Safety Code Section 7050.5) requires that the Mitigation Measure V.-1 be implemented should human remains be discovered; implementation of Mitigation Measure V.-1 will reduce impacts regarding the discovery of human remains to a less than significant level.

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<b>VI.</b> <u><b>GEOLOGY AND SOILS</b></u> <b>Would the project:</b>	<b>Potentially Significant Impact</b>	<b>Less Than Significant With Mitigation</b>	<b>Less Than Significant Impact</b>	<b>No Impact</b>	<b>Impact for which General Plan EIR is Sufficient</b>
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:  i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zone Map issued by the state Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.			<b>X</b>		
ii) Strong seismic ground shaking?			<b>X</b>		
iii) Seismic-related ground failure, including liquefaction?			<b>X</b>		
iv) Landslides?			<b>X</b>		
b) Result in substantial soil erosion or the loss of topsoil?			<b>X</b>		
c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on-or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?					<b>X</b>
d) Be located on expansive soil, as defined in Table I8-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?			<b>X</b>		
e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?				<b>X</b>	

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**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

Branches of the Foothill Fault system, which are not included on the Alquist-Priolo maps, pass through or near the City of Rocklin and could pose a seismic hazard to the area including ground shaking, seismic ground failure, and landslides. Construction of the proposed project will involve clearing and grading of the site, which could render the site susceptible to a temporary increase in erosion from the grading and construction activities.

**Prior Environmental Analysis:**

As a “program EIR” under CEQA Guidelines section 15168, the General Plan EIR analyzed the anticipated impacts of local soils and geology on development that would occur as a result of the future urban development that was contemplated by the General Plan. These impacts included seismic hazards such as groundshaking and liquefaction, erosion, soil stability, and wastewater conflicts (City of Rocklin General Plan Update Draft EIR, 2011 pages 4.6-1 through 4.6-27). The analysis found that while development and buildout of the General Plan can result in geological impacts, these impacts would be reduced to a less than significant level through the application of development standards contained in the City’s Improvement Standards and Standard Specifications and in the Rocklin Municipal Code, the application of General Plan goals and policies that would assist in minimizing or avoiding geologic hazards and compliance with local, state and federal standards related to geologic conditions.

These goals, policies and standards include, but are not limited to, erosion control measures in the City’s Improvement Standards and Standard Specifications, the City’s Grading and Erosion and Sediment Control Ordinance, the City’s Stormwater Runoff Pollution Control Ordinance, and goals and policies in the General Plan Community Safety Element requiring soils and geotechnical reports for all new development, enforcement of the building code, and limiting development of severe slopes.

**Mitigation Measures from Uniformly Applied Development Policies and Standards:**

All applicable mitigation measures from the General Plan EIR, including the mitigation measures for geology and soils impacts incorporated as goals and policies in the Rocklin General Plan will be applied to the project. These serve as uniformly applied development policies and standards and/or as conditions of approval for this project to ensure consistency with the General Plan and compliance with City ordinances, rules and regulations.

In addition, the project would be subject to the provisions of the City’s Grading and Erosion and Sediment Control Ordinance. Chapter 15.28 of the Rocklin Municipal Code, Grading and Erosion Sediment Control, regulates grading activity on all property within the City of Rocklin to safeguard life, limb, health, property, and public welfare; to avoid pollution of watercourses

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with nutrients, sediments, or other earthen materials generated or caused by surface runoff on or across the permit area; to comply with the City’s National Pollutant Discharge Elimination System permit issued by the California Regional Water Quality Control Board; and to ensure that the intended use of a graded site is consistent with the City of Rocklin General Plan, provisions of the California Building Standards Code as adopted by the City relating to grading activities, City of Rocklin improvement standards, and any applicable specific plans or other land use entitlements. This chapter (15.28) also establishes rules and regulations to control grading and erosion control activities, including fills and embankments; establishes the administrative procedure for issuance of permits; and provides for approval of plans and inspection of grading construction and erosion control plans for all graded sites.

Also, a geotechnical report, prepared by a qualified engineer, will be required with the submittal of project improvement plans. The report will provide site-specific recommendations for the construction of all features of the building foundations and structures to ensure that their design is compatible with the soils and geology of the project site.

**Significance Conclusions:**

**a., i. and ii. Fault Rupture, Ground Shaking – *Less than Significant Impact.*** The City of Rocklin is located in an area known to be subject to seismic hazards, but it is not near any designated Alquist-Priolo active earthquake faults. The Foothill Fault System has been identified in previous environmental studies as potentially posing a seismic hazard to the area; however, the Foothill Fault system is located near Folsom Lake, and not within the boundaries of the City of Rocklin. There are, however, two known and five inferred inactive faults within the City of Rocklin. Existing building code requirements are considered adequate to reduce potential seismic hazards related to the construction and operation of the proposed project to a less-than-significant level.

**a., iii. and iv. Liquefaction, Landslides – *Less than Significant Impact.*** The site does not contain significant grade differences and therefore, does not possess the slope/geological conditions that involve landslide hazards. The potential for liquefaction due to earthquakes and groundshaking is considered minimal due to the site specific characteristics that exist in Rocklin. Rocklin is located over a stable granite bedrock formation and much of the area is covered by volcanic mud (not unconsolidated soils which have liquefaction tendencies). Application of seismic safety, and construction and design standards contained in the City’s Improvement Standards and Standard Specifications and in the Rocklin Municipal Code would reduce risks associated with seismic hazards such as liquefaction. Compliance with these state and federal standards related to geologic conditions would reduce the potential impact from liquefaction to a less-than-significant level.

**b. Soil Erosion – *Less Than Significant Impact.*** Standard erosion control measures are required by Chapter 15.28 of the Municipal Code, including revegetation and slope standards. The project proponent will be required to prepare an erosion and sediment control plan through

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the application of the City’s Improvement Standards and Standard Specifications as a part of the City’s development review process. The erosion and sediment control plan are reviewed against the Placer County Stormwater Management Manual and the Regional Water Quality Control Board’s Erosion and Sediment Control Field Manual. The erosion and sediment control plan includes the implementation of Best Management Practices/Best Available Technology (BMPs/BATs) to control construction site runoff. The project will also be required to comply with the City’s Grading and Erosion and Sedimentation Control Ordinance (Rocklin Municipal Code, Chapter 15.28), and the Stormwater Runoff Pollution Control Ordinance (Rocklin Municipal Code, Chapter 8.30). The application of standard erosion control measures to the proposed project, as well as compliance with the above noted Ordinances, would reduce potential erosion-related impacts to a less than significant level for on-site grading.

**c. and d. Unstable and Expansive Soil – *Less Than Significant Impact.*** A geotechnical report, prepared by a qualified engineer, will be required with the submittal of the project improvement plans. The report will be required to provide site-specific recommendations for the construction of all features of the building foundations and structures to ensure that their design is compatible with the soils and geology of the project site. Through the preparation of such a report and implementation of its recommendations as required by City policy during the development review process, impacts associated with unstable soil or geologic conditions would be reduced to a less than significant level.

**e. Inadequate Soils for Disposal - *No Impact.*** Sewer service is available to the project site and the proposed project will be served by public sewer. Septic tanks or alternative wastewater disposal systems would not be necessary; therefore there are no impacts associated with the disposal of wastewater.

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<b>VII.</b> <u>GREENHOUSE GAS EMISSIONS</u> <b>Would the project:</b>	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?			<b>X</b>		
b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?			<b>X</b>		

**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

An individual project, even a very large project, does not in itself generate enough greenhouse gas emissions to measurably influence global climate change. Global climate change is therefore by definition a cumulative impact. A project contributes to this potential cumulative impact through its cumulative incremental contribution combined with the emissions of all other sources of greenhouse gases (GHG).

Area- and mobile-source emissions of greenhouse gases would be generated by the construction and operation of the proposed project. Neither the Placer County Air Pollution Control District nor the City of Rocklin has established significance thresholds for measuring the significance of a project’s incremental contribution to global climate change. However, individual projects can contribute to greenhouse gas emission reductions by incorporating features that reduce vehicle emissions and maximize energy-efficiency.

**Prior Environmental Analysis:**

As a “program EIR” under CEQA Guidelines section 15168, the General Plan EIR analyzed the anticipated impacts that would occur related to climate change and greenhouse gas emissions as a result of the future urban development that was contemplated by the General Plan. These impacts included consistency with greenhouse gas reduction measure, climate change environmental effects on the City and generation of greenhouse gas emissions (City of Rocklin General Plan Update Draft EIR, 2011, pages 4.15-1 through 4.15-25). Mitigation measures to address these impacts are incorporated into the General Plan in the Land Use and Circulation Elements, and include goals and policies that encourage the use of alternative modes of transportation and promote mixed use and infill development.

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The General Plan EIR concluded that despite these goals and policies, significant greenhouse gas emission impacts will occur as a result of development under the General Plan and further, that these impacts cannot be reduced to a less than significant level. Specifically, the General Plan EIR found that buildout of the Rocklin General Plan will result in the generation of greenhouse gas emissions which are cumulatively considerable. Findings of fact and a statement of overriding considerations were adopted by the Rocklin City Council in regard to this impact, which was found to be significant and unavoidable.

**Mitigation Measures from Uniformly Applied Development Policies and Standards:**

Generation of greenhouse gas emissions as a result of development activities are discussed in the Rocklin General Plan. Policies and mitigation measures have been included in the General Plan that encourage the use of alternative modes of transportation and promote mixed use and infill development.

All applicable mitigation measures from the General Plan EIR, including the mitigation measures for greenhouse gas emissions impacts incorporated as goals and policies in the General Plan, will be applied to the project. These serve as uniformly applied development policies and standards and/or as conditions of approval for this project to ensure consistency with the General Plan and compliance with City rules and regulations.

**Project Level Environmental Analysis:**

The firm of LSA Associates, Inc., a Sacramento area consulting firm with recognized expertise in air quality, prepared a Greenhouse Gas Analysis report for the proposed project. This analysis was prepared to estimate the project’s greenhouse gas emissions from construction activities, motor vehicle trips, and utility use. Their report, dated June 27, 2017, is available for review during normal business hours at the City of Rocklin Planning Department, 3970 Rocklin Road, Rocklin, CA and is incorporated into this Mitigated Negative Declaration by this reference. City staff has reviewed the documentation and is also aware that LSA Associates, Inc. has a professional reputation that makes its conclusions presumptively credible and prepared in good faith. Based on its review of the analysis and these other considerations, City staff accepts the conclusions in the LSA Associates, Inc. report, which is summarized below.

**Greenhouse Gas Setting**

Gases that trap heat in the atmosphere are referred to as greenhouse gas (GHG) emissions because they capture heat radiated from the sun as it is reflected back into the atmosphere, similar to a greenhouse. The accumulation of GHG emissions has been implicated as a driving force for Global Climate change. Definitions of climate change vary between and across regulatory authorities and the scientific community, but in general can be described as the changing of the earth’s climate caused by natural fluctuations and the impact of human activities that alter the composition of the global atmosphere.

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Emissions of greenhouse gases (GHGs) contributing to global climate change are attributable in large part to human activities associated with the industrial/manufacturing, utility, transportation, residential and agricultural sectors. Therefore, the cumulative global emission of GHGs contributing to global climate change can be attributed to every nation, region, city and virtually every individual on Earth. A project’s GHG emissions are at a micro-scale relative to global emissions, but could result in a cumulatively considerable incremental contribution to a significant cumulative macro-scale impact

The major concern is that increases in GHG emissions are causing Global Climate Change. Global Climate Change is a change in the average weather on earth that can be measured by wind patterns, storms, precipitation, and temperature. Although there is disagreement as to the speed of global warming and the extent of the impacts attributable to human activities, the vast majority of the scientific community now agrees that there is a direct link between increased GHG emissions and long term global temperature increases. Potential global warming impacts in California may include, but are not limited to, loss in snow pack, sea level rise, more extreme heat days per year, more high ozone days, more large forest fires, more drought years, impacts to agriculture, changes in disease vectors, and changes in habitat and biodiversity. In California, GHGs are defined to include carbon dioxide (CO<sub>2</sub>), methane (CH<sub>4</sub>), nitrous oxide (N<sub>2</sub>O), sulfur hexafluoride (SF<sub>6</sub>), perfluorocarbons (PFCs), nitrogen trifluoride (NF<sub>3</sub>), and hydrofluorocarbons. To account for the warming potential of GHGs, GHG emissions are quantified and reported as CO<sub>2</sub> equivalents (CO<sub>2</sub>e).

An individual project, even a very large project, does not in itself generate enough greenhouse gas emissions to measurably influence global climate change. Global climate change is therefore by definition a cumulative impact. A project contributes to this potential cumulative impact through its cumulative incremental contribution combined with the emissions of all other sources of greenhouse gases (GHG). In assessing cumulative impacts, it must be determined if a project’s incremental effect is “cumulatively considerable” (CEQA Guidelines Sections 15064 (h)(1) and 15130). To make this determination, the incremental impacts of the project must be compared to with the effects of past, current and probable future projects. To gather sufficient information on a global scale of all past, current, and probable future projects to make this determination is a difficult, if not impossible, task.

Regulatory Framework

In September 2006, then Governor Arnold Schwarzenegger signed AB 32, the California Climate Solutions Act of 2006. AB 32 requires that statewide GHG emissions be reduced to 1990 levels by the year 2020. AB 32 delegated the authority for its implementation to the California Air Resources Board (CARB) and directs CARB to enforce the statewide cap. In accordance with AB 32, CARB prepared the *Climate Change Scoping Plan* (Scoping Plan) for California, which was approved in 2008. The Scoping Plan provides the outline for actions to reduce California’s GHG emissions. Based on the reduction goals called for in the 2008 Scoping Plan, a 29 percent

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reduction in GHG levels relative to a Business As Usual (BAU) scenario would be required to meet 1990 levels by 2020. The BAU condition is project and site specific and varies. The BAU scenario is based on what could or would occur on a particular site in the year 2020 without implementation of a proposed project or consideration of any State regulation emission reductions or voluntary GHG reduction measures. The CARB, per the 2008 Scoping Plan, explicitly recommends that local governments utilize a 15 percent GHG reduction below “today’s” levels by 2020 to ensure that community emissions match the State’s reduction target, where today’s levels would be considered 2010 BAU levels.

In 2011, the baseline or BAU level for the Scoping Plan was revised to account for the economic downturn and State regulation emission reductions (i.e., Pavley, Low Carbon Fuel Standard [LCFS], and Renewable Portfolio Standard [RPS]). Accordingly, the Scoping Plan emission reduction target from BAU levels required to meet 1990 levels by 2020 was modified from 29 percent to 21.7 percent where the BAU level is based on 2010 levels singularly, or 16 percent where the BAU level is based on 2010 levels and includes State regulation emission reductions noted above. The amended Scoping Plan was re-approved August 24, 2011.

The Scoping Plan must be updated every five years. The *First Update to the Climate Change Scoping Plan* (Scoping Plan Update) was approved by CARB on May 22, 2014 and builds upon the initial Scoping Plan with new strategies and recommendations. The Scoping Plan Update highlights the State’s progress towards the 2020 GHG emission reduction goals defined in the original Scoping Plan and evaluates how to align the State’s longer-term GHG reduction strategies with other State policy priorities for water, waste, natural resources, clean energy, transportation and land use. According to the Scoping Plan Update, the State is on track to meet the 2020 GHG goal and has created a framework for ongoing climate action that could be built upon to maintain and continue economic sector-specific reductions beyond 2020, on the path to 80 percent below 1990 levels by 2050, as required by AB 32.

Significance Criteria

The PCAPCD, as part of the Sacramento Regional GHG Thresholds Committee, has developed regional GHG emission thresholds. The thresholds were based on project data provided by the PCAPCD and other regional air districts, including the Sacramento Air Quality Management District (SMAQMD). The SMAQMD adopted the thresholds, and the PCAPCD recommends using their adopted threshold of 1,100 metric tons of CO<sub>2</sub> equivalent units per year (MTCO<sub>2</sub>e/year) for construction and operation. Projects exceeding the 1,100 MTCO<sub>2</sub>e/year GHG screening level threshold of significance would be required to perform a further detailed analysis showing whether the project would comply with AB 32 reduction goals. For that further detailed analysis and in accordance with CARB and PCAPCD recommendations, the City of Rocklin, as lead agency, requires a quantitative GHG analysis for development projects in order to demonstrate that such a project would promote sustainability and implement operational GHG reduction strategies that would reduce the project’s GHG emissions from BAU levels by 15 percent; that 15 percent reduction threshold is in compliance with AB 32 and CARB’s recommendation from

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the 2008 Scoping Plan that local governments utilize a 15 percent reduction below 2010 BAU levels by 2020. It should be noted that although CARB’s 2011 Scoping Plan emission reduction target modified the State’s overall emission reduction target from 29 percent to 21.7 percent, the 2011 Scoping Plan did not provide a specific recommendation for emission reductions for local governments and thus the City of Rocklin has chosen to continue to apply the 15 percent emission reduction target from the 2008 Scoping Plan. In accordance with the reduction recommendation set forth in the 2008 Scoping Plan for local governments, the City of Rocklin, as lead agency, utilizes a threshold of a 15 percent reduction from BAU levels, where BAU levels are based on 2010 levels, compared to a project’s estimated 2020 levels. Therefore, if the proposed project does not meet the 1,100 metric tons screening threshold and it also does not show a 15 percent reduction of project-related GHG emissions between BAU levels and estimated 2020 levels, the project would be considered to result in a cumulatively considerable contribution to global climate change.

The significance thresholds discussed above are the PCAPCD’s previously recommended thresholds of significance for use in the evaluation of greenhouse gas emission impacts associated with proposed development projects. The PCAPCD recently adopted new thresholds of significance for use in the evaluation of greenhouse gas emission impacts associated with proposed development projects, but the City of Rocklin, as lead agency and in consultation with the PCAPCD, is considering a phased in approach of the newly proposed thresholds and for this analysis is utilizing the PCAPCD’s previously recommended thresholds of significance for CEQA evaluation purposes.

**Significance Conclusions:**

**a. and b.) Generate Greenhouse Gas and Conflict with Greenhouse Gas Plan – *Less Than Significant Impact.*** Implementation of the proposed project would cumulatively contribute to increases of GHG emissions. Estimated GHG emissions attributable to future development would be primarily associated with increases of carbon dioxide (CO<sub>2</sub>) and, to a lesser extent, other GHG pollutants, such as methane (CH<sub>4</sub>) and nitrous oxide (N<sub>2</sub>O) associated with mobile sources or vehicles, utilities (electricity and natural gas), water usage, wastewater generation, and the generation of solid waste. Because the proposed project involves increased vehicle use in the area, the GHG emissions related to increased vehicle use in the area must be analyzed. The common unit of measurement for GHG is expressed in terms of annual metric tons of CO<sub>2</sub> equivalents (MT CO<sub>2</sub>e), based on the global warming potential of the individual pollutants.

The short-term maximum annual emissions of GHG associated with construction of the proposed project are estimated to be 578 MTCO<sub>2</sub>e, which is below the 1,100 MTCO<sub>2</sub>e/year threshold. Construction GHG emissions are a one-time release and are, therefore, not typically expected to generate a significant contribution to global climate change. Due to the size of the proposed project, the project’s estimated construction-related GHG contribution to global climate change would be considered negligible on the overall global emissions scale.

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The long-term operational GHG emissions estimate for the proposed project incorporates the project's potential area source and vehicle emissions, emissions associated with utility and water usage, and the generation of wastewater and solid waste. The annual GHG emissions associated with the proposed project in the year 2019 would be 3,597 MTCO<sub>2</sub>e/year which is higher than the 1,100 MTCO<sub>2</sub>e significance threshold. Therefore the project must meet the 15% reduction below 2010 BAU emission levels by 2020. The estimated annual GHG emissions in 2010 are 6,424 MTCO<sub>2</sub>e and in 2020 are 3,396 MTCO<sub>2</sub>e which represents a 47% decrease in annual GHG emissions and which meets the City's reduction criteria of 15% below 2010 emissions levels by 2020. Therefore, the proposed project would therefore not hinder the State's ability to reach the GHG reduction target nor conflict with any applicable plan, policy, or regulation related to GHG reduction and the impact of the proposed project on global climate change is considered less than significant and no mitigation measures are required.

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<b>VIII.</b> <u>HAZARDS AND HAZARDOUS MATERIALS</u> <b>Would the project:</b>	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?			X		
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment.			X		
c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?				X	
d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?			X		
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?				X	
f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?				X	
g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?			X		
h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?			X		

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**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

As discussed below, compliance with the mitigation measures incorporated into the General Plan goals and policies and applicable City Code and compliance with applicable Federal, State and local laws and regulations would reduce impacts related to hazards and hazardous materials to a less-than-significant level.

**Prior Environmental Analysis:**

As a “program EIR” under CEQA Guidelines section 15168, the General Plan EIR analyzed the anticipated human health and hazards impacts that would occur as a result of the future urban development that was contemplated by the General Plan. These impacts included wildland fire hazards, transportation, use and disposal of hazardous materials, and emergency response and evacuation plans (City of Rocklin General Plan Update Draft EIR, 2011 pages 4.7-1 through 4.7-30). The analysis found that while development and buildout of the Rocklin General Plan can introduce a variety of human health and hazards impacts, these impacts would be reduced to a less than significant level through the application of development standards in the Rocklin Municipal Code, the application of General Plan goals and policies that would assist in minimizing or avoiding hazardous conditions, and compliance with local, state and federal standards related to hazards and hazardous materials.

These goals, policies and standards include, but are not limited to, Chapter 2.32 of the Rocklin Municipal Code which requires the preparation and maintenance of an emergency operations plan, preventative measures in the City’s Improvement Standards and Standard Specifications, compliance with local, state and federal standards related to hazards and hazardous materials and goals and policies in the General Plan Community Safety and Open Space, Conservation and Recreation Elements requiring coordination with emergency management agencies, annexation into fee districts for fire prevention/suppression and medical response, incorporation of fuel modification/fire hazard reduction planning, and requirements for site-specific hazard investigations and risk analysis.

**Mitigation Measures from Uniformly Applied Development Policies and Standards:**

All applicable mitigation measures from the General Plan EIR, including the mitigation measures for human health and hazards impacts incorporated as goals and policies in the General Plan and the City’s Improvement Standards, will be applied to the project. These serve as uniformly applied development policies and standards and/or as conditions of approval for this project to ensure consistency with the General Plan and compliance with the Rocklin Municipal Code and other City rules and regulations.

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In addition, Chapter 2.32 of the Rocklin Municipal Code requires the development of emergency procedures in the City through the Emergency Operations Plan. The Emergency Operations Plan provides a framework to guide the City’s efforts to mitigate and prepare for, respond to, and recover from major emergencies or disasters. To implement the Emergency Operations Plan, the City has established a Disaster Council, which is responsible for reviewing and recommending emergency operations plans for adoption by the City Council. The Disaster Council plans for the protection of persons and property in the event of fires, floods, storms, epidemic, riot, earthquake and other disasters.

**Significance Conclusion:**

**a. and b. Transport, Use or Disposal of Hazardous Materials, Release of Hazardous Materials – Less than Significant Impact.** Construction, operation and maintenance activities would use hazardous materials, including fuels (gasoline and diesel), oils and lubricants; paints and paint thinners; glues; cleaners (which could include solvents and corrosives in addition to soaps and detergents), and fertilizers, pesticides, herbicides and yard/landscaping equipment. While these products noted above may contain known hazardous materials, the volume of material would not create a significant hazard to the public through routine transport, use, or disposal and would not result in a reasonably foreseeable upset and accident condition involving the release of hazardous materials. Compliance with various Federal, State, and local laws and regulations (including but not limited to Titles 8 and 22 of the Code of California Regulations, Uniform Fire Code, and Chapter 6.95 of the California Health and Safety Code) addressing hazardous materials management and environmental protection would be required to ensure that there is not a significant hazardous materials impact associated with the construction, operation and maintenance of the proposed project.

**c. Hazardous Emissions Near Schools – No Impact.** There are no schools within one-quarter mile (1,320 feet) of the project site. The closest school is Sierra College on Rocklin Road which is approximately 1,800 feet away. Retail commercial projects of this nature would not typically emit any significant amounts of hazardous materials, substances, or waste or be involved in the transportation of hazardous materials, substances, or waste. Further, there are existing rules and regulations, as indicated above, that address hazardous materials management and environmental protection. Therefore, there is no impact related to hazardous emissions or hazardous materials within one quarter mile of a school.

**d. Hazardous Site List – Less Than Significant.** The project site is not on the list of hazardous materials sites compiled pursuant to Government Code Section 65962.5. Government Code 65962.5 is known as the Cortese List. The Cortese database identifies public drinking water wells with detectable levels of contamination, hazardous substance sites selected for remedial action, sites with known toxic material identified through the abandoned site assessment program, sites with Underground Storage Tanks (USTs) having a reportable release and all solid waste disposal facilities from which there is known migration. The Department of Toxic Substances Control (DTSC) EnviroStor database and State Water Resources Control Board

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GeoTracker database were searched on May 26, 2017 and no hazardous sites were identified on the project site. Therefore, there is not impact related to a hazardous materials site on the project site.

**e. and f. Public Airport Hazards and Private Airport Hazards – No Impact.** The project is not located within an airport land use plan, or within two miles of a public airport or public use airport; therefore there is no public or private airport hazard impact.

**g. Emergency Response Plan – Less than Significant Impact.** The City’s existing street system, particularly arterial and collector streets, function as emergency evacuation routes. The project’s design and layout will not impair or physically interfere with the street system emergency evacuation route or impede an emergency evacuation plan; therefore a less than significant impact on emergency routes/plans would be anticipated.

**h. Wildland Fires – Less Than Significant Impact.** The project site is located in a partly developed retail commercial area, surrounded by suburban development including other structures and roadways. Additionally, the proposed project has been reviewed by the Rocklin Fire Department and has been designed with adequate emergency access for use by the Rocklin Fire Department to reduce the risk of loss, injury or death involving wildland fires to a less than significant level.

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<b>IX.</b> <u><b>HYDROLOGY AND WATER QUALITY</b></u> <b>Would the project:</b>	<b>Potentially Significant Impact</b>	<b>Less Than Significant With Mitigation</b>	<b>Less Than Significant Impact</b>	<b>No Impact</b>	<b>Impact for which General Plan EIR is Sufficient</b>
a) Violate any water quality standards or waste discharge requirements?			<b>X</b>		
b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?			<b>X</b>		
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?			<b>X</b>		
d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site?			<b>X</b>		
e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?			<b>X</b>		
f) Otherwise substantially degrade water quality?			<b>X</b>		
g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary of Flood Insurance Rate Map or other flood hazard delineation map?			<b>X</b>		
h) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?			<b>X</b>		

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<b>IX. HYDROLOGY AND WATER QUALITY (cont'd.)</b> <b>Would the project:</b>	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?			<b>X</b>		
j) Inundation by seiche, tsunami, or mudflow?			<b>X</b>		

**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

The proposed project would involve grading activities that would remove vegetation and expose soil to wind and water erosion and potentially impact water quality. Waterways in the Rocklin area have the potential to flood and expose people or structures to flooding. Additional impervious surfaces would be created with the development of the proposed project.

**Prior Environmental Analysis:**

As a “program EIR” under CEQA Guidelines section 15168, the General Plan EIR analyzed the anticipated hydrology and water quality impacts that would occur as a result of the future urban development that was contemplated by the General Plan. These impacts included water quality, ground water quality and supply, drainage, flooding, risks of seiche, tsunami and mudflow (City of Rocklin General Plan Update Draft EIR, 2011, pages 4.9-1 through 4.9-37). The analysis found that while development and buildout of the General Plan can result in hydrology and water quality impacts, these impacts would be reduced to a less than significant level through the application of development standards contained in the City’s Improvement Standards and Standard Specifications and in the Rocklin Municipal Code, the application of General Plan goals and policies related to hydrology, flooding and water quality, and compliance with local, state, and federal water quality standards and floodplain development requirements.

These goals, policies and standards include, but are not limited to, flood prevention and drainage requirements in the City’s Improvement Standards and Standard Specifications, the City’s Grading and Erosion and Sediment Control Ordinance, the Stormwater Runoff Pollution Control Ordinance, the State Water Resources Control Board General Construction Activity Storm Water Permit requirements, and goals and policies in the General Plan Open Space, Conservation and Recreation and Safety Elements requiring the protection of new and existing development from flood and drainage hazards, the prevention of storm drainage run-off in excess of pre-development levels, the development and application of erosion control plans

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and best management practices, the annexation of new development into existing drainage maintenance districts where warranted, and consultation with the Placer County Flood Control and Water Conservation District and other appropriate entities.

**Mitigation Measures from Uniformly Applied Development Policies and Standards:**

All applicable mitigation measures from the General Plan EIR as well as relevant standards from the City’s Improvement Standards for hydrology and water quality impacts will be applied to the project. These serve as uniformly applied development policies and standards and/or as conditions of approval for this project to ensure consistency with the General Plan and compliance with the Rocklin Municipal Code and other City rules and regulations.

The project would be subject to the provisions of the City’s Grading and Erosion and Sediment Control Ordinance. Chapter 15.28 of the Rocklin Municipal Code, Grading and Erosion Sediment Control, regulates grading activity on all property within the City of Rocklin to safeguard life, limb, health, property, and public welfare; to avoid pollution of watercourses with nutrients, sediments, or other earthen materials generated or caused by surface runoff on or across the permit area; to comply with the City’s National Pollutant Discharge Elimination System permit issued by the California Regional Water Quality Control Board; and to ensure that the intended use of a graded site is consistent with the City of Rocklin General Plan, provisions of the California Building Standards Code as adopted by the City relating to grading activities, City of Rocklin improvement standards, and any applicable specific plans or other land use entitlements. This chapter (15.28) also establishes rules and regulations to control grading and erosion control activities, including fills and embankments; establishes the administrative procedure for issuance of permits; and provides for approval of plans and inspection of grading construction and erosion control plans for all graded sites. Chapter 8.30 of the Rocklin Municipal Code, Stormwater Runoff Pollution Control Ordinance, prohibits the discharge of any materials or pollutants that cause or contribute to a violation of applicable water quality standards, other than stormwater, into the municipal storm drain system or watercourse. Discharges from specified activities that do not cause or contribute to the violation of plan standards, such as landscape irrigation, lawn watering, and flows from fire suppression activities, are exempt from this prohibition.

In addition, the project would be required to prepare an erosion and sediment control plan through the application of the City’s Improvement Standards and Standard Specifications that are a part of the City’s development review process.

**Significance Conclusions:**

**a., c., d., e. and f. Water Quality Standards and Drainage – *Less than Significant Impact.*** Storm water runoff from the project site will be collected in stormwater drainage pipes and then directed through water quality treatment devices/areas as Best Management Practices (BMP) and/or Low Impact Development (LID) features and then into the City’s storm drain system. The

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purpose of the BMP/LID features is to ensure that potential pollutants are filtered out before they enter the storm drain system. The City’s storm drain system maintains the necessary capacity to support development on the proposed project site. Therefore, violations of water quality standards or waste discharge requirements are not anticipated.

To address the potential for polluted water runoff during project construction, the project would be required to prepare an erosion and sediment control plan through the application of the City’s Improvement Standards and Standard Specifications as a part of the City’s development review process. The erosion and sediment control plan are reviewed against the Placer County Stormwater Management Manual and the Regional Water Quality Control Board’s Erosion and Sediment Control Field Manual. The erosion and sediment control plan includes the implementation of Best Management Practices/Best Available Technology (BMPs/BATs) to control construction site runoff. The project will also be required to comply with the City’s Grading and Erosion and Sedimentation Control Ordinance (Rocklin Municipal Code, Chapter 15.28), and the Stormwater Runoff Pollution Control Ordinance (Rocklin Municipal Code, Chapter 8.30), which includes the preparation of a Stormwater Pollution Prevention Plan (SWPPP).The proposed project would not alter the course of a stream or a river.

The proposed project would not substantially alter the existing drainage pattern of the site or area because the City’s policies of requiring new developments to detain on-site drainage such that the rate of runoff flow is maintained at pre-development levels (unless the Placer County Flood Control and Water Conservation District’s Flood Control Manual requires otherwise) and to coordinate with other projects’ master plans to ensure no adverse cumulative effects will be applied. Per the Placer County Flood Control and Water Conservation District Dry Creek Watershed Flood Control Plan, onsite stormwater detention is generally not recommended anywhere in the Dry Creek watershed because it has been determined that on-site detention would be detrimental to the overall watershed, unless existing downstream drainage facilities cannot handle post-construction runoff from the project site. In this instance the project has not been designed to provide on-site detention. Substantial erosion, siltation or flooding, on- or off-site, and exceedance of the capacity of existing or planned drainage systems would not be anticipated to occur.

Therefore, impacts related to water quality, water quality standards and drainage would be less than significant.

**b. Groundwater Supplies – *Less than significant.*** The project will use domestic water from the Placer County Water Agency and not use wells or groundwater; therefore existing groundwater resources will not be depleted. The City’s policies of requiring new developments to retain on-site drainage such that the rate of runoff flow is maintained at pre-development levels and implementation of Low Impact Development features will ensure that groundwater recharge rates are also maintained at pre-development levels. Therefore, there is a less than significant groundwater supply impact.

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**g., h., i. and j. Flooding, Inundation by Tsunami, Seiche, or Mudflow – Less Than Significant Impact.** According to FEMA flood maps (Map Panel 06061CO418F, effective date June 8, 1998) the developable portion of the project site is located in flood zone X, which indicates that the project is not located within a 100-year flood hazard area and outside of the 500-year flood hazard area. The project site is not located within the potential inundation area of any dam or levee failure, nor is the project site located sufficiently near any significant bodies of water or steep hillsides to be at risk from inundation by a seiche, tsunami, or mudflow. Therefore the proposed project will not expose people or structures to a significant risk or loss, injury, or death as a result of flooding nor will the project be subject to inundation by tsunami, seiche or mudflow and a less than significant impact would be anticipated

X. <u>LAND USE AND PLANNING</u> Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
a) Physically divide an established community?				<b>X</b>	
b) Conflict with any applicable land use plan, policy, regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?			<b>X</b>		
c) Conflict with any applicable habitat conservation plan or natural community conservation plan?				<b>X</b>	

**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

Approval of the project would allow the construction of a retail commercial center on a 6.64 +/- acre site. The project site is designated Retail Commercial (RC) on the General Plan land use map and is zoned Planned Development – Commercial (PD-C). The project requires Design Review, Tentative Parcel Map, Conditional Use Permit and Oak Tree Preservation Permit entitlements to allow for a retail commercial center as is being proposed. As discussed below, land use impacts are not anticipated.

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**Prior Environmental Analysis:**

As a “program EIR” under CEQA Guidelines section 15168, the General Plan EIR analyzed the anticipated impacts on land use as a result of the future urban development that was contemplated by the General Plan. These impacts included dividing an established community and potential conflicts with established land uses within and adjacent to the City (City of Rocklin General Plan Update Draft EIR, 2011, pages 4.1-1 through 4.1-38). The analysis found that while development and buildout of the General Plan can result in land use impacts, these impacts would be reduced to a less than significant level through the application of General Plan goals and policies that would assist in minimizing or avoiding land use impacts.

These goals and policies include, but are not limited to goals and policies in the General Plan Land Use Element requiring buffering of land uses, reviewing development proposals for compatibility issues, establishing and maintaining development standards and encouraging communication between adjacent jurisdictions.

**Mitigation Measures from Uniformly Applied Development Policies and Standards:**

All applicable mitigation measures from the General Plan EIR, including the mitigation measures for impacts to land use incorporated as goals and policies in the Rocklin General Plan, will be applied to the project. These serve as uniformly applied development policies and standards and/or as conditions of approval for this project to ensure consistency with the General Plan and compliance with City rules and regulations.

**Significance Conclusions:**

**a. Division of Community – No Impact.** The proposed project site is currently vacant and the entire project is within the City of Rocklin. The proposed project would construct a retail commercial center at this location, which would not physically divide an established community. Therefore there is no division of community impact.

**b. Plan Conflict – Less than Significant Impact.** The project site is designated Retail Commercial (C) on the General Plan land use map and is zoned Planned Development – Commercial (PD-RC). The project requires Design Review, Tentative Parcel Map, Conditional Use Permit and Oak Tree Preservation Permit entitlements to allow for a retail commercial Center as is being proposed. The proposed project will be consistent with the site’s land use and zoning designations and the development of the project would not conflict with land use designations and would have a less than significant impact related to conflicts with land use plans, policies or regulations.

**c. Habitat Plan Conflict - No Impact.** There are no habitat conservation plans or natural community conservation plans which apply to the project site, and there would be no impact on such plans.

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<b>XI.</b> <u>MINERAL RESOURCES</u> <b>Would the project:</b>	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?				<b>X</b>	
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?				<b>X</b>	

**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

As discussed below, no impact is anticipated because the project site does not contain known mineral resources.

**Significance Conclusions:**

**a. and b. Mineral Resources – No Impact.** The Rocklin General Plan and associated EIR analyzed the potential for “productive resources” such as, but not limited to, granite and gravel (City of Rocklin General Plan Update Draft EIR, 2011, pages 4.6-4 through 4.6-5 and 4.6-17). The City of Rocklin has no mineral resources as classified by the State Geologist. The City has no known or suspected mineral resources that would be of value to the region and to residents of the state. The project site is not delineated in the Rocklin General Plan or any other plans as a mineral resource recovery site. Mineral resources of the project site have not changed with the passage of time since the General Plan EIR was adopted. Based on this discussion, the project is not anticipated to have a mineral resources impact.

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<b>XII.</b> <u>NOISE</u> <b>Would the project result in:</b>	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?			<b>X</b>		
b) Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?			<b>X</b>		
c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?			<b>X</b>		
d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?			<b>X</b>		
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?				<b>X</b>	
f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?				<b>X</b>	

**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

As discussed below, development of the proposed project will result in an increase in short-term noise impacts from construction activities. Compliance with the mitigation measures incorporated into the General Plan goals and policies, and the City of Rocklin Construction Noise Guidelines would reduce noise related impacts to a less-than-significant level.

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**Prior Environmental Analysis:**

As a “program EIR” under CEQA Guidelines section 15168, the General Plan EIR analyzed the anticipated impacts of noise associated with the future urban development that was contemplated by the General Plan. These impacts included construction noise, traffic noise, operational noise, groundborne vibration, and overall increased in noise resulting from implementation of the General Plan Update (City of Rocklin General Plan Update Draft EIR, 2011, pages 4.5-1 through 4.5-48).

Mitigation measures to address these impacts are incorporated into the General Plan in the Noise Element, which includes policies that require acoustical analyses to determine noise compatibility between land uses, application of stationary and mobile noise source sound limits/design standards, restriction of development of noise-sensitive land uses unless effective noise mitigations are incorporated into projects, and mitigation of noise levels to ensure that the noise level design standards of the Noise Element are not exceeded.

The General Plan EIR concluded that, despite these goals and policies, significant noise impacts will occur as a result of development under the General Plan and further, that these impacts cannot be reduced to a less than significant level. Specifically, the General Plan EIR found that buildout of the Rocklin General Plan will result in exposure of persons to, or generation of, noise levels in excess of applicable noise standards, will result in exposure to surface transportation noise sources and stationary noise sources in excess of applicable noise standards and will contribute to cumulative transportation noise impacts within the Planning Area. Findings of fact and a statement of overriding consideration were adopted by the Rocklin City Council in regard to these impacts, which were found to be significant and unavoidable.

**Mitigation Measures from Uniformly Applied Development Policies and Standards:**

All applicable mitigation measures from the General Plan EIR, including the mitigation measures for impacts associated with noise incorporated as goals and policies in the Rocklin General Plan, will be applied to the project. These serve as uniformly applied development policies and standards and/or as conditions of approval for this project to ensure consistency with the General Plan and compliance with City rules and regulations.

**Project-Level Environmental Analysis:**

The firm of LSA Associates, Inc., a Sacramento area consulting firm with recognized expertise in noise, prepared an environmental noise assessment of the proposed project. Their report, dated February 2017 is available for review during normal business hours at the City of Rocklin Planning Department, 3970 Rocklin Road, Rocklin, CA, and is incorporated into this Mitigated Negative Declaration by this reference. City staff has reviewed the documentation and is also aware that LSA Associates, Inc. has a professional reputation that makes its conclusions presumptively credible and prepared in good faith. Based on its review of the analysis and

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these other considerations, City staff accepts the conclusions in the LSA Associates, Inc. report, which is summarized below.

Background Information on Noise

Noise is a subjective reaction to different types of sounds. Noise is typically defined as (airborne) sound that is loud, unpleasant, unexpected or undesired, and may therefore be classified as a more specific group of sounds. Perceptions of sounds and noise are highly subjective from person to person. The perceived loudness of sounds is dependent upon many factors, including sound pressure level and frequency content. However, within the usual range of environmental noise levels, perception of loudness is relatively predictable, and can be approximated by A-weighted sound levels. There is a strong correlation between A-weighted sound levels (expressed as dBA) and the way the human ear perceives sound and for this reason, the A-weighted sound level has become the standard tool of environmental noise assessment.

Measuring sound directly would require a very large and awkward range of numbers, so to avoid this, the decibel (dB) scale was devised. The decibel scale is logarithmic, not linear. In other words, two sound levels 10 dB apart differ in acoustic energy by a factor of 10. When the standard logarithmic scale is A-weighted, an increase of 10 dBA is generally perceived as a doubling in loudness. For example, a 70 dBA sound is half as loud as an 80 dBA sound, and twice as loud as a 60 dBA sound.

Community noise is commonly described in terms of the ambient noise level, which is defined as the all-encompassing noise level associated with a given environment. A common statistical tool is the average, or equivalent, sound level ( $L_{eq}$ ). The  $L_{eq}$  is the foundation of the composite noise descriptor,  $L_{dn}$ , and shows very good correlation with community response to noise. The day/night average level ( $L_{dn}$ ) is based upon the average noise level over a 24-hour day, with a +10 dB weighting applied to noise occurring during nighttime (10:00 p.m. – 7:00 a.m.) hours. The nighttime penalty is based upon the assumption that people react to nighttime noise exposures as though they were twice as loud as daytime exposures. Because  $L_{dn}$  represents a 24-hour average, it tends to disguise short-term variations in the noise environment.

The City of Rocklin General Plan includes criteria for stationary (non-transportation) and transportation noise sources. For transportation noise sources, the maximum allowable exterior noise level standard for outdoor activity areas is 60 dB Ldn and the maximum allowable interior noise level standard is 45 dB Ldn. For stationary noise sources, the maximum allowable daytime noise level standard is 55 dB Leq for daytime hours (7:00 a.m. to 10:00 p.m.) and the maximum allowable nighttime noise level standard is 45 dB Leq for nighttime hours (10:00 p.m. to 7:00 a.m.).

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Noise Sources

The noise source concerns for this project are associated with transportation sources from nearby roadways and stationary sources from the drive-through restaurants, shops, and auto service shop.

Noise impacts associated with these noise sources were evaluated and compared to noise level performance criteria for transportation noise sources contained within the City of Rocklin General Plan Noise Element.

Sensitive Receptors

The City of Rocklin General Plan does not have exposure standards for commercial land uses however there are noise sensitive receptors in the vicinity of the project. Noise sensitive receptors include residences, schools, hospitals, churches and similar uses that are sensitive to noise. Sensitive land uses in the vicinity include the Lifehouse Church located approximately 115 feet to the south of the project site on Sierra College Boulevard and single family homes located approximately 950 feet to the south of the project site.

Traffic Noise

To determine traffic noise levels on the project site, LSA Associates, Inc. took short-term and long-term noise measurements at three locations on the project site and utilized project generated average daily traffic as documented in the project’s traffic impact analysis as an input into the FHWA traffic noise model. The table below shows the current and predicted future traffic noise levels on nearby roadways.

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CURRENT AND PREDICTED FUTURE TRAFFIC NOISE LEVELS						
Roadway Segment	Existing 2015	Project 2015		No Project 2040	Project 2040	
	CNEL (dBA) 50 Feet From Centerline of Outermost Lane	CNEL (dBA) 50 Feet From Centerline of Outermost Lane	CNEL Increase Over 2015 Baseline (dBA)	CNEL (dBA) 50 Feet From Centerline of Outermost Lane	CNEL (dBA) 50 Feet From Centerline of Outermost Lane	CNEL Increase Over 2040 Baseline (dBA)
Sierra College Blvd. -Granite Drive to Commons Drive	66.9	67.1	0.2	68.6	68.7	0.1
Sierra College Blvd. -Commons Dr. to Crossings Dr.	68	68.4	0.4	70	70.2	0.2
Sierra College Blvd. -Crossings Dr. to Schriber Way	65.1	67.4	2.3	68.5	68.9	0.4
Sierra College Blvd. -Schriber Way to Dominguez Rd.	66.1	65.9	-0.2	67.4	67.3	-0.1
Sierra College Blvd. -Dominguez Rd. south	67.9	68.1	0.2	70.4	70.5	0.1

Source: LSA Associates, Inc., 2017

As shown, the estimated traffic noise levels associated with the project would increase 0.2 to 2.3 dBA CNEL over 2015 baseline levels and 0.1 to 0.4 dBA CNEL over the predicted 2040 baseline levels. The greatest increase would be in the area between the I-80 off-ramp and the project entrance at Schriber Way. However, the increase would be minimal and there are no sensitive receptors in the vicinity. Therefore, no traffic noise reduction measures would be required.

Stationary Sources

Stationary sources of noise associated with the project are the drive-through restaurants, shops and auto service shop.

Drive-through speakers produce noise levels up to 72 dBA at a distance of 4 feet, however they operate intermittently. The drive-through speaker closest to the Lifehouse Church is 50 feet from the property line and noise would attenuate to 43 dBA therefore the speaker noise would not exceed the City’s 55 dB daytime or 45 dB nighttime standard.

Auto service shop noise levels associated with air grinders, air compressors, and pneumatic lifts can reach up to 114 dBA. Section 17.57.050 of the City of Rocklin Municipal Code requires auto service shops to be fully enclosed with a standard building enclosure. The enclosure and distance attenuation will reduce noise levels to a maximum of 41 dBA or 51 dBA with shop doors open. These noise levels are within the City’s 55 dB daytime standard.

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Delivery Noise

Additional on-site stationary noise sources would include delivery trucks and parking lot noise and of those sources, noise generated by delivery truck activity would generate the maximum noise levels. Delivery truck loading and unloading activities would result in maximum noise levels. Loading and unloading activities could generate noise levels from 68 to 78 dBA at the closest receptor, Lifehouse Church. Peak noise levels would be intermittent and when averaged over a one hour period would be much lower than the peak noise levels, and, therefore, would not be expected to exceed the City’s 45 dB nighttime noise standard. In addition, Lifehouse Church would not be expected to be operational during 10:00 p.m. and 7:00 a.m.; therefore delivery noise associated with the project would not affect noise levels at nearby sensitive receptors.

**Significance Conclusions:**

**a., b., c., and d. Exposure to Noise, Increase in Noise – *Less than Significant Impact.*** The primary goal for the City of Rocklin General Plan with respect to noise is: “To protect City residents from the harmful and annoying effects of exposure to excessive noise”. To implement that goal, the City has adopted Noise Compatibility Guidelines prepared by the State Office of Noise Control. The objective of the Noise Compatibility Guidelines is to assure that consideration is given to the sensitivity to noise of a proposed land use in relation to the noise environment in which it is proposed to be located.

Potential noise impacts can be categorized into short-term construction noise impacts and long-term or permanent noise impacts. The City has adopted standard conditions for project approvals which address short-term impacts. These include limiting traffic speeds to 25 mph and keeping equipment in clean and tuned condition. The proposed project would be subject to these standard conditions. The proposed project would also be subject to the City of Rocklin Construction Noise Guidelines, including restricting construction-related noise generating activities within or near residential areas to between 7:00 a.m. and 7:00 p.m. on weekdays, and between 8:00 a.m. and 7:00 p.m. on weekends to the satisfaction of the City Engineer or Building Official. Therefore, impacts associated with increases in the ambient noise environment during construction would be less than significant.

The project would not substantially increase noise levels at sensitive receptor locations or within the project vicinity. In addition, there are no nighttime operational noise sources that would exceed the City’s nighttime 45 dB noise standard and no daytime operational noise sources that would exceed the City’s daytime 55 dB noise standard. The traffic noise levels associated with the project would minimally increase and there are no sensitive receptors in the vicinity of the increased traffic noise levels. Therefore, noise reduction measures will not be required and a less than significant impact is expected.

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**e. and f. Public and Private Airport Noise – No Impact.** The City of Rocklin, including the project site, is not located within an airport land use plan or within two miles of an airport, and is therefore not subject to obtrusive aircraft noise related to airport operations. Therefore, there is no airport related noise impact.

<b>XIII.</b> <u>POPULATION AND HOUSING</u> <b>Would the project:</b>	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure.)			<b>X</b>		
b) Displace substantial numbers of existing housing necessitating the construction of replacement housing elsewhere?				<b>X</b>	
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?				<b>X</b>	

**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

The proposed project will result in the construction of a retail commercial center, which would not induce substantial population growth or displace substantial numbers of people.

**Prior Environmental Analysis:**

As a “program EIR” under CEQA Guidelines section 15168, the General Plan EIR analyzed the anticipated population and housing impacts that would occur as a result of the future urban development that was contemplated by the General Plan. These impacts included population growth and availability of housing opportunities (City of Rocklin General Plan Update Draft EIR, 2011, pages 4.11-1 through 4.11-13). The analysis found that while development and buildout of the General Plan can result in population and housing impacts, implementation of the General Plan would not contribute to a significant generation of growth that would substantially exceed any established growth projections nor would it displace substantial numbers of housing units or people. Moreover, the project will not construct off-site

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infrastructure that would induce substantial development, unplanned or otherwise. As such, population and housing impacts were determined to be less than significant.

**Significance Conclusions:**

**a. Population Growth – *Less than Significant Impact.*** The project site is designated on the City’s General Plan land use map as Retail Commercial and is zoned Planned Development – Commercial (PD-C). The addition of a retail commercial center would not introduce unplanned population growth in the area because it is located in an area that has already been planned for retail commercial uses; therefore the project will have a less than significant population growth impact.

**b. and c. Displace Substantial Numbers of Existing Housing or People – *No Impact.*** The project site is currently vacant and includes the construction of a retail commercial center which will not displace existing residents or existing housing necessitating the construction of replacement housing elsewhere. Therefore no impact is anticipated.

<b>XIV.</b> <u>PUBLIC SERVICES</u>	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:					
1. Fire protection?			<b>X</b>		
2. Police protection?			<b>X</b>		
3. Schools?			<b>X</b>		
4. Other public facilities?			<b>X</b>		

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**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

The proposed project would create a need for the provision of new and/or expanded public services or facilities.

**Prior Environmental Analysis:**

As a “program EIR” under CEQA Guidelines section 15168, the General Plan EIR analyzed the anticipated impacts on the demand for fire and police protection and school and recreation facilities as a result of the future urban development that was contemplated by the General Plan. These impacts included increased demand for fire, police and school services, provision of adequate fire flow, and increased demand for parks and recreation (City of Rocklin General Plan Update Draft EIR, 2011, pages 4.12-1 through 4.12-45). The analysis found that while development and buildout of the General Plan can result in public services and facilities impacts, these impacts would be reduced to a less than significant level through compliance with state and local standards related to the provision of public services and facilities and through the application of General Plan goals and policies that would assist in minimizing or avoiding impacts to public services and facilities.

These goals, policies and standards include, but are not limited to the California Fire Code, the California Health and Safety Code, Chapters 8.12 and 8.20 of the Rocklin Municipal Code, and goals and policies in the General Plan Community Safety and Public Services and Facilities Elements requiring studies of infrastructure and public facility needs, proportional share participation in the financial costs of public services and facilities, coordination of private development projects with public facilities and services needed to serve the project, maintaining inter-jurisdictional cooperation and coordination and requiring certain types of development that may generate higher demand or special needs to mitigate the demands/needs.

**Mitigation Measures from Uniformly Applied Development Policies and Standards:**

All applicable mitigation measures from the General Plan EIR, including the mitigation measures for impacts to public services incorporated as goals and policies in the Rocklin General Plan, will be applied to the project. These serve as uniformly applied development policies and standards and/or as conditions of approval for the project to ensure consistency with the General Plan and compliance with City rules and regulations.

California Fire Code, the California Health and Safety Code, Chapters 8.12 and 8.20 of the Rocklin Municipal Code, and the goals and policies in the General Plan Community Safety, and Public Services and Facilities Elements requiring studies of infrastructure and public facility needs, proportional share participation in the financial costs of public services and facilities,

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coordination of private development project with public facilities and services needed to serve the project, maintaining inter-jurisdictional cooperation and coordination, and requiring certain types of development that may generate higher demand or special need to mitigate the demands/needs.

**Significance Conclusions:**

**a., 1. Fire Protection – *Less than Significant Impact.*** The development of this project site has been anticipated in the planning, staffing, equipping and location of fire stations within the City of Rocklin; the closest fire station to the project site is Fire Station # 1 on Rocklin Road, which is approximately 2.3 road miles away. Development of the proposed project could increase the need for fire protection services. The City collects construction taxes for use in acquiring capital facilities such as fire suppression equipment. Operation and maintenance funding for fire suppression is provided through financing districts and from general fund sources. The proposed project would pay construction taxes, participate in any applicable financing districts and contribute to the general fund through property and sales taxes. Participation in these funding mechanisms would ensure fire protection service to the site and reduce fire protection impacts to less than significant.

**a., 2. Police Protection – *Less than Significant Impact.*** The development of this project site has been anticipated in the planning, staffing, and equipping of the police station within the City of Rocklin. Development of the proposed project could increase the need for police patrol and police services to the site. Funding for police services is primarily from the general fund, and is provided for as part of the City’s budget process. The proposed project would pay construction taxes, participate in any applicable financing districts and contribute to the general fund through property and sales taxes. Participation in these funding mechanisms would ensure police protection services to the site and reduce police protection impacts to less than significant.

**a., 3. and 4. Schools and Other Public Facilities – *Less than Significant Impact.*** The proposed project will be required to pay applicable school impact fees in effect at the time of building permit issuance to finance school facilities. The assessment of developer fees is regulated through the State Government Code. Proposition 1A/Senate Bill 50 (SB50, Chapter 407, Statutes of 1998) establishes the base amount that developers can be assessed per square foot of residential and non-residential development. If a district meets certain standards, the base adjustment can be adjusted upward a certain amount. Under SB 50, payment of the identified fees by a developer is deemed to be “full and complete mitigation” of impacts on schools resulting from new development. Participation in these funding mechanisms, as applicable, will reduce school impacts to a less than significant level as a matter of state law. The need for other public facilities would not be created by this project and the impact is anticipated to be less than significant.

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XV. <u>RECREATION</u>	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?			X		
b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?			X		

**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

The proposed project consists of the development of a retail commercial center and would not be anticipated to increase the use of, and demand for, recreational facilities in a way that results in a significant impact.

**Prior Environmental Analysis:**

As a “program EIR” under CEQA Guidelines section 15168, the General Plan EIR analyzed the anticipated impacts on the demand for recreation facilities as a result of the future urban development that was contemplated by the General Plan. These impacts included increased demand for parks and recreation (City of Rocklin General Plan Update Draft EIR, 2011, pages 4.12-30 through 4.12-45). The analysis found that while development and buildout of the General Plan can result in recreation facilities impacts, these impacts would be reduced to a less than significant level through the application of General Plan goals and policies that would assist in minimizing or avoiding impacts to recreation facilities. The General Plan has established a parkland standard of five acres per 1,000 population, and has adopted goals and policies to insure that this standard is met. These goals and policies call for the provision of new park and recreational facilities as needed by new development through parkland dedication and the payment of park and recreation fees. These programs and practices are recognized in the General Plan Open Space, Conservation and Recreation Element, which mitigates these impacts to a less than significant level.

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**Mitigation Measures from Uniformly Applied Development Policies and Standards:**

All applicable mitigation measures from the General Plan EIR, including the mitigation measures for impacts to recreation incorporated as goals and policies in the Rocklin General Plan, will be applied to the project. These serve as uniformly applied development policies and standards and/or as conditions of approval for this project to ensure consistency with the General Plan and compliance with City rules and regulations.

**Significance Conclusions:**

**a. and b. Increase Park Usage and Construction or Expansion of Recreational Facilities – *Less than Significant.*** The proposed retail commercial project is not anticipated to significantly increase the use of, or demand for, recreational facilities. The City of Rocklin provides parkland dedication and/or collection of park fees to mitigate for the increased recreational impacts of new residential developments at the time that a parcel or subdivision map is recorded. Retail commercial projects are intended to offer places of employment and do not necessarily afford recreational opportunities for employees. However, it is recognized that some non-residential projects incorporate a recreational component into their project design (the proposed project does not), and employees of non-residential projects could utilize City recreational facilities during breaks and lunches. This minimal use by employees is not anticipated to significantly increase the use of existing facilities to the extent that substantial physical deterioration of the facility would occur or be accelerated, nor is the minimal use by employees anticipated to require the construction or expansion of recreational facilities; therefore, the project would have less than significant impacts regarding the increase in use of recreational facilities.

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<b>XVI.</b> <u>TRANSPORTATION/TRAFFIC</u> <b>Would the project:</b>	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
a) Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways, freeways, pedestrian and bicycle paths, and mass transit)?			<b>X</b>		
b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?				<b>X</b>	
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?				<b>X</b>	
d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?			<b>X</b>		
e) Result in inadequate emergency access?			<b>X</b>		
f) Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?			<b>X</b>		

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**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

As discussed below, the proposed project is anticipated to cause increases in traffic because an undeveloped site will become developed, but not to a degree that would significantly affect level of service (LOS) standards.

**Prior Environmental Review:**

As a “program EIR” under CEQA Guidelines section 15168, the General Plan EIR analyzed the anticipated impacts on transportation that would occur as a result of the future urban development that was contemplated by the General Plan. These impacts included signalized intersections in Rocklin, Loomis, Roseville, Lincoln and Placer County, state/interstate highway segments and intersections, transit service, bicycle and pedestrian facilities, and conflicts with at-grade railways (City of Rocklin General Plan Update Draft EIR, 2011, pages 4.4-1 through 4.4-98).

Mitigation measures to address these impacts are incorporated into the General Plan in the Circulation Element, and include policies that require the monitoring of traffic on City streets to determine improvements needed to maintain an acceptable level of service, updating the City’s Capital Improvement Program (CIP) and traffic impact fees, providing for inflationary adjustments to the City’s traffic impact fees, maintaining a minimum level of service (LOS) of “C” for all signalized intersections during the PM peak period on an average weekday, maintaining street design standards, and interconnecting traffic signals and consideration of the use of roundabouts where financially feasible and warranted to provide flexibility in controlling traffic movements at intersections.

The General Plan EIR concluded that, despite these goals and policies, significant transportation impacts will occur as a result of development under the General Plan and further, that these impacts cannot be reduced to a less than significant level. Specifically, the General Plan EIR found that buildout of the Rocklin General Plan will result in increased traffic volumes at state/interstate highway intersections and impacts to state/interstate highway segments. Findings of fact and a statement of overriding consideration were adopted by the Rocklin City Council in regard to these impacts, which were found to be significant and unavoidable.

**Mitigation Measures from Uniformly Applied Development Policies and Standards:**

All applicable policies and standards, including the mitigation measures addressing impacts of urban development under the General Plan on utility and service systems incorporated as goals and policies in the General Plan, will be applied to the project. These serve as uniformly applied development policies and standards and/or as conditions of approval for the project to ensure consistency with the General Plan and compliance with City rules and regulations.

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**Project-Level Environmental Analysis:**

The firm of Abrams Associates Traffic Engineering, Inc., a California consulting firm with recognized expertise in transportation, prepared a traffic impact analysis of the proposed project. Their report, dated June 27, 2017 is available for review during normal business hours at the City of Rocklin Planning Department, 3970 Rocklin Road, Rocklin, CA, and is incorporated into this Mitigated Negative Declaration by this reference. City staff has reviewed the documentation and is also aware that Abrams Associates Traffic Engineering, Inc. has a professional reputation that makes its conclusions presumptively credible and prepared in good faith. Based on its review of the analysis and these other considerations, City staff accepts the conclusions in the Abrams Associates Traffic Engineering, Inc. report, which is summarized below.

**Daily Trip Generation**

Development of the project site has been assumed in previous city-wide traffic analyses such as the General Plan Update (2011); the project site was designated as a Retail Commercial land use when the General Plan Update traffic analysis was completed; therefore the vehicle trips generated by the proposed retail commercial project are consistent with the number of trips that were assumed at the time of the General Plan EIR analysis.

An estimate of the proposed project’s daily and p.m. peak hour trip generation has been made based on trip generation rates derived from the Institute of Traffic Engineers (ITE) 9<sup>th</sup> Edition Trip Generation Manual. The table below identifies the resulting trip generation estimates for the proposed project. As shown, the proposed retail commercial project would generate 4,396 daily trips, with 299 trips occurring during the p.m. peak hour and 266 trips occurring during the a.m. peak hour.

PROJECT TRIP GENERATION								
Land Use Category	Size	ADT	AM Peak Hour			PM Peak Hour		
			In	Out	Total	In	Out	Total
Tire Store	10,224 sq. ft.	399	19	11	30	18	24	42
High Turnover Sit Down Restaurant	6,602 sq. ft.	478	22	18	40	23	14	36
Fast Food Restaurants with Drive Throughs	9,595 sq. ft.	2,428	83	80	163	83	77	160
Fast Food Restaurants without Drive Throughs	3,600 sq. ft.	1,018	19	13	32	27	27	54
General Retail	2,568 sq. ft.	73	1	0	1	3	3	6
<b>Net New Project Trips</b>		<b>4,396</b>	<b>144</b>	<b>122</b>	<b>266</b>	<b>154</b>	<b>145</b>	<b>299</b>
Source: Sierra College Boulevard Commercial Project Transportation Impact Analysis, Abrams Associates Traffic Engineering, Inc., June 27, 2017								

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Current Background Traffic Conditions

Access to the project site will be from Sierra College Boulevard at Schriber Way which is proposed by the project to include a new signalized intersection. In the future the project will also have access to Dominguez Road through the adjacent Lifehouse Church property. Sierra College is a four to five lane arterial street that runs in a north-south direction from Rocklin's border with Roseville to the border with Loomis providing access to commercial and residential areas. Sierra College Boulevard is designated as a truck route.

Intersections were analyzed using a modified Circular 212 methodology at City of Rocklin intersections and a Highway Capacity Manual methodology at freeway ramp intersections. The table below identifies current intersection Levels of Service (LOS) at the five study locations (Granite Drive/Sierra College Boulevard, Commons Drive/I-80/Sierra College Boulevard, Crossings Drive/I-80/Sierra College Boulevard, Schriber Way/Sierra College Boulevard, and Dominguez Road/Sierra College Boulevard). As shown, the overall LOS at each intersection is LOS B or greater for both AM and PM peak hours, which meets the City's minimum LOS C PM peak hour standard.

EXISTING PEAK HOUR INTERSECTION LEVELS OF SERVICE							
Intersection	Control	Time Period					
		AM Peak Hour (7:00-9:00 AM)			PM Peak Hour (4:00-6:00 PM)		
		LOS	Volume/ Capacity	Average Delay (sec/veh)	LOS	Volume/ Capacity	Average Delay (sec/veh)
Granite Dr/Sierra College Blvd	Signal	A	0.58	-	A	0.57	-
Commons Dr/I-80 WB Ramps/ Sierra College Blvd	Signal	B	-	10.7	B	17.5	-
Crossings Dr/I-80 EB Ramps/ Sierra College Blvd	Signal	B	-	14.5	B	-	12.6
Schriber Way/Sierra College Blvd	WB Stop	A	-	0.1	A	-	0.2
Overall WB right turn		B	-	11.1	B	-	13.8
Dominguez Rd/Sierra College Blvd	Signal	A	0.37	-	A	0.32	-

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Existing Plus Project Traffic Conditions and Levels of Service

Project trips were superimposed onto the current background traffic volumes to create the “Existing Plus Project” condition, which is reflected in the table below.

EXISTING PLUS PROJECT PEAK HOUR INTERSECTION LEVELS OF SERVICE							
Intersection	Control	Existing			Existing Plus Project		
		LOS	Volume/ Capacity	Average Delay (sec/veh)	LOS	Volume/ Capacity	Average Delay (sec/veh)
AM Peak Hour (7:00 – 9:00 AM)							
Granite Dr./Sierra College Blvd.	Signal	A	0.58	-	A	0.59	-
Commons Dr./I-80 WB Ramps/ Sierra College Blvd.	Signal	B	-	10.7	B	-	10.8
Crossings Dr./I-80 EB Ramps/ Sierra College Blvd.	Signal	B	-	14.5	B	-	16.4
Schriber Way/Sierra College Blvd Overall	WB Stop (Signal with Project)	A	-	0.1	A	0.56	-
WB right turn		B	-	11.1			
Dominguez Rd/Sierra College Blvd	Signal	A	0.37	-	A	0.38	-
PM Peak Hour (4:00-6:00 PM)							
Granite Dr./Sierra College Blvd.	Signal	A	0.57	-	A	0.58	-
Commons Dr./I-80 WB Ramps/ Sierra College Blvd.	Signal	B	17.5	-	B	-	17.8
Crossings Dr./I-80 EB Ramps/ Sierra College Blvd.	Signal	B	-	12.6	B	-	14.5
Schriber Way/Sierra College Blvd Overall	WB Stop	A	-	0.2	A	0.46	-
WB right turn		B	-	13.8			
Dominguez Rd/Sierra College Blvd	Signal	A	0.32	-	A	0.33	-

As shown, the project does not result in any change to the AM or PM peak hours Level of Service at any location, though delay would increase slightly at some intersections. PM peak hour Levels of Service at each intersection will remain LOS A or B, which is within the adopted LOS C or better standard.

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Existing Plus Approved Projects Plus Project

The traffic impacts of the proposed project have also been considered within the context of future traffic conditions in this area of Rocklin assuming other approved but as yet unconstructed projects under an “Existing Plus Approved Projects (EPAP)” condition, which is reflected in the table below.

EXISTING PLUS APPROVED PROJECTS (EPAP) PLUS PROJECT PEAK HOUR INTERSECTION LEVELS OF SERVICE							
Intersection	Control	Existing Plus Approved Projects			EPAP Plus Project		
		LOS	Volume/ Capacity	Average Delay (sec/veh)	LOS	Volume/ Capacity	Average Delay (sec/veh)
AM Peak Hour (7:00 – 9:00 AM)							
Granite Dr./Sierra College Blvd.	Signal	C	0.76	-	C	0.77	-
Commons Dr./I-80 WB Ramps/ Sierra College Blvd.	Signal	B	-	13.6	B	-	13.8
Crossings Dr./I-80 EB Ramps/ Sierra College Blvd.	Signal	B	-	17.7	C	-	20.2
Schriber Way/Sierra College Blvd Overall WB right turn	WB Stop (Signal with Project)	A B	- -	1.0 13.8	B	0.54	-
Dominguez Rd/Sierra College Blvd	Signal	A	0.43	-	A	0.44	-
PM Peak Hour (4:00-6:00 PM)							
Granite Dr./Sierra College Blvd.	Signal	<b>D</b>	<b>0.88</b>	-	<b>D</b>	<b>0.89</b>	-
Commons Dr./I-80 WB Ramps/ Sierra College Blvd.	Signal	C	-	24.7	C	-	25.1
Crossings Dr./I-80 EB Ramps/ Sierra College Blvd.	Signal	C	-	21.1	C	-	24.7
Schriber Way/Sierra College Blvd Overall WB right turn	WB Stop (Signal with Project)	A C	- -	1.9 23.7	A	0.52	-
Dominguez Rd/Sierra College Blvd	Signal	A	0.47	-	A	0.46	A
<b>Bold</b> indicates conditions in excess of adopted minimum LOS standard							

As shown above, the project would result in the Level of Service in the PM peak hour dropping below LOS C in the existing plus approved projects condition with and without the Rocklin Station project only at the intersection at Granite Drive and Sierra College Boulevard. Levels of Service at each other intersection in the PM peak hour will remain above the adopted minimum standard (i.e., LOS C or better).

Because the LOS D condition at the Granite Drive and Sierra College Boulevard intersection exceeds the City’s LOS C standard with and without the project, the incremental change in average delay is the measure used to determine significance. In this case, the incremental change in volume per capacity resulting from the project is 0.01, which is less than the 0.05 increment permitted under current City guidelines. Thus the project’s impact at this intersection is less than significant and no mitigation is required.

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Future (Cumulative Year 2030) Traffic Conditions

Information from the General Plan EIR City of Rocklin 2030 Travel Demand Model has been employed to identify long term traffic conditions in the project vicinity. The table below compares cumulative AM and PM peak hour Levels of Service at study area intersections with and without the proposed project.

CUMULATIVE PLUS PROJECT PEAK HOUR INTERSECTION LEVELS OF SERVICE							
Intersection	Control	Cumulative Base			Cumulative with Project		
		LOS	Volume/ Capacity	Average Delay (sec/veh)	LOS	Volume/ Capacity	Average Delay (sec/veh)
<b>AM Peak Hour (7:00 – 9:00 AM)</b>							
Granite Dr./Sierra College Blvd.	Signal	C	0.71	-	C	0.72	-
Commons Dr./I-80 WB Ramps/ Sierra College Blvd.	Signal	B	-	14.7	B	-	15.2
Crossings Dr./I-80 EB Ramps/ Sierra College Blvd.	Signal	C	-	24.7	C	-	27.6
Schriber Way/Sierra College Blvd Overall	WB Stop (Signal with Project)	A	-	1.2	A	0.47	-
WB right turn		C	-	15.2			
Dominguez Rd/Sierra College Blvd	Signal	C	0.70	-	C	0.71	-
<b>PM Peak Hour (4:00-6:00 PM)</b>							
Granite Dr./Sierra College Blvd.	Signal	<b>D</b>	<b>0.85</b>	-	<b>D</b>	<b>0.86</b>	-
Commons Dr./I-80 WB Ramps/ Sierra College Blvd.	Signal	C	-	28.3	C	-	28.9
Crossings Dr./I-80 EB Ramps/ Sierra College Blvd.	Signal	C	-	27.5	C	-	34.6
Schriber Way/Sierra College Blvd Overall	WB Stop (Signal with Project)	A	-	3.7	A	0.44	-
WB right turn		<b>E</b>	-	<b>41.9</b>			
Dominguez Rd/Sierra College Blvd	Signal	C	0.71	-	C	0.72	-
<b>Bold</b> indicates conditions in excess of adopted minimum LOS standard							

As shown, the Granite Drive/Sierra College Boulevard intersection will not satisfy the minimum LOS C standard in the PM peak hour and is projected to operate at LOS D in the PM peak hour. If projected volumes do occur in the future, there is an interim solution that could be implemented prior to the planned/anticipated widening of Sierra College Boulevard to six lanes that would achieve LOS C in the PM peak hour. A modification to the Granite Drive/Sierra College Boulevard intersection without requiring widening of the intersection can be accomplished by restriping northbound Sierra College Boulevard to provide a second left turn lane onto Granite Drive and converting the right turn lane into a shared through right turn lane. Because the LOS D PM peak hour condition at the Granite Drive/Sierra College Boulevard intersection exceeds the City’s LOS C standard with and without the project, the incremental change in V/C ratio is the measure used to determine significance. In this case, the incremental

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change in V/C ratio resulting from the Rocklin Station project is 0.01 seconds, which is less than the 0.05 increment permitted under current City guidelines. Thus the project’s cumulative impact at this intersection is less than significant and no mitigation is required.

**Significance Conclusions:**

**a. Conflict with Performance of Circulation System – *Less than Significant Impact.*** As evidenced by the summary of the traffic impact analysis, although increases in delays at study intersections occur, capacity or level of service impacts from the proposed project are not anticipated. Because the above analysis has verified that the proposed project will not result in any significant traffic impacts more severe than those disclosed in the General Plan EIR, the City finds pursuant to CEQA Guidelines section 15168, subdivision (C) (4), that these cumulative “environmental effects of the [site-specific project] were covered in the program EIR.”

Vehicle Miles of Travel (VMT) is a transportation performance metric that is used as an input to air quality and noise analyses. VMT not only addresses the number of trips generated by a given land use, but also the length of those trips. By doing so, the placement of a given land use in proximity to complementary land uses, and available transit, walking and bicycling facilities are all considered. VMT can also be used to quantify the effects of proposed changes to a roadway network, transportation demand strategies, and investments in non-auto travel modes. VMT may be expressed in absolute numbers of as “per capita” rations, such as VMT per person, household, dwelling unit, employee, or service population (persons plus employees). For information purposes, the proposed Rocklin Station project is projected to generate approximately 15,114 Vehicle Miles of Travel on a daily basis.

The project will be conditioned to contribute its fair share to the cost of circulation improvements via the existing citywide traffic impact mitigation (TIM) fee program that would be applied as a uniformly applied development policy and standard. The traffic impact mitigation fee program is one of the various methods that the City of Rocklin uses for financing improvements identified in the Capital Improvement Program (CIP). The CIP, which is overseen by the City’s Public Services Department, is updated periodically to respond to changing conditions and to assure that growth in the City and surrounding jurisdictions does not degrade the level of service on the City’s roadways. The roadway improvements that are identified in the CIP in response to anticipated growth in population and development in the City are consistent with the City’s Circulation Element. The traffic impact fee program collects funds from new development in the City to finance a portion of the roadway improvements that result from traffic generated by the new development. Fees are calculated on a citywide basis, differentiated by type of development in relationship to their relative traffic impacts. The intent of the fee is to provide an equitable means of ensuring that future development contributes their fair share of roadway improvements, so that the City’s General Plan Circulation policies and quality of life can be maintained.

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*South Placer Regional Transportation Authority*

The South Placer Regional Transportation Authority (SPRTA) was formed through the establishment of a joint powers authority including the cities of Rocklin, Roseville and Lincoln, Placer County and the Placer County Transportation and Planning Agency in January 2002. SPRTA was formed for the implementation of fees to fund specialized regional transportation projects including planning, design, administration, environmental compliance, and construction costs. Regional transportation projects included in the SPRTA include Douglas Boulevard/Interstate 80 Interchange, Placer Parkway, Lincoln Bypass, Sierra College Boulevard Widening, State Route 65 Widening, Rocklin Road/Interstate 80 Interchange, Auburn Folsom Boulevard Widening, and Transit Projects. Similar to other members of SPRTA, the City of Rocklin has adopted a SPRTA fee for all development, and the proposed project would be subject to payment of such a fee.

*Highway 65 Interchange Improvement Fee*

The cities of Rocklin and Roseville and Placer County have established the “Bizz Johnson” Highway Interchange Joint Powers Authority that has adopted an interchange traffic fee on all new development within Rocklin, Roseville and affected portions of Placer County. The purpose of the fee is to finance four interchanges on State Route 65 to reduce the impact of increased traffic from local development; the proposed project would be subject to payment of such a fee.

The development of the proposed project would not result in project-specific significant effects as demonstrated by the summary of the project’s traffic impact analysis presented above. Payment of traffic impact fees as described above will reduce traffic impacts from the proposed project to a less than significant level.

**b. Conflict with Congestion Management Program – No Impact.** The City of Rocklin does not have an applicable congestion management program that has been established by a county congestion management agency for designated roads or highways; therefore there is no conflict with an applicable congestion management program impact.

**c. Air Traffic Levels – No Impact.** The proposed project is not anticipated to have any impacts on air traffic because it is not located near an airport or within a flight path. In addition, the proposed project will not result in a change in location of planned development that results in substantial safety risks. Therefore, there is no change in air traffic patterns impact.

**d. and e. Hazards and Emergency Access – Less than Significant Impact.** The proposed project is evaluated by the City’s Engineering Services Manager to assess such items as hazards due to a design feature or incompatible uses. In addition, the proposed project is evaluated by representatives of the City of Rocklin’s Fire and Police Departments to ensure that adequate

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emergency access is provided. Through these reviews and any required changes, there will be a less than significant hazard or emergency access impact.

**f. Alternative Modes of Transportation – Less Than Significant Impact.** The City of Rocklin seeks to promote the use of public transit through development conditions requiring park-and-ride lots, and bus turnouts. Bike lanes are typically required along arterial and collector streets. In the vicinity of the project there are existing Class II bike facilities along Sierra College Boulevard. The proposed project does not conflict with these bike lane locations or with other policies or programs promoting alternative transportation.

Transit service in the project vicinity is provided by Placer County Transit (PCT). Bus routes operate along Pacific Street, Rocklin Road, Sierra College Boulevard, Sierra Meadows Drive and Granite Drive, stopping at major destinations such as the Rocklin Commons Retail Center and the Sierra Community College campus. Other bus routes provide commuter express service to downtown Sacramento. The nearest bus stops to the project site are located at the Rocklin Commons and Crossings shopping centers. The project does not conflict with these bus route or stop locations or other policies or programs promoting alternative transportation.

The City of Rocklin’s Zoning Ordinance contains off-street parking requirements for different types of development projects. In the case of automotive repair shops, a minimum of five paved parking spaces per 1000 square feet shall be provided and in the case of restaurants, one a minimum of one paved parking space per each three fixed seats shall be provided. The proposed project requires 248 parking spaces and 274 are being provided. Therefore, an adequate parking supply is available.

The proposed project is evaluated by City staff to assess potential conflicts with adopted policies, plans or programs regarding public transit, bicycle and pedestrian facilities and whether proposed projects would decrease the performance or safety of such facilities. Through these reviews and any required changes, there will be a less than significant alternative modes of transportation impact.

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<b>XVII. TRIBAL CULTURAL RESOURCES</b> <b>Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:</b>	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
a) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or			<b>X</b>		
b) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code section 5024.1. In applying the criteria set for in subdivision (c) of Public Resource Code section 5024.1 the lead agency shall consider the significance of the resource to a California Native American tribe.			<b>X</b>		

**DISCUSSION OF DETERMINATION**

**Project Impacts:**

The project site does not contain any resources that are listed with the California Register of Historical Resources or that have been determined by the lead agency to have significance to a California Native American Tribe. Therefore no impacts to tribal cultural resources are anticipated.

**Prior Environmental Analysis:**

As a “program EIR” under CEQA Guidelines section 15168, the General Plan EIR analyzed the anticipated impacts that would occur to historical, cultural and paleontological resources within the Planning area as a result of the future urban development that was contemplated by the General Plan. These impacts included potential destruction or damage to any historical,

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cultural, and paleontological resources (City of Rocklin General Plan Update Draft EIR, 2011, pages 4.8-1 through 4.8-21). Mitigation measures to address these impacts are incorporated into the General Plan in the Land Use and Open Space, Recreation and Conservation Elements, and include goals and policies that encourage the preservation and protection of historical, cultural and paleontological resources and the proper treatment and handling of such resources when they are discovered.

The General Plan EIR concluded that despite these goals and policies, significant cultural resources impacts will occur as a result of development under the General Plan and further, that these impacts cannot be reduced to a less than significant level. Specifically, the General Plan EIR found that buildout of the Rocklin General Plan will contribute to cumulative impacts to historic character. Findings of fact and a statement of overriding considerations were adopted by the Rocklin City Council in regard to these impacts, which were found to be significant and unavoidable.

**Mitigation Measures from Uniformly Applied Development Policies and Standards:**

Historically significant structures and sites as well as the potential for the discovery of unknown archaeological or paleontological resources as a result of development activities are discussed in the Rocklin General Plan. Policies and mitigation measures have been included in the General Plan to encourage the preservation of historically significant known and unknown areas.

All applicable mitigation measures from the General Plan EIR, including the mitigation measures for cultural resources impacts incorporated as goals and policies in the General Plan, will be applied to the project. These serve as uniformly applied development policies and standards and/or as conditions of approval for this project to ensure consistency with the General Plan and compliance with City rules and regulations.

**Significance Conclusions:**

**a. and b. Tribal Cultural Resources –Less Than Significant Impact.** Per Assembly Bill 52 (AB-52, Gatto 2014), as of July 1, 2015 Public Resources Code Sections 21080.3.1 and 21080.3 require public agencies to consult with the Native American Heritage Commission (NAHC) and Native American tribes for the purpose of mitigating impacts to tribal cultural resources; that consultation process is described in part below:

Within 14 days of determining that an application for a project is complete or a decision by a public agency to undertake a project, the lead agency shall provide formal notification to the designated contact of, or a tribal representative of, traditionally and culturally affiliated California Native American tribes that have requested notice, which shall be accomplished by means of at least one written notification that includes a brief description of the proposed project and its location, the lead agency contact information, and a notification that the California Native American tribe has 30 days to

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request consultation pursuant to this section (Public Resources Code Section 21080.1 (d))

As of the writing of this document, the United Auburn Indian Community (UAIC), the Lone Band of Miwok Indians (IBMI) and the Torres Martinez Desert Cahuilla Indians (TMDCI) are the only tribes that are traditionally and culturally affiliated with the project area that have requested notification. Consistent with Public Resources Code (PRC) Section 21080.3.1 (d) and per AB-52, the City of Rocklin provided formal notification of the Rocklin Station project and the opportunity to consult on it to the designated contacts of the UAIC, IBMI and TMDCI in a letter received by those organizations on April 28, 2016, April 29, 2016 and June 6, 2016, respectively. The UAIC, IBMI and TMDCI had 30 days to request consultation on the project pursuant to AB-52 and no responses were received prior to May 28, 2016, May 29, 2016 and July 6, 2016, respectively, the end of the 30-day periods. As such, the City of Rocklin has complied with AB-52 and may proceed with the CEQA process for this project per PRC Section 21082.3 (d) (3). Given that the UAIC, IBMI and TMDCI did not submit a formal request for consultation on the proposed project within the required 30 day period, that no other tribes have submitted a formal request to receive notification from the City of Rocklin pursuant to PRC Section 21080.3.1, the project is not anticipated to cause a substantial adverse change in the significance of a Tribal Cultural Resource as defined in Public Resources Code Section 21074. Therefore, the project's impact on tribal cultural resources is considered less than significant.

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<b>XVIII.</b> <u>UTILITIES AND SERVICE SYSTEMS</u> <b>Would the project:</b>	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?			<b>X</b>		
b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?				<b>X</b>	
c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?				<b>X</b>	
d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?			<b>X</b>		
e) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?			<b>X</b>		
f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?			<b>X</b>		
g) Comply with federal, state, and local statutes and regulations related to solid waste?			<b>X</b>		

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**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

The proposed development and operation of a retail commercial center will increase the need for utility and service systems, but not to an extent that will impact the ability of the utility and service providers to adequately provide such services.

**Prior Environmental Review:**

As a “program EIR” under CEQA Guidelines section 15168, the General Plan EIR analyzed the anticipated impacts on utilities and service systems that would occur as a result of the future urban development that was contemplated by the General Plan. These impacts included increased generation of wastewater flow, provision of adequate wastewater treatment, increased demand for solid waste disposal, and increased demand for energy and communication services (City of Rocklin General Plan Update Draft EIR, 2011, pages 4.13-1 through 4.13-34). The analysis found that while development and buildout of the General Plan can result in utilities and service system impacts, these impacts would be reduced to a less than significant level through the application of General Plan goals and policies that would assist in minimizing or avoiding impacts to utilities and service systems.

These goals and policies include, but are not limited to, requiring studies of infrastructure needs, proportional share participation in the financial costs of public services and facilities, coordination of private development projects with public facilities and services needed to serve the project and encouraging energy conservation in new developments.

**Mitigation Measures from Uniformly Applied Development Policies and Standards:**

All applicable policies and standards, including the mitigation measures addressing impacts of urban development under the General Plan on utility and service systems incorporated as goals and policies in the General Plan, will be applied to the project. These serve as uniformly applied development policies and standards and/or as conditions of approval for this project to ensure consistency with the General Plan and compliance with City rules and regulations.

**Significance Conclusions:**

**a., b. and e. Exceed Wastewater Treatment Requirements, Exceed Wastewater Treatment Facility, Wastewater Capacity– *Less than Significant Impact.*** The proposed project site is located within the South Placer Municipal Utility District (SPMUD) service area for sewer. SPMUD has provided a letter regarding the proposed project indicating that the project is within their service area and eligible for service, provided that their condition requirements and standard specifications are met. SPMUD has a System Evaluation and Capacity Assurance Plan, which is periodically updated, to provide sewer to projects located within their service

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boundary. The plan includes future expansion as necessary. SPMUD collects participation fees to finance the maintenance and expansion of its facilities. The proposed project is responsible for complying with all requirements of SPMUD, including compliance with wastewater treatment standards established by the Central Valley Water Quality Control Board. The South Placer Wastewater Authority (SPWA) was created by the City of Roseville, Placer County and SPMUD to provide regional wastewater and recycled water facilities in southwestern Placer County. The regional facilities overseen by the SPWA include the Dry Creek and Pleasant Grove Wastewater Treatment Plants, both of which receive flows from SPMUD (and likewise from Rocklin). To project future regional wastewater needs, the SPWA prepared the *South Placer Regional Wastewater and Recycled Water Systems Evaluation* (Evaluation) in June 2007. The Evaluation indicates that as of June 2004, flows to both the wastewater treatment plants were below design flows. Both wastewater treatment plants are permitted discharges under the National Pollutant Discharge Elimination System (NPDES). Specifically, the Dry Creek Wastewater Treatment Plant (WWTP) is permitted to discharge an average dry weather flow not to exceed 18mgd, while the Pleasant Grove Wastewater Treatment Plant is permitted to discharge an average dry weather flow not to exceed 12 mgd. According to SPMUD, in 2016 the Dry Creek WWTP had an average dry weather inflow of 8.2 mgd, with SPMUD’s portion being 1.8 mgd, and the Pleasant Grove WWTP had an average dry weather inflow of 7.0 mgd, with Rocklin’s portion being 1.9 mgd. Consequently, both plants are well within their operating capacities and there remains adequate capacity to accommodate the projected wastewater flows from this project. Therefore, a less than significant wastewater treatment impact is anticipated.

**c. New Stormwater Facilities – Less than Significant Impact.** The proposed project would be conditioned to require connection into the City’s storm drain system, with Best Management Practices and/or Low Impact Development features located within the project’s drainage system at a point prior to where the project site runoff will enter the City’s storm drain system. Other than on-site improvements, new drainage facilities or expansion of existing facilities would not be required as a result of this project. Therefore, a less than significant stormwater facility impact is anticipated.

**d. Water Supplies – Less than Significant.** The proposed project is located within the Placer County Water Agency (PCWA) service area. The PCWA has a Master Plan, which is periodically updated, to provide water to projects located within their service boundary. The plan includes future expansion as necessary, and includes the option of constructing additional treatment plants. The PCWA collects hook-up fees to finance the maintenance and expansion of its facilities.

The PCWA service area is divided into five zones that provide treated and raw water to Colfax, Auburn, Loomis, Rocklin, Lincoln, small portion of Roseville, unincorporated areas of western Placer County, and a small community in Martis Valley near Truckee. The proposed project is located in Zone 1, which is the largest of the five zones. Zone 1 provides water service to

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Auburn, Bowman, Ophir, Newcastle, Penryn, Loomis, Rocklin, Lincoln, and portions of Granite Bay.

PCWA has planned for growth in the City of Rocklin and sized the water supply infrastructure to meet this growth (PCWA 2006). PCWA has provided a letter regarding the proposed project indicating that the project is within their service area and eligible for service upon execution of a facilities agreement and payment of all required fees and charges. The project site would be served by the Foothill WTP, which treats water diverted from the American River Pump Station near Auburn, and the proposed project’s estimated maximum daily water treatment demands would not exceed the plant’s permitted capacity. Because the proposed project would be served by a water treatment plant that has adequate capacity to meet the project’s projected demand and would not require the construction of a new water treatment plant, the proposed project’s water supply and treatment facility impacts would be considered less than significant.

**f. Landfill Capacity – *Less than Significant.*** The Western Regional landfill, which serves the Rocklin area, has a total capacity of 36 million cubic yards and a remaining capacity of 29 million cubic yards. The estimated closure date for the landfill is approximately 2036. Development of the project site with urban land uses was included in the lifespan and capacity calculations of the landfill, and a less than significant landfill capacity impact would be anticipated.

**g. Solid Waste Regulations – *Less than Significant Impact.*** Federal and State regulations regarding solid waste consist of the Federal Environmental Protection Agency regulations and the California Integrated Waste Management Act regulating waste reduction. These regulations primarily affect local agencies and other agencies such as the Landfill Authority. The proposed project will comply with all Federal, State, and local regulations regarding trash and waste and other nuisance-related issues as may be applicable. Recology would provide garbage collection services to the project site, provided their access requirements are met. Therefore, the project would comply with solid waste regulations and the impact would be less than significant.

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<b>XIX.</b> <u>MANDATORY FINDINGS OF SIGNIFICANCE</u>	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of an endangered, rare or threatened species or eliminate important examples of the major periods of California history or prehistory?		<b>X</b>			
b) Does the project have impacts that are limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probably future projects)?			<b>X</b>		
c) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?			<b>X</b>		

**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

The preceding analysis demonstrates that these effects will not occur as a consequence of the project. The construction and operation of the Rocklin Station project would be consistent with the Rocklin General Plan and the Rocklin General Plan EIR.

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**Significance Conclusions:**

**a. Degradation of Environment Quality – *Less than Significant with Mitigation.*** The proposed project site is mostly surrounded by developed land. Based on the project location and non-unique biological and cultural resources site characteristics as discussed above, the proposed project does not have the potential to: substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of an endangered, rare or threatened species, or eliminate important examples of the major periods of California history or prehistory. Although the proposed project could cause a significant effect on the environment, there will not be a significant effect in this case because of the project design and the application of the recommended mitigation measures and the City’s uniformly applied development policies and standards that will reduce the potential impacts to a less than significant level. Therefore, the project would have less than significant impacts.

**a. b. Cumulatively Considerable Impacts – *Less than Significant.*** Development in the South Placer region as a whole will contribute to regional air pollutant emissions, thereby delaying attainment of Federal and State air quality standards, regardless of development activity in the City of Rocklin and application of mitigation measures. As a result of this potential degradation of the quality of the environment, the General Plan EIR, which assumed the development of the proposed project site, determined that there would be significant and unavoidable cumulative air quality impacts. Because the proposed project is consistent with the project site’s land use and zoning designations, development of the proposed project represents the same vehicle trip generation and associated air quality and greenhouse gas emission impacts which were analyzed in the General Plan EIR. In addition, the project-specific air quality analysis discussed above demonstrated that the proposed project would have a less than significant cumulative air quality and greenhouse gas emissions impacts. Therefore, the project would have less than significant impacts.

Development in the City and the South Placer region as a whole will alter viewsheds as mixed urban development occurs on vacant land. In addition, new development will also generate new sources of light and glare; as a result, the General Plan EIR determined that there would be significant and unavoidable cumulative aesthetic impacts. Development of the proposed project represents conversion of the same vacant land area that was analyzed in the General Plan EIR. Therefore, the project would have less than significant impacts.

Development in the City and the South Placer region as a whole will result in cumulative, long-term impacts on biological resources (vegetation and wildlife), due to the introduction of domestic landscaping, homes, paved surfaces, and the relatively constant presence of people and pets, all of which negatively impact vegetation and wildlife habitat. As a result, the General Plan EIR, which assumed the development of the proposed project site, determined that there would be cumulative significant and unavoidable biological resource impacts, both at a project-

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specific Rocklin General Plan buildout level as it relates to biological resources solely within the City of Rocklin, as well as in the context of a cumulative contribution from Rocklin General Plan buildout as it relates to biological resources in the region. Development of the proposed project represents conversion of the same vacant land area that was analyzed in the General Plan EIR. Therefore, the project would have less than significant impacts.

Development in the City and the South Placer region as a whole will result in significant noise impacts as a result of the introduction of new noise sources and additional traffic and people. As a result, the General Plan EIR, which assumed the development of the proposed project site, determined that there would be significant and unavoidable cumulative noise impacts. Development of the proposed project represents conversion of the same land area that was analyzed in the General Plan EIR, but the proposed project represents the same vehicle trip generation which was analyzed in the General Plan EIR. In addition, the project-specific noise analysis discussed above demonstrated that the proposed would have a less than significant cumulative noise impact. Therefore, the project would have less than significant impacts.

Development in the City and the South Placer region as a whole will result in significant transportation/traffic impacts as a result of the creation of additional housing, employment and purchasing opportunities which generate vehicle trips. As a result, the General Plan EIR, which assumed the development of the proposed project site, determined that there would be significant and unavoidable cumulative transportation/traffic impacts. Development of the proposed project represents conversion of the same land area that was analyzed in the General Plan EIR, but the proposed project represents the same vehicle trip generation which was analyzed in the General Plan EIR. Therefore, the project would have less than significant impacts.

The approval of the proposed project would not result in any new impacts that are limited, but cumulatively considerable, that are not already disclosed in the previously prepared environmental documents cited in this report. Therefore, the project would have less than significant impacts.

**c. Adverse Effects to Humans – *Less than Significant.***

Because the development of the proposed project represents conversion of the same land area that was analyzed in the General Plan EIR, the proposed project would not have environmental effects that would cause substantial adverse effect on human beings, either directly or indirectly beyond those that were previously identified in the General Plan EIR. Therefore, the project would have less than significant impacts.

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## Section 5. References

Abrams Associates Traffic Engineering, Inc., Transportation Impact Analysis Sierra College Boulevard Commercial Project, City of Rocklin, June 27, 2017

City of Rocklin General Plan, October 2012

City of Rocklin General Plan, Final Environmental Impact Report, August 2012

City of Rocklin General Plan, Draft Environmental Impact Report, August 2011

City of Rocklin Zoning Ordinance, Title 17 of the Rocklin Municipal Code

City of Rocklin Design Review Guidelines

LSA Associates, Inc., Biological Resources Evaluation 4660 Sierra College Boulevard Project, Placer County, Rocklin, California, June 2017

LSA Associates, Inc., Greenhouse Gas Analysis for 4660 Sierra College Boulevard, Rocklin, California, June 27, 2017

LSA Associates, Inc., Cultural Resources Study, 4660 Sierra College Boulevard Project, Rocklin, Placer County, California, December 2015

LSA Associates, Inc., Noise Impact Analysis, 4660 Sierra College Boulevard Commercial Project, City of Rocklin, California, February 2017

Traverso Tree Service, Oak Tree Preservation Plan Permit for 4660 Sierra College Boulevard, Rocklin, June 1, 2016

Traverso Tree Service, Updated Oak Tree Preservation Plan for Rocklin Station, Rocklin, June 23, 2017

### Attachments

- Attachment A – Project Vicinity Map
- Attachment B – Project Site Plan

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**MITIGATED NEGATIVE DECLARATION OF ENVIRONMENTAL IMPACT**

**ROCKLIN STATION**

**(DR2016-0006, DL2016-0003, U2016-0005 and TRE2016-0003)**

**Project Name and Description**

The Rocklin Station project proposes the construction of a retail commercial center on an approximately 6.64 +/- acre site in the City of Rocklin. This project will require Design Review, Tentative Parcel Map, Conditional Use Permit and Oak Tree Preservation Permit entitlements. For more detail please refer to the Project Description set forth in Section 3 of this Initial Study.

**Project Location**

The project site is generally located on the southwest corner of Sierra College Boulevard and Interstate 8, in the City of Rocklin. The Assessor’s Parcel Numbers are 010-010-016, -017, -028, -029, and 010-040-040.

**Project Proponent’s Name**

The applicant is Thomas Sierra, LLC and the property owner is Thomas Sierra, LLC.

**Basis for Mitigated Negative Declaration Determination**

The City of Rocklin finds that as originally submitted the proposed project could have a significant effect on the environment. However, revisions in the project have been made by or agreed to by the project proponent, which will avoid these effects or mitigate these effects to a point where clearly no significant effect will occur. Therefore a MITIGATED NEGATIVE DECLARATION has been prepared. The Initial Study supporting the finding stated above and describing the mitigation measures including in the project is incorporated herein by this reference. This determination is based upon the criteria of the Guidelines of the State Secretary of Resources Section 15064 – Determining the Significance of the Environmental Effects Caused by a Project, Section 15065 – Mandatory Findings of Significance, and 15070 – Decision to Prepare a Negative Declaration or Mitigated Negative Declaration, and the mitigation measures described in the Mitigation Monitoring Plan for this Project.

**Date Circulated for Review:** July 6, 2017

**Date Adopted:** \_\_\_\_\_

**Signature:** \_\_\_\_\_  
Marc Mondell, Economic and Community Development Department Director

**MITIGATION MONITORING PROGRAM  
Rocklin Station  
(DR2016-0006, DL2016-0003, U2016-0005 and TRE2016-0003)**

The California Environmental Quality Act (CEQA, Public Resources Code Section 21000 et seq., as amended by Chapter 1232) requires all lead agencies before approving a proposed project to adopt a reporting and monitoring program for adopted or required changes to mitigate or avoid significant environmental effects. The reporting or monitoring program shall be designed to ensure compliance during project implementation as required by AB 3180 (Cortese) effective on January 1, 1989 and Public Resources Code Section 21081.6. This law requires the lead agency responsible for the certification of an environmental impact report or adoption of a mitigated negative declaration to prepare and approve a program to both monitor all mitigation measures and prepare and approve a report on the progress of the implementation of those measures.

The responsibility for monitoring assignments is based upon the expertise or authority of the person(s) assigned to monitor the specific activity. The City of Rocklin Community Development Director or his designee shall monitor to assure compliance and timely monitoring and reporting of all aspects of the mitigation monitoring program.

The Mitigation Monitoring Plan identifies the mitigation measures associated with the project and identifies the monitoring activities required to ensure their implementation through the use of a table format. The columns identify Mitigation Measure, Implementation and Monitoring responsibilities. Implementation responsibility is when the project through the development stages is checked to ensure that the measures are included prior to the actual construction of the project such as: Final Map (FM), Improvement Plans (IP), and Building Permits (BP). Monitoring responsibility identifies the department responsible for monitoring the mitigation implementation such as: Economic and Community Development (ECDD), Public Services (PS), Community Facilities (CFD), Police (PD), and Fire Departments (FD).

The following table presents the Mitigation Monitoring Plan with the Mitigation Measures, Implementation, and Monitoring responsibilities. After the table is a general Mitigation Monitoring Report Form, which will be used as the principal reporting form for this, monitoring program. Each mitigation measure will be listed on the form and provided to the responsible department.

Revisions in the project plans and/or proposal have been made and/or agreed to by the applicant prior to this Negative Declaration being released for public review which will avoid the effects or mitigate those effects to a point where clearly no significant effects will occur. There is no substantial evidence before the City of Rocklin that the project as revised may have a significant effect on the environment, pursuant to CEQA Guidelines, Section 15070. These mitigation measures are as follows:

**MITIGATION MEASURES:****Biological Resources:**

To address the potential impacts to nesting raptors and migratory birds, the following mitigation measure, agreed to by the applicant, is being applied to the project:

*IV.-1 The applicant/developer shall attempt to time the removal of potential nesting habitat for raptors and migratory birds to avoid the nesting season (February - August).*

*If tree and vegetation removal and/or project grading or activities occur during the nesting season for raptors and migratory birds (February-August), the developer and/or contractor shall hire a qualified biologist approved by the City to conduct pre-construction surveys no more than 14 days prior to initiation of tree and vegetation removal activities. The survey shall cover all areas of suitable nesting habitat within 500 feet of project activity and shall be valid for one construction season. Prior to the start of tree and vegetation removal activities, documentation of the survey shall be provided to the City of Rocklin Public Services Department and if the survey results are negative, no further mitigation is required and necessary structure removal may proceed. If there is a break in demolition activity of more than 14 days, then subsequent surveys shall be conducted.*

*If the survey results are positive (active nests are found), impacts shall be avoided by the establishment of appropriate buffers. The biologist shall consult with the California Department of Fish and Wildlife (CDFW) and the City to determine the size of an appropriate buffer area (CDFW guidelines recommend implementation of 500-foot buffers). Monitoring of the nest by a qualified biologist may be required if the activity has the potential to adversely affect an active nest.*

*If construction activities are scheduled to occur during the non-breeding season (September-January), a survey is not required and no further studies are necessary.*

**IMPLEMENTATION:**

Prior to the start of grading or construction activities to occur within the nesting season, the applicant shall submit documentation of a survey for nesting raptors and migratory to the City's Public Services and Economic and Community Development Departments. If the survey results are negative, no further mitigation is required. If the survey results are positive, the biologist shall consult with the City and the California Department of Fish and Wildlife as detailed above.

**RESPONSIBILITY**

Applicant/Developer

City of Rocklin Public Services Department

City of Rocklin Economic and Community Development Department

California Department of Fish and Wildlife

Page 2 of

Mitigated Negative Declaration/Mitigation Monitoring Program

Reso No.

**MITIGATION MEASURES:****Biological Resources:**

To ensure protection of the elderberry shrub and VELB habitat during construction activities, the following mitigation measure, agreed to by the applicant, is being applied to the project:

*IV-2. The applicant/developer shall implement the following avoidance measures during construction activities.*

- 1. The area around the elderberry shrub to be avoided during construction activities will be fenced and/or flagged as close to construction limits as feasible.*
- 2. Where feasible, ground disturbing activities will not encroach within 20 feet from the dripline of an elderberry shrub.*
- 3. A qualified biologist will provide training for all contractors, work crews, and any onsite personnel on the status of the VELB, its host plant and habitat, the need to avoid damaging the elderberry shrub, and the possible penalties for noncompliance.*
- 4. A qualified biologist will monitor the work area at project appropriate intervals to assure that all avoidance and minimization measures are implemented.*
- 5. As feasible, all activities that could occur within 165 feet of an elderberry shrub will be conducted outside of the flight season of the VELB (March - July).*
- 6. Trimming, if required (unlikely due to the declining health of the elderberry shrub) will occur between November and February and will avoid the removal of any branches or stems that are  $\geq 1$  inch in diameter. Measures to address regular and/or large scale maintenance (trimming), if necessary, should be established in consultation with the USFWS.*
- 7. Herbicides will not be used within the drip-line of the elderberry shrub. Insecticides will not be used within 30 meters (98 feet) of an elderberry shrub. All chemicals will be applied using a backpack sprayer or similar direct application method.*
- 8. Mechanical weed removal within the drip-line of the shrub will be limited to the season when adults are not active (August - February) and will avoid damaging the elderberry shrub.*

**IMPLEMENTATION:**

Prior to any grading or construction activity and during construction activities, the applicant/developer shall follow and comply with all procedures to protect the VELB shrub as specifically noted in the mitigation measure.

**RESPONSIBILITY**

Applicant/Developer

City of Rocklin Economic and Community Development Department

**MITIGATION MEASURES:****Biological Resources:**

To address the potential impacts to waters of the U.S. and riparian habitat, the following mitigation measure, agreed to by the applicant, is being applied to the project:

*IV.-3 Prior to any grading or construction activities, the appropriate Section 404 permit will need to be acquired for any project-related impacts to waters of the U.S. Any waters of the U.S. that would be lost or disturbed should be replaced or rehabilitated on a “no-net-loss” basis in accordance with the Corps’ mitigation guidelines. Habitat restoration, rehabilitation, and/or replacement should be at a location and by methods agreeable to the Corps. In association with the Section 404 permit and prior to the issuance of improvement plans, a Section 401 water quality certification from the Regional Water Quality Control Board and a USFWS Biological Opinion (if determined necessary) shall be obtained. All terms and conditions of said permits shall be complied with.*

*For potential impacts to riparian habitat, the project may be required to obtain a Section 1600 Streambed Alteration Agreement (SAA) from the California Department of Fish and Wildlife. If it is determined that a SAA is required, the applicant shall obtain one and all terms and conditions of the SAA shall be complied with.*

*Prior to any grading or construction activities, the applicant shall submit documentation to the Public Services Department that they have obtained an Army Corps of Engineers Section 404 permit, a Regional Water Quality Control Board Section 401 water quality certification, and if applicable, a United States Fish and Wildlife Service Biological Opinion and a California Department of Fish and Wildlife Section 1600 Streambed Alteration Agreement. The applicant shall also demonstrate to the Public Services Department that they have implemented habitat restoration, rehabilitation, and/or replacement as stipulated in their Section 404 permit. The applicant shall also demonstrate to the Public Services Department how they have, or intend to, comply with the terms and conditions of the Section 404 permit, the Section 401 water quality certification, and if applicable, the Biological Opinion and Section 1600 Streambed Alteration Agreement.*

**IMPLEMENTATION:**

Prior to any grading or construction activities, the applicant shall submit documentation to the City of Rocklin Economic and Community Development Department and Public Services Department that they have obtained an Army Corps of Engineers Section 404 permit, a Regional Water Quality Control Board Section 401 water quality certification and if applicable, a CDFW Streambed Alteration Agreement and a USFWS Biological Opinion. The applicant shall also demonstrate that they have implemented habitat restoration, rehabilitation, and/or replacement as stipulated in their Section 404 permit. The applicant shall also demonstrate how they have complied with the terms and conditions of the Section 404 permit, the Section

401 water quality certification, and if applicable, the CDFW Streambed Alteration Agreement and a Biological Opinion.

**RESPONSIBILITY**

Applicant/Developer

City of Rocklin Economic and Community Development Department

City of Rocklin Public Services Department

U.S. Army Corps of Engineers

U.S. Fish and Wildlife Service

Regional Water Quality Control Board

California Department of Fish and Wildlife

**MITIGATION MEASURES:**

**Biological Resources:**

To compensate for the removal of the oak trees on the project site, the following mitigation measure, agreed to by the applicant, is being applied to the project:

*IV.-4 Prior to the issuance of improvement plans or grading permits, the applicant shall:*

*d) Clearly indicate on the construction documents that oak trees not scheduled for removal will be protected from construction activities in compliance with the pertinent sections of the City of Rocklin Oak Tree Preservation Ordinance.*

*e) To mitigate for the removal of oak trees on the project site, the project arborist shall provide the following information:*

- The total number of surveyed oak trees;*
- The total number of oak trees to be removed;*
- The total number of oak trees to be removed because they are sick or dying, and*
- The total, in inches, of the trunk diameters at breast height (TDBH) of all surveyed oak trees on the site in each of these categories.*

*f) The applicant shall pay a fee to be deposited into the City of Rocklin Tree Preservation Fund. Payments shall be calculated using the following formula:*

*Step 1: Trunk Diameter at Breast Height (TDBH) of all Surveyed Trees on the Site X 20% = Discount Diameter;*

*Step 2: TDBH of all Surveyed Trees on the Site to be Removed – Discount Diameter = Total Number of Inches of TDBH of Replacement Trees Required, and*

*Step 3: The applicant shall pay a fee of \$48 per inch of TDBH of Replacement Trees Required. Such payments shall be made prior to the issuance of improvement plans or grading permits, with review and approval by the Economic and Community Development Director.*

**IMPLEMENTATION:**

Prior to any grading or construction activity, the applicant/developer shall prepare, subject to approval by the City’s Community Development Director, an oak tree mitigation plan which incorporates the steps noted above, including payment of necessary fees into the City’s Oak Tree Mitigation Fund.

**RESPONSIBILITY**

Applicant/Developer  
 City of Rocklin Economic and Community Development Department

**MITIGATION MEASURES:****Cultural Resources:**

To address the potential of impacts to known cultural resources and the potential discovery of unknown cultural resources, the following mitigation measure, agreed to by the applicant, is being applied to the project:

*V.-1 If an inadvertent discovery of cultural materials (e.g., unusual amounts of shell, charcoal, animal bone, bottle glass, ceramics, burned soil, structure/building remains) is made during project-related construction activities, ground disturbances in the area of the find shall be halted and a qualified professional archaeologist, the Environmental Services Manager and the Native American Heritage Commission shall be notified regarding the discovery. The archaeologist shall determine whether the resource is potentially significant as per CEQA (i.e., whether it is a historical resource, a unique archaeological resource, or a unique paleontological resource) and shall develop specific measures to ensure preservation of the resource or to mitigate impacts to the resource if it cannot feasibly be preserved in light of costs, logistics, technological considerations, the location of the find, and the extent to which avoidance and/or preservation of the find is consistent or inconsistent with the design and objectives of the project. Specific measures for significant or potentially significant resources would include, but are not necessarily limited to, preservation in place, in-field documentation, archival research, subsurface testing, and excavation. The specific type of measure necessary would be determined according to evidence indicating degrees of resource integrity, spatial and temporal extent, and cultural associations, and would be developed in a manner consistent with CEQA guidelines for preserving or otherwise mitigating impacts to archaeological and cultural artifacts.*

*In the event of the accidental discovery or recognition of any human remains, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains, until compliance with the provisions of Sections 15064.5 (e)(1) and (2) of the CEQA Guidelines, as well as Public Resources Code Section 5097.98, has occurred. If any human remains are discovered, all work shall stop in the immediate vicinity of the find and the County Coroner shall be notified, according to Section 7050.5 of the California Health and Safety Code. The City's Environmental Services Manager shall also be notified. If the remains are Native American, the Coroner will notify the Native American Heritage Commission, which in turn will inform a most likely descendant. The descendant will then recommend to the landowner appropriate disposition of the remains and any grave goods, and the landowner shall comply with the requirements of AB2641 (2006).*

**IMPLEMENTATION:**

If evidence of undocumented cultural resources is discovered during grading or construction operations, ground disturbance in the area shall be halted and a qualified professional archaeologist, the City's Environmental Services Manager and the Native American Heritage

Commission shall be notified regarding the discovery. Other procedures as specifically noted in the mitigation measure shall also be followed and complied with.

**RESPONSIBILITY**

Applicant/Developer

City of Rocklin Public Services Department (Environmental Services Manager)

City of Rocklin Economic and Community Development Department

Native American Heritage Commission

**MITIGATION MONITORING REPORT FORMS**

**Project Title:**

**Mitigation Measures:**

**Completion Date:** (Insert date or time period that mitigation measures were completed)

**Responsible Person:**

\_\_\_\_\_  
*(Insert name and title)*

**Monitoring/Reporting:**

\_\_\_\_\_  
Community Development Director

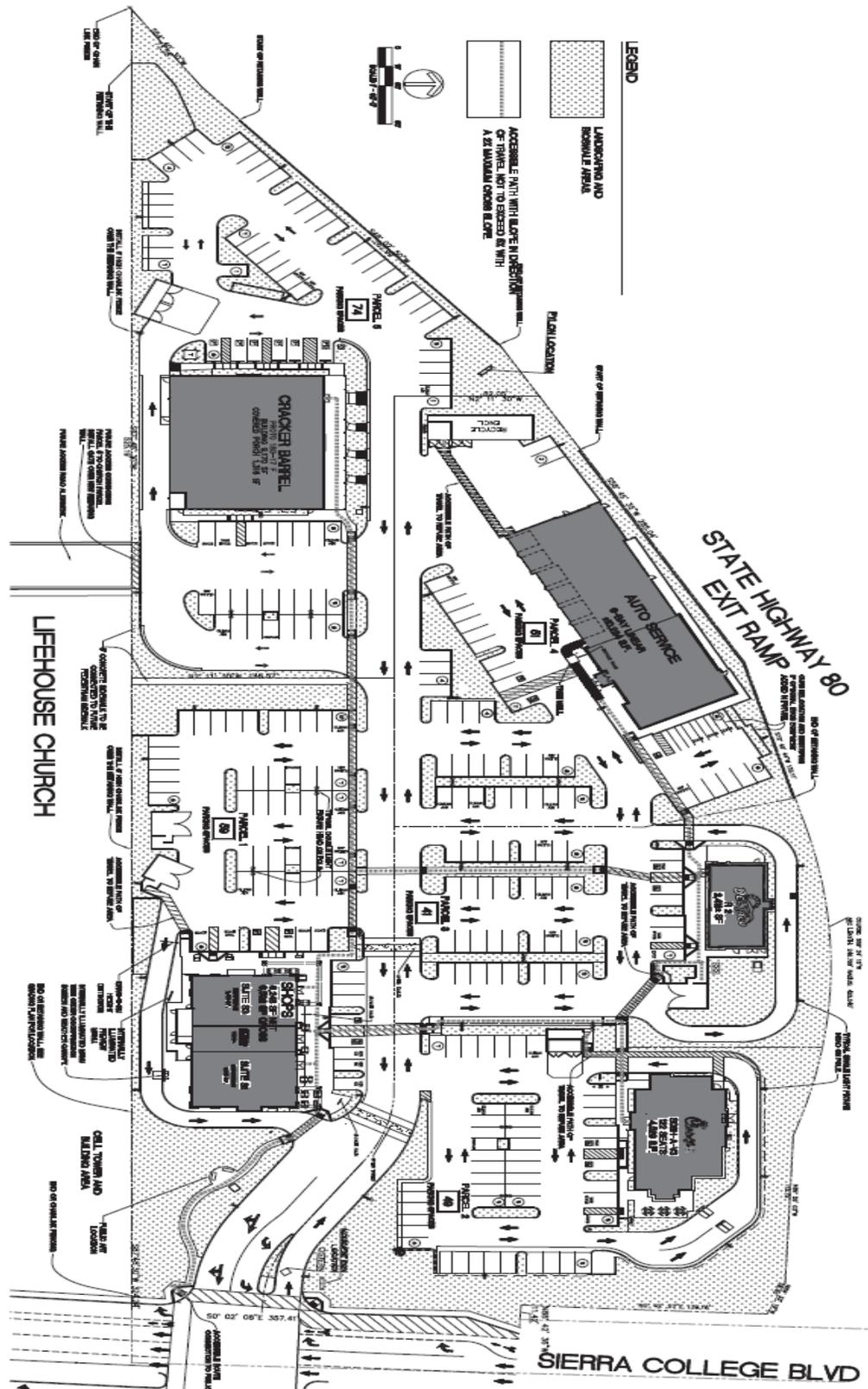
**Effectiveness Comments:**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

ATTACHMENT A – PROJECT VICINITY MAP



### ATTACHMENT B – PROJECT SITE PLAN



PLANNING COMMISSION RESOLUTION PC-2017-  
RESOLUTION OF THE PLANNING COMMISSION  
OF THE CITY OF ROCKLIN APPROVING A DESIGN REVIEW AND AN OAK TREE  
PRESERVATION PLAN PERMIT

(Rocklin Station / DR2016-0006/TRE2016-0003)

The Planning Commission of the City of Rocklin does resolve as follows:

Section 1. The Planning Commission of the City of Rocklin finds and determines that:

A. Design Review and an oak tree preservation plan permit (DR2016-0006/TRE2016-0003) approves the development of a retail commercial center consisting of five buildings totaling approximately 36,688 square feet, including the site design, landscaping, and architecture on an approximately 6.6 acre site and allows the removal of 209 oak trees. Assessor's Parcel Numbers 045-052-015, -019, -020, and -021.

B. A Mitigated Negative Declaration has been approved for this Project via Planning Resolution No. PC-2017-    .

C. The design of the site is compatible with surrounding development, natural features and constraints.

D. The height, bulk, area, color scheme and materials of the buildings and structures are compatible with surrounding development.

E. The buildings and structures have been oriented with consideration given to minimizing energy consumption and maximizing use of natural lighting.

F. Adverse light and glare impacts upon adjoining properties have been eliminated or reduced to a less than significant level by consideration and modification of the location and height of light standards, orientation of exterior lighting fixtures, and conditioning the project to use light fixtures that will direct light downward.

G. The dimensions, placement, and design of the signs are compatible with the proposed buildings and structures and the surrounding development and environment.

H. The landscaping design is compatible with surrounding development and has been designed with provisions for minimizing water usage and maintenance needs.

I. The parking design, including ingress and egress traffic patterns, is compatible with the surrounding development and the public street patterns.

J. The design of the site and buildings or structures is consistent with the goals, policies, and land use designations in the General Plan and with all zoning standards, regulations, and restrictions applicable to the property.

Section 2. The Design Review for the (Rocklin Station / DR2016-0006/TRE2016-0003) as depicted in Exhibits A, B and C, attached hereto and by this reference incorporated herein, is hereby approved subject to the conditions listed below. Unless expressly stated otherwise, the applicant is solely responsible for satisfying each condition prior to occupancy of the structure. The approved Exhibits A, B and C shall govern the design and construction of the project. Any condition directly addressing an element incorporated into Exhibits A, B and C shall be controlling and shall modify Exhibits A, B and C. All other plans, specifications, details, and information contained within Exhibits A, B and C shall be specifically applicable to the project and shall be construed as if directly stated within the condition for approval. Unless expressly stated otherwise, the applicant is solely responsible for satisfying each condition prior to issuance of the building permit. The agency and / or City department(s) responsible for ensuring implementation of each condition is indicated in parenthesis with each condition.

A. Notice to Applicant of Fees & Exaction Appeal Period

The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code §66020(d), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations, and other exactions.

The applicant is hereby notified that the 90-day protest period, commencing from the date of approval of the project, has begun. If the applicant fails to file a protest regarding any of the fees, dedication requirements, reservation requirements or other exaction contained in this notice, complying with all the requirements of Government Code §66020, the applicant will be legally barred from later challenging such exactions.

B. Conditions

1. Utilities

- a. All utilities, including but not limited to water, sewer, telephone, gas, electricity, and conduit for cable television shall be provided to the project in compliance with all-applicable standards and requirements of the applicable provider. (APPLICABLE UTILITY)

- b. The applicant shall install un-painted, split face CMU masonry trash enclosures with decorative masonry caps and solid metal gates, to the satisfaction of the Economic and Community Development Director. The locations and designs of the trash enclosures shall provide for a minimum clear width and gate opening of 11 feet, a minimum interior depth of 16 feet (to accommodate two trash bins and a grease rendering container) and gates designed to clear adjacent curbing, to the satisfaction of Ecology Auburn Placer. (PLANNING, RECOLOGY AUBURN PLACER)
- c. Prior to issuance of a Building Permit, the project shall be included in the appropriate City financing districts, as needed, to most efficiently provide for public maintenance of public landscaping, improvements such as sound walls, and provision of new or enhanced services such as street lighting to the satisfaction of the City Finance Manager (FINANCE, BUILDING, PUBLIC SERVICES)

2. Schools

The following conditions shall be satisfied to mitigate the impact of the proposed development on school facilities (ROCKLIN UNIFIED SCHOOL DISTRICT, BUILDING):

- a. At the time of issuance of a building permit, the developer shall pay to the Rocklin Unified School District all fees required under Education Code section 17620 and Government Code Section 65995, to the satisfaction of the Rocklin Unified School District.
- b. The above condition shall be waived by the City Council if the applicant and the District reach agreement to mitigate the impacts on the school facilities caused by the proposed development and jointly request in writing that the condition be waived.

3. Fire

- a. Improvement plans shall show the location and size of fire hydrants and water mains in conformance with the standards and requirements of the Rocklin Fire Chief and PCWA. (PCWA, ENGINEERING, FIRE)
- b. Improvement plans shall reflect a looped water supply main to the satisfaction of the Rocklin Fire Chief and PCWA. (PCWA, ENGINEERING, FIRE)

4. Improvements / Improvement Plans

Prior to any grading, site improvements, or other construction activities associated with this project improvement plans shall be prepared consistent with the exhibits and conditions incorporated as a part of this entitlement, and in compliance with all applicable city standards, for the review and approval of the City Engineer.

Improvement plans shall be valid for a period of two years from date of approval by the City Engineer. If substantial work has not been commenced within that time, or if the work is not diligently pursued to completion thereafter, the City Engineer may require the improvement plans to be resubmitted and/or modified to reflect changes in the standard specifications or other circumstances.

The project improvement plans shall include the following:  
(ENGINEERING, PLANNING, PUBLIC SERVICES)

- a. A final Stormwater Control Plan and a detailed grading and drainage plan prepared by a registered civil engineer, in substantial compliance with the approved project exhibit(s) and in accord with the City of Rocklin Post-Construction Manual. The grading and drainage plan shall include the following:
  - i) Stormwater Management
    - 1) Prior to issuance of improvement plans, to ensure compliance with the National Pollutant Discharge Elimination System MS4s General Permit and the regulations and orders of the State Water Resources Control Board, the applicant shall prepare and implement a Stormwater Management Facility Operation and Maintenance Plan for the on-site treatment systems and hydromodification controls, if any, or acceptable alternative to the satisfaction of the City Engineer and the Environmental Services Manager. All specified treatment systems and hydromodification controls shall be privately owned and maintained on a regular basis to ensure proper performance. (BUILDING, PUBLIC SERVICES)
    - 2) Prior to issuance of improvement plans, unless waived by the City Engineer and Environmental Services Manager, the developer shall grant a Stormwater Management Compliance Easement over the project site to the City of Rocklin, in a form acceptable to the City Attorney. The

Stormwater Management Compliance Easement shall be recorded with the County Clerk's office and a copy of the recorded document shall be provided to the Environmental Services division. Said easement shall provide for the following: (ENGINEERING, CITY ATTORNEY, BUILDING, PUBLIC SERVICES)

- i. Grant site access to City employees for the purpose of performing operations and maintenance inspections of the installed treatment system(s) and hydromodification control(s) (if any).
  - ii. Grant site access to City employees for the purpose of performing operations and maintenance work on the installed treatment system(s) and hydromodification control(s) (if any) in the event that that the Director of Public Services determines, based upon the inspection results, that said work is not being performed adequately and has or will compromise the system's ability to function as required.
  - iii. A statement that the City may, at its option, cause the operational and maintenance responsibilities set forth in the Stormwater Management Facility Operation and Maintenance Plan to be performed and place a special assessment against the project site to recover the costs to the City in the event the project is not operated and maintained in accord with the approved Stormwater Management Facility Operation and Maintenance Plan. (RMC §8.30.150).
- 3) All storm drainage inlets shall be stamped with City Engineer approved wording indicating that dumping of waste is prohibited and identifying that the inlets drain into the creek system.
  - 4) Site design measures for detaining run off at pre-development levels, including location and specifications of on-site or off-site detention basins, if any.
  - 5) Individual lot drainage management areas including individual drainage features, such as lined drainage swales.
  - 6) The developer shall prepare a Storm Water Pollutant Protections Plan (SWPPP) for review and approval by the

State Regional Water Quality Control Board as part of the project's drainage improvement plans.

- ii) Prior to the commencement of grading operations, and if the project site will not balance with respect to grading, the contractor shall identify the site where any excess earthen material shall be deposited. If the deposit site is within the City of Rocklin, the contractor shall submit a report issued by a technical engineer to verify that the exported materials are suitable for the intended fill and show proof of all approved grading plans. Haul routes to be used shall be specified. If the site requires importing of earthen material, then prior to the commencement of grading operations, the contractor shall identify the site where the imported earthen material is coming from and the contractor shall submit a report issued by a technical engineer to verify that the imported materials are suitable for the intended fill and show proof of all approved grading plans. Haul routes to be used shall be specified. (ENGINEERING)
  - iii) If at any time during the course of grading or construction activities evidence of the existence of old wells, septic systems or other similar features is encountered, work shall be halted within 100 feet of the find and the City of Rocklin Engineer shall be notified. The City Engineer shall make a determination as to the nature of the feature (or features), the appropriate size for a buffer around the feature beyond which work could continue on the balance of the site, and which outside agencies, if any, should be notified and involved in addressing and/or remediation of the feature. At the discretion of the City Engineer and at the applicant's expense, a qualified consultant(s) shall be retained to assess and characterize the feature and to determine appropriate remediation, if any. Remediation of the feature including obtaining any special permits and/or approvals as needed shall be completed and documented to the satisfaction of the City Engineer and any responsible agencies, such as but not limited to the Placer County Department of Environmental Health, prior to completion of grading/construction in the affected area.
- b. All on-site standard improvements, including but not limited to:
- i) Paving, curbs (including concrete curbs to contain all landscape areas adjacent to vehicle parking areas or travel lanes), gutters, sidewalks, drainage improvements, irrigation improvements (main lines and distribution where located under paved areas), utility improvements, parking lot and site lights, fire hydrants,

- retaining walls, fences, pilasters, enhanced pavement treatments, trash enclosures, etc.
- ii) All necessary easements for drainage, access, utilities, etc. shall be shown and offered for dedication (or Irrevocable Offer of Dedication provided) with the improvement plans.
  - iii) To the extent possible underground facilities such as but not limited to electrical, gas, water, drainage, and irrigation lines shall be located outside of or to the edge of areas designated for landscaping so as to minimize impacts to the viability of these areas.
  - iv) Rough grading, erosion control, and hydroseeding (with a drought tolerant mix of wild flowers and grasses), as deemed appropriate by the City Engineer, for all areas disturbed by grading of the project site but not developed.
- c. A detailed parking lot striping plan designed per City standards, which indicates all parking spaces, aisles, entrances, and exits in substantial conformance with Exhibit A. (ENGINEERING, PLANNING)
- d. The following on-site special improvements:
- i) Six-foot tall tubular steel fencing shall be constructed in lieu of chain link fencing shown to be located on top of the retaining walls along the southern property boundary of the project site in Exhibit A. Said tubular steel fencing shall be constructed of medium gauge steel or aluminum, or approved equivalent, and be powder coated black or dark bronze in color. (ENGINEERING, PLANNING)
  - ii) Retaining walls shall be constructed of decorative, split face CMU, or approved equivalent. (ENGINEERING, PLANNING)
  - iii) Speed tables (traffic calming devices) as shown on Exhibit A with contrasting or decorative pavement treatment between the speed tables.
- e. The following off-site improvements:
- i) A traffic signal shall be installed at the intersection of the project entrance, Schriber Way, and Sierra College Boulevard to the satisfaction of the City Engineer. Said signal design shall provide

for the coordination of the operation of the new signal with other nearby traffic signals.

- f. Improvement plans shall include landscape and irrigation plans for the installation of off-site landscaping in the public right-of-way along Sierra College Boulevard, if any, adjacent to the project. The off-site landscape and irrigation plans shall comply with Condition 6 below.

Existing City or Caltrans right-of-way landscaping including the irrigation system, if any, damaged during construction of the project's improvements shall be fully restored to its pre-project condition, to the satisfaction of Caltrans and/or the Directors of Economic & Community Development and Public Services. (CALTRANS, PLANNING, PUBLIC SERVICES)

- g. All rights-of-way associated with the project improvements shall be offered by separate instrument prior to issuance of a building permit; provided that the following shall be offered by means of an irrevocable offer of dedication: Sierra College Boulevard right-of-way.

- h. Prior to any grading or construction activities including issuance of improvement plans, the developer shall submit a design-level soil investigation for the review and approval of the City Engineer and Chief Building Official that evaluates soil and rock conditions, particularly the potential for expansive soils. The professional engineer that prepared the soil investigation shall recommend appropriate roadway construction and foundation techniques and other best practices that are to be implemented by the project during construction. These techniques and practices shall address expansive soils or other geological concerns requiring remediation, including but not limited to:

- Recommendations for building pad and footing construction;
- Use of soil stabilizers or other additives; and
- Recommendations for surface drainage.

- i. Provisions for dust control, re-vegetation of disturbed areas, and erosion control, in conformance with the requirements of the City of Rocklin, including but not limited to the following (which shall be included in the project notes on the improvement plans):

- i) The prime contractor shall submit to the District a comprehensive inventory (e.g., make, model, year, emission rating) of all the heavy-duty off-road equipment (50 horsepower or greater) that will be used in aggregate of 40 or more hours for the construction project. If any new equipment is added after submission of the

- inventory, the prime contractor shall contact the District prior to the new equipment being utilized. At least three business days prior to the use of subject heavy-duty off-road equipment, the project representative shall provide the District with the anticipated construction timeline including start date, name, and phone number of the property owner, project manager, and on-site foreman.
- ii) During construction the contractor shall utilize existing power sources (e.g., power poles) or clean fuel (e.g., gasoline, biodiesel, natural gas) generators to minimize the use of temporary diesel power generators.
  - iii) During construction, the contractor shall minimize idling time to a maximum of 5 minutes for all diesel powered equipment.
  - iv) Traffic speeds on all unpaved road surfaces shall be posted at 15 mph or less.
  - v) All grading operations shall be suspended when fugitive dust emissions exceed District Rule 228-Fugitive Dust limitations. The prime contractor shall be responsible for having an individual who is CARB-certified to perform Visible Emissions Evaluations (VEE). This individual shall evaluate compliance with Rule 228 on a weekly basis.
  - vi) Fugitive dust emissions shall not exceed 40% opacity and shall not go beyond the property boundary at any time. If lime or other drying agents are utilized to dry out wet grading areas, the developer shall ensure such agents are controlled so as not to exceed District Rule 228-Fugitive Dust limitations.
  - vii) The prime contractor shall be responsible for keeping adjacent public thoroughfares clean of silt, dirt, mud, and debris, and shall “wet broom” the streets (or use another method to control dust as approved by the individual jurisdiction) if silt, dirt mud or debris is carried over to adjacent public thoroughfares.
  - viii) The prime contractor shall suspend all grading operations when wind speeds (including instantaneous gusts) are excessive and dust is impacting adjacent properties.
  - ix) The contractor shall apply water or use other method to control dust impacts offsite. Construction vehicles leaving the site shall be cleaned to prevent dust, silt, mud, and dirt from being released or tracked off-site.
  - x) All construction equipment shall be maintained in clean condition.
  - xi) Chemical soil stabilizers, vegetative mats, or other appropriate best management practices, in accordance with manufacturers’ specifications, shall be applied to all-inactive construction areas (previously graded areas which remain inactive for 96 hours).
  - xii) All exposed surfaces shall be revegetated as quickly as feasible.

- xiii) If fill dirt is brought to or exported from the construction site, tarps or soil stabilizers shall be placed on the dirt piles to minimize dust problems.
- xiv) Water shall be applied to control fugitive dust, as needed, to prevent impacts offsite. Operational water trucks shall be onsite to control fugitive dust. Construction vehicles leaving the site shall be cleaned to prevent dust, silt, mud, and dirt from being released or tracked off-site.
- xv) Processes that discharge 2 pounds per day or more of air contaminants, as defined by California State Health and Safety Code Section 39013, to the atmosphere may require a permit. Developers / Contractors should contact the PCAPCD prior to construction or use of equipment and obtain any necessary permits.
- xvi) In order to minimize wind driven dust during construction, the prime contractor shall apply methods such as surface stabilization, establishment of a vegetative cover, paving, (or use another method to control dust as approved by the City).
- xvii) Construction equipment exhaust emissions shall not exceed Placer County APCD Rule 202 Visible Emission limitations. Operators of vehicles and equipment found to exceed opacity limits are to be immediately notified by APCD to cease operations and the equipment must be repaired within 72 hours.
- xviii) Open burning of any kind shall be prohibited. All removed vegetative material shall be either chipped on site or taken to an appropriate recycling site, or if a site is not available, a licensed disposal site.
- xix) Any diesel powered equipment used during project construction shall be Air Resources Board (ARB) certified.

j. The following noise conditions shall be included in the notes on the face of the improvement plans: (ENGINEERING)

- i) All “self-powered” construction equipment and stationary noise sources (e.g. pumps, electrical generators, etc.) shall be equipped with noise control devices (e.g. mufflers). (ENGINEERING, BUILDING)
- ii) Equipment “warm-up” areas, water storage tanks, equipment storage areas, and stationary noise-generating machinery (e.g. pumps, electrical generators, etc.) shall be located away from the existing residences and other sensitive noise receptors to the extent feasible. (ENGINEERING, BUILDING)

- iii) All phases of project development shall be subject to the City of Rocklin Construction Noise Guidelines, including restricting construction-related noise generating activities within or near residential areas to between 7:00 a.m. and 7:00 p.m. on weekdays, between 8:00 a.m. and 7:00 p.m. on weekends. The Economic and Community Development Director may grant exceptions to the Construction Noise Guidelines if, in the opinion of the Economic and Community Development Director, special and unusual circumstances exist that make strict adherence to the Construction Noise Guidelines infeasible. (ENGINEERING, BUILDING)
  
- k. The following cultural resource condition shall be included in the project notes on the improvement plans, to the satisfaction of the City Engineer:

If an inadvertent discovery of cultural materials (e.g., unusual amounts of shell, charcoal, animal bone, bottle glass, ceramics, burned soil, structure/building remains) is made during project-related construction activities, ground disturbances in the area of the find shall be halted and a qualified professional archaeologist, the Environmental Services Manager and the Native American Heritage Commission shall be notified regarding the discovery. The archaeologist shall determine whether the resource is potentially significant as per CEQA (i.e., whether it is a historical resource, a unique archaeological resource, or a unique paleontological resource) and shall develop specific measures to ensure preservation of the resource or to mitigate impacts to the resource if it cannot feasibly be preserved in light of costs, logistics, technological considerations, the location of the find, and the extent to which avoidance and/or preservation of the find is consistent or inconsistent with the design and objectives of the project. Specific measures for significant or potentially significant resources would include, but are not necessarily limited to, preservation in place, in-field documentation, archival research, subsurface testing, and excavation. The specific type of measure necessary would be determined according to evidence indicating degrees of resource integrity, spatial and temporal extent, and cultural associations, and would be developed in a manner consistent with CEQA guidelines for preserving or otherwise mitigating impacts to archaeological and cultural artifacts.

In the event of the accidental discovery or recognition of any human remains, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains, until compliance with the provisions of Sections 15064.5 (e)(1) and (2) of the CEQA Guidelines, as well as Public Resources Code Section 5097.98, has occurred. If any human remains are discovered, all work

shall stop in the immediate vicinity of the find and the County Coroner shall be notified, according to Section 7050.5 of the California Health and Safety Code. The City's Environmental Services Manager shall also be notified. If the remains are Native American, the Coroner will notify the Native American Heritage Commission, which in turn will inform a most likely descendant. The descendant will then recommend to the landowner appropriate disposition of the remains and any grave goods, and the landowner shall comply with the requirements of AB2641 (2006). {MM V.-1} (ENVIRONMENTAL SERVICES, ENGINEERING)

- I. The following biological resource condition shall be included in the project notes on the improvement plans, to the satisfaction of the City Engineer:

Prior to the start of grading or construction activities to occur within the nesting season, the applicant shall submit documentation of a survey for nesting raptors and migratory to the City's Public Services and Economic and Community Development Departments. If the survey results are negative, no further mitigation is required. If the survey results are positive, the biologist shall consult with the City and the California Department of Fish and Wildlife as detailed below.

The applicant/developer shall attempt to time the removal of potential nesting habitat for raptors and migratory birds to avoid the nesting season (February - August).

If tree and vegetation removal and/or project grading or activities occur during the nesting season for raptors and migratory birds (February-August), the developer and/or contractor shall hire a qualified biologist approved by the City to conduct pre-construction surveys no more than 14 days prior to initiation of tree and vegetation removal activities. The survey shall cover all areas of suitable nesting habitat within 500 feet of project activity and shall be valid for one construction season. Prior to the start of tree and vegetation removal activities, documentation of the survey shall be provided to the City of Rocklin Public Services Department and if the survey results are negative, no further mitigation is required and necessary structure removal may proceed. If there is a break in demolition activity of more than 14 days, then subsequent surveys shall be conducted.

If the survey results are positive (active nests are found), impacts shall be avoided by the establishment of appropriate buffers. The biologist shall consult with the California Department of Fish and Wildlife (CDFW) and the City to determine the size of an appropriate buffer area (CDFW guidelines recommend implementation of 500-foot buffers). Monitoring

of the nest by a qualified biologist may be required if the activity has the potential to adversely affect an active nest.

If construction activities are scheduled to occur during the non-breeding season (September- January), a survey is not required and no further studies are necessary. {MM IV-1.} (ENVIRONMENTAL SERVICES, ENGINEERING)

- m. The following biological resource conditions shall be included in the project notes on the improvement plans, to the satisfaction of the City Engineer:

Prior to any grading or construction activity and during construction activities, the applicant/developer shall implement the following avoidance measures during construction activities to protect the elderberry shrub and Valley Longhorn Elderberry Beetle (VELB):

- i) The area around the elderberry shrub to be avoided during construction activities will be fenced and/or flagged as close to construction limits as feasible.
- ii) Where feasible, ground disturbing activities will not encroach within 20 feet from the dripline of an elderberry shrub.
- iii) A qualified biologist will provide training for all contractors, work crews, and any onsite personnel on the status of the VELB, its host plant and habitat, the need to avoid damaging the elderberry shrub, and the possible penalties for noncompliance.
- iv) A qualified biologist will monitor the work area at project appropriate intervals to assure that all avoidance and minimization measures are implemented.
- v) As feasible, all activities that could occur within 165 feet of an elderberry shrub will be conducted outside of the flight season of the VELB (March - July).
- vi) Trimming, if required (unlikely due to the declining health of the elderberry shrub) will occur between November and February and will avoid the removal of any branches or stems that are  $\geq 1$  inch in diameter. Measures to address regular and/or large scale maintenance (trimming), if necessary, should be established in consultation with the USFWS.
- vii) Herbicides will not be used within the drip-line of the elderberry shrub. Insecticides will not be used within 30 meters (98 feet) of an elderberry shrub. All chemicals will be applied using a backpack sprayer or similar direct application method.
- viii) Mechanical weed removal within the drip-line of the shrub will be limited to the season when adults are not active (August -

February) and will avoid damaging the elderberry shrub. {MM IV-2.} (ENVIRONMENTAL SERVICES, ENGINEERING)

- n. The following biological resource condition shall be included in the project notes on the improvement plans, to the satisfaction of the City Engineer:

Prior to any grading or construction activities, the appropriate Section 404 permit will need to be acquired for any project-related impacts to waters of the U.S. Any waters of the U.S. that would be lost or disturbed should be replaced or rehabilitated on a “no-net-loss” basis in accordance with the Corps’ mitigation guidelines. Habitat restoration, rehabilitation, and/or replacement should be at a location and by methods agreeable to the Corps. In association with the Section 404 permit and prior to the issuance of improvement plans, a Section 401 water quality certification from the Regional Water Quality Control Board and a USFWS Biological Opinion (if determined necessary) shall be obtained. All terms and conditions of said permits shall be complied with.

For potential impacts to riparian habitat, the project may be required to obtain a Section 1600 Streambed Alteration Agreement (SAA) from the California Department of Fish and Wildlife. If it is determined that a SAA is required, the applicant shall obtain one and all terms and conditions of the SAA shall be complied with.

Prior to any grading or construction activities, the applicant shall submit documentation to the Economic and Community Development Department and Public Services Department that they have obtained an Army Corps of Engineers Section 404 permit, a Regional Water Quality Control Board Section 401 water quality certification, and if applicable, a United States Fish and Wildlife Service Biological Opinion and a California Department of Fish and Wildlife Section 1600 Streambed Alteration Agreement. The applicant shall also demonstrate to the Economic and Community Development Department and Public Services Department that they have implemented habitat restoration, rehabilitation, and/or replacement as stipulated in their Section 404 permit. The applicant shall also demonstrate to the Economic and Community Development Department and Public Services Department how they have, or intend to, comply with the terms and conditions of the Section 404 permit, the Section 401 water quality certification, and if applicable, the Biological Opinion and Section 1600 Streambed Alteration Agreement. {MM IV-3.} (ENVIRONMENTAL SERVICES, ENGINEERING)

- o. The following biological resource conditions shall be included in the project notes on the improvement plans, to the satisfaction of the City Engineer:

Prior to the issuance of improvement plans or grading permits, the applicant shall:

- i) Clearly indicate on the construction documents that oak trees not scheduled for removal will be protected from construction activities in compliance with the pertinent sections of the City of Rocklin Oak Tree Preservation Ordinance.
- ii) To mitigate for the removal of oak trees on the project site, the project arborist shall provide the following information:
  - The total number of surveyed oak trees;
  - The total number of oak trees to be removed;
  - The total number of oak trees to be removed because they are sick or dying, and
  - The total, in inches, of the trunk diameters at breast height (TDBH) of all surveyed oak trees on the site in each of these categories.
- iii) The applicant shall pay a fee to be deposited into the City of Rocklin Tree Preservation Fund. Payments shall be calculated using the following formula:
  - Step 1: Trunk Diameter at Breast Height (TDBH) of all Surveyed Trees on the Site X 20% = Discount Diameter;
  - Step 2: TDBH of all Surveyed Trees on the Site to be Removed – Discount Diameter = Total Number of Inches of TDBH of Replacement Trees Required, and
  - Step 3: The applicant shall pay a fee of \$48 per inch of TDBH of Replacement Trees Required. Such payments shall be made prior to the issuance of improvement plans or grading permits, with review and approval by the Economic and Community Development Director. {MM IV-4.} (ENVIRONMENTAL SERVICES, PLANNING, ENGINEERING)

5. Special Requirements

- a. Prior to issuance of improvement plans the applicant/ developer shall enter into an agreement with the City to pay the City of Rocklin an amount sufficient to cover the fair share cost for the City to hire a Traffic Engineer to prepare a report with recommended signal timing and operations to ensure that operations and traffic flow are optimized among and between the following intersections:

- Sierra College Boulevard / Granite Drive
- Sierra College Boulevard / the Caltrans I-80 on- and off-ramps
- Sierra College Boulevard / Crossings Drive
- Schriber Way / Sierra College Boulevard
- Sierra College Boulevard / Commons Drive
- Sierra College Boulevard / Bass Pro Drive/Dominguez Road

(ENGINEERING, PUBLIC SERVICES, CITY ATTORNEY)

- b. Prior to issuance of improvement plans the applicant/ developer shall enter into an agreement with the City to pay the City of Rocklin an annual amount sufficient to cover the fair share cost for the City to hire a Traffic Engineer for a period of eighteen months to monitor traffic movements on Sierra College Boulevard between Granite Drive and Bass Pro Drive / Dominguez Road, including each of the intersections referenced in Condition 5.a. The required monitoring shall provide quarterly reports on traffic operations for this street segment to the City Engineer following the installation and operation of the new signal at Schriber Way / Sierra College Boulevard and the opening for business of all major tenants (Cracker Barrel, Chick fil a, Del Taco, Habit Burger, and Les Schwab) or at such other time as the City Engineer determines that the monitoring should begin. Said reports shall include documentation of traffic movements and make specific recommendations for adjustments to signal timing and other improvements to optimize traffic flow. The reports monitoring traffic movements in this corridor shall be provided on a quarterly basis for eighteen months after commencement or until such time as the City Engineer determines traffic from the project has stabilized, whichever occurs first. (ENGINEERING, PUBLIC SERVICES, CITY ATTORNEY)
- c. Prior to issuance of improvement plans the applicant/ developer shall enter into a reimbursement agreement (approximately 50%) with the City to pay the City of Rocklin an amount sufficient to cover the full cost for future construction of Sierra College Boulevard widening/frontage improvements, including a third southbound lane, bike lane, 12 feet of

auxiliary/right turn lane and curb, gutter, sidewalk along the Lifehouse Church property (APN 045-052-029) to the existing Dominguez Road extension, to the satisfaction of the City Engineer and Director of Public Services. (ENGINEERING, PUBLIC SERVICES, CITY ATTORNEY)

- d. Prior to issuance of improvement plans the applicant/ developer shall enter into a reimbursement agreement (approximately 50%) with the City to pay the City of Rocklin an amount sufficient to cover the full cost for future construction of an EVA or secondary access, including grading and a 24 foot wide all weather surface, across the Lifehouse Church property (APN 045-052-029) to the existing Dominguez Road extension, to the satisfaction of the City Engineer and Director of Public Services. (ENGINEERING, PUBLIC SERVICES, CITY ATTORNEY)

6. Improvements in the Public Right-of-Way

The applicant shall obtain an encroachment permit for all improvements within the public right-of-way. Applicant shall post a performance bond and labor and materials payment bond (or other equivalent financial security) in the amount of 100% of the cost of the improvements to be constructed in the public right-of-way as improvement security to ensure the faithful performance of all duties and obligations required of applicant in the construction of the improvements. Such improvement security shall be in a form acceptable to the City Attorney. Such security shall be either a corporate surety bond, a letter of credit, or other instrument of credit issued by a banking institution subject to regulation by the State or Federal government and pledging that the funds necessary to carry out this Agreement are on deposit and guaranteed for payment, or a cash deposit made either directly with the City or deposited with a recognized escrow agent for the benefit of the City. (PUBLIC SERVICES)

7. Landscaping

- a. Final landscape plans shall be provided by the developer and approved by the Director of Economic and Community Development. The landscape plans shall comply with the following requirements: (PLANNING)
- i) The landscaping plan shall be prepared by a landscape architect and shall include:
- 1) A legend of the common and botanical names of specific plant materials to be used. The legend should indicate the container size of plant materials, the size at maturity, and include a graphic symbol for each plant type:

Shrubs shall be a minimum of five (5) gallon and trees a minimum of fifteen (15) gallon and meet the minimum height specified by the American Standards for Nursery Stock. Groundcover spacing shall be sufficient to achieve adequate cover upon establishment of the plants.

- 2) A section diagram of proposed tree staking.
- 3) An irrigation plan including an automatic irrigation system. The plan shall include drip irrigation wherever possible.
- 4) Along the public right-of-way and freeway off-ramp, berming of landscape strips or the installation of dense shrubs to screen the undercarriages of vehicles as viewed from off-site.
- 5) Documentation and verification that the proposed parking lot landscaping will achieve 50% shading at maturity (15 years from planting) or project plans shall be modified to provide for 1 parking lot shade tree to be located every 5 parking spaces, to the satisfaction of the Economic and Community Development Director.
- 6) Granite boulders or rough cut granite slabs to coordinate with the art installation within internal landscape planters and along Sierra College Boulevard.
- 7) A pedestrian trellis as shown in Exhibit A through the parking lot constructed of metal or other durable, low-maintenance material.
- 8) Vines planted at the base of each of the trellis supports.
- 9) Vines planted at the base of each green screen to adequately cover the green screen.
- 10) Trailing groundcover along the top of the retaining walls.
- 11) Two or more ADA compliant benches constructed of metal or other durable, low maintenance material at the art plaza.
- 12) A tree and planter area at the front of the automotive use building as shown on the black and white plan in Exhibit A.

- 13) A minimum of 15 (3 containers per building) container plantings shall be placed throughout the project with appropriate irrigation systems. Said containers shall be decorative stoneware (i.e. terra cotta, concrete, etc.) in a variety of sizes but with a minimum size of no less than 15 gallons. The containers shall be planted with a varied mix of plant materials to achieve a layered and attractive appearance. The locations and irrigation systems for said containers shall be indicated on the landscape plans and shall be installed prior to occupancy of the adjacent building to the satisfaction of the Economic and Community Development Director. (PLANNING)
- 14) Prior to issuance of construction landscape and irrigation plans for the westerly most portion of the project site said landscape plans shall be revised to indicate the location of the existing elderberry shrub, and provide for a 20 foot fenced protective buffer area around the shrub. Fencing shall consist of metal post and steel cable fencing to delineate the exclusion area of the elderberry shrub.
- 15) The following biological resource conditions shall be included as project notes on the landscape plans, to the satisfaction of the Economic and Community Development Director:

Prior to any grading, construction activity, or landscaping and during such activities, the applicant/developer shall implement the following avoidance measures to protect the elderberry shrub and Valley Longhorn Elderberry Beetle (VELB):

- a) The area around the elderberry shrub to be avoided during construction activities will be fenced and/or flagged as close to construction limits as feasible.
- b) Where feasible, ground disturbing activities will not encroach within 20 feet from the dripline of an elderberry shrub.
- c) A qualified biologist will provide training for all contractors, work crews, and any onsite personnel on the status of the VELB, its host plant and habitat, the need to avoid damaging the elderberry shrub, and the possible penalties for noncompliance.
- d) A qualified biologist will monitor the work area at project appropriate intervals to assure that all

avoidance and minimization measures are implemented.

- e) As feasible, all activities that could occur within 165 feet of an elderberry shrub will be conducted outside of the flight season of the VELB (March - July).
- f) Trimming, if required (unlikely due to the declining health of the elderberry shrub) will occur between November and February and will avoid the removal of any branches or stems that are  $\geq 1$  inch in diameter. Measures to address regular and/or large scale maintenance (trimming), if necessary, should be established in consultation with the USFWS.
- g) Herbicides will not be used within the drip-line of the elderberry shrub. Insecticides will not be used within 30 meters (98 feet) of an elderberry shrub. All chemicals will be applied using a backpack sprayer or similar direct application method.
- h) Mechanical weed removal within the drip-line of the shrub will be limited to the season when adults are not active (August - February) and will avoid damaging the elderberry shrub. {MM IV-2.} (ENVIRONMENTAL SERVICES, ENGINEERING)

- ii) Chinese Pistache trees shall not be substituted for any of the approved tree species due to their invasive qualities and the project's proximity to Secret Ravine Creek.
- iii) The plan shall be certified by the landscape architect that the landscape plan meets the requirements of the water Conservation and Landscaping Act. Government Code §65591, et seq.

- b. The parking lot lighting plan shall be designed to accommodate shade trees and provide for illumination of the parking areas. Light standards and underground utilities shall be located such that required parking lot shade trees can still be planted.
- c. All landscaping shall be installed and the landscape architect shall certify, in writing, that the landscaping and irrigation system have been installed in full compliance with the approved plans prior to issuance of a Certificate of Occupancy. (PLANNING)

#### 8. Landscaping Maintenance Agreement

Prior to issuance of the Certificate of Occupancy for the first building, the property owner shall enter into an agreement with the City of Rocklin providing for the maintenance of landscaping within the public right-of-way along Sierra College Boulevard, if any. The agreement shall stipulate that the City of Rocklin shall maintain the irrigation system and the property owner shall maintain all plant materials. The agreement shall also indemnify the City against claims arising from developer's activities and shall be recorded and binding on successors in interest of the developer. (ENGINEERING, PUBLIC SERVICES)

9. Architecture

- a. All wall-mounted mechanical equipment and conduit shall be color-matched to the adjacent building color to minimize its visibility, to the satisfaction of the Economic and Community Development Director. (PLANNING)
- b. The back or rear of any parapet wall that may be visible from an adjacent right-of-way or property shall be painted the same color as the front of the parapet wall to provide a more finished appearance. (PLANNING)
- c. The architecture of the buildings, including finishes and details, shall be in substantial conformance with Exhibit A. (PLANNING)

10. Lighting

The lighting design plan shall be approved by the Economic and Community Development Director for compliance with this condition. (PLANNING)

- a. All exterior lighting shall be designed and installed to avoid adverse glare on adjacent properties and to incorporate "dark sky" provisions. Cut-off decorative lighting fixtures, or equivalent, shall be used for parking lot and building mounted lighting and mounted such that all light is projected directly toward the ground.
- b. Wall packs shall only be used at the rear of buildings and in service areas that are not visible from a public right-of-way or vantage point.
- c. The photometric plan shall be reviewed and revised if needed to avoid "hot spots" under the parking lot lights and to eliminate light spill over the property lines that exceeds 0.1 foot candles.
- d. Light poles shall be a maximum of 20' in height as measured from grade to the top of the light fixture itself.

- e. The up-lighting of the public art installation shall be mounted in-ground (flush) and/or shielded so that the light source and any glare is shielded from the entry driveway and Sierra College Boulevard and so that the light is projected onto the art installation only.

11. Signs

All signs shall conform with the sign designs and locations as shown in Exhibit B and as modified herein, and as needed to comply with the requirements of the Design Review Guidelines Criteria for signs and the Sign Ordinance of the City of Rocklin. (PLANNING)

- a. All freestanding signs shall be located outside of any public utility easements.
- b. Prior to building permit issuance for the first building, the freestanding entry sign shall be modified to include the project site addresses to the satisfaction of the Economic and Community Development Director and Fire Chief. (FIRE, PLANNING)
- c. All building mounted signage shall consist of individual internally illuminated or halo illuminated letters and logos. Backer boards shall be allowed if they contribute to the overall appearance and message of the sign.
- d. Shops Building: Building mounted sign locations on the north and west elevations shall conform to Exhibits A and B.

12. Screening of Mechanical Equipment

- a. All mechanical equipment, whether ground- or roof -mounted, shall be screened from view from all public rights-of-way and the design of the screening shall be in harmony with the architectural design of the building, to the satisfaction of the Economic and Community Development Director. (PLANNING)
- b. The appearance of large utility features such as double detector check valves shall be minimized through the use of utility blankets or other acceptable screening methods. The developer shall also demonstrate that these facilities have been moved as far as possible from the public right-of-way. (PLANNING)

13. Outdoor Seating

- a. Prior to establishing, enlarging or modifying any outdoor seating area, the property owner shall present a detailed dimensioned plan of the

outdoor seating area, including the number of chairs and tables, provisions for access, fencing, screening, and for providing shade for patrons to the Economic and Community Development Director for review and approval. (PLANNING)

- b. If an enclosure is needed or proposed, decorative tubular steel fencing and/or container plantings shall be used to delineate outdoor seating areas to the satisfaction of the Economic and Community Development Director. (PLANNING)
- c. Decorative and sturdy metal outdoor furniture which compliments the buildings and environment created for the area shall be used in all outdoor seating areas to the satisfaction of the Economic and Community Development Director. No plastic furniture shall be permitted. (PLANNING)
- d. The materials, color, design, and style of outdoor furniture (e.g. benches, trash cans, bicycle racks and lockers, etc.) used outside of patio seating areas shall be consistent throughout the center.
- e. Incidental logos and lettering on umbrellas are permitted subject to compliance with the Sign Ordinance.

14. Public Art Installation

Prior to certificate of occupancy of the first building, the Parks, Recreation, and Arts Commission approved public art installation shall be installed as shown in Exhibit A. (PARKS & RECREATION, PLANNING, BUILDING)

15. Air Quality

- a. Electrical receptacles shall be installed in the exterior walls of the building(s) in this project to promote the use of electrical landscaping equipment. (BUILDING, PLANNING)
- b. Low nitrous oxide (NOx) natural gas hot water heaters shall be installed if gas hot water heaters are to be used in this project. (BUILDING, PLANNING)

16. Security

- a. Prior to building permit issuance, the applicant shall prepare a security plan for review by the Rocklin Police Department, and shall provide the Rocklin Police Department with the names and telephone numbers of a responsible party to contact. (PLANNING, POLICE)

- b. Prior to building occupancy of each building, the property owner shall obtain and maintain at all times, an Alarm System Permit for each security system installed and operated in the center, if any, in accord with the requirements of Chapter 9.44 of the Rocklin Municipal Code. (POLICE)

17. Phasing

If the project is to be phased, a phasing plan showing the sequence of site improvements shall be submitted for review and approval by the Economic and Community Development Director. The Economic and Community Development Director may condition the phasing to ensure each phase shall function independently. Landscaping along the entire street frontage may be required for design continuity and consistency of plant growth. (PLANNING, BUILDING)

18. Monitoring

Prior to any grading on the property, developer shall deposit with the City of Rocklin the current fee to pay for the City's time and material cost to administer the Mitigation Monitoring Program. The Economic and Community Development Director shall determine if and when additional deposits must be paid for administering the Mitigation Monitoring Program, including additional deposits on subsequent phases of construction. These amounts shall be paid prior construction of additional phases on this project. (PLANNING)

19. Indemnification and Duty to Defend

Within 30 days of approval of this entitlement by the City, the developer shall execute an Indemnity Agreement, approved by the City Attorney's Office, to indemnify, defend, reimburse, and hold harmless the City of Rocklin and its agents, officers and employees from any claim, action, or proceeding against the City of Rocklin to set aside, void or annul an approval of the entitlement by the City's planning commission or City Council, which action is brought within the time period provided for in Section 66499.37 of the Government Code. The City will promptly notify the applicant of any such claim, action or proceeding, and the City will cooperate in the defense of the claim, action or proceeding. Unless waived by the City, no further processing, permitting, implementation, plan checking or inspections related to the subdivision or parcel map shall be performed by the City if the Indemnity Agreement has not been fully executed within 30 days. (CITY ATTORNEY)

20. Validity

- a. This entitlement shall expire two years from the date of approval unless prior to that date a building permit has been issued or a time extension has been granted. (PLANNING)
- b. This entitlement shall not be considered valid and approved unless and until the concurrent Conditional Use Permit (U2016-0005) and Tentative Parcel Map (DL2016-0003) have been approved. (PLANNING)

PASSED AND ADOPTED this 10<sup>th</sup> day of August, 2017, by the following roll call vote:

AYES: Commissioners:

NOES: Commissioners:

ABSENT: Commissioners:

ABSTAIN: Commissioners:

\_\_\_\_\_  
Chairman

ATTEST:

\_\_\_\_\_  
Secretary

P:\PUBLIC PLANNING FILES\\_\_ PROJECT FILES\Rocklin Station\Meeting Packets\PC 8-10-17\03 Rocklin Station PC reso DR2016-0006 - final.doc

EXHIBIT A

Rocklin Station / DR2016-0006

Design Review Documents are available at the Economic & Community Development  
Department

# A NEW SHOPPING CENTER DEVELOPMENT BY THOMAS SIERRA, LLC

## ROCKLIN STATION

LOCATED AT  
S.W. CORNER HIGHWAY I-80 AND SIERRA COLLEGE BOULEVARD  
ROCKLIN, CALIFORNIA

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**EXHIBIT A**  
**DR2016-0006**

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PHONE 510 434 9888

6	26 JUNE 2017	REVISED ENTITLEMENT APPL.
5	23 NOV. 2016	REVISED ENTITLEMENT APPL.
2	4 APRIL 2016	ENTITLEMENT APPL.

issue	date	description
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A PROPOSED NEW SHOPPING CENTER DEVELOPMENT  
**ROCKLIN STATION**  
BY THOMAS SIERRA LLC  
S.W. CORNER OF HIGHWAY I-80 AND SIERRA COLLEGE BLVD.  
ROCKLIN, CALIFORNIA

drawn by	checked by	job number
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TITLE SHEET

A001

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Agenda Item #8.b.

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### PROJECT CONTACTS

**PROJECT DEVELOPER**  
THOMAS SIERRA, LLC  
c/o THOMAS PROPERTIES  
3100 OAK ROAD, SUITE #140  
WALNUT CREEK, CA 94591  
TEL: (925) 945-6266

**ENVIRONMENTAL ASSESSMENT AND GEOTECHNICAL ENGINEERING CONSULTANT**  
TERRACON CONSULTANTS, INC.  
50 GOLDENLAND COURT, SUITE 100  
SACRAMENTO, CA  
TEL: (916) 928-4690

**TREE CONSULTANT**  
TRAVERSO TREE SERVICE  
3354 FREEMAN ROAD  
WALNUT CREEK, CA 94595  
TEL: (925) 930-1901

**CULTURAL AND BIOLOGICAL RESOURCES AND ACOUSTIC CONSULTANT**  
LSA ASSOCIATES, INC.  
4200 ROCKLIN ROAD, SUITE 11B  
ROCKLIN, CA 95611  
TEL: (916) 630-4600

**TRAFFIC ENGINEERING CONSULTANT**  
ABRAMS ASSOCIATES  
1875 OLYMPIC BLVD., SUITE 210  
WALNUT CREEK, CA 94596  
TEL: (925) 945-0201

**SHOPPING CENTER SIGN CONSULTANT**  
USS UNITED SIGN SYSTEMS  
5201 PENTECOST DRIVE  
MODESTO, CA 95356  
TEL: (209) 543-1320

**SHOPS (HABIT BURGER) AND DEL TACO SIGN CONSULTANT**  
CNP SIGNS AND GRAPHICS  
4530 MISSION GORGE PLACE  
SAN DIEGO, CA 92120  
TEL: (619) 283-2191

**CHICK-FIL-A SIGN CONSULTANT**  
NATIONAL SIGN  
13580 5TH STREET  
CHINO, CA 91702  
TEL: (909) 591-4742

**LES SCHWAB SIGN CONSULTANT**  
CARLSON SIGN  
1605 NE FORBES ROAD  
BEND, OR 97109  
TEL: (541) 382-2182

### CIVIL ENGINEER

AMS ASSOCIATES, INC.  
801 YGNACIO VALLEY ROAD, SUITE 220  
WALNUT CREEK, CA 94596  
TEL: (925) 943-2111

### LANDSCAPE ARCHITECT

JAMES SWANSON LANDSCAPE ARCHITECT  
5545 MERRITT DRIVE  
CONCORD, CA 94521  
TEL: (925) 673-9040

### SHOPS BUILDING ARCHITECT

GEORGE MEU ASSOCIATES  
499 EMBARCADERO, UNIT 6  
OAKLAND, CA 94606  
TEL: (510) 434-9888

### CHICK-FIL-A ARCHITECT

CRHO ARCHITECTURE  
195 SOUTH "C" STREET, SUITE 200  
TUSTIN, CA 92710  
TEL: (714) 832-1834

### DEL TACO ARCHITECT

ARCHITECTS ORANGE  
144 N ORANGE STREET  
ORANGE, CA 92666  
TEL: (714) 632-9860

### LES SCHWAB TIRE CENTER ARCHITECT

GALLOWAY AND COMPANY, INC.  
6062 S. WILLOW DRIVE, SUITE 320  
GREENWOOD VILLAGE, CO 80111  
TEL: (303) 710-8884



LOCATION MAP (NOT TO SCALE)  
Map data © 2016 Google

### PROJECT SCOPE

TO AN EXISTING UNIMPROVED SITE DEVELOP A NEW SHOPPING CENTER INCLUDING ON AND OFF SITE IMPROVEMENTS AND BUILDINGS.

NEW LOT LINE CONFIGURATION WILL BE PART OF DEVELOPMENT.

### PROJECT INFORMATION

GENERAL PLAN AND ZONING:	FD-C
APN (PLACER COUNTY):	045-052-015, 019, 020, 021
LAND AREA:	1.05 +/- ACRES GROSS 6.62 +/- ACRES NET
BUILDING AREA:	36,688 GROUND FLOOR COVERAGE

### SERVICE PROVIDERS

GAS AND ELECTRICITY:	PACIFIC GAS & ELECTRIC (PG&E)
WATER:	PLACER COUNTY WATER AGENCY
SANITARY SEWER:	SOUTH PLACER MUNICIPAL UTILITY DISTRICT (SPMUD)
SOLID WASTE REMOVAL:	RECOLOGY AUBURN PLACER
TELEPHONE:	AT&T
CABLE AND TELEPHONE:	WAVE BROADBAND



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26 JUNE 2017 REVISED ENTITLEMENT APPL.  
issue date description

A PROPOSED NEW SHOPPING CENTER DEVELOPMENT  
**ROCKLIN STATION**  
BY THOMAS SIERRA LLC  
S.W. CORNER OF HIGHWAY I-80 AND SIERRA COLLEGE BLVD.  
ROCKLIN, CALIFORNIA

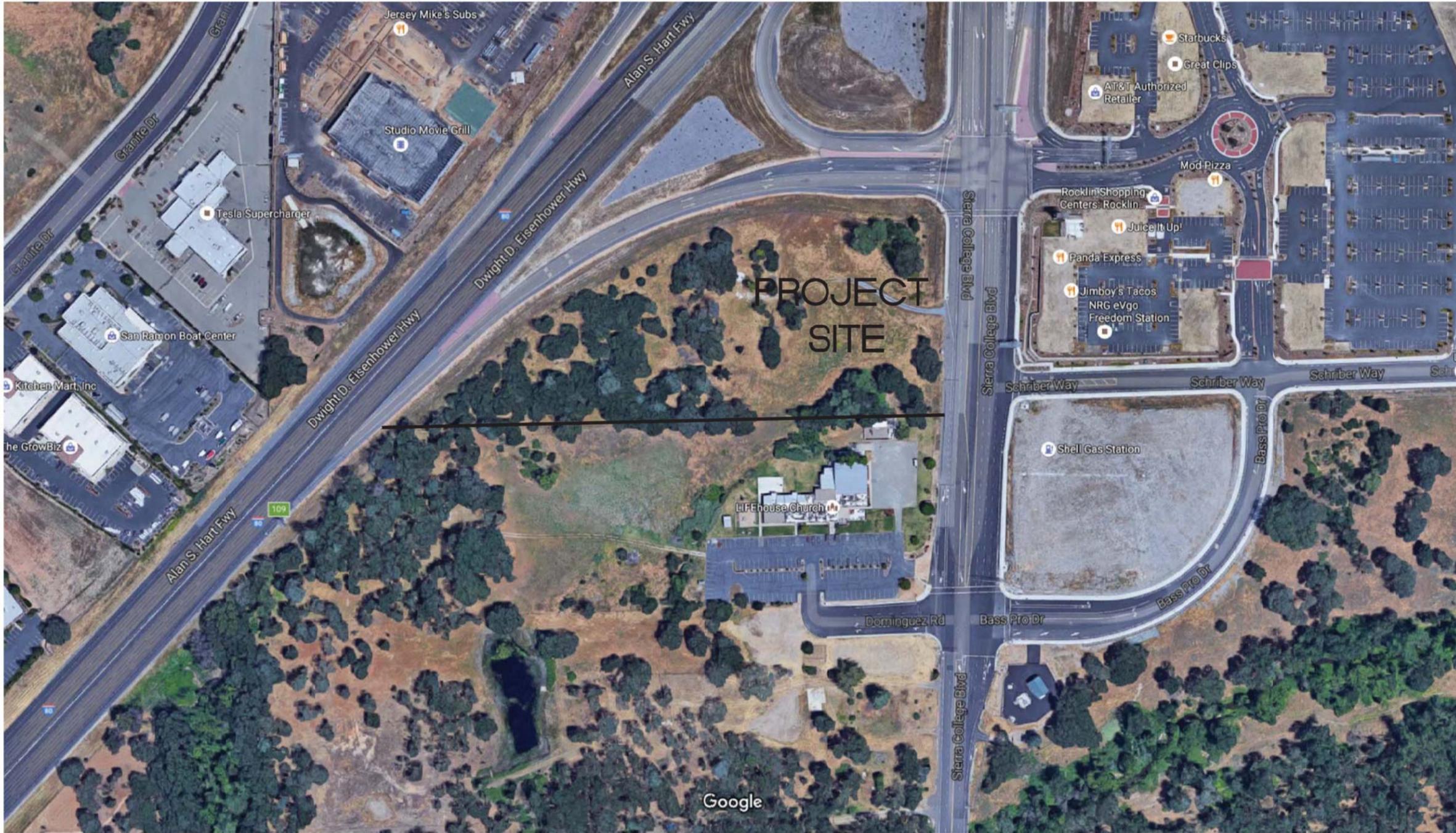
OMA LGM 1581 Thom-Rocklin  
drawn by checked by job number

EXISTING  
CONDITIONS  
AERIAL VIEW

AS102

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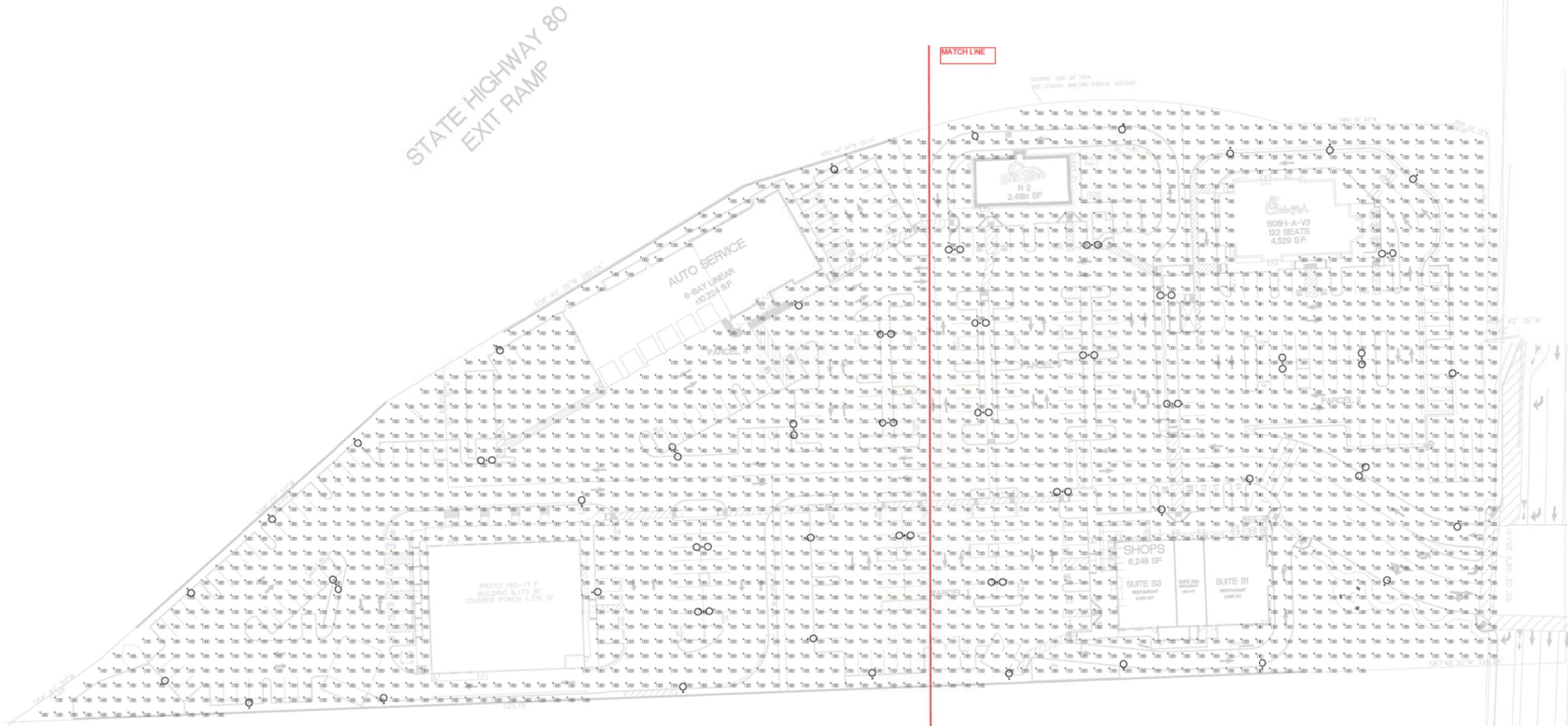
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**AERIAL OF ADJOINING LAND USES AND STRUCTURES**



SYMBOL	LEADER	DESCRIPTION	MANUFACTURER	TYPE	MODEL	NOTES
○	A	LED	OSRAM	LED	OSRAM	OSRAM
○	B	LED	OSRAM	LED	OSRAM	OSRAM
□	C	LED	OSRAM	LED	OSRAM	OSRAM



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ROCKLIN, CALIFORNIA

drawn by \_\_\_\_\_ checked by \_\_\_\_\_ job number \_\_\_\_\_

PHOTOMETRIC  
SITE PLAN  
**ES101**

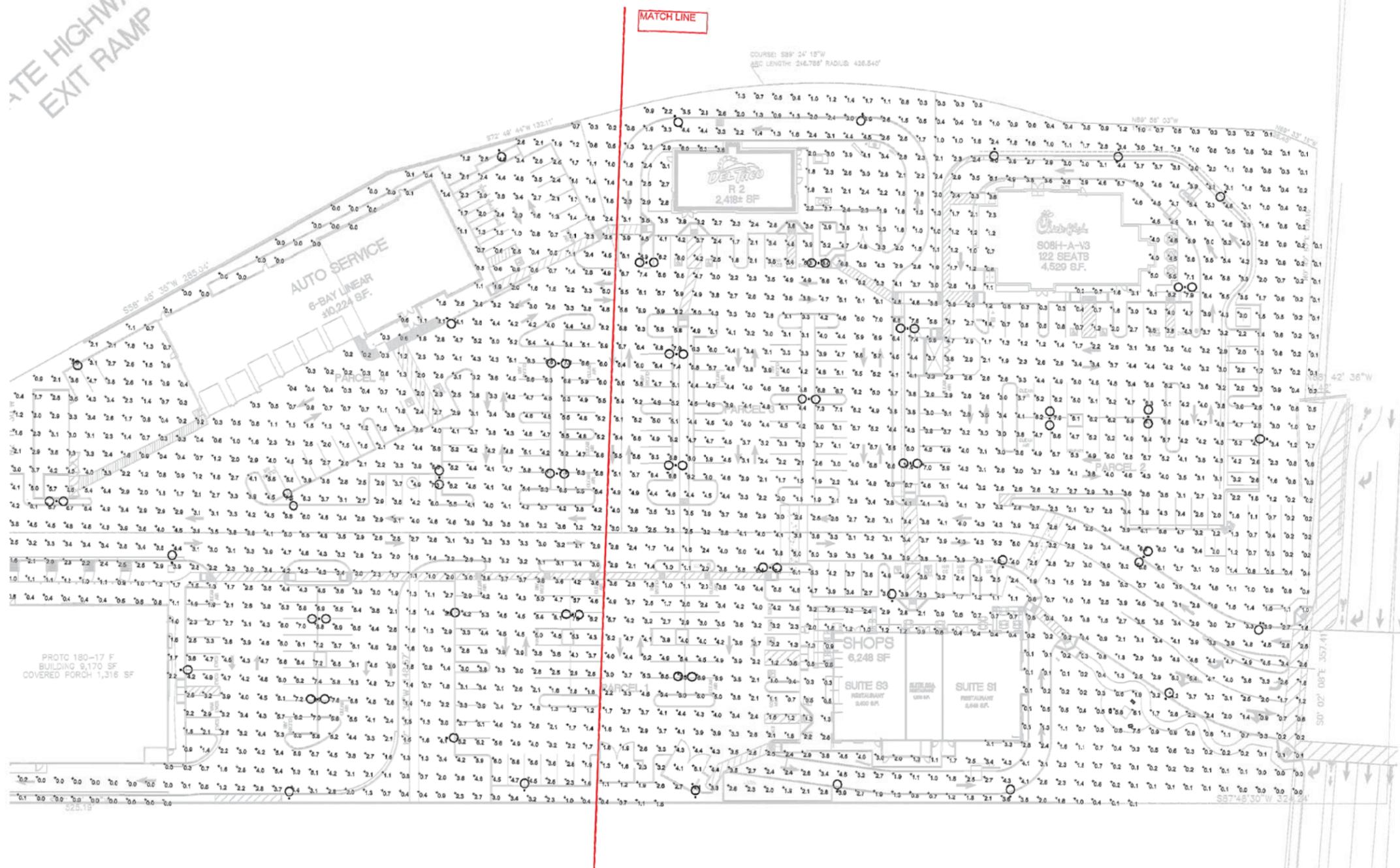
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Agenda Item #8.b.

PHOTOMETRIC SITE PLAN  
SCALE: 1" = 30'-0"

STATE HIGHWAY 80  
EXIT RAMP



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A PROPOSED NEW SHOPPING CENTER DEVELOPMENT  
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BY THOMAS SIERRA LLC  
S.W. CORNER OF HIGHWAY I-80 AND SIERRA COLLEGE BLVD.  
ROCKLIN, CALIFORNIA

drawn by \_\_\_\_\_ checked by \_\_\_\_\_ job number \_\_\_\_\_

PHOTOMETRICS  
ENLARGED  
SITE PLAN

**ES101A**

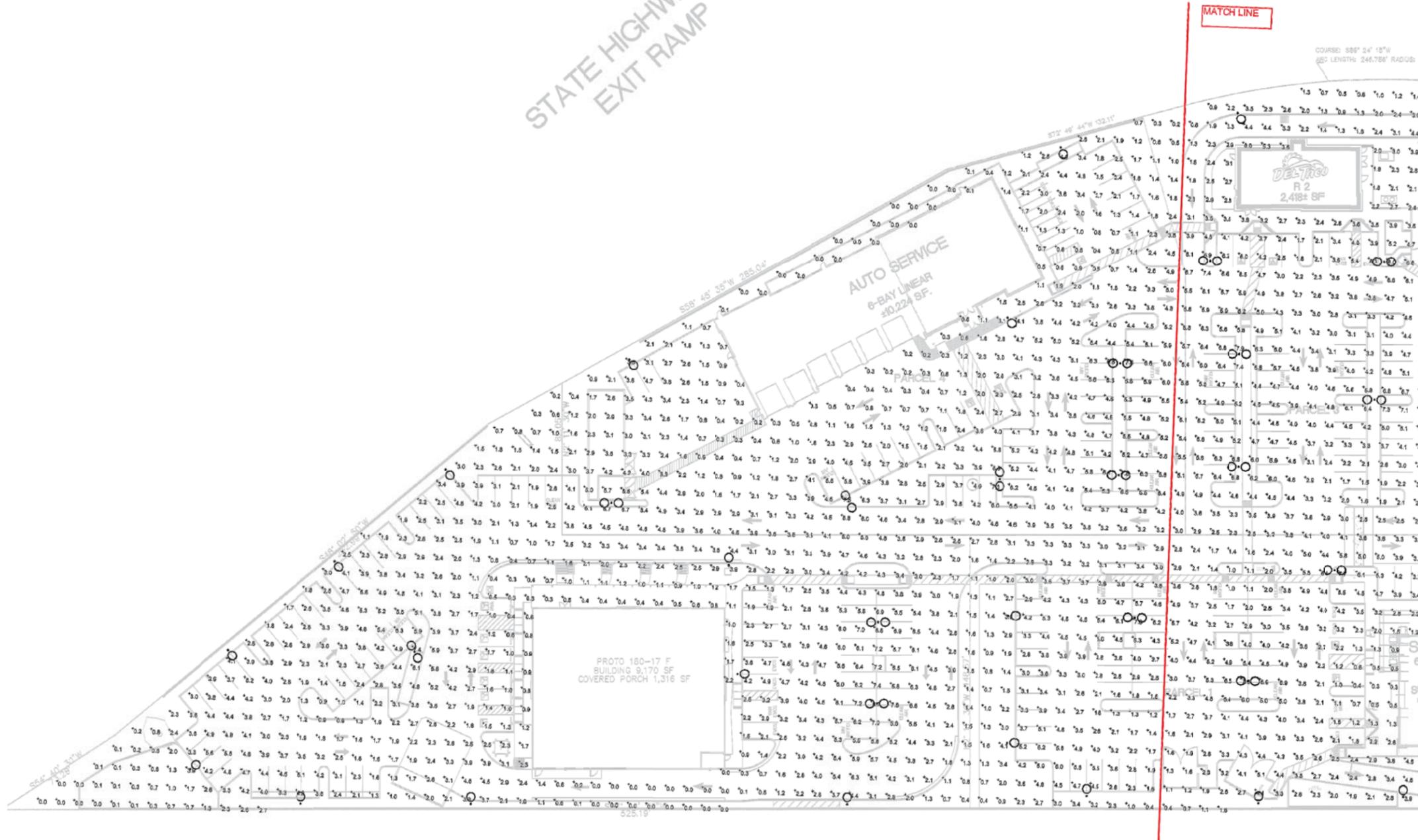
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STATE HIGHWAY 80  
EXIT RAMP



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ENTITLEMENT APPL.

issue	date	description
6		

A PROPOSED NEW SHOPPING CENTER DEVELOPMENT  
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 ROCKLIN, CALIFORNIA

drawn by	checked by	job number
1581 Thom-Rocklin		

PHOTOMETRICS  
ENLARGED  
SITE PLAN

ES101B

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### Bike-Shell™ Model 302



MANUFACTURER'S STANDARD 'TAN' COLOR FINISH



Old style available to match existing lockers by request only.



NEW design, one piece FRP Composite bike locker. NO ASSEMBLY required.

Architects, designers and government agencies specify the 300 Series due to the high quality manufacturing which incurs virtually no installation costs!

All lockers are shipped assembled and can be stand alone or grouped - NO COMMON WALLS. Lockers easily relocated.

The 300 Series is the first one piece locker available that is not made of soft and flammable HDPE plastic material.

The construction of fiberglass reinforced plastic is highly resistant to impact, stains and will not corrode.

Designed after our very popular 350 Series lockers and available in 6 styles providing flexibility for site locations.

American Bicycle Security Company  
P.O. Box 2359  
Vertus, CA 93006  
Ph: (800) 245-3723 or (805) 933-3688  
Fax: (805) 933-1855  
www.amerbike.com  
Email: barker@amerbike.com

http://www.victorst Stanley.com/product/bros-105/View/print

TYPICAL BICYCLE LOCKER 1 AS201

6282916 BRCS-105 (Victor Stanley) Bk Furniture

VICTOR STANLEY®

Create a timeless moment.™



### BRCS-105

Five loop bike rack constructed of 2.375 in (60 mm) OD tubular steel pipe.

CAPACITY

7 bikes.

STANDARD

All fabricated metal components are steel (shotblasted, etched, phosphatized, primed and electrostatically powder-coated with TGIC polyester powder coatings).

OPTION

Powder coat over galvanized finish. Surface mount. In-ground mount.

RETURN TO STANDARD VIEW

MATERIAL

Tubular Steel

CAPACITY

7 Bikes

COLORS

MANUFACTURER'S STANDARD 'DARK BRONZE' COLOR FINISH Standard

http://www.victorst Stanley.com/product/bros-105/View/print

TYPICAL BICYCLE RACK 1 AS201

## GEORGE MEU ASSOCIATES

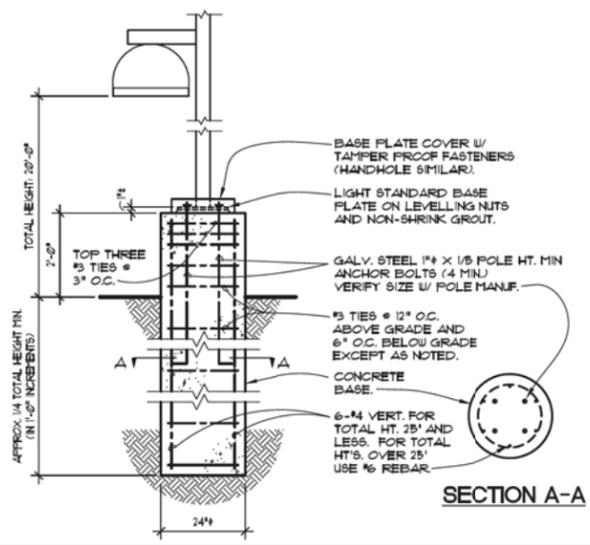
ARCHITECTURE PLANNING

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CALIFORNIA  
9 4 6 0 6  
PHONE 510 434 9688

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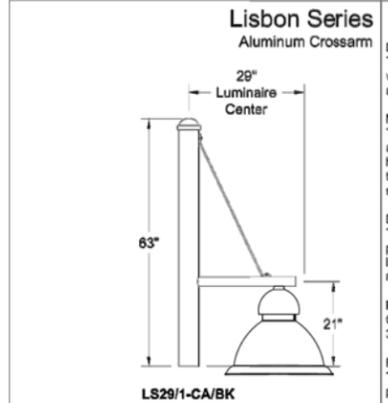
issue date description

A PROPOSED NEW SHOPPING CENTER DEVELOPMENT  
**ROCKLIN STATION**  
BY THOMAS SIERRA LLC  
S.W. CORNER OF HIGHWAY I-80 AND SIERRA COLLEGE BLVD.  
ROCKLIN, CALIFORNIA



LIGHT POLE BASE DETAIL SCALE: 1/2" = 1'-0"

3 AS201



**Specifications**

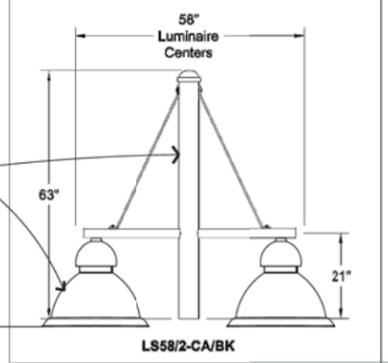
**DESCRIPTION**  
The luminaire arm shall be all aluminum construction with a post filler tube with cast cap and a straight pipe arm with bent-bar decoration.

**MATERIALS**  
The crossarm shall be constructed from 6061-T6 aluminum bar and pipe. The cap material shall be heavy wall cast aluminum (368.1 Ingot alloy) formed true to pattern with complete detail. All hardware shall be stainless steel.

**DIMENSIONS**  
The arm shall be 63" in height with an arm length providing a distance of 29" from shaft center to luminaire center. The horizontal arm shall be a 2" nominal diameter pipe.

**INSTALLATION**  
Crossarm designed for post top mounting on a Ø4 3/8" x 12" tall tenon, secured by set screws.

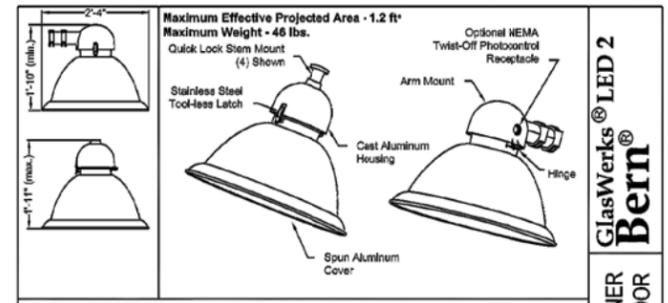
**FINISH**  
The crossarm assembly shall be shipped with a powder coat finish.



THIS DRAWING, WHEN APPROVED, SHALL INCLUDE THE COMPLETE SPECIFICATION FOR THE LUMINAIRE TO BE FURNISHED BY COLORMATCH OR THE CREATOR'S CHOICE. A LIST OF SIMILAR DESIGNS MAY BE SUPPLIED, BUT ONLY AFTER APPROVAL BY THE CUSTOMER. THE CUSTOMER'S CHOICE OF LUMINAIRE SHALL BE INDICATED BY A CHECK IN THE BOXES UPON EACH ORDER. THE CUSTOMER SHALL BE RESPONSIBLE FOR VERIFYING THE DIMENSIONS OF THE LUMINAIRE AND THE CROSSARM TO BE USED IN CONNECTION WITH THE LUMINAIRE. THE DIMENSIONS OF THE LUMINAIRE AND THE CROSSARM SHALL BE SUBJECT TO CHANGE WITHOUT NOTICE. THE DIMENSIONS OF THE LUMINAIRE AND THE CROSSARM SHALL BE SUBJECT TO CHANGE WITHOUT NOTICE. THE DIMENSIONS OF THE LUMINAIRE AND THE CROSSARM SHALL BE SUBJECT TO CHANGE WITHOUT NOTICE.

**HOLOPHANE**  
LEADERS IN LIGHTING SOLUTIONS  
An Acuity Brands Company  
114 GARDEN AVENUE - NEWALB, OHIO 43051

SCALE: N/A  
DRAWN: BHH  
APP'D:  
DATE: 09-16-03



EXAMPLE: GBLF2 053 4K AS 4 B L3

<b>COVER TYPE</b> GBLF2 = BERN	<b>COLOR TEMP.</b> A = TRUE AMBER 3K = 3000K 4K = 4000K 5K = 5000K	<b>VOLTAGE</b> AS = AUTO-SENSING 120-277V AH = AUTO-SENSING 347-480V	<b>MOUNTING STYLE</b> 1 = ARM 4 = QUICK LOCK STEM MOUNT	<b>COLOR</b> A = AS SPECIFIED B = BLACK D = DARK BLUE G = GRAY H = GRAPHITE N = GREEN P = PRIME PAINT S = SILVER W = WHITE Z = BRONZE TDC = TIGER DRYLAC COLOR (RAL™) CMC = CUSTOM MATCH COLOR
-----------------------------------	--	--	---	--

**ORDERING INFORMATION:**

**BOUNCE & WATTAGE**  
D3 = 500mA DRIVER (25W)  
D75 = 700mA DRIVER (350W)  
D165 = 1000mA DRIVER (140W)

**OPTICS**  
L3 = ASYMMETRIC FULL CUTOFF LED  
L5 = SYMMETRIC FULL CUTOFF LED

**NOTE:** AM (TRUE AMBER) ONLY AVAILABLE WITH 530mA DRIVER

**OPTIONS:**  
AO = FIELD ADJUSTABLE OUTPUT  
D = DIMMABLE 0-10V DIMMING CONTROL  
B = BILEVEL 0-10V DIMMING CONTROL  
H = NEMA TWISTLOCK PHOTOCONTROL RECEPTACLE ONLY  
PCB = DTL TWISTLOCK PHOTOCONTROL 120-277 VOLT  
P34 = DTL TWISTLOCK PHOTOCONTROL 347V  
P48 = DTL TWISTLOCK PHOTOCONTROL 480 VOLT  
P5C = SHORTING CAP  
P5 = DIMMING PHOTOCONTROL RECEPTACLE - 5 PIN  
P7 = DIMMING PHOTOCONTROL RECEPTACLE - 7 PIN  
L03 = 3 FEET OF PREWIRED LEADS  
L10 = 10 FEET OF PREWIRED LEADS  
L20 = 20 FEET OF PREWIRED LEADS  
L25 = 25 FEET OF PREWIRED LEADS  
L30 = 30 FEET OF PREWIRED LEADS

**ACCESSORIES:**  
SPDPLUGIN = REPLACEMENT SURGE PROTECTOR 120-277V  
SPDPLUGIN48 = REPLACEMENT SURGE PROTECTOR 347-480V

ORDER # \_\_\_\_\_  
TYPE: \_\_\_\_\_  
DRAWING: EAF  
DATE: 01-11-15  
DWG # : LUM-COL2  
1 OF 3

TYPICAL FREESTANDING LIGHTPOLE AND LAMP 2 AS201

## SITE FURNISHINGS AND LIGHTING AS201

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Agenda Item #8.b.

**GENERAL ABBREVIATIONS AND SYMBOLS**

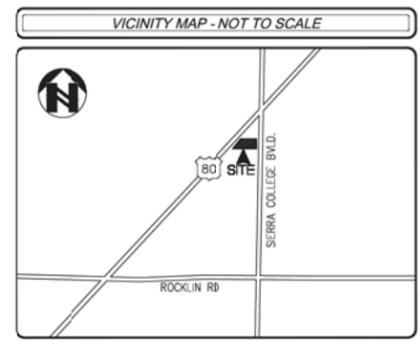
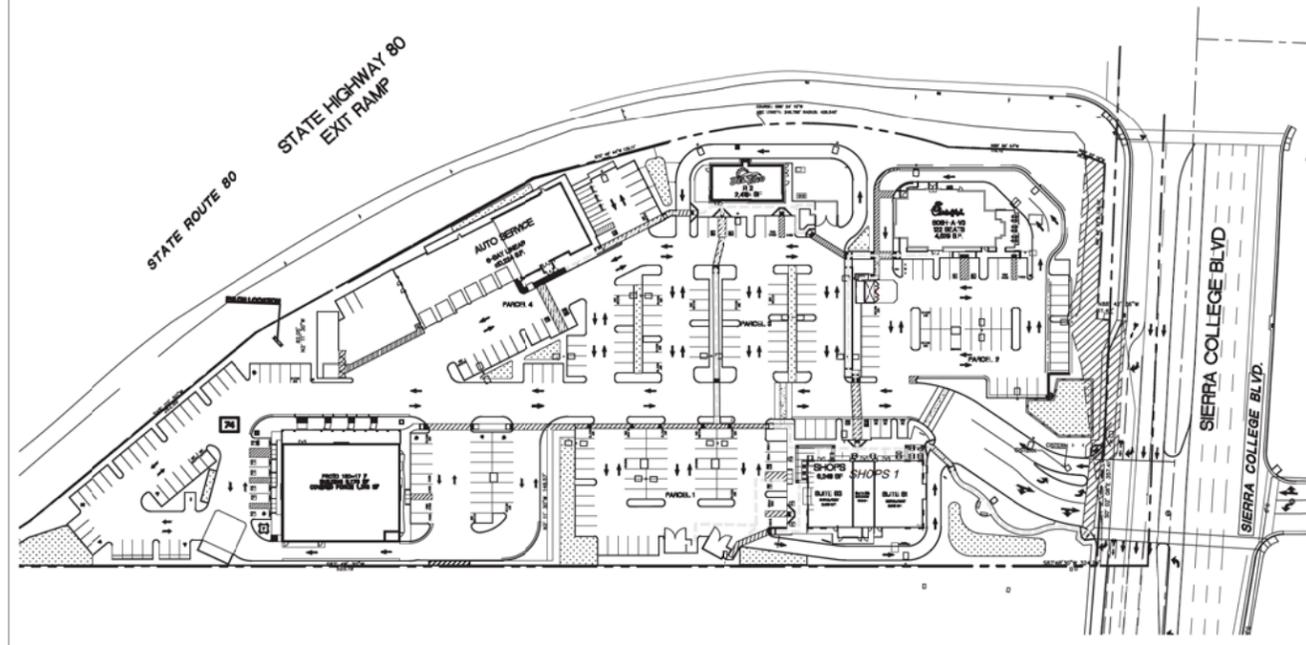
AB	AGGREGATE BASE		CONTROLLER CABINET
AC	ASPHALT CONCRETE		GUY POLE
AD	AREA DRAIN		HANDICAP SPACE
ASB	AGGREGATE SUBBASE		MONITORING WELL
BFP	BACKFLOW PREVENTER		POWER POLE
CB	CATCH BASIN		IRON PIPE
CL	CENTERLINE		RAILROAD SPIKE
DCV	DETECTOR CHECK VALVE		STANDARD CITY MONUMENT
DE	DIRT ELEVATION		SURVEY MONUMENT
DWY	DRIVEWAY		STORM DRAIN MANHOLE
E	ELECTRICAL LINE		STREET SIGN
EB	ELECTRIC BOX		STREET LIGHT
EP	EDGE OF PAVEMENT		WATER VALVE
EX	EXISTING		TREE WITH SIZE
FDC	FIRE DEPARTMENT CONNECTION		TREE REMOVAL
FF	FINISHED FLOOR		TRANSFORMER
FL	FLOWLINE		BARBED WIRE FENCE
FS	FINISHED SURFACE/FIRE SERVICES		CHAIN-LINKED FENCE
G	GAS PIPE		WOOD FENCE
GB	GRADE BREAK		SAWCUT LINE
GM	GAS METER		WALL
GP	GUARD POST		EXISTING STORM DRAIN CATCH BASIN
GR	GRATE		EXISTING WATER METER / GAS METER
HCR	HANDICAP RAMP		EXISTING SANITARY SEWER CLEANOUT
INV	INVERT		EXISTING FIRE HYDRANT
JP	JOINT POLE		EXISTING SANITARY SEWER MANHOLE
JT	JOINT TRENCH		STORM DRAIN MANHOLE
LF	LINEAR FEET		EXISTING WATER VALVE
MW	MONITORING WELL		EXISTING GAS VALVE
OHE	OVERHEAD ELECTRIC		EXISTING CONTOUR
OHT	OVERHEAD TELEPHONE		EXISTING ELEVATION
PAE	PUBLIC ACCESS EASEMENT		TC - TOP OF CURB ELEVATION
PB	PULL BOX		FS - FINISHED SURFACE
PCC	PORTLAND CEMENT CONCRETE		GR - GRATE ELEVATION
PG&E	PACIFIC GAS & ELECTRIC		FL - FLOW LINE
PIV	POST INDICATOR VALVE		HP - HIGH POINT
PUE	PUBLIC UTILITY EASEMENT		PROPOSED CONTOUR
PVC	POLYVINYL CHLORIDE PIPE		SLOPE
R	RIDGE LINE		PROPOSED CURB
RCP	REINFORCED CONCRETE PIPE		PROPOSED BIOSWALE CURB
RPP	REDUCED PRESSURE PRINCIPLE BACKFLOW		PROPOSED CURB AND GUTTER
SD	STORM DRAIN PIPE		PROPOSED FIRE LANE
SDCB	STORM DRAIN CATCH BASIN		HANDICAP RAMP
SDCO	STORM DRAIN CLEANOUT		
SDMH	STORM DRAIN MANHOLE		
SS	SANITARY SEWER PIPE		
SSCO	SANITARY SEWER CLEANOUT		
SSMH	SANITARY SEWER MANHOLE		
SW	SIDEWALK		
T	TELEPHONE LINE		
TC	TOP OF CURB		
TH	TOP OF CONCRETE HEADER		
TP	TELEPHONE POLE		
TS	TRAFFIC SIGNAL		
TSB	TRAFFIC SIGNAL BOX		
TW	TOP OF RETAINING WALL		
VG	VALLEY GUTTER		
W	WATER PIPE		
WM	WATER METER		

	6"W	EXISTING WATER LINE
	2"G	EXISTING GAS LINE
	8"SS	EXISTING SANITARY SEWER LINE
	SD	EXISTING STORM DRAIN LINE
	E	EXISTING ELECTRICAL LINE
	TEL	EXISTING TELEPHONE LINE
	■	PROPOSED STORM DRAIN CATCH BASIN
	WM ■ GM	PROPOSED WATER METER / GAS METER
	●	PROPOSED SANITARY SEWER CLEANOUT
	●	PROPOSED FIRE HYDRANT
	●	PROPOSED SANITARY SEWER MANHOLE
	●	PROPOSED STORM DRAIN MANHOLE
	●	PROPOSED WATER VALVE
	●	PROPOSED GAS VALVE
	6"FS	PROPOSED FIRE SERVICE
	W	PROPOSED WATER LINE
	2"G	PROPOSED GAS LINE
	S	PROPOSED SANITARY SEWER LINE
	SD	PROPOSED STORM DRAIN LINE
	E	PROPOSED ELECTRICAL LINE
	TEL	PROPOSED TELEPHONE LINE
	JUT	PROPOSED JOINT UTILITY TRENCH
	←	OVERLAND RELEASE
	R	RIDGE LINE
	⊞	PARKING LIGHT
	⊞	PERFORATED PIPE

**ROCKLIN STATION**

**4660 SIERRA COLLEGE BLVD  
ROCKLIN, CA  
PLACER COUNTY**

**SITE KEY MAP 1" = 60'**



**SHEET INDEX**

CIVIL	
C-1	COVER SHEET
C-2	SITE PLAN
C-3	GRADING PLAN
C-4	UTILITY PLAN
C-5	STORM WATER CONTROL PLAN
C-6	STORM WATER CONTROL PLAN
C-7	PRELIMINARY TRAFFIC SIGNAL PLAN
C-8	OFFSITE IMPROVEMENT PLAN
C-9	OFFSITE IMPROVEMENT PLAN
C-10	TENTATIVE PARCEL MAP
I&E	ALTA SURVEY

**PROJECT CONTACTS**

<b>OWNER</b> THOMAS SIERRA, LLC c/o THOMAS PROPERTIES 3108 OAK ROAD, SUITE #140 WALNUT CREEK, CA 94597 TEL: (925) 945-6266 SAM THOMAS; sorthomas@logoconstruction.com	<b>CITY OF ROCKLIN</b> DEPARTMENT OF PLANNING DARA DUNGWORTH - ASSOCIATE PLANNER 3970 ROCKLIN ROAD ROCKLIN, CA 95677 916-625-5160 DARA.DUNGWORTH@ROCKLIN.CA.US	<b>TELEPHONE</b> A1&T MS. CHARLENE SASAMOTO 5498 CROSSINGS DR. SUITE 103 ROCKLIN, CA 95677
<b>CIVIL ENGINEER</b> ams associates, inc. 801 YGNACIO VALLEY ROAD, SUITE 220 WALNUT CREEK, CA 94596 PHONE: (925) 943-2777 FAX: (925) 943-2778 AL SHAGHAGHI; a@amsassociates.us FEDROS GHADIRI; FEDROS@amsassociates.us	<b>CITY OF ROCKLIN</b> DEPARTMENT OF PUBLIC WORKS 4081 ALVIS CT ROCKLIN, CA 95677 916-625-5500	<b>WATER COMPANY</b> PLACER COUNTY WATER AGENCY MR. JOSH LEIKO 144 FERGUSON RD. AUBURN, CA 95603 530-823-4850
<b>ARCHITECT</b> GEORGE MEU ASSOCIATES 499 EMBARCADERO, SUITE 6 AT THE 5TH AVENUE MARNIA, OAKLAND, CALIFORNIA, 94606 TEL: (925) 673-9040 LESTER MEU; lmeu@geomeu.com	<b>GAS AND ELECTRICITY</b> PACIFIC GAS & ELECTRIC (PG&E) 3301 INDUSTRIAL AVE. ROCKLIN, CA 95785 916-408-3210	<b>CABLE AND TELEPHONE</b> WAVE BROADBAND 4120 CITRUS AVE. ROCKLIN, CA 95677 866-928-3123
<b>LANDSCAPE ARCHITECT</b> THOMAS BARK AND ASSOCIATES, LLP 1620 NORTH MAIN STREET, SUITE 4 WALNUT CREEK, CA 94596 TEL: (925) 933-2583 ANDREA SWANSON; rstover@tbook.com	<b>SANITARY SEWER</b> SOUTH PLACER MUNICIPAL UTILITY DISTRICT (SPMUD) MS. CARY HUFF 5807 SPRINGVEW DR. ROCKLIN, CA 95677	<b>DSL AND TELEPHONE</b> CONSOLIDATED COMMUNICATIONS 1624 SANTA CLARA RD. ROSEVILLE, CA 95661 916-782-9700
<b>GEOTECHNICAL ENGINEER</b> TERRACON CONSULTANTS, INC. 50 GOLDENLAND COURT, SUIT 100 SACRAMENTO, CA TEL: (916) 928-4690	<b>SOLID WASTE REMOVAL</b> RECOLOGY AUBURN PLACER 12305 SHALE RIDGE LANE AUBURN, CA 95602 530-885-3735	

**PROJECT DATA**

**BENCHMARK:**  
THE CENTERLINE FOR SIERRA COLLEGE BLVD, ESTABLISHED BETWEEN FOUND MONUMENTS AND NOTED HEREON, TAKEN AS NORTH 00°03'48" EAST AS SHOWN ON THE RECORD OF SURVEY RECORDED ON BOOK 21 OF MAPS AT PAGE 58, PLACER COUNTY RECORDS.

**BASIS OF BEARINGS:**  
CITY OF ROCKLIN STATION "R 1-5" - ELEV=315.83 (NGVD29).  
A 3" BRASS DISK MARKING THE QUARTER CORNER COMMON TO SECTIONS 16 & 17, 1.11N., R.7E., M.D.M. LOCATED IN A MONUMENT WELL IN THE CENTER OF GRANITE DRIVE 1500± FEET NORTHEASTERLY OF DOMINGUEZ ROAD.

**SOILS ENGINEER**  
THIS GRADING PLAN HAS BEEN REVIEWED BY THE UNDERSIGNED AND FOUND TO BE IN CONFORMANCE WITH THE RECOMMENDATIONS AS OUTLINED IN THE PROJECT'S SOILS REPORT DATED OCTOBER 14, 2015 (FILE NO: NB155053). THIS SOILS REPORT AND SUPPLEMENTAL LETTER SHALL BE CONSIDERED AS PART OF THIS PLAN AND ALL GRADING WORK SHALL BE IN ACCORDANCE WITH SAID SOILS REPORT AND SUPPLEMENTAL LETTER. WE MAKE NO REPRESENTATION AS TO THE ACCURACY OF DIMENSIONS, MEASUREMENTS, CALCULATIONS, OR ANY PORTION OF THE DESIGN.

**FIRM:**  
**TERRACON CONSULTANTS, INC.**

**BY:** ROBERT HOLMER P.E. S.E.

**DATE:**

DESCRIPTION

DATE: 06-26-17 REV: # BY: DATE

SCALE: 1"=50'

DESIGNED: PG

DRAWN: PG

CHECKED: AS

PROJ. MGR: AS

FILE PATH: Y:\14-2216 ROCKLIN\ATEST DATE DIR\CTORY\216COVER.DWG

801 YGNACIO VALLEY ROAD  
SUITE 220  
WALNUT CREEK, CA 94596  
925-943-2777 FAX 925-943-2778

**ams**  
associates, inc. PLANNING ENGINEERING SURVEYING

CALIFORNIA

COVER SHEET  
OF  
ROCKLIN STATION  
4660 SIERRA COLLEGE BLVD  
PLACER

ROCKLIN

SHEET C-1 OF PROJECT 15-2216

**LEGEND**



BIO-RETENTION AREA

**NOTES:**

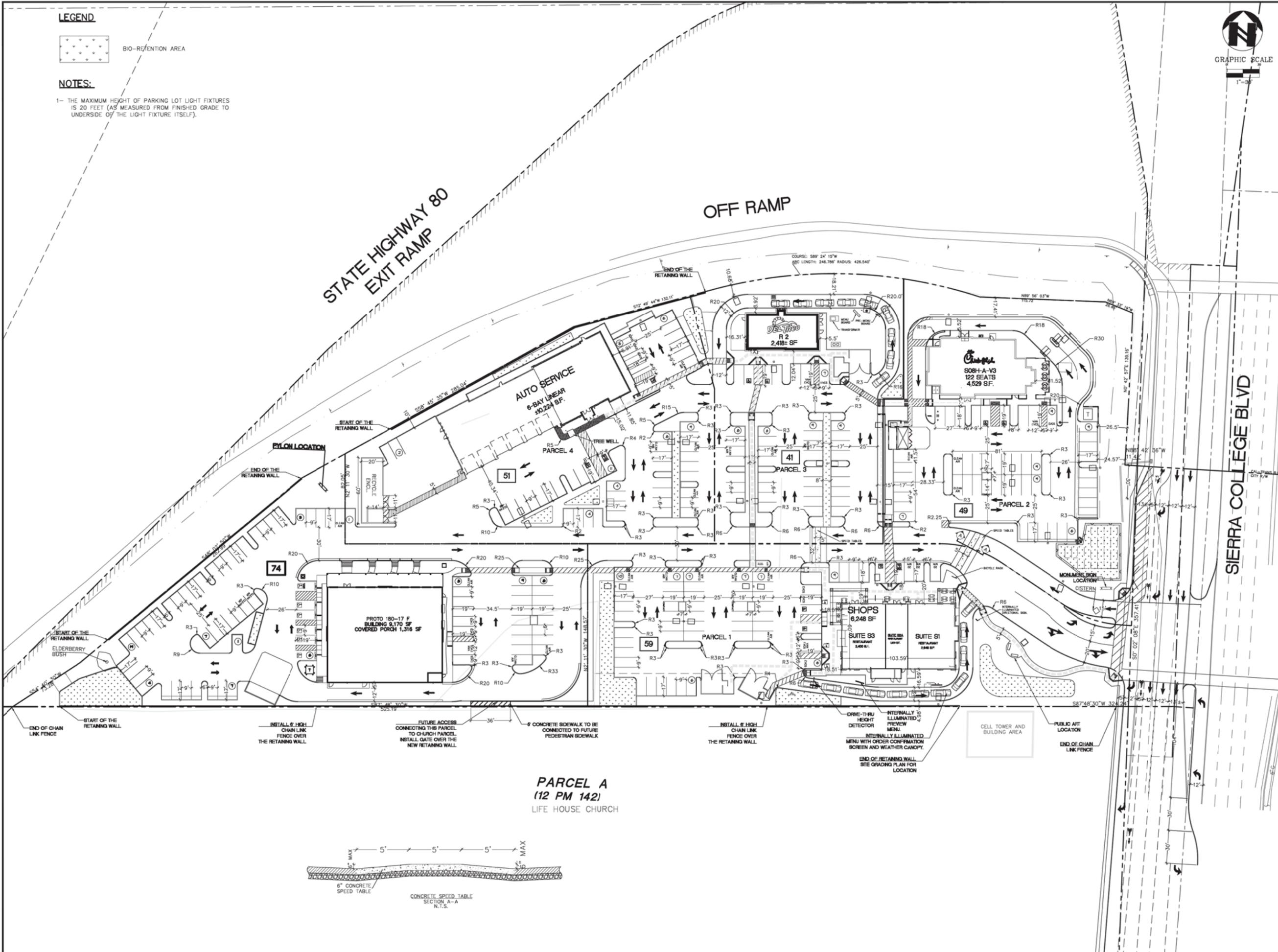
1- THE MAXIMUM HEIGHT OF PARKING LOT LIGHT FIXTURES IS 20 FEET (AS MEASURED FROM FINISHED GRADE TO UNDERSIDE OF THE LIGHT FIXTURE ITSELF).



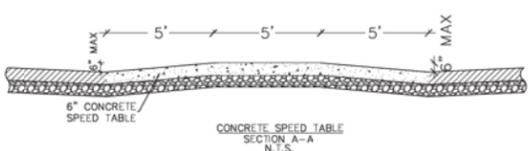
STATE HIGHWAY 80  
EXIT RAMP

OFF RAMP

SIERRA COLLEGE BLVD



**PARCEL A**  
**(12 PM 142)**  
LIFE HOUSE CHURCH



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DESIGNED	AS				
DRAWN	PG				
CHECKED	AS				
PROJ. MGR.	AS				
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**ams**  
associates, inc. PLANNING ENGINEERING SURVEYING

851 SPACED VALLEY ROAD  
SUITE 200  
WALNUT CREEK, CA 94596  
925-943-2777 FAX 925-943-2778

**PRELIMINARY HORIZONTAL CONTROL**  
ROCKLIN STATION  
4660 SIERRA COLLEGE BLVD  
PLACER COUNTY CALIFORNIA

SHEET **C-2**  
OF  
PROJECT  
**14-2216**  
ROCKLIN

Packet Pg. 152

Agenda Item #8.b.

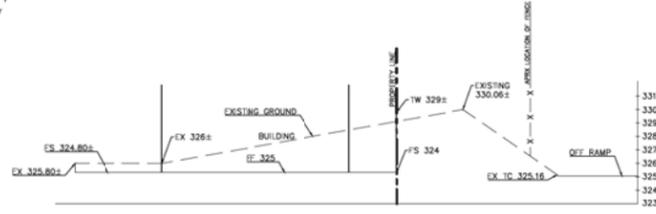
LEGEND



BIO-RETENTION AREA



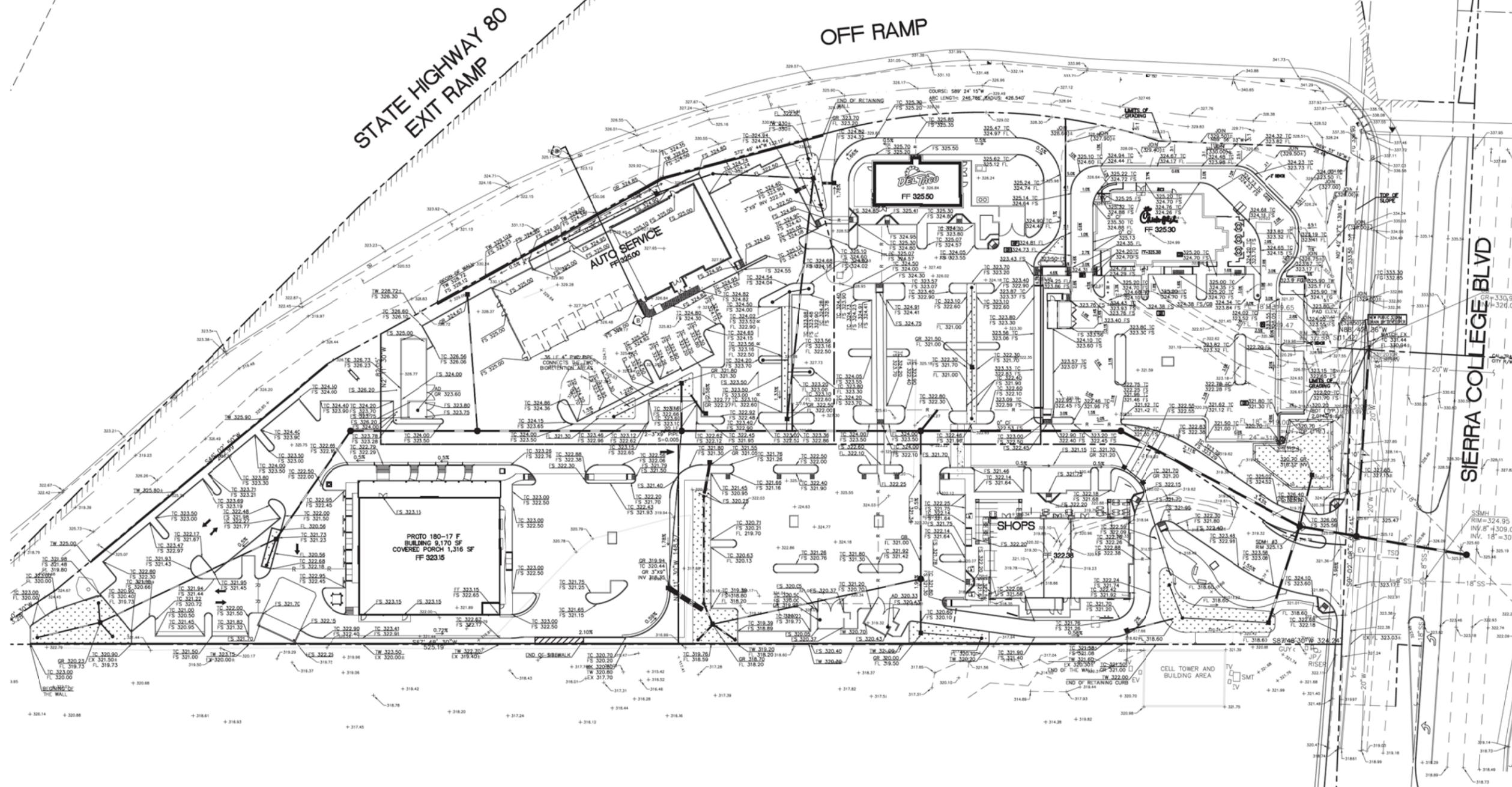
GRAPHIC SCALE  
1"=30'



STATE HIGHWAY 80  
EXIT RAMP

OFF RAMP

SIERRA COLLEGE BLVD



Packet Pg. 153

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CHECKED:	AS				
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881 WINDACO VALLEY ROAD  
SUITE 200  
WALNUT CREEK, CA 94596  
925-943-2777 FAX 925-943-2778



associates, inc. PLANNING ENGINEERING SURVEYING  
CALIFORNIA

PRELIMINARY GRADING PLAN  
ROCKLIN STATION  
4660 SIERRA COLLEGE BLVD  
PLACER COUNTY  
ROCKLIN

SHEET C-3  
PROJECT 14-2216

Agenda Item #8.b.

**GENERAL NOTES:**

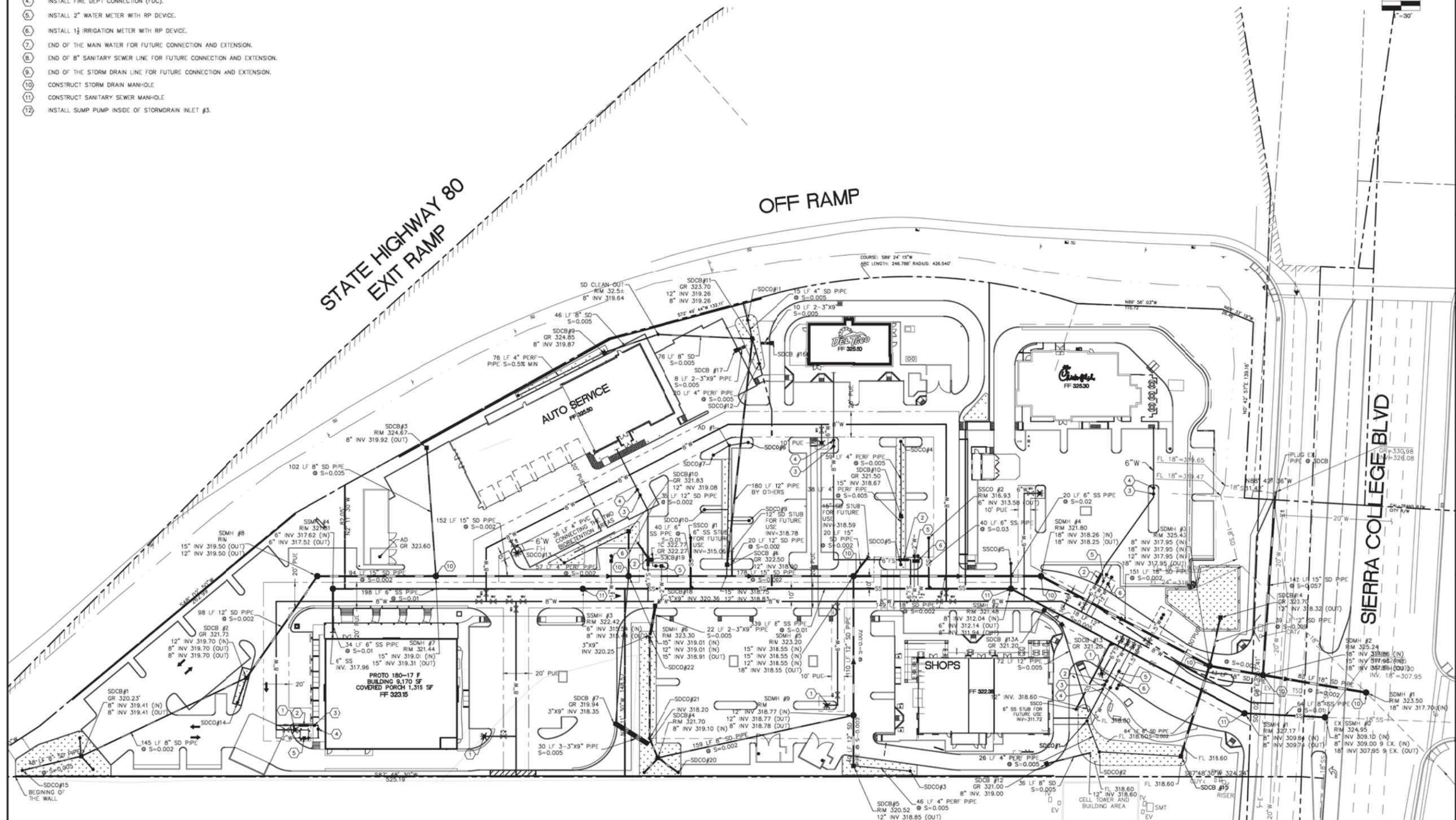
1. FIRE HYDRANT.
2. INSTALL 6" DDCV.
3. INSTALL POST INDICATOR VALVE (PIV).
4. INSTALL FIRE DEPT CONNECTION (FDC).
5. INSTALL 2" WATER METER WITH RP DEVICE.
6. INSTALL 1 1/2" IRRIGATION METER WITH RP DEVICE.
7. END OF THE MAIN WATER FOR FUTURE CONNECTION AND EXTENSION.
8. END OF 8" SANITARY SEWER LINE FOR FUTURE CONNECTION AND EXTENSION.
9. END OF THE STORM DRAIN LINE FOR FUTURE CONNECTION AND EXTENSION.
10. CONSTRUCT STORM DRAIN MANHOLE.
11. CONSTRUCT SANITARY SEWER MANHOLE.
12. INSTALL SUMP PUMP INSIDE OF STORM DRAIN INLET #3.



STATE HIGHWAY 80  
EXIT RAMP

OFF RAMP

SIERRA COLLEGE BLVD



**SMUD NOTES:**

1. AN EXTERIOR, GRAVITY, GREASE INTERCEPTOR WITH SAMPLING PORT IS REQUIRED FOR FOOD SERVICE ESTABLISHMENTS. THE GREASE INTERCEPTOR SHALL BE SIZED BY THE CUPC OFU CALCULATIONS AND SHALL BE PROVIDED TO THE DISTRICT WITH THE IMPROVEMENT PLAN SUBMITTAL. THE GREASE INTERCEPTOR SHALL HAVE THREE ACCESS MANHOLES ADJUSTED TO GRADE WITH 6-INCH THROUGH PIPING.
2. THE GREASE INTERCEPTOR SHALL BE LOCATED OUTSIDE OF THE PARKING STALLS.
3. A SAND OIL SEPARATOR WITH SAMPLING PORT IS REQUIRED FOR THE AUTO SERVICE BUSINESS. THE SAND OIL SEPARATOR SHALL HAVE THREE ACCESS MANHOLES WITH 6-INCH THROUGH PIPING.
4. SEPARATE WASTE AND GREASE LINES ARE REQUIRED FOR THE FOOD SERVICE ESTABLISHMENTS AND THE AUTO SERVICE BUSINESS.
5. THE SEWER LATERAL SHALL BE A MINIMUM OF 6-INCHES TO THE TWO-WAY CLEANOUTS LOCATED WITHIN TWO FEET OF THE BUILDING.

6. MINIMUM SEPARATION BETWEEN UTILITIES IS REQUIRED. SEWER AND STORM DRAIN SHALL BE 5- FEET FROM OUTSIDE OF PIPE/STRUCTURE TO OUTSIDE OF PIPE/STRUCTURE. THE MINIMUM SEPARATION BETWEEN WATER AND SEWER IS 10- FEET FROM OUTSIDE OF PIPE/STRUCTURE TO OUTSIDE OF PIPE/STRUCTURE.
7. A FLUSHING BRANCH WITH ACCESS PER DISTRICT STANDARDS AND SPECIFICATIONS IS REQUIRED AT THE TEMPORARY END OF THE SEWER LINE.
8. ALL FOOD SERVICE ESTABLISHMENTS WITHIN THE DISTRICT ARE REQUIRED BY F.A.S. OILS AND GREASE (FOG) ORDINANCE 09-01 TO BE PERMITTED.

**CCWA NOTES:**

1. SEPARATION OF WATER AND SANITARY SEWER FACILITIES MUST MAINTAIN A MINIMUM OF 10 FEET HORIZONTAL AND 1 FOOT VERTICAL WITH WATER ABOVE.
2. SEPARATION OF WATER AND STORM DRAIN FACILITIES MUST MAINTAIN A MINIMUM OF 4 FEET HORIZONTAL AND 1 FOOT VERTICAL WITH WATER ABOVE.
3. WATER FACILITIES AND JOINT TRENCH MUST HAVE A MINIMUM SEPARATION OF 2 FEET BETWEEN TRENCH WALLS. HOUSE CHURCH
4. ALL WET UTILITIES CROSSING WATER FACILITIES MUST CROSS WITH A MAXIMUM 45 DEGREE CROSSING ANGLE FROM WHAT WOULD BE PERPENDICULAR. WATER FACILITIES MUST CROSS ABOVE ALL WET UTILITIES.
5. MAINS WITHIN ROADWAYS, ALLEYS, PARKING LOT DRIVE SLEES, AND OTHER TRAVEL WAYS SHALL BE LOCATED UNDER PAVEMENT AND AT A MINIMUM 3' FROM THE EDGE OF PAVEMENT.
6. ALL DOMESTIC SERVICES SHALL HAVE REDUCED PRESSURE PRINCIPLE (RP) BACKFLOW DEVICE CONSTRUCTED TO AGENCY STANDARDS.
7. ALL FIRE SERVICES SHALL HAVE A DOUBLE CHECK DETECTOR ASSEMBLY (DCCA) BACKFLOW DEVICE CONSTRUCTED TO AGENCY STANDARDS.

**DEPARTMENT NOTES:**

1. THE LOOP WATER MAIN IS PUBLIC LINE.

PRELIMINARY UTILITY PLAN  
ROCKLIN STATION

4660 SIERRA COLLEGE BLVD  
PLACER COUNTY  
ROCKLIN

SHEET C-4

PROJECT 14-2216

ams  
associates, inc. PLANNING ENGINEERING SURVEYING

881 WINDACO VALLEY ROAD  
SUITE 200  
WALNUT CREEK, CA 94596  
925-943-2777 FAX 925-943-2778

DATE:	08-26-17	REV #	BY	DATE	DESCRIPTION
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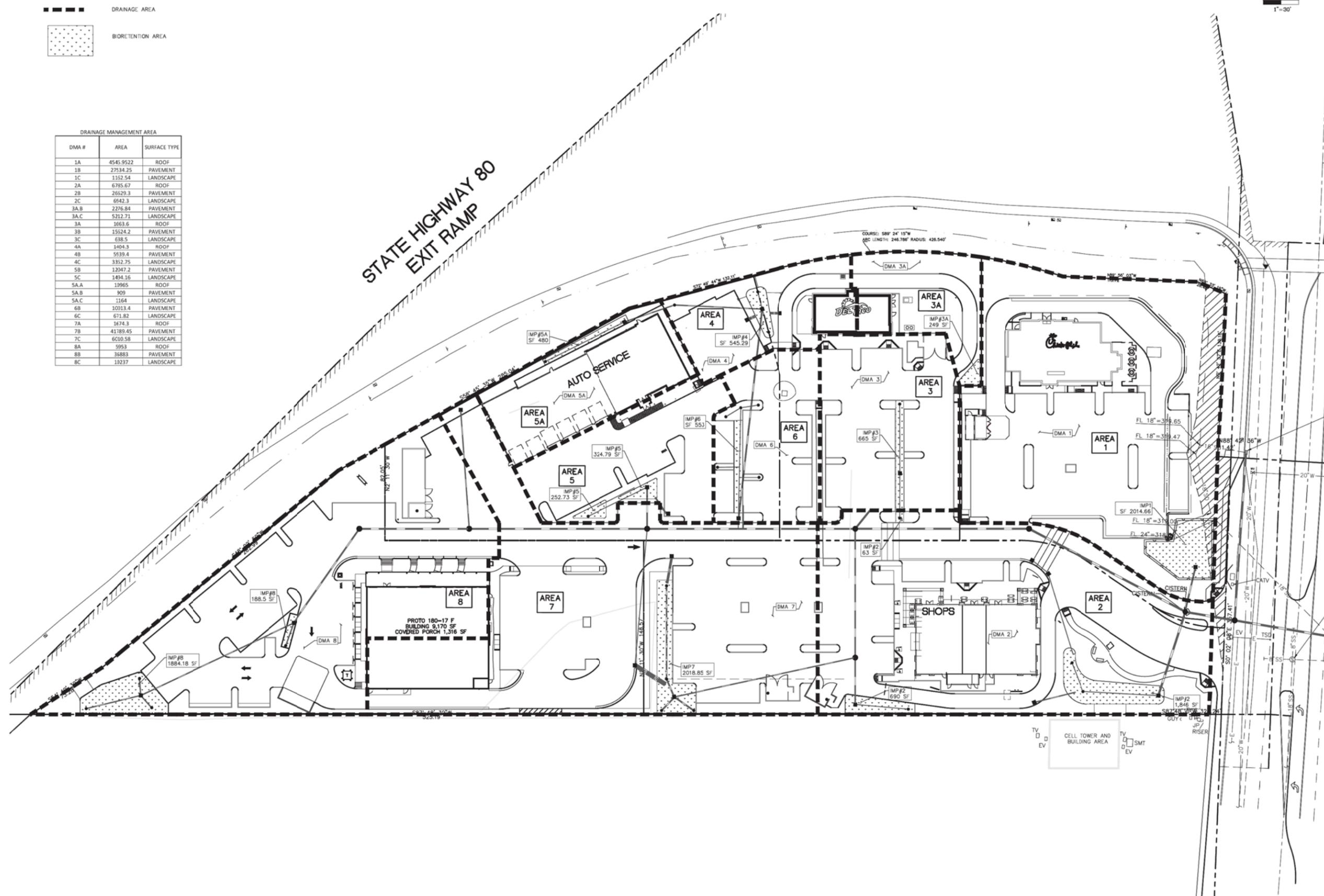
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Agenda Item #8.b.

**LEGEND**

- DMA DRAINAGE MANAGEMENT AREA
- IMP INTEGRATED MANAGEMENT PRACTICE
- DRAINAGE AREA
- [Dotted Pattern] BIORETENTION AREA

DMA #	AREA	SURFACE TYPE
1A	4545.9522	ROOF
1B	27534.25	PAVEMENT
1C	1152.54	LANDSCAPE
2A	6785.67	ROOF
2B	26529.3	PAVEMENT
2C	6642.3	LANDSCAPE
3A.B	2276.84	PAVEMENT
3A.C	5212.71	LANDSCAPE
3A	1063.6	ROOF
3B	15524.2	PAVEMENT
3C	638.5	LANDSCAPE
4A	1404.3	ROOF
4B	5539.4	PAVEMENT
4C	3352.75	LANDSCAPE
5B	12047.2	PAVEMENT
5C	1494.16	LANDSCAPE
5A.A	19965	ROOF
5A.B	909	PAVEMENT
5A.C	1164	LANDSCAPE
6B	10013.4	PAVEMENT
6C	671.82	LANDSCAPE
7A	1674.3	ROOF
7B	41789.45	PAVEMENT
7C	6210.58	LANDSCAPE
8A	5953	ROOF
8B	35883	PAVEMENT
8C	19237	LANDSCAPE



DATE	REV #	BY	DATE	DESCRIPTION
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	5	AS		PROJ. MGR: AS
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**ams**  
 associates, inc. PLANNING ENGINEERING SURVEYING  
 851 SPANCO VALLEY ROAD  
 SUITE 200  
 WALNUT CREEK, CA 94596  
 925-943-2777 FAX 925-943-2778

**C-5** PRELIMINARY STORM WATER CONTROL PLAN  
 OF  
 PROJECT  
**14-2216**  
 ROCKLIN STATION  
 4660 SIERRA COLLEGE BLVD  
 PLACER COUNTY  
 CALIFORNIA

Packet Pg. 155

Agenda Item #8.b.

SIZING CALCULATION				
DMA #	AREA TRIBUTARY TO IMP (SF)	IMP #	TREATMENT AREA REQUIRED (SF)	TREATMENT AREA PROVIDED (SF)
1A	4546			
1B	27534			
1C	116			
DMA-1 TOTAL	32,196	IMP-1	1,288	2,015
2A	6786			
2B	26,629			
2C	694			
DMA-2 TOTAL	34,109	IMP-2	1,364	2,600
3B	15,624			
3C	64			
DMA-3 TOTAL	15,688	IMP-3	628	665
3A-A	1404			
3A-B	2,287			
3A-C	5,213			
DMA-3A TOTAL	8,904	IMP-3A	168	249
4A	1404			
4B	5,939			
4C	335			
DMA-4 TOTAL	7,678	IMP-4	307	545
5B	12,047			
5C	1,494			
DMA-5 TOTAL	13,541	IMP-5	488	578
5A-A	10,965			
5A-B	909			
5A-C	1,164			
DMA-5A TOTAL	13,038	IMP-5A	480	480
6B	10,013			
6C	672			
DMA-6 TOTAL	10,685	IMP-6	403	553
7A	1,674			
7B	41,789			
7C	6,011			
DMA-7 TOTAL	49,474	IMP-7	1,763	2,019
8A	5,953			
8B	36,583			
8C	10,237			
DMA-8 TOTAL	53,073	IMP-8	1,754	2,073

Project Name: ROCKLIN STATION  
 Project Type: Treatment Only  
 Location: 4650 SIERRA COLLEGE BLVD  
 APN: 045-052-019  
 Drainage Area: 260486.49 sf  
 Mean Annual Precipitation: 22.8 in

IV. Areas Draining to IMPs

IMP Name: IMP 1 (Soil Type: B)  
 IMP Type: Bioretention Facility  
 Soil Type: B

DMA Name	DMA Area (sq ft)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing
DMA 1C	116	Landscaping	0.15	17	
DMA 1B	27534	Concrete or Asphalt	1.00	27534	
DMA 1A	4546	Conventional Roof	1.00	4546	
<b>Total</b>	<b>32196</b>			<b>32196</b>	
<b>Area</b>			0.042	1.000	1.288

IMP Name: IMP2 (Soil Type: B)  
 IMP Type: Bioretention Facility  
 Soil Type: B

DMA Name	DMA Area (sq ft)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing
DMA 2C	694	Landscaping	0.15	104	
DMA 2B	26629	Concrete or Asphalt	1.00	26629	
DMA 2A	6786	Conventional Roof	1.00	6786	
<b>Total</b>	<b>34109</b>			<b>34109</b>	
<b>Area</b>			0.042	1.000	1.364

IMP Name: IMP3 (Soil Type: B)  
 IMP Type: Bioretention Facility  
 Soil Type: B

DMA Name	DMA Area (sq ft)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing
DMA 3C	64	Landscaping	0.15	10	
DMA 3B	15624	Concrete or Asphalt	1.00	15624	
<b>Total</b>	<b>15688</b>			<b>15688</b>	
<b>Area</b>			0.042	1.000	628

IMP Name: IMP 3A (Soil Type: B)  
 IMP Type: Bioretention Facility  
 Soil Type: B

DMA Name	DMA Area (sq ft)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing
DMA 3A-C	5213	Landscaping	0.15	782	
DMA 3A-B	2287	Concrete or Asphalt	1.00	2287	
DMA 3A-A	1404	Conventional Roof	1.00	1404	
<b>Total</b>	<b>8904</b>			<b>4273</b>	
<b>Area</b>			0.042	1.000	168

IMP Name: IMP 4 (Soil Type: B)  
 IMP Type: Bioretention Facility  
 Soil Type: B

DMA Name	DMA Area (sq ft)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing
DMA 4C	335	Landscaping	0.15	50	
DMA 4B	5939	Concrete or Asphalt	1.00	5939	
DMA 4A	1404	Conventional Roof	1.00	1404	
<b>Total</b>	<b>7678</b>			<b>6473</b>	
<b>Area</b>			0.042	1.000	307

IMP Name: IMP 5 (Soil Type: B)  
 IMP Type: Bioretention Facility  
 Soil Type: B

DMA Name	DMA Area (sq ft)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing
DMA 5C	1494	Landscaping	0.15	224	
DMA 5B	12047	Concrete or Asphalt	1.00	12047	
<b>Total</b>	<b>13541</b>			<b>12271</b>	
<b>Area</b>			0.042	1.000	488

IMP Name: IMP 5A (Soil Type: B)  
 IMP Type: Bioretention Facility  
 Soil Type: B

DMA Name	DMA Area (sq ft)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing
DMA 5A-C	1164	Landscaping	0.15	174	
DMA 5A-B	909	Concrete or Asphalt	1.00	909	
DMA 5A-A	10965	Conventional Roof	1.00	10965	
<b>Total</b>	<b>13038</b>			<b>12148</b>	
<b>Area</b>			0.042	1.000	480

IMP Name: IMP 6 (Soil Type: B)  
 IMP Type: Bioretention Facility  
 Soil Type: B

DMA Name	DMA Area (sq ft)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing
DMA 6C	672	Landscaping	0.15	101	
DMA 6B	10013	Concrete or Asphalt	1.00	10013	
<b>Total</b>	<b>10685</b>			<b>10114</b>	
<b>Area</b>			0.042	1.000	403

IMP Name: IMP 7 (Soil Type: B)  
 IMP Type: Bioretention Facility  
 Soil Type: B

DMA Name	DMA Area (sq ft)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing
DMA 7C	6011	Landscaping	0.15	902	
DMA 7B	41789	Concrete or Asphalt	1.00	41789	
DMA 7A	1674	Conventional Roof	1.00	1674	
<b>Total</b>	<b>49474</b>			<b>43465</b>	
<b>Area</b>			0.042	1.000	1763

IMP Name: IMP 8 (Soil Type: B)  
 IMP Type: Bioretention Facility  
 Soil Type: B

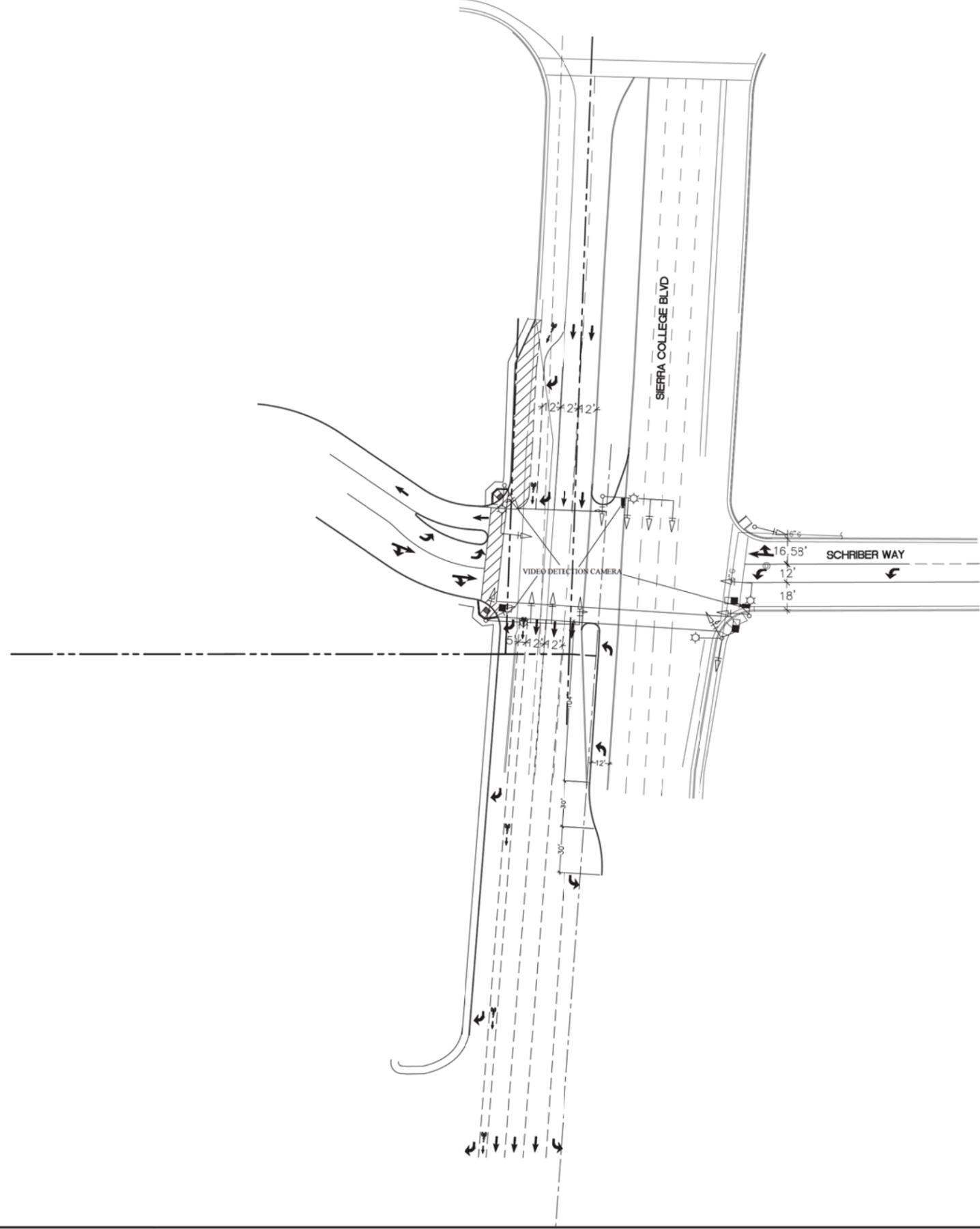
DMA Name	DMA Area (sq ft)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing
DMA 8A	5953	Conventional Roof	1.00	5953	
DMA 8B	36583	Concrete or Asphalt	1.00	36583	
DMA 8C	10237	Landscaping	0.15	1535	
<b>Total</b>	<b>53073</b>			<b>43871</b>	
<b>Area</b>			0.042	1.000	1754

PRELIMINARY STORM WATER CONTROL PLAN  
 ROCKLIN STATION  
 4650 SIERRA COLLEGE BLVD  
 PLACER COUNTY  
 CALIFORNIA

SHEET C-6  
 OF PROJECT  
 14-2216  
 ROCKLIN

ams  
 851 WINDACO VALLEY ROAD  
 SUITE 200  
 WALNUT CREEK, CA 94596  
 925-943-2777 FAX 925-943-2778  
 associates, inc. PLANNING ENGINEERING SURVEYING

DATE:	06-26-17	REV #	BY	DATE	DESCRIPTION
DESIGNED:	FG				
DRAWN:	FG				
CHECKED:	AS				
PROJ. MGR:	AS				
FILE PATH:	Y:\14-2216 ROCKLIN\ATEST DATE DIR\DIR\Y216SW.DWG				



SHEET C-7

OF

PROJECT 14-2216

PRELIMINARY TRAFFIC SIGNAL PLAN

ROCKLIN STATION

4660 SIERRA COLLEGE BLVD  
PLACER COUNTY

ROCKLIN

CALIFORNIA



851 SPANCO VALLEY ROAD  
SUITE 200  
WALNUT CREEK, CA 94596  
925-943-2777 FAX 925-943-2778

ASSOCIATES, INC. PLANNING ENGINEERING SURVEYING

DATE: 06-22-17 REV # BY DATE

SCALE: 1"=30'

DESIGNED: AS

DRAWN: PG

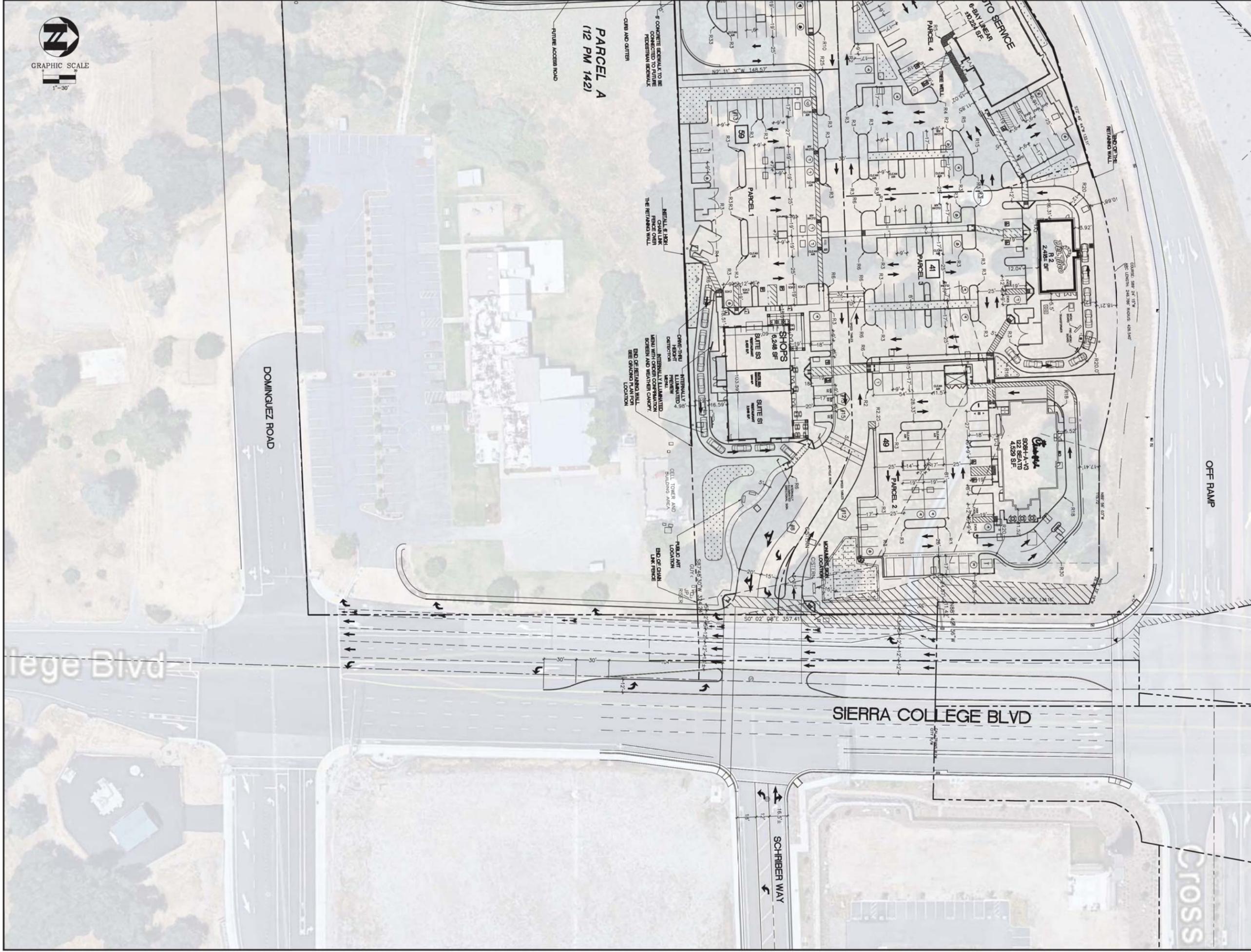
CHECKED: AS

PROJ. MGR: AS

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DESCRIPTION

DESCRIPTION	DATE	BY	REV #



SHEET C-8

PROJECT OF

14-2216

OFFSITE IMPROVEMENT PLAN

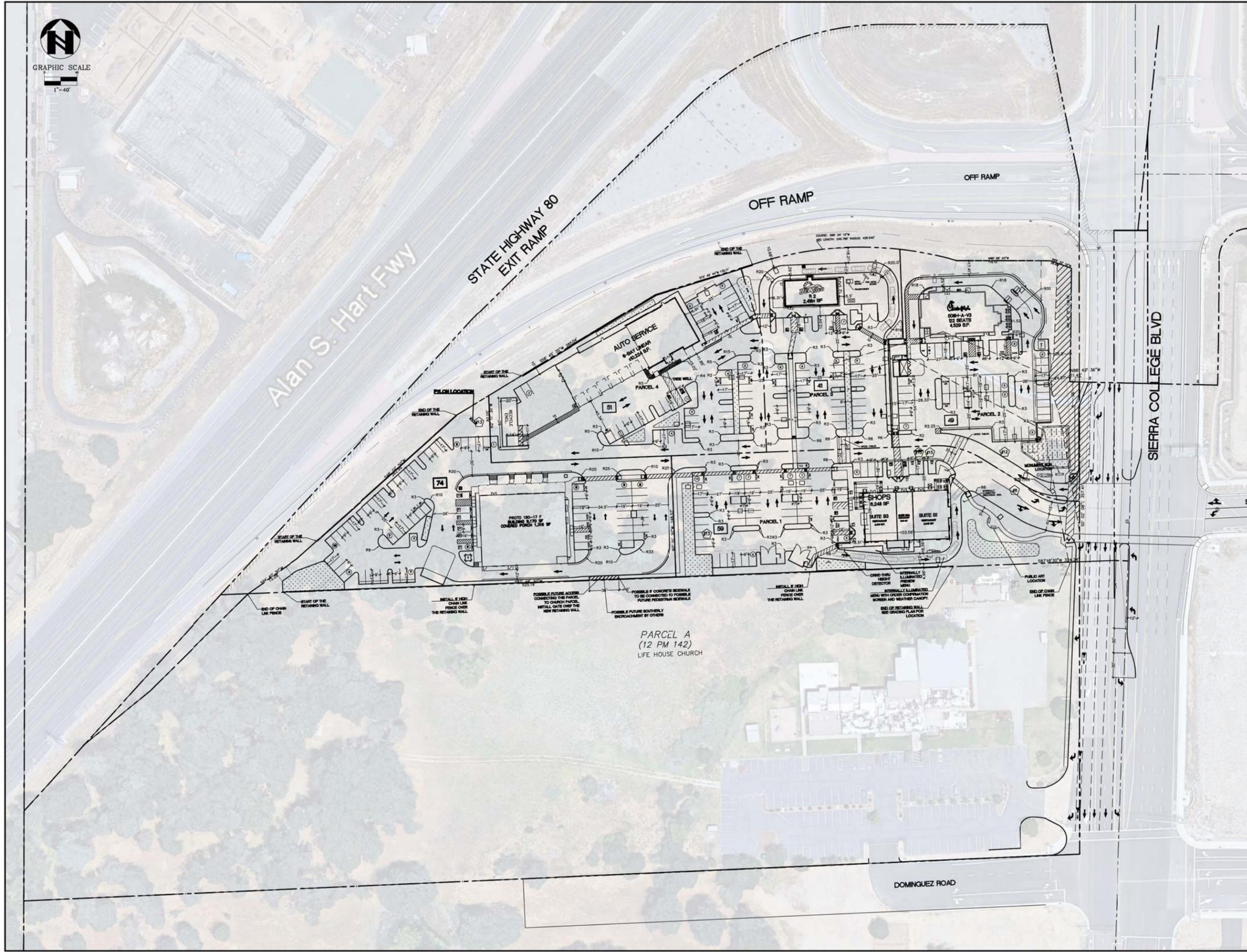
SIERRA COLLEGE BLVD  
PLACER COUNTY

CALIFORNIA

**ams**  
 associates, inc. PLANNING ENGINEERING SURVEYING

851 WINDACO VALLEY ROAD  
 SUITE 200  
 WALNUT CREEK, CA 94596  
 925-943-2777 FAX 925-943-2778

DATE:	08-26-17	REV #	BY	DATE	DESCRIPTION
SCALE:	AS SHOWN				
DESIGNED:	RA				
DRAWN:	AS				
CHECKED:	AS				
PROJ. MGR:	AS				
FILE PATH:	Y:\14-2216 ROCK IN\ATEST DATE DIR\CDR\Y142216DT SITE.DWG				



PARCEL A  
(12 PM 142)  
LIFE HOUSE CHURCH

SHEET	C-9	OFFSITE IMPROVEMENT PLAN	ROCKLIN	PLACER COUNTY	CALIFORNIA
PROJECT	14-2216	SIERRA COLLEGE BLVD	PLACER COUNTY	SIERRA COLLEGE BLVD	CALIFORNIA
DATE:	08-26-17	REV #	AS SHOWN	DESCRIPTION	
SCALE:	AS SHOWN	DATE			
DESIGNED:	PG				
DRAWN:	AS				
CHECKED:	AS				
PROJ. MGR:	AS				
FILE PATH:	Y:\14-2216 ROCKLIN\ATEST DATE DIRECTORY\2216OFFSITE.DWG				

**ams**  
associates, inc. PLANNING ENGINEERING SURVEYING  
851 WINDACO VALLEY ROAD  
SUITE 200  
WALNUT CREEK, CA 94596  
925-943-2777 FAX 925-943-2778



- ABBREVIATIONS:
- AC - ASPHALT CONCRETE
  - B/P - BACKFLOW PREVENTOR
  - BWF - BARBED WIRE FENCE
  - CA - CABLE
  - CB - CATCH BASIN
  - CL - CURB INLET
  - CLF - CHAIN LINK FENCE
  - CONC - CONCRETE
  - CWB - CROSS WALK BUTTON
  - DDCV - DOUBLE DETECTOR CHECK VALVE
  - D.I. - DROP INLET
  - DWY - DRIVEWAY
  - E - ELECTRIC LINE
  - EB - ELECTRIC BOX
  - EM - ELECTRIC METER
  - EP - EDGE OF PAVEMENT
  - EV - ELECTRIC VAULT
  - FD - FACE OF CURB
  - FDC - FIRE DEPT. CONNECTION
  - FI - FIRE HYDRANT
  - FL - FLOWLINE
  - G - GAS LINE
  - GM - GAS METER
  - GP - GUARD POST
  - GV - GAS VALVE
  - HCR - HANDICAP RAMP
  - IRR - IRRIGATION
  - ICV - IRRIGATION CONTROL VALVE
  - JP - JOINT POLE
  - JT - JOINT TRENCH
  - MFT - MULTI-TAPPED TREE
  - MW - MONITORING WELL
  - OU - OVERHEAD UTILITY
  - P.V. - POST INDICATOR VALVE
  - PG&E - PRACTICE GAS & ELECTRIC
  - PL - PROPERTY LINE
  - PLANTER - PLANTER
  - PP - POWER POLE
  - PUE - PUBLIC UTILITY EASEMENT
  - R/W - RIGHT OF WAY
  - R - REFERENCE
  - S.B.L. - SEEBACK LINE
  - SD - STORM DRAIN LINE
  - SL - STREET LIGHT
  - SMT - SURFACE MOUNTED TRANSFORMER
  - SS - SANITARY SEWER LINE
  - SSOD - SANITARY SEWER CLEANOUT
  - SW - SIDEWALK
  - T - TELEPHONE LINE
  - TB - TELEPHONE BOX
  - TC - TOP OF CURB
  - TP - TELEPHONE POLE
  - TPOC - TRUE POINT OF COMMENCEMENT
  - TR - TELEPHONE RISER
  - TS - TRAFFIC SIGNAL
  - TSB - TRAFFIC SIGNAL CONTROL BOX
  - TSCP - TRAFFIC SIGNAL CONTROL PANEL
  - UG - UNDERGROUND UTILITY
  - VG - VALLEY GUTTER
  - W - WATER MAIN
  - WR - WROUGHT IRON FENCE
  - WM - WATER METER
  - WV - WATER VALVE
  - YL - YARD LIGHT
  - SYMBOLS:

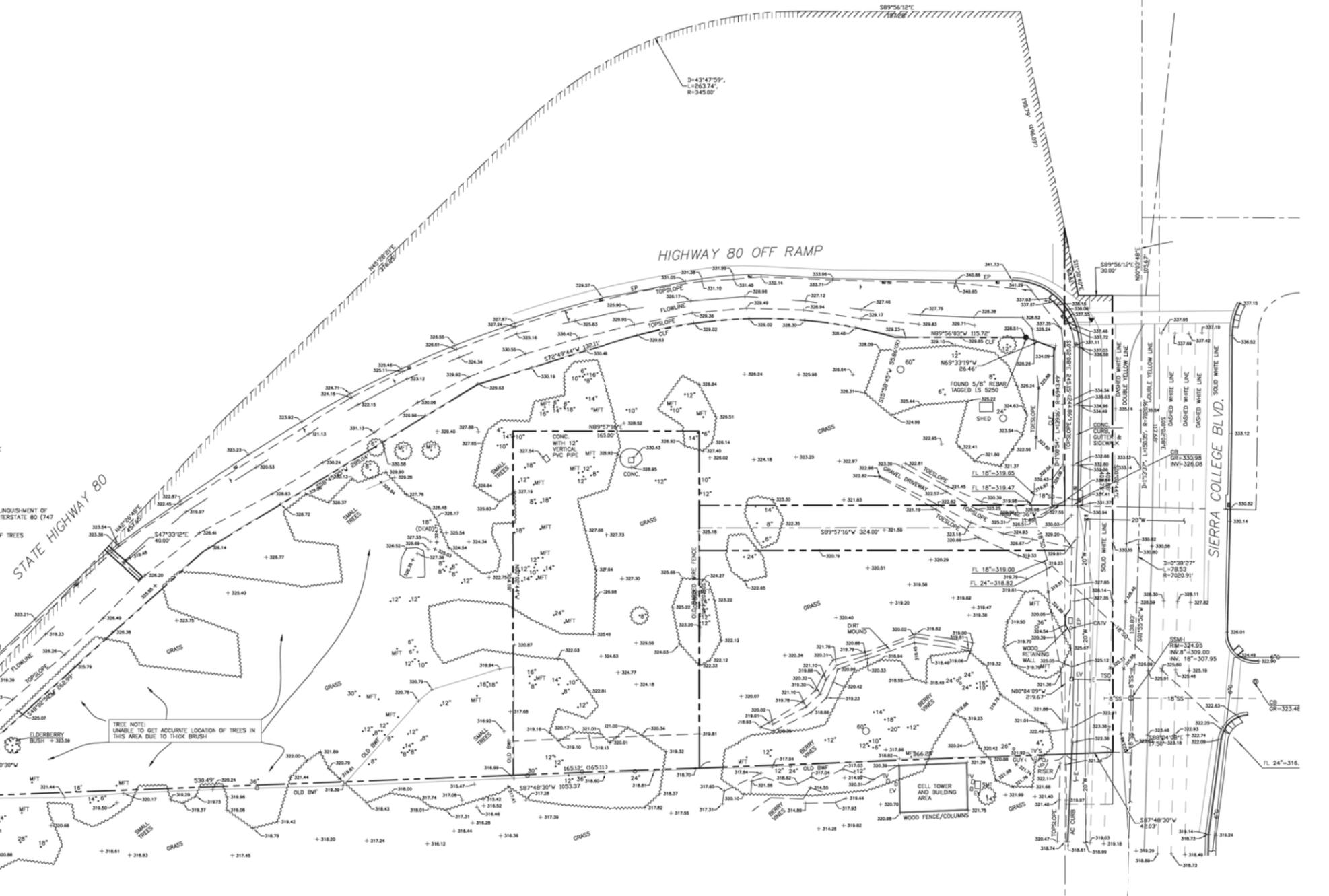
- - I.D. PROPERTY CORNER (AS NOTED)
- - CHAIN LINK FENCE
- - STORM DRAIN MANHOLE
- - FIRE HYDRANT
- - MANHOLE
- - SANITARY SEWER MANHOLE
- - TELEPHONE MANHOLE
- - TREE
- - YARD LIGHT
- - SURFACE MOUNTED TRANSFORMER
- - ELECTRIC BOX
- - TRAFFIC SIGNAL BOX
- - TRAFFIC SIGNAL LIGHT
- - STREET LIGHT
- - POST INDICATOR VALVE
- - BACK FLOW PREVENTOR
- - FIRE DEPARTMENT CONNECTION
- - MONITOR WELL
- - WATER VALVE
- - TRAFFIC SIGNAL W/OVERHANG
- SS - UNDERGROUND SANITARY SEWER LINE
- SD - UNDERGROUND STORM DRAIN LINE
- W - UNDERGROUND WATER LINE
- G - UNDERGROUND GAS LINE
- T - UNDERGROUND TELEPHONE LINE
- E - UNDERGROUND ELECTRIC LINE
- OHE - OVERHEAD ELECTRIC LINE
- OHT - OVERHEAD TELEPHONE LINE
- OHEAT - OVERHEAD ELECTRIC AND TELEPHONE LINE
- - - - - INDICATES PROPERTY LINES
- - - - - FENCE LINE
- Ⓜ - EXCEPTION # PER REFERENCE #1

- ▨ - HATCH INDICATES RELEASE AND RELINQUISHMENT OF ADJUTER'S OR ACCESS RIGHTS TO INTERSTATE 80 (747 0.8, 314)
- ~ - INDICATES APPROXIMATE DRIP LINE OF TREES



TREE NOTE:  
UNABLE TO GET ACCURATE LOCATION OF TREES IN THIS AREA DUE TO THICK BRUSH

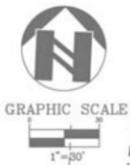
UTILITY NOTE:  
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPE SIZES AND/OR STRUCTURES SHOWN ON THIS SURVEY WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES, EXCEPT AS SHOWN ON THIS SURVEY. THE CONTRACTOR SHALL ASCERTAIN THE TRUE LOCATION OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.



Packet Pg. 161

DATE: 8-29-2018	REV: 1	BY: [Signature]	DATE: [Blank]	DESCRIPTION: [Blank]
SCALE: 1"=40'	DESIGNED: [Blank]	DRAWN: CTJ	CHECKED: CTJ	FILE PATH: [Blank]
<b>ams</b> associates, inc. PLANNING ENGINEERING SURVEYING 851 WINDASSO VALLEY ROAD SUITE 220 WALNUT CREEK, CA 94596 925-943-2777 FAX 925-943-2778				
ALTA SURVEY		CALIFORNIA		
PROJECT		4660 SIERRA COLLEGE BLVD PLACER		
SHEET 2		ROCKLIN		
OF 15-2249		[Blank]		

Agenda Item #8.b.



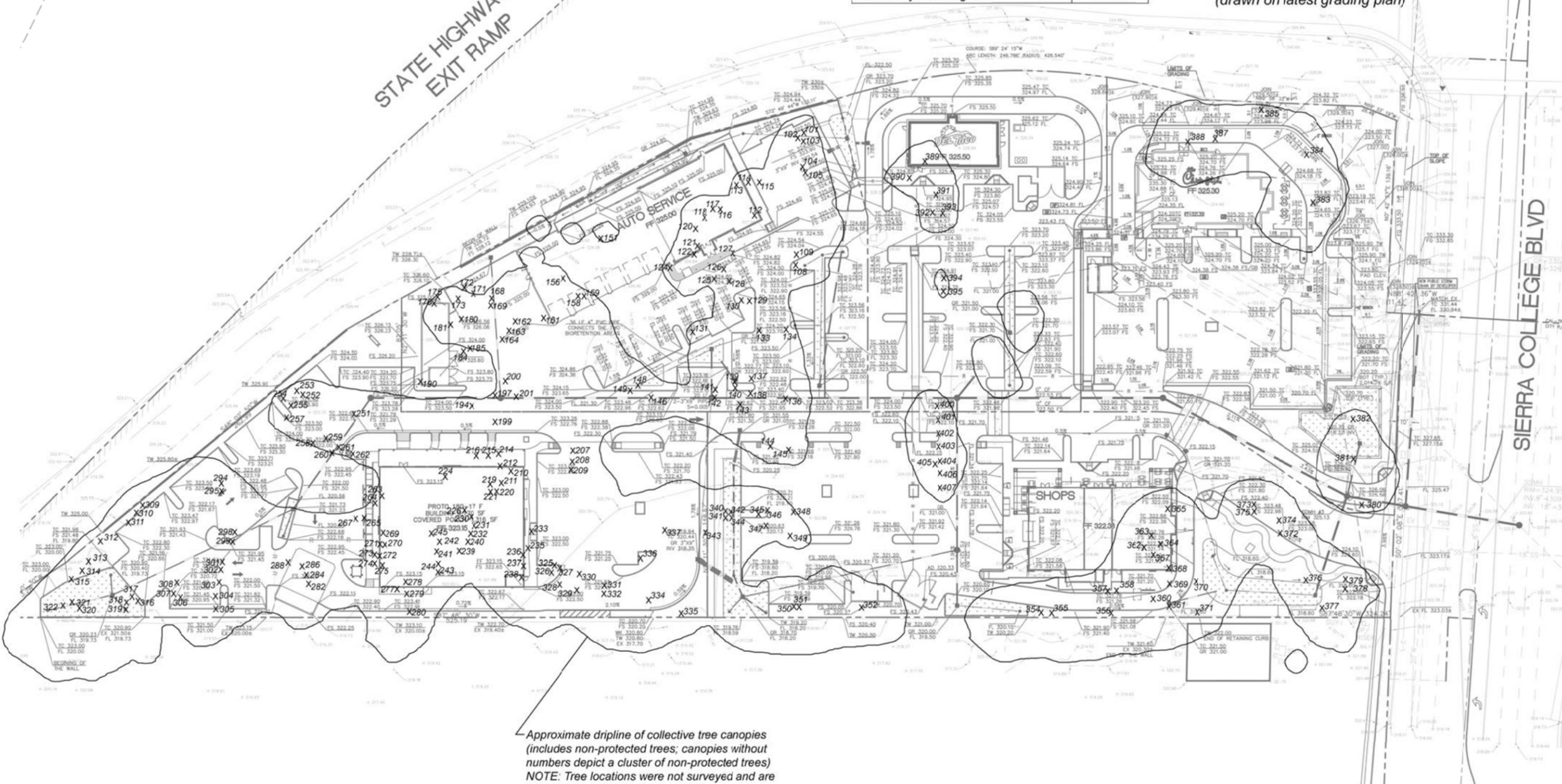
STATE HIGHWAY 80  
EXIT RAMP

Summary Table

Total Oak Trees Surveyed	385
Total Non-Protected Oaks (too small)	160
Total Heritage Oaks	7
Protected Oaks to be Removed	225
Oaks Subject to Mitigation	209
Inches Subject to Mitigation	1997.5"

OAK TREE PRESERVATION PLAN

By: Jennifer Tso  
Certified Arborist #WE-10270A  
Traverso Tree Service  
June 23, 2017  
(drawn on latest grading plan)



Approximate dripline of collective tree canopies  
(includes non-protected trees; canopies without  
numbers depict a cluster of non-protected trees)  
NOTE: Tree locations were not surveyed and are  
approximately located on this plan.

ams  
801 YONAGUO VALLEY ROAD  
SUITE 220  
WALNUT CREEK, CA 94596  
925-943-2777 FAX 925-943-2778

PRELIMINARY GRADING PLAN  
ROCKLIN STATION  
4660 SIERRA COLLEGE BLVD  
PLACER COUNTY  
CALIFORNIA

SHEET C-3  
OF  
PROJECT  
14-2216  
ROCKLIN

DATE	REV #	BY	DESCRIPTION
06-13-17	1	JTS	ISSUED FOR PERMIT
	2	JTS	REVISED TREE LOCATIONS
	3	JTS	REVISED TREE LOCATIONS
	4	JTS	REVISED TREE LOCATIONS
	5	JTS	REVISED TREE LOCATIONS
	6	JTS	REVISED TREE LOCATIONS
	7	JTS	REVISED TREE LOCATIONS
	8	JTS	REVISED TREE LOCATIONS
	9	JTS	REVISED TREE LOCATIONS
	10	JTS	REVISED TREE LOCATIONS
	11	JTS	REVISED TREE LOCATIONS
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	95	JTS	REVISED TREE LOCATIONS
	96	JTS	REVISED TREE LOCATIONS
	97	JTS	REVISED TREE LOCATIONS
	98	JTS	REVISED TREE LOCATIONS
	99	JTS	REVISED TREE LOCATIONS
	100	JTS	REVISED TREE LOCATIONS

Packet Pg. 162

Agenda Item #8.b.

#	Species	TDBH	Heritage	Combined Health & Structure	Remove (for Construction)	Mitigate?	Mitigation Inches
101	Blue Oak (Quercus douglasii)	7.5, 12.5		G	X	X	12.5
102	Live Oak (Quercus sp.)	8, 5.5		F	X	X	8
103	Live Oak	7, 7		F	X	X	7
104	Blue Oak	13.5		P	X		-
105	Live Oak	6.5, 11.9		F	X	X	11
106	Live Oak	20, 26		F	X	X	20
107	Live Oak	11.5		F	X	X	11.5
109	Live Oak	11		F	X	X	11
110	Live Oak	0, 8.5, 6.5		F	X	X	9
111	Live Oak	11, 12.5, 9, 10		P	X		-
112	Live Oak	6.5, 9.5, 9, 8, 9, 7.5, 6		F	X	X	9.5
113	Blue Oak	16.5		F	X	X	16.5
114	Live Oak	4.5, 5, 5.5, 9		F	X	X	9.5
115	Blue Oak	16		F	X	X	16
116	Live Oak	10		F	X	X	10
117	Blue Oak	12		F	X	X	12
118	Live Oak	6, 8		F	X	X	6
120	Live Oak	4, 5, 4.5, 6.5		F	X	X	6.5
121	Live Oak	6, 4		F	X	X	6
122	Live Oak	5, 6		F	X	X	6
124	Live Oak	4, 7		F	X	X	7
125	Blue Oak	11		F	X	X	11
126	Live Oak	6		F	X	X	6
127	Blue Oak	14		F	X	X	14
128	Live Oak	11.5, 9		P	X		-
129	Live Oak	16		P	X		-
130	Live Oak	7		F	X	X	7
131	Live Oak	17		F	X	X	17
133	Blue Oak	11.5, 9		P	X		-
134	Blue Oak	19.5		P	X		-
136	Live Oak	20.5		F	X	X	20.5
137	Live Oak	14.5, 14		F	X	X	14.5
138	Blue Oak	12.5		F	X	X	12.5
139	Live Oak	11		F	X	X	11
140	Live Oak	14		F	X	X	14
141	Live Oak	5, 8		F	X	X	6
142	Live Oak	10.5		P	X		-

4080 Cabrillo Drive - Martinez, CA 94553 - Telephone (925) 930-7901 - Fax (925) 723-2442

#	Species	TDBH	Heritage	Combined Health & Structure	Remove (for Construction)	Mitigate?	Mitigation Inches
264	Live Oak	4, 8, 10, 3, 3		F	X	X	10
265	Live Oak	8		F	X	X	8
267	Live Oak	4, 6		F	X	X	6
269	Live Oak	6, 6, 4, 6		F	X	X	6
270	Live Oak	7, 6, 4, 3		F	X	X	7
271	Live Oak	3, 6, 3, 6		F	X	X	6
272	Live Oak	7, 4, 3, 3, 4, 3, 5, 7, 4		F	X	X	7
273	Live Oak	10, 4, 4, 4, 2		F	X	X	10
274	Live Oak	6, 3, 3, 3		F	X	X	6
275	Live Oak	6, 5, 3, 2		F	X	X	6
277	Live Oak	6, 2, 3, 6, 3, 3, 4, 4, 5, 5, 5		F	X	X	6
278	Live Oak	3, 7, 2, 6		F	X	X	7
279	Live Oak	12, 14, 6, 6, 5		F	X	X	14
280	Live Oak	6, 5, 3, 3		F	X	X	6
282	Live Oak	6, 8		F	X	X	6
284	Live Oak	7, 24	X	F	X	X	24
286	Live Oak	6, 6, 6, 3, 4, 2, 6		F	X	X	6
288	Live Oak	5, 6, 2, 2		F	X	X	6
294	Live Oak	7		F	X	X	7
295	Live Oak	9, 2		F	X	X	9
298	Live Oak	5, 13		F	X	X	13
299	Live Oak	6, 8		F	X	X	6
301	Live Oak	7		F	X	X	7
302	Valley Oak (Quercus lobata)	9, 8, 4		F	X	X	9
303	Live Oak	8, 5, 6		P	X		-
304	Live Oak	6, 4, 5		F	X	X	6
305	Live Oak	6, 5, 5, 11		F	X	X	11
306	Live Oak	6, 5, 4		F	X	X	6.5
307	Live Oak	3, 5, 6		F	X	X	6
308	Live Oak	5, 8, 7, 3, 7, 9		F	X	X	8
309	Live Oak	6, 3		F	X	X	6
310	Live Oak	6, 3, 5, 4, 8, 4, 4, 6		F	X	X	6
311	Live Oak	6, 2		F	X	X	6
312	Live Oak	6, 4, 3		F	X	X	6
313	Live Oak	5, 4, 4, 9, 8, 12		P	X		-

Jennifer Tao, Certified Arborist 4

#	Species	TDBH	Heritage	Combined Health & Structure	Remove (for Construction)	Mitigate?	Mitigation Inches
143	Live Oak	13, 13		F	X	X	13
144	Live Oak	24.5	X	F	X	X	24.5
145	Live Oak	14, 23.5		F	X	X	23.5
146	Live Oak	6, 5		F	X	X	6.5
148	Live Oak	6, 3, 4, 4		F	X	X	6
149	Live Oak	6.5, 5, 4.5, 6		F	X	X	6.5
151	Live Oak	7		F	X	X	7
156	Live Oak	6		F	X	X	6
158	Live Oak	6		F	X	X	6
159	Live Oak	5, 6		F	X	X	6
161	Live Oak	6, 4, 5, 4, 4, 5, 3		F	X	X	6
162	Live Oak	4, 12, 3		F	X	X	12
163	Live Oak	6, 5		F	X	X	6
164	Live Oak	8, 4, 4		F	X	X	6
168	Live Oak	6, 4, 3, 3		F	X	X	6
169	Live Oak	6, 6, 7		F	X	X	7
171	Live Oak	6, 5, 3		F	X	X	6
172	Live Oak	4, 5, 5, 6		F	X	X	6
173	Live Oak	6, 6, 3, 4, 4		F	X	X	6
175	Live Oak	6, 3		G	X	X	6
176	Live Oak	6, 6, 3, 5		G	X	X	6
180	Live Oak	6, 3		G	X	X	6
181	Live Oak	6, 5, 3, 3, 4, 6, 5, 4, 2		G	X	X	6
184	Live Oak	4, 3, 6		F	X	X	6
185	Live Oak	7, 3, 3, 4, 4		F	X	X	7
190	Live Oak	5, 4, 4, 3, 6		F	X	X	6
194	Live Oak	8, 3, 6, 4		F	X	X	6
197	Live Oak	8		F	X	X	6
199	Live Oak	6		F	X	X	6
200	Live Oak	6, 5, 4, 5, 4, 4, 5, 4, 4, 2		F	X	X	6
201	Live Oak	6, 6, 4, 4, 3, 3, 2, 3, 5, 4		F	X	X	6
207	Live Oak	6		F	X	X	6
208	Live Oak	7, 5		F	X	X	7.5
209	Live Oak	8		F	X	X	8
210	Live Oak	8		F	X	X	8
211	Live Oak	8		F	X	X	8
212	Live Oak	9, 8, 3, 11		F	X	X	9
214	Live Oak	8, 5		F	X	X	8.5
215	Live Oak	6, 4, 3, 2		F	X	X	9
216	Live Oak	12, 4, 4		F	X	X	12
219	Live Oak	3, 6, 4, 3, 6		F	X	X	6

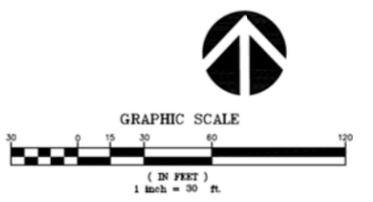
Jennifer Tao, Certified Arborist 2

#	Species	TDBH	Heritage	Combined Health & Structure	Remove (for Construction)	Mitigate?	Mitigation Inches
314	Live Oak	8, 4, 3, 4, 3, 4, 3		F	X	X	8
316	Live Oak	8, 4		F	X	X	8
316	Live Oak	7, 4		P	X		-
317	Live Oak	6, 4, 3		P	X		-
318	Live Oak	6, 5, 5		F	X	X	6
319	Live Oak	6, 6, 5		F	X	X	6
320	Live Oak	7, 8, 3, 5		F	X	X	8
321	Live Oak	8, 5, 7, 5, 6, 4, 5		F	X	X	7
322	Live Oak	18, 5, 15, 5		P	X		-
325	Live Oak	15, 4		P	X		-
326	Live Oak	6, 6, 6		P	X		-
327	Live Oak	6, 5, 3		F	X	X	6
328	Live Oak	6, 3, 4		F	X	X	6
329	Live Oak	12, 6		F	X	X	12
330	Live Oak	4, 3, 6		F	X	X	6
331	Live Oak	6, 5, 3, 3, 10		F	X	X	10
332	Live Oak	3, 3, 13, 9		F	X	X	13
334	Live Oak	8, 4, 3, 3, 9		F	X	X	9
335	Live Oak	6		F	X	X	6
336	Live Oak	6, 6		F	X	X	6
337	Live Oak	6, 9, 6, 5		F	X	X	9
340	Live Oak	13		F	X	X	13
341	Live Oak	6, 4		F	X	X	6
342	Live Oak	6, 6		F	X	X	6
343	Live Oak	8		F	X	X	8
344	Live Oak	11		F	X	X	11
348	Live Oak	17		F	X	X	17
349	Live Oak	3, 2, 12		F	X	X	12
350	Live Oak	7		F	X	X	7
351	Live Oak	34, 5	X	F	X	X	34.5
352	Live Oak	31	X	F	X	X	31
354	Live Oak	12, 7, 5, 12		F	X	X	12
355	Live Oak	20		F	X	X	20
356	Live Oak	12		F	X	X	12
357	Live Oak	12, 4, 4		F	X	X	12
358	Live Oak	12, 4		F	X	X	12
360	Live Oak	6		F	X	X	6
361	Valley Oak	12, 6		F	X	X	12
362	Live Oak	16		F	X	X	16
363	Live Oak	6		F	X	X	6
364	Live Oak	6, 4		F	X	X	6

Jennifer Tao, Certified Arborist 5

#	Species	TDBH	Heritage	Combined Health & Structure	Remove (for Construction)	Mitigate?	Mitigation Inches
220	Live Oak	6, 7, 3, 4, 4, 4, 15		F	X	X	15
221	Live Oak	6, 3		F	X	X	6
224	Live Oak	6, 4, 5		F	X	X	6
225	Live Oak	6		F	X	X	6
230	Live Oak	5, 4, 4, 4, 10		F	X	X	10
231	Live Oak	6, 5, 3, 3, 6		F	X	X	6
232	Live Oak	3, 5, 6		F	X	X	6
233	Live Oak	6, 7, 5		F	X	X	7
235	Live Oak	5, 3, 5, 4		F	X	X	6
236	Live Oak	7, 6, 5, 3, 4, 3, 4, 5, 3, 3, 2		F	X	X	7
237	Live Oak	15, 13, 8, 6, 4, 5, 3, 2, 2		G	X	X	15
238	Live Oak	10, 4, 4, 3, 5		F	X	X	10
239	Live Oak	6, 2, 4, 3, 2, 4, 6, 5, 4, 4, 6, 2, 3, 3, 3		G	X	X	6
240	Live Oak	6		F	X	X	6
241	Live Oak	4, 10, 16		F	X	X	16
242	Live Oak	6, 3, 3, 2		F	X	X	6
243	Live Oak	7, 6		F	X	X	7
244	Live Oak	10, 4, 5, 4, 3		F	X	X	10
245	Live Oak	2, 5, 6		F	X	X	6
246	Live Oak	6, 5, 5, 4, 3, 3		F	X	X	6
247	Live Oak	6, 4		F	X	X	6
248	Live Oak	6		F	X	X	6
249	Live Oak	6, 6		F	X	X	6
251	Live Oak	6, 7, 5, 5, 4		F	X	X	7
252	Live Oak	3, 6		F	X	X	6
253	Live Oak	6		F	X	X	6
254	Live Oak	6		F	X	X	6
255	Live Oak	5, 5, 4, 4		F	X	X	6
257	Live Oak	6, 5, 3, 3, 3		F	X	X	6
258	Live Oak	7, 5, 5, 6, 3, 2, 3, 3		F	X	X	9
260	Live Oak	5, 6, 4, 3		F	X	X	6
260	Live Oak	6, 7		F	X	X	7
261	Live Oak	6, 4, 5		F	X	X	6
262	Live Oak	6, 5, 7, 4, 3, 2, 2, 5, 3, 3, 2, 6		F	X	X	7
263	Live Oak	6, 2, 2		F	X	X	6

Jennifer Tao, Certified Arborist 3



REVISIONS	BY

Thomas Bank & Associates, LLP.  
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 1620 North Main Street, Suite 4  
 Walnut Creek, CA 94596  
 Ph: 925.933.2583

ROCKLIN STATION  
 4660 SIERRA COLLEGE BLVD.  
 ROCKLIN, CALIFORNIA

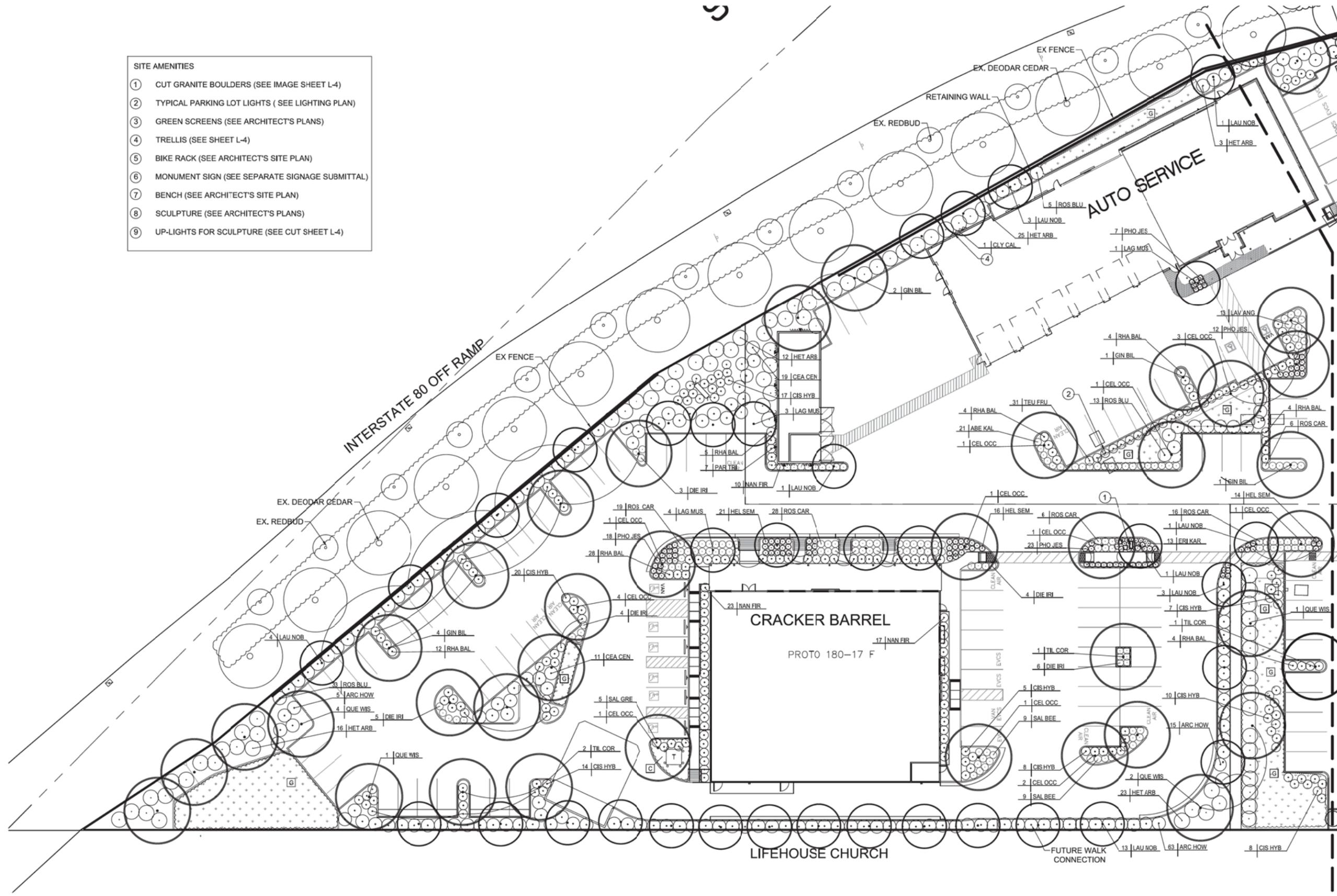


ILLUSTRATIVE  
 LANDSCAPE PLAN

DRAWN	AJS
CHECKED	AJS
DATE	06-30-17
SCALE	
JOB NO.	
SHEET	

1 OF 1 SHEETS

- SITE AMENITIES**
- ① CUT GRANITE BOULDERS (SEE IMAGE SHEET L-4)
  - ② TYPICAL PARKING LOT LIGHTS (SEE LIGHTING PLAN)
  - ③ GREEN SCREENS (SEE ARCHITECT'S PLANS)
  - ④ TRELLIS (SEE SHEET L-4)
  - ⑤ BIKE RACK (SEE ARCHITECT'S SITE PLAN)
  - ⑥ MONUMENT SIGN (SEE SEPARATE SIGNAGE SUBMITTAL)
  - ⑦ BENCH (SEE ARCHITECT'S SITE PLAN)
  - ⑧ SCULPTURE (SEE ARCHITECT'S PLANS)
  - ⑨ UP-LIGHTS FOR SCULPTURE (SEE CUT SHEET L-4)



MATCH LINE SEE SHT. L-2

REVISIONS	

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**ROCKLIN STATION**  
**4660 SIERRA COLLEGE BLVD**  
 ROCKLIN, CALIFORNIA

**PLANTING PLAN**

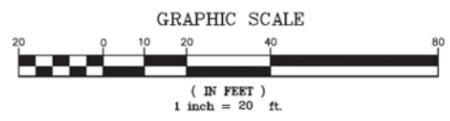
DESIGNED: DRW  
 CHECKED: JOB  
 DATE: 06-24-17  
 SCALE:  

SHEET  
 L-1  
 OF 4 SHEETS

**Agenda Item #8.b.**

**Packet Pg. 165**

REFER TO SHT. L-3 FOR PLANT LIST,  
 NOTES AND DETAILS AND SHT. L-4  
 FOR SITE AMENITIES





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ROCKLIN STATION  
 4660 SIERRA COLLEGE BLVD  
 ROCKLIN, CALIFORNIA

ILLUSTRATIVE  
 LANDSCAPE PLAN

DESIGNED:	BRAM
CHECKED:	JOB
DATE:	06-30-17
SCALE:	

SHEET	1-1
OF 4 SHEETS	

INTERSTATE 80 OFF RAMP

INTERSTATE 80 OFF RAMP

SITE AMENITIES

- ① CUT GRANITE BOULDERS (SEE IMAGE SHEET L-4)
- ② TYPICAL PARKING LOT LIGHTS (SEE LIGHTING PLAN)
- ③ GREEN SCREENS (SEE ARCHITECT'S PLANS)
- ④ TRELLIS (SEE SHEET L-4)
- ⑤ BIKE RACK (SEE ARCHITECT'S SITE PLAN)
- ⑥ MONUMENT SIGN (SEE SEPARATE SIGNAGE SUBMITTAL)
- ⑦ BENCH (SEE ARCHITECT'S SITE PLAN)
- ⑧ SCULPTURE (SEE ARCHITECT'S PLANS)
- ⑨ UP-LIGHTS FOR SCULPTURE (SEE CUT SHEET L-4)

NO.	DESCRIPTION	DATE

Thomas Bank & Associates, I.L.P.  
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 Ph: 925/9312383



ROCKLIN STATION  
 4660 SIERRA COLLEGE BLVD  
 ROCKLIN, CALIFORNIA

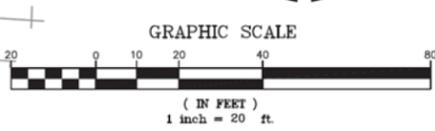
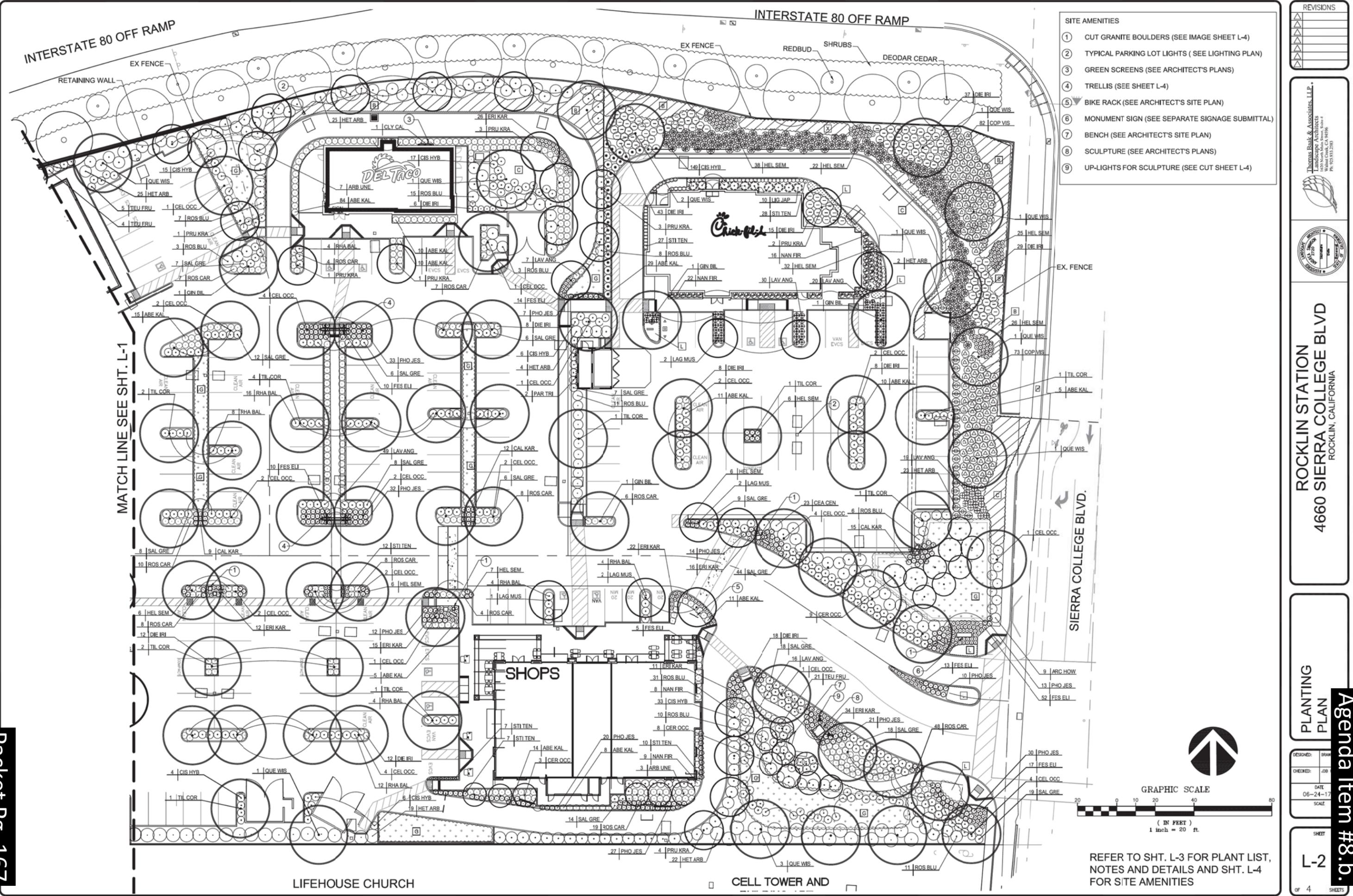
PLANTING PLAN

DESIGNED: BRAM  
 CHECKED: JOB  
 DATE: 06-24-17  
 SCALE:

SHEET  
 L-2  
 OF 4 SHEETS

Agenda Item #8.b.

Packet Pg. 167



REFER TO SHT. L-3 FOR PLANT LIST, NOTES AND DETAILS AND SHT. L-4 FOR SITE AMENITIES

MATCH LINE SEE SHT. L-1

LIFEHOUSE CHURCH

CELL TOWER AND

INTERSTATE 80 OFF RAMP

INTERSTATE 80 OFF RAMP

REDBUD SHRUBS DEODAR CEDAR

MATCH LINE

SIERRA COLLEGE BLVD.

LIFHOUSE CHURCH

CELL TOWER AND

DEL TACO

Chick-fil-e

SHOPS

NO.	REVISIONS

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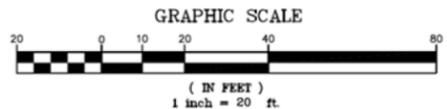
ROCKLIN STATION  
4660 SIERRA COLLEGE BLVD  
ROCKLIN, CALIFORNIA

ILLUSTRATIVE  
LANDSCAPE PLAN

DESIGNED:	BRAM
CHECKED:	JOB
DATE:	06-30-17
SCALE:	

SHEET  
I-2  
OF 4 SHEETS

Agenda Item #8.b.



Packet Pg. 168

**PLANTING NOTES**

**GENERAL NOTES:** The Landscape Contractor shall inspect the site and be familiar with all existing site conditions prior to submitting his bid. Contractor shall not willfully proceed with construction as shown when it is obvious that obstructions, landscape area and/or grade differences exist that may not have been known during design, such conditions shall immediately be brought to the attention of the Landscape Architect. The contractor shall assume full responsibility for all necessary revisions due to failure to give such notification. Contractor shall be responsible for making himself familiar with all underground utilities, pipes, structures and obstructions. Contractor shall take sole responsibility for all costs incurred due to damage and/or replacement of these items. Contractor shall be responsible for coordination between trades and subcontractors as required to accomplish landscape operations. The Landscape Contractor shall be responsible for any damage to existing facilities caused by or during the performance of his work. All repairs shall be made at no cost to the Owner. Planting shall be installed in conformance with all applicable local codes and ordinances by experienced workmen and a licensed Landscape Contractor who shall obtain all necessary permits and pay all required fees.

**SOIL PREPARATION:** The Landscape Contractor shall be responsible for finish grading and all planting area drainage. Positive drainage away from the building as per city codes shall be maintained. No low spots which hold standing water will be accepted. The Landscape Contractor shall incorporate soil preparation amendment into planting areas as noted below. Where rototilling is not possible, incorporate soil amendments into top 6 inches with hand tools. After installation of irrigation system, all planting areas are to be fine graded to within 2 inches and slightly mounded away from edges of top of planter, curb, walk, header, etc. and raked smooth with all rocks and debris over 1 inch in diameter removed.

**SOIL MANAGEMENT REPORT:** Contractor to provide soils management report including fertility, soil infiltration rate, soil texture, pH, soluble salts, sodium percent organic matter and recommendation. Those recommendations shall supersede below amendments. Organic amendments shall be used. Collect samples after rough grading operations are complete and submit to governing agency and Landscape Architect.

**SOIL PREPARATION AMENDMENTS AND BACKFILL MIX** The Landscape Contractor shall amend existing soil, by rototilling, 6 cu. yd. CCW 'Super Humus' compost and 15 lbs. organic balanced fertilizer 'Phyta-Grow' Pre-Plant Plus 7-5-7 per 1,000 sq. ft. available from California Organics or equal into the top 6 inches of soil in all planting areas. (or equal) Pit Planting Mix: for trees and shrubs mix 1/3 organic amendment, 2/3 amended topsoil as noted above.

**TREE PLANTING:** The trees are to be planted as per detail on plan. Trees shall typically be located a minimum of 4 feet from curbs, walks, headers, buildings, overheads, and other trees within the project. backfill shall be the 'Pit Planting Mix' as noted above. All trees shall receive organic fertilizer 'Phyta-Grow' Pre-Plant Plus 7-5-7 avail. from California Fertilizer Company Inc. (or equal) for 15 gallon trees: 1 cup, for 5 gallon trees and shrubs: 1/2 cup. Thoroughly water trees immediately after planting.

**ROOT BARRIERS:** All trees planted within 5' of a paved surface shall receive a linear type root barrier 18" deep and 10' long centered on the tree trunk. (See detail)

**SHRUB PLANTING:** The shrubs shall be spotted as per plan and the locations approved prior to the digging of the holes. Shrub backfill shall be the 'Pit Planting Mix' as noted in 'Backfill soil mixes'. All shrubs shall receive 'Phyta-Grow' Pre-Plant Plus 7-5-7 organic fertilizer avail from California Fertilizer Company Inc. (or equal) at the following rates: For 5 gallon shrubs: 1/2 cup for, 1 gallon shrubs: 1/4 cup. Thoroughly water shrubs immediately after planting. Do not plant any plant within 2'0" of any building wall.

**MULCHING:** Mulch all planting areas, excluding lawn, having a slope less than 2:1 with a 3 inch minimum depth of recycled wood fiber, UV stabilized, dyed-colorfast brown with a PH of no higher than 5.0, and free of noxious weeds and foreign materials. Mocha Chip' from 'Re-User Inc.' or approved equal.

**MULCHING IN BIO-INFILTRATION BASINS:** Provide 3" deep washed tan gravel without fines or sand to basin bottoms, sides of basins to be mulch as above. Keep 1" away from stems of shrubs and grasses to avoid rot. Provide sample prior to installation.

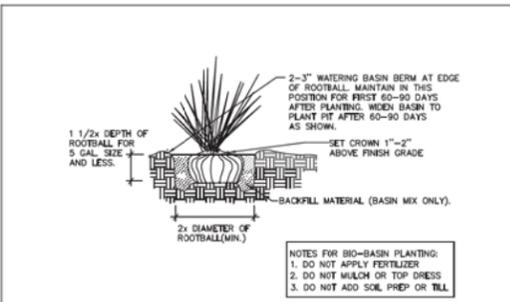
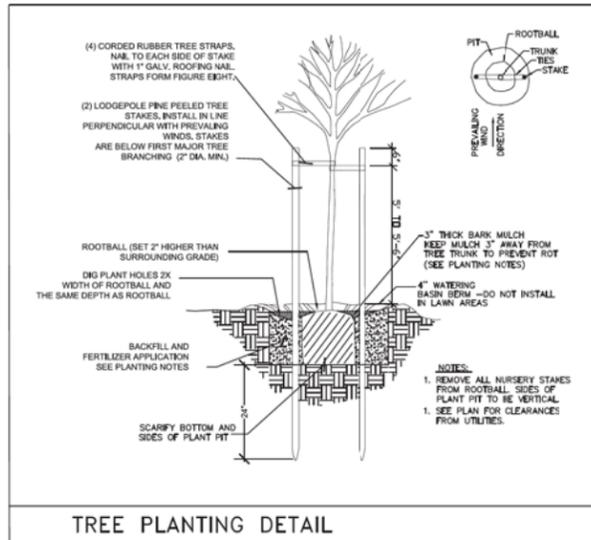
**MAINTENANCE:** The Contractor shall maintain the project for 90 days (or as requested by owner) following the approval to begin the maintenance period. During the entire maintenance period, watering, cultivating, weeding, mowing, repair/tightening of stakes and ties, restoration of basins, provision of supplemental water by hand in addition to irrigation system as necessary. No pre-emergence herbicides shall be applied- hand remove weeds. Only organic fertilizers shall be applied such as those specified above. Install per manufacturer's recommendations. At the end of the 90 day maintenance period all areas are to be weed free and all plant material is to be in a healthy, thriving condition. Integrated pest management practices shall be implemented.

**SUBSTITUTIONS:** Requests for substitutions of plant varieties shall be made to the Landscape Architect within 15 days after signing of contract.

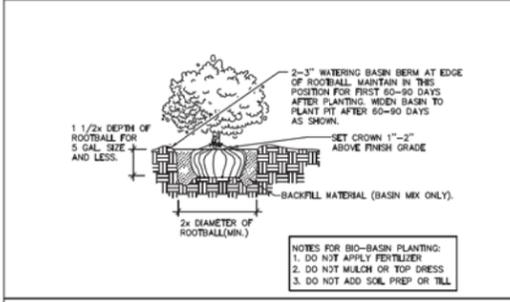
**GUARANTEE:** All construction, trees and shrubs by the Landscape Contractor and/or his subcontractors shall be guaranteed for (1) one year after beginning of maintenance period. The contractor shall replace, at no expense to the Owner, any and all landscape materials that are in an unacceptable condition for time of use, and trees or shrubs that are dead or not in a vigorous, healthy growing condition; within two weeks of notification of such condition. Replacement shall be of the same kind and size as the originally specified item and shall be replaced as originally described on the drawings. The Contractor shall not be held liable for loss of plant materials during the guarantee period due to vandalism, accidental causes or acts of neglect by others than the Contractor, his agents and employees.

**CLEAN UP:** At the end of each work day, at the inspection for substantial completion and before acceptance of project, clean paved areas that are dirtied or stained by construction operations, by sweeping or washing, and remove defacements and stains. Remove construction equipment, excess materials and tools. Haul from Owners property the debris resulting from construction, and dispose of legally. Remove remaining temporary protection at time of acceptance by Owner unless otherwise agreed.

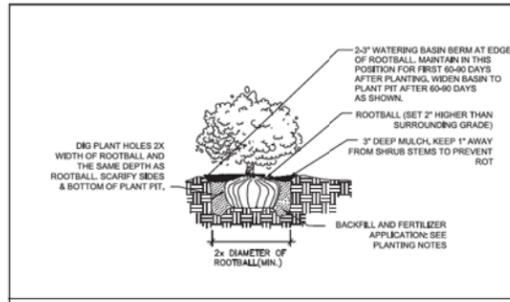
**FERTILIZERS:** Available California Fertilizers Company Inc. 1-800-269-5690 www.organicag.com  
www.californiaorganicfertilizers.com. Compost available from Contra Costa Waste Management: www.contracostawaste.com



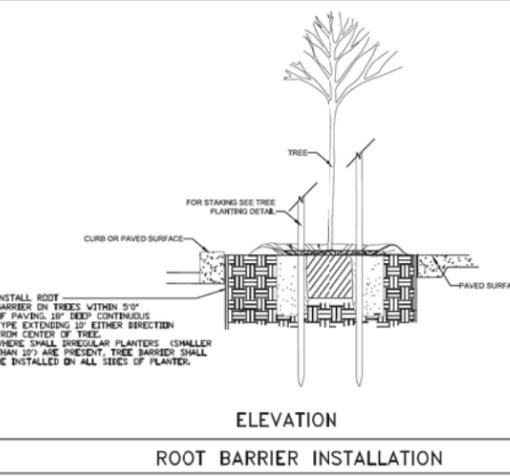
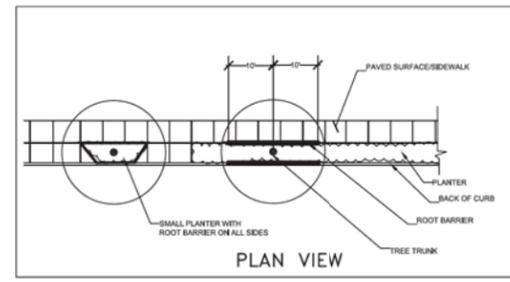
**GRASS PLANTING IN BIO-INFILTRATION BASIN**



**SHRUB PLANTING IN BIO-INFILTRATION BASIN**



**SHRUB PLANTING DETAIL**



**PLANT MATERIALS LIST**

SYMBOL	BOTANICAL NAME	COMMON NAME	WATER USE	CONTAINER SIZE	SIZE (HxW) AT PLANTING
<b>TREES:</b>					
CEL OCC	CELTIS OCCIDENTALIS	HACKBERRY	MED	15 GA	13'x4'
CER OCC	CERCIS OCCIDENTALIS (STANDARD)	REDBUD	LOW	15 GA	10'x3'
GIN BIL	GINKGO BILOBA 'AUTUMN GOLD'	GINKGO	LOW	15 GA	13'x3'
LAG MUS	LAGERSTROMIEA 'MUSCOGEE'	CRAPE MYRTLE	LOW	15 GA	10'x3'
LAU NOB	LAURUS NOBILIS 'SARATOGA'	GRECIAN LAUREL	LOW	15 GA	12'x3'
PRU KRA	PRUNUS 'KRATER VESUVIUS'	FLOWERING PLUM	LOW	15 GA	12'x4'
QUE WIS	QUERCUS WISLIZENII	INTERIOR LIVE OAK	LOW	15 GA	13'x4'
TIL COR	TILIA CORDATA	LITTLE LEAF LINDEN	MED	15 GA	13'x4'
<b>SHRUBS:</b>					
ABE KAL	ABELIA 'KALIDESCOPE'	DWARF ABELIA	MED	5 GA	
ARC HOW	ARCTOSTAPHYLOS 'HOWARD MCMINN'	MANZANITA	LOW	5 GA	
CEA CEN	CEANOTHUS 'CENTENNIAL'	WILD LILAC	LOW	5 GA	
CIS HYB	CISTUS HYBRIDUS	WHITE ROCKROSE	LOW	5 GA	
CAL KAR	CALAMAGROSTIS 'KARL FOESTER'	REED GRASS	MED	1 GA	
COP VIS	COPROSMA 'VISTA VERDE'	COPROSMA	LOW	1 GA	
DIE IRI	DIETES IRIDIODES	FORTNIGHT LILY	LOW	1 GA	
ERI KAR	ERIGERON KARVINSKIANUS	SANTA BARBARA DAISY	LOW	1 GA	
FES ELI	FESTUCA 'ELIJAH BLUE'	BLUE FESCUE	LOW	1 GA	
HEL SEM	HELIOTRICHON SEMPERVIRENS	BLUE OAK GRASS	MED	1 GA	
HET ARB	HETEROMELES ARBUTIFOLIA	TOYON	LOW	5 GA	
LAV ANG	LAVANDULA 'GOODWIN CREEK GRAY'	LAVENDER	LOW	1 GA	
LIG JAP	LIGUSTUM J. 'CONICA'	PRIVET	LOW	5 GA	
NAN FIR	NANDINA 'FIREPOWER'	DWARF NANDINA	LOW	5 GA	
PHO JES	PHORMIUM 'JESTER'	DWARF FLAX	MED	1 GA	
RHA BAL	RHAPHIOLEPIS 'BALLERINA'	DWARF INDIA HAWTHORN	LOW	5 GA	
ROS BLU	ROSEMARINUS 'BLUE SPIRES'	ROSEMARY	LOW	5 GA	
ROS CAR	ROSA 'MAGIC CARPET RED'	GROUND COVER ROSE	MED	2 GA	
SAL GRE	SALVIA GREGII 'WILD THING'	AUTUMN SAGE	LOW	5 GA	
SAL BEE	SALVIA 'BEES BALM'	GROUND COVER SAGE	LOW	1 GA	
STI TEN	STIPA TENNUISSIMA	MEXICAN FEATHER GRASS	LOW	1 GA	
TEU FRU	TEUCRIUM F. 'COMPACTUM'	BLUE GERMANDER	LOW	5 GA	
<b>VINE:</b>					
CLY CAL	CLYTOSTOMA CALLISTEGIODES	LAVENDER TRUMPET	LOW	5 GA	
PAR TRI	PARTHENOCISSUS TRICUSPIDATA	BOSTON IVY	MED	5 GA	
<b>GROUND COVERS:</b>					
C	COTONEASTER 'LOWFAST'	COTONEASTER	LOW	1 GA@ 36" O.C.	
B	BACHARRIS P. 'PIEGON POINT'	COYOTE BUSH	LOW	1 GA@ 36" O.C.	
L	LANTANA MONTEVIDENSIS	DWARF LANTANA	LOW	1 GA@ 36" O.C.	
G	BIO-BASIN GRASSES (FROM 4" POTS AT 18" O.C. EVEN MIX)				
	MUHLBERGIA RIGENS	DEER GRASS			
	FESTUCA CALIFORNICA	CALIFORNIA FESCUE			
	NASELLA PULCHRA	PURPLE NEEDLEGRASS			
	JUNCUS PATENS	BLUE RUSH			

**SPECIAL PLANTING NOTES:**  
 1. PLANT MATERIALS COMPLY AND MEET REQUIREMENTS OF THE WATER CONSERVATION LANDSCAPING ACT. (WUCOLS)  
 2. TREES TO BE 20' FROM LIGHTS AND 6' FROM CITY SIDEWALKS  
 3. IRRIGATION TO BE A WATER CONSERVING DRIP TYPE SYSTEM WITH A WEATHER BASED 'SMART' CONTROLLER AND SHALL COMPLY WITH THE STATE WATER CONSERVATION LANDSCAPING ACT IN ALL RESPECTS.

**CERTIFICATION STATEMENT:**

I/WE CERTIFY THAT THE LANDSCAPE AND IRRIGATION PLANS COMPLY WITH THE LANDSCAPE DESIGN STANDARDS AND REQUIREMENTS FOR THE STATE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.

PRINT NAME- PROPERTY OWNER \_\_\_\_\_ SIGNATURE-PROPERTY OWNER \_\_\_\_\_ DATE \_\_\_\_\_

ANDREA SWANSON  
 THOMAS BAAK AND ASSOCIATES LLP  
 LANDSCAPE ARCHITECT

SIGNATURE- LANDSCAPE ARCHITECT \_\_\_\_\_ DATE \_\_\_\_\_

#2720  
 STATE LICENSE NUMBER

REVISIONS

Thomas Baak & Associates, LLP  
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 10000 Wilshire Blvd., Suite 1000  
 Culver City, CA 90230  
 Tel: 310.301.1234  
 Fax: 310.301.1235



ROCKLIN STATION  
 4660 SIERRA COLLEGE BLVD  
 ROCKLIN, CALIFORNIA

PLANT MATERIALS  
 LEGEND, NOTES  
 DETAILS

DESIGNED:	BRAM
CHECKED:	JOB
DATE:	06-24-17
SCALE:	

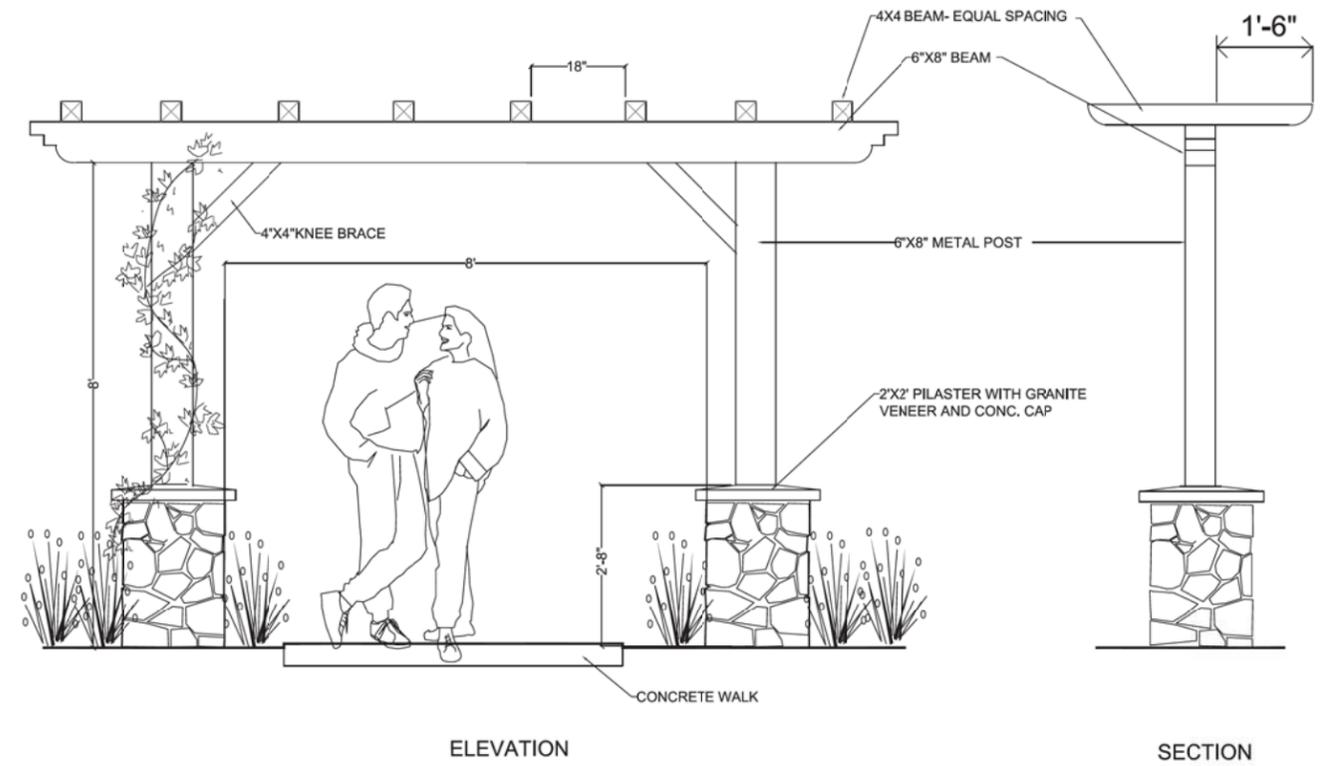


1 CUT GRANITE BOULDERS



PHILLIPS LIGHTING 'LYTE-PRO' LED SMALL FLOODLIGHT. 40W LPFZ-BZ BRONZE

9 UP-LIGHTS AT SCULPTURE



ELEVATION

SECTION

TRELLIS

4

REVISIONS


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Landscape Architects  
Walnut Creek, CA 94596  
Ph: 925.931.2583



ROCKLIN STATION  
4660 SIERRA COLLEGE BLVD  
ROCKLIN, CALIFORNIA

SITE AMENITIES

DESIGNED:	BRAM
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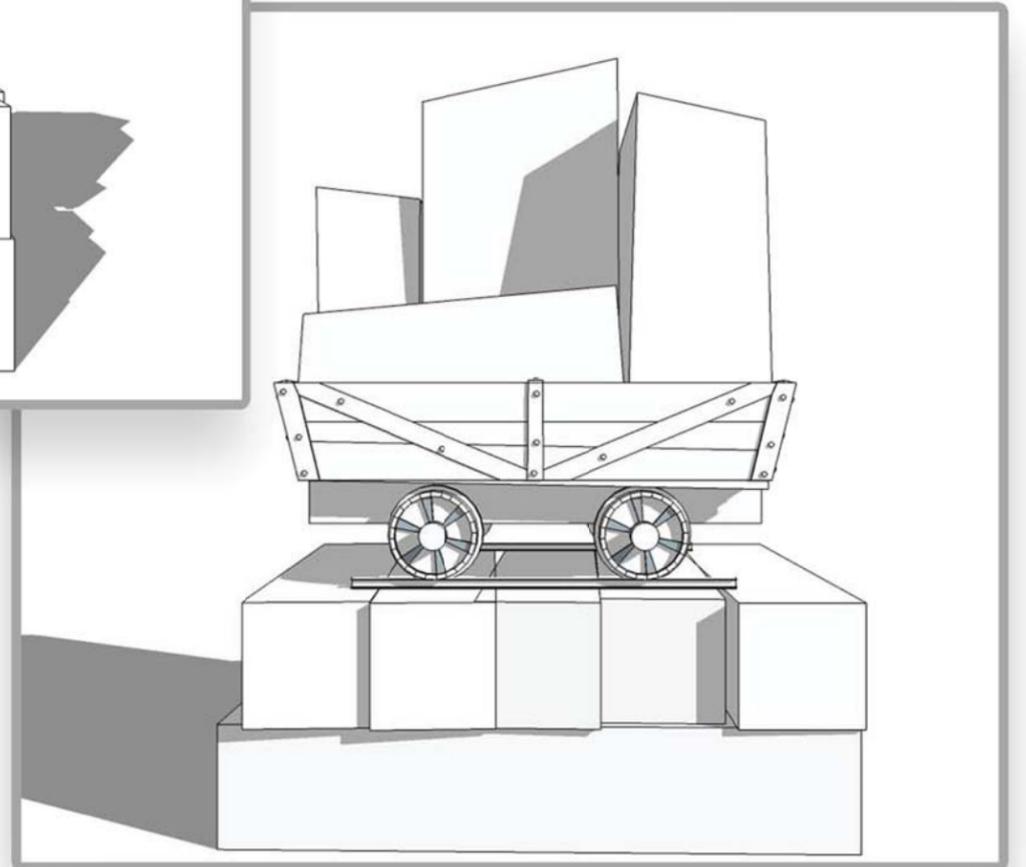
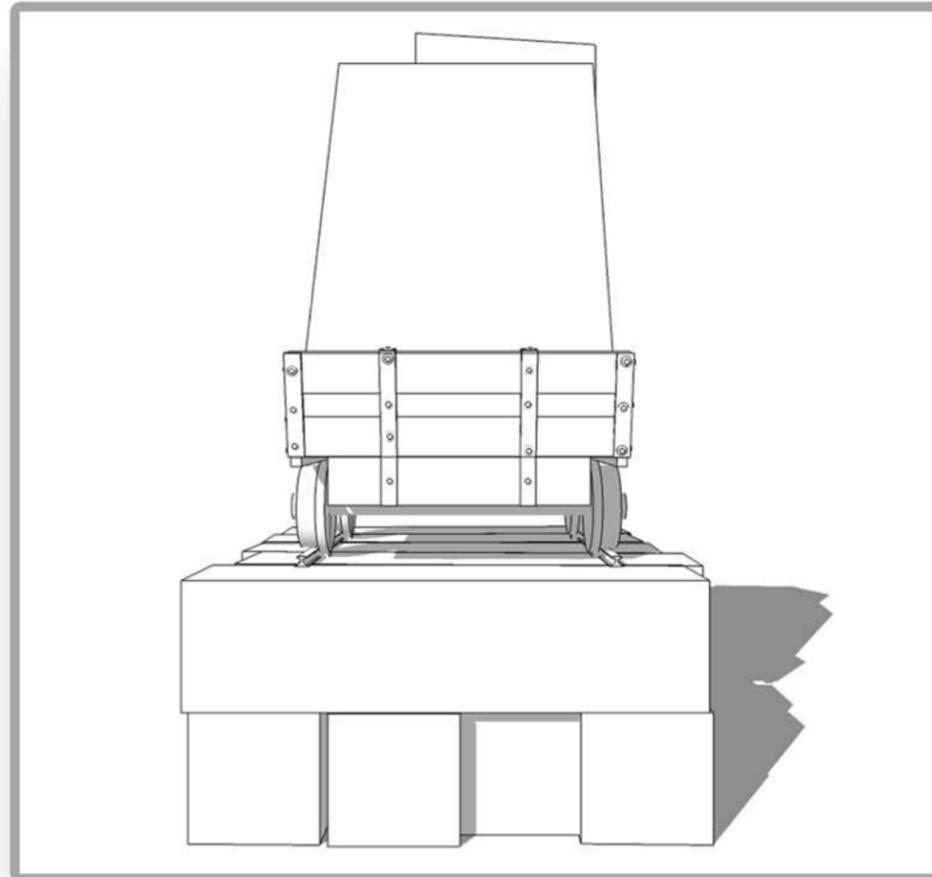
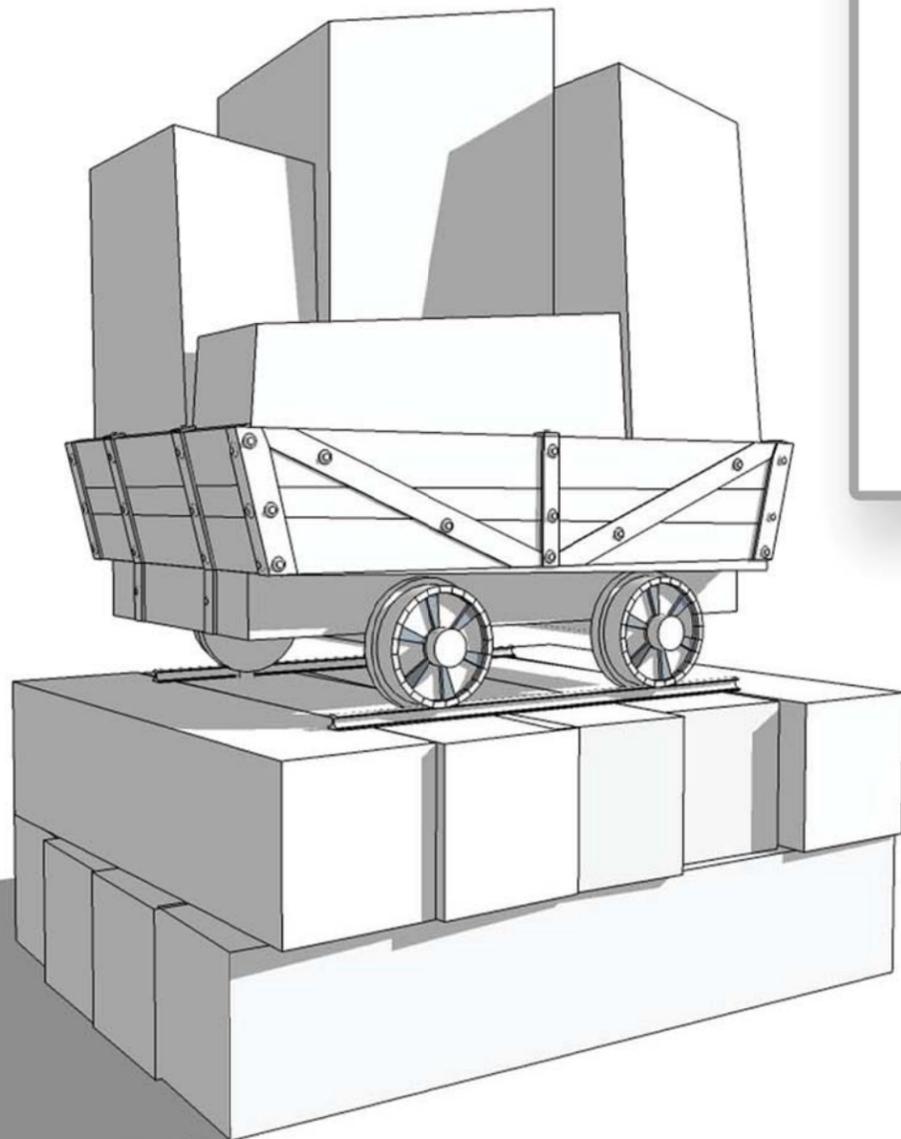
SHEET  
L-4  
OF 4 SHEETS

# Rocklin Public Art Sculpture project Concept Submission

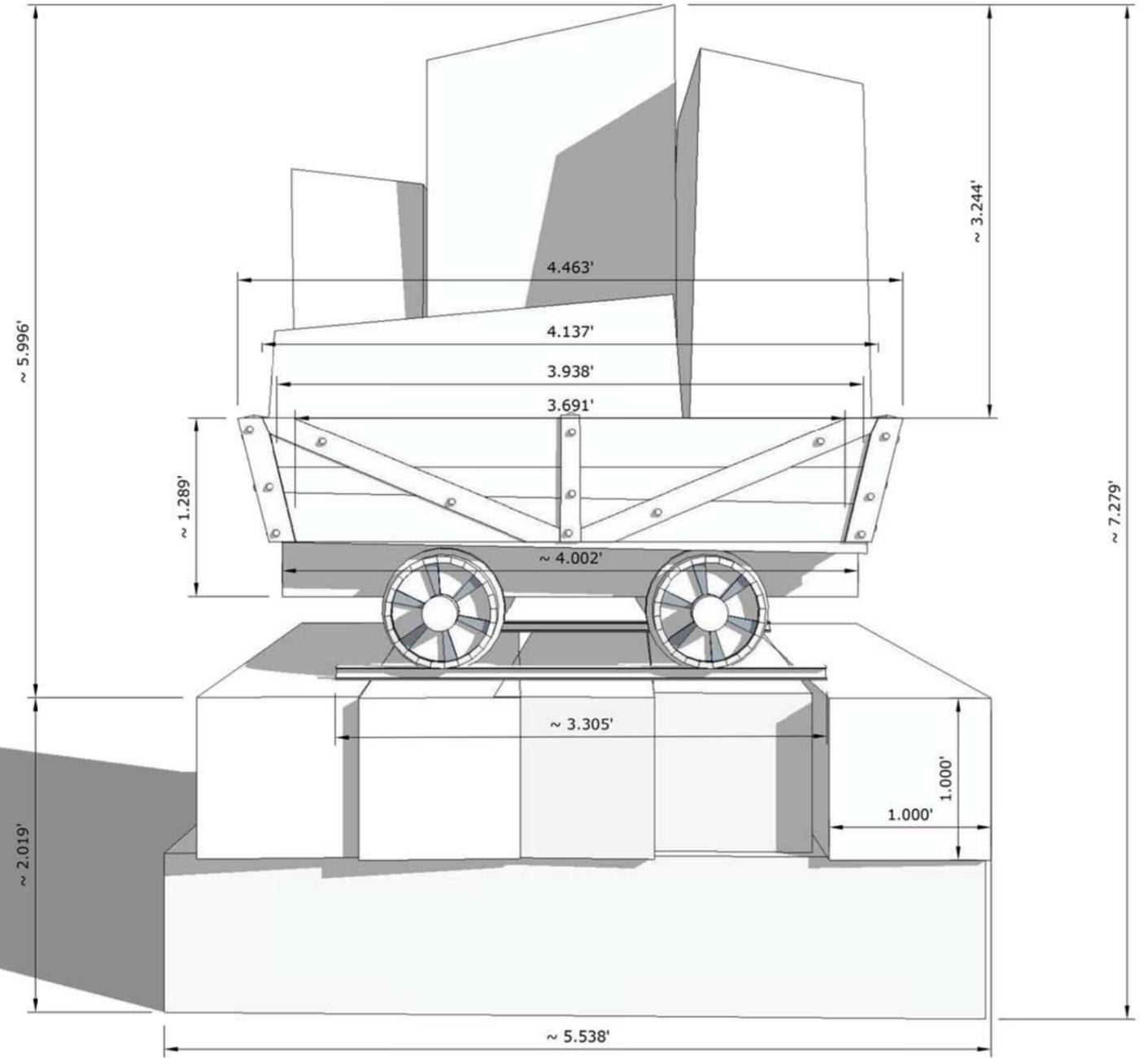
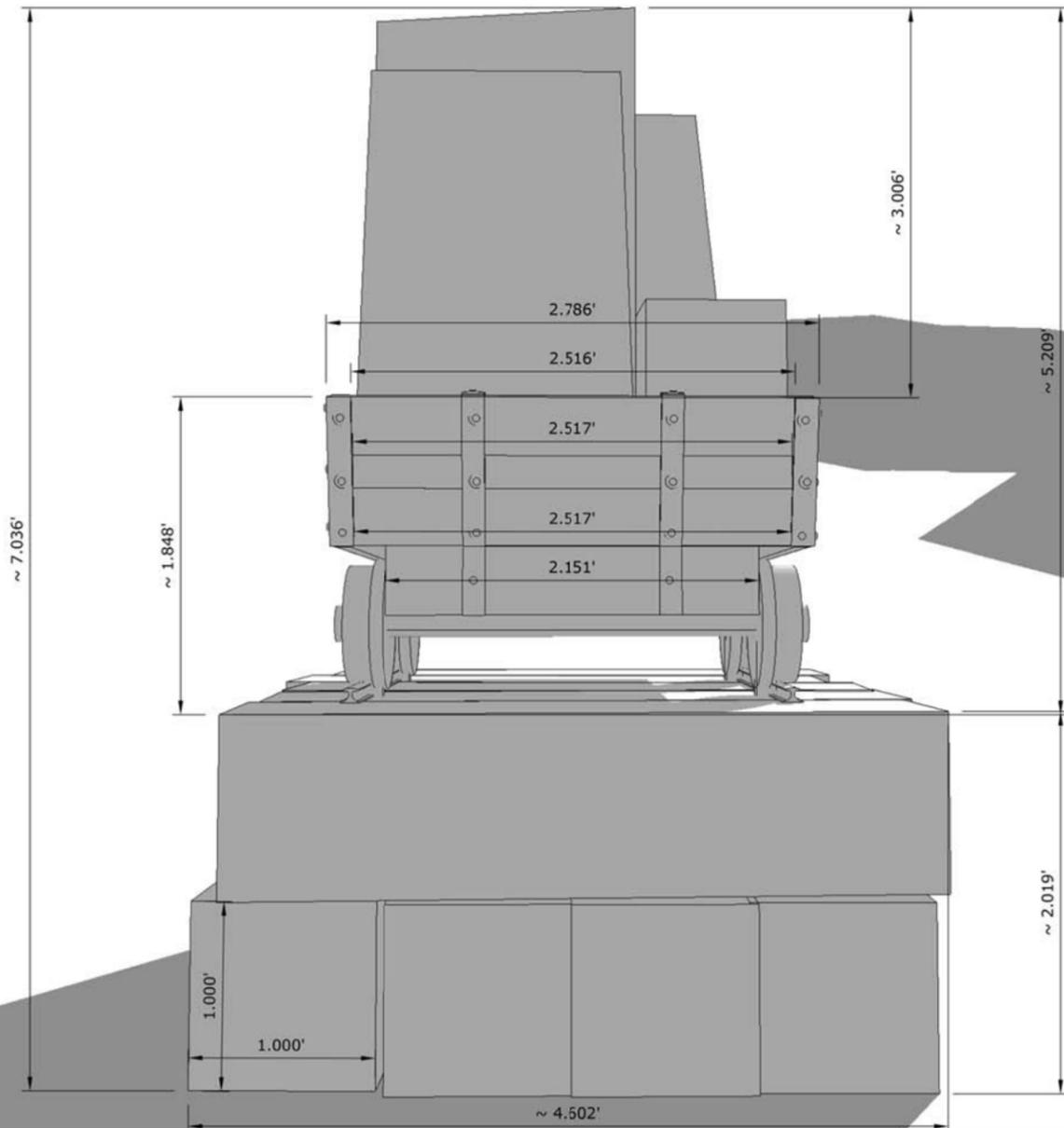




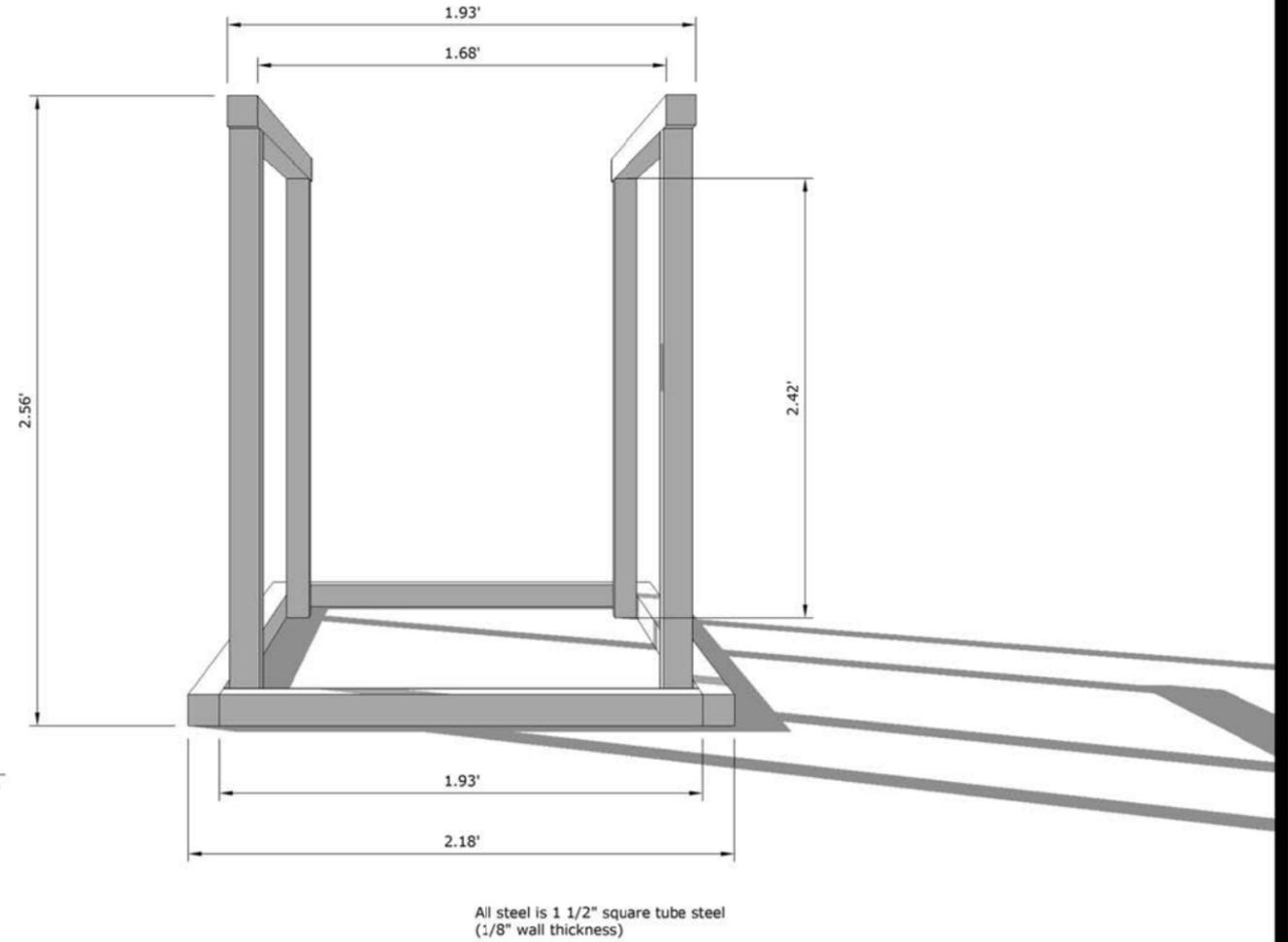
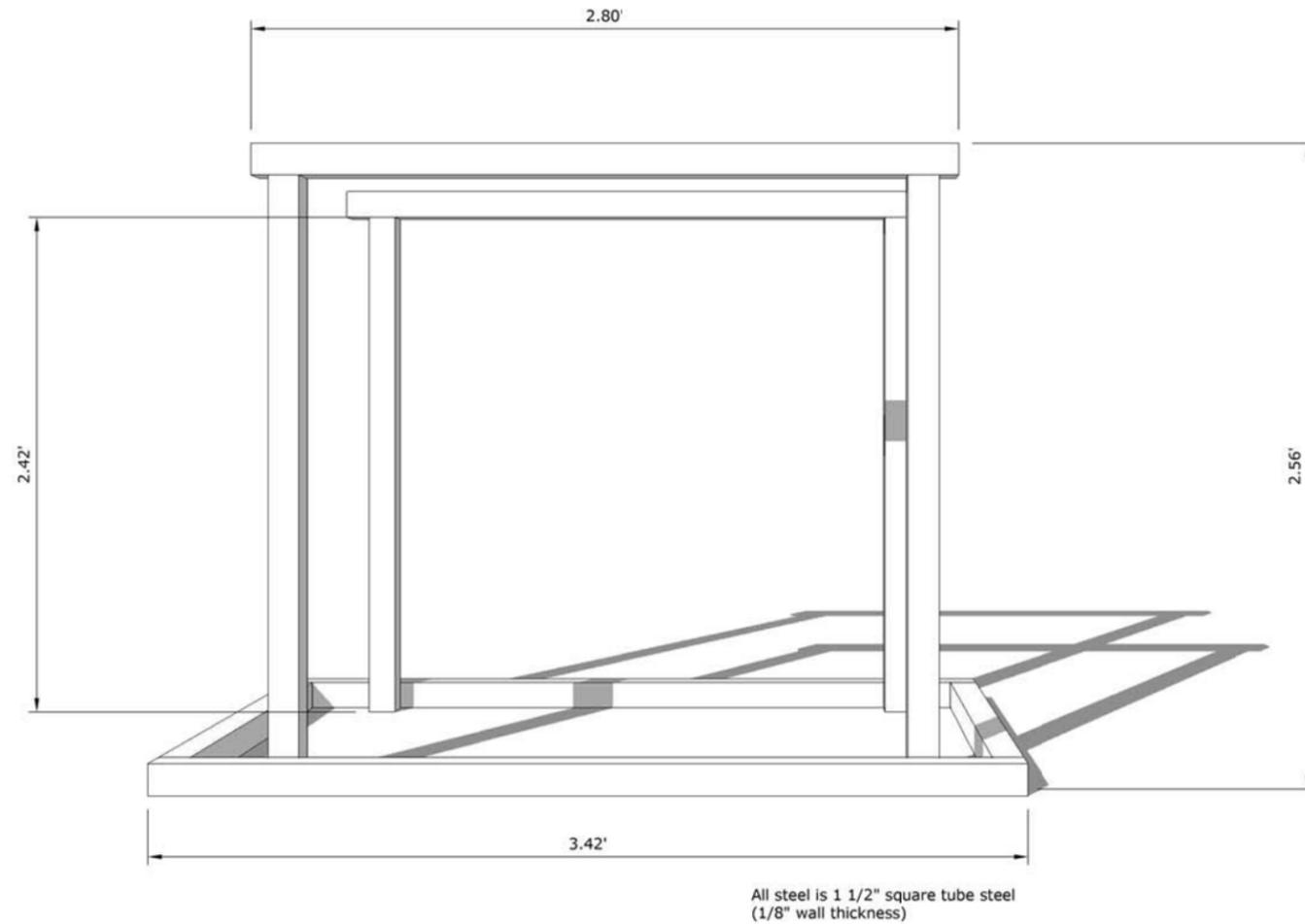
**Rocklin Public Art Sculpture project**



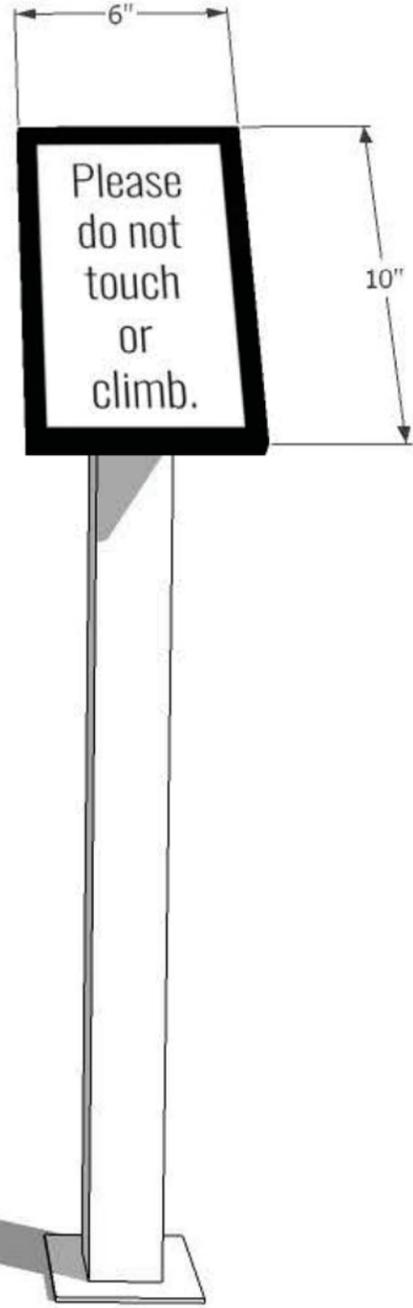
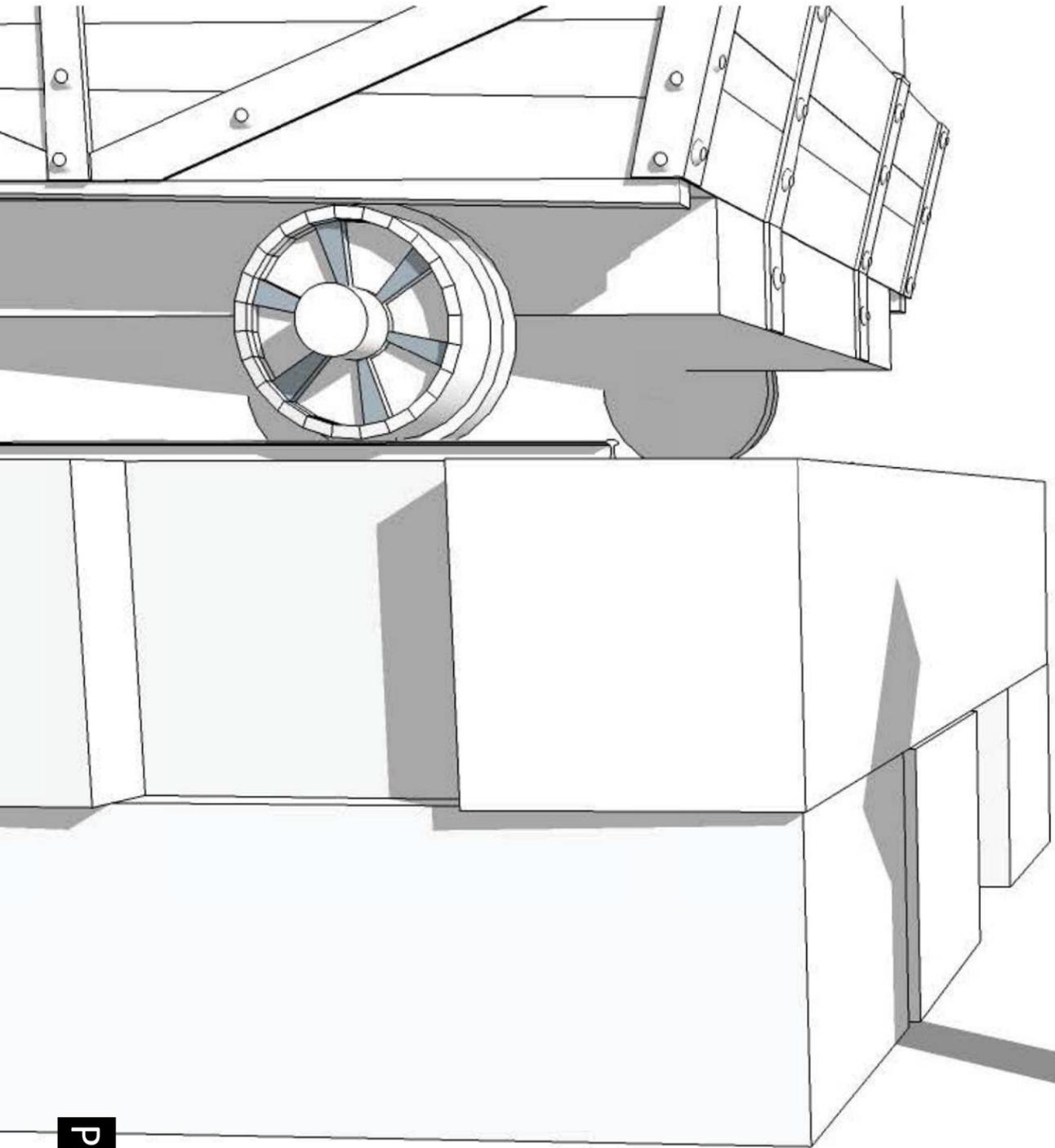
**Rocklin Public Art Sculpture project**

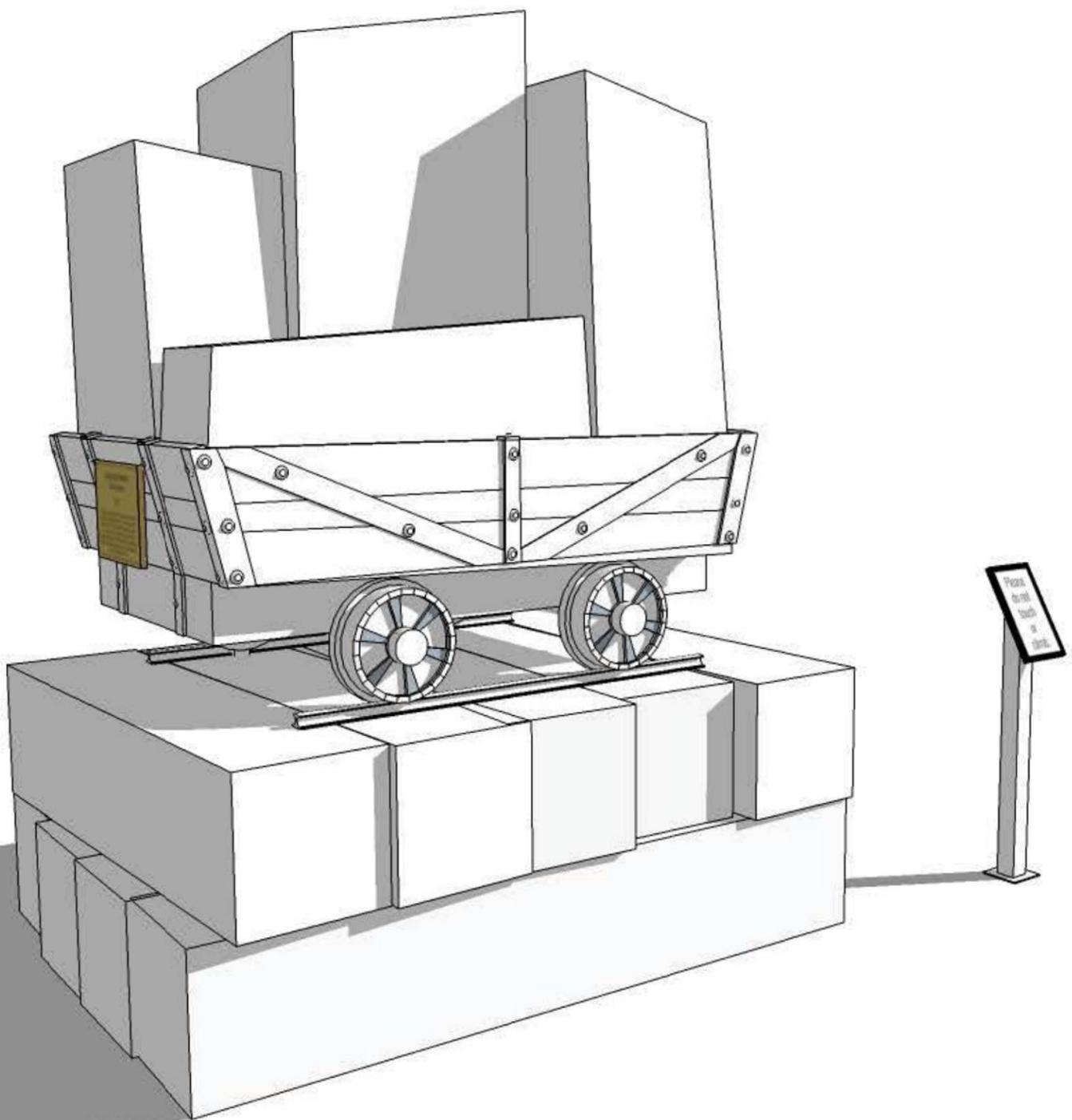


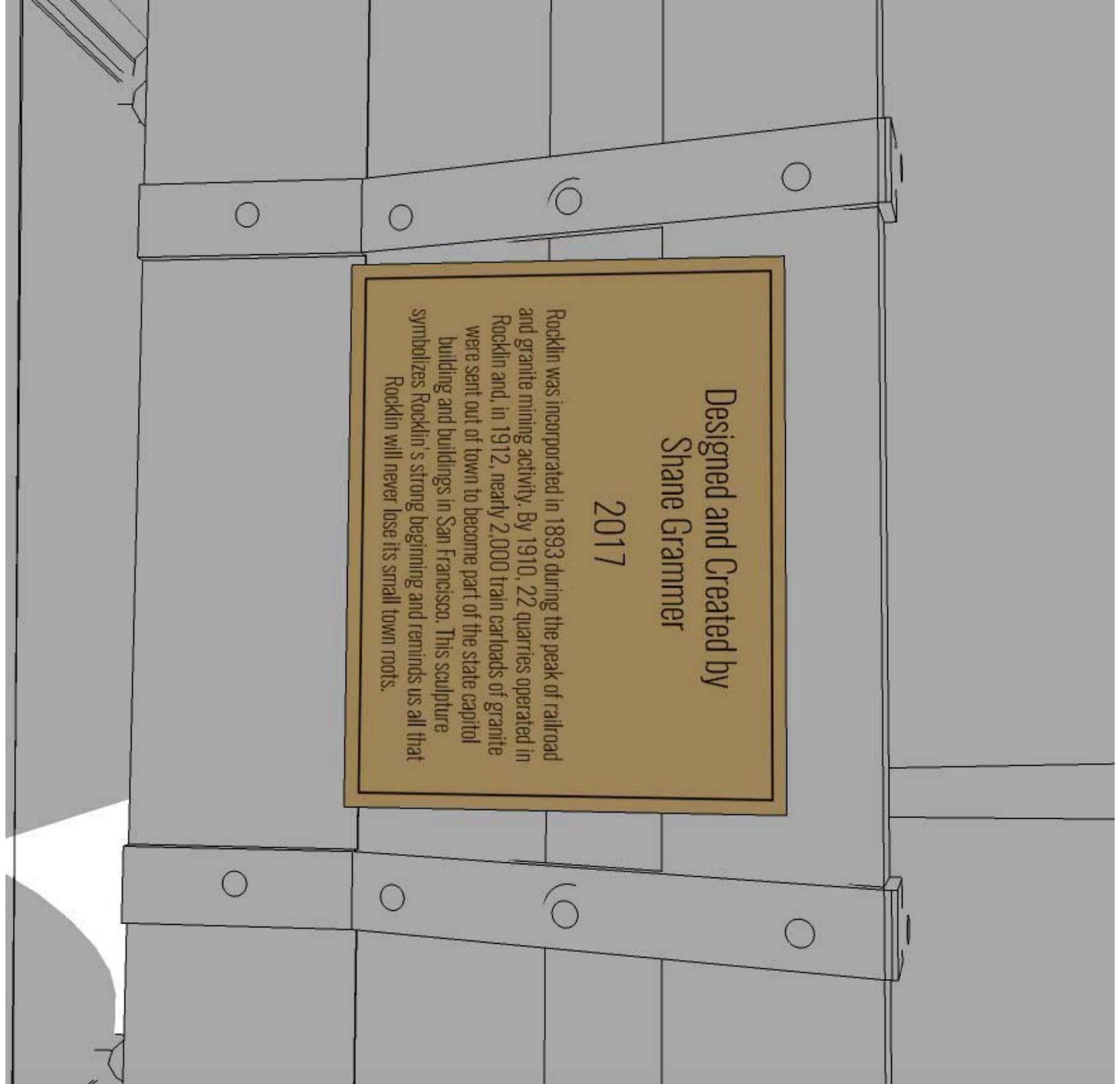
**Rocklin Public Art Sculpture project**

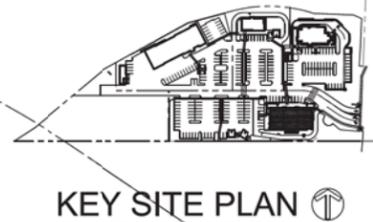
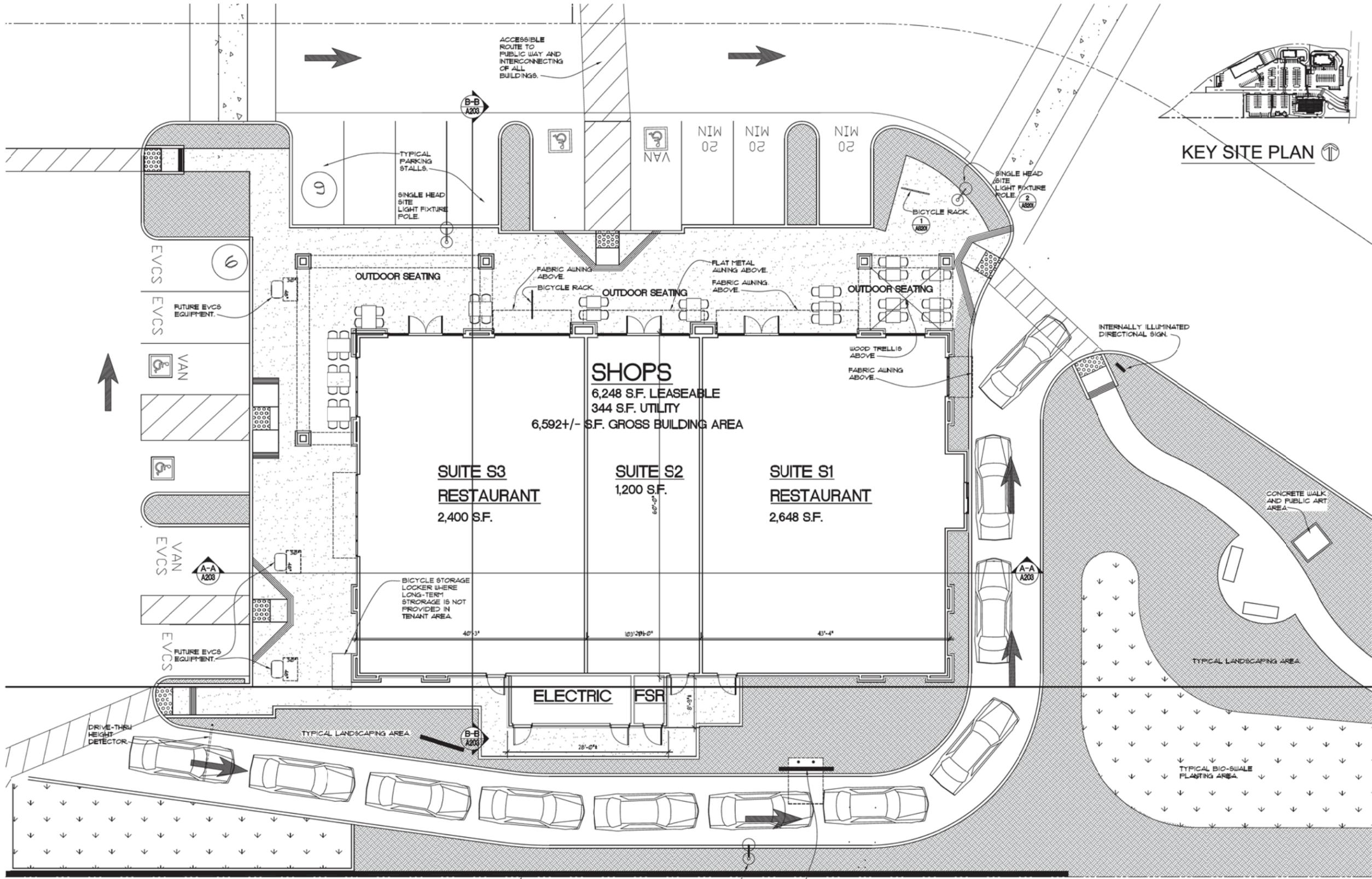


**Rocklin Public Art Sculpture project**









**GEORGE MEU ASSOCIATES**  
ARCHITECTURE  
PLANNING

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OAKLAND  
CALIFORNIA  
9 4 8 0 8  
PHONE 510 434 9888

6	26 JUNE 2017	REVISED ENTITLEMENT APPL.
5	23 NOV. 2016	REVISED ENTITLEMENT APPL.
4	18 OCT. 2016	SUITE 2A-2B
3	27 SEPT. 2016	REVISED ENTITLEMENT APPL.
2	4 APRIL 2016	ENTITLEMENT APPL.
1	11 MARCH 2016	ENTITLEMENT APPL.

issue	date	description
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A PROPOSED NEW SHOPPING CENTER DEVELOPMENT  
**ROCKLIN STATION**  
BY THOMAS SIERRA LLC  
S.W. CORNER OF HIGHWAY I-80 AND SIERRA COLLEGE BLVD.  
ROCKLIN, CALIFORNIA

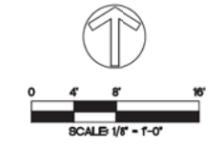
drawn by \_\_\_\_\_ checked by \_\_\_\_\_ job number \_\_\_\_\_

**SHOPS FLOOR PLAN**

**A101**

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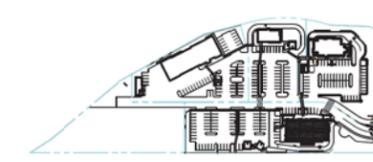
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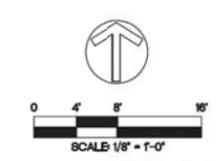
**PROPOSED FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

Packet Pg. 179

Agenda Item #8.b.



KEY SITE PLAN



PROPOSED ROOF PLAN  
SCALE: 1/8" = 1'-0"

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A PROPOSED NEW SHOPPING CENTER DEVELOPMENT  
**ROCKLIN STATION**  
BY THOMAS SIERRA LLC  
S.W. CORNER OF HIGHWAY I-80 AND SIERRA COLLEGE BLVD.  
ROCKLIN, CALIFORNIA

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SHOPS  
ROOF PLAN

A102

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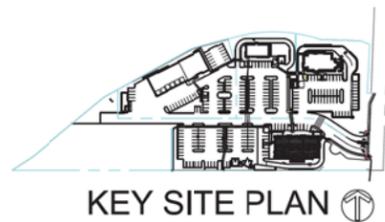
**NORTH EXTERIOR ELEVATION - FACING I-80 EXIT RAMP**  
SCALE: 3/16" = 1'-0"

**MATERIALS**

- A** - MANUFACTURED STONE VENEER
- B** - EXTERIOR PLASTER
- C** - ALUMINUM STOREFRONT AND ENTRANCES
- D** - HOLLOW METAL DOOR AND FRAMES
- E** - SPLIT FACE CONC. MASONRY
- F** - FABRIC AWNING COVER ON METAL FRAME
- G** - 8X8X16 PRECISION FACE CONCRETE MASONRY UNITS.
- H** - STEEL ANGLE/TUBE FRAME AND METAL DECK SWING GATES
- J** - WALL SCONCE LIGHT FIXTURE.
- K** - DRIVE THRU PICK-UP WINDOW.

**COLORS**

- 1** - SHERWIN WILLIAMS PAINTS SW #0057 "CHINESE RED"
- 2** - SHERWIN WILLIAMS PAINTS SW #7549 "STUDIO TAUPE"
- 3** - SHERWIN WILLIAMS PAINTS SW #6363 "GINGERY"
- 4** - SHERWIN WILLIAMS PAINTS SW #7541 "GRECIAN IVORY"
- 5** - ELDORADO STONE "LEDGECUT 33 - SAGE"
- 6** - ANODIZED ALUMINUM "DARK BRONZE"
- 7** - SUNBRELLA #4622-0000 "TERRA COTTA"
- 8** - SHERWIN WILLIAMS PAINTS SW #6090 "JAVA"



**EAST EXTERIOR ELEVATION - FACING SIERRA COLLEGE BLVD.**  
SCALE: 3/16" = 1'-0"

**GEORGE MEU ASSOCIATES**  
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PHONE 510 434 9888

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3	27 SEPT. 2016	REVISED ENTITLEMENT APPL.
2	4 APRIL 2016	ENTITLEMENT APPL.
1	11 MARCH 2016	ENTITLEMENT APPL.

issue	date	description
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A PROPOSED NEW SHOPPING CENTER DEVELOPMENT  
**ROCKLIN STATION**  
BY THOMAS SIERRA LLC  
S.W. CORNER OF HIGHWAY I-80 AND SIERRA COLLEGE BLVD.  
ROCKLIN, CALIFORNIA

drawn by checked by job number

SHOPS  
EXTERIOR  
ELEVATIONS

**A201**

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5	23 NOV. 2016	REVISED ENTITLEMENT APPL.
3	27 SEPT. 2016	REVISED ENTITLEMENT APPL.
2	4 APRIL 2016	ENTITLEMENT APPL.
1	11 MARCH 2016	ENTITLEMENT APPL.

issue	date	description
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A PROPOSED NEW SHOPPING CENTER DEVELOPMENT  
**ROCKLIN STATION**  
BY THOMAS SIERRA LLC  
S.W. CORNER OF HIGHWAY I-80 AND SIERRA COLLEGE BLVD.  
ROCKLIN, CALIFORNIA

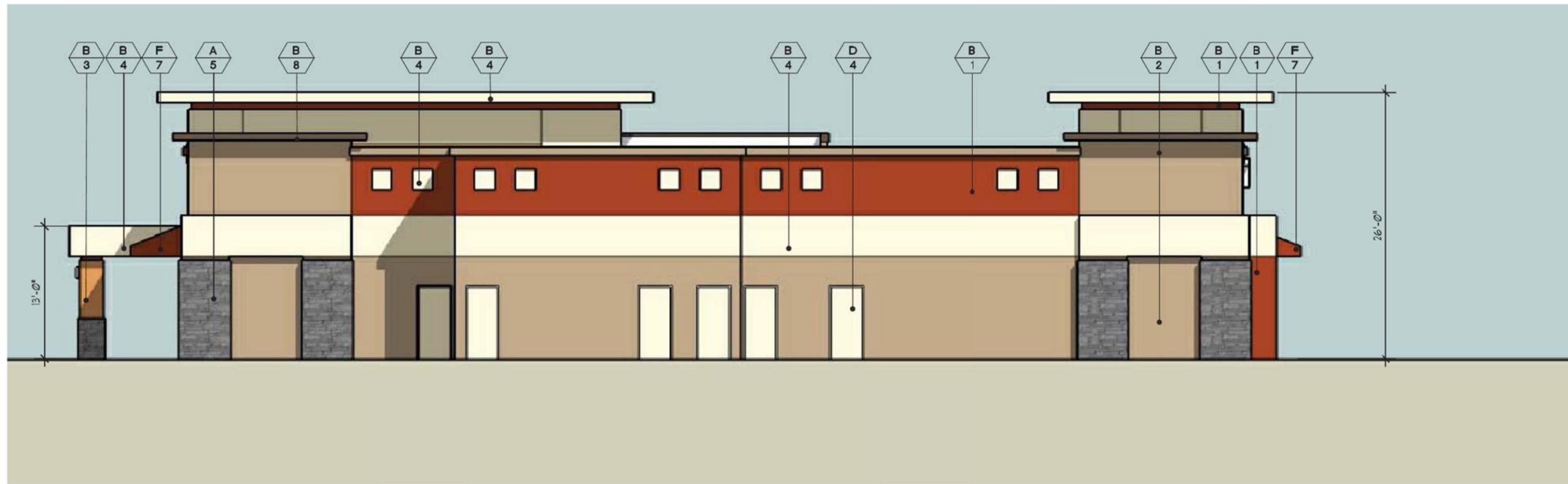
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SHOPS  
EXTERIOR  
ELEVATIONS

**A202**

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**SOUTH EXTERIOR ELEVATION - FACING LIFEHOUSE CHURCH PROPERTY**

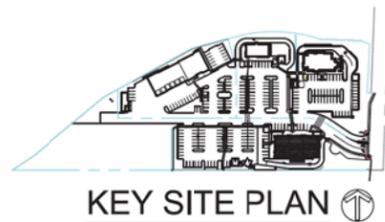
SCALE: 3/16" = 1'-0"

**MATERIALS**

- A** - MANUFACTURED STONE VENEER
- B** - EXTERIOR PLASTER
- C** - ALUMINUM STOREFRONT AND ENTRANCES
- D** - HOLLOW METAL DOOR AND FRAMES
- E** - SPLIT-FACE CONC. MASONRY
- F** - FABRIC AWNING COVER ON METAL FRAME
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- H** - STEEL ANGLE/TUBE FRAME AND METAL DECK SWING GATES
- J** - WALL SCONCE LIGHT FIXTURE.

**COLORS**

- 1** - SHERWIN WILLIAMS PAINTS SW #0057 "CHINESE RED"
- 2** - SHERWIN WILLIAMS PAINTS SW #7549 "STUDIO TAUPE"
- 3** - SHERWIN WILLIAMS PAINTS SW #6363 "GINGERY"
- 4** - SHERWIN WILLIAMS PAINTS SW #7541 "GRECIAN IVORY"
- 5** - ELDORADO STONE "LEDGECUT 33 - SAGE"
- 6** - ANODIZED ALUMINUM "DARK BRONZE"
- 7** - SUNBRELLA #4622-0000 "TERRA COTTA"
- 8** - SHERWIN WILLIAMS PAINTS SW #6090 "JAVA"



**WEST EXTERIOR ELEVATION - FACING I-80**

SCALE: 3/16" = 1'-0"

6	26 JUNE 2017	REVISED ENTITLEMENT APPL.
5	23 NOV. 2016	REVISED ENTITLEMENT APPL.
3	27 SEPT. 2016	REVISED ENTITLEMENT APPL.

issue	date	description
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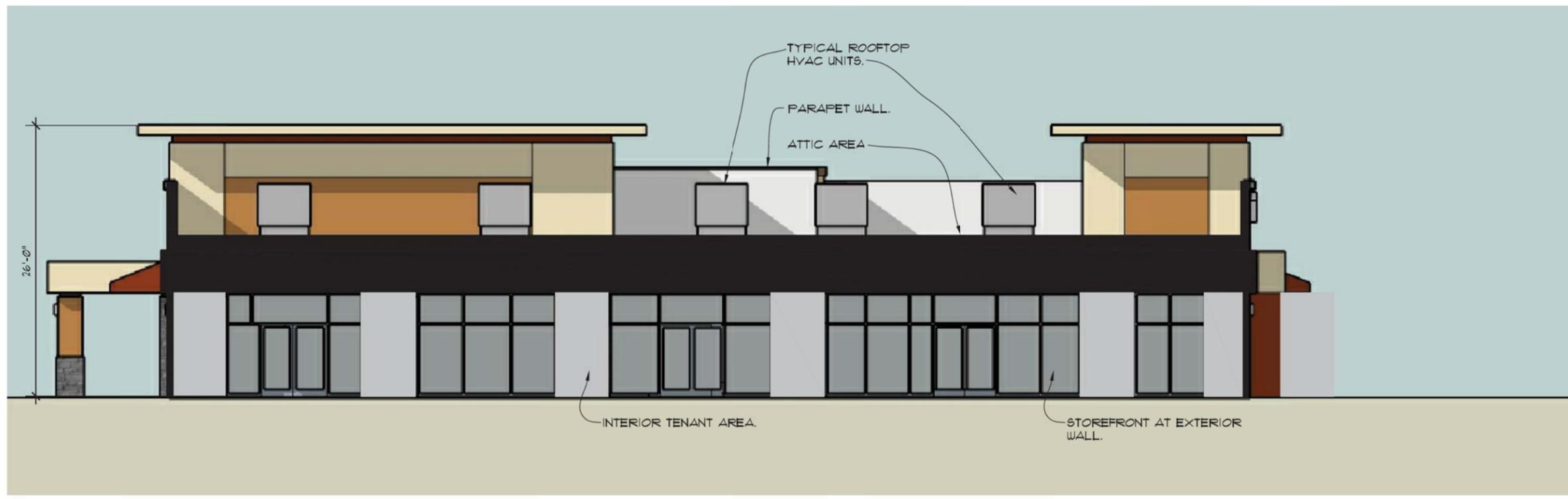
A PROPOSED NEW SHOPPING CENTER DEVELOPMENT  
**ROCKLIN STATION**  
BY THOMAS SIERRA LLC  
S.W. CORNER OF HIGHWAY I-80 AND SIERRA COLLEGE BLVD.  
ROCKLIN, CALIFORNIA

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SHOPS BUILDING SECTIONS AND TRASH ENCLOSURE

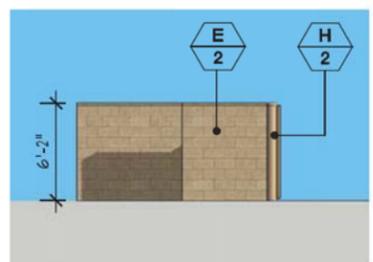
**A203**

Agenda Item #8.b.

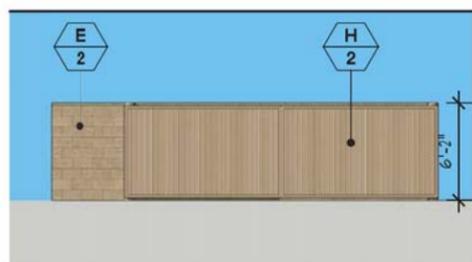


**BUILDING LONGITUDINAL SECTION A-A**

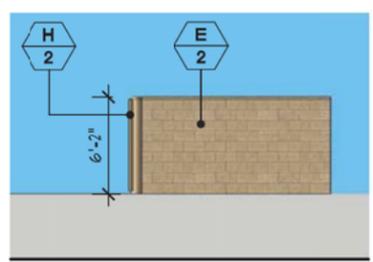
SCALE: 3/16" = 1'-0"



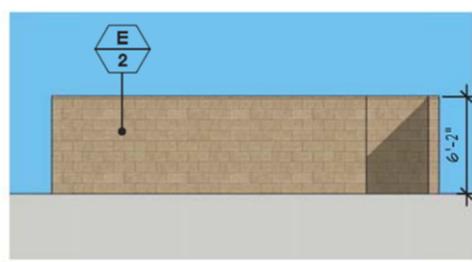
**EAST EXTERIOR ELEVATION**



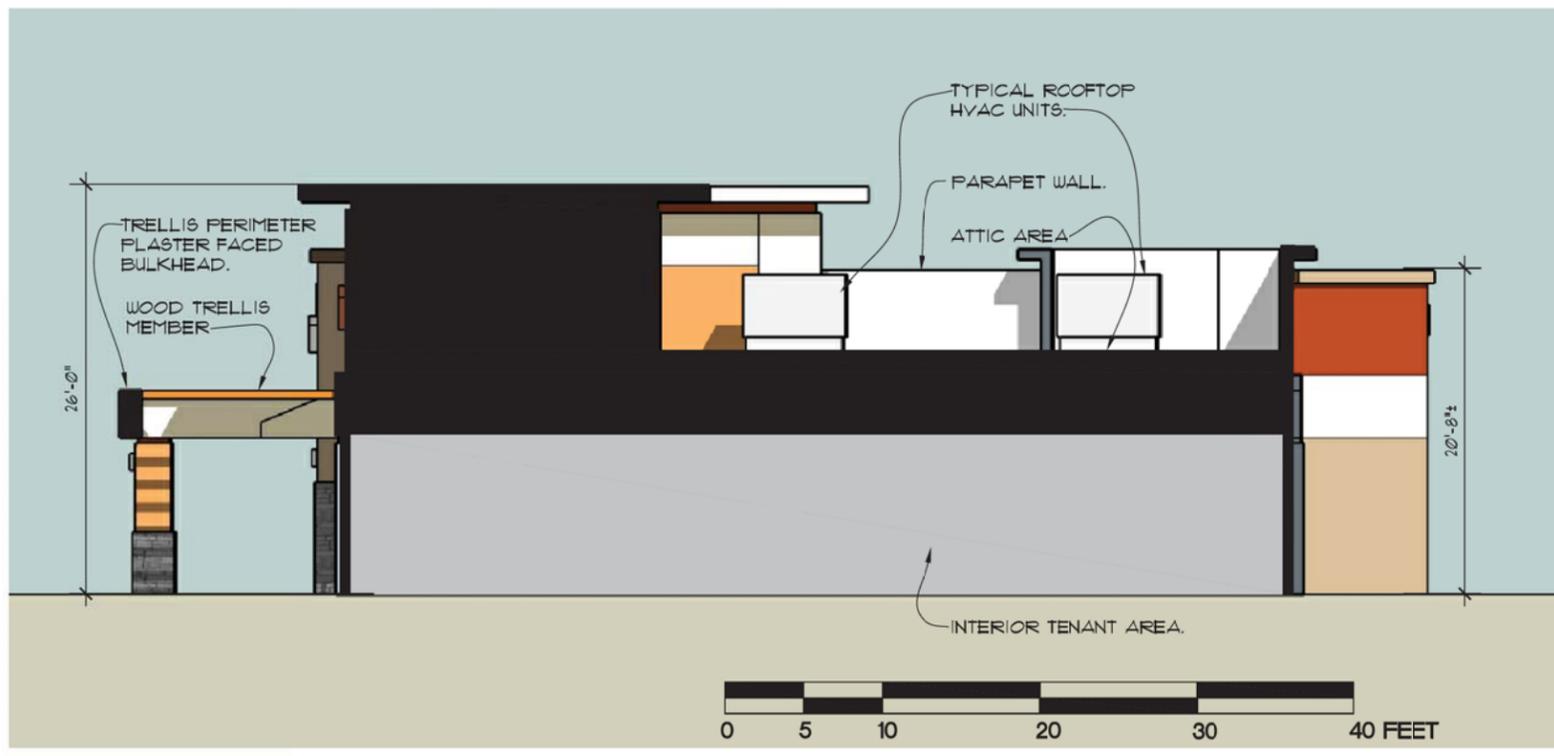
**NORTH EXTERIOR ELEVATION**



**WEST EXTERIOR ELEVATION**



**SOUTH EXTERIOR ELEVATION**

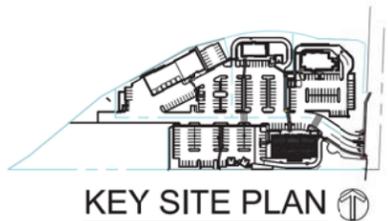


**BUILDING CROSS SECTION B-B**

SCALE: 3/16" = 1'-0"

**TYPICAL SHOPS TRASH ENCLOSURE**

SCALE: 3/16" = 1'-0"



**KEY SITE PLAN**

Packet Pg. 183

A PROPOSED NEW SHOPPING CENTER DEVELOPMENT  
**ROCKLIN STATION**  
BY THOMAS SIERRA LLC  
S.W. CORNER OF HIGHWAY I-80 AND SIERRA COLLEGE BLVD.  
ROCKLIN, CALIFORNIA

DMA LCM 1581 Thom-Rocklin

drawn by checked by job number

SHOPS  
BUILDING  
LIGHTING  
**A204**  
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Agenda Item #8.b.

**LITHONIA LIGHTING**

Color Member  
Notes  
Type

**FEATURES & SPECIFICATIONS**

**INTENDED USE** — The OLCS provides years of maintenance-free general illumination for residential and commercial outdoor applications such as walkways, doorways, entrances, columns, and stairways.

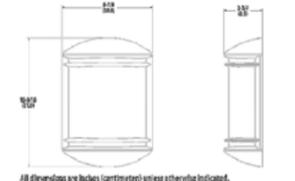
**CONSTRUCTION** — Rugged cast-aluminum housing is protected by a thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process requires a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling.

Polycarbonate LED lens/cover protects LEDs.  
Fixture weight = 2.4 lbs.

**OPTICS** — 48 high-performance LEDs produce up to 513 lumens and maintain 70% of light output at 50,000 hours of service.  
(LED lifespan based on IESNA LM-80-08 results and calculated per IESNA TM-21-11 methodology.)  
White polycarbonate diffuser provides a soft white light at 4000K CCT.  
See Lighting Facts Labels for specific fixture performance.

**ELECTRICAL** — Fixture operates at 120 volts, 60 Hz.  
Standard Input = 0.9 watts.  
Operating temperature: -30°C to 40°C.  
Amps @ 120V = .076.  
Surge protection = 2.5kV.

**INSTALLATION** — Mounts easily to recessed junction box (by other).  
**LISTINGS** — UL Listed in U.S. and Canada safety standards for wet locations.  
Designed for wall mounting more than 4' above the ground.  
Tested in accordance with IESNA LM-79 and LM-80 standards.  
**WARRANTY** — 5-year limited warranty. Complete warranty terms located at [www.aculitybrands.com/customerresources/terms\\_and\\_conditions.aspx](http://www.aculitybrands.com/customerresources/terms_and_conditions.aspx)  
Actual performance may differ as a result of end-user environment and application.  
Note: Specifications subject to change without notice.



**ORDERING INFORMATION** All configurations of this product are considered "standard" and have short lead times. Example: OLCS 8 DDB

Series	Light engines	Color temperature (CCT)	Voltage	Finish
OLCS	8	(blank) 4000K	(blank) 120V	DDB Dark bronze WH White

Notes  
1 Nominal Correlated Color Temperature (CCT) per ANSI C78.377-2008.

DECORATIVE INDOOR & OUTDOOR

**7046 LED**

**STANDARD SPECIFICATIONS**

**HOUSING**  
Full out-of-die cast housing designed for rugged applications. The housing features a separate ballast compartment that attaches directly to a J-box. The design of the fixture does not require opening the lighting area for any reason.

**REFLECTOR**  
Formed white steel, mounted in position with hardware.

**LENS**  
Clear, high impact acrylic installed with a continuous rubber seal.

**LED PERFORMANCE - 3500K STANDARD**  
120-277V - 3500K, 82 CRI - L80 rating - 60,000 hrs - L70 rating (projected) - 100,000 hrs  
Source lumens noted. Amperage rated @ 110V input  
Operating ambient temperature: -20°C / -4°F - 40°C / 104°F

C9LED - 9W nominal, 10 A input - 1009 lm - 121 lm/W  
C13LED - 13W nominal, 10 A input - 1203 lm - 97 lm/W  
D30LED - 30W nominal, 28 A input - 3111 lm - 105 lm/W

**MOUNTING**  
The 7046 series can be mounted downright only and is designed to be mounted directly to J-box (by others).

**FINISH**  
This series is available in a standard bronze polyester powder coat.

**WARRANTY**  
5-year limited warranty on this LED product. Consult factory for details.

**ORDERING INFORMATION**

Model 2. 3. (if required)

**2. WATTAGE**

C9LED 1-C Series board  
C13LED C13 Series board  
D30LED 1-D Series board

**3. AVAILABLE OPTIONS**

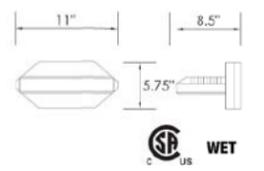
27K 2700K color temperature  
C9LED - 900 lm - 108 lm/W  
C13LED - 1078 lm - 82 lm/W

30K 3000K color temperature  
C9LED - 977 lm - 117 lm/W  
C13LED - 1161 lm - 94 lm/W

40K 4000K color temperature  
C9LED - 1010 lm - 121 lm/W  
C13LED - 1225 lm - 99 lm/W

D30LED - 3168 lm - 107 lm/W

BAC Buy American Compliant  
DIM Dimming driver (120-277V) (C series only) (0-10V dimming control required)  
ECW Extreme Cold Weather (-40°C / -40°F min.)  
ES ENERGY STAR® (C9LED & C13LED only)  
PD1 Photo Centre (120V)  
PD2 Photo Centre (208, 240, 277V)



Specifications and dimensions subject to change without notice.  
Consult your Brownlee Lighting representative for availability and ordering information.

**BROWNLEE LIGHTING**  
www.brownlee.com

REVISIONS  
2016.12.15

**MAKO-LED Series**  
LED GENERAL & EMERGENCY LIGHTING

**PROJECT:** EM SHOP S3  
**FIXTURE TYPE:** EM SHOP S3  
**LOCATION:**  
**CONTACT/PHONE:**

**PRODUCT DESCRIPTION**  
An indoor/outdoor architecturally styled high performance LED luminaire available with 'normally-on' operation powered by line voltage, emergency operation powered by a Nickel-Cadmium battery source or a combination of both. Low profile, die-cast aluminum housing available in four powder coat finishes: dark bronze, white, nickel and black.

**PRODUCT SPECIFICATIONS**

**CONSTRUCTION**  
Die cast aluminum housing • Scratch resistant Polyester powder coat finish • UV stabilized polycarbonate lens with prismatic pattern designed for path of egress distribution • Molded mirror finish reflector • Snap-fit housing and mounting plate are held together by four stainless steel clips • Universal mounting pattern molded into the back plate • Threaded top access for surface conduit installation • Silicone rubber seal with hollow center, shape adaptive design protects the electrical components • Junction box neoprene seal is attached to the back plate for a weather proof installation • Dark Bronze, Black, White or Nickel textured finish.

**ELECTRICAL**  
Dual voltage 120/277VAC 60Hz input • Solid state charging and switching • Battery low voltage disconnect • AC power indicator and test switch at the bottom of the unit • Self Diagnostics standard on battery units.

**LAMPS**  
Supplied with two Cree LED lamps for redundancy • 11 Watts total • 1080 Lumens 5000K color temperature • Features a UV stable mirror-bright reflector and prismatic polycarbonate refractor for ideal light output.

**BATTERY**  
Maintenance-free NiCad battery will operate fixture for a minimum of 90 minutes in the event of a power outage.

**CODE COMPLIANCE**  
UL924 • Listed for wet location applications (0°C-50°C) • Optional "IH" cold weather package for (-20°C-50°C) • IP65 Rated • NFPA 101 Life Safety Code compliant • NEC and OSHA compliant.

**WARRANTY**  
5-year warranty. Product specifications subject to change without notice.



**ACEM Model (NiCad Battery Backup)**

**Integral photocell:** Unit operates as a dusk to dawn luminaire and in the event of a power failure as an emergency light.  
**Remote Switched:** The integral photocell can be defeated to allow remote switching for normal operation. In the event of a power failure unit operates as an emergency light.  
**Normally Off:** Both the photocell and switch options can be defeated for use as a standard emergency light that only operates in battery backup mode in the event of power loss.

**AC Model (No Battery Backup)**

**Integral photocell:** Enables operation as a dusk to dawn general lighting luminaire.  
**AC Only:** The integral photocell can be defeated to allow remote switching as a general lighting luminaire.

**INSTALLATION**

**MOUNTING**  
Suitable for indoor or outdoor wall mounting on junction box, or with surface conduit using the supplied 1/2" threaded top access • Mounting plate has molded universal mounting patterns for simple mounting over junction box.

**ORDERING INFORMATION**

model	operation mode	housing color	options
MAKO-LED	ACEM - General & Emergency Lighting AC - General Lighting Only	DB = Dark Bronze WH = White BK = Black NR = Nickel	IH = Internal Battery Heater USA = Assembled in USA

Ordering Example: MAKO-LED-ACEM4DB

Mule Lighting, Inc. 46 Baker Street Providence, RI 02905 800 556-7690 P 401 941-2929 F www.mulelighting.com

TYP. UNDER CANOPY WALL EMERGENCY LIGHT 2 AS201

TYPICAL UNDER CANOPY WALL MOUNTED LIGHT 2 AS201

TYPICAL WALL SCONCE 1 AS201

Packet Pg. 184



"CHINESE RED"  
SW #0057



"GRECIAN IVORY"  
SW #7541



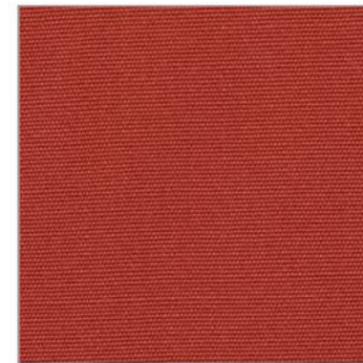
"DARK BRONZE"  
ANODIZED ALUMINUM



"JAVA"  
SW #6090



"STUDIO TAUPE"  
SW #7549



"TERRA COTTA"  
SUNBRELLA 4622-000



"GINGERY"  
SW #6363



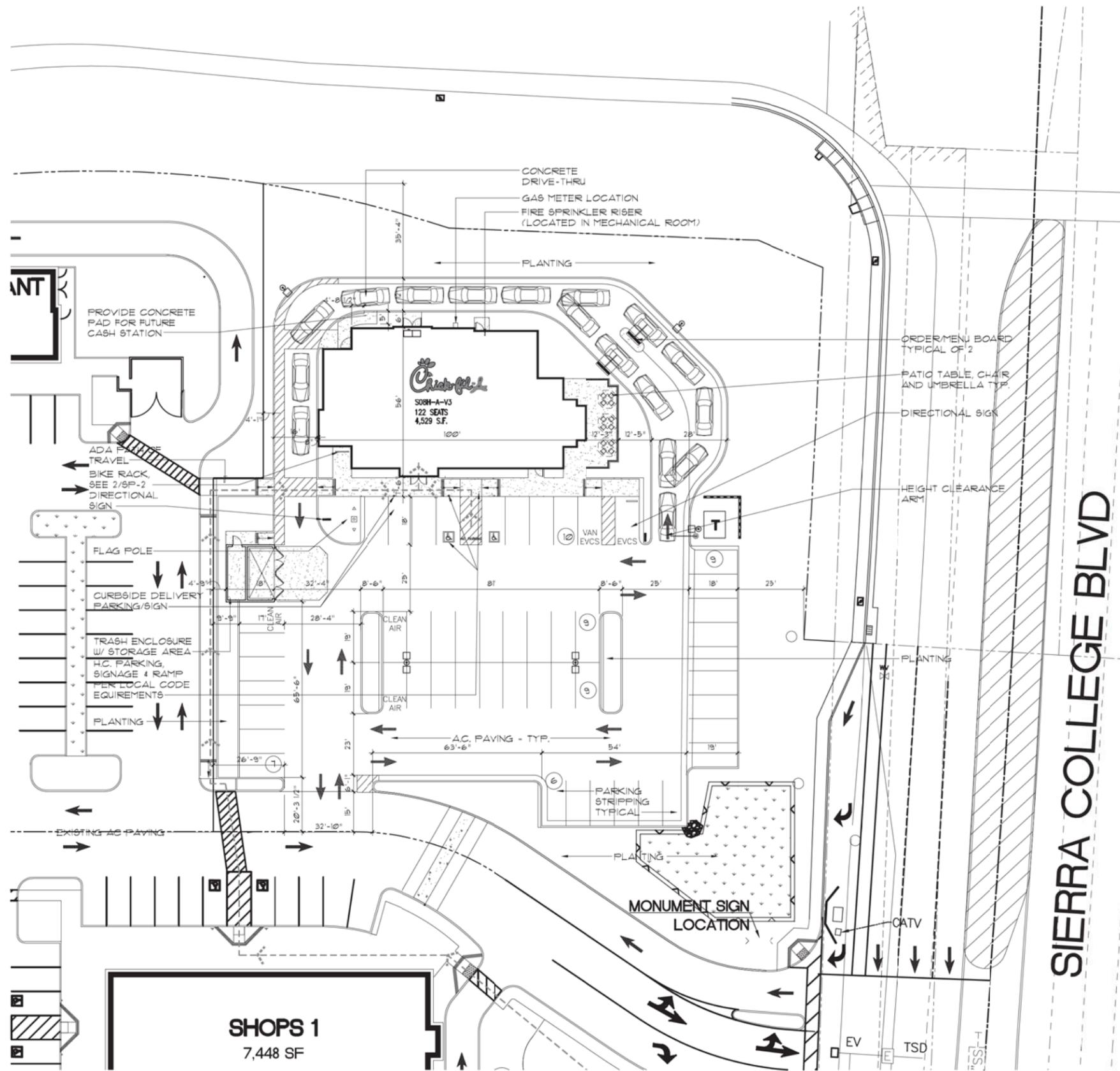
"GINGERY"  
SW #6363

GEORGE MEU ASSOCIATES – ARCHITECTURE PLANNING

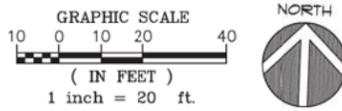
COLOR/MATERIALS

A PROPOSED NEW ROCKLIN STATION SHOPPING CENTER  
SHOPS  
S.W. CORNER OF HIGHWAY I-80 AND SIERRA COLLEGE BLVD.  
ROCKLIN, CALIFORNIA

JOB NO. 1581.Thom\_Rocklin  
DATE 9/21/16  
SHEET NO. 1 OF 1



**1 PRELIMINARY SITE PLAN**  
1" = 20'-0"



**BUILDING DATA**

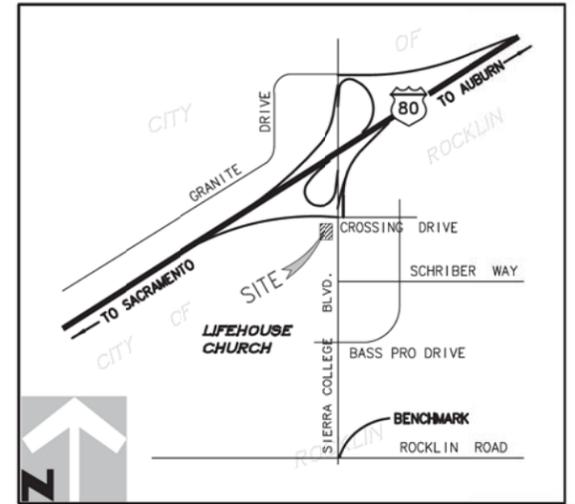
OCCUPANCY:	A2 (RESTAURANT)
FIRE SPRINKLERED:	YES
CONSTRUCTION TYPE:	V-B
SITE AREA:	56,238 S.F.
BUILDING AREA:	4,529 S.F.
FAR:	.08
ZONING:	PD-C (PLANNED DEVELOPMENT - COMMERCIAL)

**PARKING**

STANDARD SPACES REQUIRED:	1 PER 3 SEATS
TOTAL BUILDING AREA:	122 / 3 = 40.66
TOTAL SPACES REQUIRED:	41 SPACES
STANDARD SPACES PROVIDED:	48 SPACES
HANDICAP SPACES PROVIDED:	2 SPACES
TOTAL SPACES PROVIDED:	50 SPACES

**Legend:**

PROPERTY LINE	---
BUILDING LINE	=====
NEW 6" CURB + GUTTER	=====
NEW SIDEWALK	-----
EXISTING CURBS AND SIDEWALKS	-----
OUTDOOR SEATING	⊕
PEDESTRIAN ACCESS	⊕-----⊕
4" WIDE DIAGONAL STRIPPING	////
PARKING LIGHT FIXTURE	⊙
EASEMENT LINE	-----
VEHICLE (20'-0" LENGTH-TYP.)	⊞



**2 SITE PLAN**  
NTS



**Chick-filée**

5200 Buffington Rd.  
Atlanta Georgia,  
30349-2998

Revisions:

Mark	Date	By
△	041116	SF

Mark	Date	By
△	04-18-17	

Mark	Date	By
△		

Seal

**C · R · H · O**  
Architecture Interior Planning  
195 South "C" Street 200  
Tustin, California 92780  
714 832-1834  
FAX 832-1910

STORE  
SIERRA COLLEGE  
BLVD. @ CROFTWOOD

SWC SIERRA COLLEGE  
& I-80  
ROCKLIN, CA

SHEET TITLE  
PRELIMINARY  
SITE PLAN

VERSION: V  
ISSUE DATE: 7-201

Job No. : 15-10  
Store : 0375  
Date : 08-04  
Drawn By : AM  
Checked By: RH

Sheet

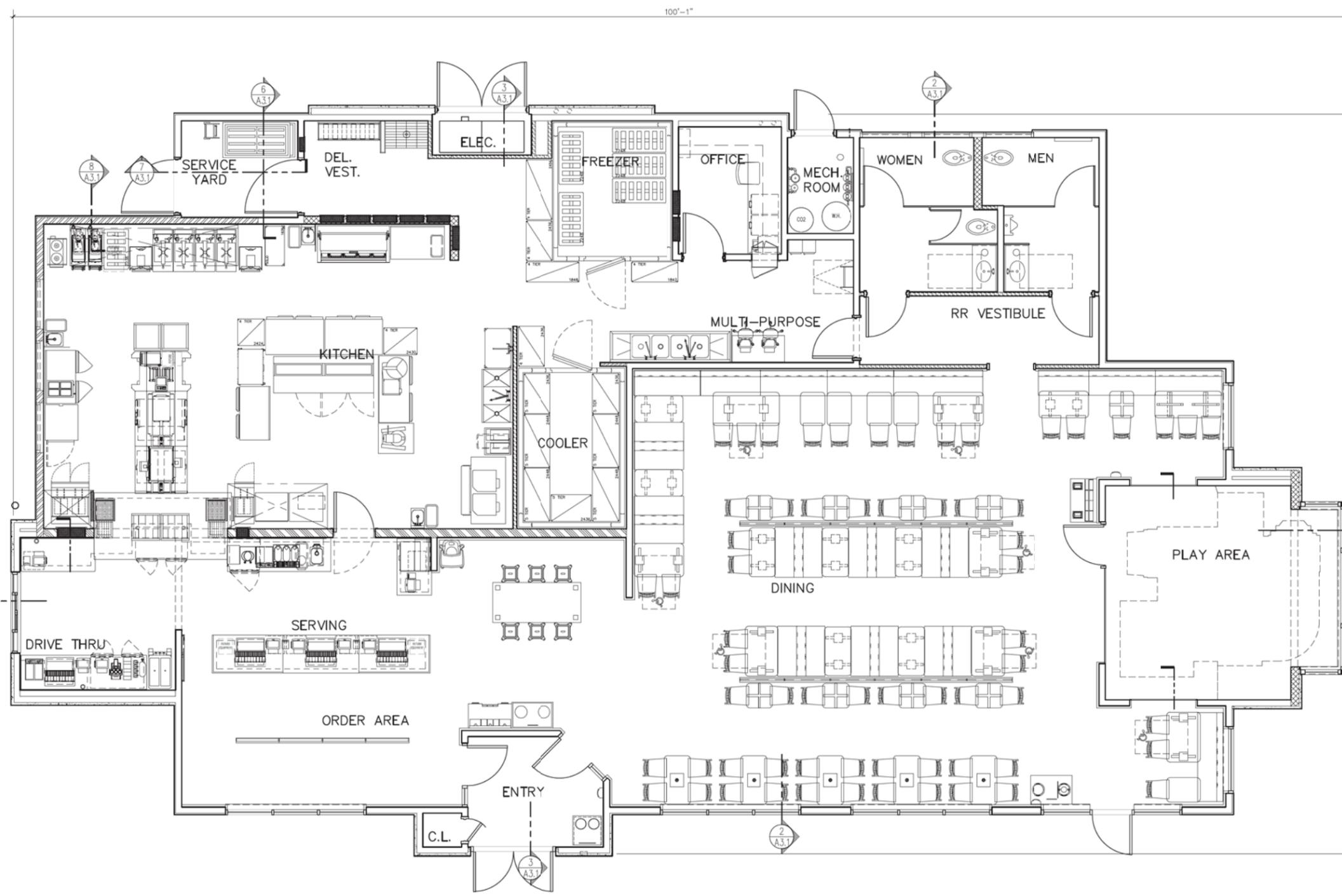
**SP-1**

Agenda Item #8.b.



**LEGEND:**

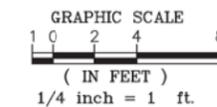
2X4 WOOD STUD WALL	
2X6 WOOD STUD WALL	
2X8 WOOD STUD WALL	
3 5/8" METAL STUDS RE: GENERAL NOTES, #6	
6" METAL STUDS RE: GENERAL NOTES, #6	
8" METAL STUDS RE: GENERAL NOTES, #6	
STONE VENEER	
COLUMN RE: STRUCTURAL	



**STATISTICS:**

SQUARE FOOTAGE BREAKDOWN	
DINING	1,412 SQ. FT.
ORDER AREA	85 SQ. FT.
PLAY AREA	276 SQ. FT.
KITCHEN/SERVING	1,530 SQ. FT.
RESTROOMS	204 SQ. FT.
MISCELLANEOUS (VEST/STORAGE/MECH/ETC.)	1,039 SQ. FT.
<b>SQUARE FOOTAGE:</b>	<b>4,546 SQ. FT.</b>
DINING AREA SEATS	122

**I FLOOR PLAN**  
1/4" = 1'-0"



**Chick-fil-C**

5200 Buffington Rd.  
Atlanta Georgia,  
30349-2998

Revisions:

Mark	Date	By
△	041116	SF

Mark	Date	By
△		

Mark	Date	By
△		

Seal

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Architecture Interior Planning  
195 South "C" Street 200  
Tustin, California 92780  
714 832-1834  
FAX 832-1910

STORE  
SIERRA COLLEGE  
BLVD. @ CROFTWOOD

SWC SIERRA COLLEGE  
& I-80  
ROCKLIN, CA

SHEET TITLE  
**FLOOR PLAN**

VERSION: V  
ISSUE DATE: 7-201

Job No. : 15-10  
Store : 0375  
Date : 08-04  
Drawn By :  
Checked By: R.H.

Sheet

**A-I.A**





Chick-fil-e

5200 Buffington Rd.  
Atlanta Georgia,  
30349-2998

Revisions:  
Mark Date By  
△ 041116 SF

Mark Date By  
△ 04-18-17

Mark Date By  
△

Seal

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Architecture Interior Planning  
195 South "C" Street 200  
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714 832-1834  
FAX 832-1910

STORE  
SIERRA COLLEGE  
BLVD. @ CROFTWOOD

SWC SIERRA COLLEGE  
& I-80  
ROCKLIN, CA

SHEET TITLE  
BUILDING  
SECTIONS

VERSION: V  
ISSUE DATE: 7-201

Job No. : 15-10

Store : 0375

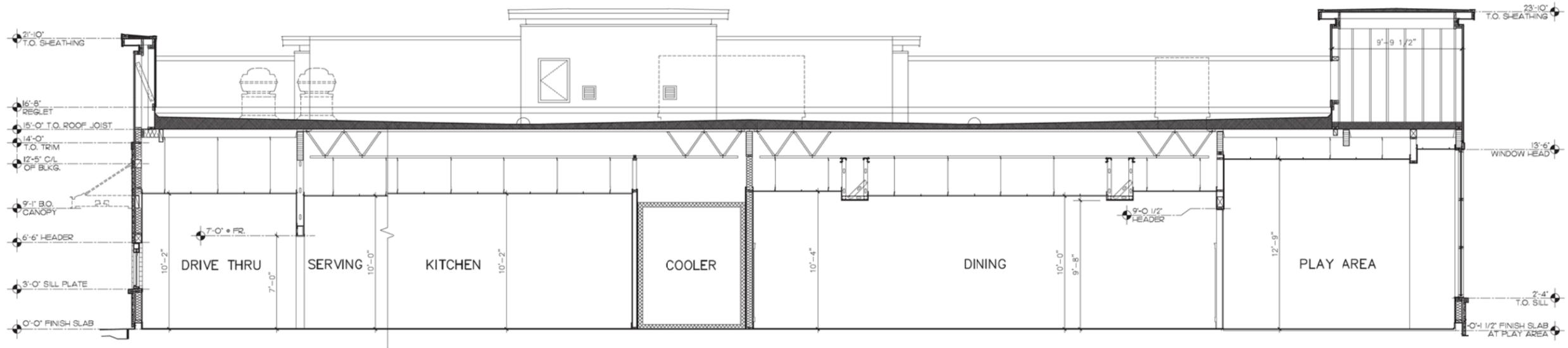
Date : 08-04

Drawn By : -

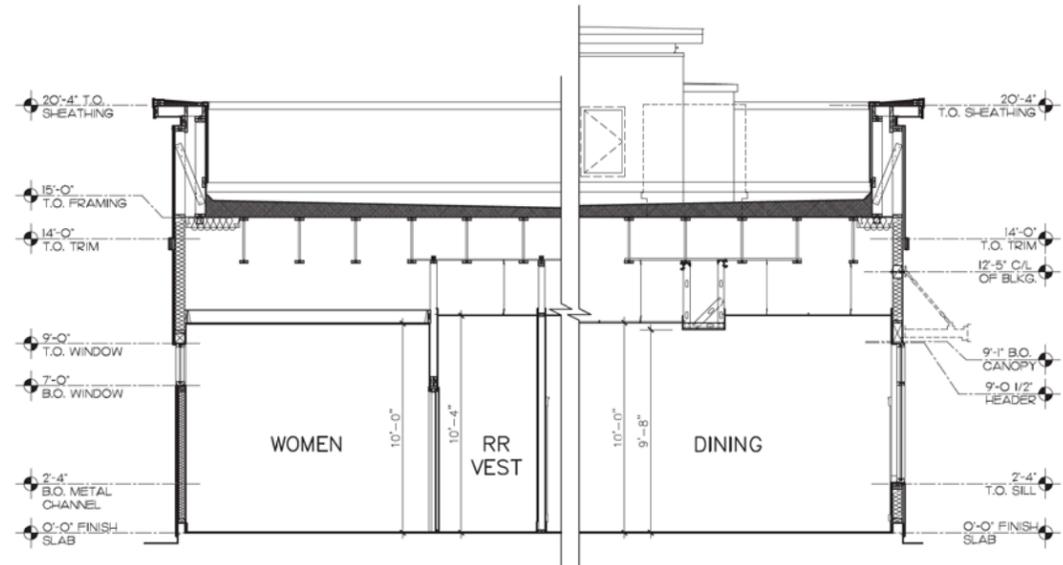
Checked By: R.H.

Sheet  
A-3.I

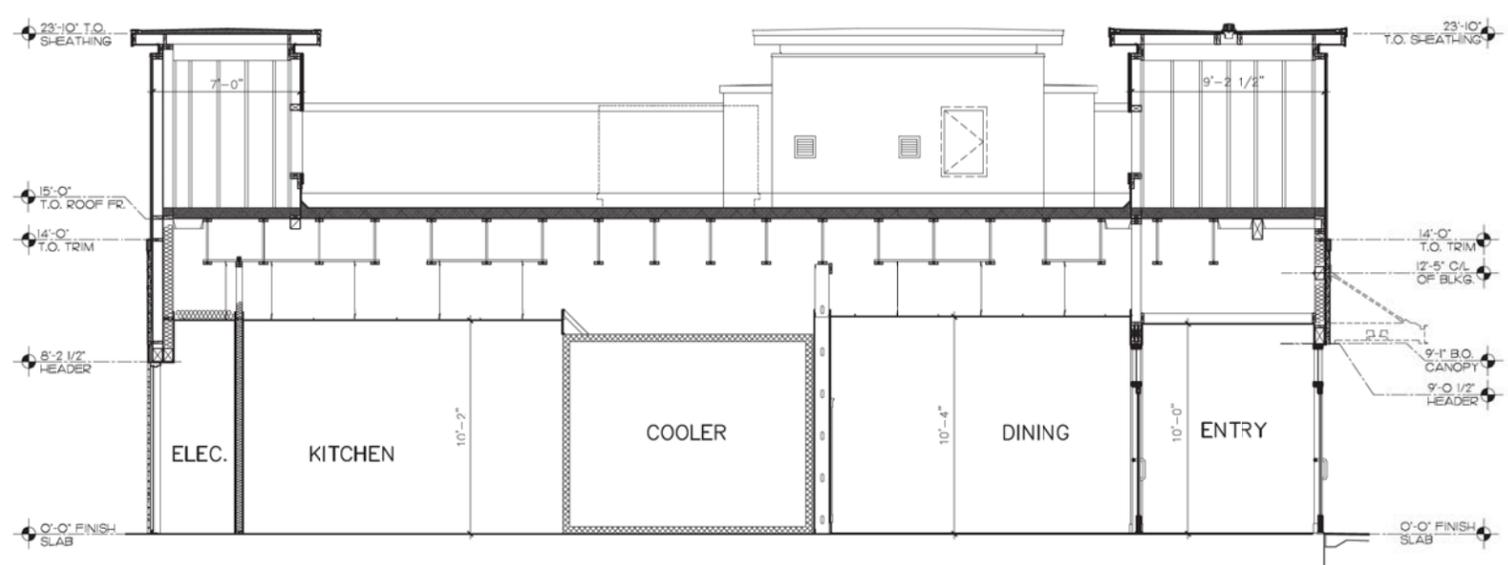
Agenda Item #8.b.



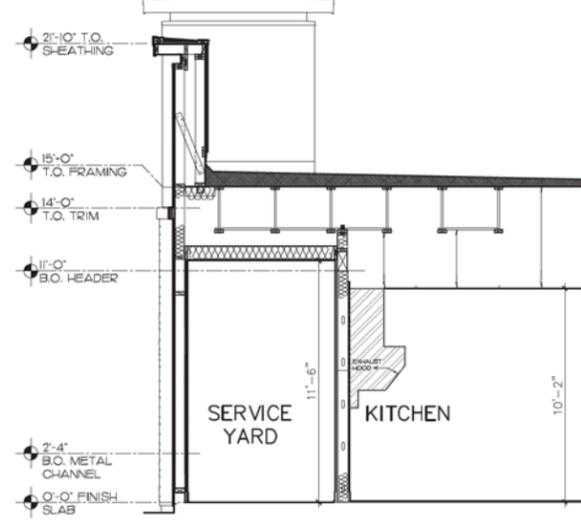
1 LONGITUDINAL SECTION  
1/4" = 1'-0"



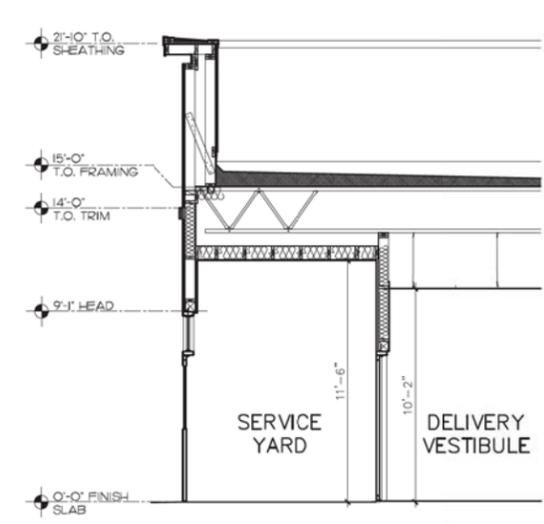
2 TRANSVERSE SECTION  
1/4" = 1'-0"



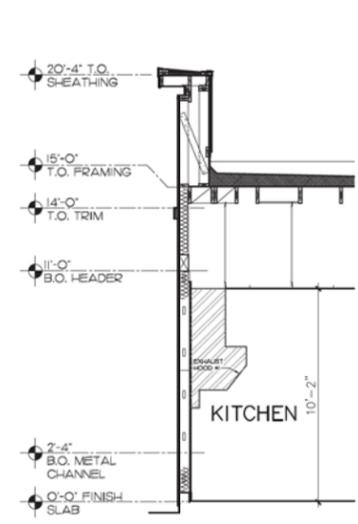
3 TRANSVERSE SECTION  
1/4" = 1'-0"



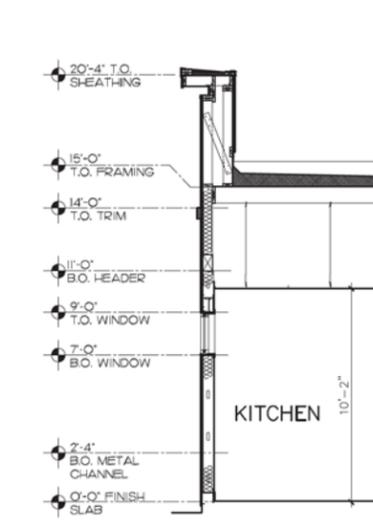
6 SERVICE YARD SECTION  
1/4" = 1'-0"



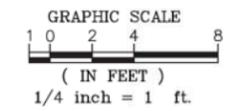
7 SERVICE YARD SECTION  
1/4" = 1'-0"



8 WALL SECTION  
1/4" = 1'-0"



9 WALL SECTION  
1/4" = 1'-0"



Packet Pg. 190



**NORTH ELEVATION / OFF RAMP**



**WEST ELEVATION / DRIVE-THRU WINDOW**



**PRELIMINARY ELEVATIONS**  
 Rocklin, CA

Packet Pg. 191

Name: 15-103 Elevations

07-29-16 Update: 04-17-17

**Note:**  
 All roof top mechanical equipment shall be located in equipment well and screened from view by parapet walls.

**COLOR AND MATERIAL LEGEND**

- STC-1 Paint - Sherwin Williams - #SW7541 "Grecian Ivory"
- STC-2 Paint - Sherwin Williams - #SW7549 "Studio Taupe"
- PT-9 Paint - Sherwin Williams - # B66-350 "Dark Bronze"
- A-1 Metal Canopy - Color Mathew's "Dark Bronze"
- A-2 Fabric Awning - Sunbrella #6007 60" - Color "Charcoal Tweed"
- PC-1 Precast Concrete - 365 Precast - Color "Sandlewood"
- STN-1 Stone Veneer - ElDorado Stone LedgeCut33 "Sage"



**C · R · H · O**  
 Architecture Interiors Planning  
 195 South "C" Street Suite 200  
 Tustin, California 92780  
 714 832 1834  
 FAX 714 832 1910

Agenda Item #8.b.



**SOUTH ELEVATION / PARKING LOT**



**EAST ELEVATION / SEIRRA COLLEGE BLVD.**



**PRELIMINARY ELEVATIONS**  
 Stocklin, CA

Name: 15-103 Elevations

07-29-16 Update: 04-17-17

**Note:**  
 All roof top mechanical equipment shall be located in equipment well and screened from view by parapet walls.

**COLOR AND MATERIAL LEGEND**

- STC-1** Paint - Sherwin Williams - #SW7541 "Grecian Ivory"
- STC-2** Paint - Sherwin Williams - #SW7549 "Studio Taupe"
- PT-9** Paint - Sherwin Williams - # B66-350 "Dark Bronze"
- A-1** Metal Canopy - Color Mathew's "Dark Bronze"
- A-2** Fabric Awning - Sunbrella #6007 60" - Color "Charcoal Tweed"
- PC-1** Precast Concrete - 365 Precast - Color "Sandlewood"
- STN-1** Stone Veneer - ElDorado Stone LedgeCut33 "Sage"



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 714 832 1834  
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KYNAR POWDER COAT FINISH

ALUMINUM 5"X5"X3/8" PLATE

1/4" ALUMINUM EYELET

#2 CLEVIS W/1/2" THRU BOLT

1 3/4" HANGER PIPE ASSEMBLY

1/8" ALUMINUM LOUVER RIVETED TO INSIDE CHANNEL TOP & BOTTOM EA.END. TYP. OF 5 EQ. SPACED

1/2" THREADED ROD W 1 1/4" TURNBUCKLE

#2 CLEVIS W/1/2" THRU BOLT

10"X2"X1/8" MIN. ALUMINUM BENT CHANNEL, TYP. @ PERIMETER (3 SIDES)

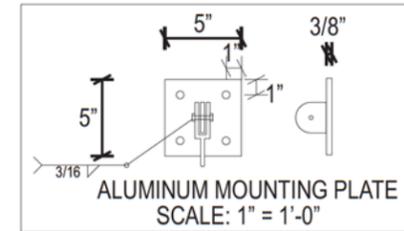
1/4" ALUMINUM EYELET

ALUMINUM 2"X2"X1/4" TUBE SUPPORT BEAM

ALUMINUM C5X1 1/2"X1/8" (MIN) TYP. ALL AROUND

EXISTING WOOD STUD WALL (MIN.2X6 STUDS @ 16" O.C.)

CMU NOTE: FOR ATTACHMENT TO STRUCTURAL MASONRY WALL. PROVIDE (4) 1/2" THREADED RODS EMBED 5" MIN. IN 5/8" DRILLED HOLES W/SIMPSON SET EPOXY



G.C TO SUPPLY  
PRIMARY POWER SOURCE  
ALL COMPONENTS  
TO BE  
U.L. LISTED & APPROVED

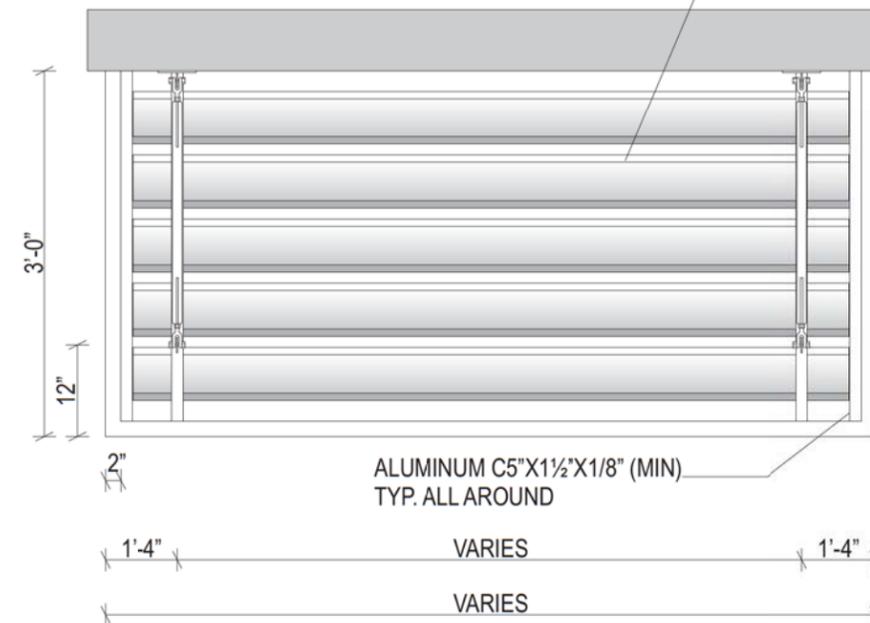
6"X8" WOOD BLOCK W/ A35 TOP & BOTTOM RO ADJUST STUD TYP. EA. END

(4) 1/2" THRU BOLTS W/ 2"X2"X3/16" WASHERS

5/16" LAG SCREW @ EA. STUD OR HEADER (16" MAX O.C.) W/3" MIN. EMBED. IN MEMBER

EXISTING WOOD HEADER

1/8" ALUMINUM LOUVER RIVETED TO INSIDE CHANNEL TOP & BOTTOM EA.END. TYP. OF 5 EQ. SPACED



NOTES:

1. ALL EXPOSED CANOPY COMPONENTS TO BE KYNAR 500, PREFINISHED
2. ALL HARDWARE SHALL BE POWDER COATED AND CONSIST OF NUTS AND BOLTS ONLY.
3. TOP OF CANOPY TO BE WATERTIGHT.
4. ALL ALUMINUM FINISHES AND HARDWARE TO HAVE PVD COATING
5. ALL WELDING TO BE PERFORMED USING MIG PROCESS ER-4043 .35" WELDING WIRE
6. PROVIDE TURN BUCKLE CONNECTION SHOWN AT 2'-0" MAX FROM EA. END OF CANOPY TO BE LIMITED TO 14'-0"
7. CONTRACTOR TO VERIFY EXISTENCE OF WALL FRAMING SHOWN AND ADD FRAMING SUPPORT MEMBERS IN EXISTING WALL AS NECESSARY.

C1	NEW CANOPY	12'-2" X 3'-0"
C3	NEW CANOPY	12'-2" X 3'-0"
C4	NEW CANOPY	12'-2" X 3'-0"
C7	NEW CANOPY	6'-7" X 3'-0"
C8	NEW CANOPY	6'-7" X 3'-0"

**New Louvered Aluminum Canopy**

SCALE: 1/2" = 1'

MATTHEWS DARK BRONZE 74155 SV

THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED FOR YOUR PERSONAL USE IN CONNECTION WITH A PROJECT PLANNED FOR YOU BY NSMC. IT IS NOT TO BE SHOWN OUTSIDE YOUR ORGANIZATION NOR USED, REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION UNLESS AUTHORIZED IN WRITING BY AN OFFICER OF NSMC



**National Sign & MARKETING CORPORATION**  
13580 5th St., Chino, CA 91710  
Tel 909.591.4742 Fax 909.591.9792  
e-mail : sales@nsmc.com  
Lic# 745030 - Exp. 01/31/18

**Project:** Chick-Fil-A  
**Address:** SWC Sierra College & I-80, Rocklin, CA  
**Phone:** \_\_\_\_\_ **Account Mgr.:** S. Rosenbloom  
**Designer:** Duffy, S. **Scale:** Noted **Date:** 01/24/2016

**Client Approval:** \_\_\_\_\_  
**Date:** \_\_\_\_\_

This sign intended to be in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of this sign.

**Revisions:**  
03/22/16 SD Change site plan, add cd sign, h/c sign  
04/04/16 SD Change site plan, change pylon and monument, Remove option  
06/01/16 SD Change canopy to dark bronze and update vinyl  
07/20/16 MYQ Removed logo from directional

**Drawing Number**  
**27072**  
R4







**Stucco & Paint #1 (STC-1)**  
Sherwin Williams  
#SW7541 "Grecian Ivory"



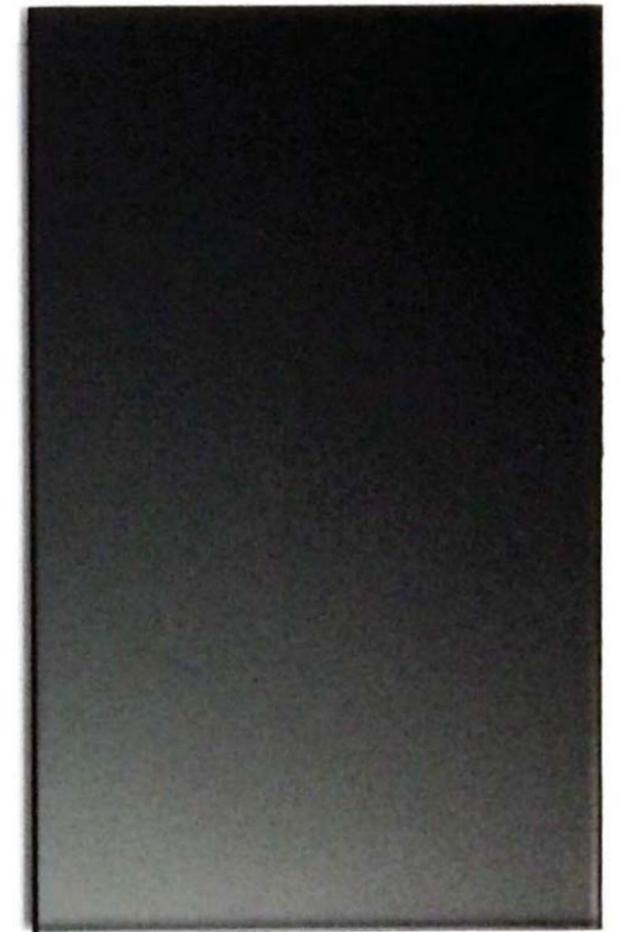
**Stucco & Paint #2 (STC-2)**  
Sherwin Williams  
#SW7549 "Studio Taupe"



**Stone Veneer (STN-1)**  
El Dorado Stone LedgeCut 33  
"Sage"



**Glass Fiber Reinforced  
Concrete (PC-1)**  
Color: Sandlewood  
Texture: Fine Finish



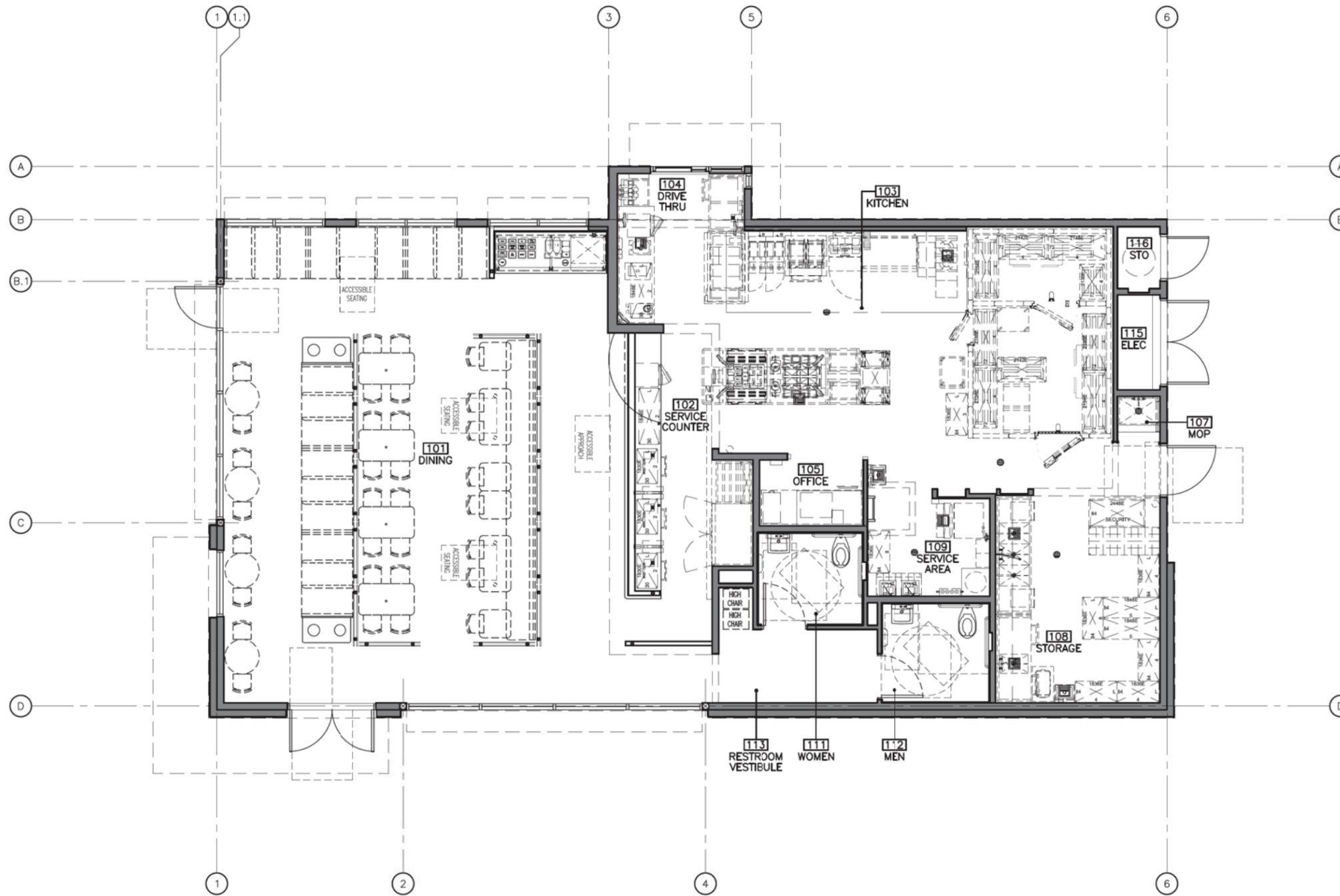
**Aluminum Awning (A-1)  
Storefront (ST-1)**  
Color: Matthews Dark Bronze



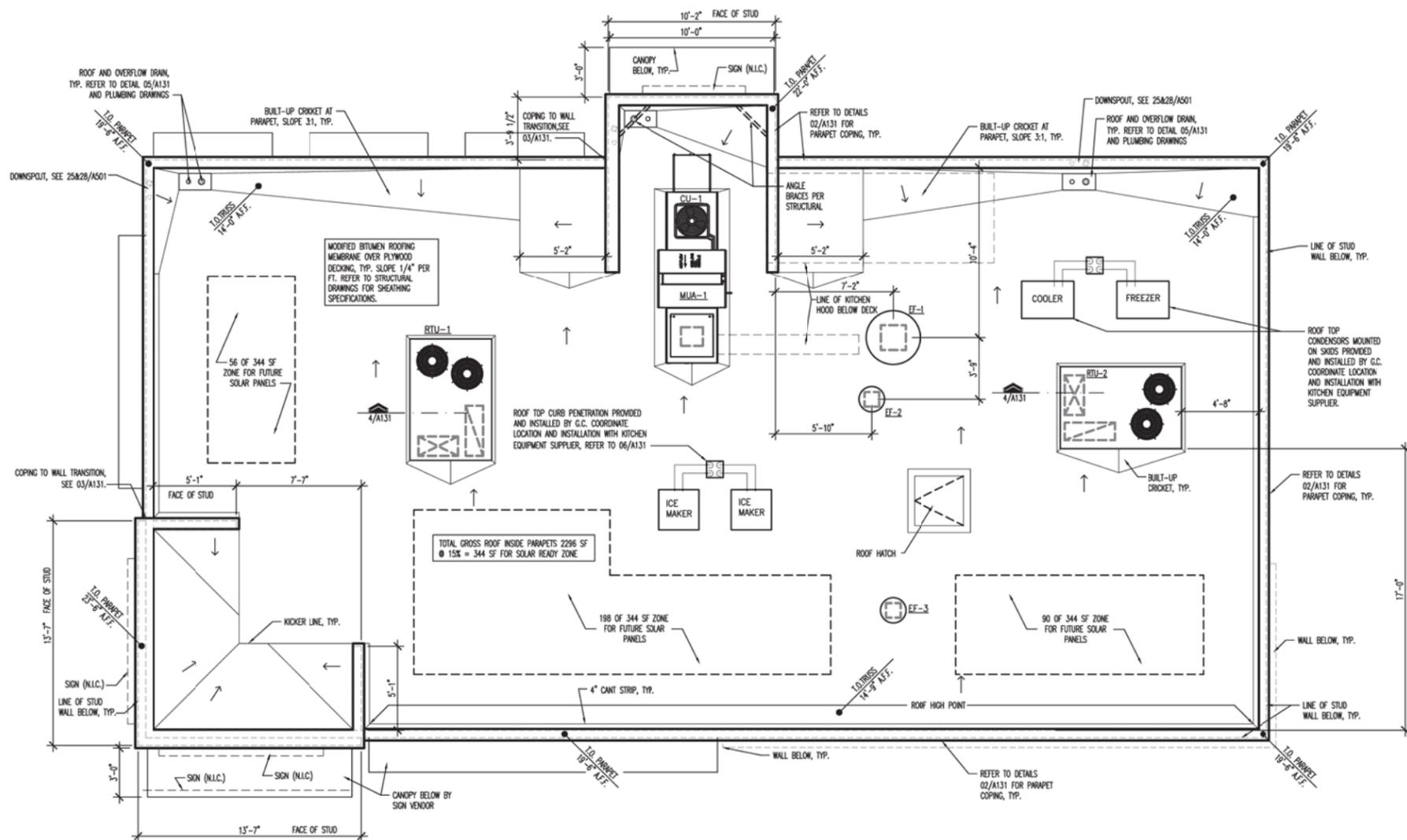
**Paint #9 (PT-9)**  
Sherwin Williams  
#B66-350 "Dark Bronze"



**Fabric Awning (A-2)**  
Sunbrella #6007 60"  
Color "Charcoal Tweed"



SEATING CALCULATIONS:		
<b>Interior Seating</b>		PARTIES SEATS
DINING:		
4-TOP BOOTH	6	24
2-TOP TABLE, LOW	4	8
2-TOP TABLE, HIGH	4	8
4-TOP TABLE	6	24
<b>Total Seating</b>	<b>20</b>	<b>64</b>
<b>PATIO SEATING:</b>		PARTIES SEATS
DINING:		
4-TOP TABLE	1	4
3-TOP TABLE (ADA)	1	3
<b>Total Seating</b>	<b>2</b>	<b>7</b>
<b>SQUARE FOOT:</b>		
		2418 SF RESTAURANT 300 SF PATIO
<b>Total S.F.</b>	<b>2718 SF. TOTAL</b>	



DO NOT SCALE DRAWINGS  
CONTRACTOR TO VERIFY  
ALL EXISTING CONDITIONS AND  
DIMENSIONS-NOTIFY ARCHITECT  
OF ANY DISCREPANCIES PRIOR TO  
BEGINNING CONSTRUCTION

Architect  
Of Record



NO REVISION

DEL TACO STORE # DT865  
INTERSTATE 80 & SIERRA COLLEGE BLVD.  
ROCKLIN, CA. 95677  
PLACER COUNTY  
1ST PERMIT SUBMITTAL xx-xx-xx

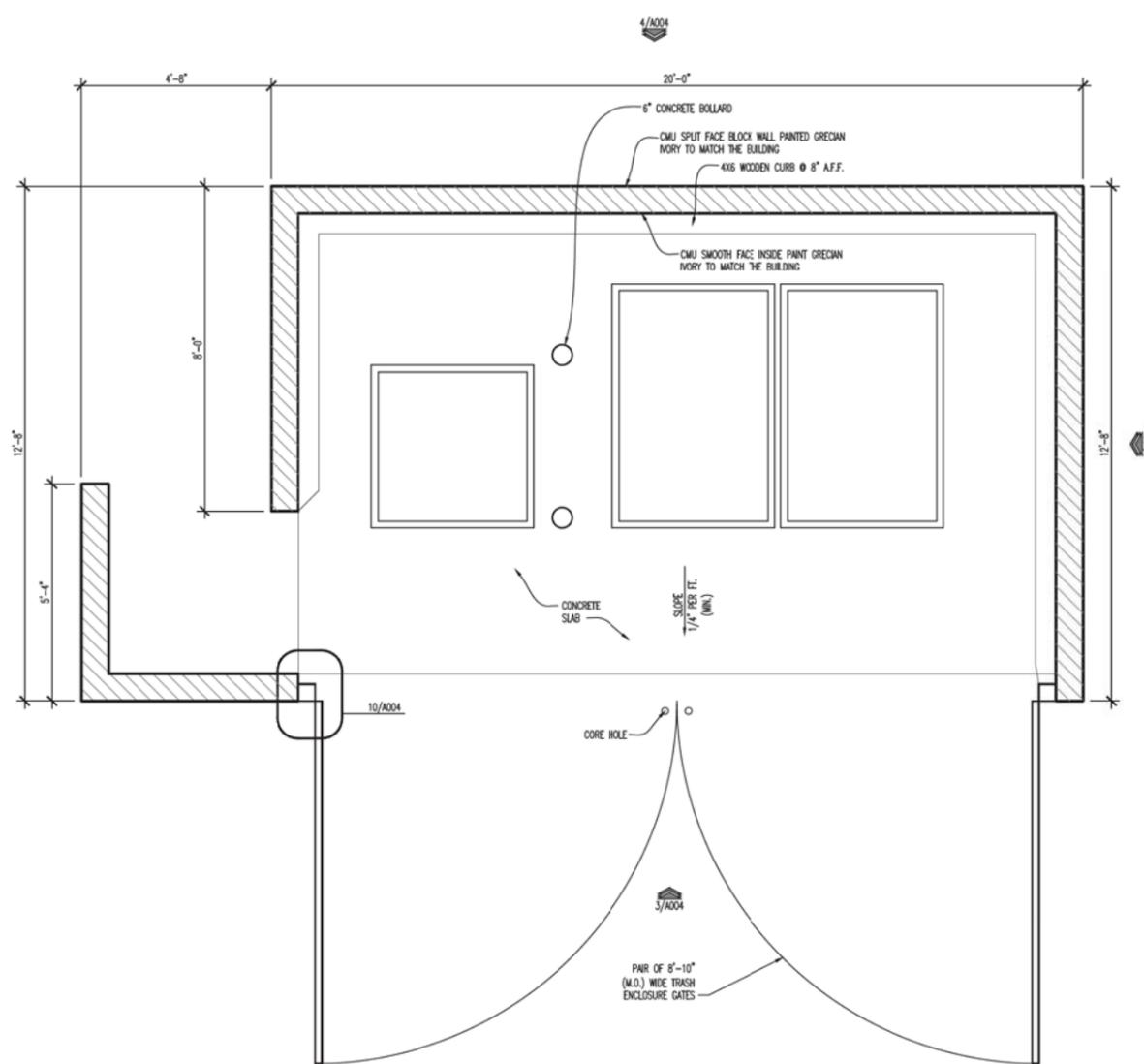
PROJECT NUMBER  
2015-546

SHEET NAME

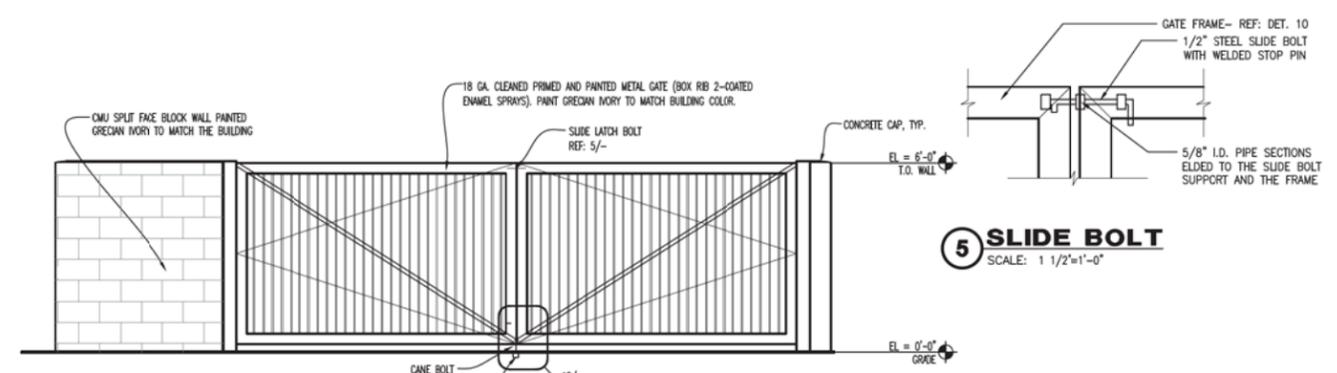
SHEET NUMBER

DATE OF THIS PRINTING

Agenda Item #8.b.

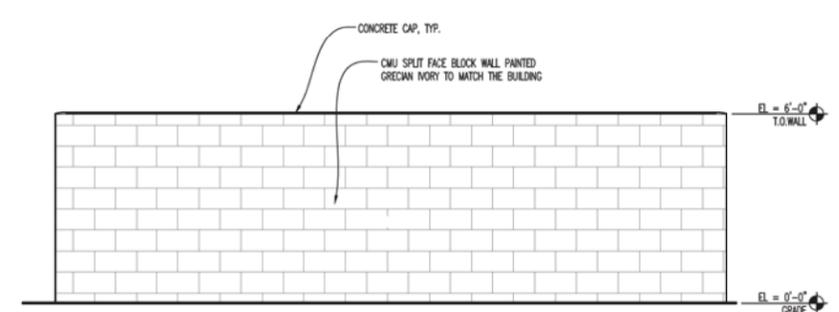


**1 TRASH ENCLOSURE PLAN**  
SCALE: 1/2"=1'-0"

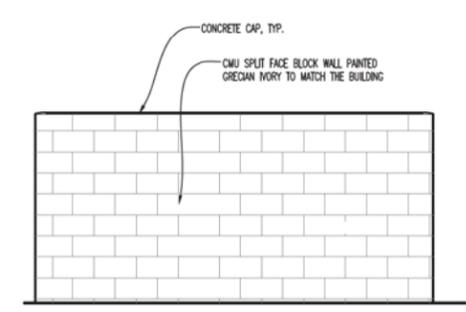


**5 SLIDE BOLT**  
SCALE: 1 1/2"=1'-0"

**3 TRASH FRONT ELEVATION**  
SCALE: 3/8"=1'-0"

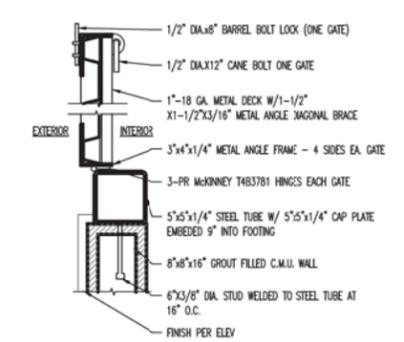


**4 TRASH REAR ELEVATION**  
SCALE: 3/8"=1'-0"

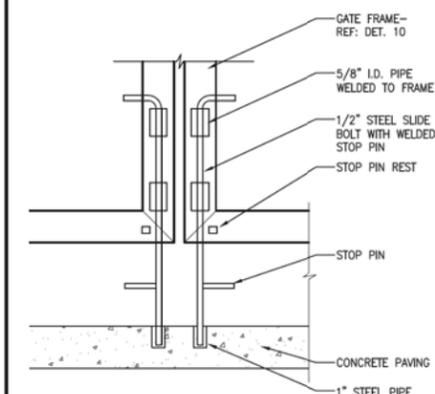


**6 TRASH SIDE ELEVATION**  
SCALE: 3/8"=1'-0"

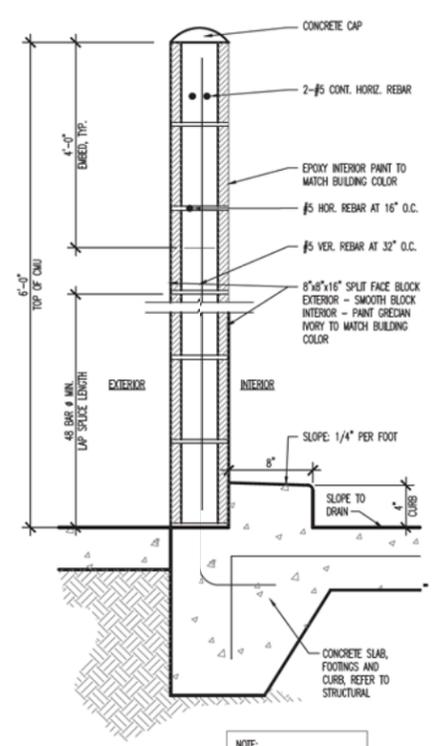
**9 NOT USED**  
SCALE: 3/4"=1'-0"



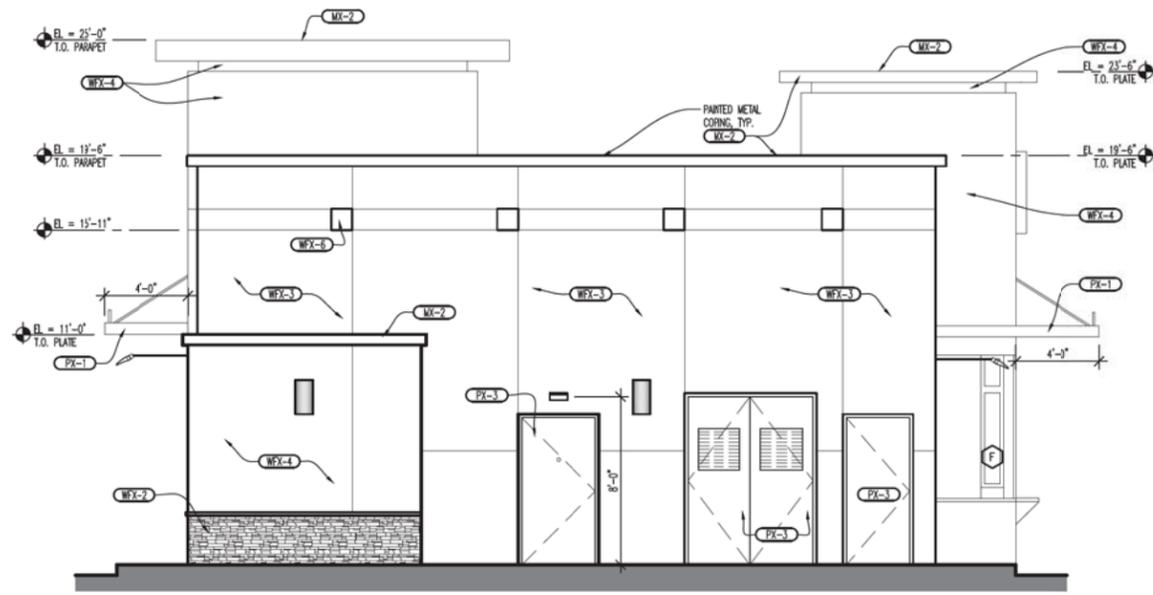
**10 TRASH ENCLOSURE GATE DETAIL**  
SCALE: 1 1/2"=1'-0"



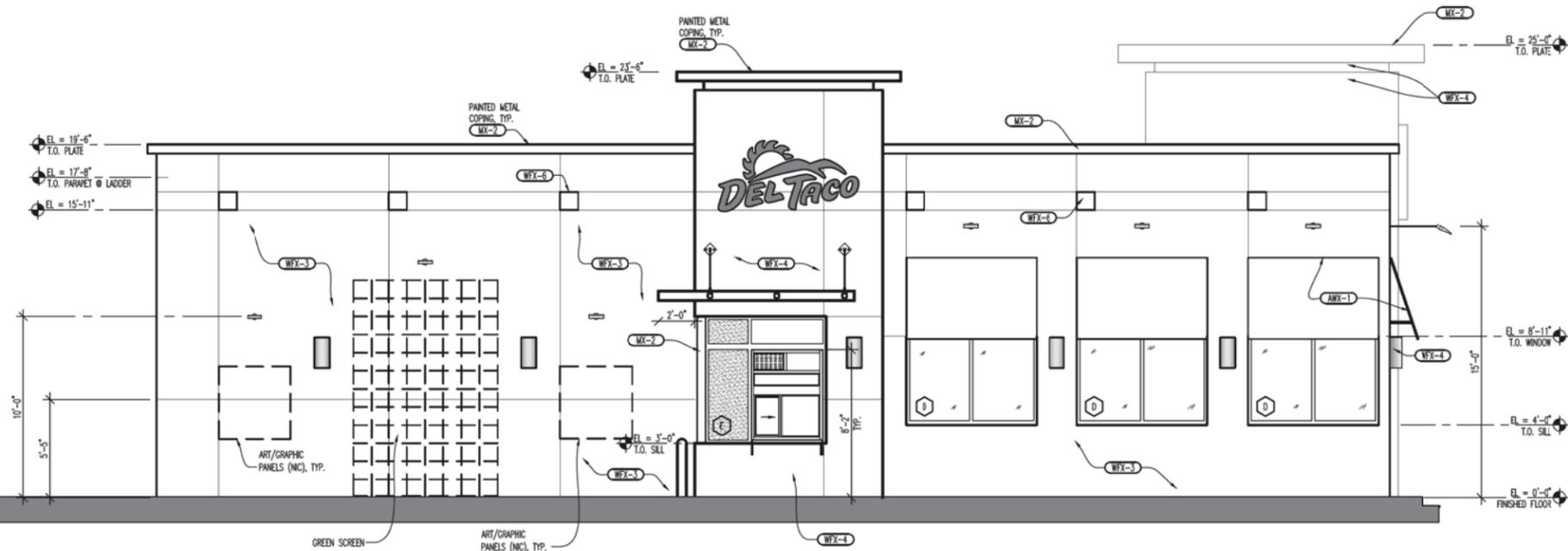
**12 CANE BOLT TO CONC.**  
SCALE: 1 1/2"=1'-0"



**14 TRASH ENCLOSURE SECTION**  
SCALE: 1 1/2"=1'-0"



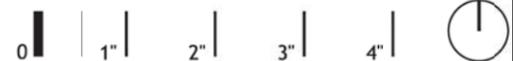
**EAST ELEVATION - SIERRA COLLEGE BLVD**



**NORTH ELEVATION - HIGHWAY 80 OFF RAMP**

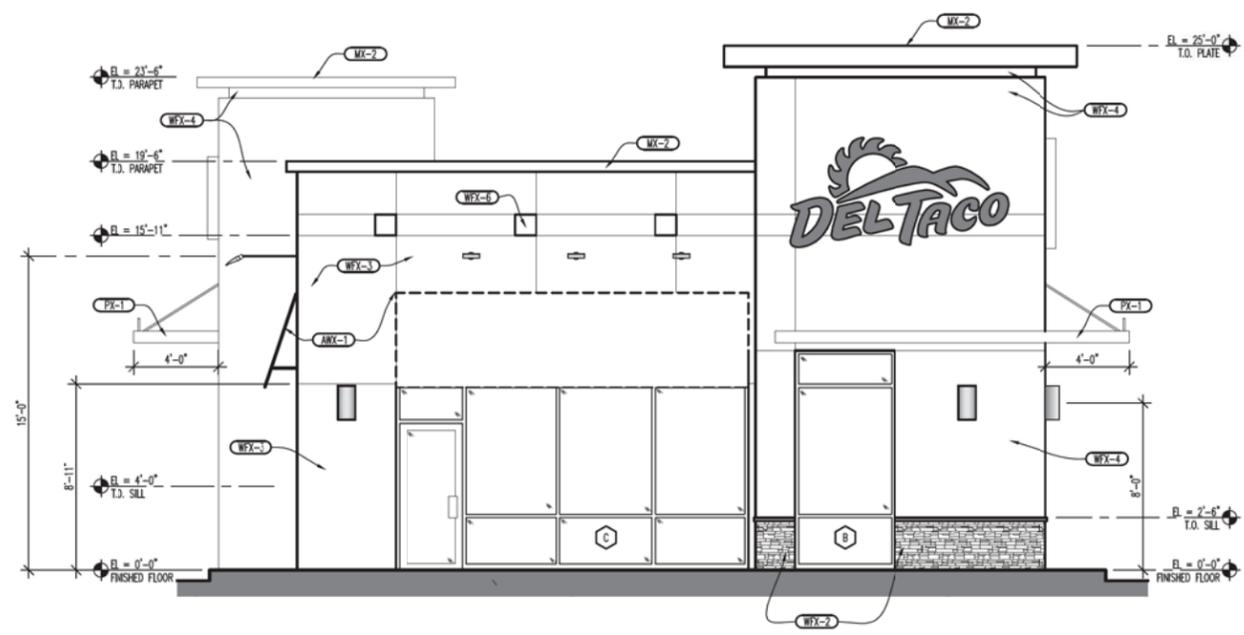
**EXT. MATERIAL/FINISH SCHEDULE**

FINISH	DESCRIPTION
<b>MX</b>	<b>MISC</b>
MX-1	NOT USED
MX-2	MANUFACTURER: PRODUCT/FINISH: METAL FLASHING / TRIM COLOR: TO MATCH PX-2 NOTES:
<b>PX</b>	<b>PAINT &amp; STAIN</b>
PX-1	MANUFACTURER: PPG PITTSBURGH PAINTS PRODUCT/FINISH: PS3000 GLOSS EPOXY PAINT COLOR: TO MATCH SW# 6712 LIUAI GREEN - GLOSS CONTACT: 800-441-9695, www.ppgpittsburghpaints.com NOTES: EPOXY FINISH TO BE APPLIED TO METAL ROOF (15 YEAR FILM COATING & 5 YEAR FADE WARRANTY MIN)
PX-2	MANUFACTURER: SHERWIN WILLIAMS PRODUCT/FINISH: SW #6090 - GLOSS COLOR: JAVA CONTACT: JOHN GASTON, 214.553.3940
PX-3	MANUFACTURER: SHERWIN WILLIAMS PRODUCT/FINISH: SW #7541 - SATIN COLOR: GREY/AN MOBY CONTACT: JOHN GASTON, 214.553.3940
PX-4	MANUFACTURER: SHERWIN WILLIAMS PRODUCT/FINISH: SW #0057 - SATIN COLOR: CHINESE RED CONTACT: JOHN GASTON, 214.553.3940
PX-5	NOT USED
<b>WFX</b>	<b>WALL FINISHES</b>
WFX-1	NOT USED
WFX-2	MANUFACTURER: ELDERADO STONE PRODUCT/FINISH: LEDGECUT3 COLOR: SAGE GROUT: DRY STACK INSTALLATION CONTACT: NOTES:
WFX-3	MANUFACTURER: PRODUCT/FINISH: STUCCO W/ HEAVY SAND FLOAT FINISH COLOR: PAINTED PX-3 NOTES:
WFX-4	MANUFACTURER: PRODUCT/FINISH: STUCCO W/ MONTEREY FINISH COLOR: PAINTED PX-4 NOTES:
WFX-5	MANUFACTURER: PRODUCT/FINISH: STUCCO W/ HEAVY SAND FLOAT FINISH COLOR: PAINTED PX-1 NOTES:
WFX-6	MANUFACTURER: PRODUCT/FINISH: STUCCO W/ HEAVY SAND FLOAT FINISH COLOR: PAINTED PX-2 NOTES:
<b>AWX</b>	<b>AWINGS</b>
AWX-1	MANUFACTURER: METAL SALES, STANDING SEAM METAL ROOF PRODUCT/FINISH: SWP LDC24 COLOR: WEATHERED COPPER CONTACT: MARK EAKER, 702-277-7579

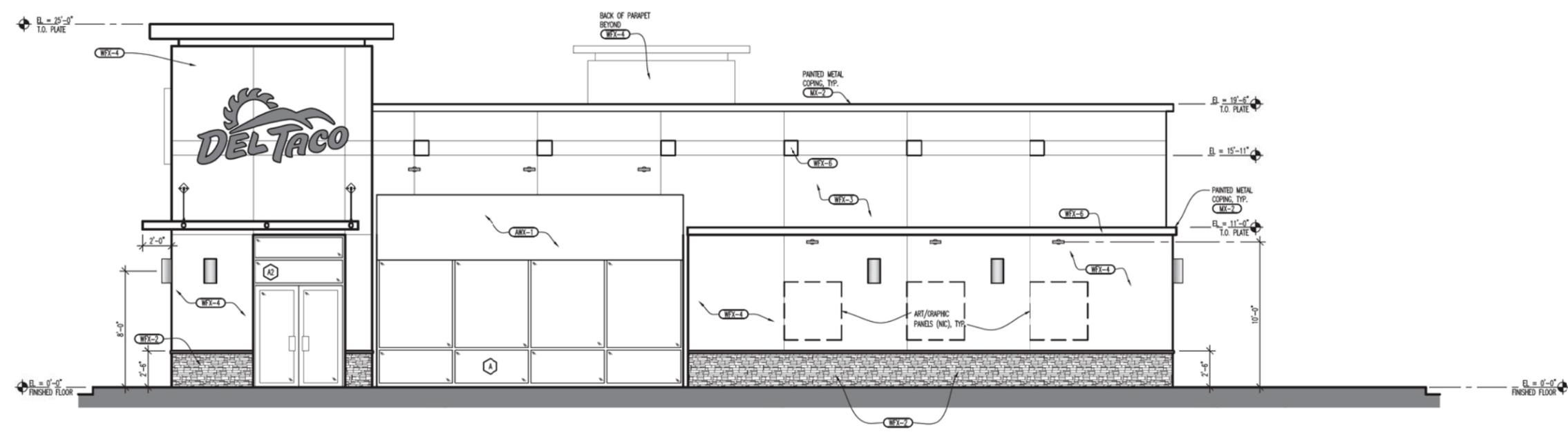


**EXT. MATERIAL/FINISH SCHEDULE**

FINISH	DESCRIPTION
<b>MX</b>	<b>MISC</b>
MX-1	NOT USED
MX-2	MANUFACTURER: PRODUCT/FINISH: METAL FLASHING / TRIM COLOR: TO MATCH PX-2 NOTES:
<b>PX</b>	<b>PAINT &amp; STAIN</b>
PX-1	MANUFACTURER: PPG PITTSBURGH PAINTS PRODUCT/FINISH: PSC100 GLOSS EPOXY PAINT COLOR: TO MATCH SW# 6712 LINAU GREEN - GLOSS CONTACT: 800-441-5665, www.ppgpittsburghpaints.com NOTES: EPOXY FINISH TO BE APPLIED TO METAL ROOF (15 YEAR FILM COATING & 5 YEAR FADE WARRANTY MIN)
PX-2	MANUFACTURER: SHERWIN WILLIAMS PRODUCT/FINISH: SW #6090 - GLOSS COLOR: AWA CONTACT: JOHN GASTON, 214.553.3940
PX-3	MANUFACTURER: SHERWIN WILLIAMS PRODUCT/FINISH: SW #7541 - SATIN COLOR: GREEN ACRY CONTACT: JOHN GASTON, 214.553.3940
PX-4	MANUFACTURER: SHERWIN WILLIAMS PRODUCT/FINISH: SW #0057 - SATIN COLOR: CHINESE RED CONTACT: JOHN GASTON, 214.553.3940
PX-5	NOT USED
<b>WFX</b>	<b>WALL FINISHES</b>
WFX-1	NOT USED
WFX-2	MANUFACTURER: ELDERADO STONE PRODUCT/FINISH: LEDGEOIT33 COLOR: SAGE GROUT: DRY STACK INSTALLATION CONTACT: NOTES:
WFX-3	MANUFACTURER: PRODUCT/FINISH: STUCCO W/ HEAVY SAND FLOAT FINISH COLOR: PAINTED PX-3 NOTES:
WFX-4	MANUFACTURER: PRODUCT/FINISH: STUCCO W/ MONTEREY FINISH COLOR: PAINTED PX-4 NOTES:
WFX-5	MANUFACTURER: PRODUCT/FINISH: STUCCO W/ HEAVY SAND FLOAT FINISH COLOR: PAINTED PX-1 NOTES:
WFX-6	MANUFACTURER: PRODUCT/FINISH: STUCCO W/ HEAVY SAND FLOAT FINISH COLOR: PAINTED PX-2 NOTES:
<b>AWX</b>	<b>AWNING</b>
AWX-1	MANUFACTURER: METAL SALES, STANDING SEAM METAL ROOF PRODUCT/FINISH: SNAP LOC24 COLOR: WEATHERED COPPER CONTACT: MARK EWER, 702-277-7579



**WEST ELEVATION ADJACENT TO LES SCWAB TIRE**



**SOUTH ELEVATION - FACING INTERIOR PARKING & SHOPS 1 BUILDING**

Packet Pg. 200



ROCKLIN, CA

**PROPOSED EXT. ELEVATIONS-B**

SCALE: 1/4" = 1'-0"

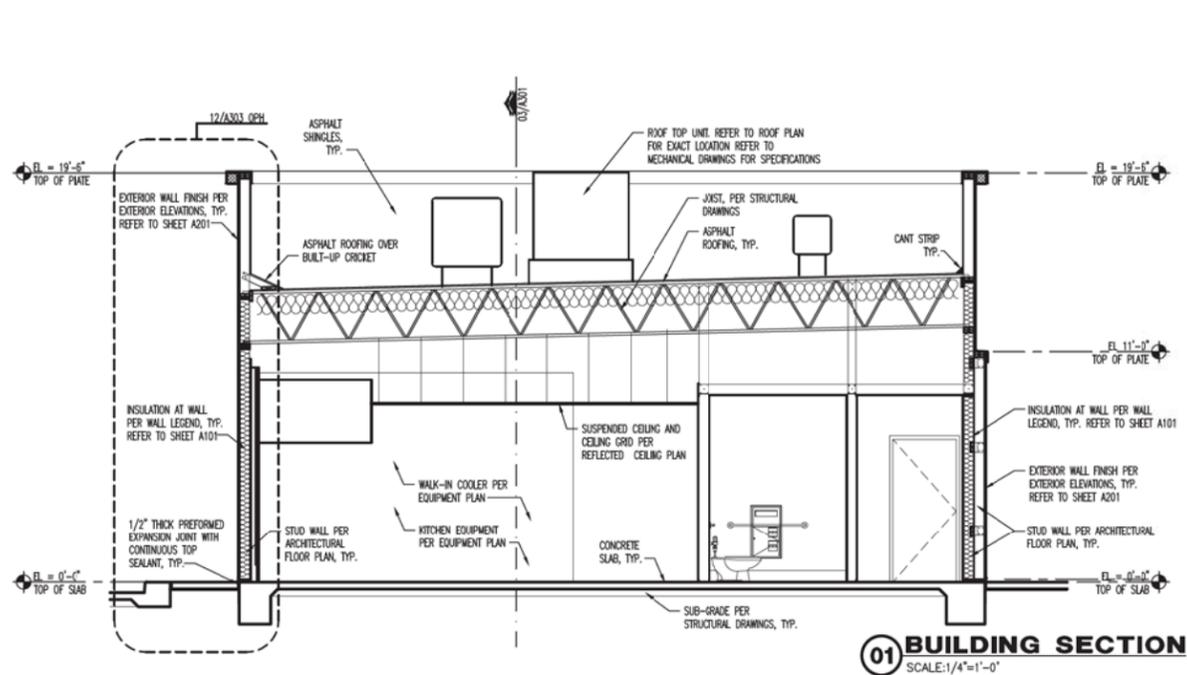


ARCHITECTS ORANGE  
www.architectsorange.com

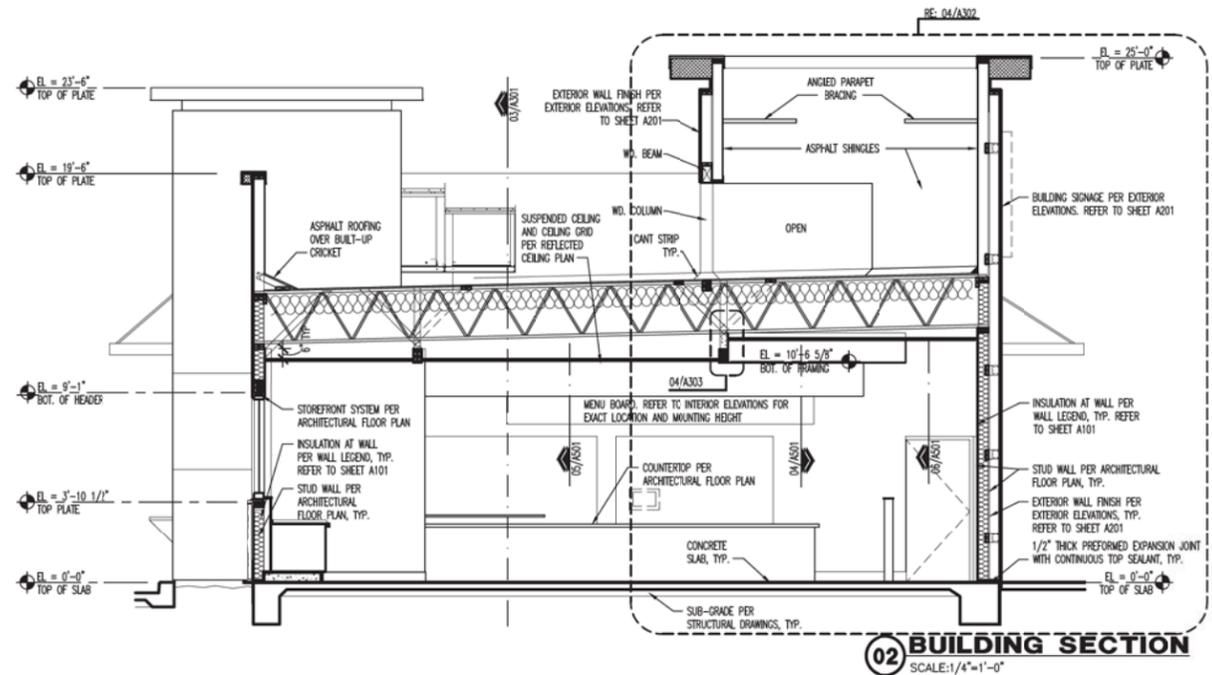


144 N ORANGE ST. ORANGE CA 92866 (714)639 9860

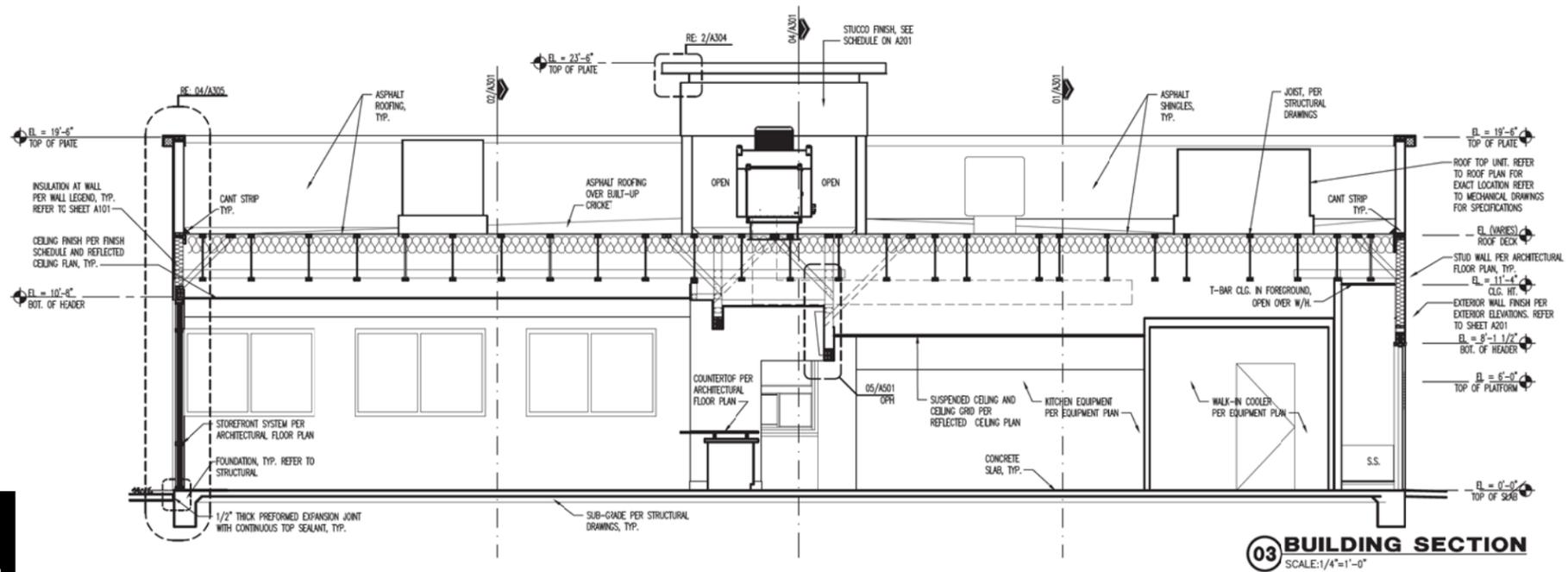
Agenda Item #8.b.



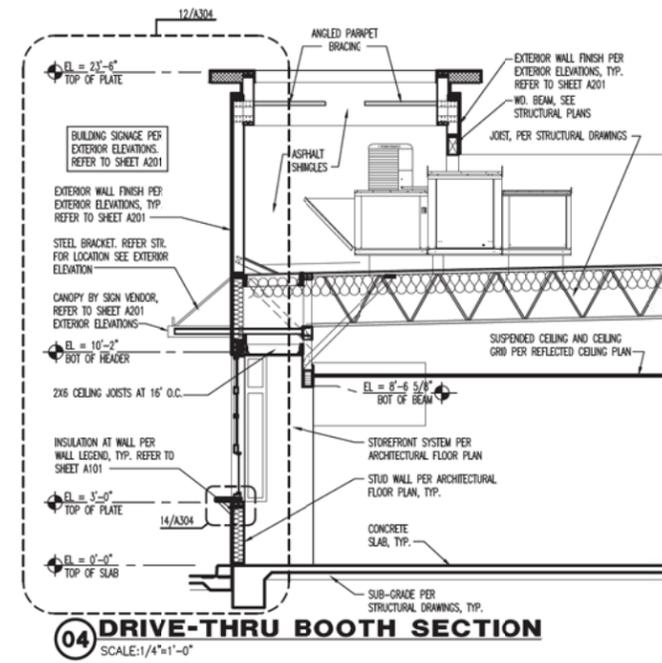
CROSS SECTION 01



CROSS SECTION 02



LONGITUDINAL SECTION 03



CROSS SECTION 04



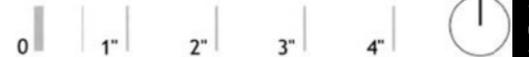


WEST ELEVATION ADJACENT TO LES SCWAB TIRE



SOUTH ELEVATION - FACING INTERIOR PARKING & SHOPS 1 BUILDING

EXT. MATERIAL/FINISH SCHEDULE	
FINISH	DESCRIPTION
<b>MX</b>	<b>MISC</b>
MX-1	NOT USED
MX-2	MANUFACTURER: PRODUCT/FINISH: METAL FLASHING / TRIM COLOR: TO MATCH PX-2
<b>PX</b>	<b>PAINT &amp; STAIN</b>
PX-1	MANUFACTURER: PPG PITTSBURGH PAINTS PRODUCT/FINISH: PS0700 GLOSS EPOXY PRIME COLOR: TO MATCH SHIP 4372 LIME GREEN - GLOSS CONTACT: 800-441-9695, www.ppgpittsburghpaints.com NOTES: EPOXY FINISH TO BE APPLIED TO METAL ROOF (15 YEAR FILM COATING & 5 YEAR FADE WARRANTY MIN)
PX-2	MANUFACTURER: SHERWIN WILLIAMS PRODUCT/FINISH: SW #6090 - GLOSS COLOR: IMA CONTACT: JOHN GASTON, 214.553.3940
PX-3	MANUFACTURER: SHERWIN WILLIAMS PRODUCT/FINISH: SW #7541 - SATIN COLOR: GREEN HORY CONTACT: JOHN GASTON, 214.553.3940
PX-4	MANUFACTURER: SHERWIN WILLIAMS PRODUCT/FINISH: SW #6027 - SATIN COLOR: CHINESE RED CONTACT: JOHN GASTON, 214.553.3940
PX-5	NOT USED
<b>WFX</b>	<b>WALL FINISHES</b>
WFX-1	NOT USED
WFX-2	MANUFACTURER: ELDORADO STONE PRODUCT/FINISH: LEDGECUT33 COLOR: SAGE SPEC: DRY STACK INSTALLATION CONTACT: NOTES:
WFX-3	MANUFACTURER: PRODUCT/FINISH: STUCCO W/ HEAVY SAND FLOAT FINISH COLOR: PAINTED PX-3 NOTES:
WFX-4	MANUFACTURER: PRODUCT/FINISH: STUCCO W/ MONKEY FINISH COLOR: PAINTED PX-4 NOTES:
WFX-5	MANUFACTURER: PRODUCT/FINISH: STUCCO W/ HEAVY SAND FLOAT FINISH COLOR: PAINTED PX-1 NOTES:
WFX-6	MANUFACTURER: PRODUCT/FINISH: STUCCO W/ HEAVY SAND FLOAT FINISH COLOR: PAINTED PX-2 NOTES:
<b>AW</b>	<b>AWINGS</b>
AW-1	MANUFACTURER: METAL SALES, STANDING SEAM METAL ROOF PRODUCT/FINISH: SNAP LOC24 COLOR: WEATHERED COPPER CONTACT: MARK EAKER, 702-277-7579





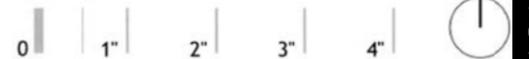
**EAST ELEVATION - SIERRA COLLEGE BLVD**



**NORTH ELEVATION - HIGHWAY 80 OFF RAMP**

**EXT. MATERIAL/FINISH SCHEDULE**

FINISH	DESCRIPTION
<b>MISC</b>	
MX-1	NOT USED
MX-2	MANUFACTURER: PRODUCT/FINISH: METAL FLASHING / TRIM COLOR: TO MATCH PX-2 NOTES:
<b>PAINT &amp; STAIN</b>	
PX-1	MANUFACTURER: PPG PITTSBURGH PAINTS PRODUCT/FINISH: PPG3000 GLOSS EPOXY PAINT COLOR: TO MATCH SW# 6712 LIMA GREEN - GLOSS CONTACT: 800-441-9695, www.ppgpaints.com NOTES: EPOXY FINISH TO BE APPLIED TO METAL ROOF (15 YEAR FILM COATING & 5 YEAR FADE WARRANTY MIN)
PX-2	MANUFACTURER: SHERWIN WILLIAMS PRODUCT/FINISH: SW #6090 - GLOSS COLOR: JAVA CONTACT: JOHN GASTON, 214.553.3940
PX-3	MANUFACTURER: SHERWIN WILLIAMS PRODUCT/FINISH: SW #7541 - SATIN COLOR: OCEAN NAVY CONTACT: JOHN GASTON, 214.553.3940
PX-4	MANUFACTURER: SHERWIN WILLIAMS PRODUCT/FINISH: SW #0057 - SATIN COLOR: CHINESE RED CONTACT: JOHN GASTON, 214.553.3940
PX-5	NOT USED
<b>WALL FINISHES</b>	
WFX-1	NOT USED
WFX-2	MANUFACTURER: ELDERADO STONE PRODUCT/FINISH: LOROCUT3 COLOR: SAGE GROUT: DRY STACK INSTALLATION CONTACT: NOTES:
WFX-3	MANUFACTURER: PRODUCT/FINISH: STUCCO W/ HEAVY SAND FLOAT FINISH COLOR: PAINTED PX-3 NOTES:
WFX-4	MANUFACTURER: PRODUCT/FINISH: STUCCO W/ MONTEREY FINISH COLOR: PAINTED PX-4 NOTES:
WFX-5	MANUFACTURER: PRODUCT/FINISH: STUCCO W/ HEAVY SAND FLOAT FINISH COLOR: PAINTED PX-1 NOTES:
WFX-6	MANUFACTURER: PRODUCT/FINISH: STUCCO W/ HEAVY SAND FLOAT FINISH COLOR: PAINTED PX-2 NOTES:
<b>AWX AWNINGS</b>	
AWX-1	MANUFACTURER: METAL SALES, STANDING SEAM METAL ROOF PRODUCT/FINISH: SWP L02H COLOR: WEATHERED COPPER CONTACT: MARK ERKER, 702-277-7575





1-SW 6712  
LUAU GREEN  
CANOPY COLOR



2-SW 6090  
JAVA  
TRIM COLOR



3-SW 7541  
GRECIAN IVORY  
FIELD COLOR



4-SW 0057  
CHINESE RED  
TOWER COLOR



5-SUNBRELLA  
GINKGO GREEN  
FABRIC AWNING  
COLOR



6-STONE BASE  
LEDGECUT 33  
COLOR: SAGE  
BY ELDORADO STONE











STAMP  
**NOT FOR CONSTRUCTION**

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LES SCHWAB TIRE CENTER  
 ROCKLIN, CA  
 SWC Hwy I-80 & Sierra College Blvd.  
 Rocklin, CA  
 BASED ON S-PROTOTYPE  
 Q3 2016

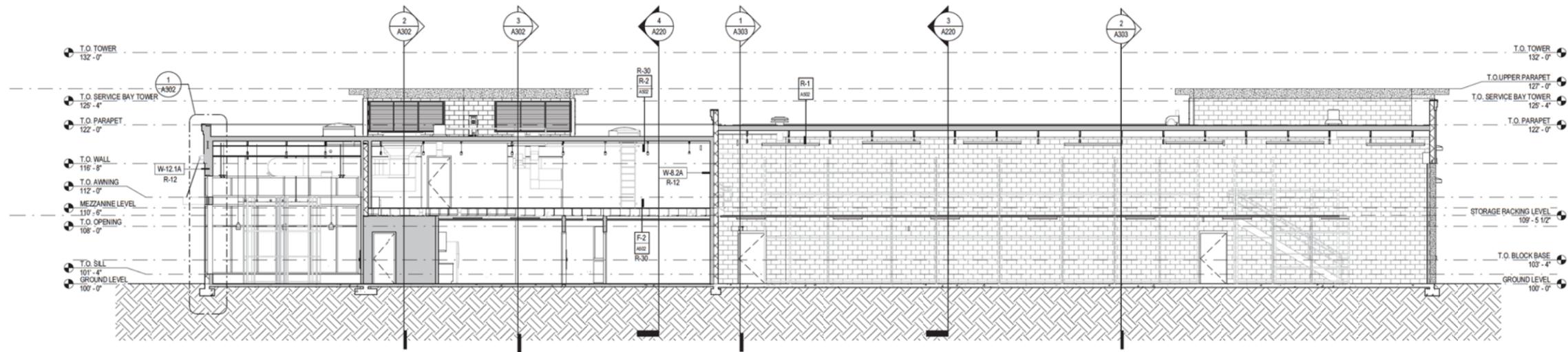
#	Date	Issue/Description

Project No: \_\_\_\_\_  
 Drawn By: \_\_\_\_\_  
 Checked By: \_\_\_\_\_  
 Date: \_\_\_\_\_

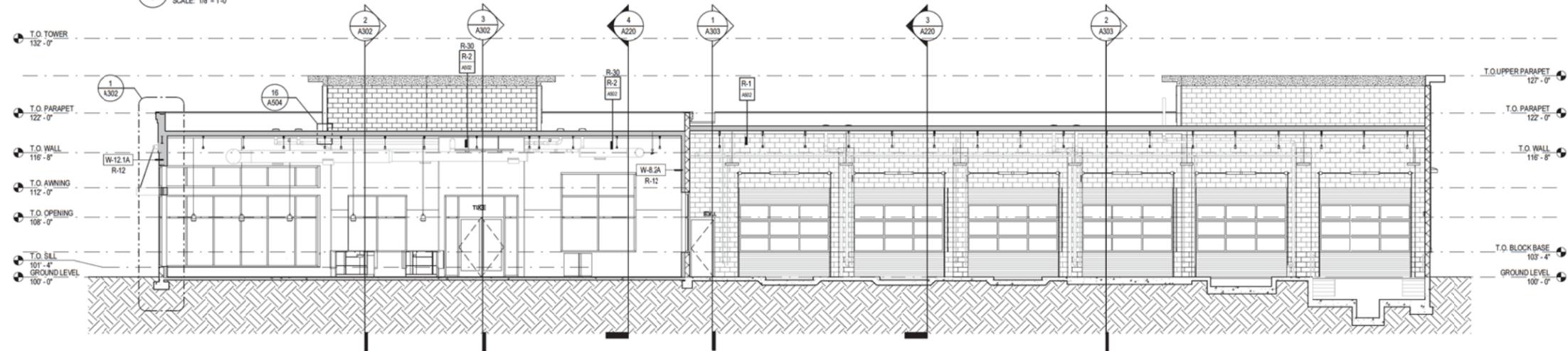
SHEET TITLE:  
 BUILDING SECTIONS

**A220**

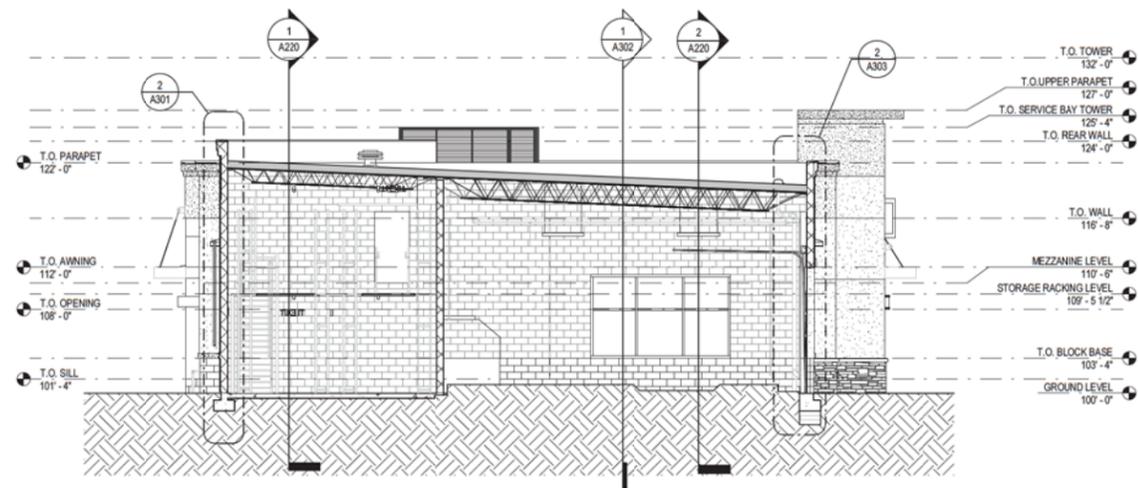
**Agenda Item #8.b.**



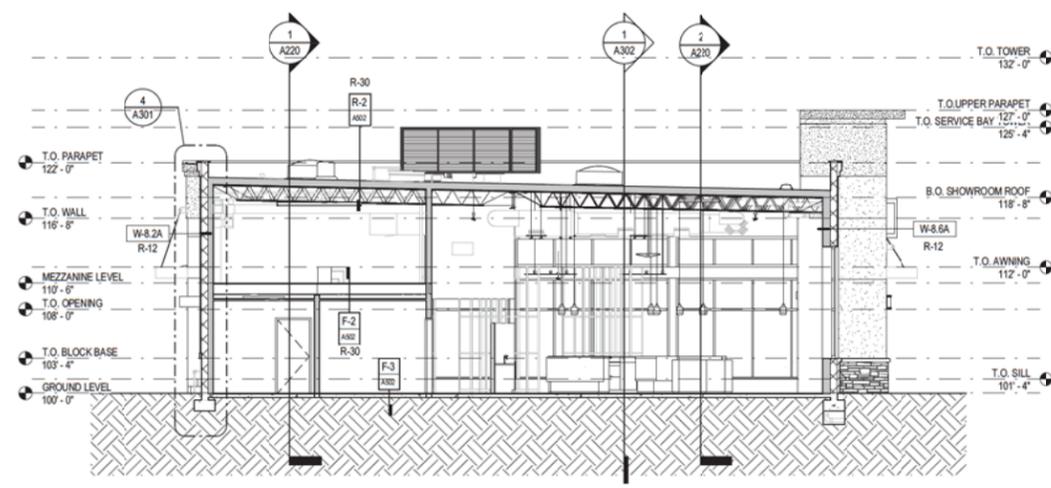
**1 OVERALL BUILDING SECTION 1**  
 SCALE: 1/8" = 1'-0"



**2 OVERALL BUILDING SECTION 2**  
 SCALE: 1/8" = 1'-0"



**3 SERVICE BAY BUILDING SECTION**  
 SCALE: 1/8" = 1'-0"

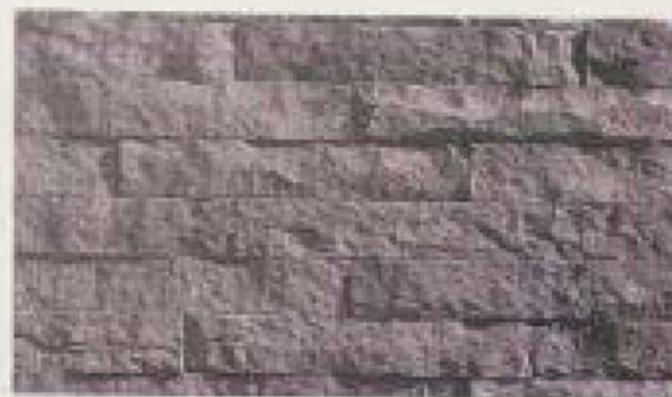


**4 SHOWROOM BUILDING SECTION**  
 SCALE: 1/8" = 1'-0"





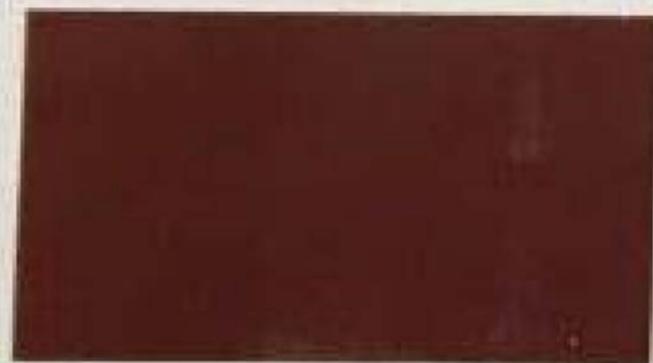
OMEGA - STUCCO  
"FIREWEED"



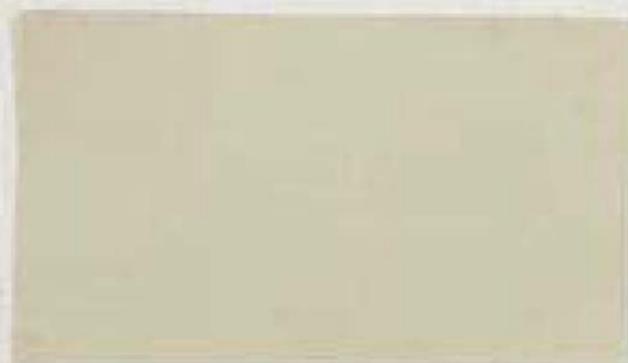
ELDORADO STONE - LEDGECUT 33  
"SAGE"



OMEGA - STUCCO  
"FRENCH ROAST"



SHERWIN WILLIAMS  
"ARMORSEAL TILE RED"



SHERWIN WILLIAMS - SW 7541  
"GRECIAN IVORY"  
(STUCCO & PAINT COLOR)



ALUMINUM STOREFRONT -  
BRONZE 740 - "LIGHT RANGE"

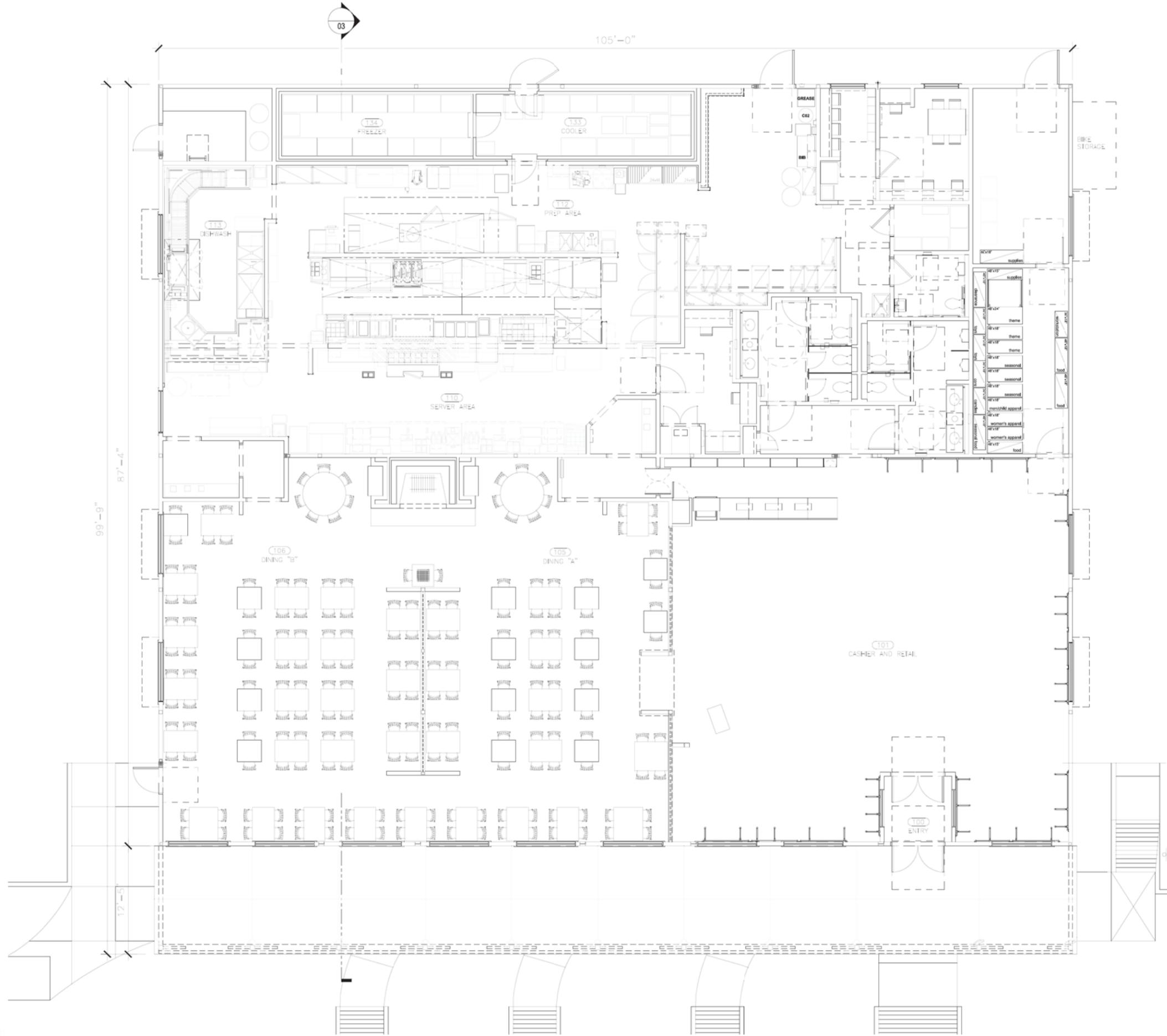


POLISHED GROUND FACE - CMU  
"RUTHERFORD"



ROCKLIN, CA

MATERIAL BOARD



**SEATING CALCULATIONS:**

Interior Seating	PARTIES	SEATS
<b>DINING:</b>		
6-TOP TABLE	2	12
2-TOP TABLE	16	32
4-TOP TABLE	34	136
<b>Total Seating</b>	<b>52</b>	<b>180</b>

<b>SQUARE FOOT:</b>	
1,933 SF RETAIL	
2,352 SF RESTAURANT	
2,894 SF KITCHEN/SERVICE AREA	
624 SF AUXILIARY AREA	
<b>Total S.F.</b>	<b>8,578 SF. TOTAL</b>



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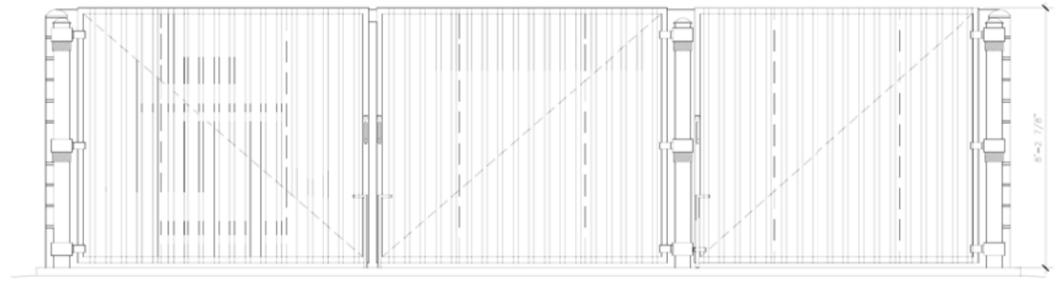
**ROCKLIN, CA**

**Floor Plan**

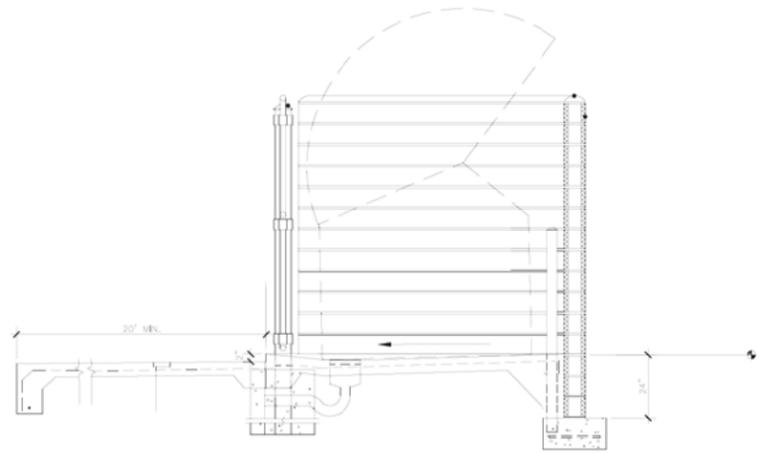
SCALE: 3/16" = 1'-0" @ 24"x36"  
**ARCHITECTS ORANGE**  
 www.architectsorange.com  
 144 N ORANGE ST. ORANGE CA 92866 (714)639 9860

Agenda Item #8.b.

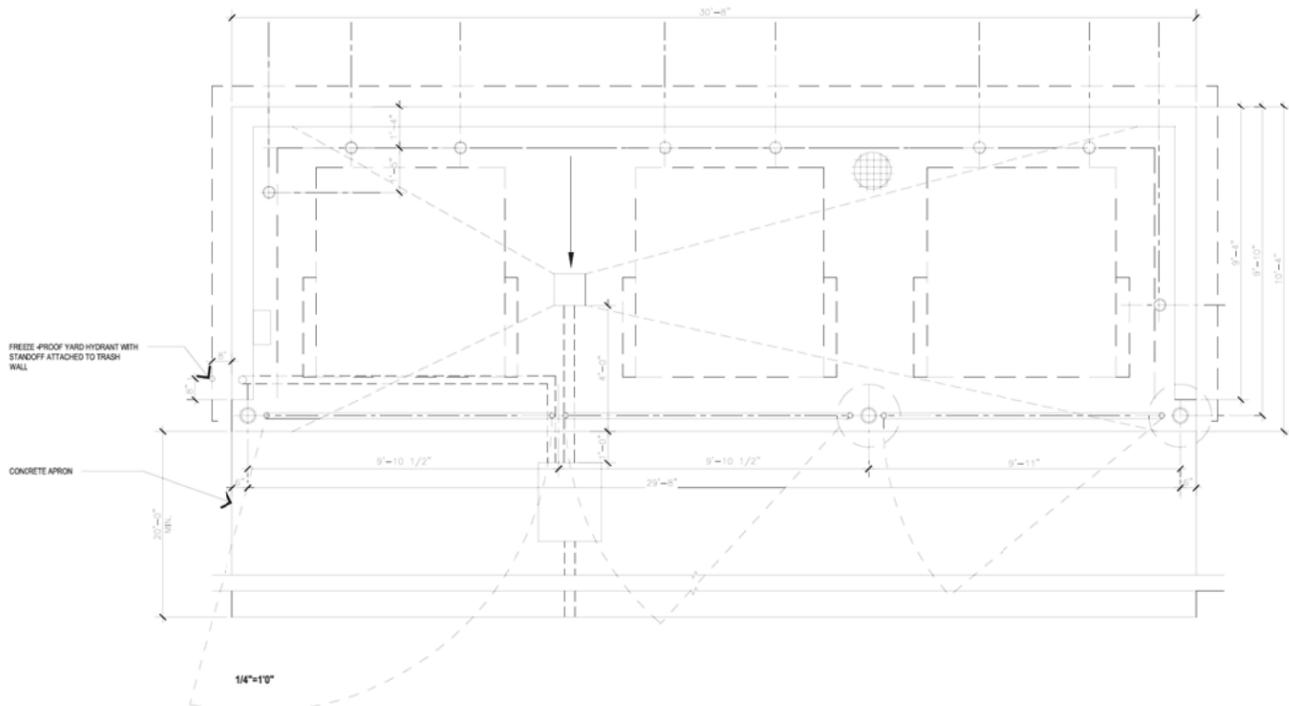




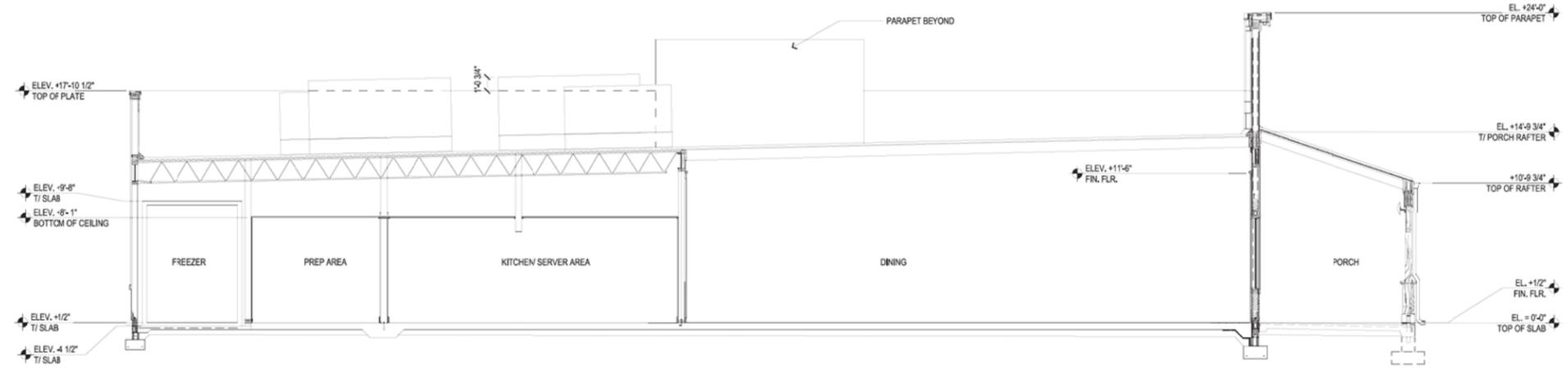
TRASH ENCLOSURE ELEVATION 1/4"=10"



TRASH ENCLOSURE SECTION 1/4"=10"



TRASH ENCLOSURE PLAN 1/4"=10"



BUILDING SECTION





1 NORTH ELEVATION / FACING I-80 EXIT RAMP

**EXTERIOR MATERIALS LEGEND**

MARK	MATERIAL & MANUFACTURER	COLOR / FINISH
A	ALLURA BRICK & WRAPEL BATTENS AT 16" O.C.	SHERWIN-WILLIAMS PAINT "CRACKER BARREL BROWN" (SEE FINISH LISTING ON SHEET A-9)
B	BERRIDGE DEEP-VEE STANDING SEAM METAL ROOF	PRE-FINISHED GALVALUME
C	PETERSEN METAL COPING, GUTTERS, DOWNSPOUTS	PRE-FINISHED DARK BRONZE
D	ROUGH-SAWN WOOD TRIM	SHERWIN-WILLIAMS PAINT "CRACKER BARREL BROWN"
E	PARAPET WALL SIGNAGE	BY SIGNAGE CONTRACTOR
F	SMOOTH-FACED CONCRETE BLOCK AT CHIMNEY	SHERWIN-WILLIAMS PAINT "CRACKER BARREL BROWN"
G	WOOD ENTRY DOORS	MINWAX OIL STAIN "GOLDEN OAK"
H	METAL SERVICE / EXIT DOORS & FRAMES	SHERWIN-WILLIAMS PAINT "CRACKER BARREL BROWN"
I	WALL / SIGNAGE LIGHTING	PRE-FINISHED BLACK
J	12.25" LIGHT FIXTURE (CB 28-12.25")	SEE ELECTRICAL
K	4" LIGHT FIXTURE (CB 28-4")	SEE ELECTRICAL



2 WEST ELEVATION / FACING I-80 FWY



3 EAST ELEVATION / FACING SIERRA COLLEGE BLVD



4 SOUTH ELEVATION

**COLOR LEGEND**

MARK	MANUFACTURER / COLOR
1	SHERWIN WILLIAMS "CB BROWN" FINISH A100 GLOSS
2	BERRIDGE - "PREWEATHERED GALVALUME" STANDING SEAM METAL ROOF
3	PAC-CLAD ALUMINUM - "DARK BRONZE" METAL COPING
4	MINWAX OIL STAIN - "GOLDEN OAK" @ WOOD ENTRY DOORS



Packet Pg. 214

Agenda Item #8.b.



ROCKLIN, CA

Exterior Elevations



1 NORTH ELEVATION / FACING I-80 EXIT RAMP  
EL-1



2 EAST ELEVATION / FACING SIERRA COLLEGE BLVD  
EL-1

**EXTERIOR MATERIALS LEGEND**

MARK	MATERIAL & MANUFACTURER	COLOR / FINISH
A	ALLURA SIDING & MIXED BATTENS AT 16" O.C.	SHERWIN-WILLIAMS PAINT "CRACKER BARREL BROWN" (SEE FINISH LISTING ON SHEET A-8)
B	BERRIDGE DEEP-VEE STANDING SEAM METAL ROOF	PRE-FINISHED GALVALUME
C	PETERSEN METAL COPING, GUTTERS, DOWNSPOUTS	PRE-FINISHED DARK BRONZE
D	ROUGH-SAWN WOOD TRIM	SHERWIN-WILLIAMS PAINT "CRACKER BARREL BROWN"
E	PARAPET WALL SIZING	BY SIZING CONTRACTOR
F	"SMOOTH-FACED CONCRETE BLOCK #7 CHIMNEY	SHERWIN-WILLIAMS PAINT "CRACKER BARREL BROWN"
G	WOOD ENTRY DOORS	MIRMAX OIL STAIN "GOLDEN OAK"
H	METAL SERVICE / EXT DOORS & FRAMES	SHERWIN-WILLIAMS PAINT "CRACKER BARREL BROWN"
I	WALL / SIZING LIGHTING	PRE-FINISHED BLACK
J	12.25" LIGHT FIXTURE (OR 28-12.25")	SEE ELECTRICAL
K	4" LIGHT FIXTURE (OR 28-4")	SEE ELECTRICAL

**COLOR LEGEND**

MARK	MANUFACTURER / COLOR
1	SHERWIN WILLIAMS "CR BROWN" FINISH AT05 GLOSS
2	BERRIDGE - "WEATHERED GALVALUME" STANDING SEAM METAL ROOF
3	PAC-CLAD ALUMINUM - "DARK BRONZE" METAL COPING
4	MIRMAX OIL STAIN - "GOLDEN OAK" @ WOOD ENTRY DOORS

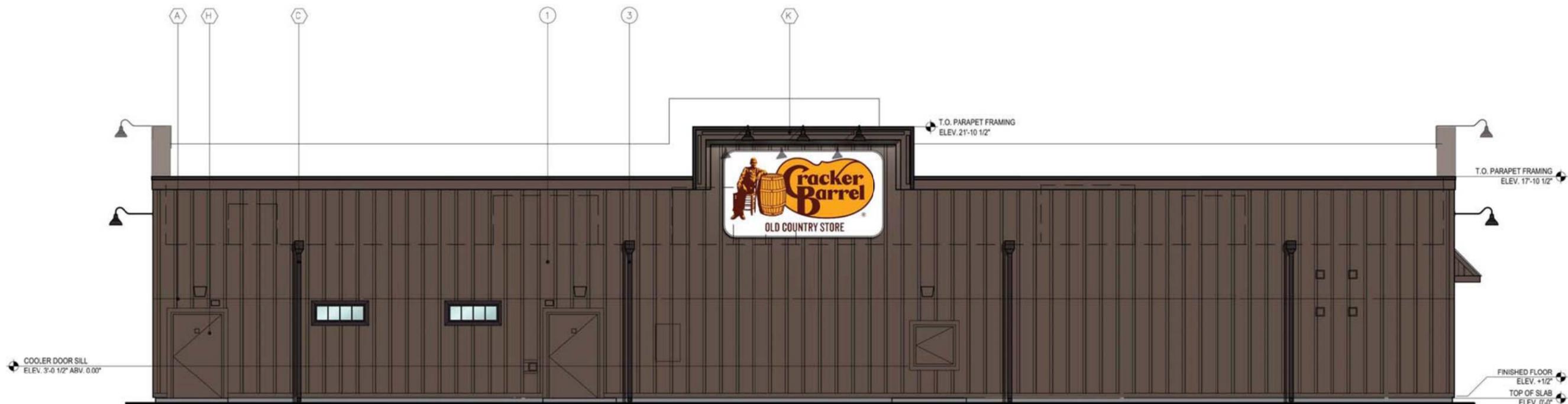
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ROCKLIN, CA

Exterior Elevations - 1

Agenda Item #8.b.3



1 SOUTH ELEVATION  
EL-2



2 WEST ELEVATION/ FACING I-80 FWY  
EL-2

EXTERIOR MATERIALS LEGEND

MARK	MATERIAL & MANUFACTURER	COLOR / FINISH
A	ALLURA SIDING & MIXED BATTENS AT 16" O.C.	SHERWIN-WILLIAMS PAINT "CRACKER BARREL BROWN" (SEE FINISH LISTING ON SHEET A-8)
B	BERRIDGE DEEP-VEE STANDING SEAM METAL ROOF	PRE-FINISHED GALVALUME
C	PETERSEN METAL COPING, GUTTERS, DOWNSPOUTS	PRE-FINISHED DARK BRONZE
D	ROUGH-SAWN WOOD TRIM	SHERWIN-WILLIAMS PAINT "CRACKER BARREL BROWN"
E	PARAPET WALL SIZING	BY SIZING CONTRACTOR
F	SMOOTH-FACED CONCRETE BLOCK AT CHIMNEY	SHERWIN-WILLIAMS PAINT "CRACKER BARREL BROWN"
G	WOOD ENTRY DOORS	MINWAX OIL STAIN "GOLDEN OAK"
H	METAL SERVICE / EXT DOORS & FRAMES	SHERWIN-WILLIAMS PAINT "CRACKER BARREL BROWN"
I	WALL / SIZING LIGHTING	PRE-FINISHED BLACK
J	12.25" LIGHT FIXTURE (CR 28-12.25")	SEE ELECTRICAL
K	4" LIGHT FIXTURE (CR 28-4")	SEE ELECTRICAL

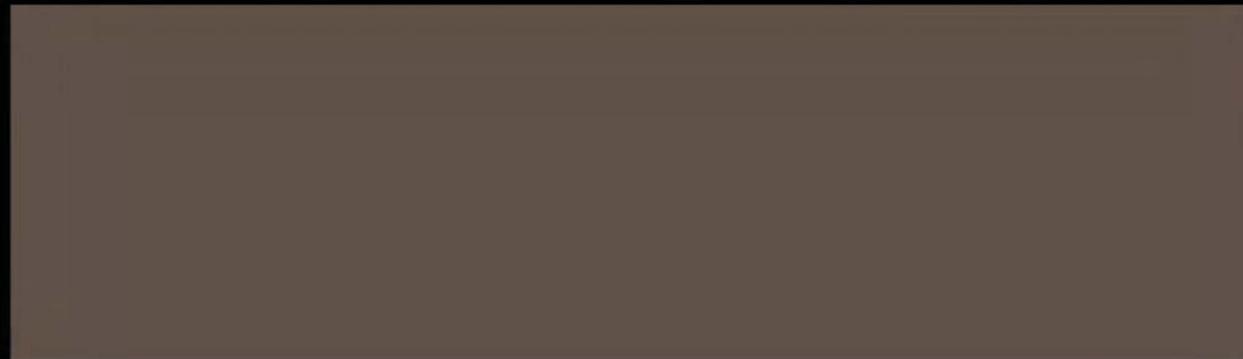
COLOR LEGEND

MARK	MANUFACTURER / COLOR
1	SHERWIN WILLIAMS "CR BROWN" FINISH A100 GLOSS
2	BERRIDGE - "WEATHERED GALVALUME" STANDING SEAM METAL ROOF
3	PAC-CLAD ALUMINUM - "DARK BRONZE" METAL COPING
4	MINWAX OIL STAIN - "GOLDEN OAK" @ WOOD ENTRY DOORS





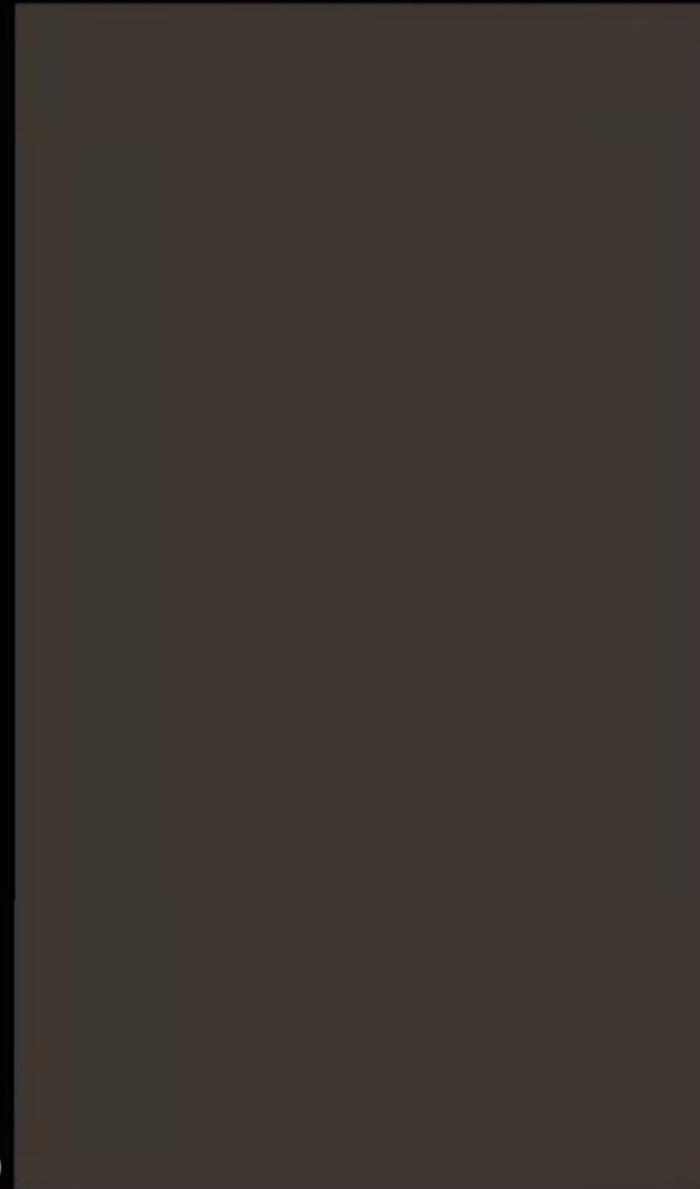
- 1. SHERWIN WILLIAMS  
- "CB BROWN" FINISH  
A100 GLOSS
- 2. BERRIDGE -  
"PREWEATHERED  
GALVALUME"  
STANDING SEAM  
METAL ROOF
- 3. PAC-CLAD  
ALUMINUM - "DARK  
BRONZE" METAL  
COPING
- 4. MINWAX OIL STAIN  
- "GOLDEN OAK" @  
WOOD ENTRY DOORS



1



2



3



4



EXHIBIT B

Rocklin Station / DR2016-0006

Design Review Documents are available at the Economic & Community Development  
Department

# INDEX TO CONSOLIDATED SIGN PACKAGE

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PYLON SIGN ELEVATION _____	PAGE 2	DEL TACO SITE PLAN _____	PAGE 29
MONUMENT SIGN ELEVATION _____	PAGE 3	DEL TACO SOUTH AND WEST ELEVATIONS _____	PAGE 30
SHOPS OVERALL SITE PLAN _____	PAGE 4	DEL TACO NORTH AND EAST ELEVATIONS _____	PAGE 31
SHOPS SITE PLAN DETAIL (HABIT BURGER) _____	PAGE 5	DEL TACO WALL SIGN _____	PAGE 32
SHOPS NORTH AND EAST ELEVATIONS _____	PAGE 6	DEL TACO DIRECTIONAL SIGNS _____	PAGE 33
SHOPS SOUTH ELEVATION _____	PAGE 7	DEL TACO MENU BOARD _____	PAGE 34
HABIT BURGER WALL SIGN _____	PAGE 8	DEL TACO MENU BOARD _____	PAGE 35
HABIT BURGER WALL SIGN - DRIVE THRU _____	PAGE 9	DEL TACO GRAPHIC PANELS _____	PAGE 36
HABIT BURGER DRIVE THRU MENU _____	PAGE 10	DEL TACO GRAPHIC PANELS PHOTO _____	PAGE 37
HABIT BURGER DRIVE THRU MENU _____	PAGE 11	LES SCHWAB BUILDING SIGN PLAN _____	PAGE 38
HABIT BURGER DRIVE THRU MENU _____	PAGE 12	LES SCHWAB SOUTH WALL SIGN _____	PAGE 39
HABIT BURGER DRIVE THRU MENU _____	PAGE 13	LES SCHWAB SOUTH WALL SIGN _____	PAGE 40
HABIT BURGER WEATHER CANOPY _____	PAGE 14	LES SCHWAB WEST WALL SIGN _____	PAGE 41
HABIT BURGER HEIGHT DETECTOR _____	PAGE 15	LES SCHWAB NORTH WALL SIGN _____	PAGE 42
HABIT BURGER DIRECTIONAL SIGN _____	PAGE 16		
HABIT BURGER DIRECTIONAL SIGN _____	PAGE 17		
CHICK-FIL-A DETAIL BUILDING SIGN PLAN _____	PAGE 18		
CHICK-FIL-A FREE-STANDING SITE SIGNS _____	PAGE 19		
CHICK-FIL-A NORTH AND SOUTH ELEVATIONS _____	PAGE 20		
CHICK-FIL-A WEST AND EAST ELEVATIONS _____	PAGE 21		
CHICK-FIL-A WALL SIGN _____	PAGE 22		
CHICK-FIL-A DIRECTIONAL SIGN _____	PAGE 23		
CHICK-FIL-A PYLON SIGN FACE _____	PAGE 24		
CHICK-FIL-A MONUMENT SIGN FACE _____	PAGE 25		
CHICK-FIL-A ALUMINUM CANOPY _____	PAGE 26		
CHICK-FIL-A DRIVE THRU MENU BOARD _____	PAGE 27		

**EXHIBIT A**  
**DR2016-0006**

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**GEORGE MEU ASSOCIATES – ARCHITECTURE PLANNING**

A PROPOSED NEW SHOPPING CENTER DEVELOPMENT  
**ROCKLIN STATION**  
S.W. CORNER OF HIGHWAY I-80 AND SIERRA COLLEGE BLVD.  
ROCKLIN, CALIFORNIA

**SIGNAGE EXHIBITS**

JOB NO. 1581-Thom\_Rocklin  
DATE 11/30/16  
SHEET NO. INDEX

Client: Thomas Sierra LLC  
Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
City/ST/Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Fax: \_\_\_\_\_  
Sales: Sean Campbell  
Designer: Paul  
Date: 4/30/15

File Name: rocklin station  
Page 3 of 3

One (1) box below MUST be checked prior to mfg.

120 Volt  277 Volt   
Other

**revisions**

- 8-7-15 bam
- 08-20-15 IL
- 10-05-15 IL
- 03-03-16 IL

United Sign Systems requires that an "Approved" drawing be obtained from the client prior to any production release or production release revision

CLIENT APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

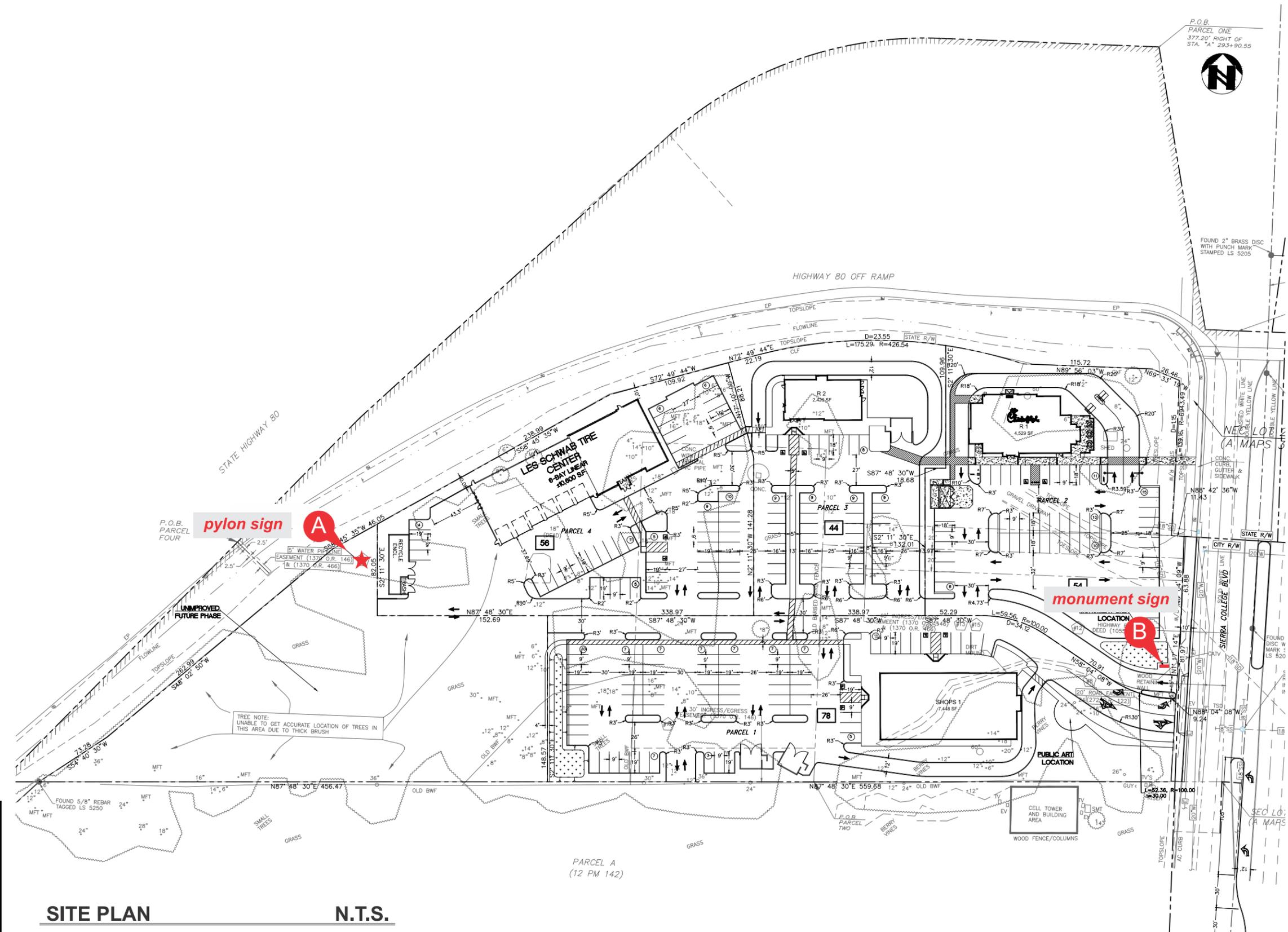
LANDLORD APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

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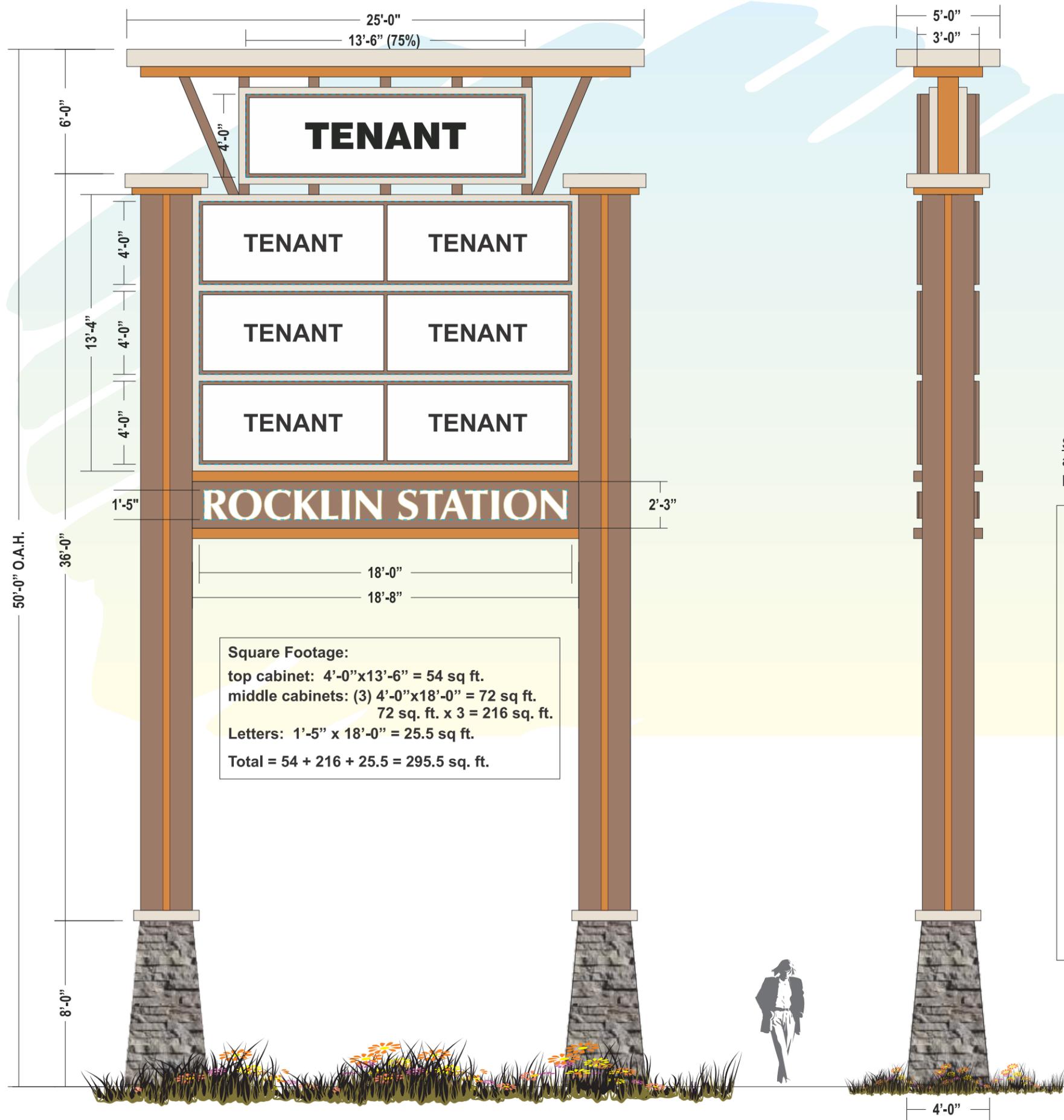
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Packet Pg. 220

Agenda Item #8.b.



**SITE PLAN** N.T.S.



**Square Footage:**  
 top cabinet: 4'-0"x13'-6" = 54 sq ft.  
 middle cabinets: (3) 4'-0"x18'-0" = 72 sq ft.  
 72 sq. ft. x 3 = 216 sq. ft.  
 Letters: 1'-5" x 18'-0" = 25.5 sq ft.  
 Total = 54 + 216 + 25.5 = 295.5 sq. ft.

**SIGN A:** D/F Illum. Multi-Tenant Pylon Sign  
 Scale 3/16"=1'-0"

**CORNICE:**  
 aluminum construction  
 paint to match bldg

**LETTERS:** (ROCKLIN STATION)  
 .040" alum. returns 5" deep  
 paint to match tenant cabinet.  
 faces to be 3/16" white acrylic.  
 3/4" trim caps to match returns.  
 white led illumination.  
 Mount letters to flush with  
 cabinets above

**CABINETS (all):**  
 aluminum construction  
 paint to match bldg

tenant panels (all):  
 white lexan with vinyl decoration

**SIGN REVEALS:**  
 aluminum construction  
 paint to match bldg

**COLOR AND STONE SPECS:**

- "GRECIAN IVORY"  
SW # 7541 
- "NUTHATCH"  
SW # 6088 
- "GINGERY"  
SW # 6363 
- "SAGE"  
ELDORADO STONE  
LEDGECUT 33 

**POLE CLADDING:** 30"x30"  
 aluminum construction  
 paint to match bldg

**STONE WORK:** 48" BASE x 30" TOP  
 match building stonework



Client: Thomas Sierra LLC  
 Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City/ST/Zip: \_\_\_\_\_  
 Phone: \_\_\_\_\_  
 Fax: \_\_\_\_\_  
 Sales: Sean Campbell  
 Designer: Paul  
 Date: 4/30/15

File Name: rocklin station  
 Page 1 of 3

One (1) box below MUST  
 be checked prior to mfg.

120 Volt  277 Volt   
 Other

**revisions**

- 8-7-15 bam
- 08-20-15 IL
- 10-05-15 IL

United Sign Systems requires that an "Approved" drawing  
 be obtained from the client prior to any production release  
 or production release revision

CLIENT APPROVAL	DATE
LANDLORD APPROVAL	DATE

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Client: Thomas Sierra LLC  
Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
City/ST/Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Fax: \_\_\_\_\_  
Sales: Sean Campbell  
Designer: IL  
Date: 6-4-15

File Name: rocklin station  
Page 2 of 3

One (1) box below MUST be checked prior to mfg.

120 Volt  277 Volt   
Other

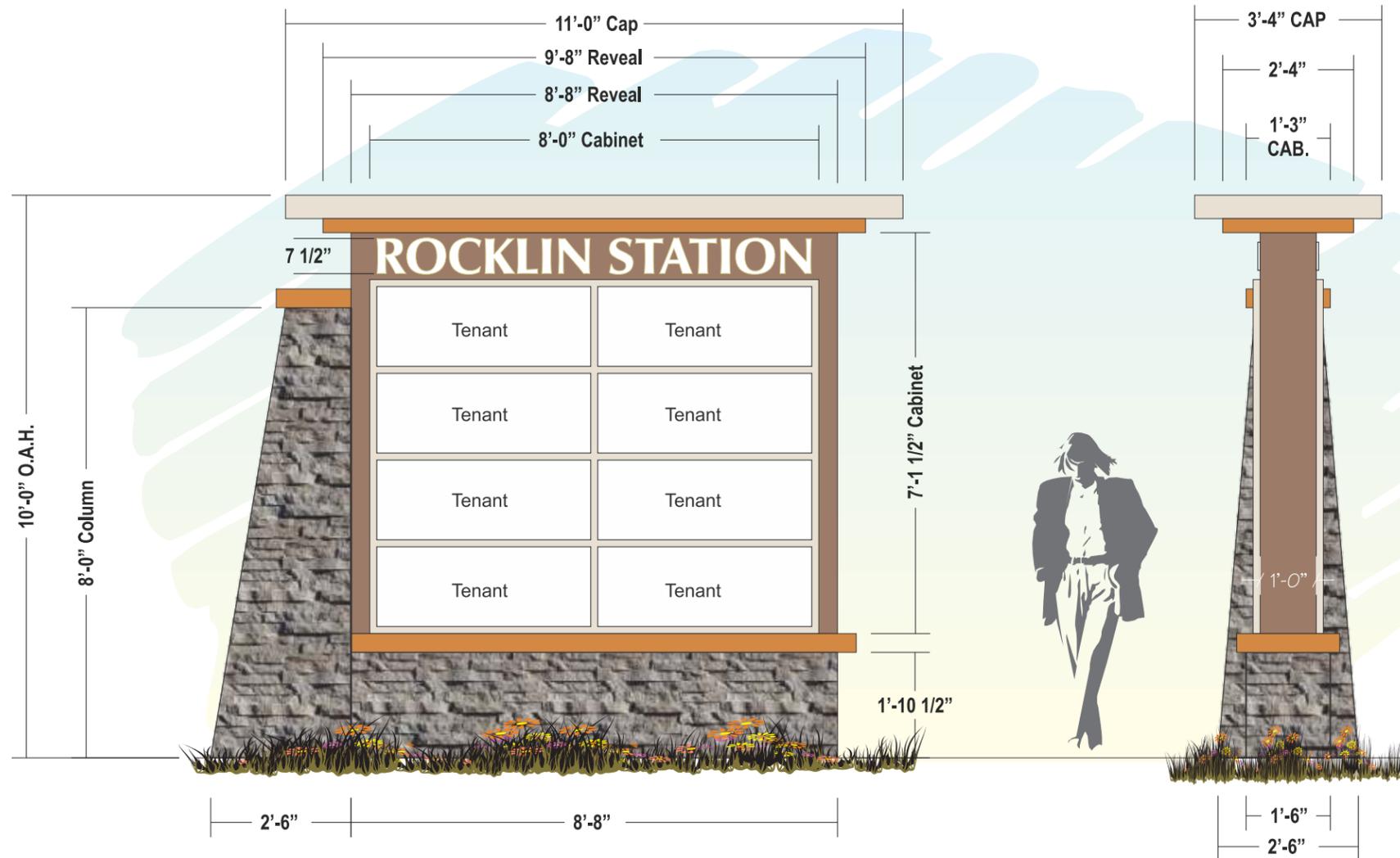
**revisions**  
8-7-15 bam  
08-20-15 IL  
10-05-15 IL

United Sign Systems requires that an "Approved" drawing be obtained from the client prior to any production release or production release revision

CLIENT APPROVAL	DATE
LANDLORD APPROVAL	DATE

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**CORNICE:**  
aluminum construction  
paint to match bldg

**CABINET:**  
aluminum construction  
w/ mechanical divider bars  
paint to match bldg

tenant panels (all):  
white lexan with vinyl decoration

**ROCKLING CROSSING COPY:**  
1/2" white acrylic push thru  
illuminated with white led.

**SIGN REVEALS:**  
aluminum construction  
paint to match bldg

**STONE WORK:**  
match building stonework

**COLOR AND STONE SPECS:**

"GRECIAN IVORY"  
SW # 7541



"NUTHATCH"  
SW # 6088



"GINGERY"  
SW # 6363



"SAGE"  
ELDORADO STONE  
LEDGECUT 33



**Sign B:**  
D/F Illuminated Multi-Tenant Pylon Sign  
Scale 3/8"=1'-0"

**End View**

CLIENT



PROJECT  
THE HABIT BURGER #XXXX

LOCATION  
I-80 & Sierra College Blvd.  
Rocklin CA 95677

SHEET TITLE  
**SITE PLAN**

ACCT. REP.  
CHRIS BARTON

DESIGNER  
TIM THOMSEN

DATE  
03/08/16

SCALE  
NOTED

CUSTOMER APPROVAL

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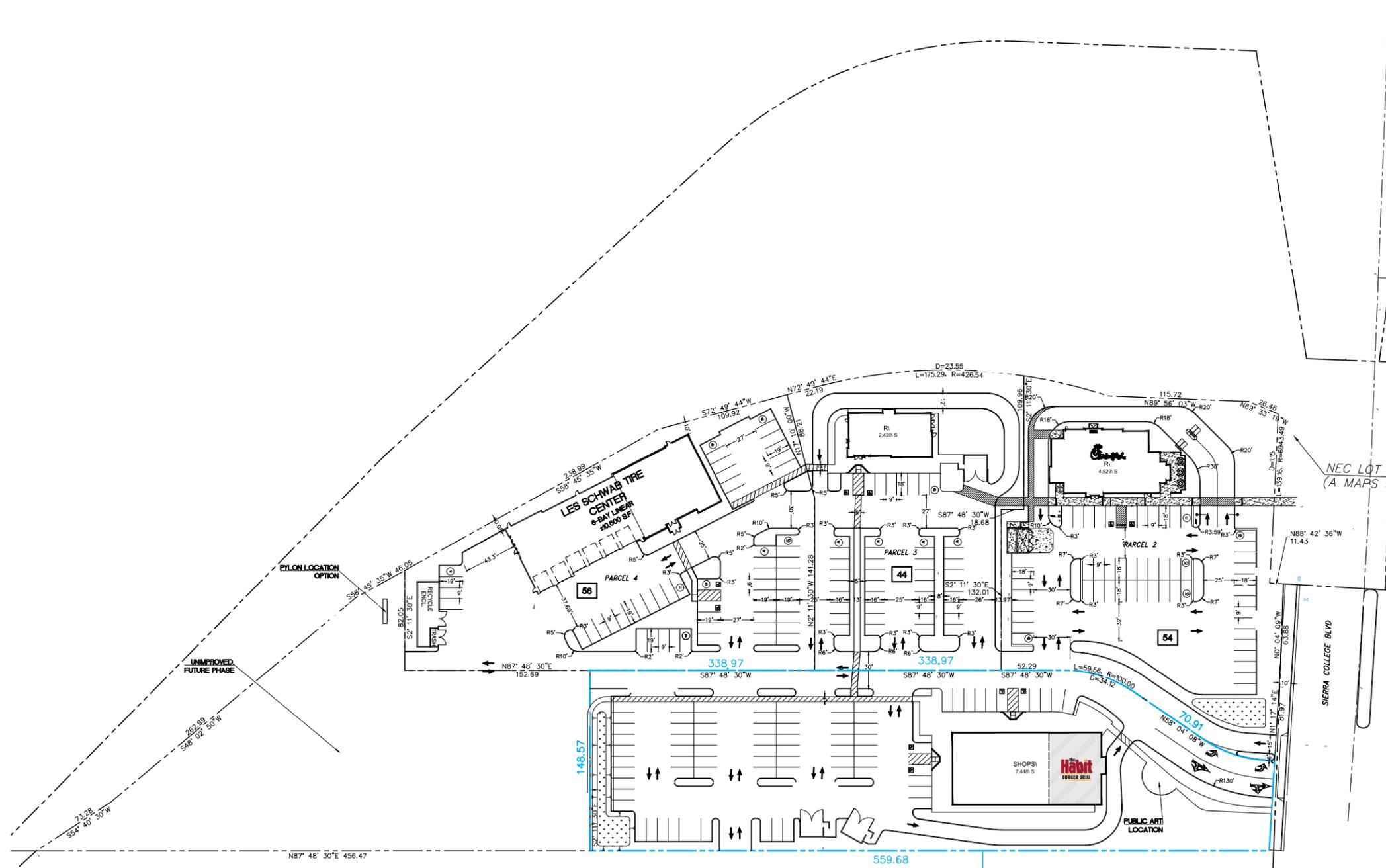
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DWG#	16-217	PROJECT #	318737
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REVISIONS				
NO.	DATE	BY	REASON	DATE
1	03/10/16	TT	7	00/00/00
2			8	
3			9	
4			10	
5			11	
6			12	

KEY NO.

1 of 1



SEE DETAIL ON SHEET 2



**OVERALL SITE PLAN**

SCALE: 1" = 100'-0"

CLIENT



PROJECT  
THE HABIT BURGER #XXXX

LOCATION  
I-80 & Sierra College Blvd.  
Rocklin CA 95677

SHEET TITLE  
SITE PLAN (DETAIL)

ACCT. REP.  
CHRIS BARTON  
DESIGNER  
TIM THOMSEN

DATE  
03/08/16  
SCALE  
NOTED

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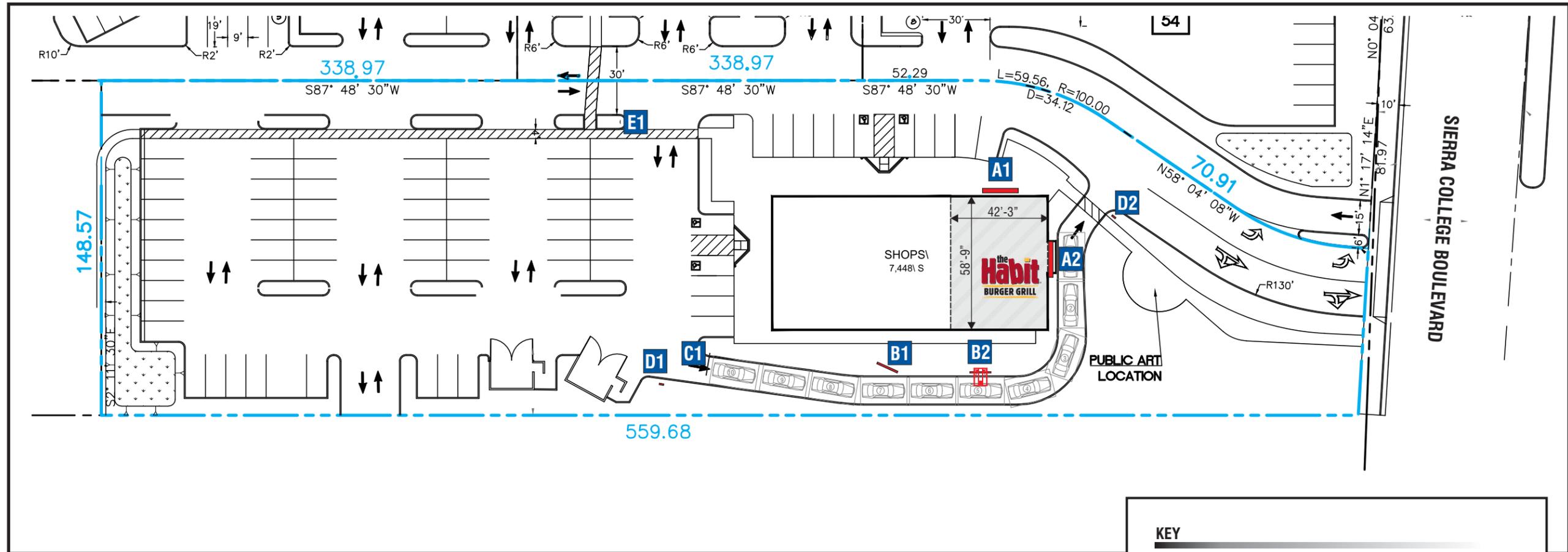
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BY	TT				
DATE	7	8	9	10	11
DATE					12

KEY NO.



**KEY**

- A1** S/F 3'-2 5/8" X 12'-10" DUAL LIT CHANNEL LETTER WALL SIGN
- A2** S/F 4'-3 3/8" X 12'-10" DUAL LIT CHANNEL LETTER WALL SIGN
- B1** S/F INTERNALLY ILLUMINATED 6'-5 3/4" X 8'-0" PREVIEW MENU
- B2** S/F INTERNALLY ILLUMINATED 6'-5 3/4" X 9'-6 1/2" MENU W/ ORDER CONFIRMATION SCREEN
- C1** DRIVE THRU HEIGHT DETECTOR
- D1** S/F INTERNALLY ILLUMINATED 1'-0" X 2'-0" DIRECTIONAL SIGN "DRIVE THRU OPEN LATE"
- D2** D/F INTERNALLY ILLUMINATED 1'-0" X 2'-0" DIRECTIONAL SIGN "THANK YOU COME AGAIN SOON/EXIT ONLY"
- E1** S/F REFLECTIVE 2'-0" X 1'-6" NON-ILLUMINATED DIRECTIONAL SIGN "THE HABIT - DRIVE THRU/RIGHT ARROW"



**SITE PLAN DETAIL**

SCALE: 1" = 50'-0"

CLIENT



PROJECT  
THE HABIT BURGER #XXXX

LOCATION  
I-80 & Sierra College Blvd.  
Rocklin CA 95677

SHEET TITLE  
ELEVATIONS

ACCT. REP.  
CHRIS BARTON

DESIGNER  
TIM THOMSEN

DATE 03/08/16 SCALE NOTED

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KEY NO.  
A1 A2

3 of 1

Agenda Item #8.b.



**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



**EAST ELEVATION**

SCALE: 1/8" = 1'-0"

CUSTOMER APPROVAL

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

Packet Pg. 225



**SIGNS & GRAPHICS**

4530 Mission Gorge Place  
San Diego, CA 92120  
Tel: 619.283.2191  
Fax: 619.283.9503  
Web: www.cnpsigns.com

CLIENT



PROJECT  
THE HABIT BURGER #XXXX

LOCATION  
I-80 & Sierra College Blvd.  
Rocklin CA 95677

SHEET TITLE  
**ELEVATIONS**

ACCT. REP.  
CHRIS BARTON

DESIGNER  
TIM THOMSEN

DATE  
03/08/16

SCALE  
NOTED

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3			9		
4			10		
5			11		
6			12		

KEY NO.



**OUTH ELEVATION**

SCALE: 1/8" = 1'-0"

**CUSTOMER APPROVAL**

APPROVED BY:	DATE:

CLIENT



PROJECT  
THE HABIT BURGER #XXXX

LOCATION  
I-80 & Sierra College Blvd.  
Rocklin CA 95677

SHEET TITLE  
WALL SIGN

ACCT. REP.  
CHRIS BARTON  
DESIGNER  
TIM THOMSEN

DATE  
03/08/16  
SCALE  
NOTED

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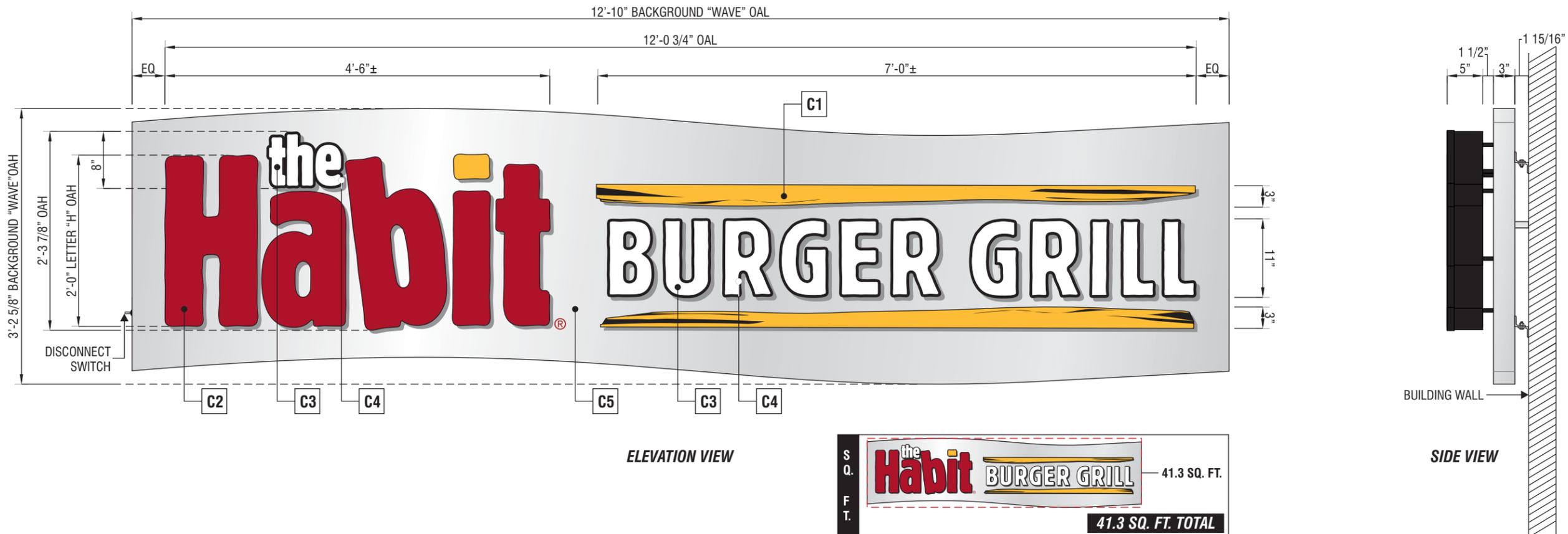
REVISIONS			
NO.	DATE	BY	REVISION
1	03/10/16	TT	7
2			8
3			9
4			10
5			11
6			12

KEY NO.

**A1**

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Agenda Item #8.b.



**FACE & HALO ILLUMINATED CHANNEL LETTER WALL SIGN - 41.3 SQ. FT.**

SCALE: 3/4" = 1'-0"

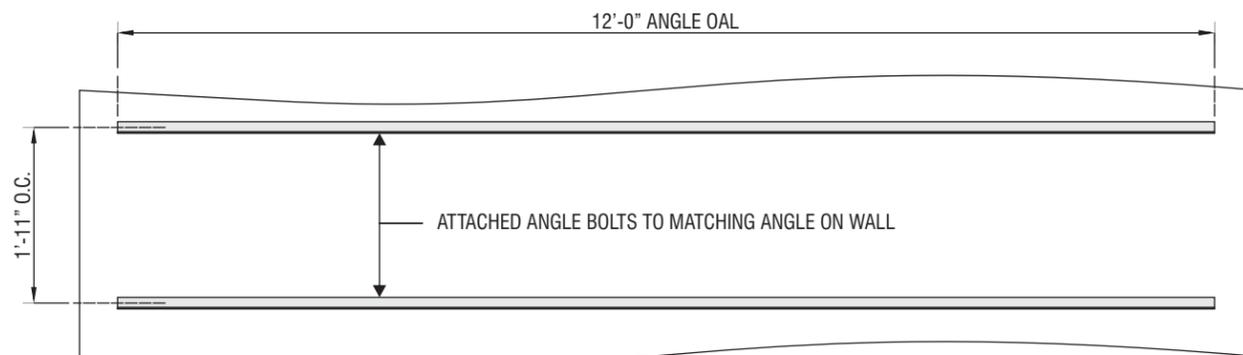
**COLOR SPECIFICATIONS**

- C1** 3M 3630-125 GOLDEN YELLOW (PMS 1235 C) C0 M28 Y89 K0
- C2** 3M 3630-53 CARDINAL RED (PMS 187 C) C7 M100 Y82 K26
- C3** WHITE ACRYLIC
- C4** 3M 3630-22 BLACK
- C5** PAINT TO MATCH MATTHEWS PAINT MP41342 "BRUSHED ALUMINUM"

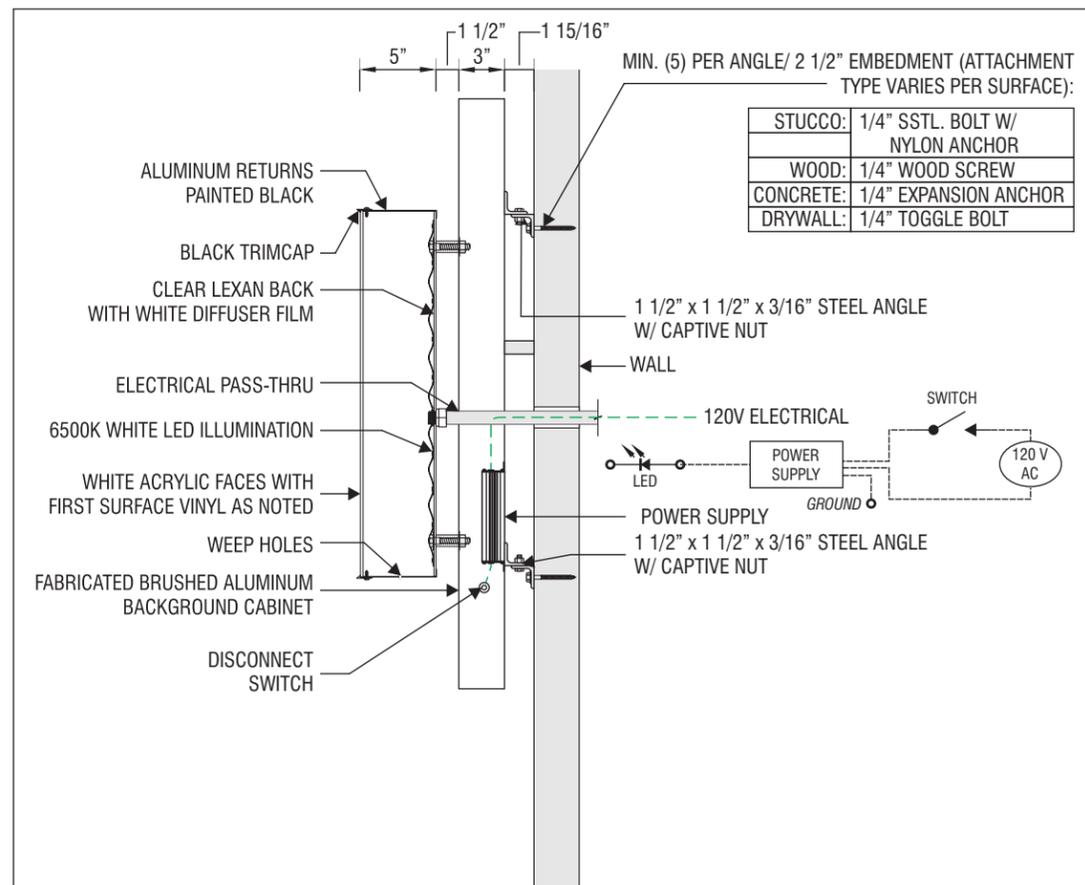
NOTES: 120V POWER. SIGN TO BE UL LISTED WITH APPROVED DISCONNECT SWITCH. GROUNDING AND BONDING IN ACCORDANCE WITH ARTICLE 600 NEC.

**NOTES:**

- CHANNEL LETTERS TO BE 5" DEEP WITH RETURNS PAINTED BLACK AND WITH BLACK TRIMCAP
- BACKS ARE CLEAR LEXAN WITH 2ND SURFACE DIFFUSER FILM
- "THE"/"BURGER GRILL" TO HAVE WHITE ACRYLIC FACES WITH FIRST SURFACE BLACK VINYL OUTLINE AS SHOWN.
- "HABIT" TO HAVE WHITE ACRYLIC FACES WITH FIRST SURFACE 3M 3630-53 "CARDINAL RED" VINYL
- DOT AND RULE LINES TO HAVE WHITE ACRYLIC FACES WITH FIRST SURFACE 3M 3630-125 "GOLDEN YELLOW" AND BLACK VINYL
- BACKGROUND CABINET TO BE BRUSHED ALUMINUM, **NON-ILLUMINATED** AND TO HOUSE POWER SUPPLY FOR ALL EXCEPT "DRIVE THRU" CHANNEL LETTERS. DISCONNECT SWITCH LOCATED ON CABINET.
- REMOTE POWER SUPPLIES AS NEEDED



**BACK VIEW**  
SCALE: 1/2" = 1'-0"



Packet Pg. 227

CLIENT



PROJECT  
THE HABIT BURGER #XXXX

LOCATION  
I-80 & Sierra College Blvd.  
Rocklin CA 95677

SHEET TITLE  
WALL SIGN

ACCT. REP.  
CHRIS BARTON  
DESIGNER  
TIM THOMSEN

DATE  
03/08/16  
SCALE  
NOTED

CUSTOMER APPROVAL

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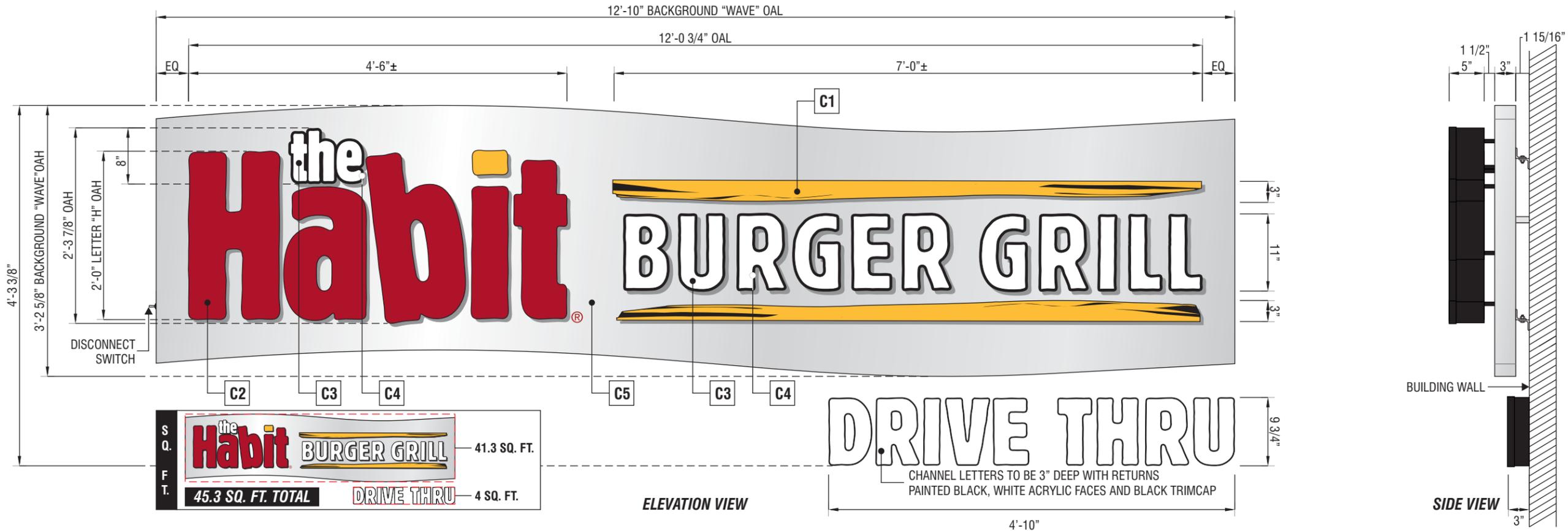
REVISIONS			
NO.	DATE	BY	DESCRIPTION
1	03/10/16	TT	7
2			8
3			9
4			10
5			11
6			12

KEY NO.

**A2**

**6 of 1**

Agenda Item #8.b.



**FACE & HALO ILLUMINATED CHANNEL LETTER WALL SIGN - 45.3 SQ. FT.**

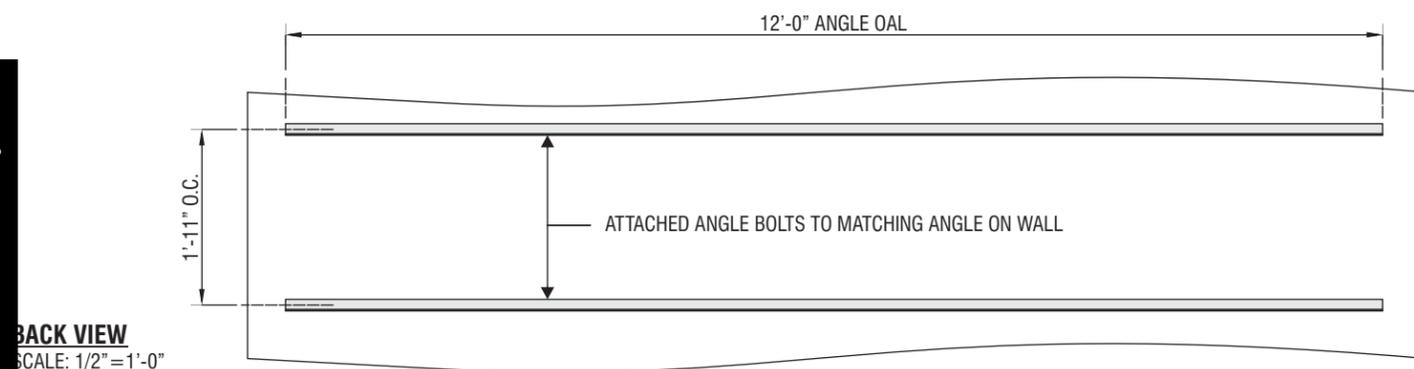
SCALE: 3/4" = 1'-0"

**COLOR SPECIFICATIONS**

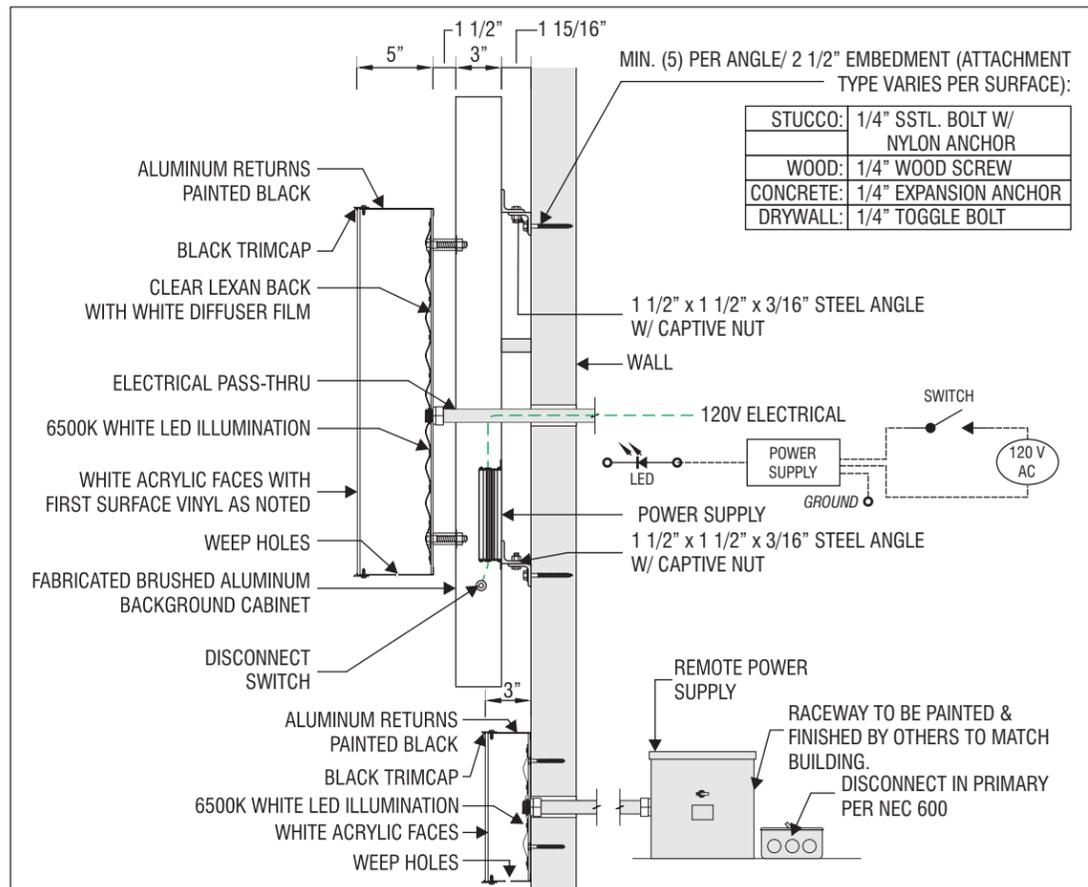
C1	3M 3630-125 GOLDEN YELLOW (PMS 1235 C) C0 M28 Y89 K0
C2	3M 3630-53 CARDINAL RED (PMS 187 C) C7 M100 Y82 K26
C3	WHITE ACRYLIC
C4	3M 3630-22 BLACK
C5	PAINT TO MATCH MATTHEWS PAINT MP41342 "BRUSHED ALUMINUM"

NOTES: 120V POWER. SIGN TO BE UL LISTED WITH APPROVED DISCONNECT SWITCH. GROUNDING AND BONDING IN ACCORDANCE WITH ARTICLE 600 NEC.

**NOTES:**  
CHANNEL LETTERS TO BE 5" DEEP WITH RETURNS PAINTED BLACK AND WITH BLACK TRIMCAP  
BACKS ARE CLEAR LEXAN WITH 2ND SURFACE DIFFUSER FILM  
"THE"/"BURGER GRILL" TO HAVE WHITE ACRYLIC FACES WITH FIRST SURFACE BLACK VINYL OUTLINE AS SHOWN.  
"HABIT" TO HAVE WHITE ACRYLIC FACES WITH FIRST SURFACE 3M 3630-53 "CARDINAL RED" VINYL  
DOT AND RULE LINES TO HAVE WHITE ACRYLIC FACES WITH FIRST SURFACE 3M 3630-125 "GOLDEN YELLOW" AND BLACK VINYL  
BACKGROUND CABINET TO BE BRUSHED ALUMINUM, **NON-ILLUMINATED** AND TO HOUSE POWER SUPPLY FOR ALL EXCEPT "DRIVE THRU" CHANNEL LETTERS. DISCONNECT SWITCH LOCATED ON CABINET.  
"DRIVE THRU" - CHANNEL LETTERS TO BE 3" DEEP WITH RETURNS PAINTED BLACK, WHITE ACRYLIC FACES AND BLACK TRIMCAP. CHANNEL LETTERS ARE FLUSH MOUNTED TO WALL AND ARE INTERNALLY ILLUMINATED.  
REMOTE POWER SUPPLIES AS NEEDED



BACK VIEW  
SCALE: 1/2" = 1'-0"



Packet Pg. 228

CLIENT



PROJECT  
THE HABIT BURGER #XXXX

LOCATION  
I-80 & Sierra College Blvd.  
Rocklin CA 95677

SHEET TITLE  
**PREVIEW MENU**

ACCT. REP.  
**CHRIS BARTON**  
DESIGNER  
**TIM THOMSEN**

DATE  
**03/08/16** SCALE  
**NOTED**

**CUSTOMER APPROVAL**

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1	03/10/16	TT	7		
2			8		
3			9		
4			10		
5			11		
6			12		

KEY NO.

**B1**

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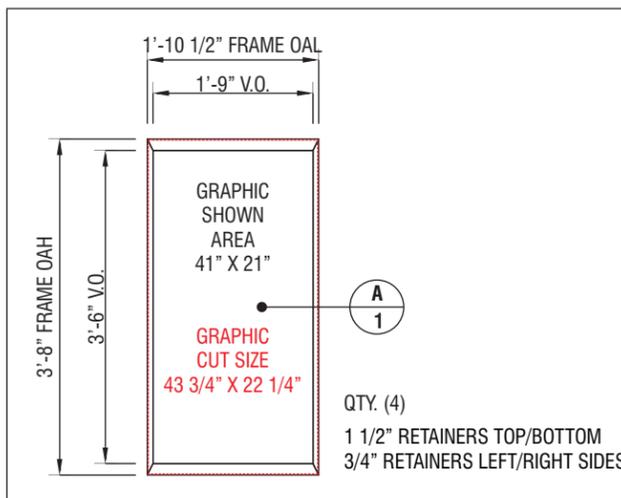
**Agenda Item #8.b.**

**COLOR SPECIFICATIONS**

**APPROVED PAINT COLORS**

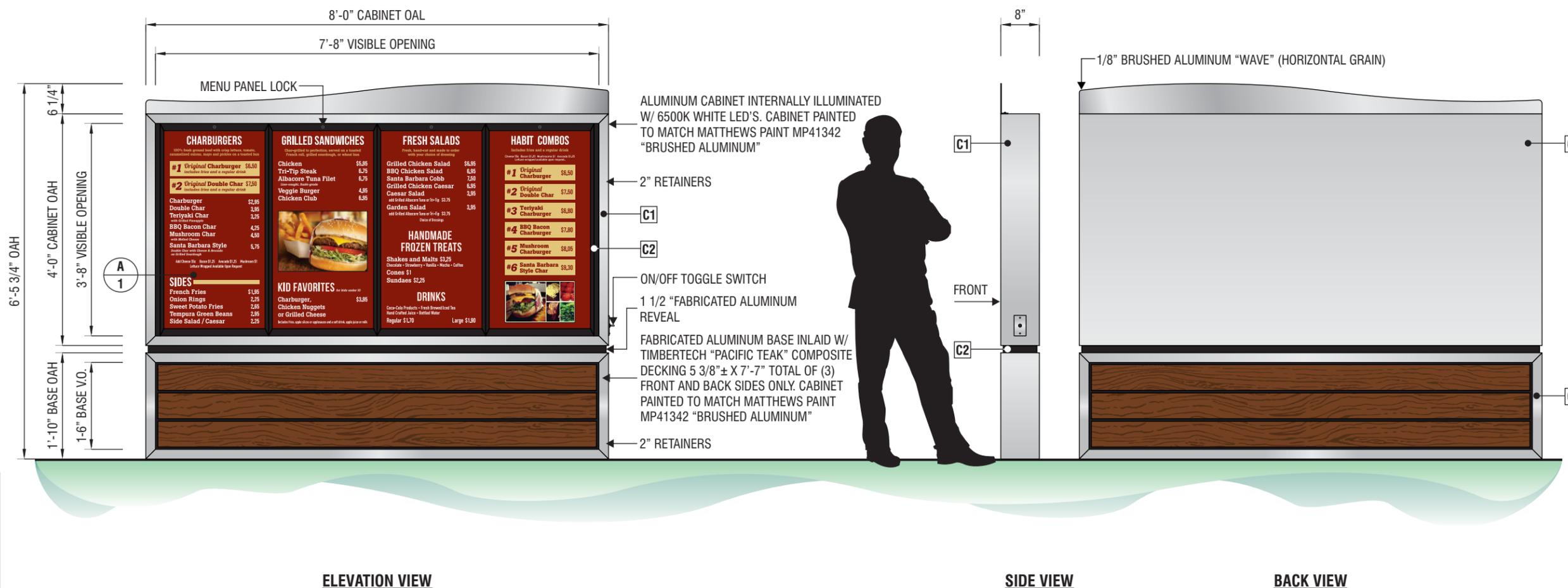
- C1**  PAINT TO MATCH MATTHEWS MP41342 "BRUSHED ALUMINUM"
- C2**  PAINT TO MATCH MATTHEWS SV923SP "BLACK" W/ A SATIN FINISH

NOTES: 120V POWER. SIGN TO BE UL LISTED WITH APPROVED DISCONNECT SWITCH. GROUNDING AND BONDING IN ACCORDANCE WITH ARTICLE 600 NEC.



**MENU FRAMES - DETAILS**

SCALE: 1" = 1'-0"



**ELEVATION VIEW**

**SIDE VIEW**

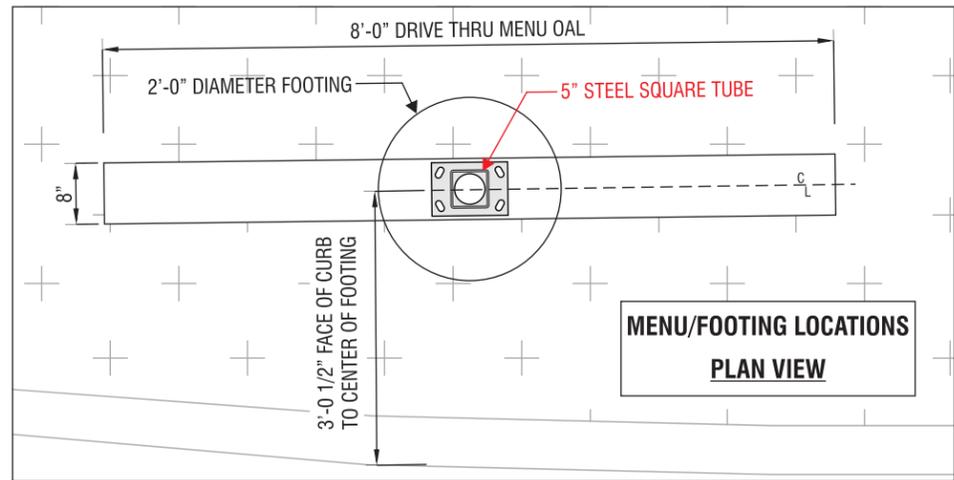
**BACK VIEW**

CUSTOMER APPROVAL	
APPROVED BY:	DATE:

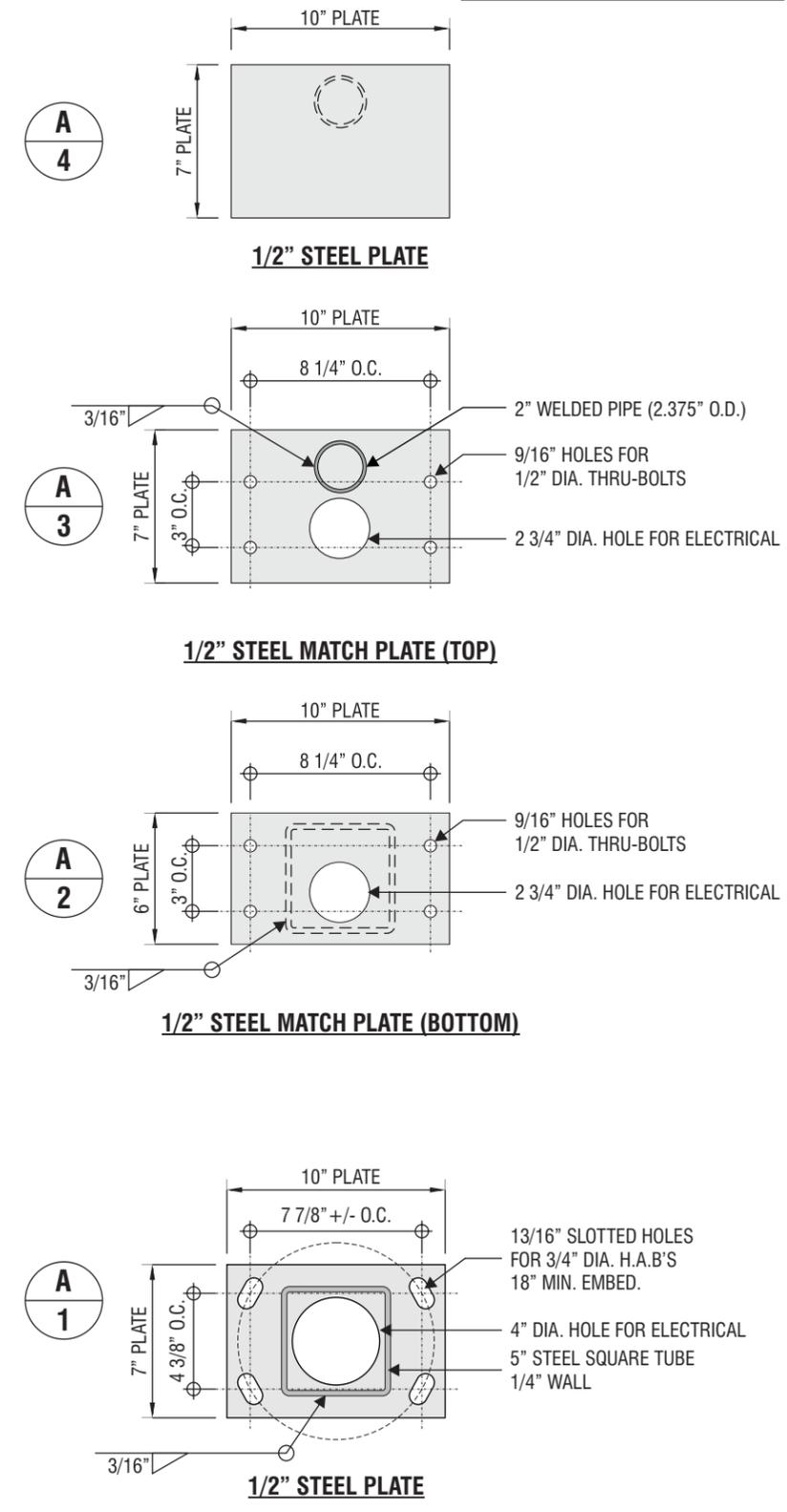
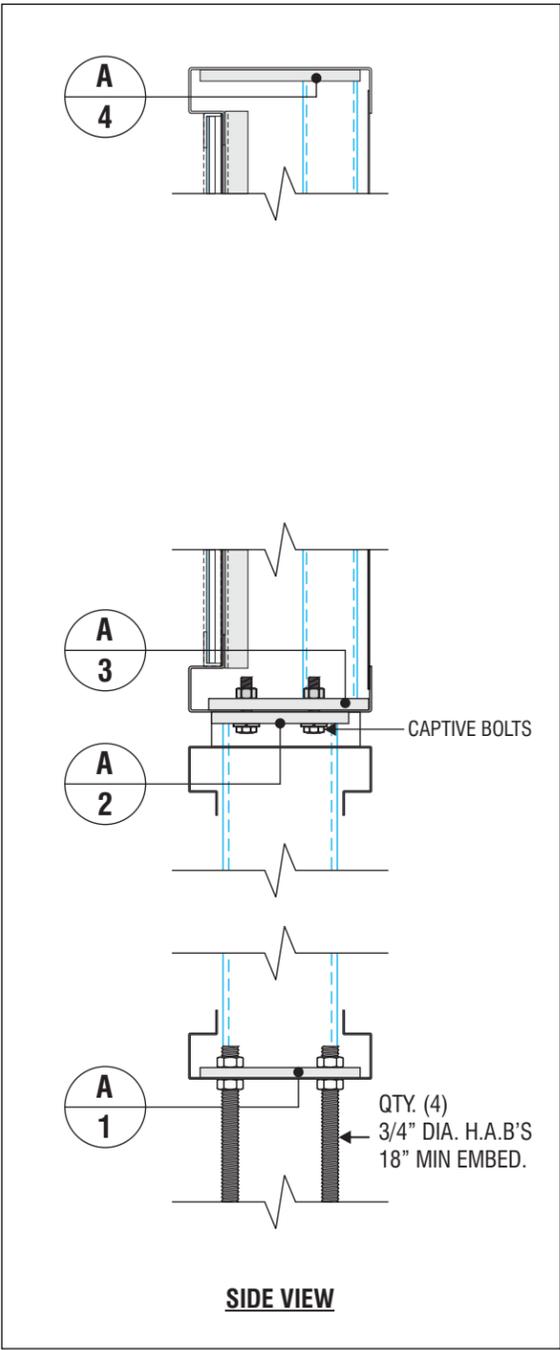
**S/F DRIVE-THRU MENU / PREVIEW MENU**

SCALE: 1/2" = 1'-0"

**Packet Pg. 229**

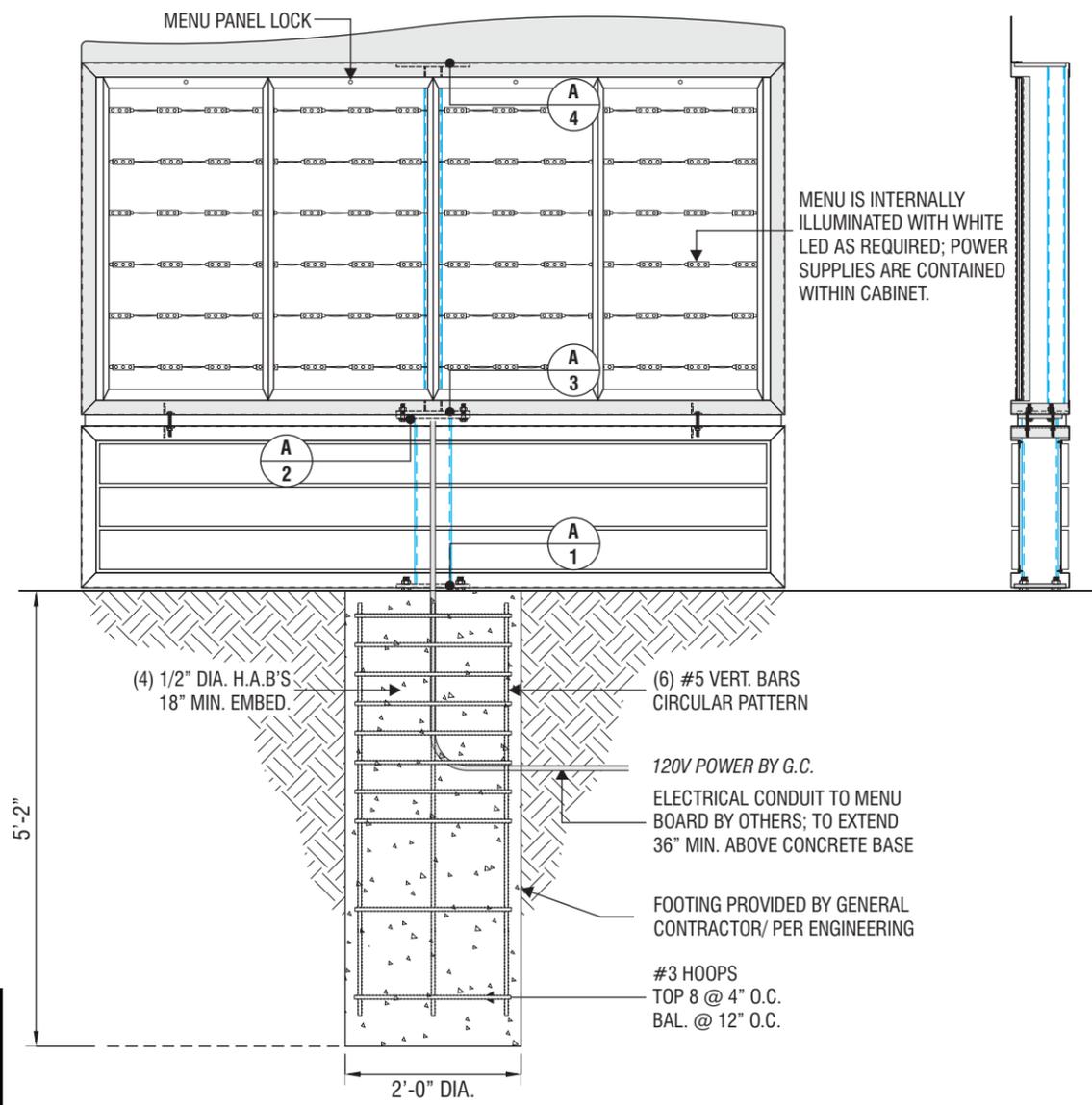


NOTES: 120V POWER. SIGN TO BE UL LISTED WITH APPROVED DISCONNECT SWITCH. GROUNDING AND BONDING IN ACCORDANCE WITH ARTICLE 600 NEC.



**MENU PLATE - DETAILS**

SCALE: 1 1/2" = 1'-0"



**S/F DRIVE-THRU MENU / PREVIEW MENU - DETAILS**

SCALE: 1/2" = 1'-0"

**CNP**  
SIGNS & GRAPHICS  
4530 Mission Gorge Place  
San Diego, CA 92120  
Tel: 619.283.2191  
Fax: 619.283.9503  
Web: www.cnpsigns.com

CLIENT  
**the Habit**  
BURGER GRILL

PROJECT  
THE HABIT BURGER #XXXX

LOCATION  
I-80 & Sierra College Blvd.  
Rocklin CA 95677

SHEET TITLE  
**PREVIEW MENU**

ACCT. REP.  
CHRIS BARTON  
DESIGNER  
TIM THOMSEN

DATE  
03/08/16  
SCALE  
NOTED

**CUSTOMER APPROVAL**

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REVISIONS			
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5			11
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KEY NO.  
**B1**

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Agenda Item #8.b.

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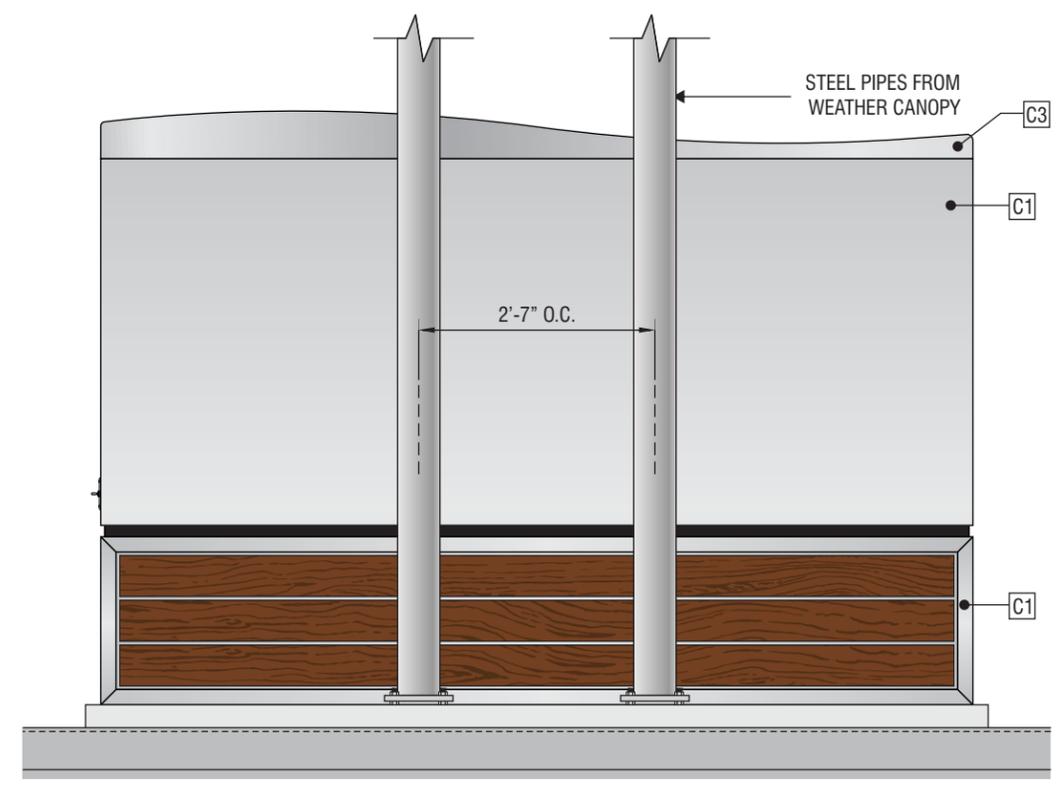
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DWG#	16-217	PROJECT #	318737
REVISION NO.	1	WO#	

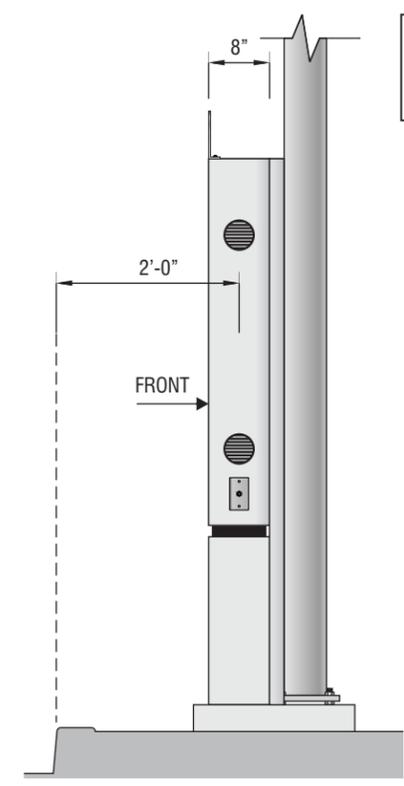
REVISIONS

1	03/10/16	TT	7	
2			8	
3			9	
4			10	
5			11	
6			12	

KEY NO.  
**B2**



**BACK VIEW**



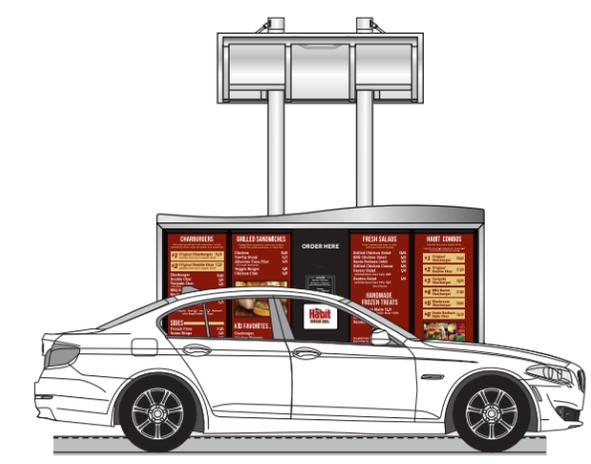
**SIDE VIEW**

NOTES: 120V POWER. SIGN TO BE UL LISTED WITH APPROVED DISCONNECT SWITCH. GROUNDING AND BONDING IN ACCORDANCE WITH ARTICLE 600 NEC.

**COLOR SPECIFICATIONS**

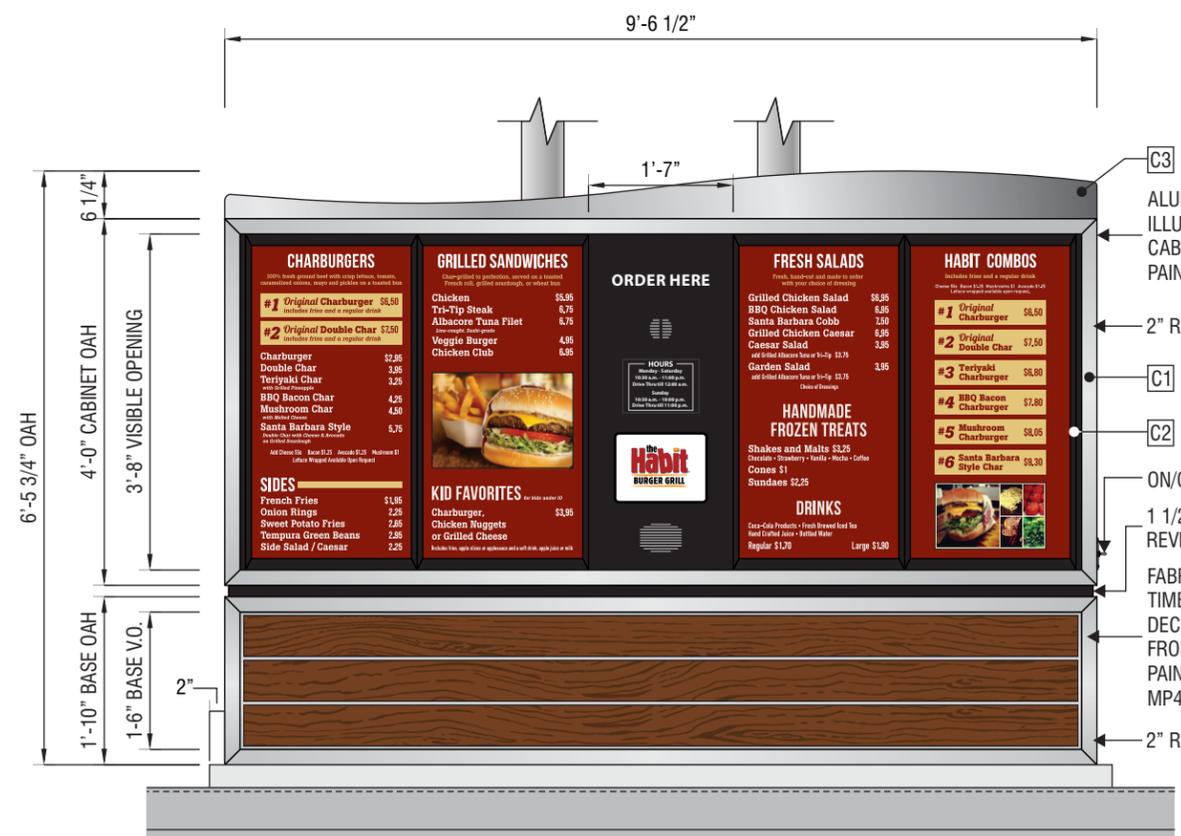
**APPROVED PAINT COLORS**

C1	PAINT TO MATCH MATTHEWS MP41342 "BRUSHED ALUMINUM"
C2	PAINT TO MATCH MATTHEWS SV923SP "BLACK" W/ A SATIN FINISH
C3	BRUSHED ALUMINUM W/ HORIZONTAL GRAIN & SATIN FINISH



**ELEVATION VIEW**

SCALE: 3/16" = 1'-0"



**ELEVATION VIEW**

ALUMINUM CABINET INTERNALLY ILLUMINATED W/ 6500K WHITE LED'S. CABINET PAINTED TO MATCH MATTHEWS PAINT MP41342 "BRUSHED ALUMINUM"

2" RETAINERS

C1

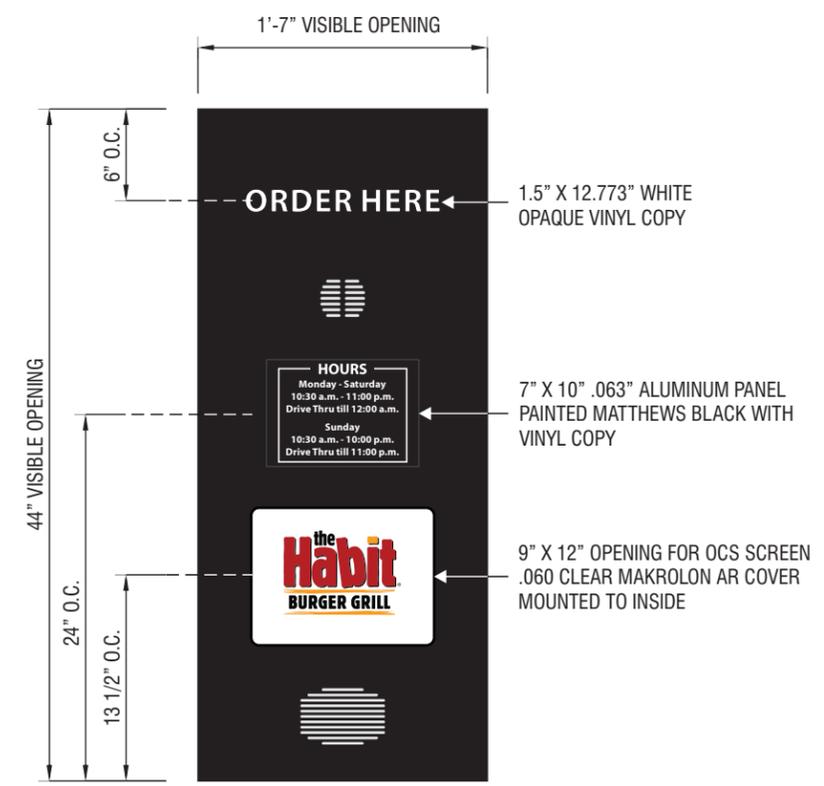
C2

ON/OFF TOGGLE SWITCH

1 1/2 "FABRICATED ALUMINUM REVEAL

FABRICATED ALUMINUM BASE INLAID W/ TIMBERTECH "PACIFIC TEAK" COMPOSITE DECKING 5 3/8" ± X 7'-7" TOTAL OF (3) FRONT AND BACK SIDES ONLY. CABINET PAINTED TO MATCH MATTHEWS PAINT MP41342 "BRUSHED ALUMINUM"

2" RETAINERS



**ORDER CONFIRMATION PANEL**

SCALE: 1" = 1'-0"

**CUSTOMER APPROVAL**

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

CLIENT



PROJECT  
THE HABIT BURGER #XXXX

LOCATION  
I-80 & Sierra College Blvd.  
Rocklin CA 95677

SHEET TITLE  
**SPEAKER MENU CANOPY**

ACCT. REP.  
CHRIS BARTON

DESIGNER  
TIM THOMSEN

DATE 03/08/16 SCALE NOTED

**CUSTOMER APPROVAL**

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DWG#	16-217	PROJECT #	318737
REVISION NO.	1	WO#	

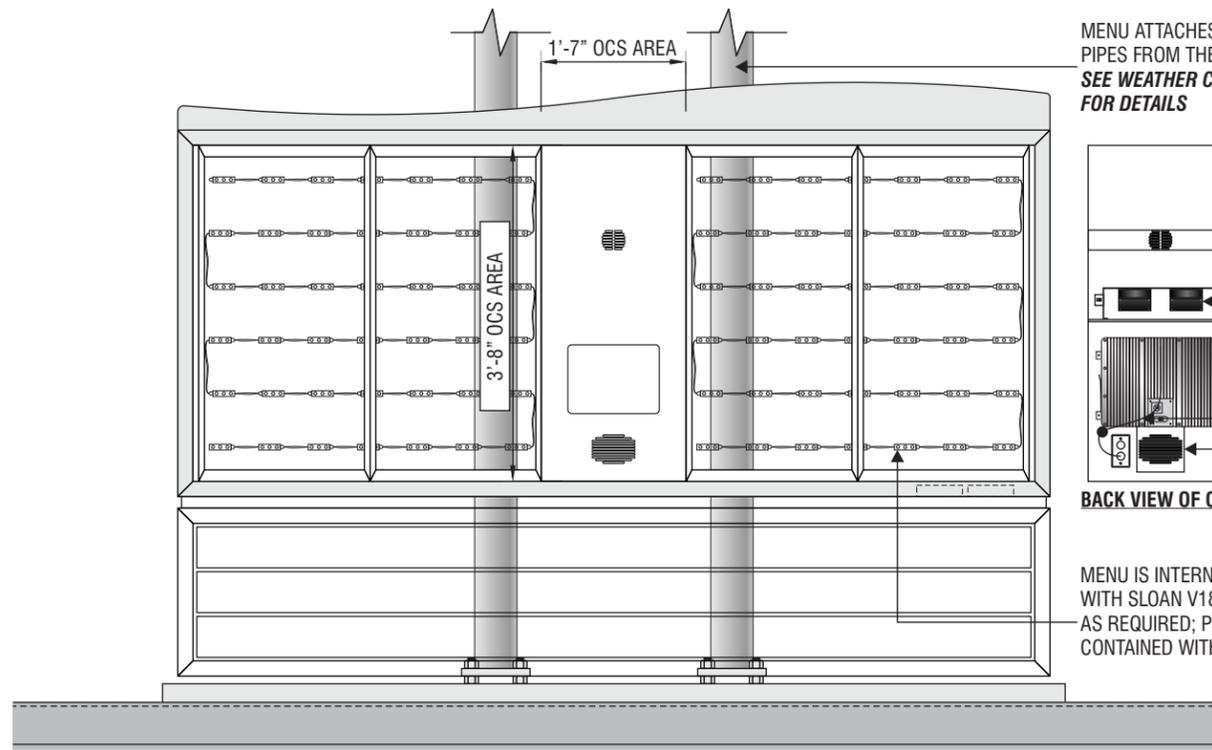
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NO.	DATE	BY	REASON	APP.	CHK.
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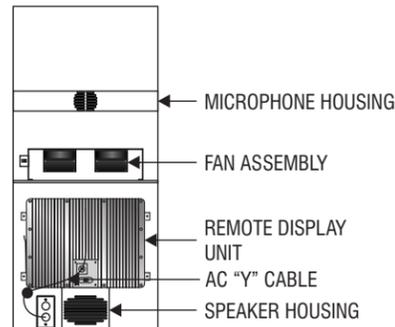
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**10** of **1**

Agenda Item #8.b.

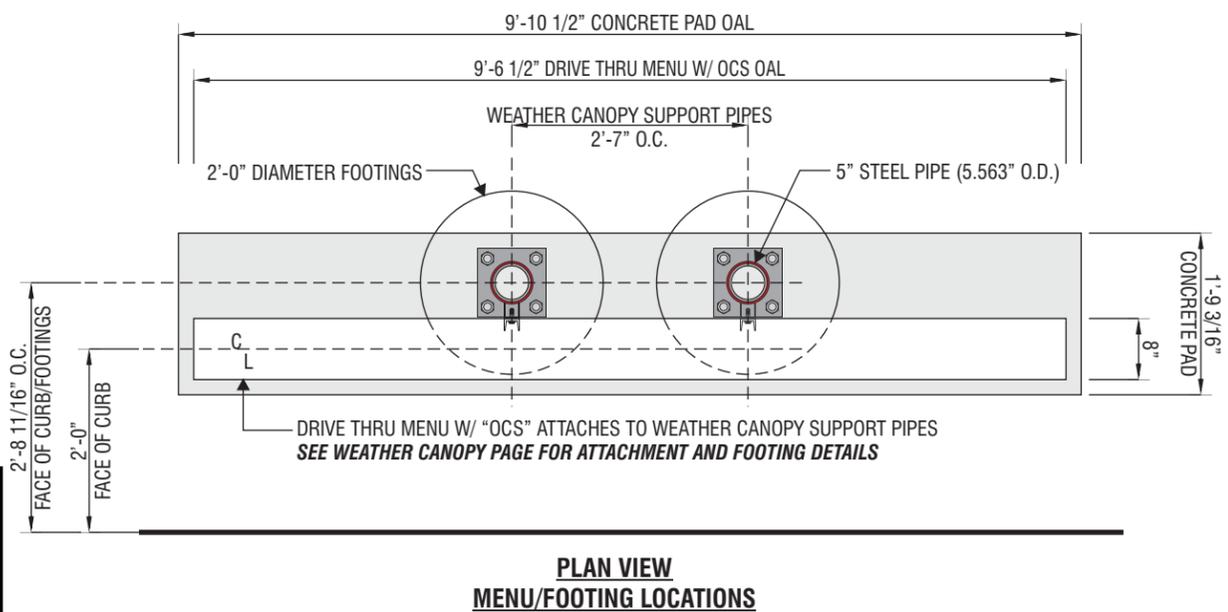
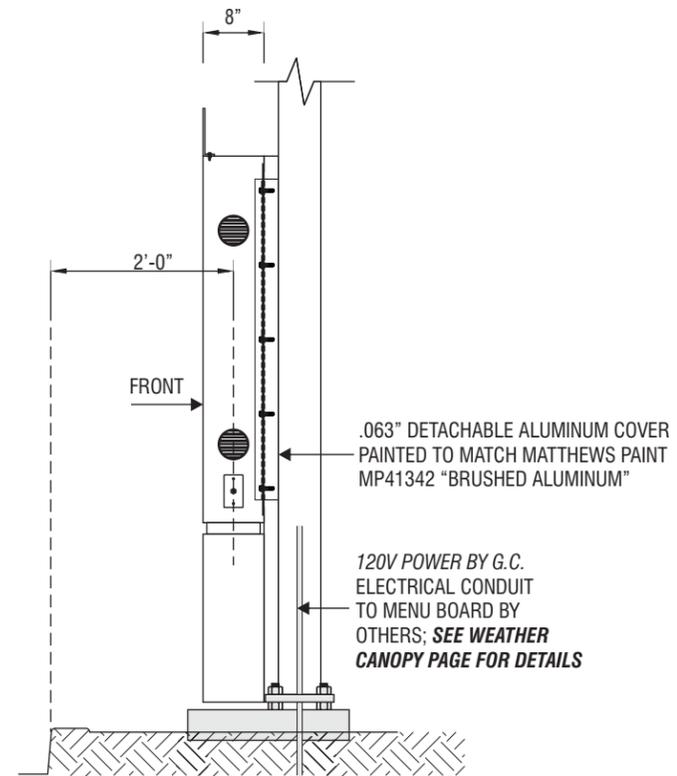


MENU ATTACHES TO STEEL SUPPORT PIPES FROM THE WEATHER CANOPY. SEE WEATHER CANOPY PAGE FOR DETAILS

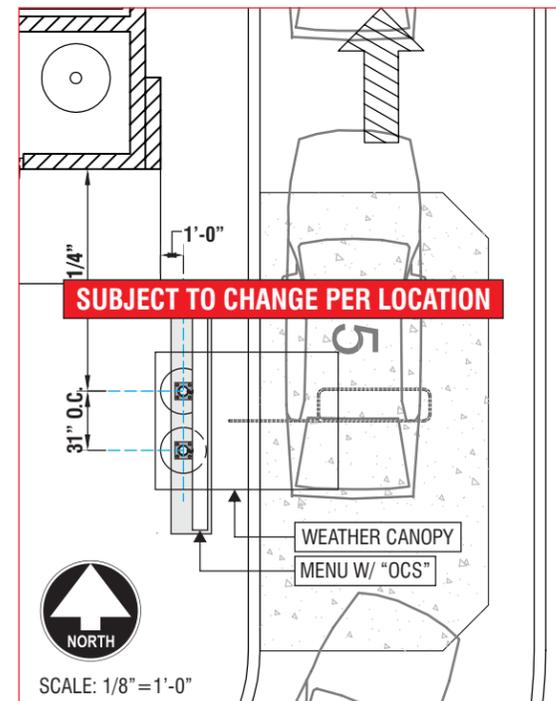


**BACK VIEW OF OCS**

MENU IS INTERNALLY ILLUMINATED WITH SLOAN V180 LARGE WHITE 5000K LEDS AS REQUIRED; POWER SUPPLIES ARE CONTAINED WITHIN CABINET.



**PLAN VIEW**  
**MENU/FOOTING LOCATIONS**

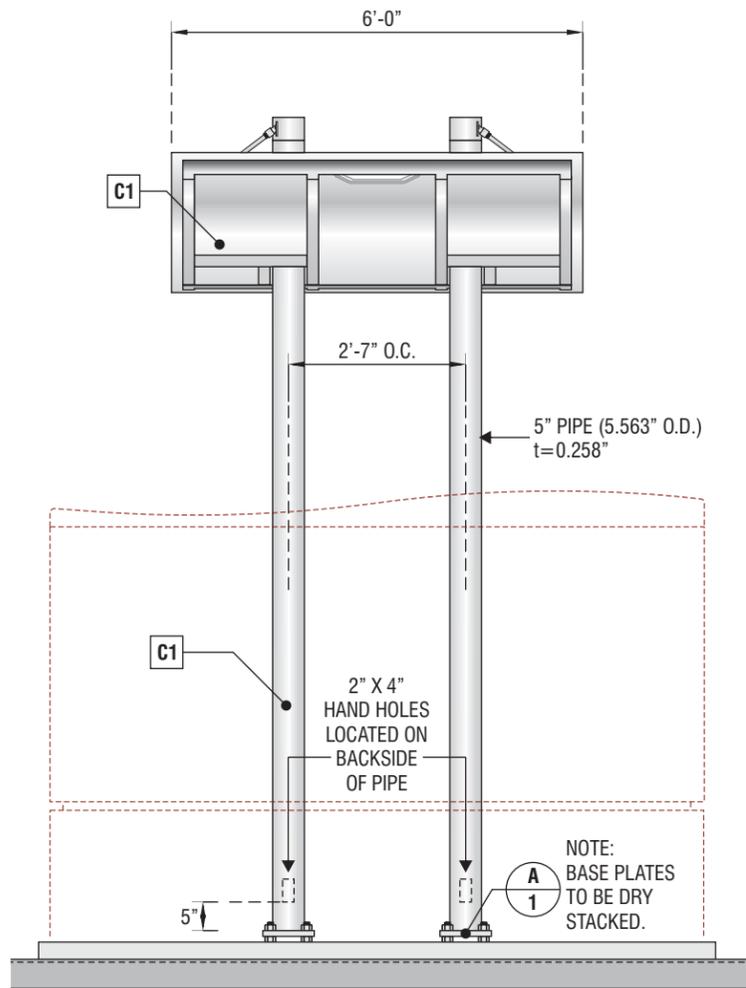


**S/F DRIVE-THRU MENU W/ "OCS" - DETAILS**

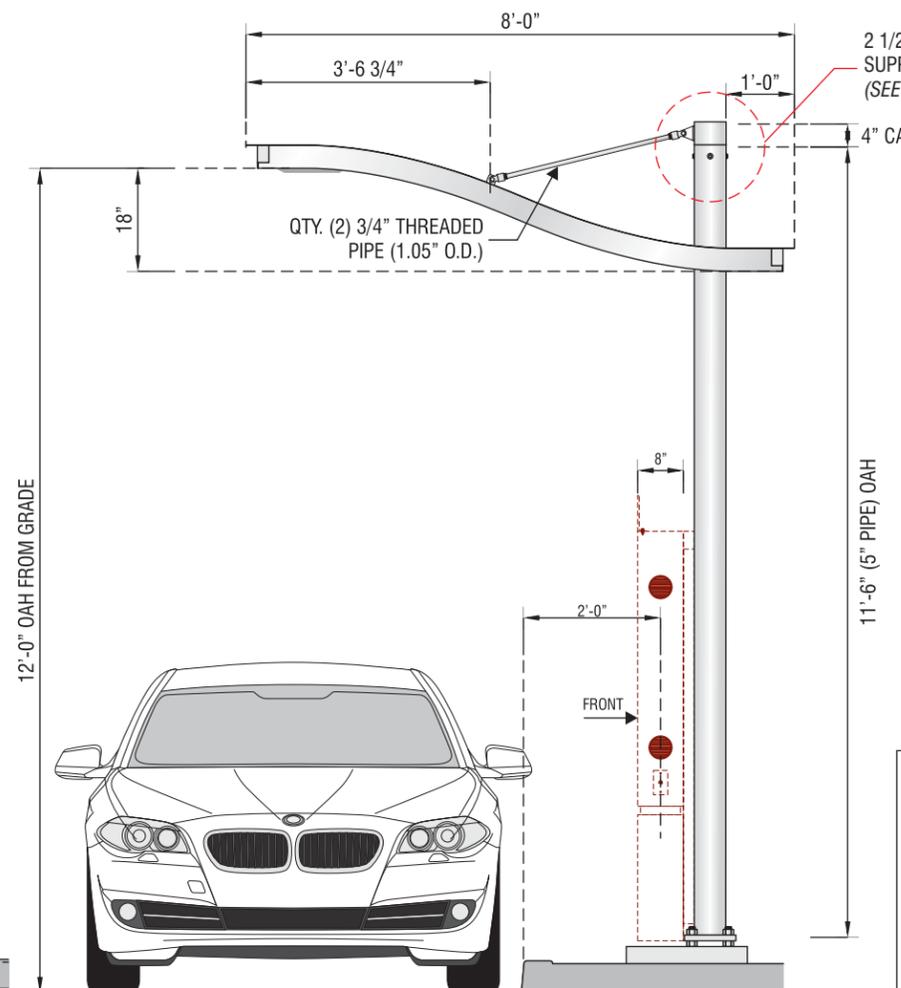
SCALE: 1/2" = 1'-0"

**CUSTOMER APPROVAL**

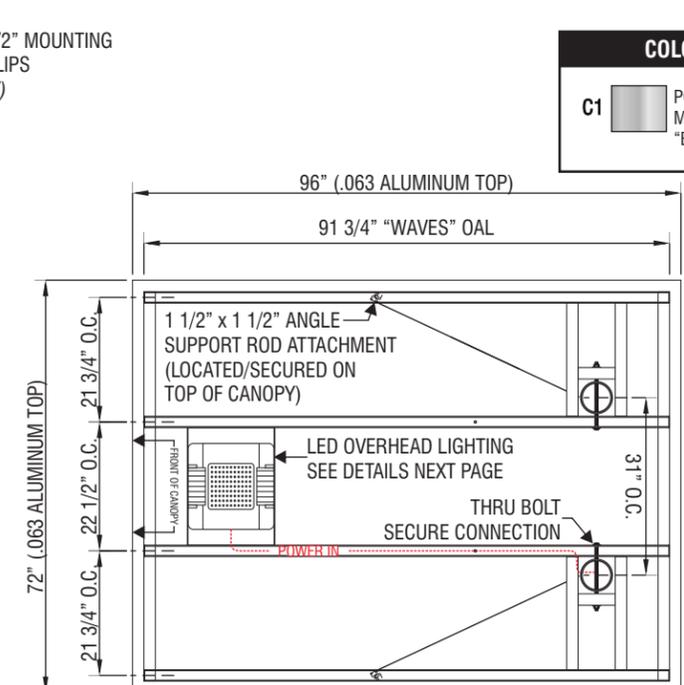
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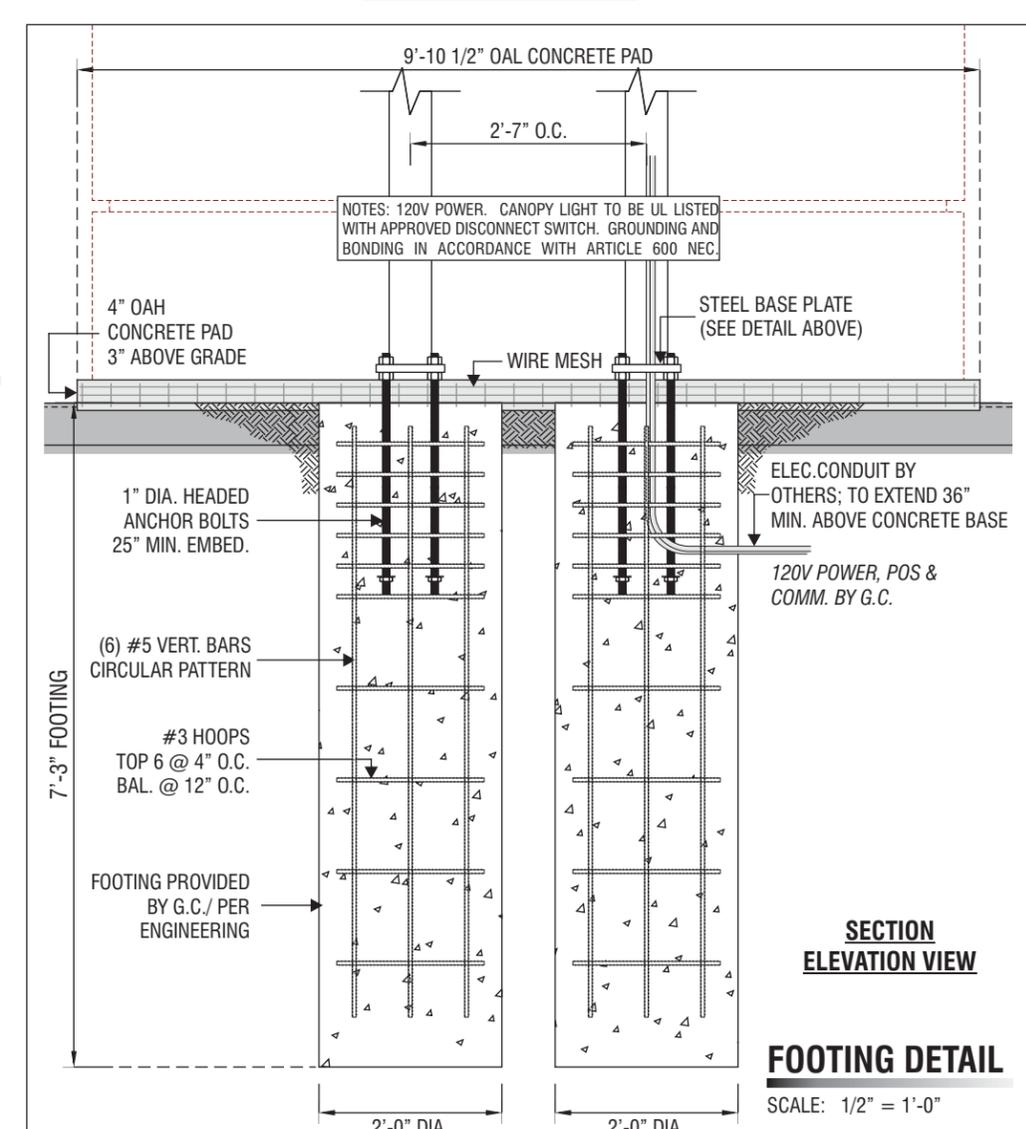
**ELEVATION VIEW**



**SIDE VIEW**



**BOTTOM VIEW OF CANOPY**



**SECTION ELEVATION VIEW**

**FOOTING DETAIL**

**COLOR SPECIFICATIONS**  
**C1** POWDER-COAT PAINT TO MATCH MATTHEWS PAINT MP41342 "BRUSHED ALUMINUM"

**CNP SIGNS & GRAPHICS**  
 4530 Mission Gorge Place  
 San Diego, CA 92120  
 Tel: 619.283.2191  
 Fax: 619.283.9503  
 Web: www.cnp signs.com

CLIENT  
**the Habit BURGER GRILL**

PROJECT  
 THE HABIT BURGER #XXXX

LOCATION  
 I-80 & Sierra College Blvd.  
 Rocklin CA 95677

SHEET TITLE  
**MENU WEATHER CANOPY**

ACCT. REP.  
**CHRIS BARTON**  
 DESIGNER  
**TIM THOMSEN**

DATE  
**03/08/16** SCALE  
**NOTED**

**CUSTOMER APPROVAL**

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REVISION NO.	1	WO#	

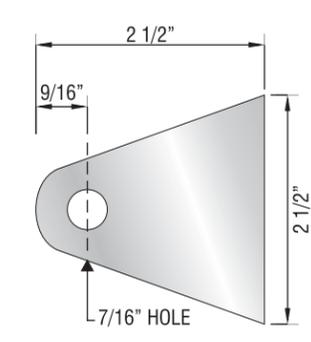
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NO.	DATE	BY	REASON
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KEY NO.  
**B2**

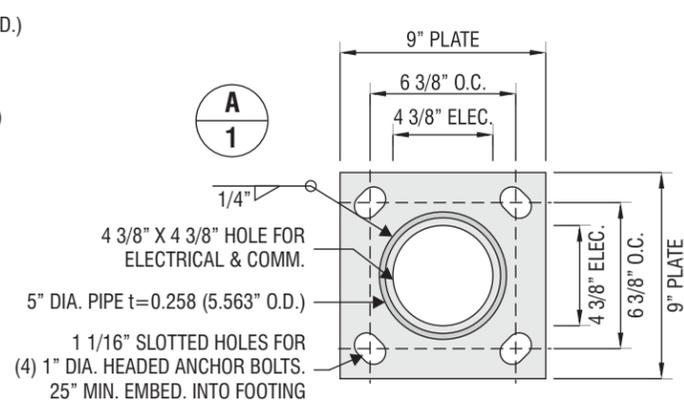
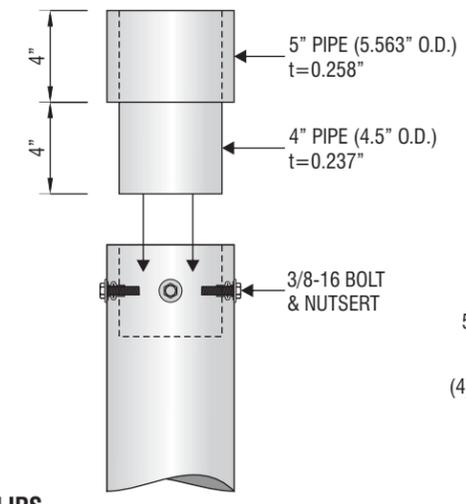
**11 of 1**

**MENU WEATHER CANOPY**

SCALE: 3/8" = 1'-0"



**QTY. (2) - 1/4" X 2 1/2" X 2 1/2" STEEL CLIPS**  
 SCALE: HALF SIZE



**QTY. (2) - 1" X 9" X 9" STEEL PLATE**

**BASE PLATE DETAIL**

SCALE: 1 1/2" = 1'-0"

Packet Pg. 233

Agenda Item #8.b.

CLIENT



PROJECT  
THE HABIT BURGER #XXXX

LOCATION  
I-80 & Sierra College Blvd.  
Rocklin CA 95677

SHEET TITLE  
**HEIGHT DETECTOR**

ACCT. REP.  
CHRIS BARTON

DESIGNER  
TIM THOMSEN

DATE  
03/08/16

SCALE  
NOTED

CUSTOMER APPROVAL

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REVISION NO.	1	WO#	

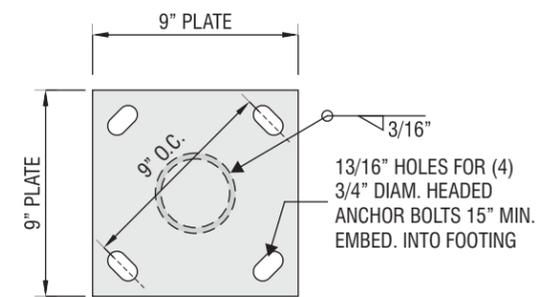
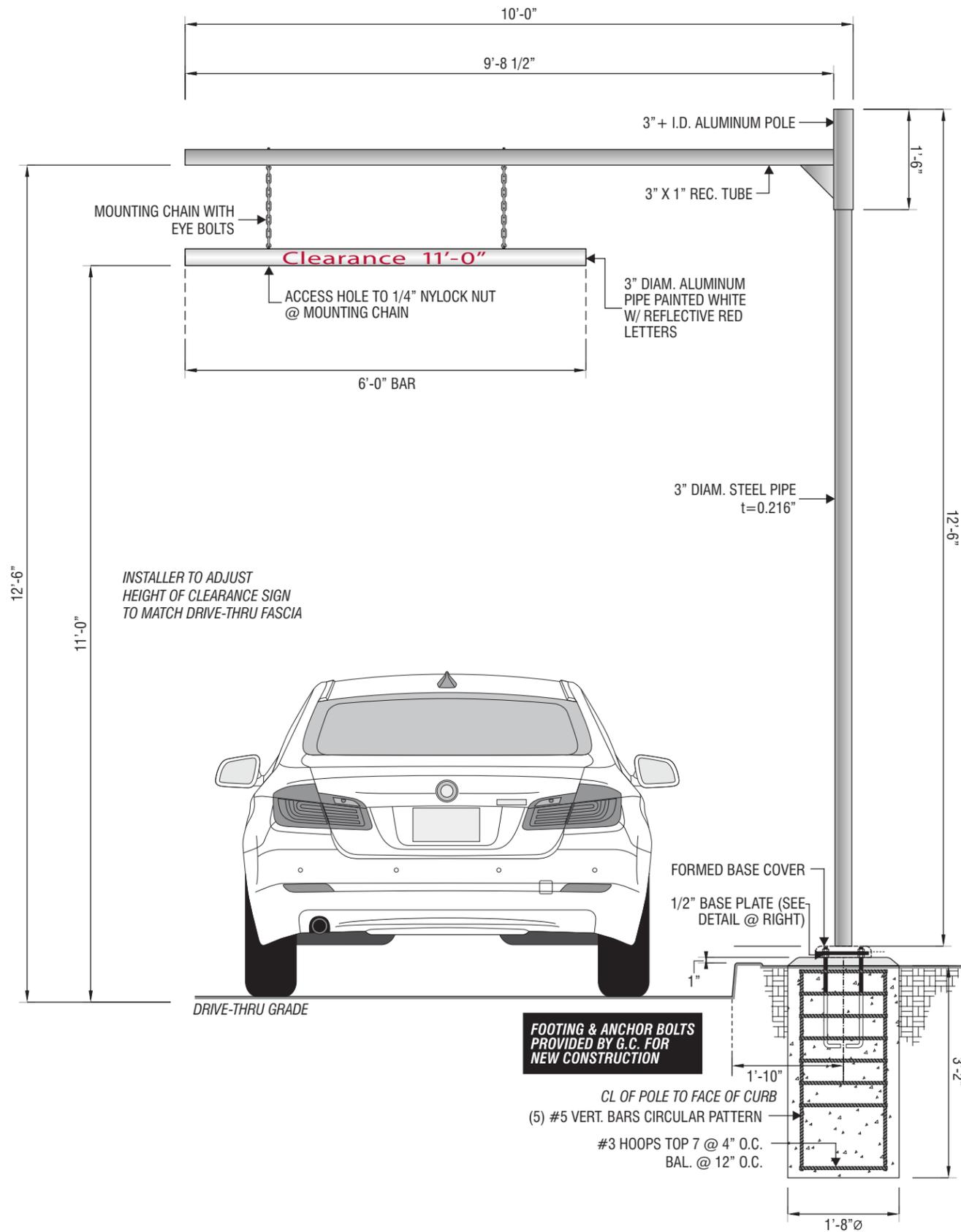
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KEY NO.

**C1**

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Agenda Item #8.b.



1/2" X 9" X 9" STEEL PLATE

**PLATE DETAIL**

SCALE: 1 1/2" = 1'-0"

**CUSTOMER APPROVAL**

APPROVED BY:	DATE:
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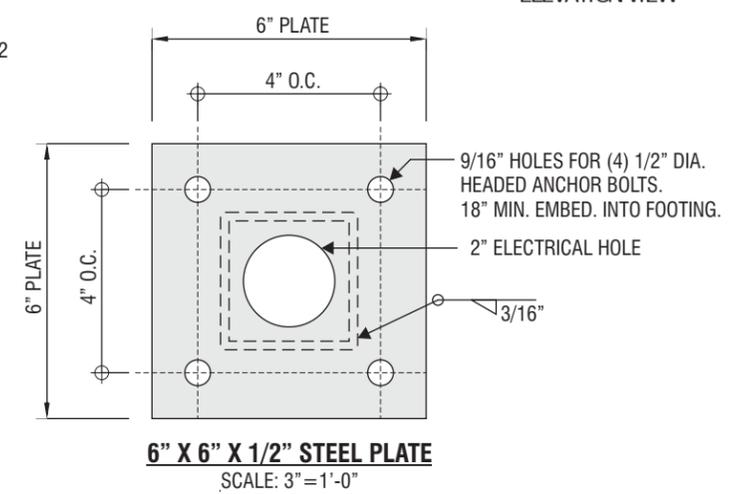
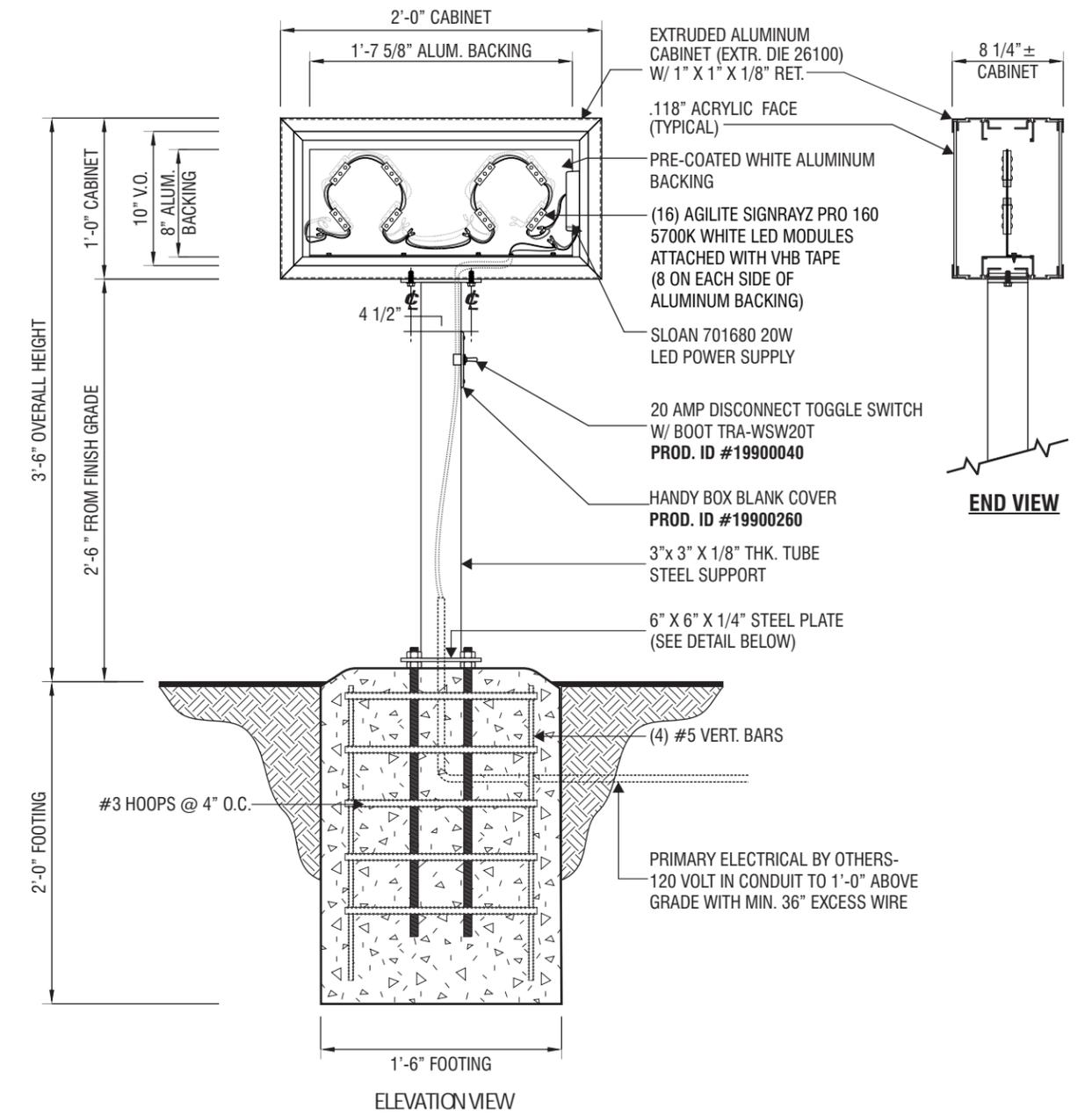
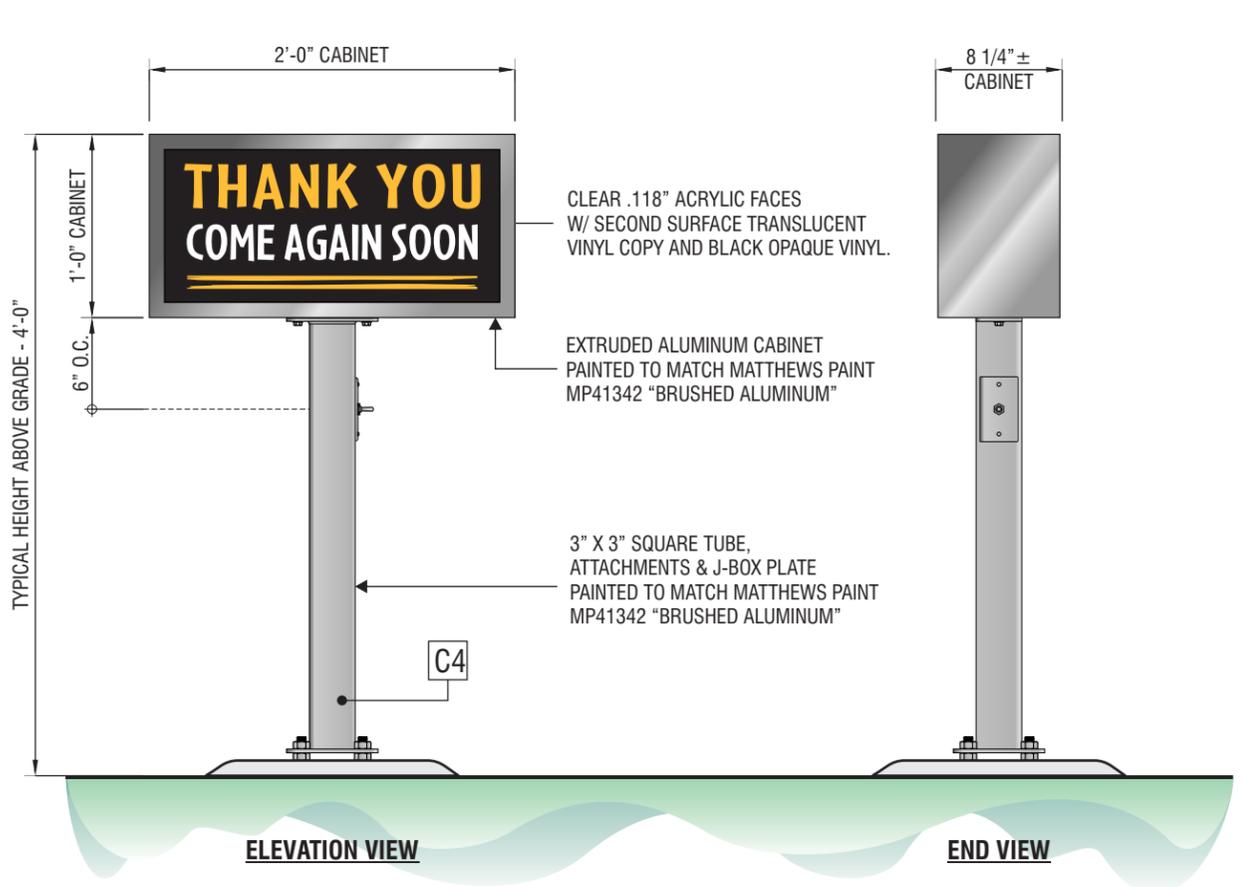
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KEY NO.  
**D1 D2**



(16) AGILITE PRO 160 LED MODULES @.9W EACH = 14.4W TOTAL

(1) SLOAN 701680 20W LED POWER SUPPLY @80% EFFICIENCY = 16W

NOTES: 120V POWER. SIGN TO BE UL LISTED WITH APPROVED DISCONNECT SWITCH. GROUNDING AND BONDING IN ACCORDANCE WITH ARTICLE 600 NEC.

**COLOR SPECIFICATIONS**

C1	3M 3630-125 GOLDEN YELLOW (PMS 1235 C) C0 M28 Y89 K0
C2	3M SCOTCHCAL SERIES 220 BLACK OPAQUE
C3	3M 3630-20 WHITE TRANSLUCENT
C4	PAINT TO MATCH MATTHEWS PAINT MP41342 "BRUSHED ALUMINUM"



**D/F 1'-0" X 2'-0" DIRECTIONAL SIGN 2.0 SQUARE FEET**  
 SCALE: 1" = 1'-0"

CLIENT



PROJECT  
THE HABIT BURGER #XXXX

LOCATION  
I-80 & Sierra College Blvd.  
Rocklin CA 95677

SHEET TITLE  
**NON-ILLUMINATED  
DIRECTIONAL SIGNS**

ACCT. REP.  
CHRIS BARTON  
DESIGNER  
TIM THOMSEN

DATE  
03/08/16  
SCALE  
NOTED

**CUSTOMER APPROVAL**

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DWG# 16-217	PROJECT # 318737
REVISION NO. 1	WO#

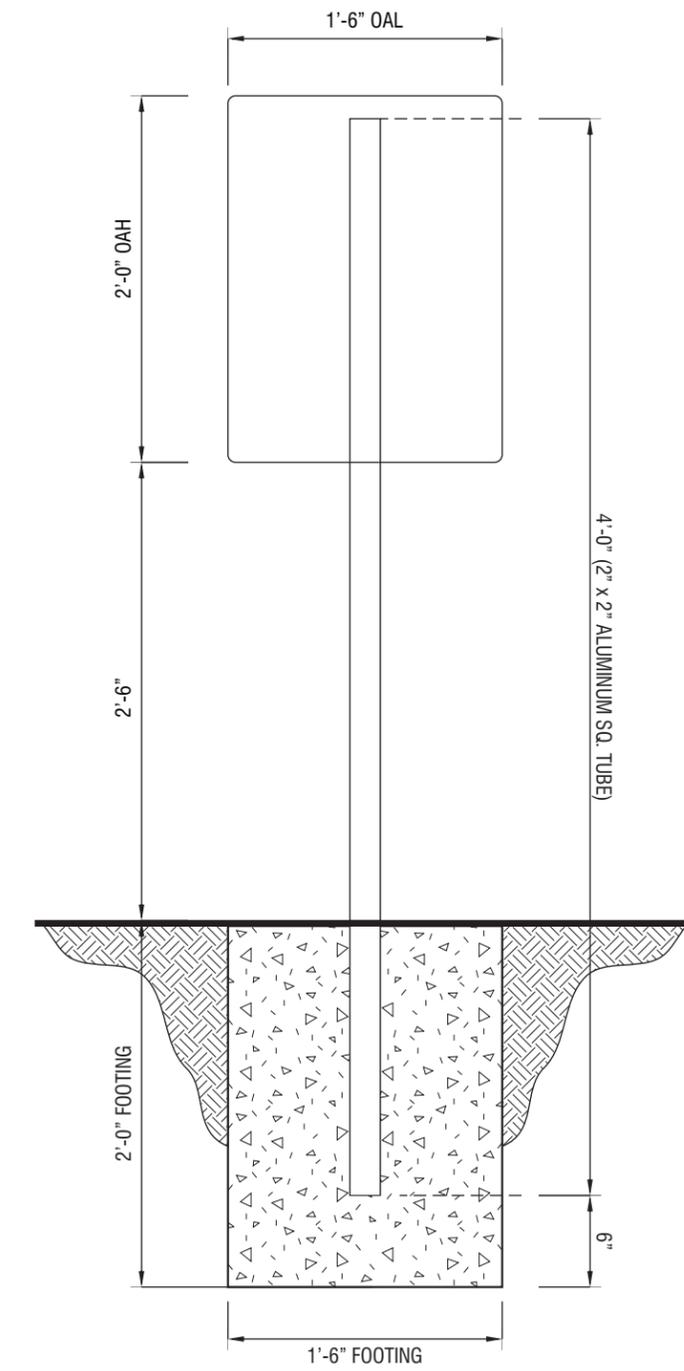
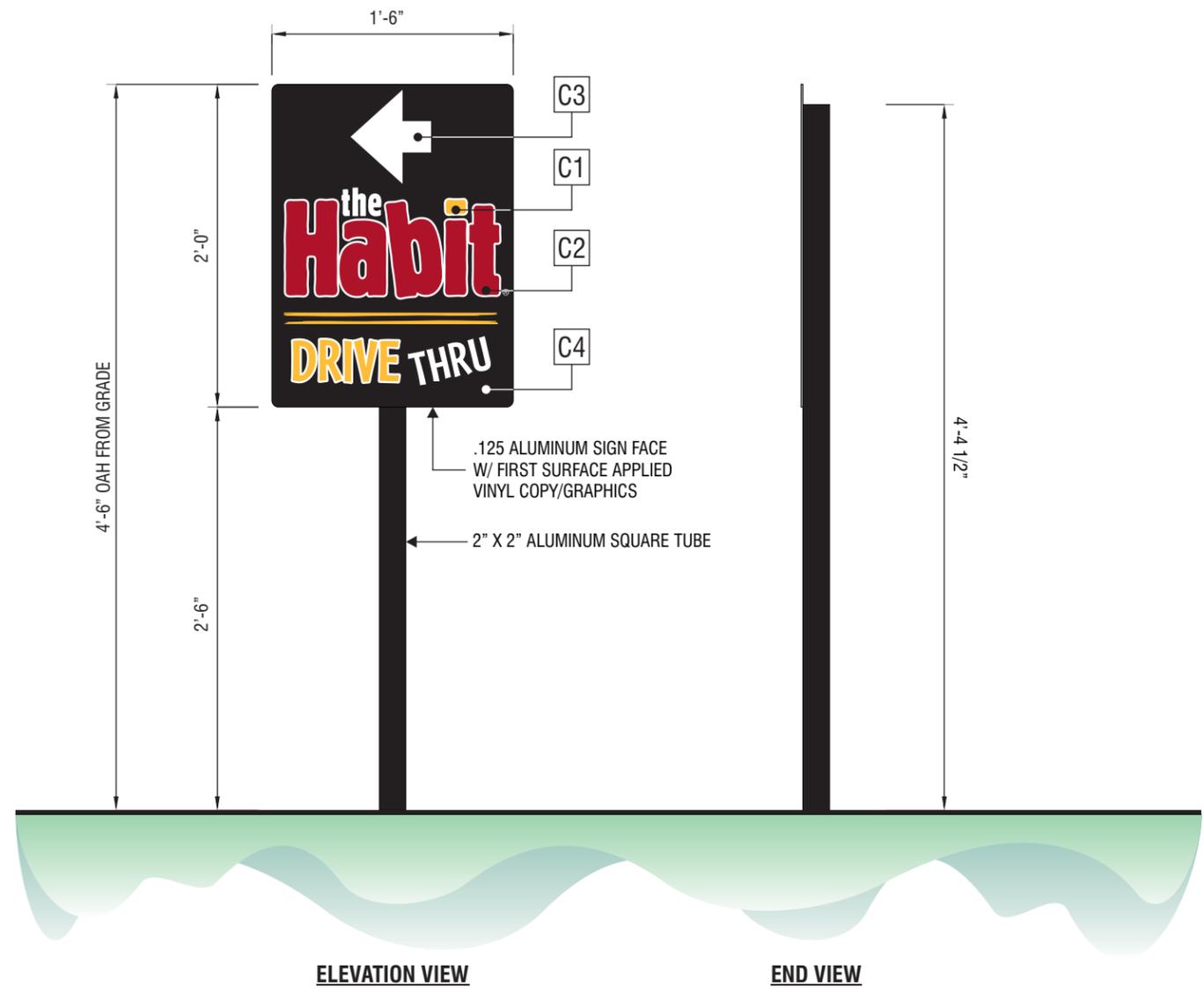
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4			10		
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KEY NO.

**E3**

**14** of **14**

COLOR SPECIFICATIONS	
C1	3M 3630-125 GOLDEN YELLOW (PMS 1235 C) C0 M28 Y89 K0
C2	3M 3630-53 CARDINAL RED (PMS 187 C) C7 M100 Y82 K26
C3	3M SCOTCHCAL SERIES 230 WHITE REFLECTIVE
C4	PAINT TO MATCH MATTHEWS SV923SP "BLACK"



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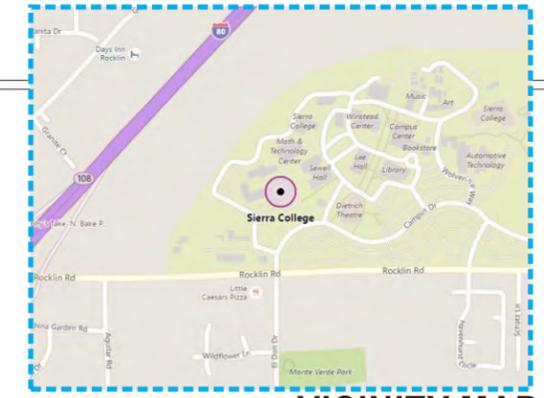
**S/F NON-ILLUMINATED REFLECTIVE DIRECTIONAL SIGN 2.0 SQUARE FEET**

SCALE: 1"=1'-0"

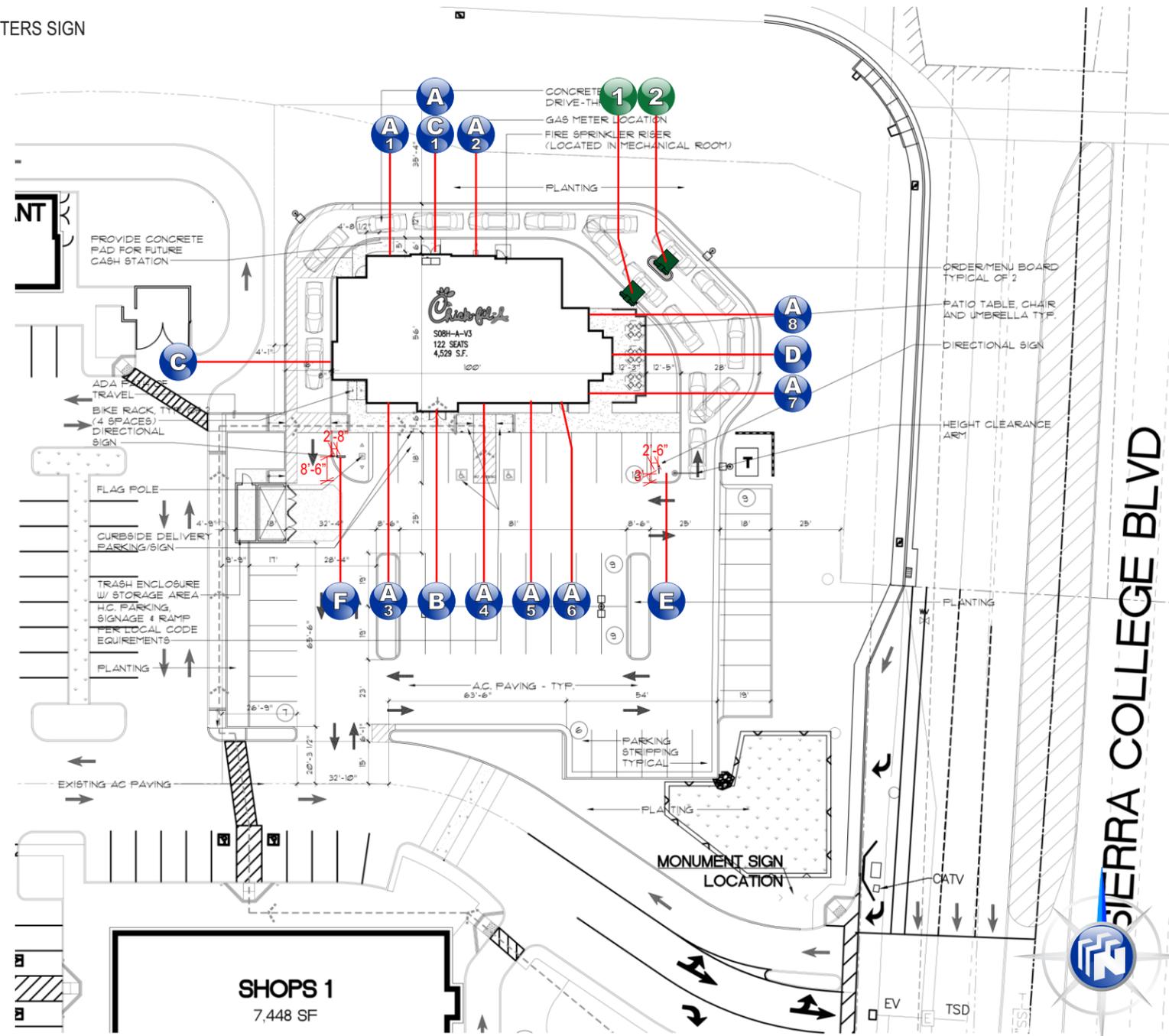
Agenda Item #8.b.

# Scope of Work

- A B C D** NEW 5'-0" ILLUM. "CHICK-FIL-A" CHANNEL LETTERS SIGN
- E F** NEW D/F ILLUM. DIRECTIONAL SIGN
- C 1** NEW CANOPY



VICINITY MAP



**Install Only**  
**Manufacturing By Others**

- 1 2** DRIVE-THRU CANOPY

SIGN ID LETTER	FACE A	FACE B
<b>A B C D</b>		N/A
<b>E</b>		
<b>F</b>		
<b>C 1</b>		N/A
<b>1 2</b>		N/A

**NOTE:**

ALL NEW SIGNAGE TO CONNECT TO CLIENT PROVIDED ELECTRICAL CIRCUITS

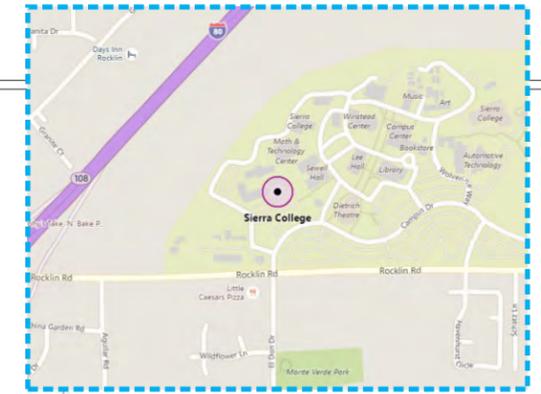
## CHICK-FIL-A - Rocklin, CA. - Site Plan

SCALE: 1" = 50'-0"

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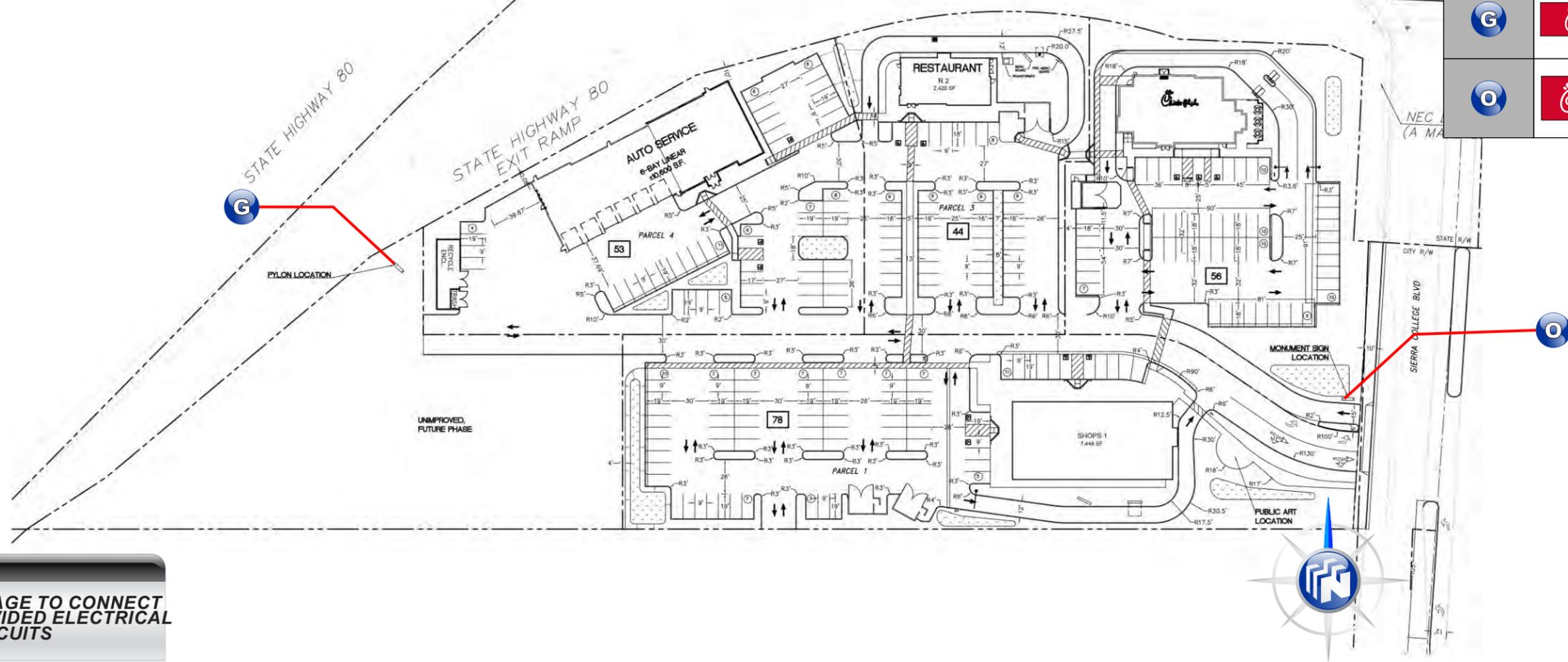
# Scope of Work

- G** REFACE D/F ILLUM. PYLON TENANT PANEL
- O** REFACE D/F ILLUM. MONUMENT TENANT PANEL



VICINITY MAP

SIGN ID LETTER	FACE A	FACE B
<b>G</b>		
<b>O</b>		



**NOTE:**  
ALL NEW SIGNAGE TO CONNECT TO CLIENT PROVIDED ELECTRICAL CIRCUITS

## CHICK-FIL-A - Rocklin, CA. - Site Plan

SCALE: NTS

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13580 5th St., Chino, CA 91710  
Tel 909.591.4742 Fax 909.591.9792  
e-mail : sales@nsmc.com  
Lic# 745030 - Exp. 01/31/18

**Project:** Chick-Fil-A  
**Address:** SWC Sierra College & I-80, Rocklin, CA  
**Phone:** \_\_\_\_\_ **Account Mgr.:** S. Rosenbloom  
**Designer:** Duffy, S. **Scale:** Noted **Date:** 01/24/2016

**Client Approval:** \_\_\_\_\_  
**Date:** \_\_\_\_\_

This sign intended to be in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of this sign.



**Revisions:**

- 03/22/16 SD Change site plan, add cd sign, h/c sign
- 04/04/16 SD Change site plan, change pylon and monument, Remove option
- 06/01/16 SD Change canopy to dark bronze and update vinyl
- 07/20/16 MYQ Removed logo from directional
- 08/10/16 SD Change site plan, elevation, Remove Ped signs, Clearance arm, HC Sign

**Drawing Number**  
**27072**  
**R6E**  
**Page 2 of 10**





- A** NEW 5'-0" ILLUM. "CHICK-FIL-A" CHANNEL LETTERS SIGN
- C1** NEW CANOPY

**North Elevation**

SCALE: 3/32" = 1'-0"



- B** NEW 5'-0" ILLUM. "CHICK-FIL-A" CHANNEL LETTERS SIGN

**South Elevation**

SCALE: 3/32" = 1'-0"

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**Project:** Chick-Fil-A  
**Address:** SWC Sierra College & I-80, Rocklin, CA  
**Phone:** \_\_\_\_\_ **Account Mgr.** S. Rosenbloom  
**Designer:** Duffy, S. **Scale:** Noted **Date:** 01/24/2016

**Client Approval:** \_\_\_\_\_  
 \_\_\_\_\_  
**Date:** \_\_\_\_\_

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**Revisions:**  
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 04/04/16 SD Change site plan, change tyfon and monument, Remove option  
 06/01/16 SD Change canopy to dark bronze and update vinyl  
 07/20/16 MYQ Removed logo from directional  
 08/10/16 SD Change site plan, elevation, Remove Ped signs, Clearance arm, HC Sign

**Drawing Number**  
**27072**  
 R6E  
 Page 3 of 10





**C** NEW 5'-0" ILLUM. "CHICK-FIL-A" CHANNEL LETTERS SIGN

**West Elevation**

SCALE: 3/32" = 1'-0"



**D** NEW 5'-0" ILLUM. "CHICK-FIL-A" CHANNEL LETTERS SIGN

**East Elevation**

SCALE: 3/32" = 1'-0"

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 e-mail : sales @nsmc.com  
 Lic# 745030 - Exp. 01/31/18

**Project:** Chick-Fil-A  
**Address:** SWC Sierra College & I-80, Rocklin, CA  
**Phone:** \_\_\_\_\_ **Account Mgr.** S. Rosenbloom  
**Designer:** Duffy, S. **Scale:** Noted **Date:** 01/24/2016

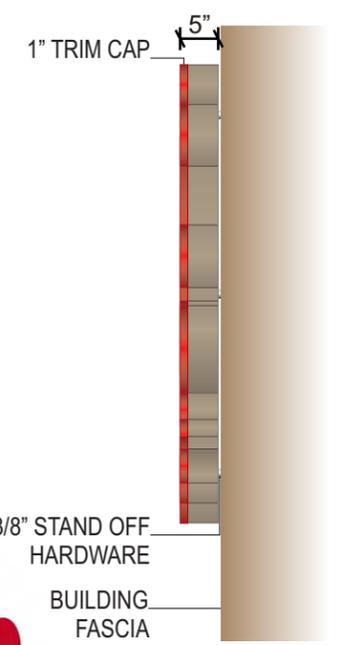
**Client Approval:** \_\_\_\_\_  
 \_\_\_\_\_  
**Date:** \_\_\_\_\_

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**Revisions:**  
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 07/20/16 MYQ Removed logo from directional  
 08/10/16 SD Change site plan, elevation, Remove Ped signs, Clearance arm, HC Sign

**Drawing Number**  
**27072**  
 R6E  
 Page 4 of 10





**A B C D**

NEW 5'-0" ILLUM. "CHICK-FIL-A" CHANNEL LETTERS SIGN

AREA: 35.15 SQ. FT.  
8 STRAIGHT LINES

MOUNTING AND ELECTRICAL PENETRATIONS



**Specifications:**

- BODY: S/F CUSTOM FABRICATED ALUMINUM CABINET CONSTRUCTED OF .040 WITH .080 ALUMINUM BACKS. ALUMINUM RETURNS MECHANICALLY FASTENED TO BACKS. INTERIOR OF SIGN TO BE PAINTED MATTE WHITE.
- FACES: 3/16" ROHM & HAAS #2793 RED ACRYLIC OR EQUIVALENT.
- TRIM CAP: 1" TRUE RED JEWELITE TRIM CAP (ADHERED VIA WELD ON RETURNS)
- RETURNS: 5" DEEP RETURNS PAINTED TO MATCH MOUNTING SURFACE COLOR
- STANDOFF: 3/8" STAND OFF HARDWARE.
- REGISTERED: 3/16" CLEAR LEXAN FLAG WITH 3M 3632-53 CARDINAL RED VINYL ® APPLIED FIRST SURFACE ATTACHED TO BACK OF 'A'
- DISCONNECT: ELECTRICAL TOGGLE DISCONNECT SWITCH WITH BOOT
- ILLUMINATION: RED LED LIGHTING WITH REMOTE TRANSFORMERS.

**ALL WIRING & COMPONENTS TO MEET U.L. STANDARDS**

- R & H 2793 / 3M RED 3632-53
- SW 7549 STUDIO TAUPE

**CHICK-FIL-A S/F LED ILLUMINATED CHANNEL LETTERS**

SCALE: 1/2" = 1'-0"

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Tel 909.591.4742 Fax 909.591.9792  
e-mail : sales @nsmc.com  
Lic# 745030 - Exp. 01/31/18

**Project:** Chick-Fil-A  
**Address:** SWC Sierra College & I-80, Rocklin, CA  
**Phone:** \_\_\_\_\_ **Account Mgr.:** S. Rosenbloom  
**Designer:** Duffy, S. **Scale:** Noted **Date:** 01/24/2016

**Client Approval:** \_\_\_\_\_  
Date: \_\_\_\_\_

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**Revisions:**

03/22/16 SD Change site plan, add cd sign, h/c sign
04/04/16 SD Change site plan, change nylon and monument, Remove option
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**Drawing Number**  
**27072**  
R6E  
Page 5 of 10



Agenda Item #8.b.

**Specifications:**

CABINETS: FABRICATED .080 ALUMINUM 8" DEEP, WITH ALUMINUM ANGLE FRAME CABINET PAINTED MATTE BLACK.

FACES: ALUMINUM PAN FACE WITH WHITE #7328 ACRYLIC WITH APPLIED FIRST SURFACE 3M RED #3632-53 TRANSLUCENT VINYL BACKED UP

POST: 2"X2" SQUARE STEEL TUBE POLE WITH .080 BREAK FORMED POLE COVER PAINTED MATTE BLACK.

ILLUMINATION: INTERNAL F30T8 CW/HO FLUORESCENT LAMPS

SWITCH: ELECTRICAL TOGGLE DISCONNECT SWITCH WITH BOOT

**NOTE:** TRY TO KEEP DIRECTIONALS 5'-0" FROM CURBS WHEREVER POSSIBLE TO INSURE VEHICLES WILL NOT HIT THEM.

ALL COMPONENTS TO BE U.L. APPROVED



**E** NEW D/F ILLUM. DIRECTIONAL SIGN



**F** NEW D/F ILLUM. DIRECTIONAL SIGN

**CHICK-FIL-A - NEW D/F ILLUMINATED DIRECTIONAL SIGNS**

SCALE: 3/4" = 1'-0"

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Packet Pg. 242



**National Sign & MARKETING CORPORATION**  
 13580 5th St., Chino, CA 91710  
 Tel 909.591.4742 Fax 909.591.9792  
 e-mail : sales @nsmc.com  
 Lic# 745030 - Exp. 01/31/18

**Project:** Chick-Fil-A  
**Address:** SWC Sierra College & I-80, Rocklin, CA  
**Phone:** \_\_\_\_\_ **Account Mgr.:** S. Rosenbloom  
**Designer:** Duffy, S. **Scale:** Noted **Date:** 01/24/2016

**Client Approval:** \_\_\_\_\_  
 \_\_\_\_\_  
**Date:** \_\_\_\_\_

This sign intended to be in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of this sign.

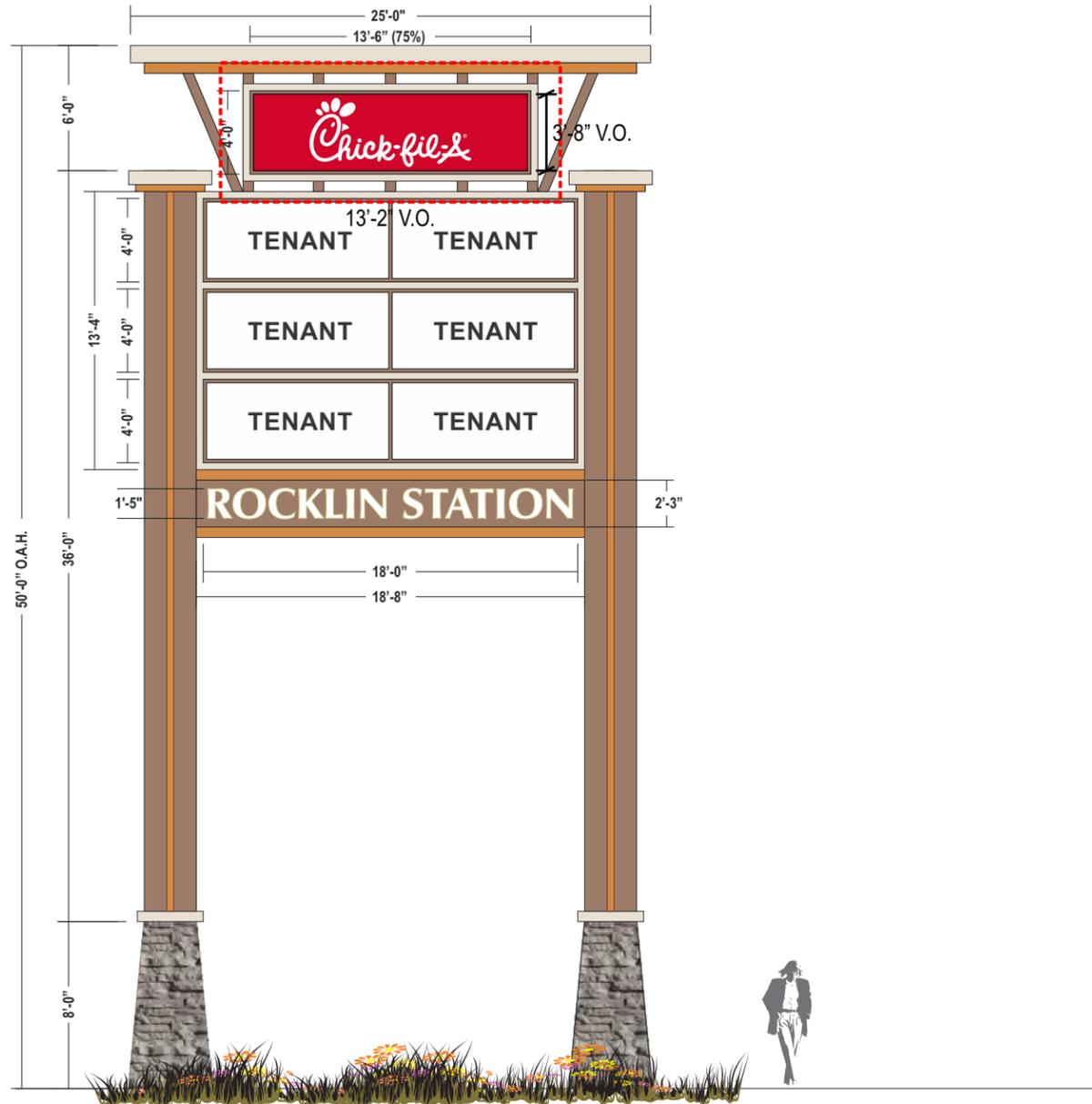
**Revisions:**

03/22/16 SD Change site plan, add cd sign, his sign
04/04/16 SD Change site plan, change nylon and monument, Remove option
06/01/16 SD Change canopy to dark bronze and update vinyl
07/20/16 MYO Removed logo from directional
08/10/16 SD Change site plan, elevation, Remove Ped signs, Clearance arm, HC Sign

**Drawing Number**  
**27072**  
 R6E  
 Page 6 of 10



Agenda Item #8.b.



**Specifications:**

CABINET: EXISTING D/F CABINET.  
 FACES: 3/16" POLYCARBONATE WITH TRANSLUCENT VINYL APPLIED FIRST SURFACE.  
 ILLUMINATION: EXISTING.  
**ALL WIRING & COMPONENTS TO MEET U.L. STANDARDS**

- ARLON RED 2500-253 / 3M RED 3632-53
- WHITE

**G** REFACE D/F ILLUM. PYLON TENANT PANEL

**CHICK-FIL-A - REFACE D/F ILLUMINATED PYLON SIGN**

SCALE: 1/8" = 1'-0"

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**Designer:** Duffy, S. **Scale:** Noted **Date:** 01/24/2016

**Client Approval:** \_\_\_\_\_  
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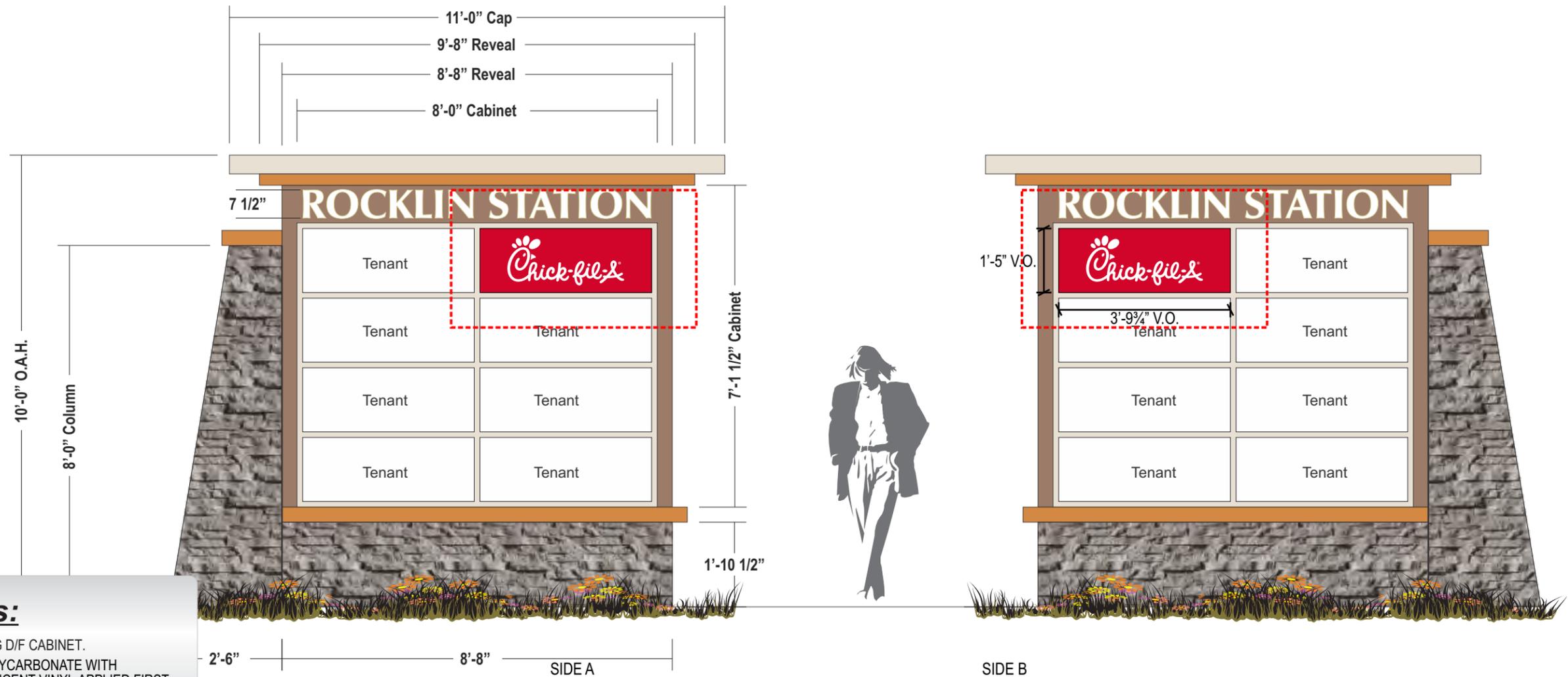
**Revisions:**

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**Drawing Number**  
**27072**  
 R6E  
**Page 7 of 10**



Agenda Item #8.b.



**Specifications:**

CABINET: EXISTING D/F CABINET.  
 FACES: 3/16" POLYCARBONATE WITH TRANSLUCENT VINYL APPLIED FIRST SURFACE.  
 ILLUMINATION: EXISTING.  
**ALL WIRING & COMPONENTS TO MEET U.L. STANDARDS**

ARLON RED 2500-253 / 3M RED 3632-53  
 WHITE

**CHICK-FIL-A - REFACE D/F ILLUMINATED MONUMENT SIGN**

SCALE: 3/8" = 1'-0"

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**Project:** Chick-Fil-A  
**Address:** SWC Sierra College & I-80, Rocklin, CA  
**Phone:** \_\_\_\_\_ **Account Mgr.:** S. Rosenbloom  
**Designer:** Duffy, S. **Scale:** Noted **Date:** 01/24/2016

**Client Approval:** \_\_\_\_\_  
 Date: \_\_\_\_\_

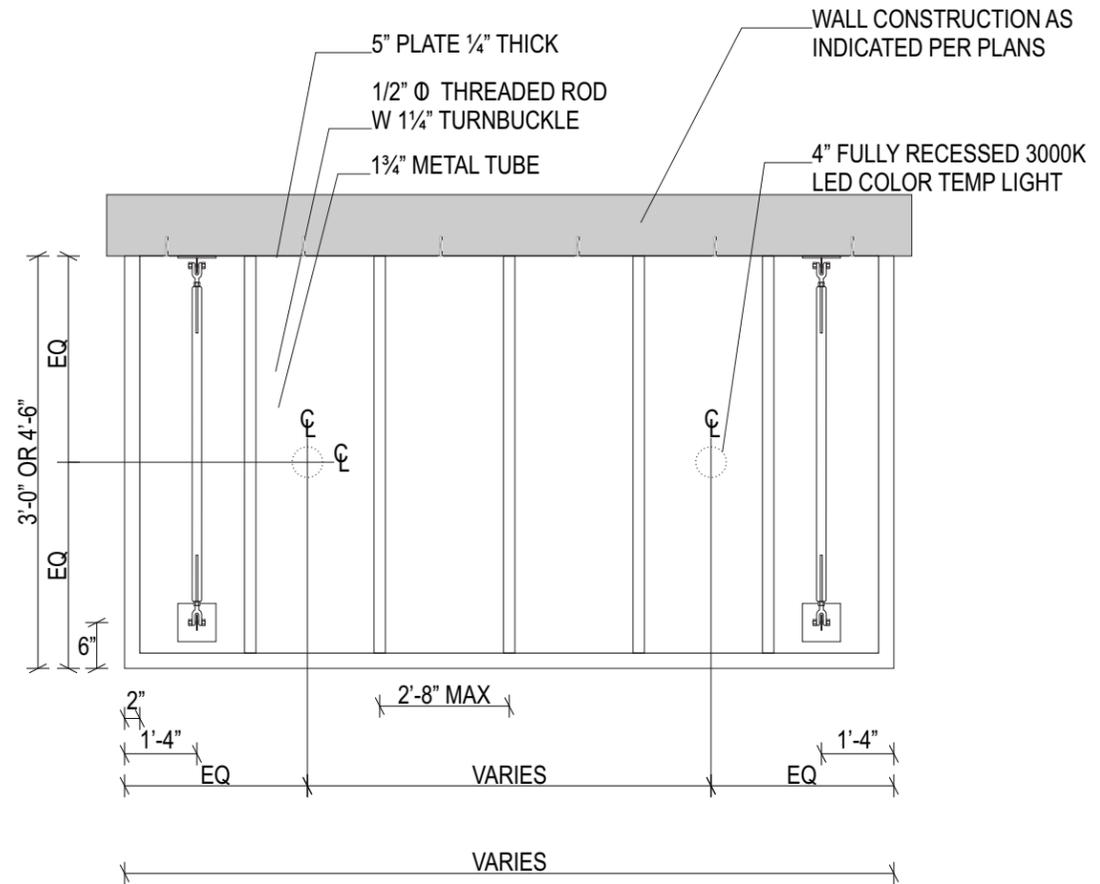
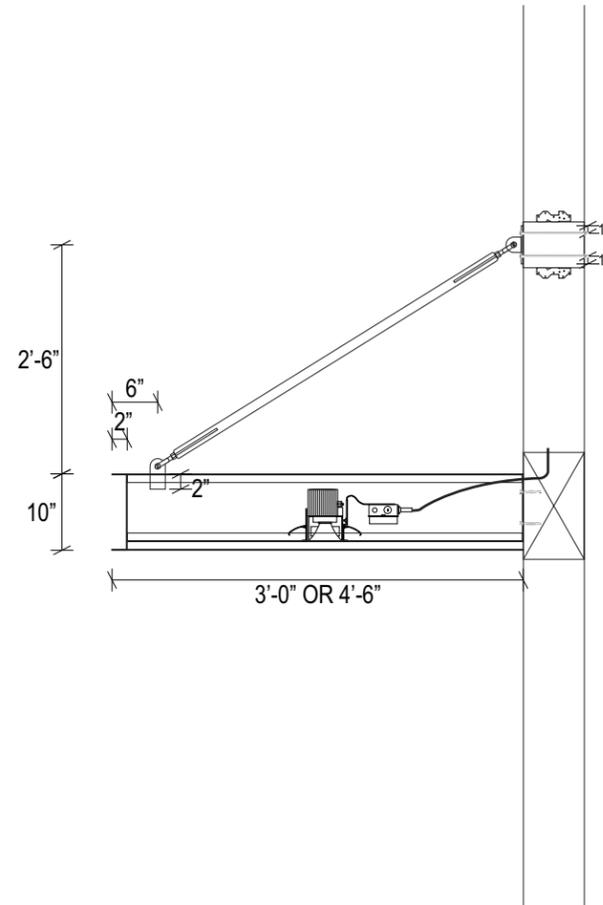
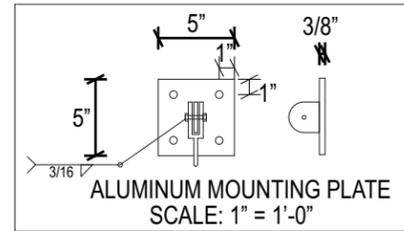
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**Drawing Number**  
**27072**  
 R6E  
 Page 8 of 10



G.C TO SUPPLY  
PRIMARY POWER SOURCE  
ALL COMPONENTS  
TO BE  
U.L. LISTED & APPROVED



**C1** NEW CANOPY ±9'-0" X 4'-6"

**New Covered Illum. Aluminum Canopy**

SCALE: 1/2" = 1'



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Agenda Item #8.b.



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 13580 5th St., Chino, CA 91710  
 Tel 909.591.4742 Fax 909.591.9792  
 e-mail : sales@nsmc.com  
 Lic# 745030 - Exp. 01/31/18

**Project:** Chick-Fil-A  
**Address:** SWC Sierra College & I-80, Rocklin, CA  
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**Designer:** Duffy, S. **Scale:** Noted **Date:** 01/24/2016

**Client Approval:** \_\_\_\_\_  
 \_\_\_\_\_  
**Date:** \_\_\_\_\_

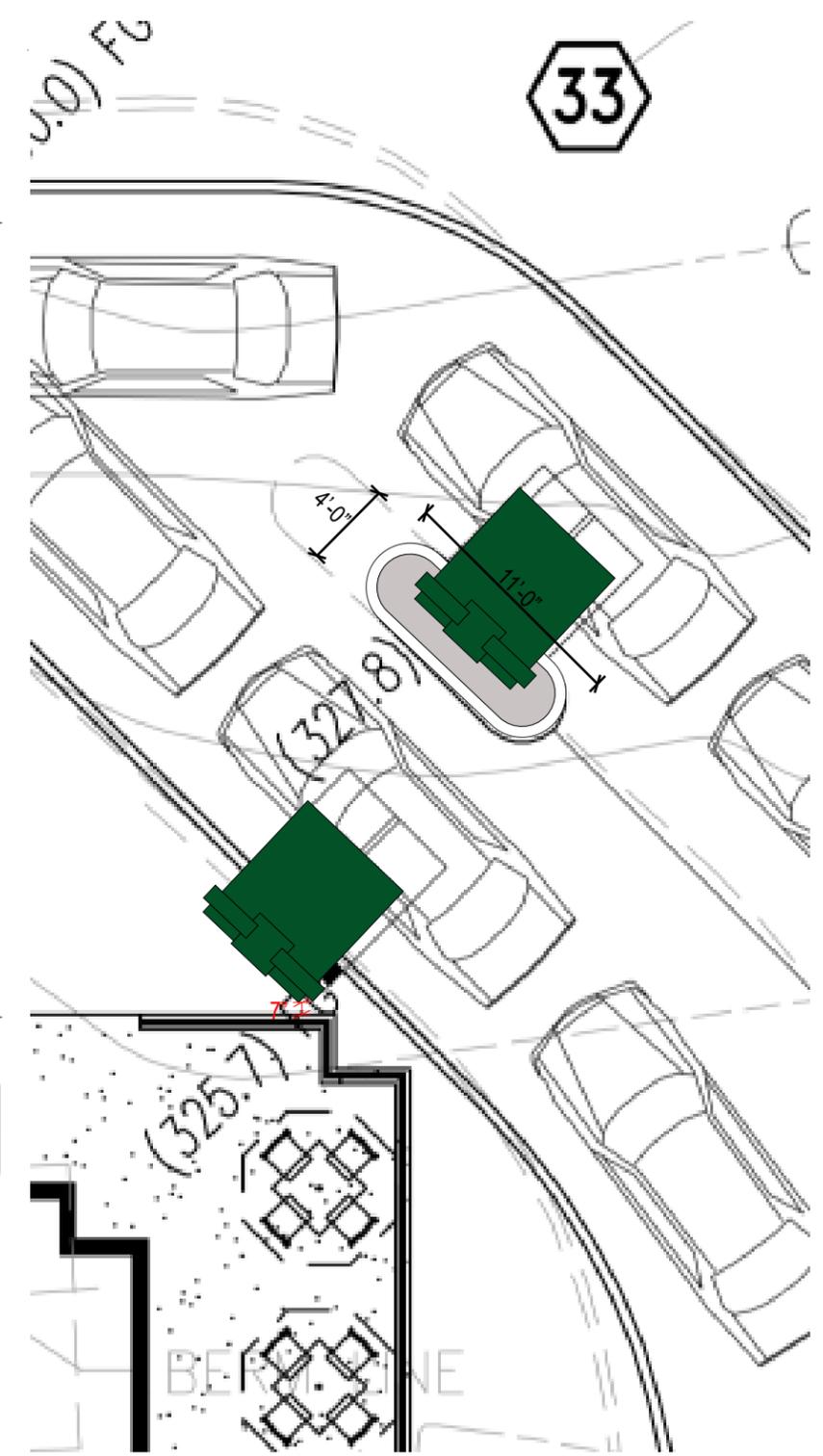
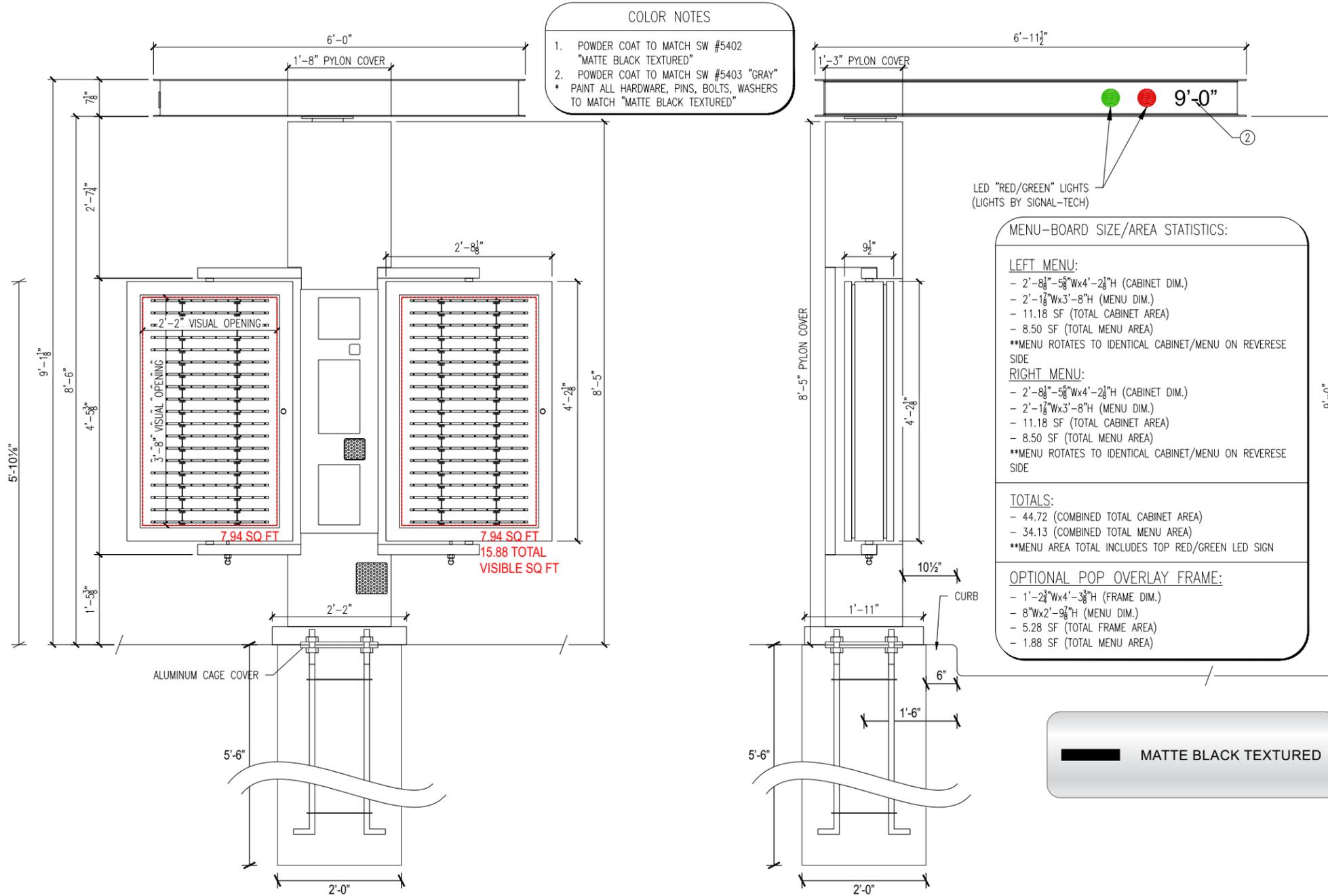
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**Drawing Number**  
**27072**  
 R6E  
 Page 9 of 10



# FOOTINGS BY OTHERS, FINAL SETTING BY NSMC



1 2 DRIVE-THRU CANOPY

## DRIVE THRU CANOPY WITH MENU BOARD (TO BE FABRICATED BY OTHERS)

SCALE: 1/2" = 1'-0"

NOTE: ALL WORK TO COMPLY WITH 2013 CALIFORNIA ELECTRICAL CODE (CEC)

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 13580 5th St., Chino, CA 91710  
 Tel 909.591.4742 Fax 909.591.9792  
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 Lic# 745030 - Exp. 01/31/18

**Project:** Chick-Fil-A  
**Address:** SWC Sierra College & I-80, Rocklin, CA  
**Phone:** \_\_\_\_\_ **Account Mgr.:** S. Rosenbloom  
**Designer:** Duffy, S. **Scale:** Noted **Date:** 01/24/2016

**Client Approval:** \_\_\_\_\_  
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**Date:** \_\_\_\_\_

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**Drawing Number**  
**27072**  
 R6E  
 Page 10 of 10



Agenda Item #8.b.

CLIENT



PROJECT  
DEL TACO #XXXX

LOCATION  
SIERRA COLLEGE BLVD/ IH  
ROCKLIN, CA 95677

SHEET TITLE  
**SITE PLAN**

ACCT. REP.  
JENNIFER GALVIN

DESIGNER  
GERALD MCCLUNG

DATE  
03/16/16

SCALE  
NOTED

CUSTOMER APPROVAL

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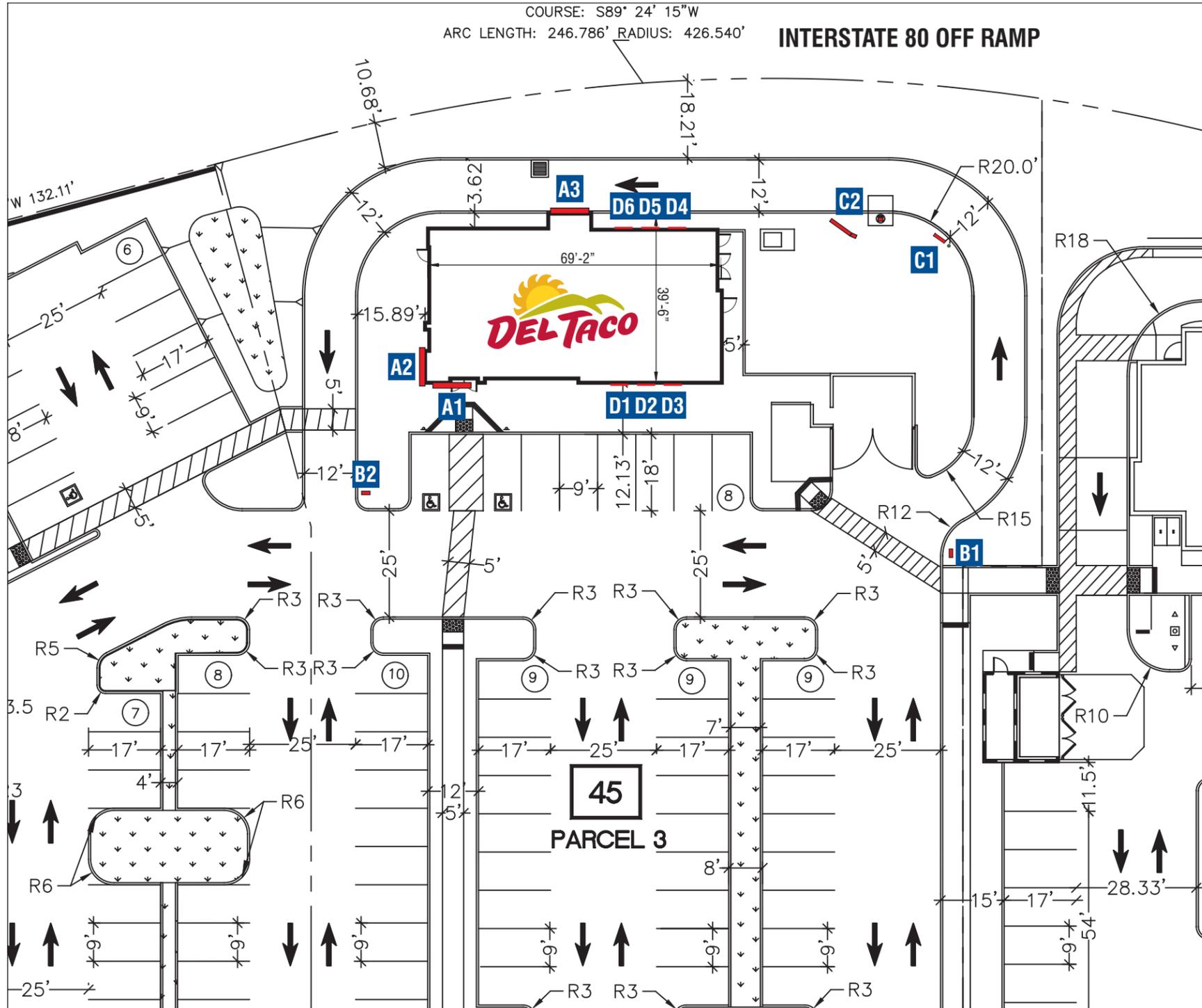
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DWG#	16-244	PROJECT #	318823
REVISION NO.	2	WO#	

REVISIONS			
NO.	DATE	BY	DESCRIPTION
1	03/31/16	GMc	7 00/00/00
2	08/08/16	JR	8
3			9
4			10
5			11
6			12

KEY NO.



**KEY**

- A1** S/F INTERNALLY ILLUMINATED 4'-6 3/4" X 9'-0 1/2" WALL SIGN (40.0 SQ. FT.) 'DEL TACO'
- A2** S/F INTERNALLY ILLUMINATED 4'-6 3/4" X 9'-0 1/2" WALL SIGN (40.0 SQ. FT.) 'DEL TACO'
- A3** S/F INTERNALLY ILLUMINATED 4'-6 3/4" X 9'-0 1/2" WALL SIGN (40.0 SQ. FT.) 'DEL TACO'
  
- B1** INTERNALLY ILLUMINATED DIRECTIONAL SIGN. 1'-6" X 3'-1 3/8" CABINET. ("DRIVE-THRU").
- B2** INTERNALLY ILLUMINATED DIRECTIONAL SIGN. 1'-6" X 3'-1 3/8" CABINET. ("THANK YOU/DO NOT ENTER").
  
- C1** INTERNALLY ILLUMINATED PREVIEW MENU
- C2** INTERNALLY ILLUMINATED SPEAKER MENU
  
- D1** S/F 4'-0" X 4'-0" GRAPHIC PANEL
- D2** S/F 4'-0" X 4'-0" GRAPHIC PANEL
- D3** S/F 4'-0" X 4'-0" GRAPHIC PANEL
- D4** S/F 4'-0" X 4'-0" GRAPHIC PANEL
- D5** S/F 4'-0" X 4'-0" GRAPHIC PANEL
- D6** S/F 4'-0" X 4'-0" GRAPHIC PANEL



**SITE PLAN**

SCALE: 1" = 30'-0"

**CUSTOMER APPROVAL**

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_



SIGNS & GRAPHICS

4530 Mission Gorge Place  
San Diego, CA 92120  
Tel: 619.283.2191  
Fax: 619.283.9503  
Web: www.cnpsigns.com

CLIENT



PROJECT  
DEL TACO #XXXX

LOCATION  
SIERRA COLLEGE BLVD/ IH  
ROCKLIN, CA 95677

SHEET TITLE  
SITE PLAN

ACCT. REP.  
JENNIFER GALVIN

DESIGNER  
GERALD MCCLUNG

DATE  
03/16/16

SCALE  
NOTED

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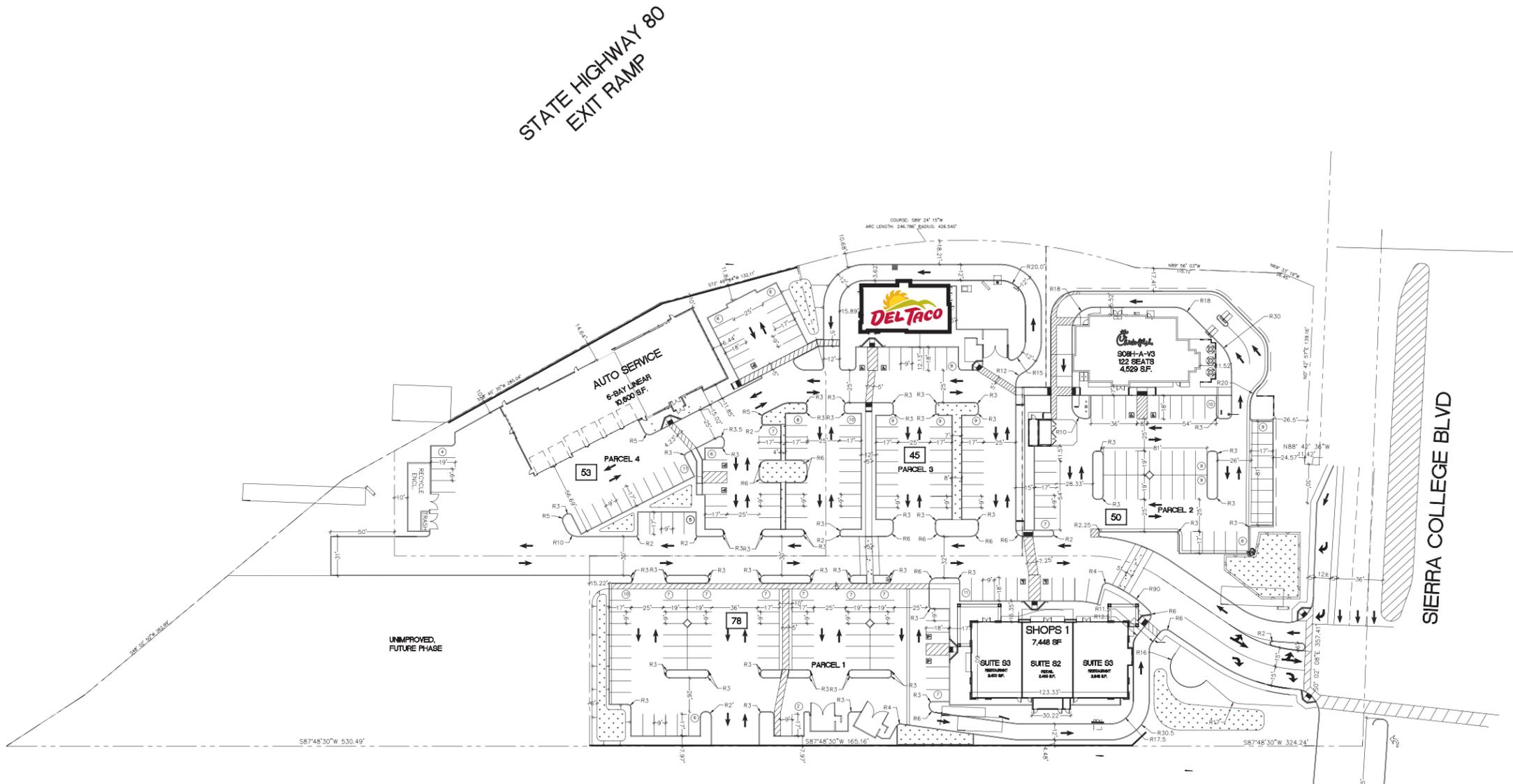
DWG#	16-244	PROJECT #	318823
REVISION NO.	2	WO#	

REVISIONS				
NO.	DATE	BY	REVISION	DATE
1	03/31/16	GMc	7	00/00/00
2	08/08/16	JR	8	
3			9	
4			10	
5			11	
6			12	

KEY NO.

CUSTOMER APPROVAL

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_



SITE PLAN

SCALE: 1" = 100'-0"

CLIENT



PROJECT  
DEL TACO #XXXX

LOCATION  
SIERRA COLLEGE BLVD/ IH  
ROCKLIN, CA 95677

SHEET TITLE  
**ELEVATIONS**

ACCT. REP.  
JENNIFER GALVIN  
DESIGNER  
GERALD MCCLUNG

DATE  
03/16/16  
SCALE  
NOTED

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2	08/08/16	JR	8
3			9
4			10
5			11
6			12

KEY NO.  
**A1 A2 D1 D2 D3**

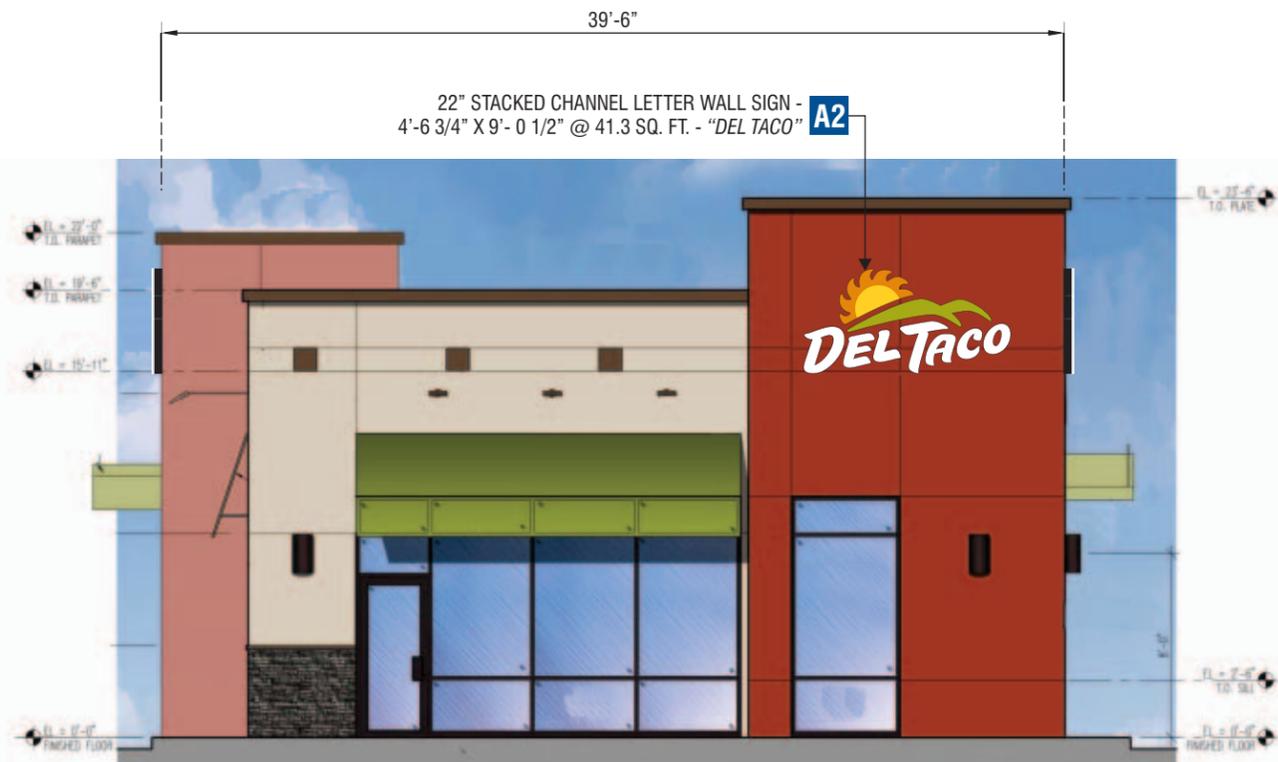
**3** of **9**

Agenda Item #8.b.



**SOUTH/RIGHT ELEVATION**

SCALE: 1/8" = 1'-0"



**WEST/FRONT ELEVATION**

SCALE: 1/8" = 1'-0"

**CUSTOMER APPROVAL**

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

CLIENT



PROJECT  
DEL TACO #XXXX

LOCATION  
SIERRA COLLEGE BLVD/ IH  
ROCKLIN, CA 95677

SHEET TITLE  
**ELEVATIONS**

ACCT. REP.  
JENNIFER GALVIN  
DESIGNER  
GERALD MCCLUNG

DATE  
03/16/16  
SCALE  
NOTED

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6			12

KEY NO.  
**A3 D4 D5 D6**

**4** of **9**

Agenda Item #8.b.



**NORTH/LEFT ELEVATION**

SCALE: 1/8" = 1'-0"

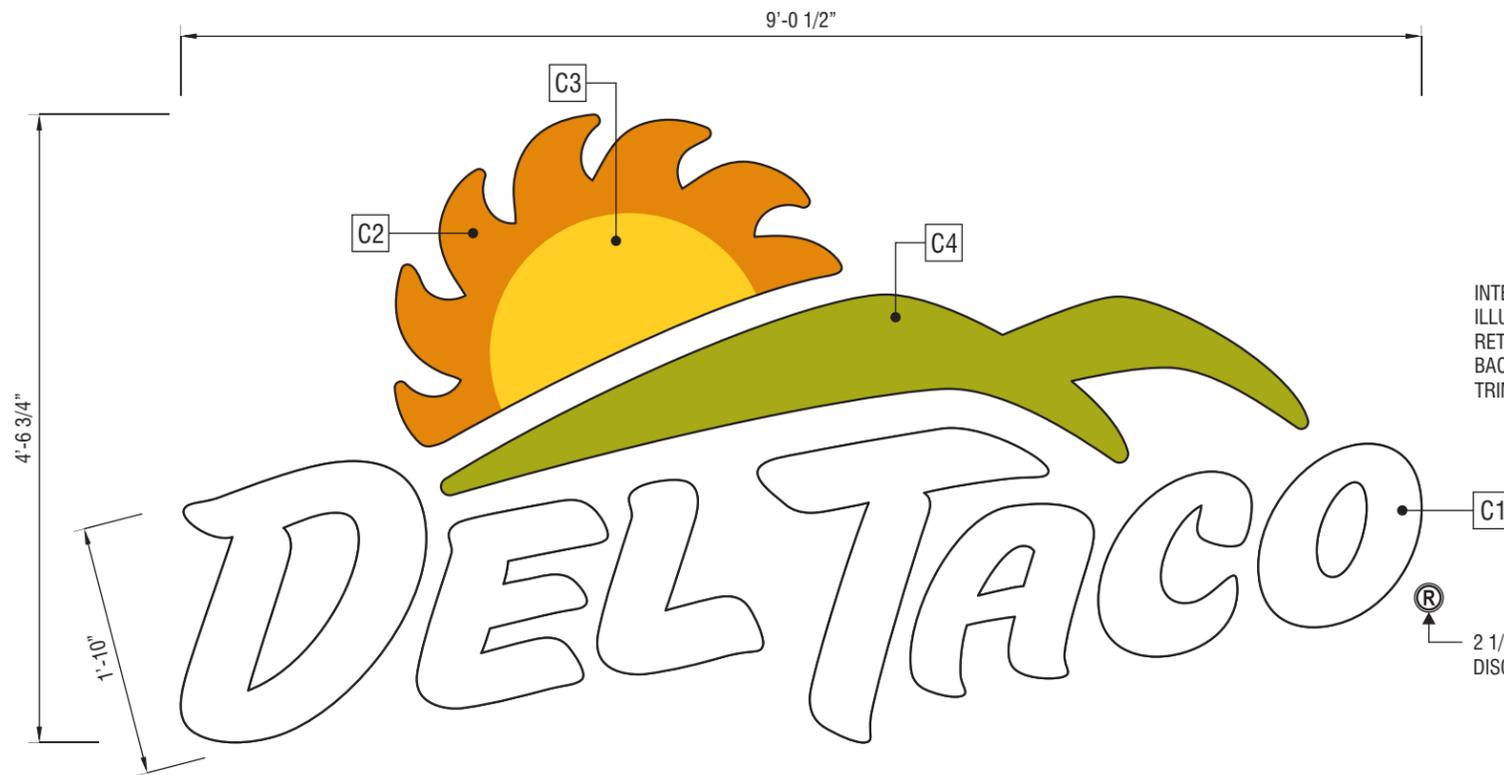


**EAST/REAR ELEVATION**

SCALE: 1/8" = 1'-0"

**CUSTOMER APPROVAL**

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_



**ELEVATION VIEW**



**SIDE VIEW**

COLOR SPECIFICATIONS	
APPROVED VINYL COLORS	
C1	White Acrylic (7328)
C2	Arlon Series 2500-3820 - Custom to match PMS 144C
C3	3M 3630-015 "Yellow" Translucent Vinyl
C4	Arlon Series 2500-3819 - Custom to match PMS 383C
C5	Paint Black w/ Gloss Finish

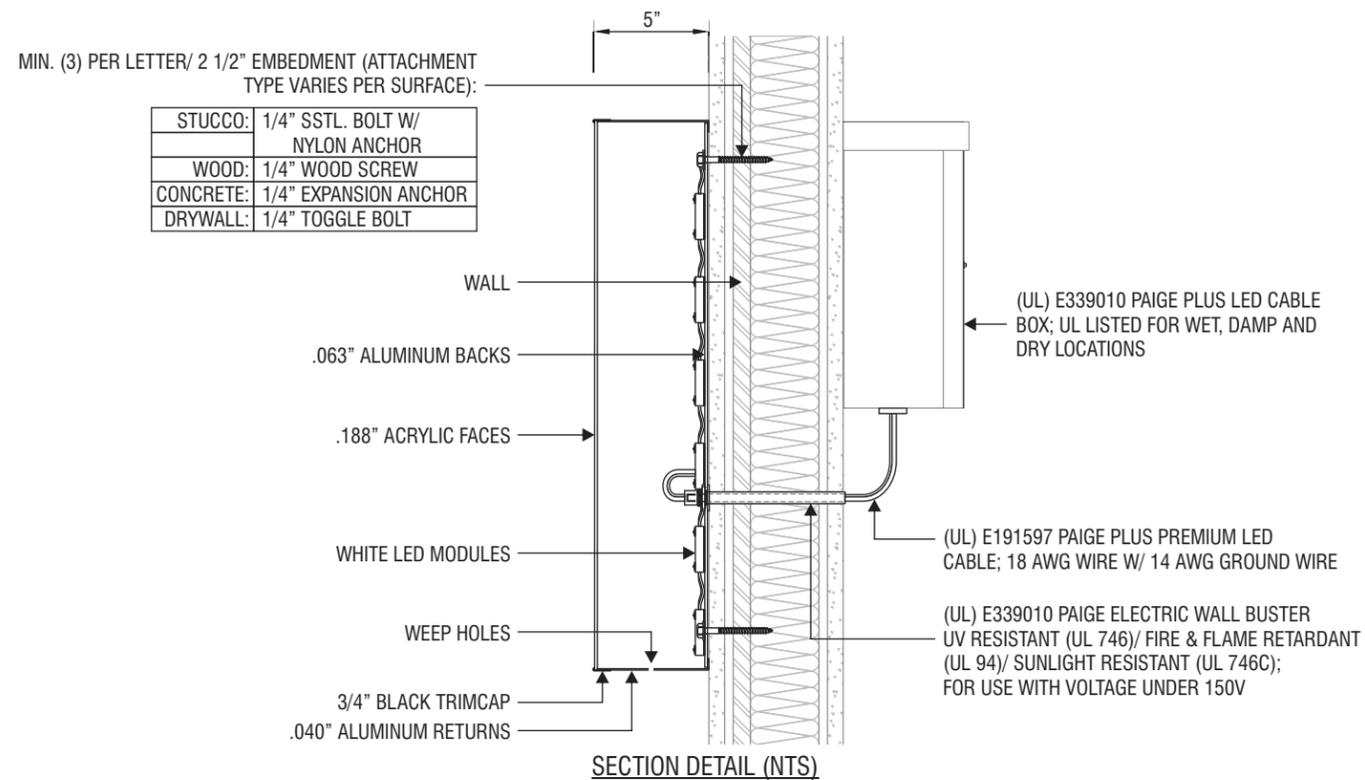
PRIMARY ELECTRICAL 120 V  
SIGN TO BE UL LISTED (W/ DISCONNECT SWITCH AS REQUIRED)

INTERNALLY ILLUMINATED CHANNEL LETTERS  
ILLUMINATION: LED  
RETURNS: .040" ALUMINUM (GLOSS BLACK)  
BACKS: .063" ALUMINUM  
TRIMCAP: 3/4" BLACK

2 1/2" REGISTRATION DISC W/ BLACK VINYL

**22" DEL TACO CHANNEL LETTER LAYOUT (40.0 SQ. FT.)**

SCALE: 3/4" = 1'-0"



**SECTION DETAIL (NTS)**



4530 Mission Gorge Place  
San Diego, CA 92120  
Tel: 619.283.2191  
Fax: 619.283.9503  
Web: www.cnpsigns.com

CLIENT



PROJECT  
DEL TACO #XXXX

LOCATION  
SIERRA COLLEGE BLVD/ IH  
ROCKLIN, CA 95677

SHEET TITLE  
**WALL SIGNS**

ACCT. REP.  
JENNIFER GALVIN  
DESIGNER  
GERALD MCCLUNG

DATE  
03/16/16  
SCALE  
NOTED

CUSTOMER APPROVAL

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3			9
4			10
5			11
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KEY NO.

A1 A2 A3

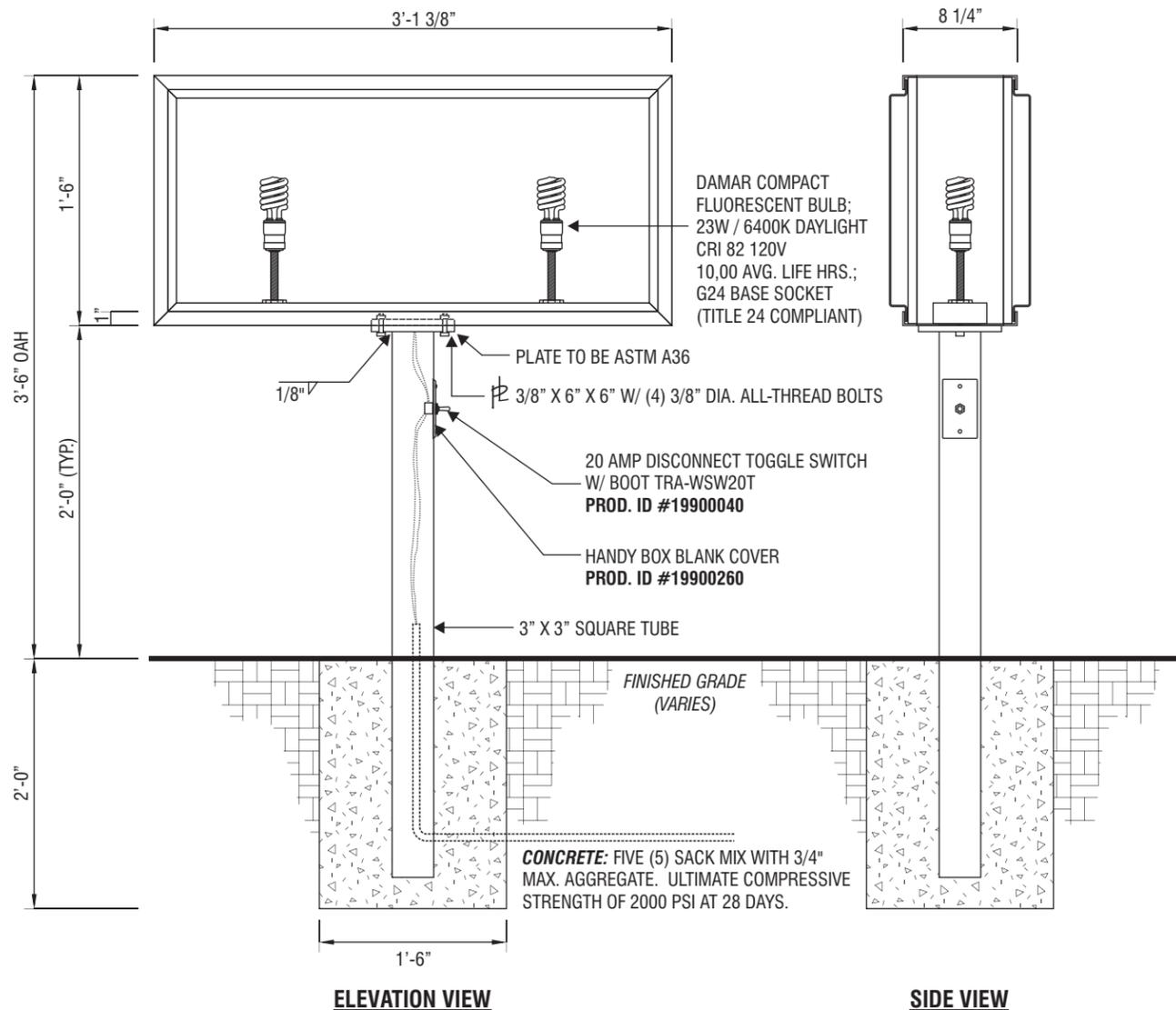
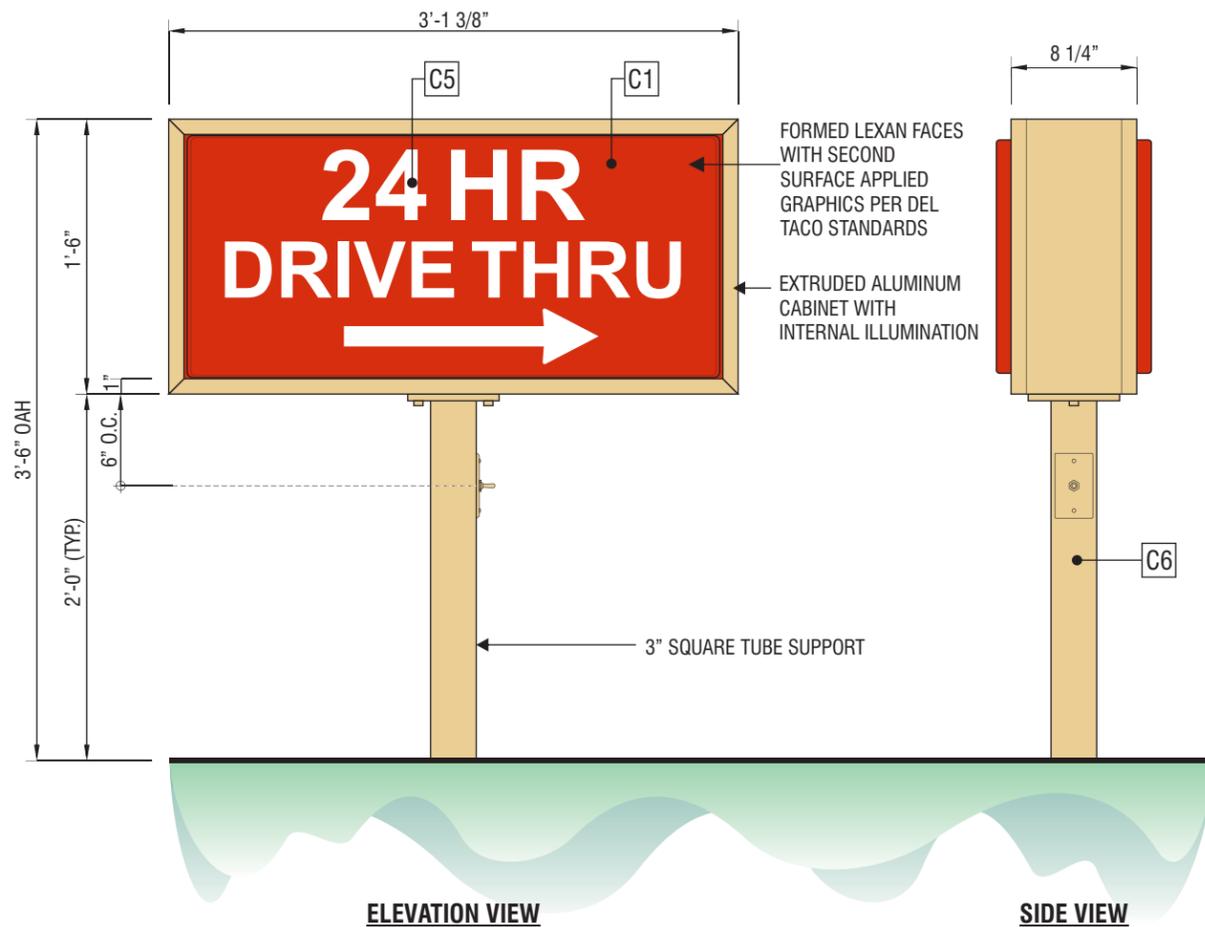
**CUSTOMER APPROVAL**

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_



COLOR SPECIFICATIONS	
APPROVED VINYL COLORS	
C1	Lacryl to Match PMS 485C
C2	Arlon Series 2500-3820 - Custom to match PMS 144C
C3	3M 3630-015 "Yellow" Translucent Vinyl
C4	Arlon Series 2500-3819 - Custom to match PMS 383C
C5	Backed with white (Paint)
C6	Paint SW 6380 "Humble Gold" with Satin Finish

NOTES: 120V POWER. SIGN TO BE UL LISTED WITH APPROVED DISCONNECT SWITCH. GROUNDING AND BONDING IN ACCORDANCE WITH ARTICLE 600 NEC.



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CLIENT  
DEL TACO #XXXX  
  
LOCATION  
SIERRA COLLEGE BLVD/ IH  
ROCKLIN, CA 95677

SHEET TITLE  
**DIRECTIONALS**  
  
ACCT. REP.  
JENNIFER GALVIN  
DESIGNER  
GERALD MCCLUNG  
DATE  
03/16/16  
SCALE  
NOTED

CUSTOMER APPROVAL

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4			10
5			11
6			12

KEY NO.  
**B1 B2**

**6** of **9**

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**D/F INTERNALLY ILLUMINATED DIRECTIONAL SIGN - 4.6 SQUARE FEET**  
SCALE: 1" = 1'-0"

**D/F INTERNALLY ILLUMINATED DIRECTIONAL SIGN STRUCTURAL DETAIL**  
SCALE: 1" = 1'-0"

Agenda Item #8.b.

CLIENT



PROJECT  
DEL TACO #XXXX

LOCATION  
SIERRA COLLEGE BLVD/ IH  
ROCKLIN, CA 95677

SHEET TITLE  
**PREVIEW MENU**

ACCT. REP  
JENNIFER GALVIN  
DESIGNER  
GERALD MCCLUNG

DATE  
03/16/16  
SCALE  
NOTED

**CUSTOMER APPROVAL**

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DWG#	16-244	PROJECT #	318823
REVISION NO.	2	WO#	

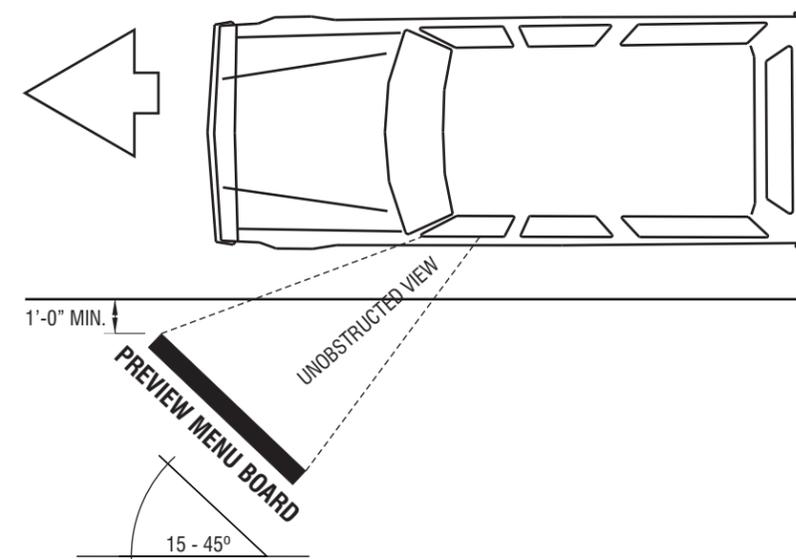
REVISIONS			
1	03/31/16	GMc	7
2	08/08/16	JR	8
3			9
4			10
5			11
6			12

KEY NO.



7 of 9

Agenda Item #8.b.



**PLAN VIEW @ PREVIEW MENU BOARD**

SCALE: 3/16" = 1'-0"

*NOTE: THE DIAGRAM ABOVE IS ALSO BASED OFF THE "STANDARD" LOCATION DEL TACO CORPORATE HAS PROVIDED TO CNP. IT IS THE GC'S RESPONSIBILITY TO COORDINATE WITH THE OWNER ON THE EXACT LOCATION. CNP WILL NOT BE HELD RESPONSIBLE FOR ANY REMOVALS, RE-POSITIONING AND RE-INSTALLATION. ALL REMOVALS, RE-POSITIONING AND RE-INSTALLATION WILL BE BILLED ON A T&M BASIS.*

**PREVIEW MENU BOARD**

THE PREVIEW MENU BOARD SHOULD BE ANGLED BETWEEN 15 AND 45 DEGREES FROM THE CURB FOR OPTIMAL VIEWING.

**DO'S & DON'TS:**

**DO** MAKE SURE THE CUSTOMER CAN VIEW THE PREVIEW MENU BOARD.  
**DON'T** LOCATE ANYTHING WITHIN 12" OF THE DRIVE-THRU LANE WITHOUT PROTECTING IT FROM MIRRORS.

**CUSTOMER APPROVAL**

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_



**INTERNALLY ILLUMINATED PREVIEW MENU**  
**ILLUMINATION:** WHITE SHORT VL PLUS 2  
 701269-7WSA2-MB  
**POWER SUPPLY:** AGILIGHT LED  
 PS12-60WSL-100-277V  
**CABINET & BASE:** ALUMINUM PAINTED SHERWIN WILLIAMS  
 SW6380 "HUMBLE GOLD" W/ SATIN FINISH

**INTERNALLY ILLUMINATED PREVIEW MENU DISPLAY**

SCALE: 3/4" = 1'-0"

Packet Pg. 253

CLIENT



PROJECT  
DEL TACO #XXXX

LOCATION  
SIERRA COLLEGE BLVD/ IH  
ROCKLIN, CA 95677

SHEET TITLE  
**MENU BOARD**

ACCT. REP  
JENNIFER GALVIN  
DESIGNER  
GERALD MCCLUNG

DATE  
03/16/16  
SCALE  
NOTED

**CUSTOMER APPROVAL**

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DWG#	16-244	PROJECT #	318823
REVISION NO.	2	WO#	

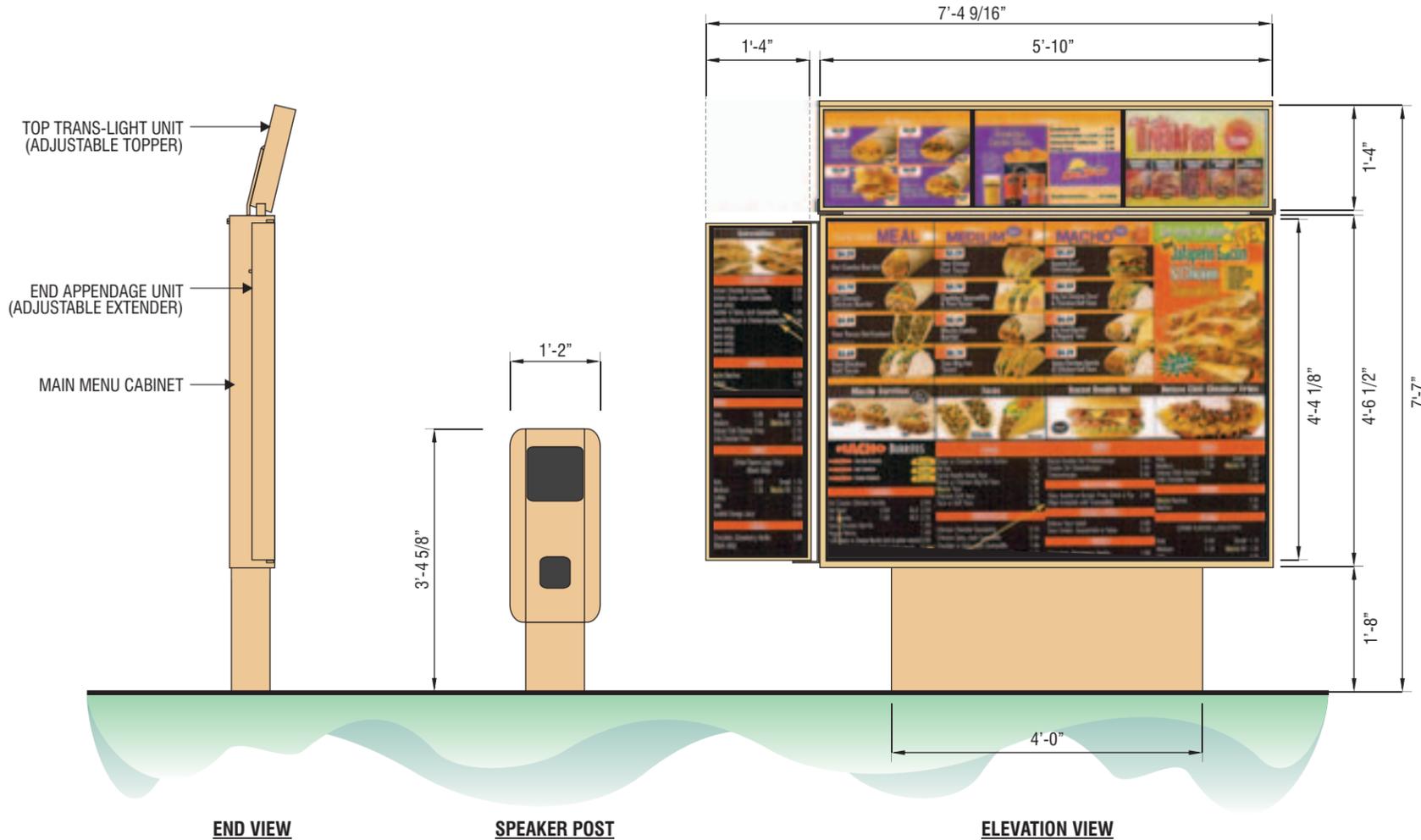
REVISIONS			
1	03/31/16	GMc	7
2	08/08/16	JR	8
3			9
4			10
5			11
6			12

KEY NO.



8 of 9

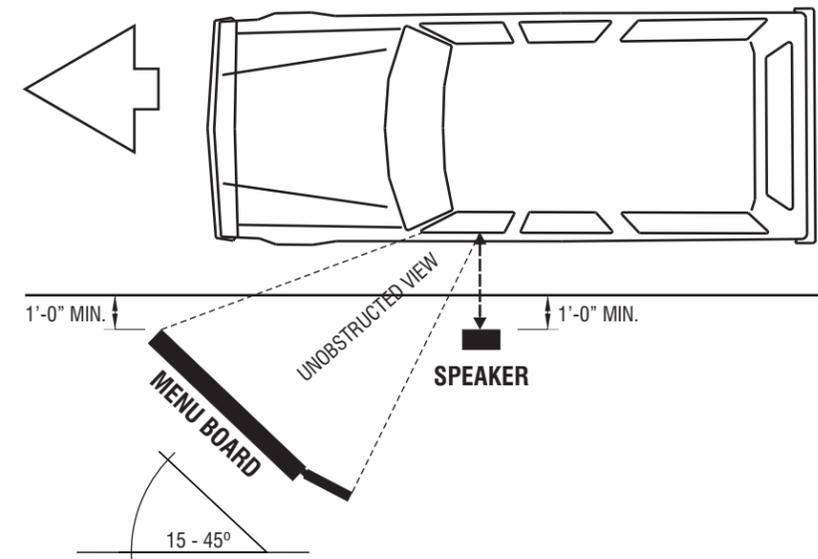
Agenda Item #8.b.



ALUMINUM CONSTRUCTION WITH INTERNAL FLUORESCENT ILLUMINATION. PAINTED SHERWIN WILLIAMS SW#6380 "HUMBLE GOLD" W/ SATIN FINISH MENU PANELS SHOWN ABOVE BASED ON A STANDARD INDIVIDUAL SIZE OF 14 7/16" x 24 1/4"; 40.25 SQUARE FEET.

**INTERNALLY ILLUMINATED MENU DISPLAY**

SCALE: 1/2" = 1'-0"



**NOTE:** THE DIAGRAM ABOVE IS ALSO BASED OFF THE "STANDARD" LOCATION DEL TACO CORPORATE HAS PROVIDED TO CNP. IT IS THE GC'S RESPONSIBILITY TO COORDINATE WITH THE OWNER ON THE EXACT LOCATION. CNP WILL NOT BE HELD RESPONSIBLE FOR ANY REMOVALS, RE-POSITIONING AND RE-INSTALLATION. ALL REMOVALS, RE-POSITIONING AND RE-INSTALLATION WILL BE BILLED ON A T&M BASIS.

**POSITION EVERYTHING FROM LOOP SENSOR.**

THE LOOP SENSOR SHOULD BE DIRECTLY IN FRONT OF THE OCB. THE OCB SHOULD BE PARALLEL TO THE DRIVE-THRU LANE 7 NOT BLOCK THE MENU BOARD. THE SPEAKER SHOULD BE AT LEAST 12" FROM THE CURB. THE BOLLARD SHOULD BE POSITIONED TO PREVENT DAMAGE FROM AUTOMOBILES.

**MENU BOARD**

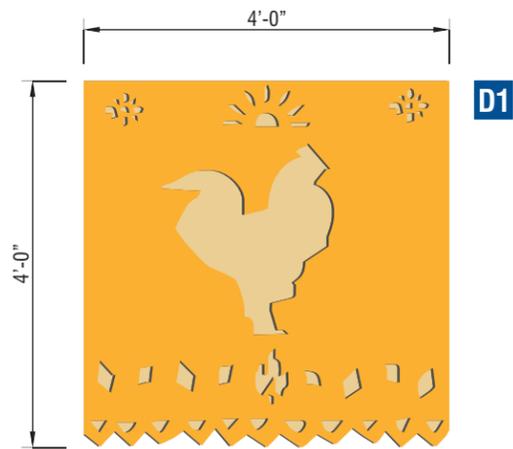
THE MENU BOARD SHOULD BE ANGLED BETWEEN 15 AND 45 DEGREES FROM THE CURB FOR OPTIMAL VIEWING. IF THE SPEAKER BLOCKS THE MENU BOARD, EITHER THE SPEAKER OR THE MENU BOARD WILL NEED TO BE MOVED. THE LOOP SENSOR MUST STAY IN FRONT OF THE SPEAKER. THE IDEAL DISTANCE FROM THE SPEAKER TO THE MENU BOARD IS 10 TO 15 FEET. THE EXTENDERS SHOULD BE AT LEAST 12" FROM THE CURB.

**DO'S & DON'TS:**

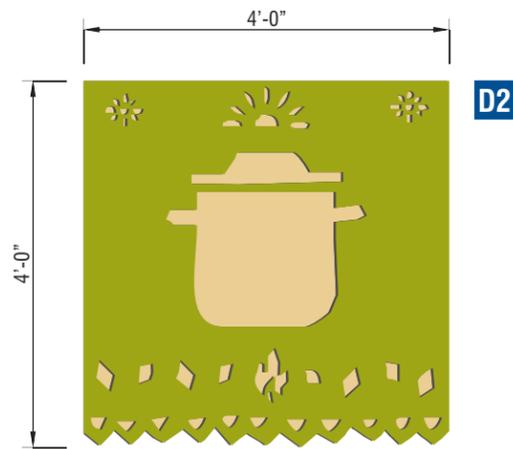
**DO** MAKE SURE THE CUSTOMER CAN VIEW BOTH THE MENU BOARD AND THE SPEAKER EASILY. **DON'T** LOCATE ANYTHING WITHIN 12" OF THE DRIVE-THRU LANE WITHOUT PROTECTING IT FROM MIRRORS.

**CUSTOMER APPROVAL**

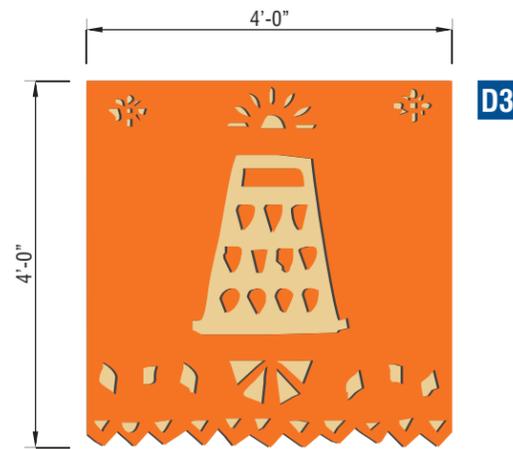
APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_



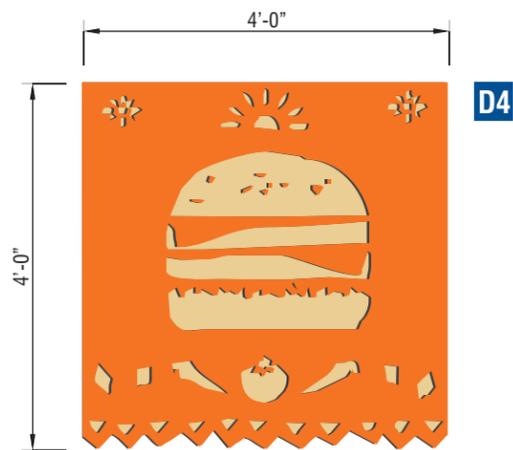
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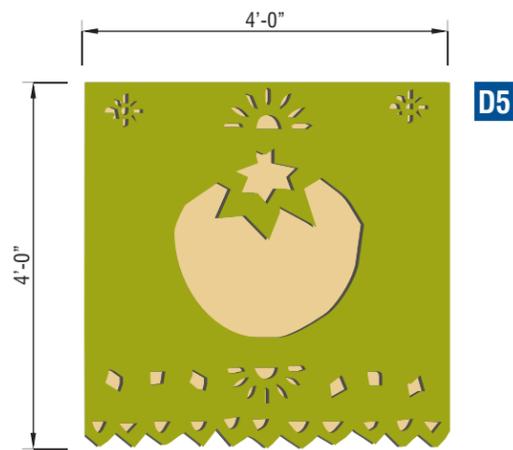
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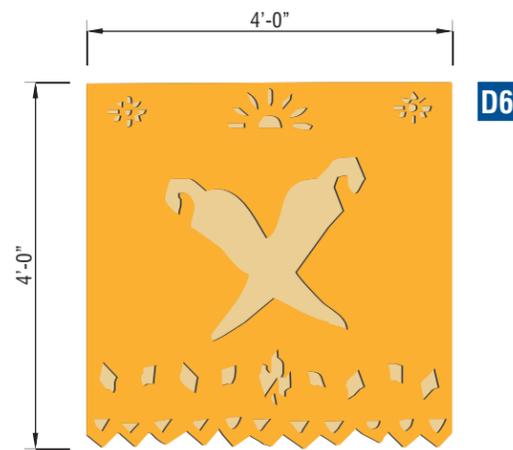
D3



D4



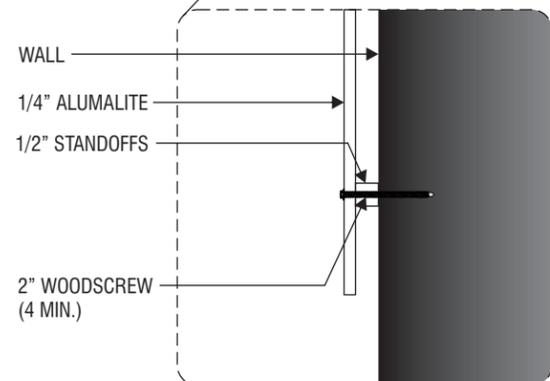
D5



D6



END VIEW



NOTE: SIGNS TO BE STOOD OFF OF BUILDING 1/2"; STANDOFFS PAINTED TO MATCH BUILDING.

CLIENT



PROJECT  
DEL TACO #XXXX

LOCATION  
SIERRA COLLEGE BLVD/ IH  
ROCKLIN, CA 95677

SHEET TITLE  
**GRAPHICS PANELS**

ACCT. REP.  
JENNIFER GALVIN  
DESIGNER  
GERALD MCCLUNG

DATE  
03/16/16  
SCALE  
NOTED

CUSTOMER APPROVAL

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DWG#	16-244	PROJECT #	318823
REVISION NO.	2	WO#	

REVISIONS			
1	03/31/16	GMc	7
2	08/08/16	JR	8
3			9
4			10
5			11
6			12

KEY NO.

**D1 D2 D3 D4 D5**



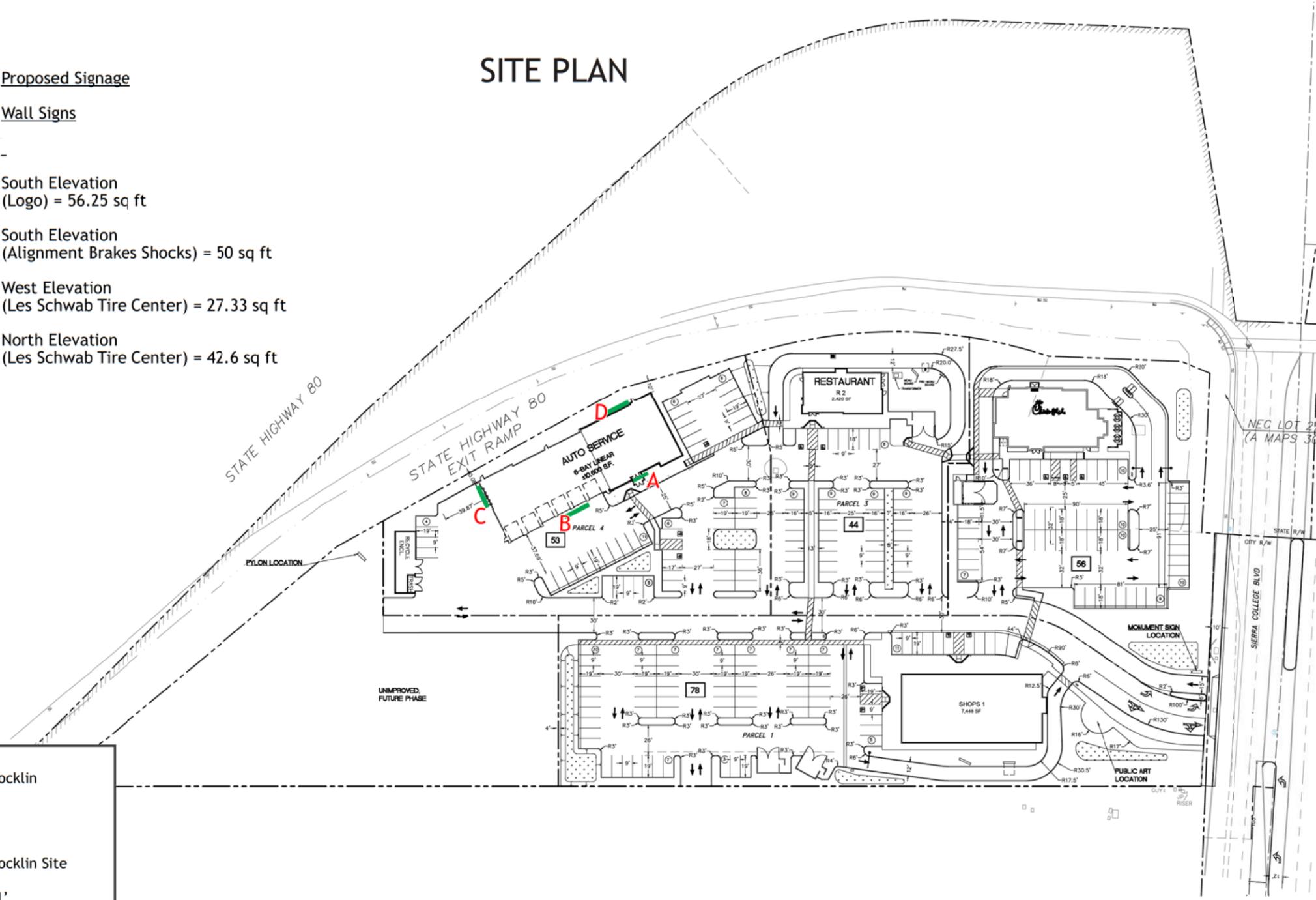


# SITE PLAN

## Proposed Signage

### Wall Signs

- 
- A South Elevation  
(Logo) = 56.25 sq ft
- B South Elevation  
(Alignment Brakes Shocks) = 50 sq ft
- C West Elevation  
(Les Schwab Tire Center) = 27.33 sq ft
- D North Elevation  
(Les Schwab Tire Center) = 42.6 sq ft



Location: LSTC CA Rocklin

Proj Mgr: Galloway

File Name: LSTC CA Rocklin Site

Scale: 1/128" = 1'

Dwg By: Darryl Cox

Date: 3/24/16

Rev. 3/25/16

Rev. 3/29/16

Rev. 7/19/16

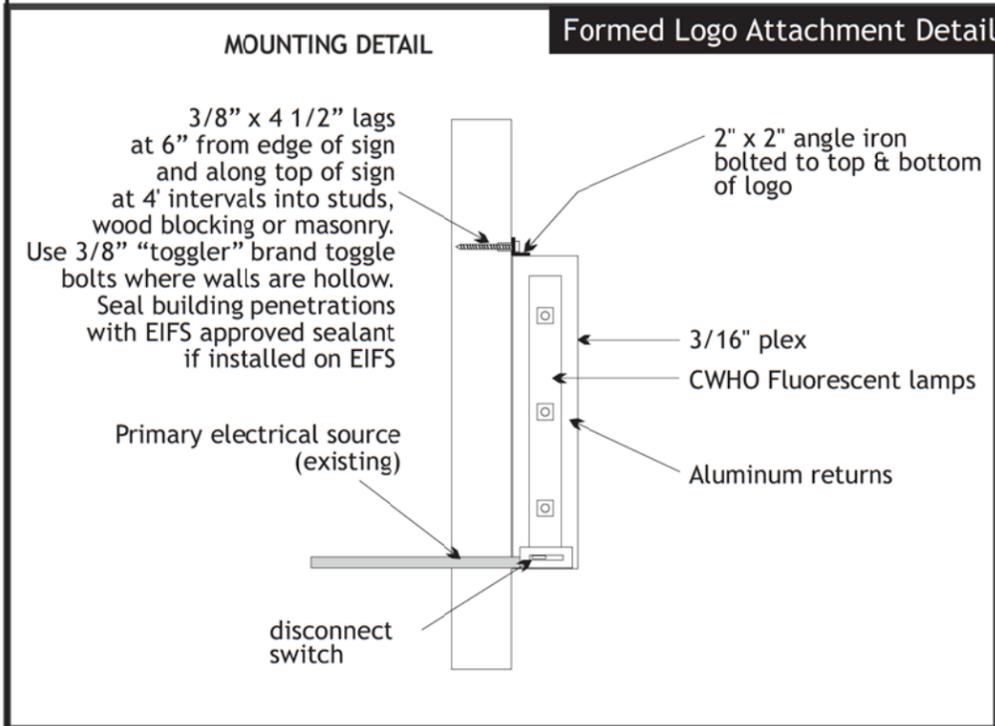
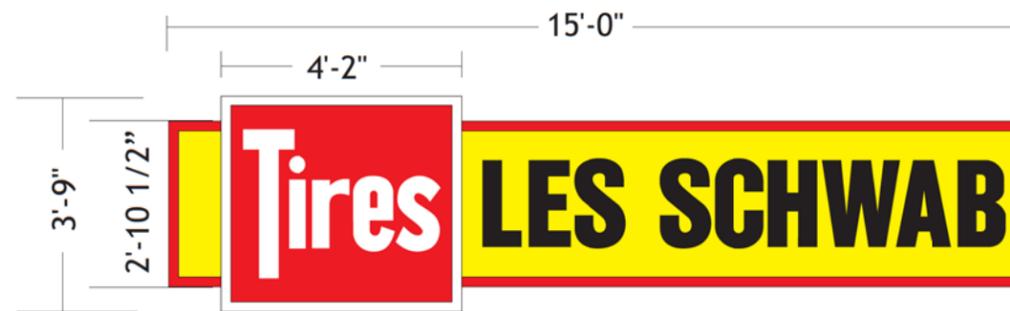
1605 NE Forbes Rd.  
Bend, Oregon 97709



PH (541) 382-2182  
FAX (541) 382-2196



SOUTH ELEVATION - SCALE: 1/32" = 1'-0"



Calculations:  
 Allowed Signage - 2 sq ft per lineal ft of bldg to 100 sq ft, 1 sq ft per ft thereafter  
 Allowed Signage - 170.66 sq ft  
 Proposed Signage - 56.25sf (logo) + 50 sf (Alignment Brakes Shocks) = 106.25 sf

6 amps  
 Location: LSTC CA Rocklin  
 Proj Mgr: Galloway  
 File Name: LSTC CA Rocklin Elevs  
 Scale: 1/4" = 1'  
 Dwg By: Darryl Cox  
 Date: 3/24/16  
 Rev. 3/25/16  
 Rev. 7/19/16

ELECTRICAL LOGO DETAIL		
ITEM	SUBSTRATE	COLOR SPECIFICATION
Returns	Steel	LS Red
Faces	3/16" acrylic	Acrylite 432 Yellow / White
Copy	Vinyl	3M High Performance Black 3M Cardinal 230-53

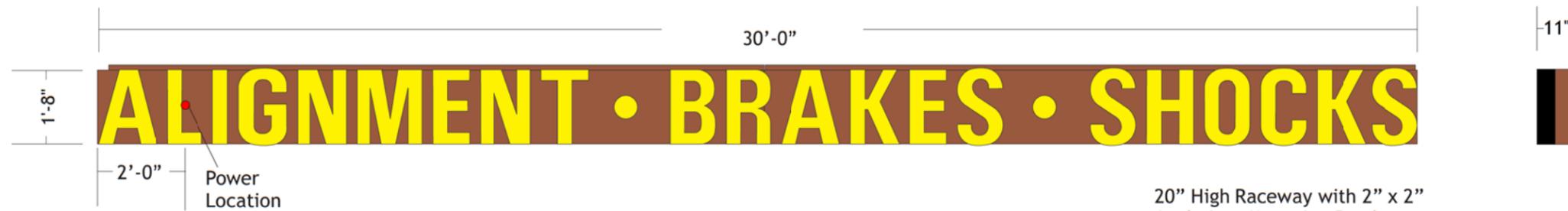
1605 NE Forbes Rd.  
 Bend, Oregon 97709



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 FAX (541) 382-2196



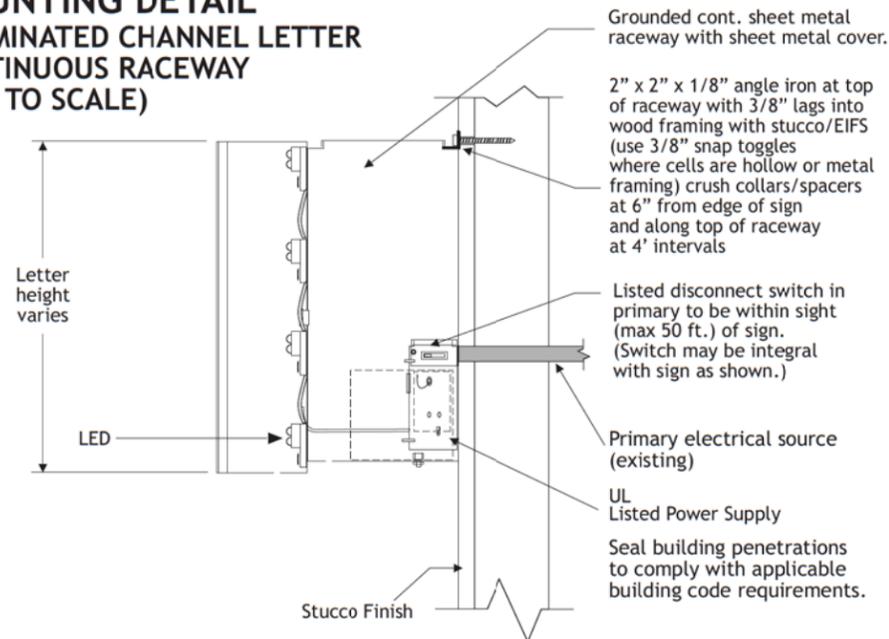
SOUTH ELEVATION - SCALE: 1/32" = 1'-0"



20" High Raceway with 2" x 2" Angle Iron Mounting Bracket  
Scale 1/4" = 1' - 50sq ft  
2 Amps

side view

**MOUNTING DETAIL**  
ILLUMINATED CHANNEL LETTER  
CONTINUOUS RACEWAY  
(NOT TO SCALE)



Calculations:  
Allowed Signage - 2 sq ft per lineal ft of bldg to 100 sq ft, 1 sq ft per ft thereafter  
Allowed Signage - 170.66 sq ft  
Proposed Signage - 56.25sf (logo) + 50 sf (Alignment Brakes Shocks) = 106.25 sf

**20" INDIVIDUAL CHANNEL LETTERS**

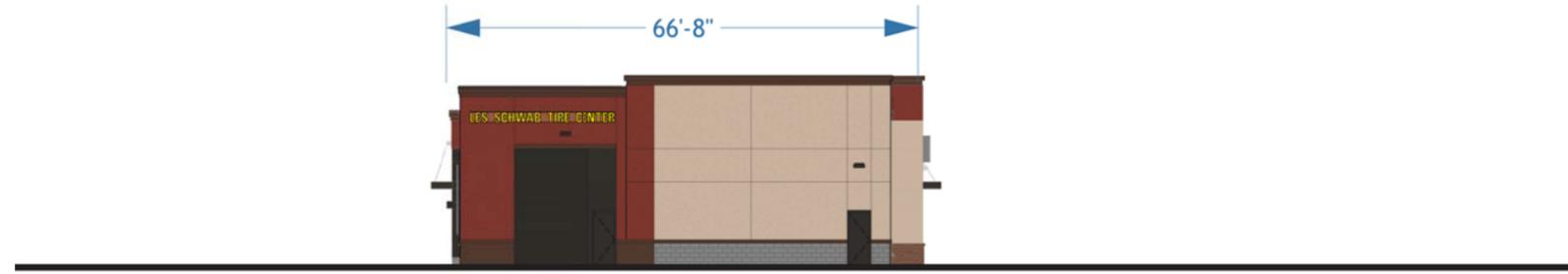
ITEM	SUBSTRATE	COLOR
Returns	.040 aluminum	Black
Trimcap	1"	Black
Faces	3/16" Acrylic	Acrylite 432-2 Yellow
Illumination	LED	White
Raceway	24 gauge galv. shtmtl.	MP 15967 Colonial Red

Location: LSTC CA Rocklin  
Proj Mgr: Galloway  
File Name: LSTC CA Rocklin Elevs  
Scale: 1/4" = 1'  
Dwg By: Darryl Cox  
Date: 3/24/16  
Rev. 3/25/16  
Rev. 7/19/16

1605 NE Forbes Rd.  
Bend, Oregon 97709



PH (541) 382-2182  
FAX (541) 382-2196



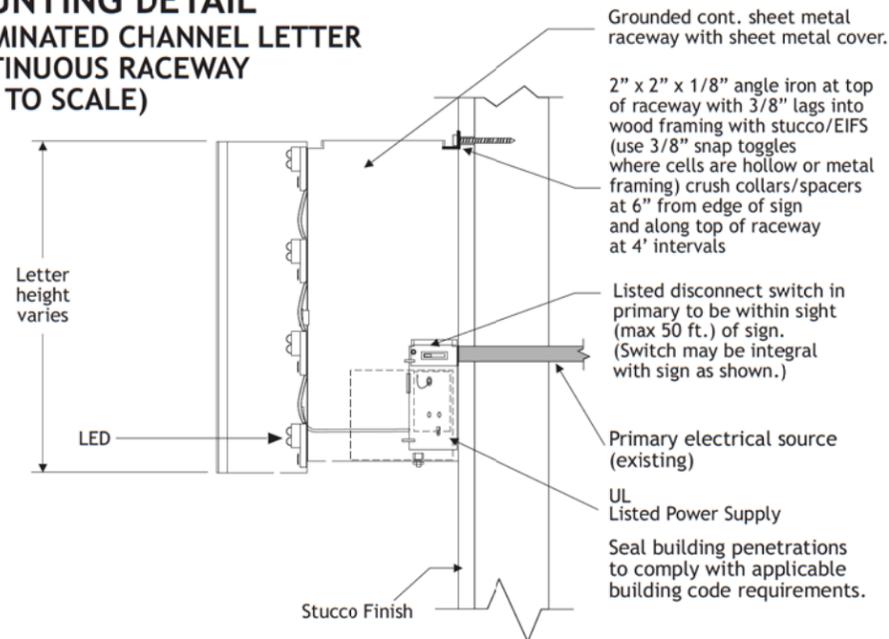
WEST ELEVATION - SCALE: 1/32" = 1'-0"



16" High Raceway with 2" x 2"  
Angle Iron Mounting Bracket  
Scale 1/4" = 1' = 27.33 sq ft

side view

**MOUNTING DETAIL  
ILLUMINATED CHANNEL LETTER  
CONTINUOUS RACEWAY  
(NOT TO SCALE)**



Calculations:  
Allowed Signage - 2 sq ft per lineal ft of bldg to 100 sq ft, 1 sq ft per ft thereafter  
Allowed Signage - 100 sq ft  
Proposed Signage - 27.33sf (Les Schwab Tire Center)

Location: LSTC CA Rocklin  
Proj Mgr: Galloway  
File Name: LSTC CA Rocklin Elevs  
Scale: 1/4" = 1'  
Dwg By: Darryl Cox  
Date: 3/24/16  
Rev. 3/25/16  
Rev. 7/19/16

**16" INDIVIDUAL CHANNEL LETTERS**

ITEM	SUBSTRATE	COLOR
Returns	.040 aluminum	Black
Trimcap	1"	Black
Faces	3/16" Acrylic	Acrylite 432-2 Yellow
Illumination	LED	White
Raceway	24 gauge galv. shtmtl.	MP 15967 Colonial Red

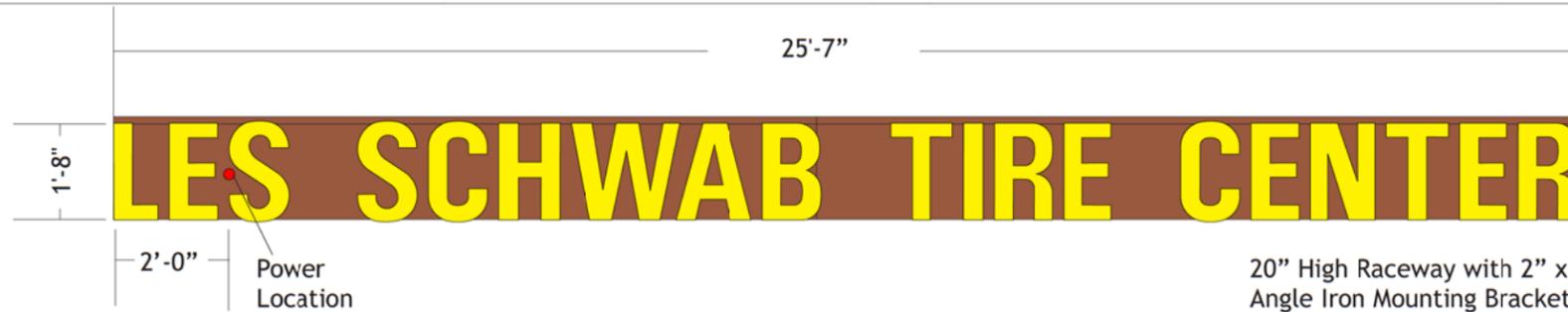
1605 NE Forbes Rd.  
Bend, Oregon 97709



PH (541) 382-2182  
FAX (541) 382-2196

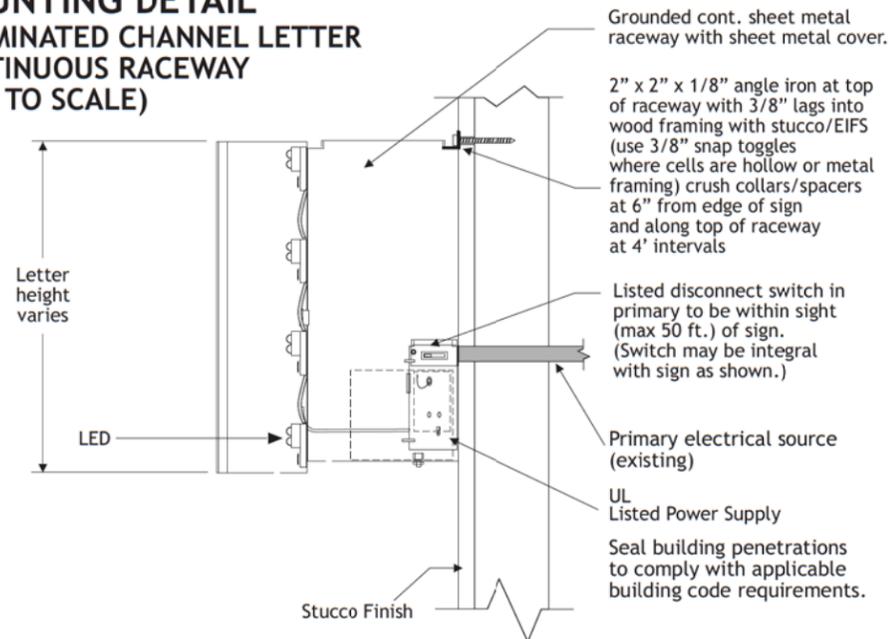


NORTH ELEVATION - SCALE: 1/32" = 1'-0"



20" High Raceway with 2" x 2" Angle Iron Mounting Bracket  
Scale 1/4" = 1' - 42.6sq ft  
2 Amps

**MOUNTING DETAIL**  
ILLUMINATED CHANNEL LETTER  
CONTINUOUS RACEWAY  
(NOT TO SCALE)



Calculations:  
Allowed Signage - 2 sq ft per lineal ft of bldg to 100 sq ft, 1 sq ft per ft thereafter  
Allowed Signage - 170.66 sq ft  
Proposed Signage - 42.6sf (Les Schwab Tire Center)

**20" INDIVIDUAL CHANNEL LETTERS**

ITEM	SUBSTRATE	COLOR
Returns	.040 aluminum	Black
Trimcap	1"	Black
Faces	3/16" Acrylic	Acrylite 432-2 Yellow
Illumination	LED	White
Raceway	24 gauge galv. shtmtl.	MP 15967 Colonial Red

Location: LSTC CA Rocklin  
Proj Mgr: Galloway  
File Name: LSTC CA Rocklin Elevs  
Scale: 1/4" = 1'  
Dwg By: Darryl Cox  
Date: 3/24/16  
Rev. 3/25/16  
Rev. 7/19/16

1605 NE Forbes Rd.  
Bend, Oregon 97709



PH (541) 382-2182  
FAX (541) 382-2196

EXHIBIT C

Rocklin Station / DR2016-0006

Design Review Documents are available at the Economic & Community Development  
Department

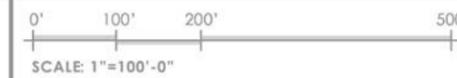


# Rocklin Station - Rocklin, CA

Tioga Construction

**EXHIBIT C**  
**DR2016-0006**

## CONCEPTUAL SITE



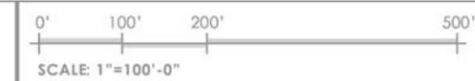
08/10/2017



# Rocklin Station - Rocklin, CA

Tioga Construction

## CONCEPTUAL SITE



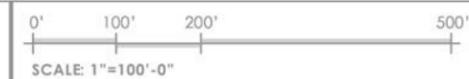
08/10/2017



# Rocklin Station - Rocklin, CA

Tioga Construction

## CONCEPTUAL SITE



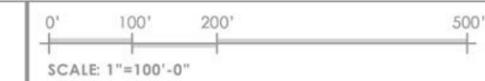
08/10/2017



# Rocklin Station - Rocklin, CA

Tioga Construction

## CONCEPTUAL SITE



08/10/2017

## RESOLUTION NO. PC-2017-

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN APPROVING  
 A CONDITIONAL USE PERMIT FOR A COMMERCIAL CENTER AND A 50 FOOT TALL  
 FREEWAY-ORIENTED SIGN

(Rocklin Station / U2017-0005)

The Planning Commission of the City of Rocklin does resolve as follows:

Section 1. The Planning Commission of the City of Rocklin finds and determines that:

A. This Conditional Use Permit allows construction of a freeway-oriented sign with a maximum height of 50 feet and establishes various operational standards for the Rocklin Station Commercial Center (APN 045-052-015, -019, -020, and -021).

B. A Mitigated Negative Declaration has been approved for this Project via Planning Resolution No. PC-2017-    .

C. The establishment, maintenance, and operation of the proposed uses and buildings or structures will not, under the circumstances of this particular case, be detrimental or injurious to the health, safety or general welfare of persons residing or working within the neighborhood of the proposed use, to property and improvements in the neighborhood, or to the general welfare of the City.

D. The establishment, operation, and maintenance of the uses and buildings or structures is consistent with the goals, policies, and land use designations in the General Plan and with all zoning standards, regulations, and restrictions applicable to the property.

Section 2. The conditional use permit for a commercial center and a freeway-oriented sign that exceeds the maximum height of 30 feet (Rocklin Station / U2016-0005) is hereby recommended for approval as depicted and further described in Exhibit B of the concurrent design review (DR2016-0006) approved via Planning Commission Resolution No. PC-     and included therein, subject to the conditions listed below. The approved Exhibit B of the concurrent design review (DR2016-0006) shall govern the design and construction of the project. Any condition directly addressing an element incorporated into Exhibit B of the concurrent design review (DR2016-0006) shall be controlling and shall modify Exhibit B of the concurrent design review (DR2016-0006). All other plans, specifications, details, and information contained within Exhibit B of the concurrent design review (DR2016-0006) shall be specifically applicable to the project and shall be construed as if directly stated within the conditions for approval. Unless otherwise expressly stated, the applicant / developer shall be solely responsible for satisfying each condition prior a final Building Permit Inspection, Issuance of a Certificate of Occupancy, or initiation of use as is applicable. The agency and / or City

department(s) responsible for ensuring implementation of each condition is indicated in parenthesis with each condition.

A. Notice to Applicant of Fees & Exaction Appeal Period

The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code §66020(d), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations, and other exactions.

The applicant is hereby notified that the 90-day protest period, commencing from the date of approval of the project, has begun. If the applicant fails to file a protest regarding any of the fees, dedication requirements, reservation requirements or other exaction contained in this notice, complying with all the requirements of Government Code §66020, the applicant will be legally barred from later challenging such exactions.

B. Conditions

1. Outdoor Display and Storage

- a. There shall be no outdoor display of goods or products without first obtaining approval of a special event permit or a conditional use permit.
- b. All incidental and miscellaneous outdoor storage areas shall be approved by the Community Development Director and shall be completely screened from public view by a decorative masonry or concrete wall or approved equal. All gates shall be solid and view obstructing, constructed of metal or other durable and sturdy materials acceptable to the Economic and Community Development Director. (PLANNING)

2. Noise

- a. Use of a public address or loud speaker system that can be heard outside of the buildings is prohibited. (PLANNING)
- b. Use of an amplified sound system to provide music for outdoor seating area(s) is permissible; however, such music is intended to be a muted background noise and shall not be audible from a distance of 100 feet from the building(s). (PLANNING)

3. Maintenance

- a. The property owner(s) shall remove within 72 hours all graffiti placed on any fence, wall, existing building, paved area or structure on the property consistent with the provisions of Rocklin Municipal Code Section 9.32.

Prior to removal of said graffiti, the property owner shall report the graffiti vandalism to the Rocklin Police Department. (PLANNING, POLICE)

- b. The project, including but not limited to paving, landscaping, structures, and improvements shall be maintained by the property owner(s), to the standard of similarly situated properties in equivalent use zones, to the satisfaction of the Economic and Community Development Director. (PLANNING)
  - c. The outdoor dining and seating areas shall be maintained free of trash and any other debris to the satisfaction of the Economic and Community Development Director. (PLANNING)
4. Indemnification and Duty to Defend

Within 30 days of approval of this entitlement by the City, the developer shall execute an Indemnity Agreement, approved by the City Attorney's Office, to indemnify, defend, reimburse, and hold harmless the City of Rocklin and its agents, officers and employees from any claim, action, or proceeding against the City of Rocklin to set aside, void or annul an approval of the entitlement by the City's planning commission or City Council, which action is brought within the time period provided for in Section 66499.37 of the Government Code. The City will promptly notify the applicant of any such claim, action or proceeding, and the City will cooperate in the defense of the claim, action or proceeding. Unless waived by the City, no further processing, permitting, implementation, plan checking or inspections related to the subdivision or parcel map shall be performed by the City if the Indemnity Agreement has not been fully executed within 30 days. (CITY ATTORNEY)

5. Validity

- a. This entitlement shall expire two years from the date of approval unless prior to that date a building permit has been issued or a time extension has been granted. (PLANNING)
- b. This entitlement shall not be considered valid and approved unless and until the concurrent Design Review, DR2016-0006, has been approved. (PLANNING)

PASSED AND ADOPTED this day of August, 2017, by the following roll call vote:

AYES: Commissioners:

NOES: Commissioners:

ABSENT: Commissioners:

ABSTAIN: Commissioners:

---

Chairperson

ATTEST:

---

Secretary

P:\PUBLIC PLANNING FILES\\_\_ PROJECT FILES\Rocklin Station\Meeting Packets\PC 8-10-17\05 Rocklin Station PC Reso U2017-0005 - final.doc

EXHIBIT A

Rocklin Station Conditional Use Permit (U2016-0005)

Refer to Exhibit B of DR2016-0006

## RESOLUTION NO. PC-2017-

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN  
APPROVING A TENTATIVE PARCEL MAP

(Rocklin Station / DL2016-0003)

The Planning Commission of the City of Rocklin does resolve as follows:

Section 1. The Planning Commission of the City of Rocklin finds and determines that:

A. Approval of Tentative Parcel Map (DL2016-0003) is required to subdivide an approximately 6.6 acre site into five commercial parcels (APNs 045-051-015, 045-051-019, 045-051-020, and 045-051-021).

B. A Mitigated Negative Declaration has been approved for this Project via Planning Resolution No. PC-2017-    .

C. The Planning Commission has considered the effect of the approval of this subdivision on the housing needs of the region, and has balanced those needs against the public service needs of its residents and available fiscal and environmental resources.

D. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the zoning classification on the property, Heavy Industrial (M-2).

E. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the objectives, policies, general land uses, and programs in the City of Rocklin's General Plan.

F. The site is physically suitable for the proposed type and density of development.

G. The design of the subdivision and the proposed improvements is not likely to cause substantial environmental damage, nor will it substantially and avoidably injure fish or wildlife or their habitat.

H. The design of the subdivision and type of improvements will not cause serious public health problems.

I. The design of the subdivision and type of improvements will not conflict with easements acquired by the public at large for access through or use of the property within the proposed subdivision.

J. The design of the subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

Section 2. The tentative parcel map (Rocklin Station / DL2016-0003) as depicted in Exhibit A attached hereto and by this reference incorporated herein, is hereby approved, subject to the conditions listed below. The approved Exhibit A shall govern the design and construction of the project. Any condition directly addressing an element incorporated into Exhibit A shall be controlling and shall modify Exhibit A. All other plans, specifications, details, and information contained within Exhibit A shall be specifically applicable to the project and shall be construed as if directly stated within the condition for approval. Unless expressly stated otherwise, the applicant is solely responsible for satisfying each condition prior to approval of the final map.

A. Notice to Applicant of Fees & Exaction Appeal Period

The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code §66020(d), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations, and other exactions.

The applicant is hereby notified that the 90-day protest period, commencing from the date of approval of the project, has begun. If the applicant fails to file a protest regarding any of the fees, dedication requirements, reservation requirements, or other exaction contained in this notice, complying with all the requirements of Government Code §66020, the applicant will be legally barred from later challenging such exactions.

B. Conditions

1. Reciprocal Easements

- a. A reciprocal access and parking easement, or its legal equivalent in a form acceptable to the City Attorney, shall be recorded over and between each of the parcels in the subdivision prior to or concurrent with the recording of the final map. (CITY ATTORNEY, ENGINEERING)
- b. A reciprocal access and parking easement, or its legal equivalent in a form acceptable to the City Attorney, shall be recorded over and between each of the parcels in the subdivision in favor of the Lifehouse Church property (APN 045-052-029), to facilitate future reciprocal access across and between the two sites at such time as the Church property is redeveloped, prior to or concurrent with the recording of the final map. (CITY ATTORNEY, ENGINEERING)

2. Indemnification and Duty to Defend

Within 30 days of approval of the tentative parcel map by the City, the subdivider shall execute an Indemnity Agreement, approved by the City Attorney’s Office, to indemnify, defend, reimburse, and hold harmless the City of Rocklin and its agents, officers and employees from any claim, action, or proceeding against the City of Rocklin to set aside, void or annul an approval of the subdivision or parcel map by the City’s planning commission or City Council, which action is brought within the time period provided for in Section 66499.37 of the Government Code. The City will promptly notify the subdivider of any such claim, action or proceeding, and the City will cooperate in the defense of the claim, action or proceeding. Unless waived by the City, no further processing, permitting, implementation, plan checking or inspections related to the subdivision or parcel map shall be performed by the City if the Indemnity Agreement has not been fully executed within 30 days. (CITY ATTORNEY)

3. Validity

This entitlement shall expire two years from the date of approval unless prior to that date a final map has been recorded or a time extension has been granted. (PLANNING)

PASSED AND ADOPTED this 10<sup>th</sup> day of August, 2017, by the following roll call vote:

AYES: Commissioners:

NOES: Commissioners:

ABSENT: Commissioners:

ABSTAIN: Commissioners:

\_\_\_\_\_  
Chairman

ATTEST:

\_\_\_\_\_  
Secretary

EXHIBIT A

ROCKLIN STATION TENTATIVE PARCEL MAP / DL2016-0003

Map

**PARCEL SUMMARY REPORT**

PARCEL 1	67,153.32 SQ.FT	1.54 ACRES
PARCEL 2	56,340.98 SQ.FT	1.29 ACRES
PARCEL 3	40,507.70 SQ.FT	0.93 ACRES
PARCEL 4	55,997.61 SQ.FT	1.29 ACRES
PARCEL 5	68,057.79 SQ.FT	1.56 ACRES



LOCATION MAP (NOT TO SCALE)

**PROJECT SCOPE**

TO ALL EXISTING IMPROVED SITE DEVELOP A NEW MORNING CENTER INCLUDING ON AND OFF SITE IMPROVEMENTS AND BUILDING. PORTION OF SITE SHALL BE A FUTURE PHASE OF LOCAL STREET.

**PROJECT INFORMATION**

GENERAL PLAN AND ZONING: PD-C  
 APN (PLACER COUNTY): 048-081-018, 019, 020, 021  
 LAND AREA: 1.56 ACRES GROSS AND 1.56 ACRES NET  
 BUILDING AREA: 36,000 SQ. FT. GROSS FLOOR COVERAGE

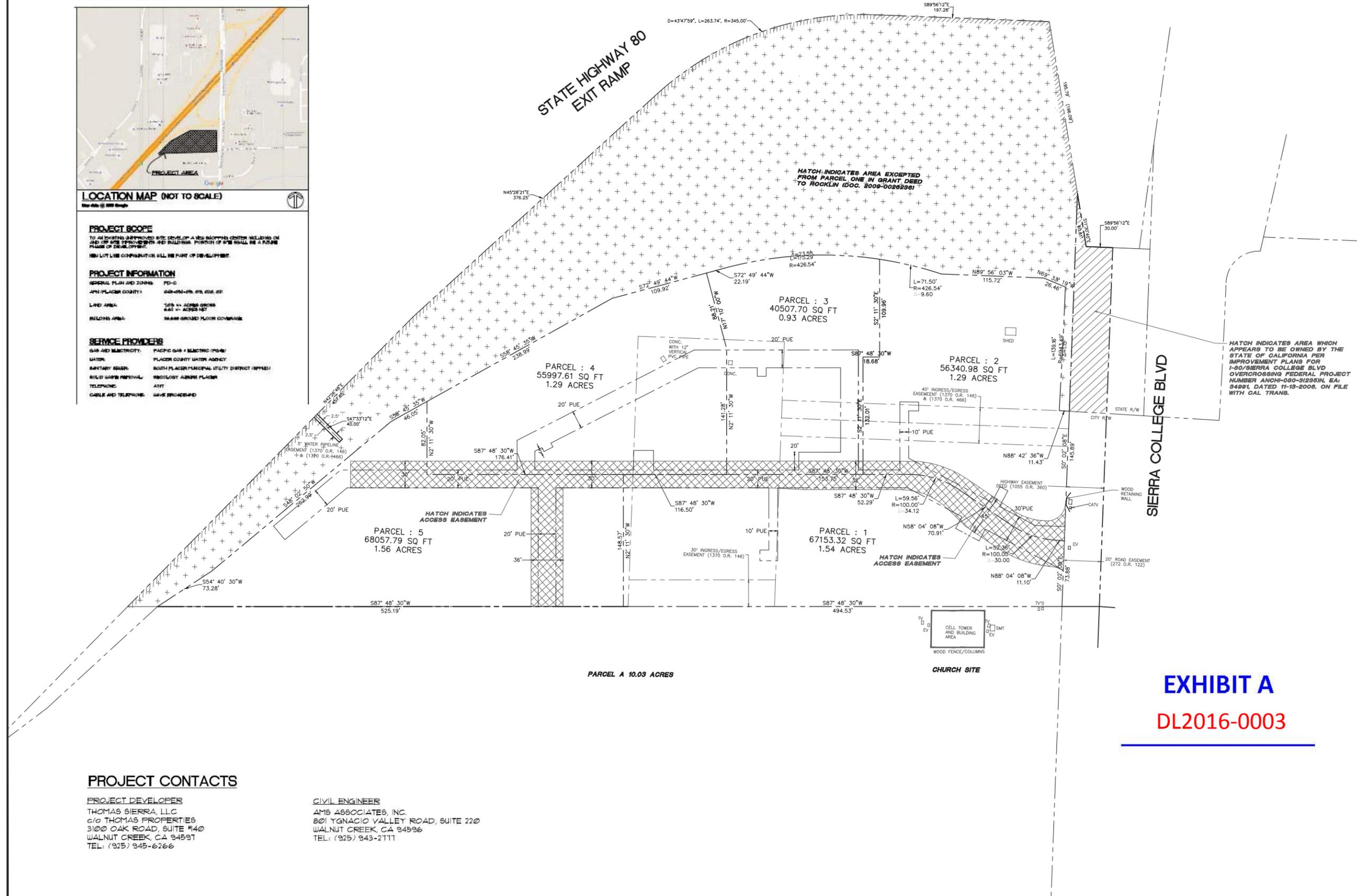
**SERVICE PROVIDERS**

SEALED AND ELECTRICITY: PACIFIC GAS & ELECTRIC (PG&E)  
 WATER: PLACER COUNTY WATER AGENCY  
 SANITARY SEWER: SOUTH PLACER MUNICIPAL UTILITY DISTRICT (SPMUD)  
 SOLID WASTE DISPOSAL: WASTELOGIC ALBANY PLACER  
 TELEPHONE: ATT  
 CABLE AND TELEPHONE: SATELLITE BROADBAND

**PROJECT CONTACTS**

**PROJECT DEVELOPER**  
 THOMAS SIERRA, LLC  
 c/o THOMAS PROPERTIES  
 3100 OAK ROAD, SUITE #140  
 WALNUT CREEK, CA 94591  
 TEL: (925) 945-6266

**CIVIL ENGINEERS**  
 AMS ASSOCIATES, INC.  
 801 YGNACIO VALLEY ROAD, SUITE 220  
 WALNUT CREEK, CA 94596  
 TEL: (925) 943-2111



DATE:	10-20-16	REV #	BY	DATE	DESCRIPTION
SCALE:	1"=40'				
DESIGNED:	ams				
DRAWN:	ams				
CHECKED:	ams				
PROJ. MGR:	ams				

801 YGNACIO VALLEY ROAD  
 SUITE 220  
 WALNUT CREEK, CA 94596  
 925-943-2777 FAX 925-943-2778  
**ams** associates, inc. PLANNING ENGINEERING SURVEYING

TENTATIVE PARCEL MAP  
 4660 SIERRA COLLEGE BLVD  
 PLACER  
 ROCKLIN  
 CALIFORNIA  
 SHEET C-5 OF PROJECT 14-2216

**EXHIBIT A**  
**DL2016-0003**

Packet Pg. 276

Agenda Item #8.d.



## City of Rocklin Community Development Department

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### Planning Commission STAFF REPORT

#### Gracepoint Adventist Church Sanctuary Addition - Time Extension Design Review, DR2014-0015 and Variance, V2014-0020

August 10, 2017

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#### **Recommendation**

Staff recommends that the Planning Commission approve the following:

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN APPROVING A TWO-YEAR TIME EXTENSION FOR DESIGN REVIEW, DR2014-0015, (PC-2015-29) AND VARIANCE, V2014-0020 (PC-2015-30) TO ALLOW THE DEVELOPMENT OF A SANCTUARY ADDITION TO AN EXISTING CHURCH BUILDING AND TO EXCEED THE 30-FOOT HEIGHT LIMIT (Gracepoint Adventist Church Time Extension / DR2014-0015 and V2014-0020)

#### **Application Request**

This application is a request for approval of a two-year time extension of a previously approved Design Review, DR2014-0015, and Variance, V2014-0020, which allows for the development of a 23,910 square foot sanctuary addition to the existing church building with enhanced entry, a new driveway, new signage and new site landscaping. The approved variance allows the height to exceed the thirty-foot (30') maximum, specified in the C-1 (Neighborhood Commercial) zoning district, by eight feet (8') for a total maximum height allowed of thirty-eight feet (38').

#### **Location**

The subject property, 3500 Sunset Boulevard, is located on the southerly corner of the intersection of Springview Drive and Sunset Boulevard. APN 016-030-023.

**Figure 1 – Project Vicinity**



#### Owner/Applicant

The property owner is Northern California Conference Association of Seventh Day Adventist. The applicant is Steve Jones of Kelly Architects.

#### Background and Site Characteristics

The Planning Commission approved a Design Review (DR2014-0015) and Variance (V2014-0020) on June 2, 2015 via Resolution Nos. PC-2015-29 and PC-2015-30 to construct a new 23,910 square foot sanctuary addition to the existing facility (**Attachments A and B**). The project approvals allowed the development of a new sanctuary and a reconfigured parking lot and enhanced entry to the church, including a new driveway connection to Springview Drive, a new monument sign and new site landscaping.

On June 1, 2017, the applicant requested a time extension to the original Design Review and Variance due to expire on June 2, 2017 (**Attachment C**). The fundraising for the project has been completed and the applicant now intends to submit construction documents and proceed through the building plan check process as the next step forward. The proposed two-year time extension would expire June 2, 2019.

*Planning Commission Staff Report  
Gracepoint Adventist Church Time Extension  
August 10, 2017  
Page 3*

### **Environmental Determination**

The project was previously determined to be exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines through Planning Commission Resolution PC-2015-28; the requested time extension is within the scope of the prior CEQA exempt determination.

### **General Plan and Zoning Compliance**

The property is zoned Neighborhood Commercial (C-1) and Planned Development Commercial (PD-C). The underlying General Plan designation is Professional Office (BP) and Retail Commercial (RC). Staff reviewed the proposed project and found that it remains consistent with both the Zoning Ordinance and General Plan.

### **Recommendation**

Based on the analysis presented above, Staff recommends that the Planning Commission approve a 24-month time extension as requested.

Attachment A – Planning Commission Resolution No. PC-2015-29 (June 2, 2015)

Attachment B – Planning Commission Resolution No. PC-2015-30 (June 2, 2015)

Attachment C - Time Extension Request (June 1, 2017)

*Prepared by Shauna Nauman, Assistant Planner*

## RESOLUTION NO. PC-2015-29

RESOLUTION OF THE PLANNING COMMISSION  
OF THE CITY OF ROCKLIN  
APPROVING A DESIGN REVIEW

(Gracepoint Adventist Church Sanctuary Addition / DR2014-0015)

The Planning Commission of the City of Rocklin does resolve as follows:

Section 1. The Planning Commission of the City of Rocklin finds and determines that:

A. Design Review (DR2014-0015) allows the development of a 23,910-square-foot sanctuary addition to the existing church building with enhanced entry, a new driveway, new signage, and new site landscaping, at the southerly corner of the intersection of Springview Drive and Sunset Boulevard. APN 016-030-023.

B. The project exhibits and conditions of approval approved for Phases I and II of the Gracepoint Adventist Church (a.k.a. Sunset Oaks Adventist Church) as approved by Planning Commission Resolution PC-2000-56, shall remain in full force and effect except as modified and revised herein (conditions of approval and exhibits).

C. A categorical exemption of environmental impact for this project has been certified by Planning Commission Resolution PC-2015-28.

D. The design of the site is compatible with surrounding development, natural features and constraints.

E. The height, bulk, area, color scheme and materials of the buildings and structures are compatible with surrounding development.

F. The buildings and structures have been oriented with consideration given to minimizing energy consumption and maximizing use of natural lighting.

G. Adverse light and glare impacts upon adjoining properties have been eliminated or reduced to a less than significant level by consideration and/or modification of the location and height of light standards, orientation of exterior lighting fixtures, and conditioning the project to use light fixtures that will direct light downward.

H. The landscaping design is compatible with surrounding development and has been designed with provisions for minimizing water usage and maintenance needs.

I. The design of the site and buildings or structures is consistent with the goals and policies of the General Plan, as well as the Retail Commercial land use designation and Planned Development Commercial zoning proposed to be applied to the site via the concurrent General Plan Amendment (GPA2014-0006) and Rezone (Z2014-0008).

Section 2. The Design Review for the Gracepoint Adventist Church Sanctuary Addition / DR2014-0015 as depicted in Exhibit A attached hereto and by this reference incorporated herein, is hereby recommended for approval subject to the conditions listed below. The approved Exhibits shall govern the design and construction of the project. Any condition directly addressing an element incorporated into the Exhibits shall be controlling and shall modify the Exhibits. All other plans, specifications, details, and information contained within the Exhibits shall be specifically applicable to the project and shall be construed as if directly stated within the conditions for approval. Unless otherwise expressly stated, the applicant / developer shall be solely responsible for satisfying each condition prior a final Building Permit Inspection or Issuance of a Certificate of Occupancy as applicable. The agency and / or City department(s) responsible for ensuring implementation of each condition is indicated in parenthesis with each condition.

A. Notice to Applicant of Fees & Exaction Appeal Period

The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code §66020(d), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations, and other exactions.

The applicant is hereby notified that the 90-day protest period, commencing from the date of approval of the project, has begun. If the applicant fails to file a protest regarding any of the fees, dedication requirements, reservation requirements or other exaction contained in this notice, complying with all the requirements of Government Code §66020, the applicant will be legally barred from later challenging such exactions.

B. Conditions

1. Utilities

- a. All utilities, including but not limited to water, sewer, telephone, gas, electricity, and conduit for cable television shall be provided to the project in compliance with all-applicable standards and requirements of the applicable provider. (APPLICABLE UTILITY)

- b. Solid Waste Disposal – The applicant shall install new masonry trash enclosures with solid metal gates, as indicated on Exhibit A, to the satisfaction of the Economic and Community Development Director. The location and design of trash enclosures shall provide for a minimum clear width and gate opening of 11 feet and gates designed to clear adjacent curbing to the satisfaction of Recology Auburn Placer. (RECOLOGY AUBURN PLACER, ENGINEERING, BUILDING, PLANNING)
- c. Prior to issuance of a Building Permit, the project shall be included in the appropriate City financing districts as needed to most efficiently provide for maintenance of public landscaping and improvements such as street lighting and landscaping. (FINANCE, PUBLIC SERVICES)

It is anticipated that the following will be necessary:

De-annexed out of: Lighting & Landscaping District No. 2

Annexation into: CFD No. 1, CFD No. 5, Lighting & Landscaping District No. 2

2. Schools

At the time of issuance of a building permit, the developer shall pay to the Rocklin Unified School District all fees required under Education Code section 17620 and Government Code Section 65995. (ROCKLIN UNIFIED SCHOOL DISTRICT, BUILDING)

3. Improvements / Improvement Plans

Prior to any grading, site improvements, or other construction activities associated with this project improvement plans shall be prepared consistent with the exhibits and conditions incorporated as a part of this entitlement, and in compliance with all applicable city standards, for the review and approval of the City Engineer. The project improvement plans shall include the following: (ENGINEERING, PLANNING)

- a. A detailed grading and drainage plan prepared by a registered civil engineer, in substantial compliance with the approved project exhibit(s). The grading and drainage plan shall include the following:
  - i) All storm drainage run-off from site shall be collected into a City standard sand and oil trap manhole (or an equal as approved by

the City Engineer) prior to discharge of storm run-off offsite. Said sand and oil trap manhole shall be maintained by owner.

- ii) All storm drainage inlets shall be stamped with City Engineer approved wording indicating that dumping of waste is prohibited and identifying that the inlets drain into the creek system.
- iii) Provisions for detaining run off at pre-development levels.
- iv) The developer shall prepare a Storm Water Pollutant Protection Plan (SWPPP) for review and approval by the State Regional Water Quality Control Board as part of the project's drainage improvement plans.
- v) Prior to the commencement of grading operations, and if the project site will not balance with respect to grading, the contractor shall identify the site where any excess earthen material shall be deposited. If the deposit site is within the City of Rocklin, the contractor shall submit a report issued by a technical engineer to verify that the exported materials are suitable for the intended fill and show proof of all approved grading plans. Haul routes to be used shall be specified. If the site requires importing of earthen material, then prior to the commencement of grading operations, the contractor shall identify the site where the imported earthen material is coming from and the contractor shall submit a report issued by a technical engineer to verify that the imported materials are suitable for the intended fill and show proof of all approved grading plans. Haul routes to be used shall be specified.
- vi) If at any time during the course of grading or construction activities evidence of the existence of old wells, septic systems or other similar features is encountered, work shall be halted within 100 feet of the find and the City of Rocklin Engineer shall be notified. The City Engineer shall make a determination as to the nature of the feature (or features), the appropriate size for a buffer around the feature beyond which work could continue on the balance of the site, and which outside agencies, if any, should be notified and involved in addressing and/or remediation of the feature. At the discretion of the City Engineer and at the applicant's expense, a qualified consultant(s) shall be retained to assess and characterize the feature and to determine appropriate remediation, if any. Remediation of the feature including obtaining any special permits and/or approvals as needed shall be

completed and documented to the satisfaction of the City Engineer and any responsible agencies, such as but not limited to the Placer County Department of Environmental Health, prior to completion of grading/construction in the affected area

- b. All on-site standard improvements, including but not limited to:
  - i) paving, curbs (including concrete curbs to contain all landscape areas adjacent to vehicle parking areas or travel lanes), gutters, sidewalks, drainage improvements, irrigation improvements (main lines and distribution where located under paved areas), utility improvements, parking lot lights, fire hydrants (where necessary), retaining walls, fences, pilasters, enhanced pavement treatments, trash enclosures, etc.
  - ii) To the extent possible underground facilities such as but not limited to electrical, gas, water, drainage, and irrigation lines shall be located outside of or to the edge of areas designated for landscaping so as to minimize impacts to the viability of these areas.
- c. A detailed parking lot striping plan designed per City standards, which indicates all parking spaces, aisles, entrances, and exits.
- d. The following on-site special improvements:
  - i. None.
- e. The following off-site special improvements:
  - i. None.
- f. Provisions for dust control, re-vegetation of disturbed areas, and erosion control, in conformance with the requirements of the City of Rocklin, including but not limited to the following (which shall be included in the project notes on the improvement plans):
  - 1) The prime contractor shall submit to the District a comprehensive inventory (e.g., make, model, year, emission rating) of all the heavy-duty off-road equipment (50 horsepower or greater) that will be used in aggregate of 40 or more hours for the construction project. If any new equipment is added after submission of the inventory, the prime contractor shall contact the District prior to the new equipment being utilized. At least three business days

prior to the use of subject heavy-duty off-road equipment, the project representative shall provide the District with the anticipated construction timeline including start date, name, and phone number of the property owner, project manager, and on-site foreman.

- 2) During construction, the contractor shall utilize existing power sources (e.g., power poles) or clean fuel (e.g., gasoline, biodiesel, natural gas) generators to minimize the use of temporary diesel power generators.
- 3) During construction, the contractor shall minimize idling time to a maximum of five minutes for all diesel powered equipment.
- 4) Traffic speeds on all unpaved road surfaces shall be posted at 15 mph or less.
- 5) All grading operations shall be suspended when fugitive dust emissions exceed District Rule 228-Fugitive Dust limitations. The prime contractor shall be responsible for having an individual who is CARB-certified to perform Visible Emissions Evaluations (VEE). This individual shall evaluate compliance with Rule 228 on a weekly basis.
- 6) Fugitive dust emissions shall not exceed 40% opacity and shall not go beyond the property boundary at any time. If lime or other drying agents are utilized to dry out wet grading areas, the developer shall ensure such agents are controlled so as not to exceed District Rule 228-Fugitive Dust limitations.
- 7) The prime contractor shall be responsible for keeping adjacent public thoroughfares clean of silt, dirt, mud, and debris, and shall “wet broom” the streets (or use another method to control dust as approved by the individual jurisdiction) if silt, dirt mud or debris is carried over to adjacent public thoroughfares.
- 8) The prime contractor shall suspend all grading operations when wind speeds (including instantaneous gusts) are excessive and dust is impacting adjacent properties.
- 9) The contractor shall apply water or use other method to control dust impacts offsite. Construction vehicles leaving the site shall be cleaned to prevent dust, silt, mud, and dirt from being released or tracked off-site.
- 10) All construction equipment shall be maintained in clean condition.
- 11) Chemical soil stabilizers, vegetative mats, or other appropriate best management practices, in accordance with manufacturers’

- specifications, shall be applied to all-inactive construction areas (previously graded areas which remain inactive for 96 hours).
- 12) All exposed surfaces shall be revegetated as quickly as feasible.
  - 13) If fill dirt is brought to or exported from the construction site, tarps or soil stabilizers shall be placed on the dirt piles to minimize dust problems.
  - 14) Water shall be applied to control fugitive dust, as needed, to prevent impacts offsite. Operational water trucks shall be onsite to control fugitive dust. Construction vehicles leaving the site shall be cleaned to prevent dust, silt, mud, and dirt from being released or tracked off-site.
  - 15) Processes that discharge two pounds per day or more of air contaminants, as defined by California State Health and Safety Code Section 39013, to the atmosphere may require a permit. Developers / Contractors should contact the PCAPCD prior to construction or use of equipment and obtain any necessary permits.
  - 16) In order to minimize wind driven dust during construction, the prime contractor shall apply methods such as surface stabilization, establishment of a vegetative cover, paving, (or use another method to control dust as approved by the City).
  - 17) Construction equipment exhaust emissions shall not exceed Placer County APCD Rule 202 Visible Emission limitations. Operators of vehicles and equipment found to exceed opacity limits are to be immediately notified by APCD to cease operations and the equipment must be repaired within 72 hours.
  - 18) Open burning of any kind shall be prohibited. All removed vegetative material shall be either chipped on site or taken to an appropriate recycling site, or if a site is not available, a licensed disposal site.
  - 19) Any diesel powered equipment used during project construction shall be Air Resources Board (ARB) certified.
  - 20) If an inadvertent discovery of cultural materials (e.g., unusual amounts of shell, charcoal, animal bone, bottle glass, ceramics, burned soil, structure/building remains) is made during project-related construction activities, ground disturbances in the area of the find shall be halted and a qualified professional archaeologist, the Environmental Services Manager and the Native American Heritage Commission shall be notified regarding the discovery.

The archaeologist shall determine whether the resource is potentially significant as per CEQA (i.e., whether it is a historical resource, a unique archaeological resource, or a unique paleontological resource) and shall develop specific measures to ensure preservation of the resource or to mitigate impacts to the resource if it cannot feasibly be preserved in light of costs, logistics, technological considerations, the location of the find, and the extent to which avoidance and/or preservation of the find is consistent or inconsistent with the design and objectives of the project. Specific measures for significant or potentially significant resources would include, but are not necessarily limited to, preservation in place, in-field documentation, archival research, subsurface testing, and excavation. The specific type of measure necessary would be determined according to evidence indicating degrees of resource integrity, spatial and temporal extent, and cultural associations, and would be developed in a manner consistent with CEQA guidelines for preserving or otherwise mitigating impacts to archaeological and cultural artifacts.

In the event of the accidental discovery or recognition of any human remains, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains, until compliance with the provisions of Sections 15064.5 (e)(1) and (2) of the CEQA Guidelines, as well as Public Resources Code Section 5097.98, has occurred. If any human remains are discovered, all work shall stop in the immediate vicinity of the find and the County Coroner shall be notified, according to Section 7050.5 of the California Health and Safety Code. The City's Environmental Services Manager shall also be notified. If the remains are Native American, the Coroner will notify the Native American Heritage Commission, which in turn will inform a most likely descendant. The descendant will then recommend to the landowner appropriate disposition of the remains and any grave goods, and the landowner shall comply with the requirements of AB2641 (2006).

4. Improvements in the Public Right-of-Way

The applicant shall obtain an encroachment permit for all improvements within the public right-of-way. Applicant shall post a performance bond and labor and materials payment bond (or other equivalent financial security) in the amount of 100% of the cost of the improvements to be constructed in the public right-of-way as improvement security to ensure the faithful performance of all duties and obligations required of applicant in the construction of the improvements. Such

improvement security shall be in a form acceptable to the City Attorney. Such security shall be either a corporate surety bond, a letter of credit, or other instrument of credit issued by a banking institution subject to regulation by the State or Federal government and pledging that the funds necessary to carry out this Agreement are on deposit and guaranteed for payment, or a cash deposit made either directly with the City or deposited with a recognized escrow agent for the benefit of the City. (PUBLIC WORKS)

5. Landscaping

- a. Final landscape plans shall be provided by the developer and approved by the Director of Economic and Community Development. The landscape plans shall comply with the following requirements (PLANNING):
  - i) The landscaping plan shall be prepared by a landscape architect and shall include:
    - (1) A legend of the common and botanical names of specific plant materials to be used. The legend should indicate the size of plant materials.
      - (a) Shrubs shall be a minimum five (5) gallons and trees a minimum of 15 gallons and meet the minimum height specified by the American Standards for Nursery Stock.
    - (2) A section diagram of proposed tree staking.
    - (3) An irrigation plan including an automatic irrigation system. The plan shall include drip irrigation wherever possible.
    - (4) Berming or screen walls in landscape strips along the public right-of-way and the installation of shrubs to screen the undercarriages of vehicles as viewed from off-site.
    - (5) Provision for the shading of the parking lot spaces by shade trees planted at a minimum of one for every five parking spaces.
    - (6) Granite or moss rock boulders along the planting strips.
  - ii) The plan shall be certified by the landscape architect that the landscape plan meets the requirements of the water Conservation and Landscaping Act. Government Code §65591, et seq.
- b. The parking lot lighting plan shall be designed to accommodate shade trees and provide for illumination of the parking areas. Light standards and underground utilities shall be located such that required parking lot shade trees can still be planted. (ENGINEERING, BUILDING, PLANNING)

- c. All landscaping shall be installed and the landscape architect shall certify, in writing, that the landscaping and irrigation system have been installed in full compliance with the approved plans prior to issuance of a Certificate of Occupancy. (PLANNING)

6. Lighting

- a. All exterior lighting shall be designed and installed to avoid adverse glare on adjacent properties. Cut-off shoebox type lighting fixtures, or equivalent, shall be used and mounted such that all light is projected directly toward the ground. Light poles shall be a maximum of 20' in height as measured from grade to the top of the light. The lighting design plan shall be approved by the Director of Economic and Community Development for compliance with this condition. (PLANNING)

7. Design

- a. The back or rear of any parapet wall that may be visible from an adjacent right of way or property shall be painted the same color as the front of the parapet wall to provide a more finished appearance. (PLANNING)

8. Signs

All signs shall conform to the Sign Ordinance of the City of Rocklin and the sign design(s) and location(s) as shown on Exhibit A, except as may be modified herein. (PLANNING)

9. Screening of Mechanical Equipment

- a. All mechanical equipment, whether ground or roof mounted shall be screened from view from all public rights of way to the satisfaction of the Economic and Community Development Director. The design of the screening shall be in harmony with the architectural design of the building. (PLANNING)
- b. The appearance of large utility features such as double detector check valves shall be minimized through the use of utility blankets or other acceptable screening methods. The developer shall also demonstrate that these facilities have been moved as far as possible from the public right-of-way. (PLANNING)

10. Security

- a. Prior to building permit issuance the applicant shall prepare a security plan for review by the Rocklin Police Department, and shall provide the Rocklin Police Department with the name(s) and telephone number(s) of a responsible party to contact. (POLICE)
- b. Prior to building / unit occupancy the property owner, or each tenant, shall obtain and maintain at all times, an Alarm System Permit for each security system installed and operated in the building, if any, in accord with the requirements of Chapter 9.44 of the Rocklin Municipal Code. (POLICE)

11. Outdoor Storage

All incidental and miscellaneous outdoor storage areas shall be completely screened from public view by a decorative masonry or concrete wall or approved equal. All gates shall be solid and view obstructing, constructed of metal or other durable and sturdy materials acceptable to the Economic and Community Development Director. (PLANNING)

12. Maintenance

- a. The property owner shall remove within 72 hours all graffiti placed on any fence, wall, existing building, paved area or structure on the property consistent with the provisions of Rocklin Municipal Code Section 9.32. Prior to removal of said graffiti, the property owner shall report the graffiti vandalism to the Rocklin Police Department. (PLANNING, POLICE)
- b. The project, including but not limited to paving, landscaping, structures, and improvements shall be maintained by the property owners, to the standard of similarly situated properties in equivalent use zones, to the satisfaction of the Economic and Community Development Director. (PLANNING)

13. Air Quality

- a. Electrical outlets shall be installed in the exterior walls of the building(s) in this project to promote the use of electrical landscaping equipment. (BUILDING, PLANNING)
- b. Low nitrous oxide (NO<sub>x</sub>) natural gas hot water heaters shall be installed if gas hot water heaters are to be used in this project. (BUILDING, PLANNING)

14. Noise

- a. All “self-powered” construction equipment and stationary noise sources (i.e. pumps, electrical generators, etc.) shall be equipped with noise control devices (e.g., mufflers). (ENGINEERING, BUILDING)
- b. Equipment “warm-up” areas, water storage tanks, equipment storage areas, and stationary noise-generating machinery (i.e. pumps, electrical generators, etc.) shall be located away from existing residences and other sensitive noise receptors to the extent feasible. (ENGINEERING, BUILDING)
- c. All phases of project development shall be subject to the City of Rocklin Construction Noise Guidelines, including restricting construction-related noise generating activities within or near residential areas to between 7:00 a.m. and 7:00 p.m. on weekdays, and between 8:00 a.m. and 7:00 p.m. on weekends. The Economic and Community Development Director may grant exceptions to the Construction Noise Guidelines if, in the opinion of the Economic and Community Development Director, special and unusual circumstances exist that make strict adherence to the Construction Noise Guidelines infeasible. (ENGINEERING, BUILDING)
- d. Rooftop mechanical equipment shall be shielded from view of the nearest noise-sensitive receivers by intervening parapets.

15. Monitoring

Prior to any grading or construction activities on the property, the developer shall deposit with the City of Rocklin the current fee to pay for the City’s time and material cost to administer the Mitigation Monitoring Program. The Economic and Community Development Director shall determine if and when additional deposits must be paid for administering the Mitigation Monitoring Program, including additional deposits on subsequent phases of construction. These amounts shall be paid prior to grading or construction for additional phases on this project. (PUBLIC SERVICES, BUILDING, PLANNING)

16. Indemnification and Duty to Defend.

Within 30 days of approval of this entitlement by the City, the subdivider shall execute an Indemnity Agreement, approved by the City Attorney’s Office, to indemnify, defend, reimburse, and hold harmless the City of Rocklin and its agents, officers and employees from any claim, action, or proceeding against the

City of Rocklin to set aside, void or annul an approval of the entitlement by the City's Planning Commission or City Council, which action is brought within the time period provided for in Section 66499.37 of the Government Code. The City will promptly notify the applicant of any such claim, action or proceeding, and the City will cooperate in the defense of the claim, action or proceeding. Unless waived by the City, no further processing, permitting, implementation, plan checking or inspections related to the entitlement shall be performed by the City if the Indemnity Agreement has not been fully executed within 30 days. (CITY ATTORNEY)

17. Validity

- a. This entitlement shall expire two years from the date of approval unless prior to that date a building permit has been issued or a time extension has been granted. (PLANNING)
- b. This entitlement shall not be considered valid and approved unless and until the concurrent Variance (V2014-0020) has been approved. (PLANNING)

PASSED AND ADOPTED this 2<sup>nd</sup> day of June, 2015, by the following roll call vote:

AYES:	Commissioners:	Broadway, Martinez, Sloan, McKenzie, Whitmore
NOES:	Commissioners:	None
ABSENT:	Commissioners:	None
ABSTAIN:	Commissioners:	None

\_\_\_\_\_  
Chairman

ATTEST:

\_\_\_\_\_  
Secretary

P:\PERMANENT PLANNING FILES\RESOLUTIONS\2015\PC-2015-29 - Gracepoint DR2014-0015 (PC 6-2-15).docx

**EXHIBIT A**

DR2014-0015

APPROVED BY PLANNING COMMISSION ON:

June 2, 2015

*Marc Mondel*



**Northwest Elevation**

Gracepoint Adventist Church Sanctuary Addition



## Southeast Elevation

Gracepoint Adventist Church Sanctuary Addition





Client:  
 Facility:  
**Gracepoint  
 Adventist  
 Church**  
 3500 Sunset Blvd.  
 Rocklin, CA 95677

Project Name:  
**SANCTUARY  
 ADDITION**  
 Submittal:  
**CITY DESIGN  
 REVIEW &  
 HEIGHT VARIANCE**

Architect of Record



Consultant

Revisions	Description	Date
△	Height Variance	08-06-2014
△	City Height Variance	10-10-2014
△		
△		

Approvals

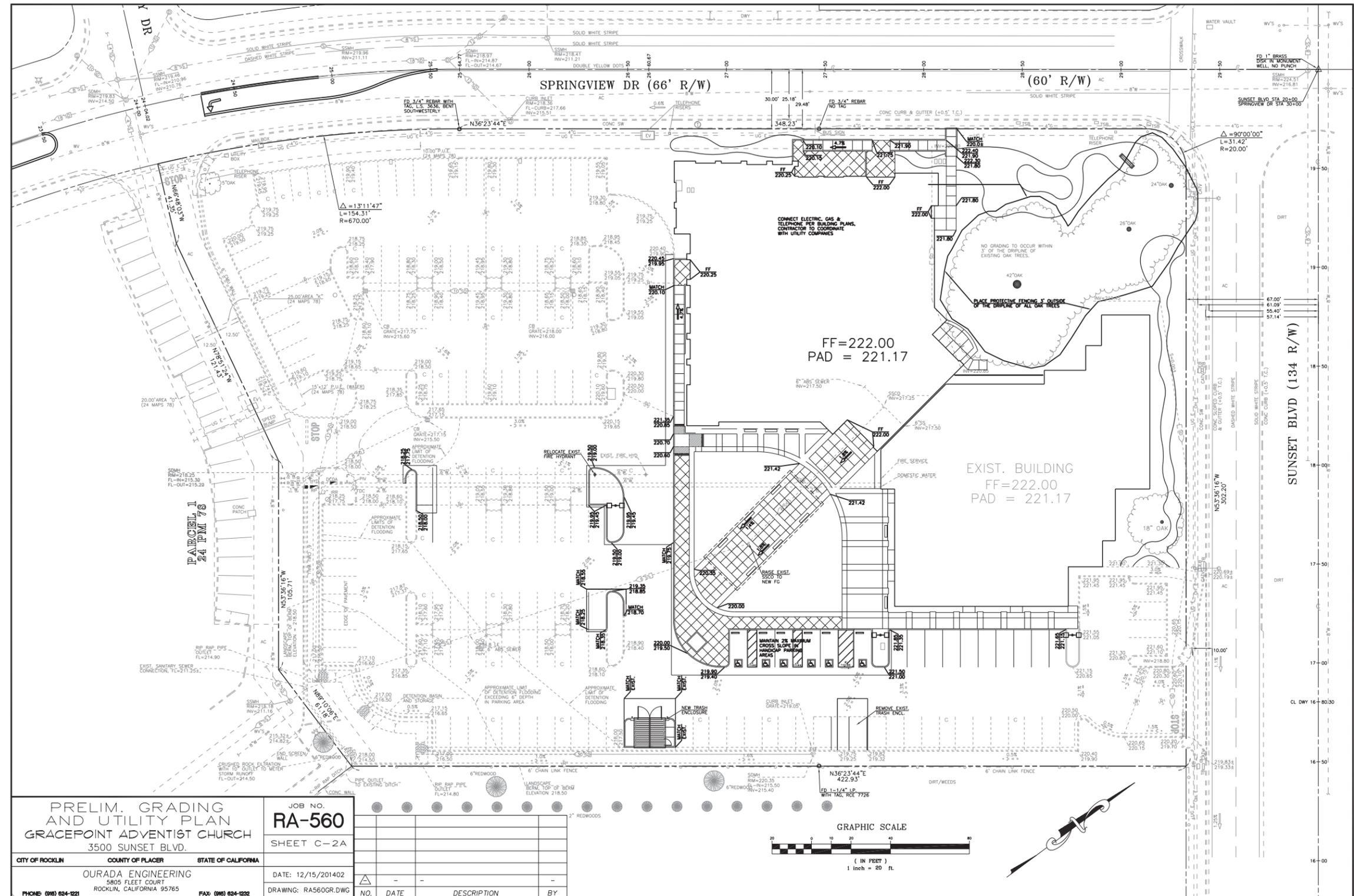
Key Plan

N.T.S.  
 KAP Job No. 204.00  
 Scale: As Noted  
 Date: 3-3-2015  
 Drawn By: RS/NR  
 Checked By: KWM

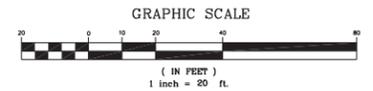
Sheet Name  
**PRELIM. GRADING  
 AND UTILITY PLAN**

Sheet Number  
**C-2A**

**Agenda Item #9.**

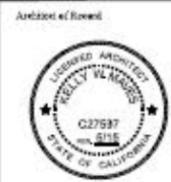


<b>PRELIM. GRADING          AND UTILITY PLAN</b> <b>GRACEPOINT ADVENTIST CHURCH</b> 3500 SUNSET BLVD. CITY OF ROCKLIN COUNTY OF PLACER STATE OF CALIFORNIA		JOB NO. <b>RA-560</b> SHEET C-2A	
OURADA ENGINEERING 5805 FLEET COURT ROCKLIN, CALIFORNIA 95765 PHONE (916) 824-1221 FAX (916) 824-1232		DATE: 12/15/201402 DRAWING: RA560GR.DWG	
NO.	DATE	DESCRIPTION	BY



**Packet Pg. 296**

Client:  
  
Facility:  
**Gracepoint  
Adventist  
Church**  
3500 Sunset Blvd.  
Racklin, CA 95677  
  
Project Name:  
**SANCTUARY  
ADDITION**  
  
Submitted:  
CITY DESIGN  
REVIEW &  
HEIGHT VARIANCE



Consultant:

Revisions	Description	Date
△	Height Variance	06-04-2014
△	City Height Variance	10-16-2014
△	City DR Comments	1-1-2015
△	City DR Comments	4-16-2015
△		

Approvals:

Key Plan:  
  
KAP Job No. 204.00  
Scale: As Noted  
Date: 1-1-2015  
Drawn By: RSNK  
Checked By: KWM

Sheet Name:  
**LANDSCAPE  
PLAN**  
  
Sheet Number:  
**L0.1**



PLANT SYMBOLS LEGEND				
<b>DRY-RIVER BED</b>	<b>GROUND COVER</b>	<b>SHRUBS</b>	<b>PROPOSED TREES</b>	<b>EXISTING TREES</b>
<b>LAWN</b>				

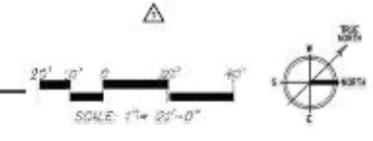
**WATER USE STATEMENTS**

THESE PLANS HAVE BEEN DEVELOPED TO COMPLY WITH THE REQUIREMENTS OF THE CALIFORNIA WATER CONSERVATION IN LANDSCAPING ACT.

MTW GROUP FEB 11, 2015

A SMART-IR BASED IRRIGATION CONTROLLER WILL BE USED IN CONJUNCTION WITH SUB-SURFACE DRIP IRRIGATION FOR SHRUB AND GROUND COVER AREAS AND HIGH DISTRIBUTION UNIFORMITY ROTARY NOZZLES FOR LAWN AREAS TO DECREASE WATER CONSUMPTION IN ALL NEW LANDSCAPE AREAS.

LANDSCAPE RENOVATION PLAN  
Scale: 1" = 20'-0"





Client:  
 Gracepoint  
 Adventist  
 Church  
 3500 Sunset Blvd.  
 Rocklin, CA 95677

Project Name:  
**SANCTUARY  
 ADDITION**

Submittal:  
 CITY DESIGN  
 REVIEW &  
 HEIGHT VARIANCE



Architect of Record  
 Consultant

Revisions	Description	Date
1	Height Variance	08-06-2014
2	City Height Variance	10-10-2014
3	City DR Comments	3-3-2015

Approvals

Key Plan

N.T.S.

KAP Job No. 204.00  
 Scale: As Noted  
 Date: 3-3-2015  
 Drawn By: RS/NR  
 Checked By: KWM

Sheet Name  
**EXISTING  
 SITE PLAN**

Sheet Number  
**A1.1**

**LEGEND:**

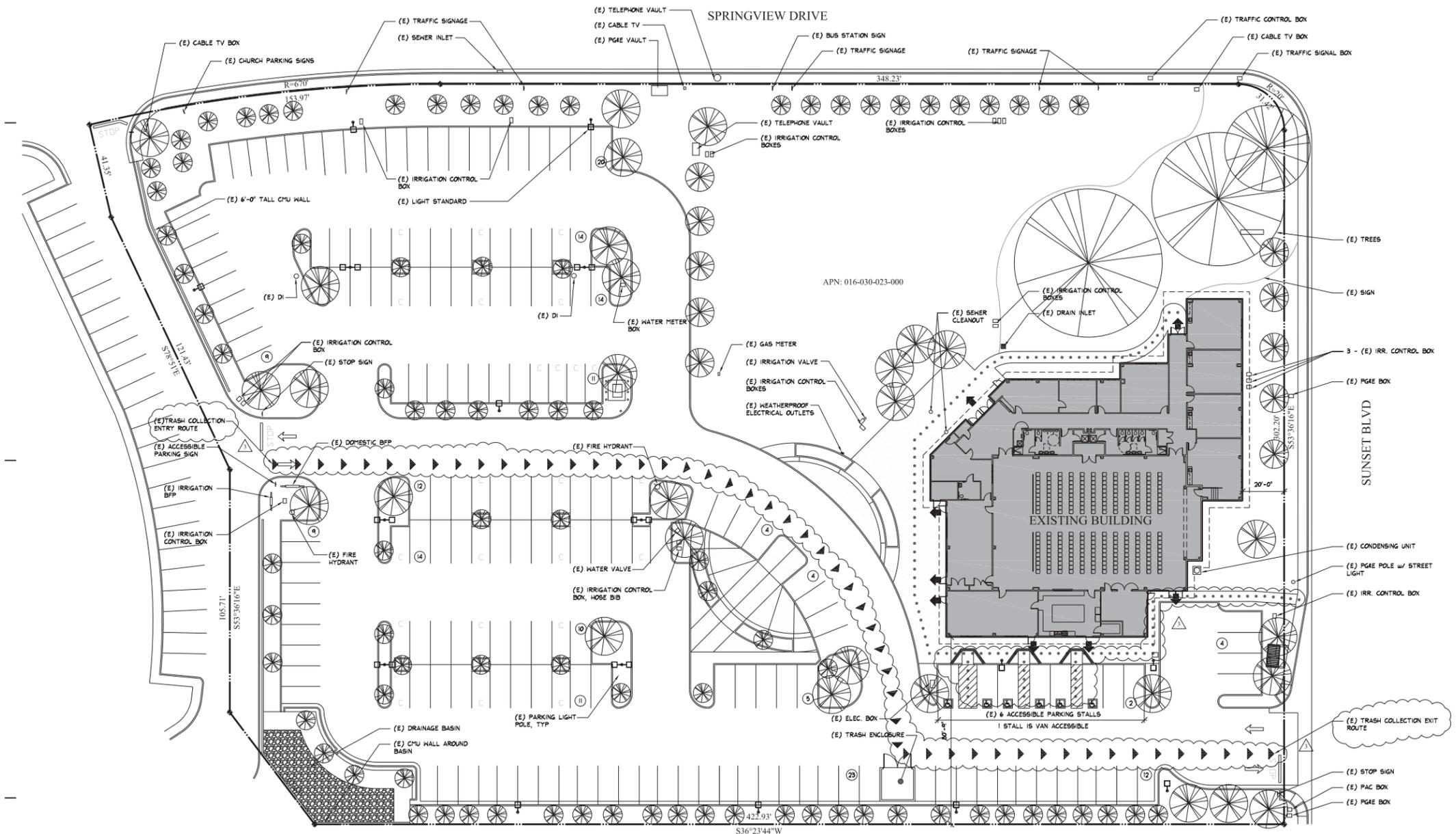
- ..... (E) ACCESSIBLE PATH OF TRAVEL
- ◀ (E) ACCESSIBLE EXIT TO EXTERIOR
- ⊙ (E) PARKING STALL COUNT
- (E) PROPERTY LINE
- (E) BUILDING
- ◀ (E) TRASH COLLECTION ENTRY & EXIT ROUTE

**GENERAL NOTES:**

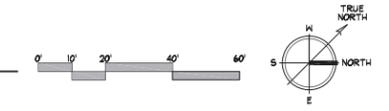
- UTILITY INFORMATION IS FOR REFERENCE ONLY. REFER TO CIVIL PLANS FOR DEMOLITION AND RE-ROUTING.
- CONTRACTOR TO VERIFY & COORDINATE PUBLIC UTILITIES (I.E. PG&E, AT&T, CABLE TV, ETC) DESIGN & SCOPE OF WORK.
- CONTRACTOR TO DEVELOPE PHASING AND SEQUENCING PLANS AND TO DEVELOPE SITE.
- CONTRACTOR TO PROVIDE TEMPORARY AND SAFETY FENCING PLANS TO OWNER FOR APPROVAL.
- CONTRACTOR TO MAINTAIN ACCESS FOR DELIVERIES AND SERVICES. COORDINATE ALL CONSTRUCTION ACTIVITIES WITH OWNER FOR POSSIBLE CONFLICTS AND SHUTDOWNS.

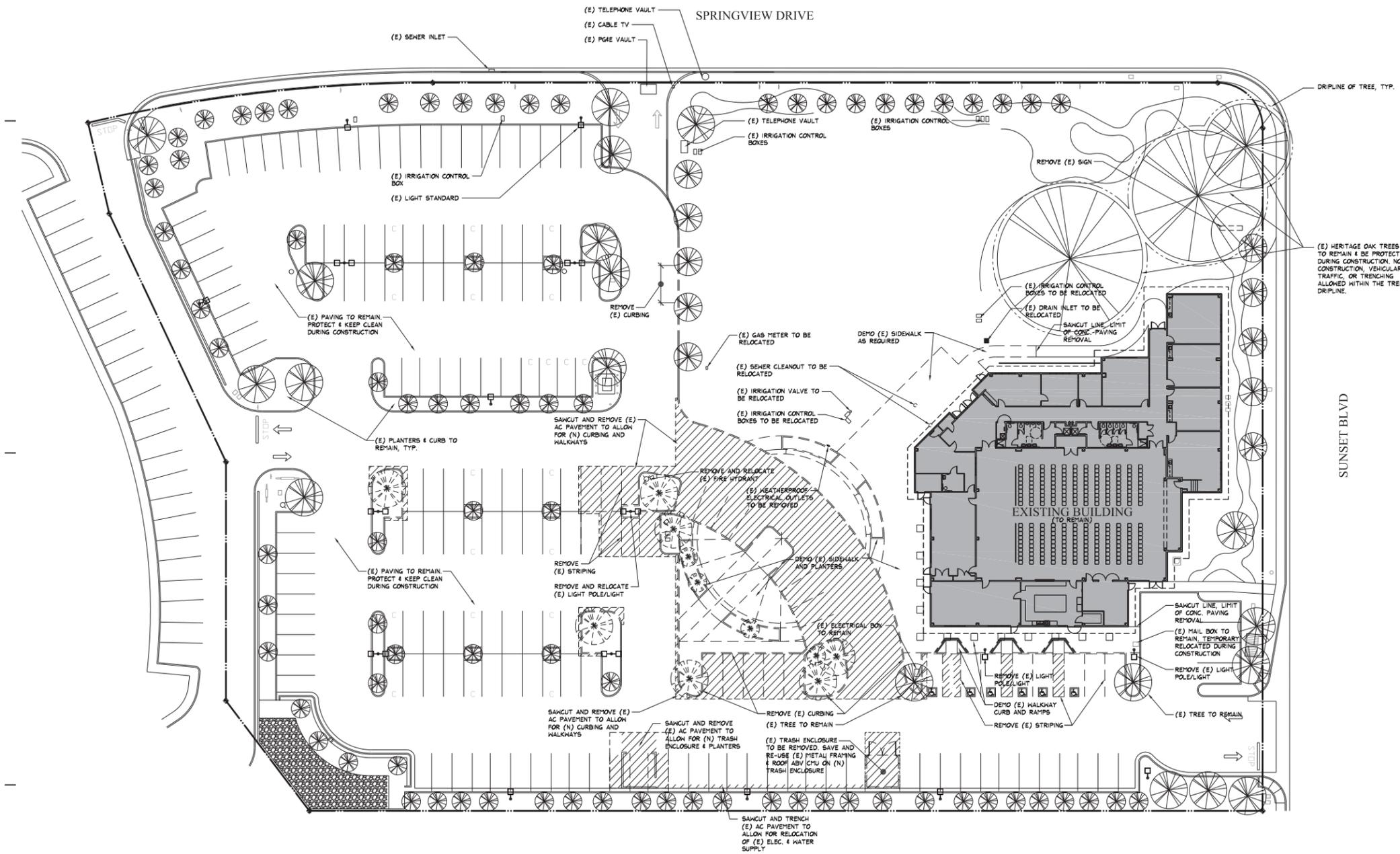
**SITE/BUILDING INFO:**

PARCEL #: 016-030-023-000  
 PARCEL SIZE: 152,478 S.F. (3.5 ACRES)  
 EXISTING BUILDING S.F.: 13,944 S.F.



**1** EXISTING SITE PLAN  
 Scale 1" = 20'-0"





**LEGEND:**

- (E) AC PAVING TO BE REMOVED
- (E) CONCRETE SIDEWALK/PAVING TO BE REMOVED
- (E) CONCRETE WALK TO REMAIN
- (E) BUILDING / STRUCTURE TO REMAIN

- GENERAL NOTES:**
1. UTILITY INFORMATION IS FOR REFERENCE ONLY. REFER TO CIVIL PLANS FOR DEMOLITION AND RE-ROUTING.
  2. CONTRACTOR TO VERIFY & COORDINATE PUBLIC UTILITIES (I.E. PG&E, AT&T, CABLE TV, ETC.) DESIGN & SCOPE OF WORK.
  3. CONTRACTOR TO DEVELOPE PHASING AND SEQUENCING PLANS AND TO DEVELOPE SITE.
  4. CONTRACTOR TO PROVIDE TEMPORARY AND SAFETY FENCING PLANS TO OWNER FOR APPROVAL.
  5. CONTRACTOR TO MAINTAIN ACCESS FOR DELIVERIES AND SERVICES. COORDINATE ALL CONSTRUCTION ACTIVITIES WITH OWNER FOR POSSIBLE CONFLICTS AND SHUTDOWNS.

**KAP**  
 KELLY ARCHITECTURE  
 & PLANNING  
 6828 LONESTREE BLVD.  
 ROCKLIN, CA 95765  
 916.797.1199



Client:  
**Gracepoint  
 Adventist  
 Church**  
 3500 Sunset Blvd.  
 Rocklin, CA 95677

Project Name:  
**SANCTUARY  
 ADDITION**  
 Submittal:  
 CITY DESIGN  
 REVIEW &  
 HEIGHT VARIANCE



Architect of Record  
 Consultant

Revisions

Description	Date
△ Height Variance	08-06-2014
△ City Height Variance	10-10-2014
△	
△	
△	

Approvals

Key Plan

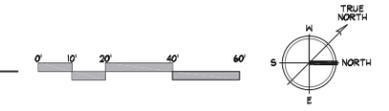
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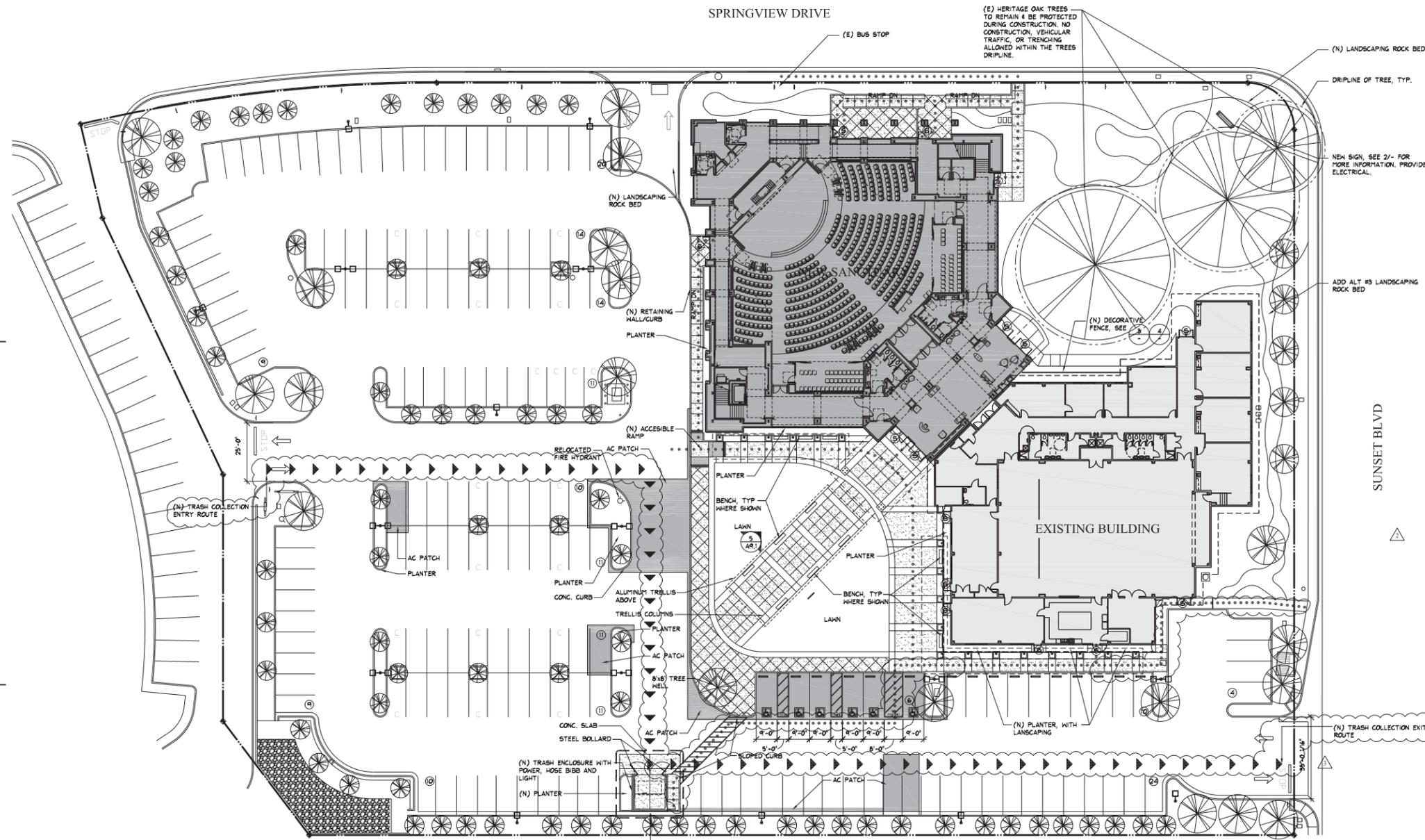
KAP Job No. 204.00  
 Scale: As Noted  
 Date: 2-25-2014  
 Drawn By: RS/NR  
 Checked By: KWM

Sheet Name  
**DEMOLITION  
 SITE PLAN**

Sheet Number  
**A1.1.1**

**1** DEMOLITION SITE PLAN  
 Scale 1" = 20'-0"





**GENERAL NOTES:**

- UTILITY INFORMATION IS FOR REFERENCE ONLY. REFER TO CIVIL PLANS FOR DEMOLITION AND RE-ROUTING.
- CONTRACTOR TO VERIFY & COORDINATE PUBLIC UTILITIES (I.E. PG&E, AT&T, CABLE TV, ETC) DESIGN & SCOPE OF WORK.
- CONTRACTOR TO DEVELOPE PHASING AND SEQUENCING PLANS AND TO DEVELOPE SITE.
- CONTRACTOR TO PROVIDE TEMPORARY AND SAFETY FENCING PLANS TO OWNER FOR APPROVAL.
- CONTRACTOR TO MAINTAIN ACCESS FOR DELIVERIES AND SERVICES. COORDINATE ALL CONSTRUCTION ACTIVITIES WITH OWNER FOR POSSIBLE CONFLICTS AND SHUTDOWNS.

**LEGEND:**

- (N) CONCRETE SIDEWALK / CURB W.O.
- (E) CONCRETE PAVING CURB W.O.
- (N) CONCRETE PAVING CURB W.O. GUTTER W.O.
- EXPANSION JOINT
- TOOLED JOINT
- (E) BUILDING / STRUCTURE TO REMAIN
- (N) BUILDING FOOTPRINT
- INDICATES NUMBER OF PARKING STALLS PER ROW. STRIPE W/4" WIDE PARKING STALL STRIPE. STALL WIDTH TO BE PER A.I.B.S.
- SECURITY BADGE READERS
- (N) ACCESSIBLE PATH OF TRAVEL
- (N) TRASH COLLECTION ENTRY & EXIT ROUTE



Client:  
**Gracepoint  
 Adventist  
 Church**  
 3500 Sunset Blvd.  
 Rocklin, CA 95677

Project Name:  
**SANCTUARY  
 ADDITION**  
 Submittal:  
**CITY DESIGN  
 REVIEW &  
 HEIGHT VARIANCE**



Architect of Record  
 Consultant

Revisions	Description	Date
△	Height Variance	08-06-2014
△	City Height Variance	10-10-2014
△	City DR Comments	3-3-2015
△		
△		

Approvals

**SITE INFORMATION:**

PARCEL #	016-030-023-000
S.F.	152,478 S.F.
LANDSCAPE AREA	39,009 S.F. (25%)

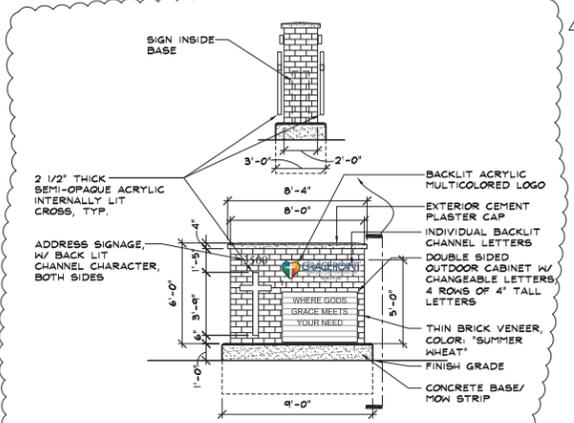
**BUILDING INFORMATION:**

BUILDING AREA:	
(N) SANCTUARY FIRST FLOOR S.F.	
(N) SANCTUARY SECOND FLOOR S.F.	
TOTAL (N) BUILDING S.F.	
(E) BUILDING S.F.	
TOTAL CAMPUS BUILDING S.F.	

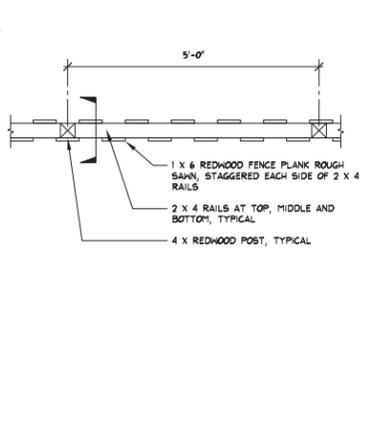
**PARKING ANALYSIS:**

PER ROCKLIN MUNICIPAL CODE, CHAPTER 17, ARTICLE 17.66.30: FIXED SEATING = 1 STALL PER 4 SEATS NON-FIXED SEATING = 1 STALL PER 30 SQ. FT.	
EXISTING PARKING STALLS: EXISTING FACILITY (NON-FIXED SEATING): HALLWAY: 5,197 SQ. FT./30 = 173 STALLS CLASSROOMS: 3,438 SQ. FT./30 = 115 STALLS REQUIRED STALLS FOR EXISTING FACILITY = 288 STALLS	184 STALLS
NEW SANCTUARY ADDITION: FIXED SEATING: FIRST FLOOR: SANCTUARY: 479 SEATS/4 = 120 STALLS SECOND FLOOR: RELIGIOUS EDUCATION ROOMS 4 AND 5 = 9 STALLS	129 STALLS
NON-FIXED SEATING: FIRST FLOOR: SANCTUARY OVERFLOW 1 AND 2: 675 SQ. FT./30 = 23 STALLS TOTAL STALLS REQUIRED FOR NEW SANCTUARY ADDITION = 152 STALLS	23 STALLS

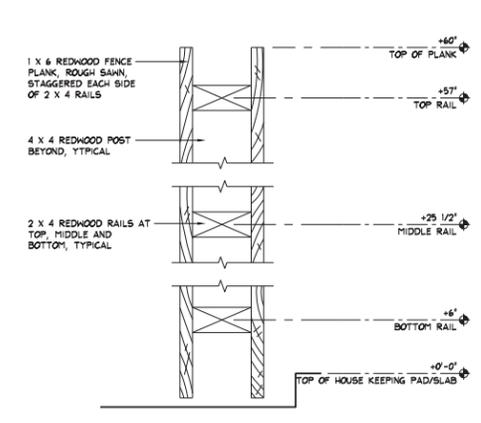
**1 NEW SITE PLAN**  
 Scale: 1" = 20'-0"



**2 FACILITY SIGN**  
 Scale: 1/4" = 1'-0"



**3 DECORATIVE FENCE PLAN**  
 Scale: 3/4" = 1'-0"



**4 DECORATIVE FENCE SECTION**  
 Scale: 3/4" = 1'-0"

**AGE**

N.T.S.

KAP Job No. 204.00  
 Scale: As Noted  
 Date: 3-3-2015  
 Drawn By: RS/NR  
 Checked By: KWM

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Sheet Name  
**NEW  
 SITE PLAN**

---

Sheet Number  
**A1.2**



Client:  
 Gracepoint  
 Adventist  
 Church  
 3500 Sunset Blvd.  
 Rocklin, CA 95677

Project Name:  
**SANCTUARY  
 ADDITION**

Submittal:  
 CITY DESIGN  
 REVIEW &  
 HEIGHT VARIANCE

Architect of Record



Consultant

Revisions	Description	Date
1	Height Variance	08-06-2014
2	City Height Variance	10-10-2014
3	City DR Comments	3-3-2015

Approvals

Key Plan

N.T.S.

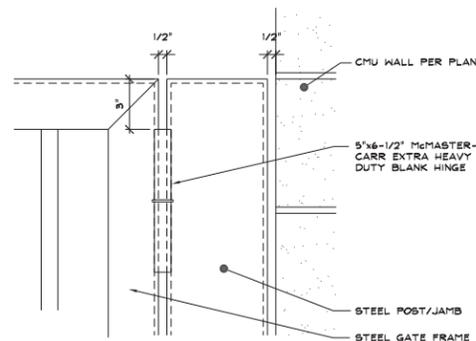
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 Scale: As Noted  
 Date: 3-3-2015  
 Drawn By: RS/NR  
 Checked By: KWM

Sheet Name

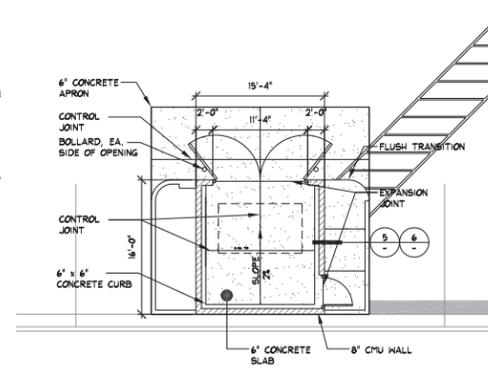
SITE DETAILS

Sheet Number

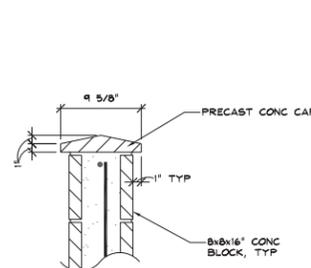
A1.3



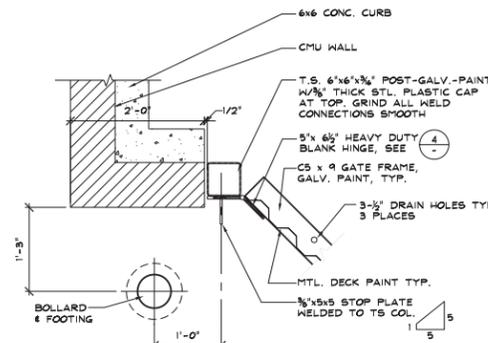
4 HINGE  
 Scale: 3" = 1'-0"



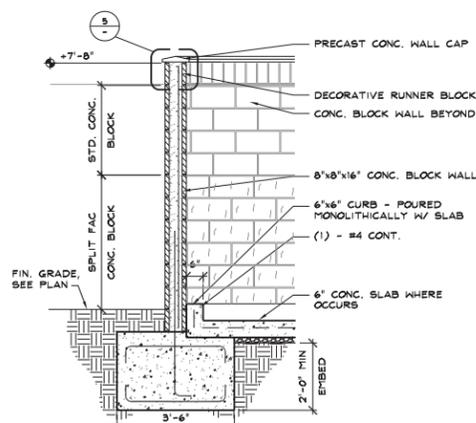
1 TRASH ENCLOSURE PLAN  
 Scale: 1/8" = 1'-0"



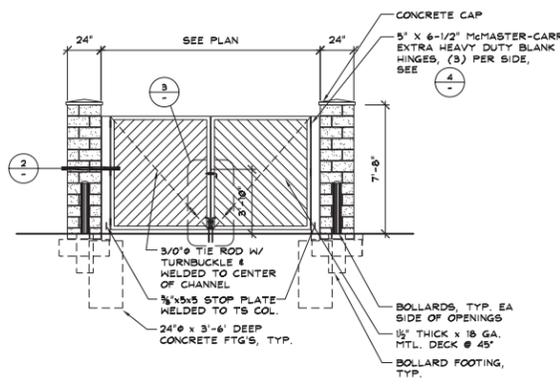
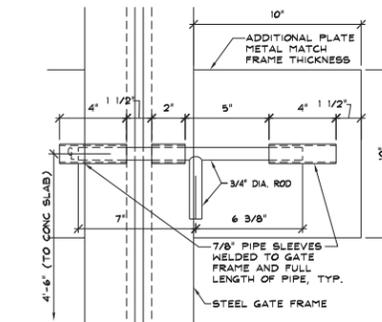
5 CMU WALL CAP  
 Scale: 1-1/2" = 1'-0"



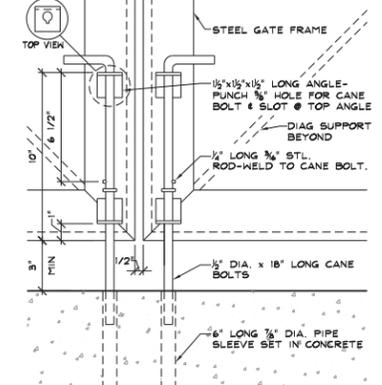
2 GATE JAMB  
 Scale: 1" = 1'-0"



6 TRASH ENCLOSURE WALL  
 Scale: 1/2" = 1'-0"



7 TRASH ENCLOSURE GATE  
 Scale: 1/4" = 1'-0"



3 CANE BOLT  
 Scale: 3" = 1'-0"



Client:  
**Gracepoint  
 Adventist  
 Church**  
 3500 Sunset Blvd.  
 Rocklin, CA 95677

Project Name:  
**SANCTUARY  
 ADDITION**

Submittal:  
 CITY DESIGN  
 REVIEW &  
 HEIGHT VARIANCE

Architect of Record



Consultant

Revisions	Description	Date
▲	Height Variance	08-06-2014
▲	City Height Variance	10-10-2014
▲		
▲		

Approvals

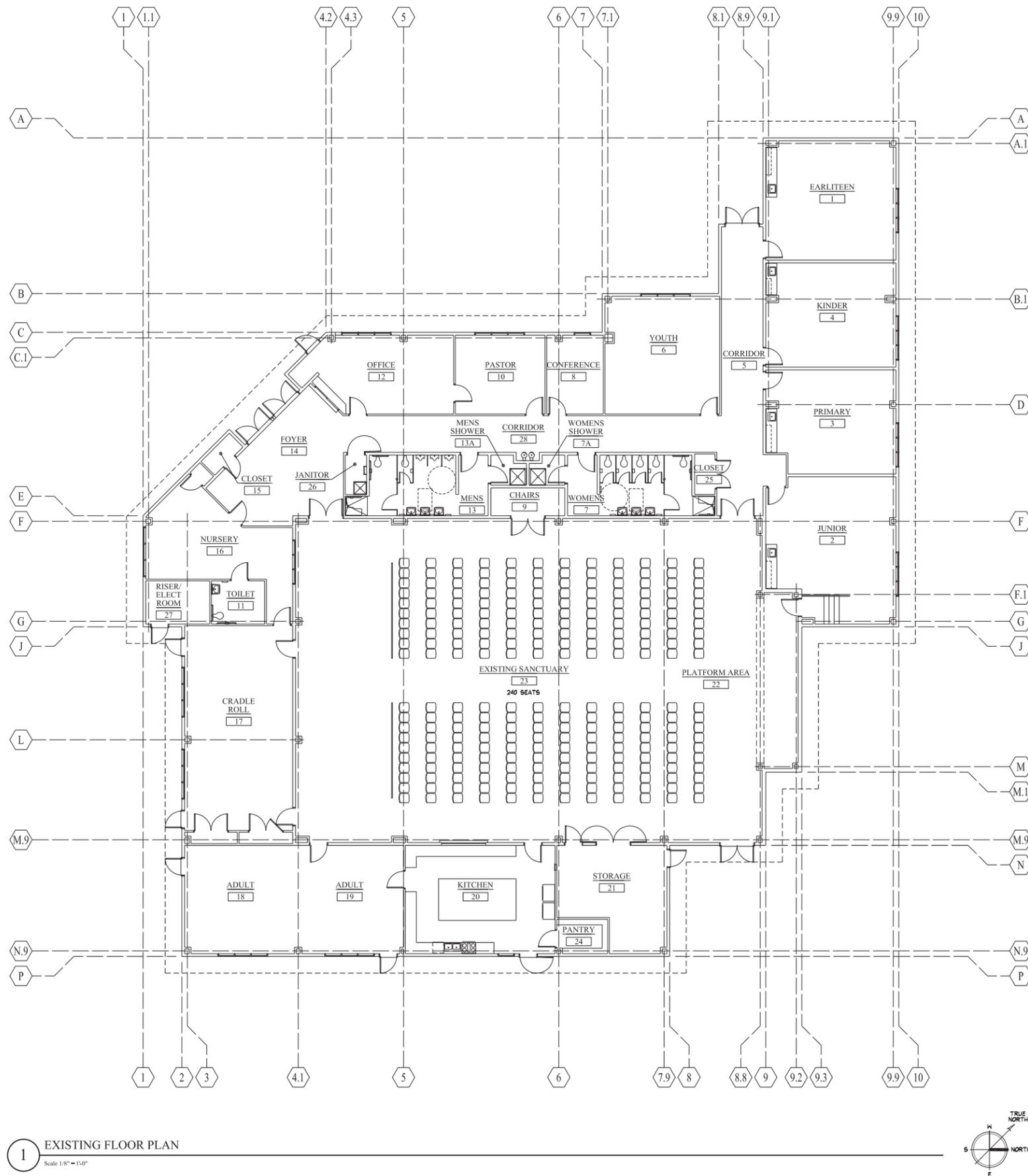
Key Plan



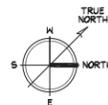
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 Checked By: KWM

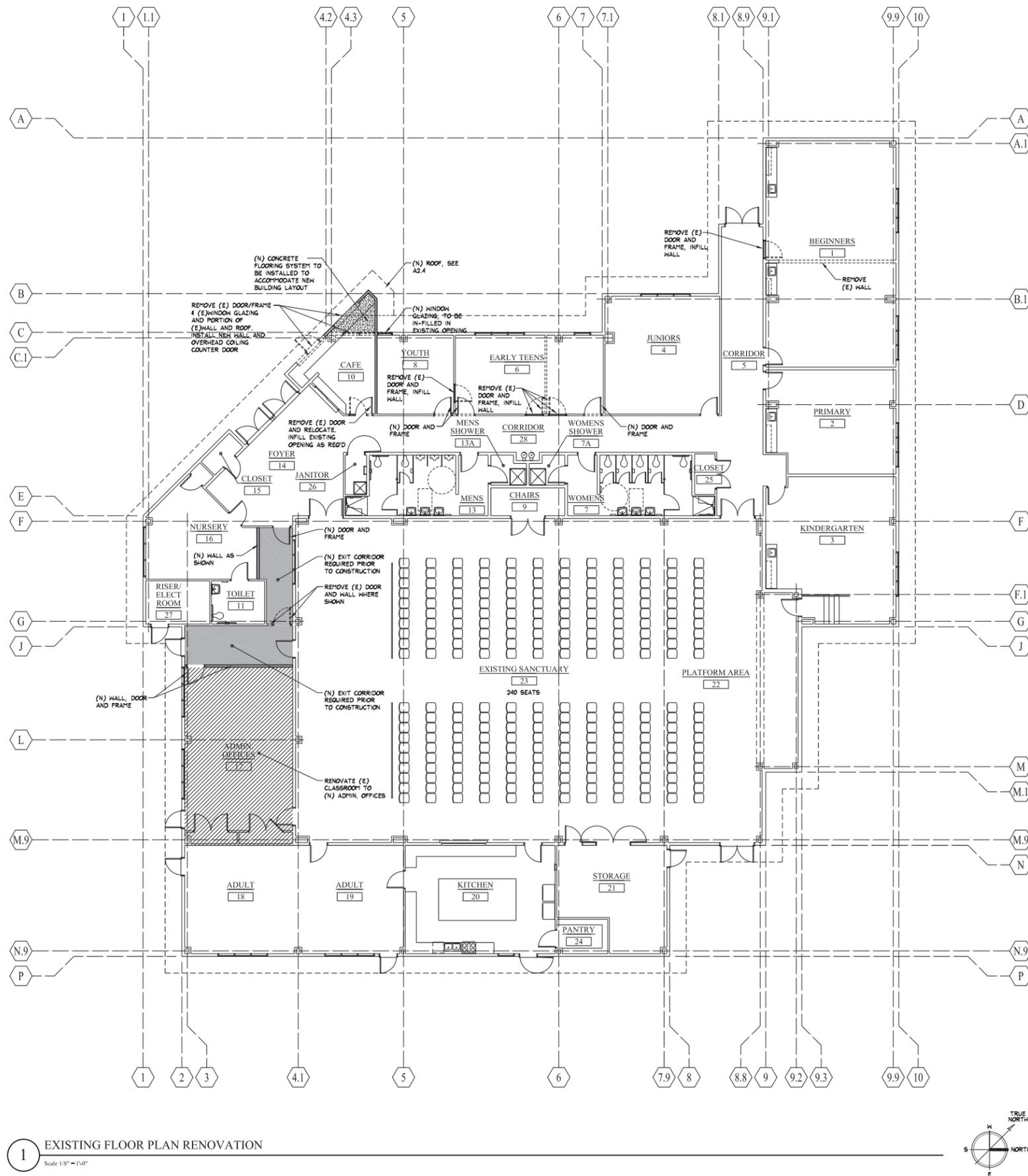
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**EXISTING  
 FLOOR PLAN**

Sheet Number  
**A2.1**

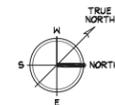


**1** EXISTING FLOOR PLAN  
 Scale: 1/8" = 1'-0"





1 EXISTING FLOOR PLAN RENOVATION  
Scale 1/8" = 1'-0"



ADD ALTERNATE:

ADD ALTERNATE #2 - REPLACED (E) AIR HANDLER UNITS OF (E) SANCTUARY. INCLUDE ALL EQUIPMENT & ACCESSORIES FOR FULLY FUNCTIONAL UPGRADE SYSTEM.

**KAP**  
KELLY ARCHITECTURE  
& PLANNING  
6528 LONEPINE BLVD.  
ROCKLIN, CA 95765  
916.797.1199



Client:  
Gracepoint  
Adventist  
Church  
3500 Sunset Blvd.  
Rocklin, CA 95677

Project Name:  
**SANCTUARY  
ADDITION**  
Submittal:  
CITY DESIGN  
REVIEW &  
HEIGHT VARIANCE



Architect of Record  
Consultant

Revisions

Description	Date
▲ Height Variance	08-06-2014
▲ City Height Variance	10-10-2014
▲	
▲	
▲	

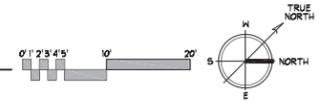
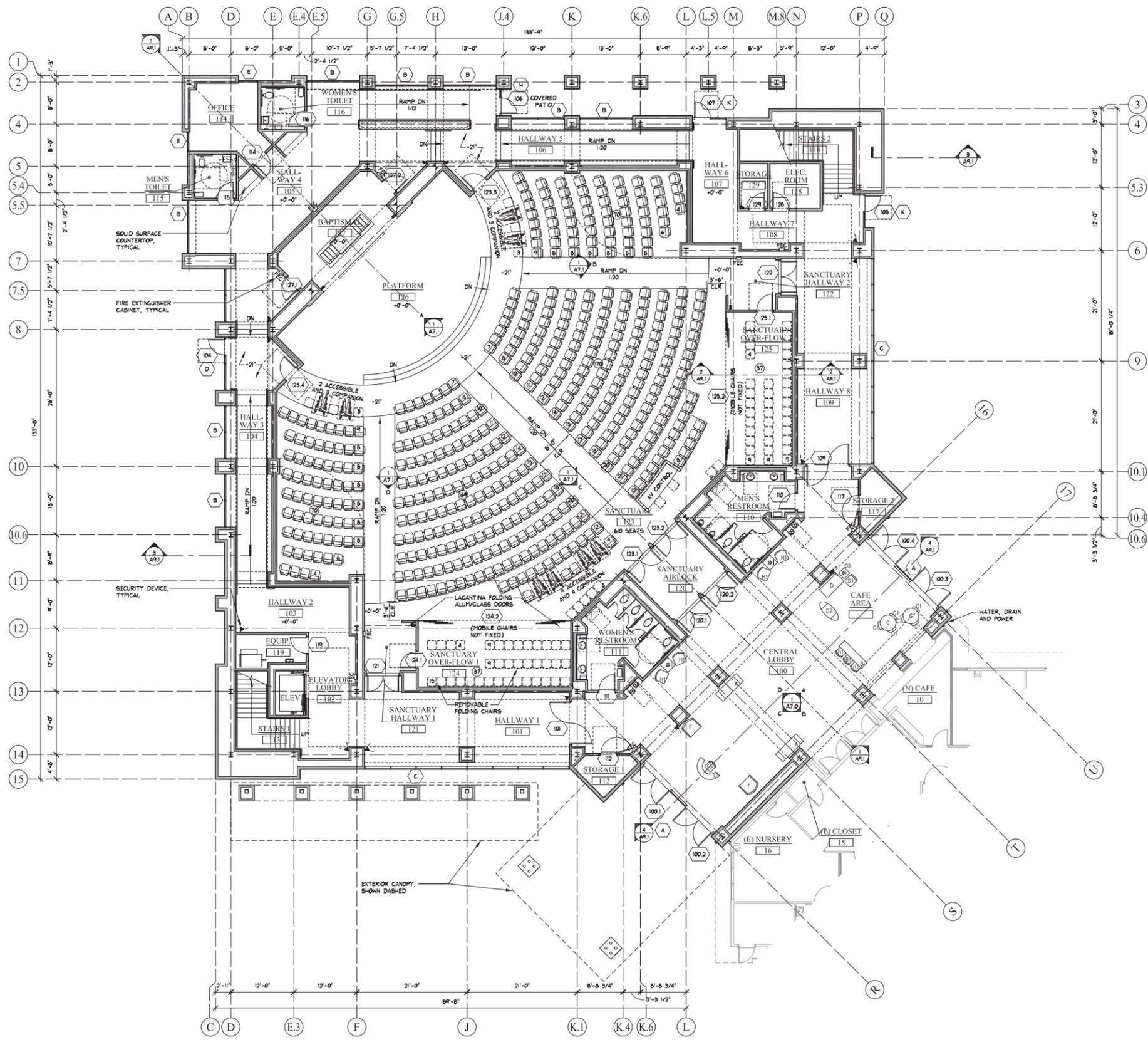
Approvals

Key Plan  
N.T.S.  
KAP Job No. 204.00  
Scale: As Noted  
Date: 2-25-2014  
Drawn By: RS/NR  
Checked By: KWM

Sheet Name  
EXISTING FLOOR  
PLAN RENOVATION

Sheet Number  
A2.1.1

1 NEW FIRST FLOOR PLAN  
Scale 1/8" = 1'-0"



**LEGEND:**

- EXISTING WALL TO REMAIN
- (N) METAL STUDS AT 16" O.C., SEE WALL TYPES.
- - - BRACE FRAMES PER STRUCTURAL
- - - BRACE FRAMES BELOW PER STRUCTURAL
- FEC FIRE EXTINGUISHER CABINET
- MANEUVERING CLEARANCE
- DOOR 4 SWING
- NOTION SENSOR SECURITY SYSTEM. TO BE INSTALLED IN HALLWAYS, LOBBY & RELIGIOUS EDUCATION ROOMS.

---

**SEATING CALCULATIONS:**

FIRST FLOOR:	
FIXED SANCTUARY SEATS	478
NON-FIXED SEATS:	74
ACCESSIBLE WHEELCHAIR SPACES:	6
COMPANION SEATS:	0
SECOND FLOOR:	
FIXED SEATS:	32
TOTAL SEATS:	603

---

**SQUARE FOOTAGE :**

1ST FLOOR :	16,540 S.F.
USE :	WORSHIP

**KAP**  
KELLY ARCHITECTURE & PLANNING  
6828 LONEPINE BLVD.  
ROCKLIN, CA 95765  
916.797.1199



Client:  
**Gracepoint Adventist Church**  
3500 Sunset Blvd.  
Rocklin, CA 95677

Project Name:  
**SANCTUARY ADDITION**

Submittal:  
CITY DESIGN REVIEW & HEIGHT VARIANCE



Consultant

Revisions	Description	Date
▲	Height Variance	08-06-2014
▲	City Height Variance	10-10-2014
▲		
▲		

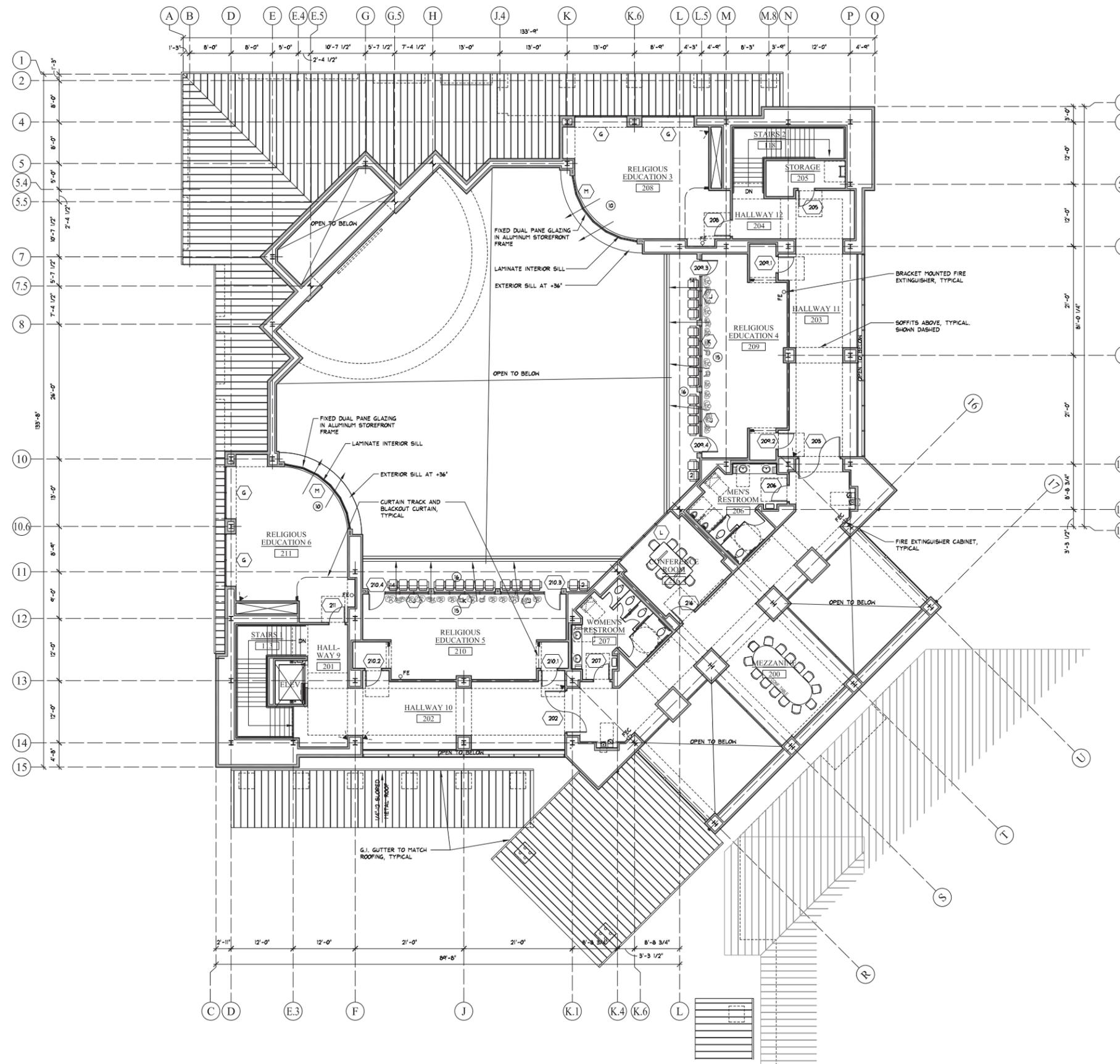
Approvals


Key Plan

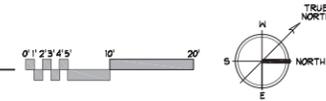
KAP Job No. 204.00  
Scale: As Noted  
Date: 3-3-2015  
Drawn By: RS/NR  
Checked By: KWM

Sheet Name  
**NEW FIRST FLOOR PLAN**

Sheet Number  
**A2.2**



1 NEW SECOND FLOOR PLAN  
Scale 1/8" = 1'-0"



**LEGEND:**

- EXISTING WALL TO REMAIN
- (N) METAL STUDS AT 16" O.C., SEE WALL TYPES
- BRACE FRAMES PER STRUCTURAL
- BRACE FRAMES BELOW PER STRUCTURAL
- FIRE EXTINGUISHER CABINET
- MANEUVERING CLEARANCE AT DOOR
- NOTION SENSOR SECURITY SYSTEM TO BE INSTALLED IN HALLWAYS, LOBBY & RELIGIOUS EDUCATION ROOMS.

**SQUARE FOOTAGE :**

2ND FLOOR : 7,370 S.F.  
USE : WORSHIP

**KAP**  
KELLY ARCHITECTURE & PLANNING  
6528 LONETREE BLVD.  
ROCKLIN, CA 95765  
916.707.1199



Client:  
**Gracepoint Adventist Church**  
3500 Sunset Blvd.  
Rocklin, CA 95677

Project Name:  
**SANCTUARY ADDITION**

Submittal:  
CITY DESIGN REVIEW & HEIGHT VARIANCE



Architect of Record  
Consultant

Revisions	Description	Date
▲	Height Variance	08-06-2014
▲	City Height Variance	10-10-2014

Approvals

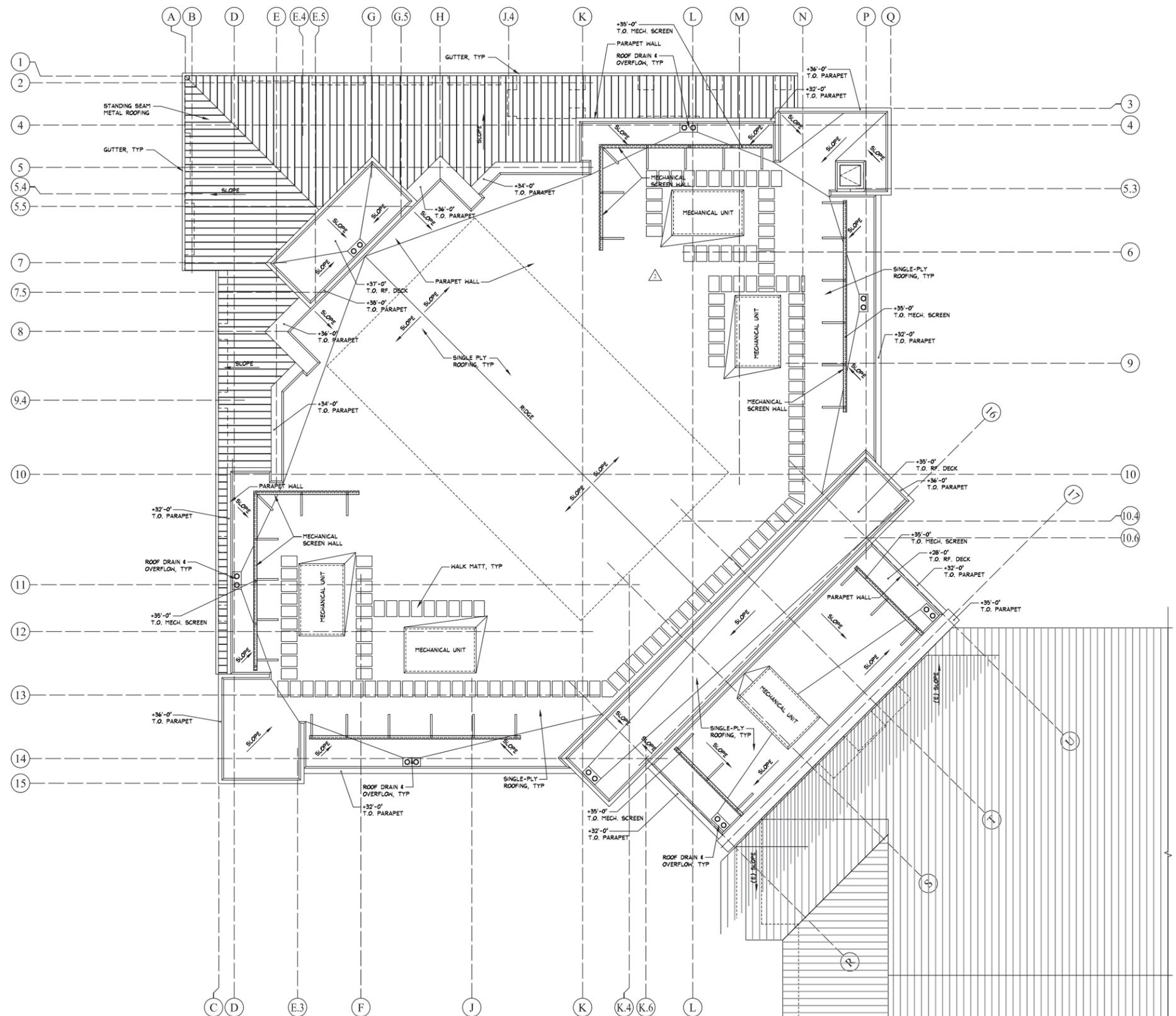
Key Plan

N.T.S.

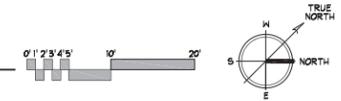
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Scale: As Noted  
Date: 2-25-2014  
Drawn By: RS/NR  
Checked By: KWM

Sheet Name  
**NEW SECOND FLOOR PLAN**

Sheet Number  
**A2.3**



1 NEW ROOF PLAN  
Scale 1/8" = 1'-0"



Client:  
**Gracepoint  
Adventist  
Church**  
3500 Sunset Blvd.  
Rocklin, CA 95677

Project Name:  
**SANCTUARY  
ADDITION**  
Submittal:  
CITY DESIGN  
REVIEW &  
HEIGHT VARIANCE



Consultant

Revisions	Description	Date
△	Height Variance	08-06-2014
△	City Height Variance	10-10-2014
△		
△		

Approvals

Key Plan

N.T.S.

KAP Job No. 204.00  
Scale: As Noted  
Date: 3-3-2015  
Drawn By: RS/NR  
Checked By: KWM

Sheet Name  
**NEW ROOF  
PLAN**

Sheet Number  
**A2.4**



Client:  
**Gracepoint Adventist Church**  
 3500 Sunset Blvd.  
 Rocklin, CA 95677

Project Name:  
**SANCTUARY ADDITION**

Submittal:  
**CITY DESIGN REVIEW & HEIGHT VARIANCE**

Architect of Record



Consultant

Revisions	Description	Date
△	Height Variance	08-06-2014
△	City Height Variance	10-10-2014
△	City DR Comments	3-3-2015

Approvals

Key Plan

N.T.S.

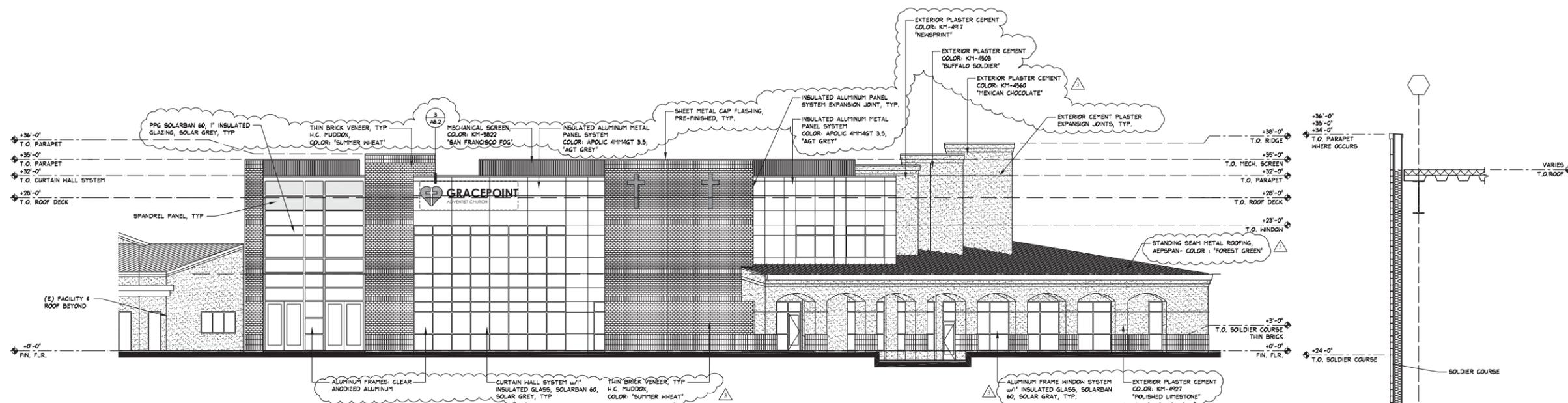
KAP Job No. 204.00  
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 Date: 3-3-2015  
 Drawn By: RS/NR  
 Checked By: KWM

Sheet Name:  
**EXTERIOR ELEVATIONS**

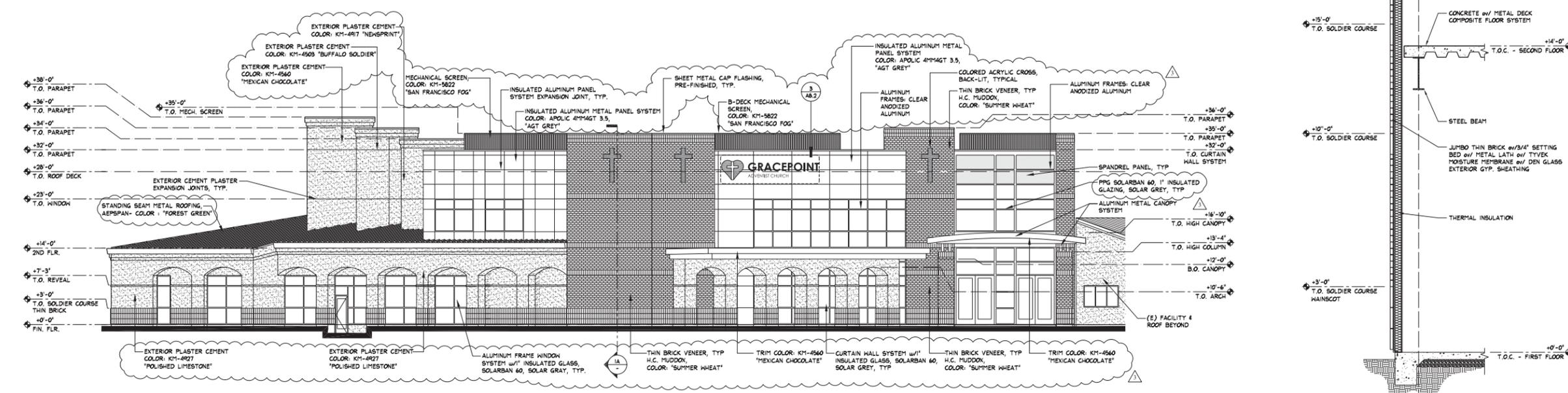
Sheet Number

**A8.1**

**Agenda Item #9.**



**2 EXTERIOR ELEVATION - NORTH, SUNSET BLVD. AND SPRINGVIEW DRIVE ELEVATION**  
 Scale 1/8" = 1'-0"



**1 EXTERIOR ELEVATION - SOUTH, PARKING LOT ELEVATION**  
 Scale 1/8" = 1'-0"

**1A PARTIAL WALL SECTION**  
 Scale: 1/2" = 1'-0"

**Packet Pg. 307**



Client:  
**Gracepoint Adventist Church**  
 3500 Sunset Blvd.  
 Rocklin, CA 95677

Project Name:  
**SANCTUARY ADDITION**

Submittal:  
**CITY DESIGN REVIEW & HEIGHT VARIANCE**

Architect of Record



Consultant

Revisions	Description	Date
△	Height Variance	08-06-2014
△	City Height Variance	10-10-2014
△	City DR Comments	3-3-2015

Approvals

Key Plan

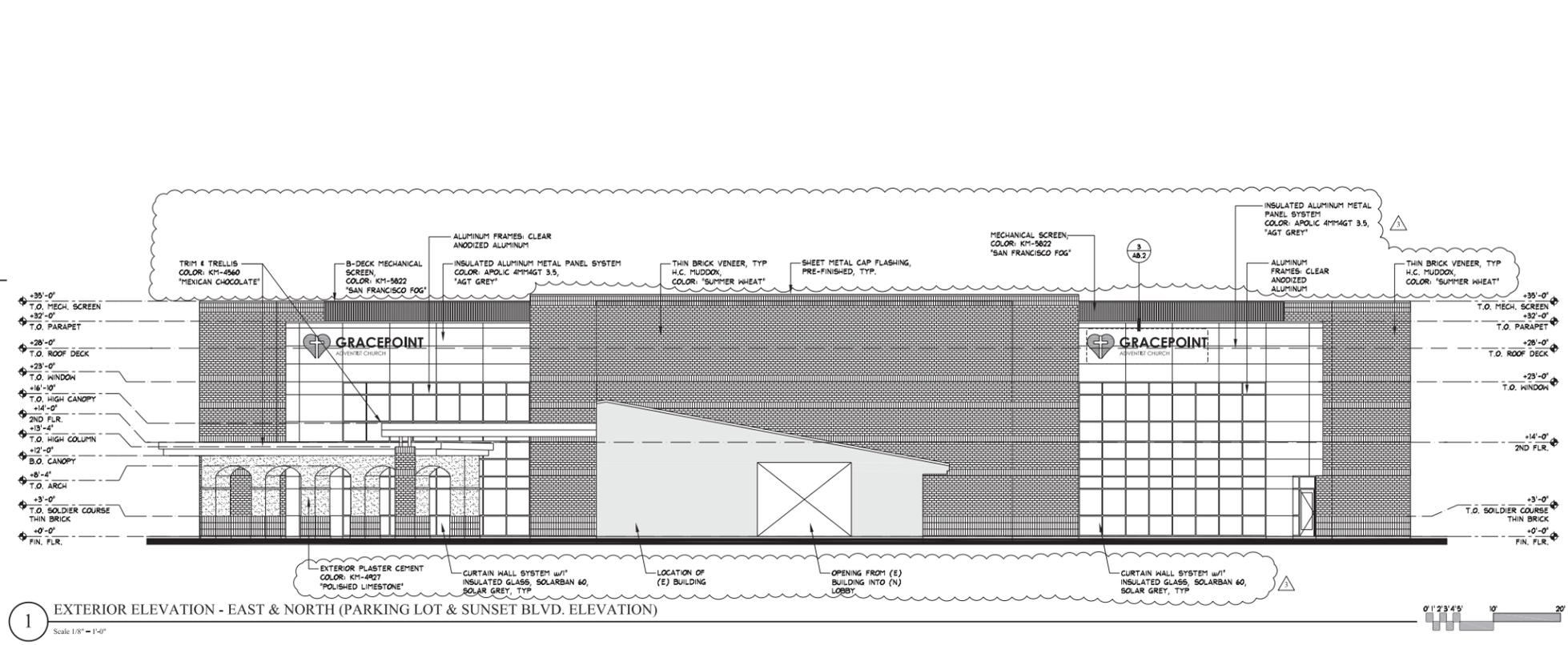
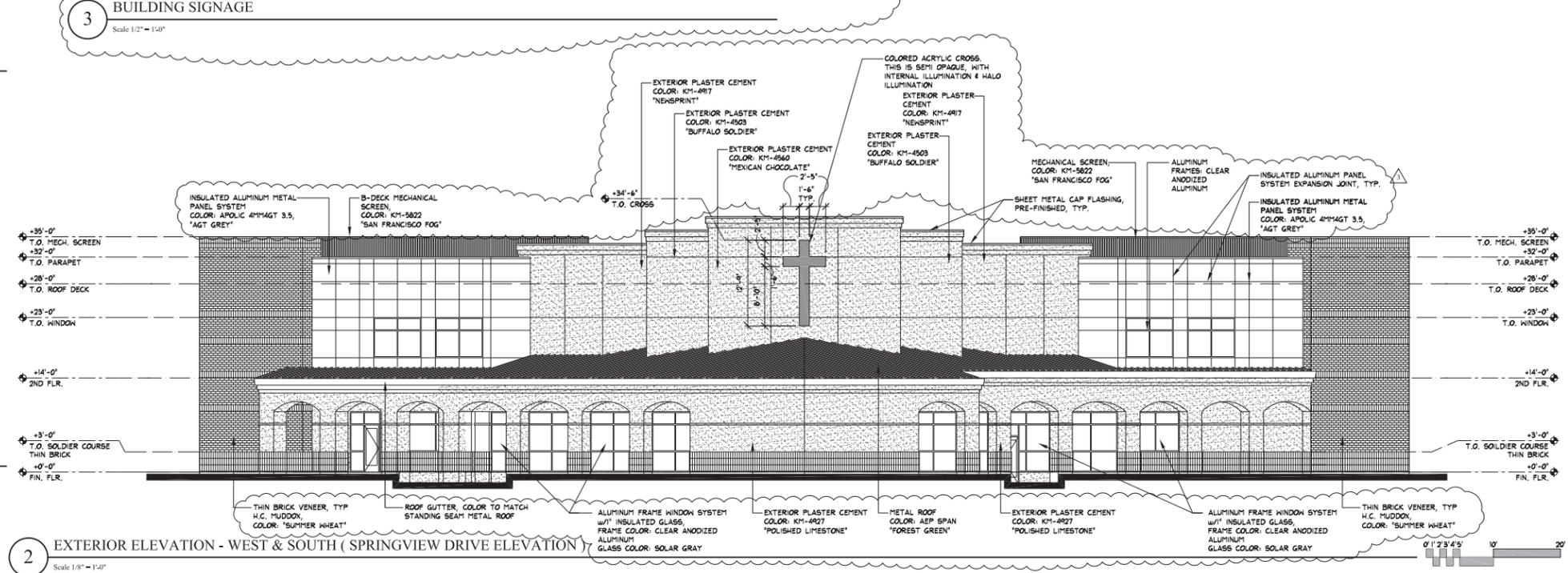
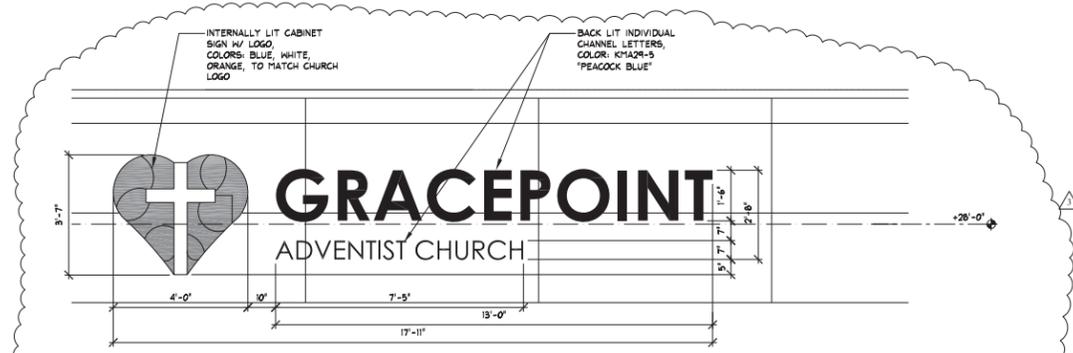


KAP Job No. 204.00  
 Scale: As Noted  
 Date: 3-3-2015  
 Drawn By: RS/NR  
 Checked By: KWM

Sheet Name  
**EXTERIOR ELEVATIONS**

Sheet Number  
**A8.2**

**Agenda Item #9.**



**Packet Pg. 308**

Client:



Facility:

Gracepoint  
 Adventist  
 Church  
 3500 Sunset Blvd.  
 Rocklin, CA 95677

Project Name:

**SANCTUARY  
 ADDITION**

Submital:

CITY DESIGN  
 REVIEW &  
 HEIGHT VARIANCE

Architect of Record



Consultant

Revisions

Revisions	Description	Date
1	Height Variance	08-06-2014
2	City Height Variance	10-10-2014
3	City DR Comments	3-3-2015

Approvals

Key Plan



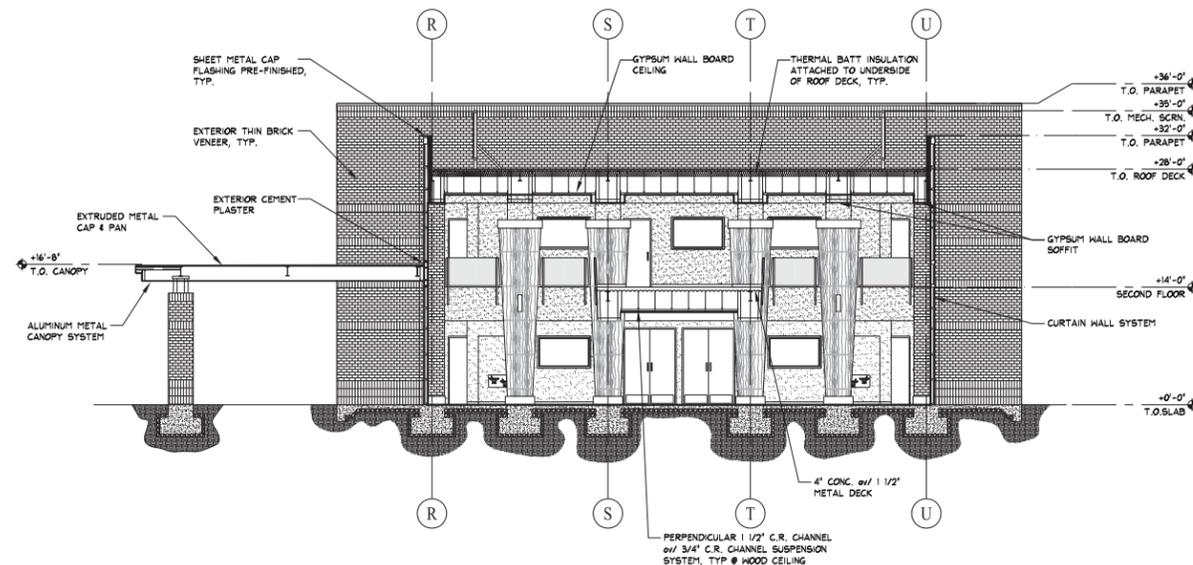
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Sheet Name

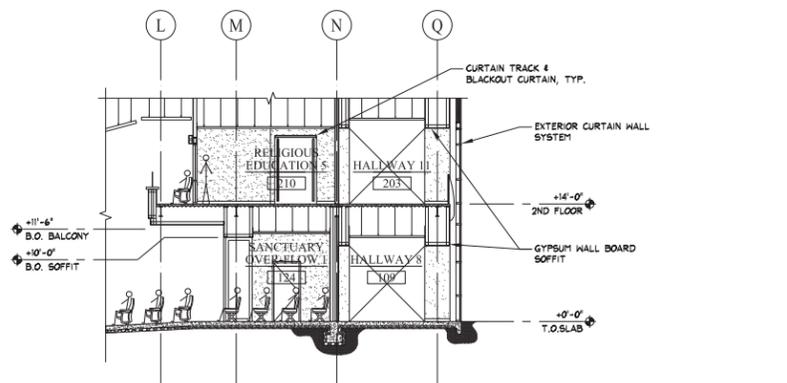
**BUILDING  
 SECTIONS**

Sheet Number

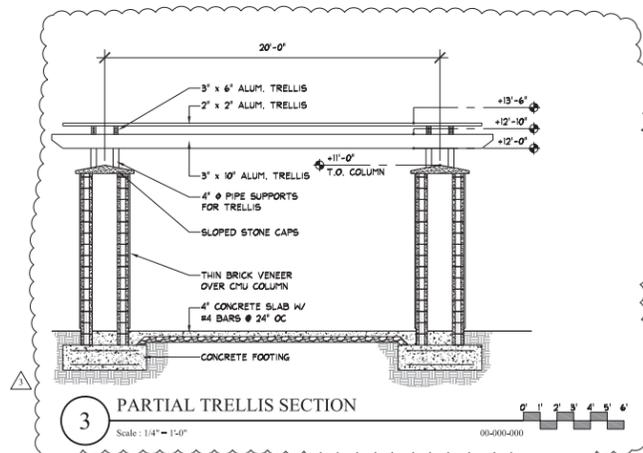
**A9.1**



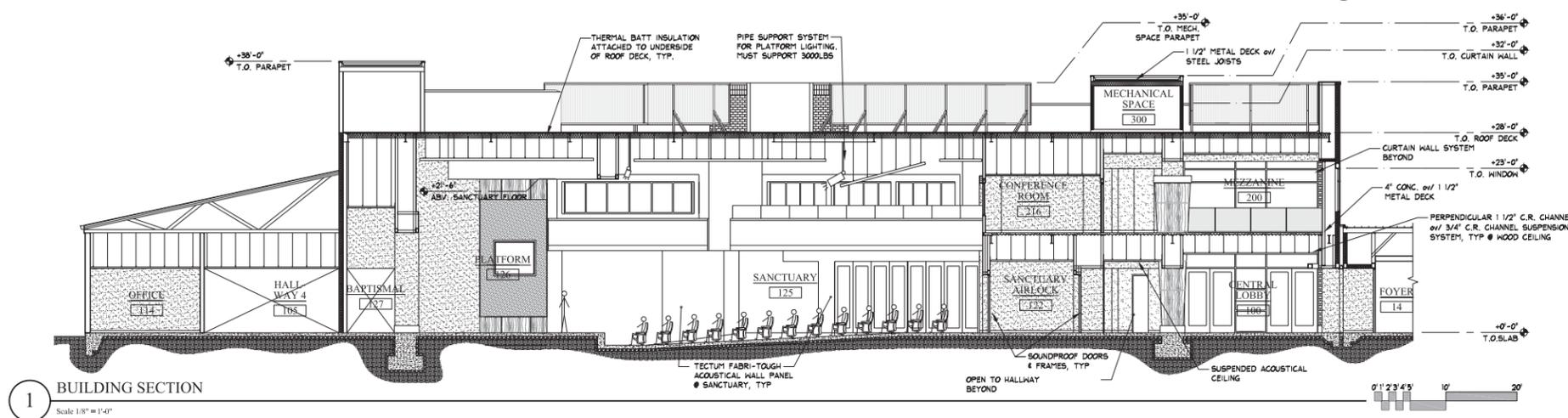
**4** BUILDING SECTION  
 Scale 1/8" = 1'-0"



**2** BALCONY / SANCTUARY OVERFLOW SECTION  
 Scale 1/8" = 1'-0"



**3** PARTIAL TRELLIS SECTION  
 Scale: 1/4" = 1'-0"



**1** BUILDING SECTION  
 Scale 1/8" = 1'-0"



STUCCO COLOR -  
KM-4503  
"BUFFALO SOLDIER"

STUCCO COLOR  
KM-4560  
"MEXICAN CHOCOLATE"

METAL ROOF -  
AEP SPAN -  
"FOREST GREEN"

STUCCO COLOR -  
KM-4917 "NEWSPRINT"

METAL PANEL -  
ALPOLIC - 4mm4AGT3.5  
"AGT GREY"

HC MUDDOX JUMBO BRICK -  
"SUMMER WHEAT"

MECHANICAL SCREEN -  
KM-5822 "SAN FRANCISCO FOG"

METAL PANEL -  
ALPOLIC - 4mm4AGT3.5 "AGT GREY"

TRIM & TRELIS COLOR  
KM-4560  
"MEXICAN CHOCOLATE"

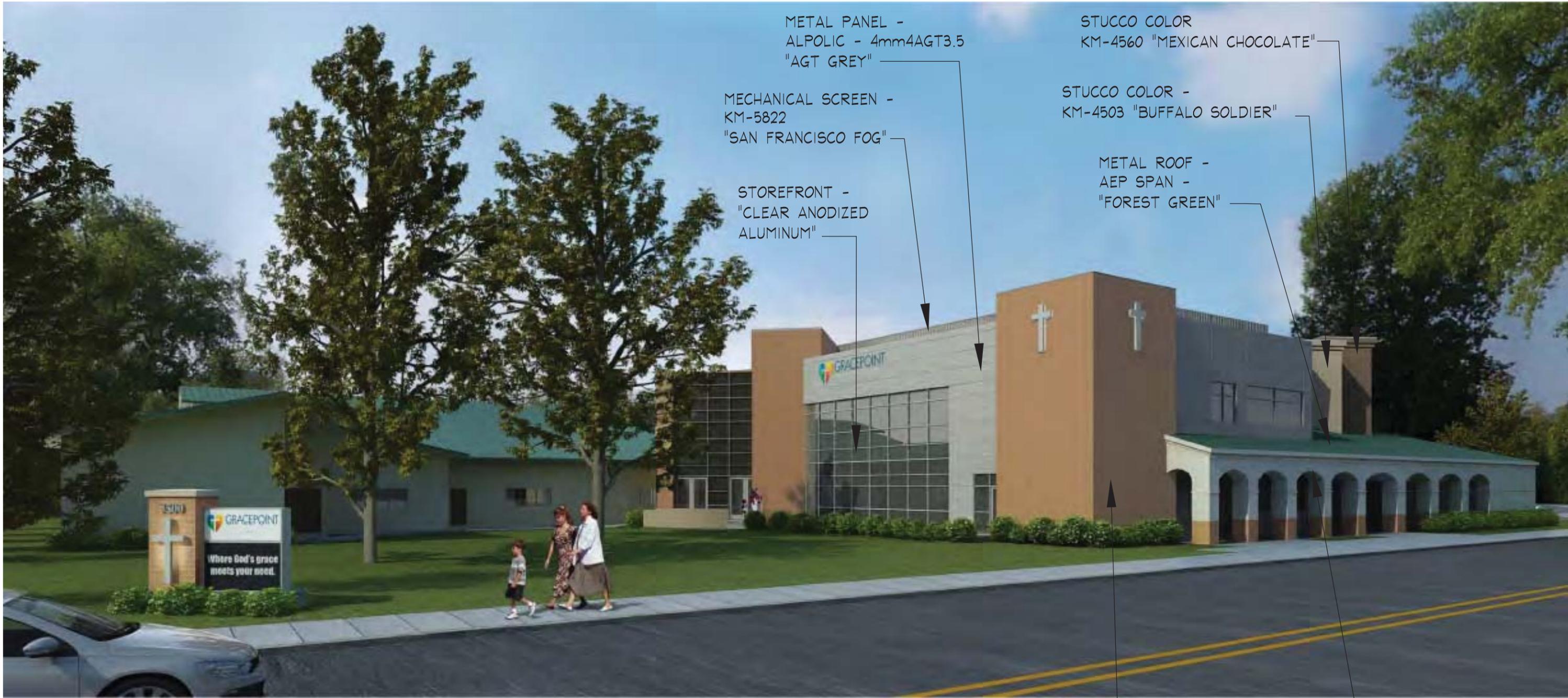
STUCCO COLOR - KM-4927  
"POLISHED LIMESTONE"



# GRACEPOINT SANCTUARY RENOVATION

GRACEPOINT ADVENTIST CHURCH  
3500 SUNSET BLVD ROCKLIN CA





# GRACEPOINT SANCTUARY RENOVATION

GRACEPOINT ADVENTIST CHURCH  
3500 SUNSET BLVD ROCKLIN CA





GLAZING

STANDING SEAM METAL ROOF



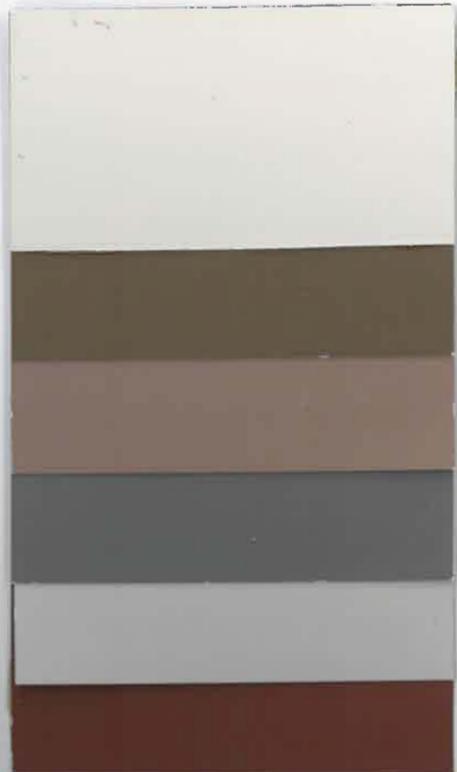
ALUMINUM WINDOW SYSTEMS

SINGLE PLY ROOF



METAL PANEL

JUMBO THIN BRICK



PAINT COLORS

EXTERIOR STUCCO TEXTURE



# GRACEPOINT SANCTUARY RENOVATION

GRACEPOINT ADVENTIST CHURCH  
3500 SUNSET BLVD ROCKLIN CA



# EXTERIOR COLORS

Project: Gracepoint Adventist Church

DIV	Material	Manufacturer	Color	Remarks
04810	Jumbo Thin Brick	HC Muddox	<b>Summer Wheat</b>	
08415 08520	Aluminum Window Systems	Kawneer	<b>Clear Anodized</b>	
08810	Glazing	PPG	Solar Ban 60, Solar Gray	
09220	Exterior Stucco Texture	Omega	Kelly Moore Paint, <b>Polished Limestone KM4927</b> <b>Buffalo Soldier KM4503</b> <b>Newsprint KM4917</b>	
	Metal Panels	Alpolic & Alpolic	<b>4mm4AGT3.5 AGT Grey</b>	
07620	Sheet Metal cap flashing		Paint to match stucco wall and paint to match Thin Brick wall.	
07620	Gutter and Downspouts		Paint to match Standing Seam Metal Roofing.	
07540	Standing Seam Metal Roof	AEP Span, Skyline Roofing series	Forest Green	
	Aluminum Metal Canopy	TBD	Column portion: Thin Brick, <b>Summer Wheat.</b> Trellis portion: Kelly Moore Paint, <b>Mexican Brown KM4560</b>	
	4 - metal columns at top of trellis columns.		Kelly Moore Paint, <b>Sequoia Redwood 159</b>	
	B-Deck Mechanical Screen		Kelly Moore Paint, <b>San Francisco Fog, KM5822</b>	Match Metal panels: 4mm4AGT3.5 AGT Grey
	Single-Ply Roofing	GAF-60mil TPO	White	

**RECEIVED**  
 DEC 22 2014

## RESOLUTION NO. PC-2015-30

RESOLUTION OF THE PLANNING COMMISSION  
OF THE CITY OF ROCKLIN APPROVING A DESIGN REVIEW

(Gracepoint Adventist Church Sanctuary Addition / V2014-0020)

The Planning Commission of the City of Rocklin does resolve as follows:

Section 1. The Planning Commission of the City of Rocklin finds and determines that:

A. This variance allows structures on the project site, located at 3500 Sunset Boulevard (APN# 016-030-023), to exceed the 30-foot height limit specified in the applicable zoning by eight feet (8') for a total maximum height allowed of 38 feet (38').

B. A categorical exemption of environmental impact for this project has been certified by Planning Commission Resolution PC-2015-28.

C. Due to special circumstances applicable to the construction of large open spaces for assembly use, a permitted use in the applicable zone district, specifically the floor-to-floor ceiling heights needed to accommodate efficient HVAC ducting and the need to adequately screen roof mounted HVAC equipment, the application of the standard thirty-foot height standard creates an unreasonable limitation on the design of the building that significantly limits the ability to comply with the design guidelines adopted by the City of Rocklin. Granting of the variance will allow the project design to better comply with the adopted Design Guidelines and thereby enhance the appearance of, and quality of life in the City for residents and the general public.

D. The proposed building height is consistent with that of other buildings in the City of Rocklin designed to accommodate similar uses.

E. The granting of the variance would not authorize a use or activity which is not otherwise expressly authorized by the zoning applicable to the site.

Section 2. The variance (Gracepoint Adventist Church Sanctuary Addition / V2014-0020) is hereby approved by the Planning Commission, as depicted and further described in Exhibit A of the concurrent design review application, DR2014-0015.

PASSED AND ADOPTED this 2<sup>nd</sup> day of June, 2015 , by the following vote:

AYES: Commissioners: Broadway, Martinez, Sloan, McKenzie, Whitmore

NOES: Commissioners: None

ABSENT: Commissioners: None

ABSTAIN: Commissioners: None



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Chairperson

ATTEST:



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Secretary

P:\PERMANENT PLANNING FILES\RESOLUTIONS\2015\PC-2015-30 - Gracepoint V2014-0020.docx

CITY OF ROCKLIN PLANNING  
JUNE 1ST, 2017



THIS LETTER IS TO REQUEST AN EXTENSION ON  
BEHALF OF GRACEPOINT CHURCH FOR THE FOLLOWING  
ENTITLEMENTS

- DR2014-0015
- V2014-0020

THE REQUIRED 600' RADIUS MAILING LABELS WILL BE  
SUBMITTED AS SOON AS POSSIBLE

REGARDS

KEWT NAVES, AIA C-27597  
6528 LONETREE BLVD.  
ROCKLIN CA. 95765  
916.622.7575

6/1/17

ATTACHED CHECK #7244 IN THE AMOUNT OF \$4,587.00

## RESOLUTION NO. PC-2017-

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN  
 APPROVING A TWO-YEAR TIME EXTENSION FOR A DESIGN REVIEW AND VARIANCE TO  
 ALLOW THE DEVELOPMENT OF A SANCTUARY ADDITION TO AN EXISTING CHURCH  
 BUILDING AND TO EXCEED THE 30-FOOT HEIGHT LIMIT

Gracepoint Adventist Church Sanctuary Addition-Time Extension/DR2014-0015, V2014-0020

The Planning Commission of the City of Rocklin does resolve as follows:

Section 1. The Planning Commission of the City of Rocklin finds and determines that:

A. A Design Review (DR2014-0015) and Variance (V2014-0020) were approved via Planning Commission Resolution No. PC-2015-29 and PC-2015-30 on June 2, 2015 to allow the development of a 23,910 square foot sanctuary addition to the existing church building (with enhanced entry, a new driveway, new signage, and new site landscaping) and to exceed the 30-foot height limit specified in the applicable zoning district by eight feet (8') for a total maximum height of 38 feet (38'), at 3500 Sunset Boulevard, on the southerly corner of Springview Drive and Sunset Boulevard. Assessor's Parcel Number 016-030-023.

B. A Notice of Exemption has been approved for this project via Planning Commission Resolution No. PC-2015-28.

C. The design of the site and buildings or structures is consistent with the goals and policies of the General Plan, and with all of the zoning regulations, standards, and restrictions of the C-1 (Neighborhood Commercial) zoning district.

Section 2. The two-year extension of time for the Gracepoint Adventist Church Sanctuary Addition design review and variance (DR2014-0015 / PC-2015-29 and V2014-0020 / PC-2015-30), as depicted and further described in Exhibits A & B, attached hereto and by this reference incorporated herein, is hereby approved subject to the terms and conditions in the previous approval. Unless expressly stated otherwise, the applicant/developer shall be solely responsible for satisfying each condition and the conditions must be satisfied prior to issuance of the building permit, or issuance of certificate of occupancy as determined by the Economic and Community Development Director. The agency and/or City department(s) responsible for ensuring implementation of each condition is indicated in parenthesis with each condition.

A. Notice to Applicant of Fees & Exaction Appeal Period

The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code §66020(d), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations, and other exactions.

The applicant is hereby notified that the 90-day protest period, commencing from the date of approval of the project, has begun. If the applicant fails to file a protest regarding any of the fees, dedication requirements, reservation requirements or other exaction contained in this notice, complying with all the requirements of Government Code §66020, the applicant will be legally barred from later challenging such exactions.

B. Conditions

1. Validity

This entitlement shall extend the expiration date of Planning Commission Resolution No. PC-2015-29 for design review DR2015-0015 and Planning Commission Resolution No. PC-2015-30 for variance V2014-0020 by two years to June 2, 2019, unless prior to that date a building permit has been issued or a further time extension has been granted. (PLANNING)

2. The originally-approved resolutions and associated exhibits shall govern the design and construction of the project.

PASSED AND ADOPTED this \_\_\_\_ day of August, 2017, by the following roll call vote:

AYES: Commissioners:

NOES: Commissioners:

ABSENT: Commissioners:

ABSTAIN: Commissioners:

\_\_\_\_\_  
, Chairperson

ATTEST:

\_\_\_\_\_  
Secretary