



New Project Information

The City of Rocklin has begun processing the below referenced application for project approval. The request is now being reviewed for compliance with the requirements and regulations of relevant City, State, and Federal agencies, and Utility providers. Once any issues have been resolved notice will be provided to alert neighbors and interested parties of the availability of project information, the opportunity to comment on a project, and of any pending review or action.

Application Received: May 6, 2016

Project Name and Requested Approvals:

DUTCH BROS AT WILDCAT BOULEVARD (STANFORD RANCH PARCEL 61)
DESIGN REVIEW, DR2016-0007

Staff Description of Project:

This application is a request for approval of a Design Review to allow the construction of a new Dutch Bros Coffee outlet with drive-through lane of approximately 648 square feet, an office/storage building of approximately 2,040 square feet, a trash enclosure, on-site parking, landscaping, and appropriate hardscape.

Location:

The subject site is generally located approximately 300 feet from the intersection at the northeast corner of West Stanford Ranch Road and Wildcat Boulevard. APN 373-030-062.

Existing Land Use Designations:

The property is zoned Planned Development Business Professional/Commercial (PD-BP/C).
The General Plan designation is Business Professional/Commercial (BP/C).

This project does / XX does not require modification or change of the land use designations and regulations currently applicable to the project site.

Compliance with the California Environmental Quality Act:

A preliminary review of this project pursuant to the California Environmental Quality Act (CEQA) Section 15332 Infill Development Projects has tentatively identified a Categorical Exemption as the appropriate level of environmental review for this project.

Applicant & Property Owner:

The applicant is Mael Properties, LLC. The property owner is Stanford Ranch I, LLC.

Attached Information:

For additional detail please see the attached information from the project application form and the submitted application exhibits.



City of Rocklin
 Planning Division
 3970 Rocklin Road
 Rocklin, California 95677
 Phone (916) 625-5160 FAX (916) 625-5195

RECEIVED
 MAY 06 2016

DR 2016-0007

**UNIVERSAL
 APPLICATION
 FORM**

NAME OF PROJECT: Dutch Bros Coffee

LOCATION: 2003 Wildcat Blvd. Rocklin, CA 95765

ASSESSOR'S PARCEL NUMBERS: 373-030-062

DATE OF APPLICATION (STAFF): 5/6/16 **RECEIVED BY (STAFF INITIALS):** DR

FILE NUMBERS (STAFF): DR 2016-0007 **FEES:** 9,000.00

RECEIPT NO.: R13006

Pre-Application Meeting Requirements:

It is required that a pre-application meeting be held with a Staff Planner prior to submitting most applications for planning entitlements and permits. The purpose of the pre-application meeting is to expedite application processing by enabling staff to work with the applicant to assure that the officially submitted application materials are in the proper format and that the applicant understands the City of Rocklin's goals, policies, and ordinances that may affect the project. A copy of these and other planning provisions is available at the applicant's request.

Generally, two sets of preliminary plans and a written description of the proposed project should be brought with the applicant to the pre-application meeting. To schedule this meeting, please contact a Staff Planner at the Rocklin Community Development Department by calling (916) 625-5160.

DATE OF PRE-APPLICATION MEETING: countered phone DR

THIS APPLICATION IS FOR THE FOLLOWING ENTITLEMENTS: (CHECK APPROPRIATE SQUARES)

- | | | |
|--|---|--|
| <input type="checkbox"/> General Plan Amendment (GPA)
Fee: \$11,434 (< 100 Acres)
\$ 2,565 (each add'l 100 Acres) | <input type="checkbox"/> Tentative Subdivision Map (SD)
Fee: \$17,715 (1 st 50 lots)
\$2,188 (each add'l 50 lots)
\$10,337 Modification | <input type="checkbox"/> Use Permit (U)
<input type="checkbox"/> Minor (PC Approval - New Bldg) Fee: \$9,888
<input type="checkbox"/> Minor (PC Approval - Existing Bldg) Fee: \$7,496
<input type="checkbox"/> Major (CC Approval) Fee: \$13,252 |
| <input type="checkbox"/> Rezone (Reclassification) (Z)
Fee: \$9,846 < 20 acres
\$10,850 > 20 acres | <input type="checkbox"/> Tentative Parcel Map (DL)
Fee: \$9,888 | <input type="checkbox"/> Variance (V)
Fee: \$5,036 |
| <input type="checkbox"/> General Development Plan (PDG)
Fee: \$13,475 | <input checked="" type="checkbox"/> Design Review (DR)
● Commercial Fee: \$9,888
Residential Fee: \$6,097
Signs Fee: \$4,233 | <input type="checkbox"/> Oak Tree Preservation Plan Permit
Planning Commission Fee: \$ 915
City Council Fee: \$1,232 |
| <input type="checkbox"/> Concurrent Application (2 or more entitlements)
Fee: \$15,845
\$2,142 (each add'l 50 lots or 100 acres) | | <input type="checkbox"/> Modification to Approved Projects
Fee: \$3,481 |

File Number _____

Environmental Requirements: (STAFF) Exempt - \$1,277.00 Mitigated Negative Declaration - \$6,311.00
 Negative Declaration - \$5,166.00 EIR - See Fee Schedule

UNIVERSAL APPLICATION FORM (CONT.)

GENERAL PLAN DESIGNATION:	PROPERTY DATA:	UTILITIES:	
Existing: <u>City of Rocklin</u>	Acres: <u>0.92</u>	EXISTING	PROPOSED
Proposed: _____	Square Feet: <u>40075.20</u>	<input checked="" type="checkbox"/> Pub. Sewer	_____ Pub. Sewer
Zoning:	Dimensions: <u>230' x 164'</u>	_____ Septic Sewer	_____ Septic Sewer
Existing: <u>PD-BP/C</u>	No. of Units: <u>2 proposed</u>	<input checked="" type="checkbox"/> Pub. Water	_____ Pub. Water
Proposed: _____	Building Size: <u>648sf / 2040sf</u>	_____ Well Water	_____ Well Water
	Proposed Parking: <u>19</u>	<input checked="" type="checkbox"/> Electricity	_____ Electricity
	Required Parking: <u>19</u>	<input checked="" type="checkbox"/> Gas	_____ Gas
	Access: <u>Wildcat & W. Stanford</u>	<input checked="" type="checkbox"/> Cable	_____ Cable

PROJECT REQUEST: Request for Design Review Approval to construct a typical Dutch Bros

Coffee outlet (aproximately 648sf) and a office/warehouse facility (approximately 2040sf) on

0.92 acres of commercial property.

(Example: Request for approval of design review to construct a 10,000 square foot office building on 1.5 acres)

NOTE: Annexations, Lot Line Adjustments, and Rocklin Ranch Industrial Park Specific Plan Use Permits require special application forms and additional submittal information available from the Planning Division.

UNIVERSAL APPLICATION FORM (CONT.)

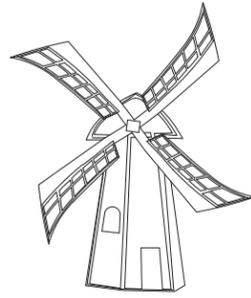
PLEASE PRINT OR TYPE:

NAME OF PROPERTY OWNER:	Stanford Ranch I, LLC		
ADDRESS:	3140 Peacekeeper Way		
CITY:	McClellan	STATE:	CA ZIP: 95652
PHONE NUMBER:	916-624-0613		
EMAIL ADDRESS:	dkelley@ldkcapital.com		
FAX NUMBER:	916-640-0507		
SIGNATURE OF OWNER			
<i>(Signature Authorizing Application; provide owner's signature letter if signature is other than property owner.)</i>			
NAME OF APPLICANT (If different than owner):	Mauel Properties, LLC		
CONTACT:	Jeremy Mauel		
ADDRESS	PO Box 3014		
CITY:	Auburn	STATE:	CA ZIP: 95604
PHONE NUMBER:	530-210-9105		
EMAIL ADDRESS:	liquidluvco@live.com		
FAX NUMBER:	530-888-7895		
SIGNATURE OF APPLICANT			

AGENT AUTHORIZATION FORM

Property owners desiring to authorize individuals to represent them in conjunction with any application or matter before the City shall provide written authorization using this form. A separate form shall be used for each individual or firm authorized, and shall specifically note any restrictions upon the authorized person.

Project Name:	Dutch Bros Coffee
Location:	2003 Wildcat Blvd., Rocklin, CA 95765
Assessors Parcel Number(s):	373-030-062
Entitlements for which authorization is applicable (use permit, variance, tentative map, etc.):	Design Review Approval & Building Permits
Name of person and / or firm authorized to represent property owner (Please print):	Jeremy Mauel
Address (Including City, State, and Zip Code):	PO Box 3014 Auburn CA 95604
Phone Number:	530-210-9105
Fax Number:	530-888-7895
Email Address:	liquidluvco@live.com
The above named person or firm is authorized as:	Agent () Buyer (<input checked="" type="checkbox"/>) Lessee ()
The above named person or firm is authorized to (check all that are applicable):	(<input checked="" type="checkbox"/>) File any and all papers in conjunction with the aforementioned request, including signing the application (<input checked="" type="checkbox"/>) Speak on behalf of and represent the owner at any Staff meeting and/or public hearing. () Sign any and all papers in my stead, with the exception of the application form.
The duration and validity of this authorization shall be:	(<input checked="" type="checkbox"/>) Unrestricted () Valid until:
Owners Authorization Signature & Date:	 5/5/16
Owners Name (Please Print):	Stanford Ranch I, LLC
Owners Address (Including City, State, and Zip Code):	3140 Peacekeeper Way McClellan, CA 95652
Phone Number:	916-965-7100
Email Address:	dkelley@ldkcapital.com

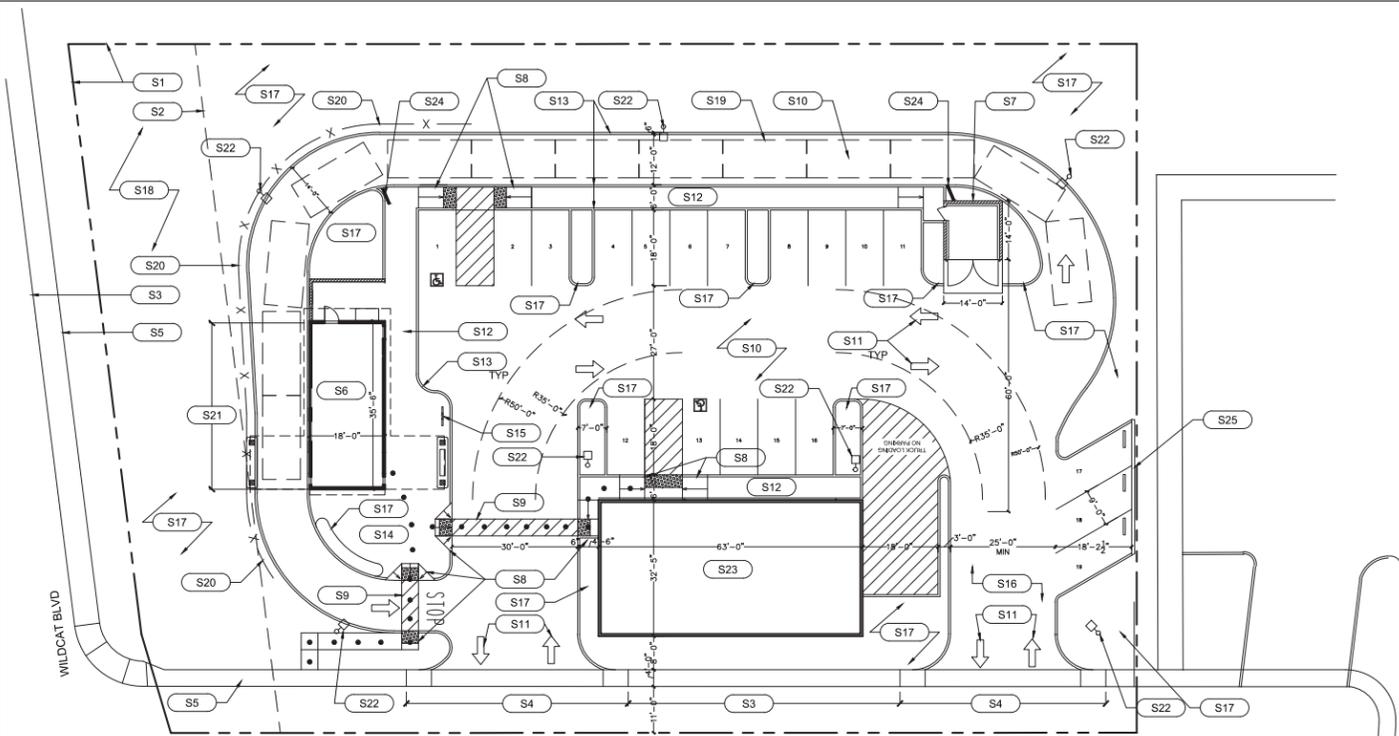


DUTCH BROS

Coffee

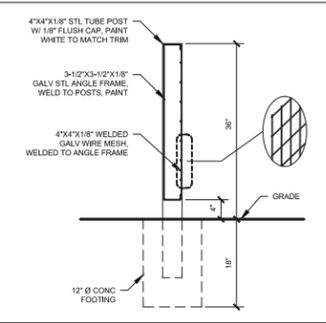
THIRD SHOE, INC.
349 Silver Lake Drive
Chico, CA 95973
530-898-0123

**ALAN CHAMBERS
ARCHITECT**

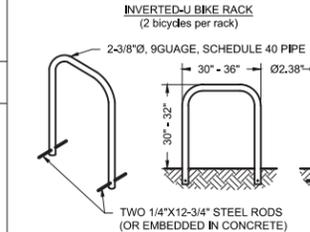


3 SITE PLAN
SCALE: 1" = 20'

2 WIRE FENCE DETAIL



1 BIKE RACK DETAIL



NOTES:
1. Bike Rack to be galvanized, painted, or powder coated to match surrounding improvements.
2. Bike Racks should be located to maximize visibility, not obstruct pedestrian traffic or fire hydrants, and as close as practical to building entrances.
3. Bicycle design dimensions are 72"x24" in plan view. Additional clearance required for maneuvering is 48" longitudinally and 24" transversely.
4. Footprint of Bike Rack with two bicycles and required clearances is 120"x72"
5. Minimum spacing between Bike Racks is 30".
6. Minimum street setback is 36".

SITE PLAN KEYNOTES

S1	PROPERTY LINE
S2	30' STREET SETBACK
S3	(E) CURB & GUTTER TO REMAIN
S4	(E) CONCRETE WALK TO BE REMOVED, SEE CIVIL DWGS
S5	(E) CONCRETE WALK TO REMAIN
S6	(N) KIOSK BUILDING
S7	(N) CMU TRASH ENCLOSURE
S8	(N) ACCESSIBLE RAMP, SEE CIVIL DWGS
S9	(N) PAINTED CROSSWALK FOR ACCESSIBLE PATH OF TRAVEL, SEE CIVIL DWGS
S10	(N) AC PAVING
S11	(N) PAINTED DIRECTIONAL ARROWS
S12	(N) CONCRETE WALK
S13	(N) 6" CONCRETE CURB, SEE CIVIL DWGS
S14	(N) CONCRETE PAVING
S15	(N) BIKE RACK, SEE DETAIL 1/DR-0
S16	(N) SLOPED DRIVE, SEE CIVIL DWGS
S17	(N) LANDSCAPE AREA, SEE LANDSCAPE DWGS
S18	(N) BIO-SWALE, SEE CIVIL & LANDSCAPE DWGS
S19	DRIVE THRU REQUIRED STACKING/QUEUING AREA
S20	(N) WIRE SCREEN FENCE W/ CLIMBING PLANTS, SEE LANDSCAPE DWGS, SEE DETAIL 2/DR-0
S21	(N) CONCRETE PAVING AT DRIVEWAY, SEE CIVIL DWGS
S22	(N) SINGLE LIGHT POLE
S23	(N) OFFICE BUILDING
S24	(N) ILLUMINATED MENU BOARD
S25	(N) LANDSCAPE RETENTION WALL

SHEET INDEX

DR-0	COVER SHEET, SITE PLAN
C1	CIVIL IMPROVEMENT PLAN
C2	CIVIL GRADING PLAN
C4	CIVIL DRAINAGE PLAN
C1.1	CIVIL EXISTING CONTOURS
DR-3	KIOSK FLOOR & ROOF PLANS
DR-4	WAREHOUSE FLOOR & ROOF PLAN
DR-5	KIOSK, TRASH ENCLOSURE ELEVATIONS
DR-6	OFFICE/WAREHOUSE ELEVATIONS
DR-7	COLOR KIOSK ELEVATIONS
DR-8	COLOR OFFICE/WAREHOUSE ELEVATIONS
E1.2	PHOTOMETRIC PLAN
L-1	LANDSCAPE PLAN

PROJECT DESCRIPTION

THE CONSTRUCTION OF A NEW DUTCH BROS. COFFEE KIOSK BUILDING, DRIVE THROUGH, WALK-UP WINDOW, OUTDOOR PAVED AREA, PAVED PARKING AREAS AND NEW LANDSCAPE. CONSTRUCTION OF A NEW SINGLE STORY WAREHOUSE/OFFICE BUILDING.

PARKING PROVIDED

NEW DUTCH BROS. COFFEE KIOSK	5 STALLS
720 SF / 200 SF (TAKE-OUT) = 4.38	
TOTAL PARKING REQUIRED	5 STALLS
MAXIMUM # OF EMPLOYEES AT ANY SHIFT	3 EMPLOYEES
WAREHOUSE	11 STALLS
2042 SF / 200 SF = 10.21	
PARKING PROVIDED	17 STALLS
STANDARD	
ACCESSIBLE	2 STALLS
TOTAL PARKING PROVIDED	19 STALLS
BICYCLE PARKING PROVIDED	2

APPLICABLE CODES

2013	CALIFORNIA BUILDING CODE (TITLE 24 - PART 2)
2013	CALIFORNIA MECHANICAL CODE (TITLE 24 - PART 4)
2013	CALIFORNIA PLUMBING CODE (TITLE 24 - PART 5)
2013	CALIFORNIA ELECTRICAL CODE (TITLE 24 - PART 3)
2013	CALIFORNIA FIRE CODE (TITLE 24 - PART 9)
2013	TITLE 24 - ENERGY CODE

DESIGNERS OF RECORD

ARCHITECT:
ALAN CHAMBERS
THIRD SHOE, INC.
349 SILVER LAKE DRIVE
CHICO, CA 95973
(530) 898-0123
LICENSE: C18899

LANDSCAPE ARCHITECT:
ROBERT LITTLEPAGE
P.O. BOX 648
APPLEGATE, CA 95703
(530) 320-0390
LICENSE: 5679

CIVIL/STRUCTURAL ENGINEER:
JARROD HOLLIDAY
RANCHO ENGINEERING
5550 SKYWAY, SUITE C
PARADISE, CA 95969
(530) 877-3700
LICENSE: 066034

ELECTRICAL ENGINEER:
YIP SHING DONNYLEE
EDGE ELECTRICAL CONSULTING
431 30TH STREET
SACRAMENTO, CA 95816
916-256-2460
LICENSE: E-17376

PROJECT DATA

ASSESSOR PARCEL NUMBER: 373-03-062

SITE ADDRESS:
WILDCAT BLVD
ROCKLIN, CALIFORNIA

GENERAL PLANNING DESIGNATION: GP COMMERCIAL

ZONING: PD-BP/C

OCCUPANCY GROUP: B

INTENDED OCCUPANT USE:
NEW COFFEE AND BEVERAGE DRIVE-THRU SERVICE
WAREHOUSE AND OFFICE

EXISTING RETAIL BUILDING
CONSTRUCTION TYPE: V-B

FIRE SPRINKLERS: NO

KIOSK BLDG HEIGHT: 24' 2" / 1 LEVEL

WAREHOUSE BLDG HEIGHT: 20' 0" / 1 LEVEL

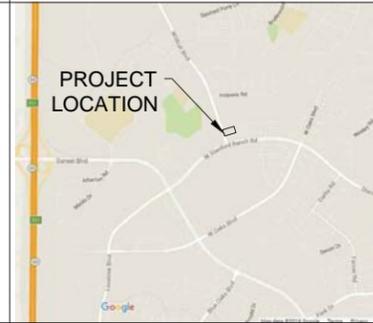
PROJECT INFORMATION

EXISTING SITE AREA	39,750 SF	100%
DB COFFEE KIOSK BLDG	648 SF	
OFFICE/WAREHOUSE BLDG	2,040 SF	
TOTAL BLDG AREA	2,688 SF	7%
TRASH ENCLOSURE	196 SF	
AC PAVED AREA	21,238 SF	
TOTAL PAVED AREA	21,767 SF	55%
LANDSCAPE AREA	15,025 SF	38%

ABBREVIATIONS

ABV	ABOVE	INSUL	INSULATION
ADJ	ADJUSTABLE	INT	INTERIOR
BLKG	BLOCKING	MECH	MECHANICAL
BM	BEAM	MIN	MINIMUM
CAB	CABINET	(N)	NEW
CC	CENTER TO CENTER	NTS	NOT TO SCALE
CI	CAST IRON PIPE	OJ	OVER
CLG	CEILING	O.C.	ON CENTER
COG	CLEAN OUT TO GRADE	PLMBG	PLUMBING
CONC	CONCRETE	POC	POINT OF CONNECTION
CW	COLD WATER	SIM	SIMILAR
DN	DOWN	SQ	SQUARE
DR	DOOR	SS	SANITARY SEWER
(E)	EXISTING	STRUC	STRUCTURAL
ELEC	ELECTRICAL	(TYP)	TYPICAL
ELEV	ELEVATION	UNO	UNLESS NOTED OTHERWISE
EQUIP	EQUIPMENT	VENT	VENTILATION
EXT	EXTERIOR	W/	WITH
FF	FINISH FLOOR	W/O	WITHOUT
FLR	FLOOR	WC	WATER CLOSET
FOF	FACE OF FINISH	WH	WATER HEATER
FRM	FRAMING		
FTG	FOOTING		
GYP	BD GYPSUM BOARD		
HDR	HEADER		
HORIZ	HORIZONTAL		
HT	HEIGHT		
HW	HOT WATER		

VICINITY MAP



DUTCH BROS COFFEE
WILDCAT BLVD.
ROCKLIN, CA 95765

Description	Date

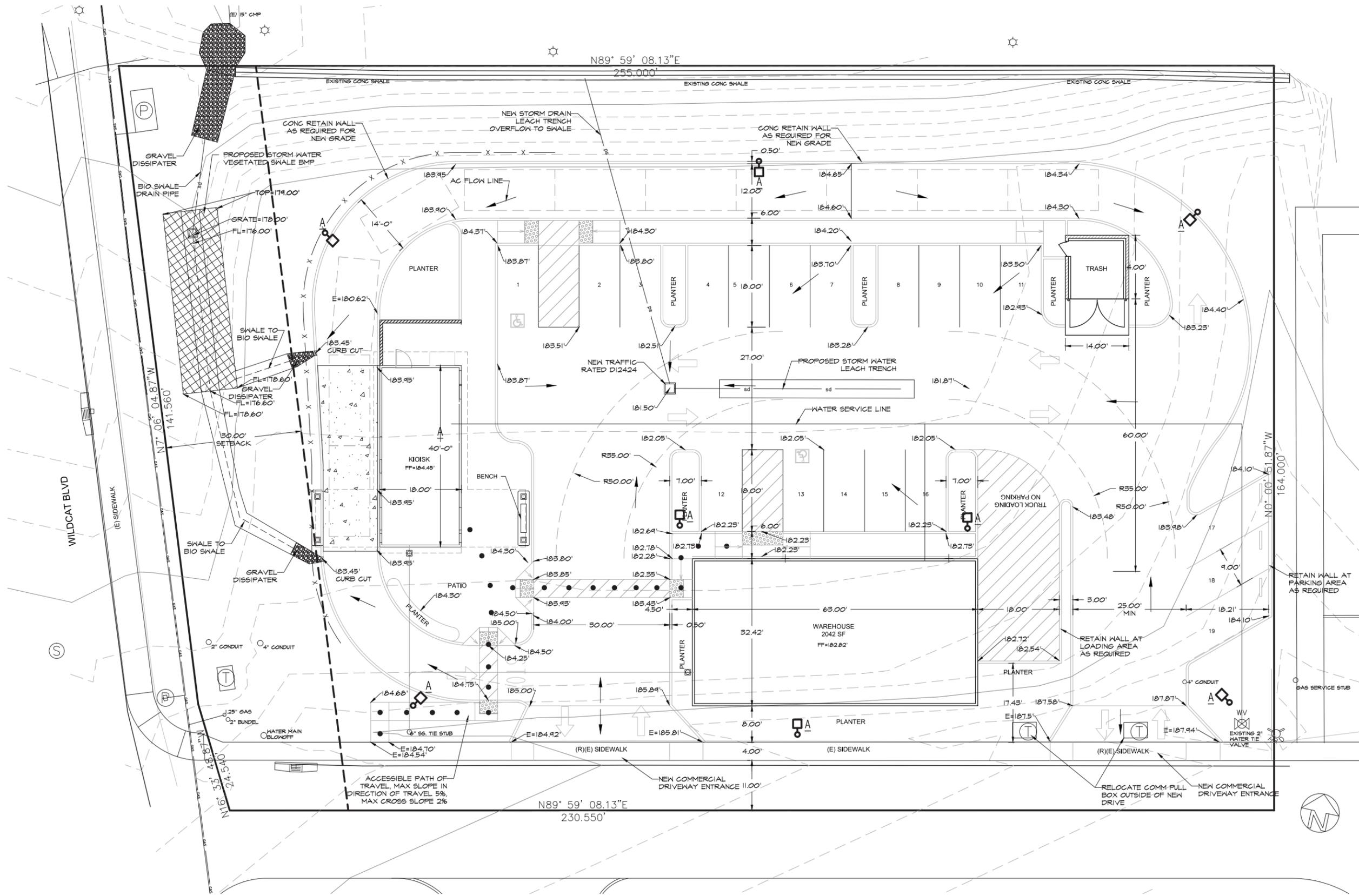
DUTCH BROS COFFEE

COVER SHEET

Project number	1604
Date	05/03/16
Drawn by	KC
Checked by	AC

DR-0

Scale 1" = 20"



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IMPROVEMENT PLAN

DUTCH BROS COFFEE
 WILDCAT BLVD.
 ROCKLIN CA

RANCHO Engineering, Inc.
 CIVIL - STRUCTURAL - BUILDING DESIGN
 5550 SKYWAY, STE C, PARADISE, CA 95969
 Phone: (530) 871-9700
 Fax: (530) 871-5700



RANCHO ENG. JOB: 13-235

DRAWN BY: NJM

CKD BY: JFH

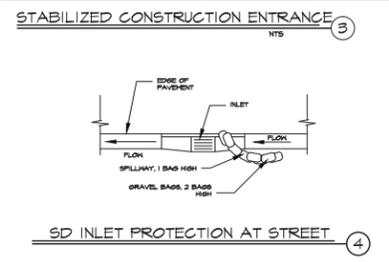
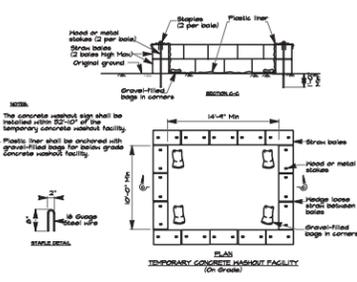
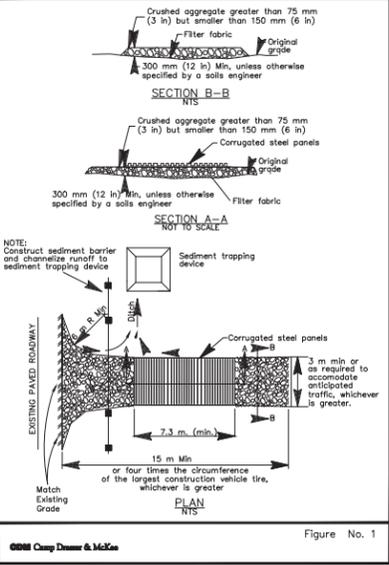
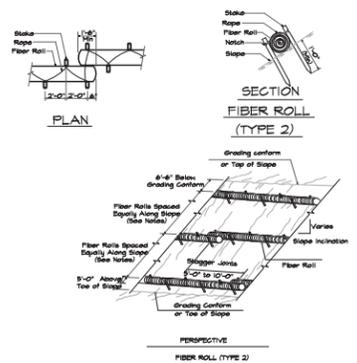
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REVISION: 4

DRAWING NUMBER

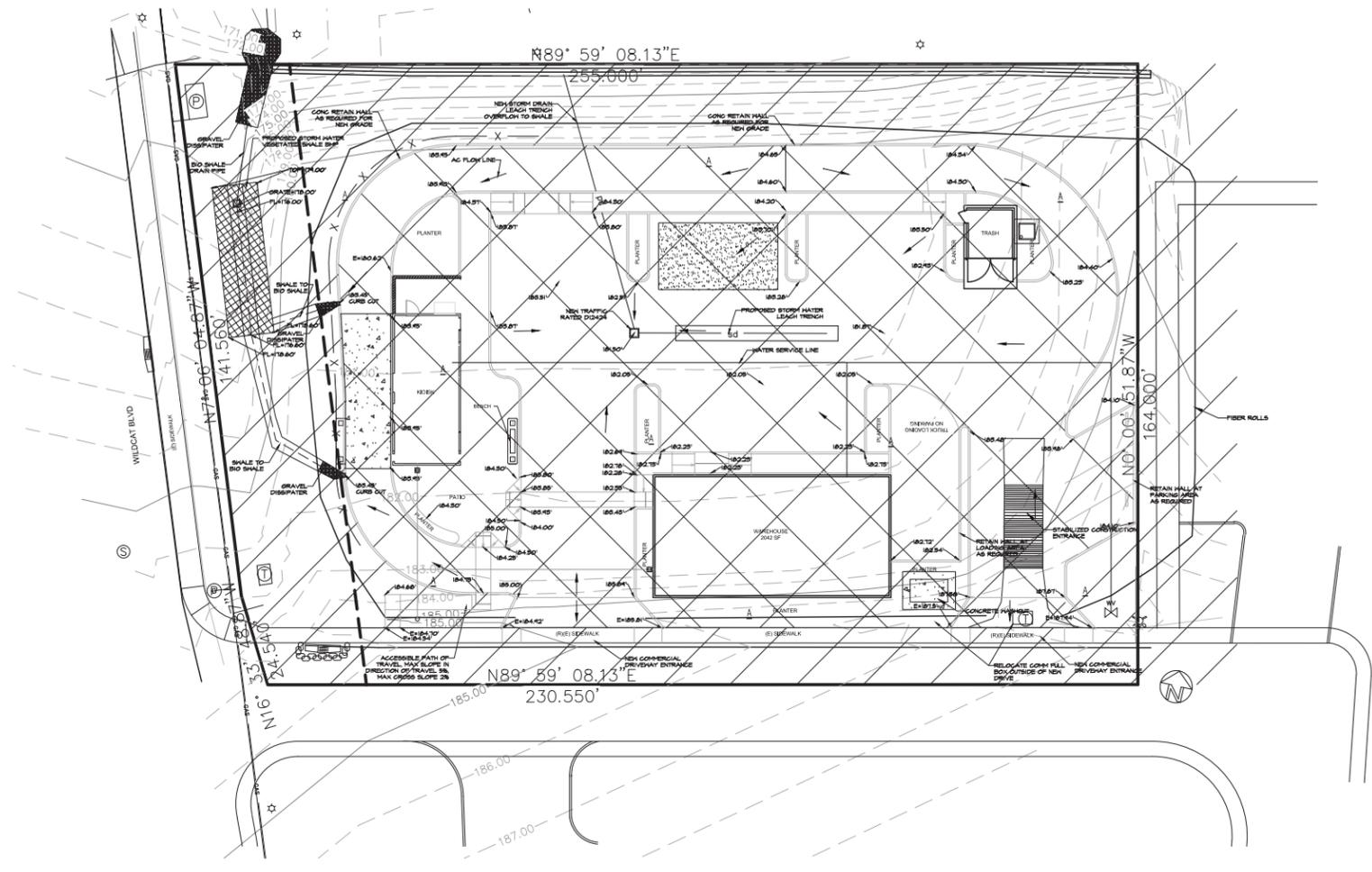
CI

IMPROVEMENT PLAN
 SCALE: 1"=10'



- LEGEND:**
- STORM DRAIN PROTECTION
 - FIBER ROLL
 - EROSION CONTROL MEASURE 1: PLACE SHREDDED WOOD MULCHING TO A DEPTH OF 2"-3". REMOVE PRIOR TO RE-STARTING WORK ON SLOPES.
 - EROSION CONTROL MEASURE 2: PLACE BASE ROCK AS SPECIFIED IN NOTES AS SOON AS GRADING IS COMPLETE
 - EROSION CONTROL MEASURE 3: CONCRETE WASHOUT FACILITY PER CALTRANS SPECS.
 - EROSION CONTROL MEASURE 4: COVERED SOIL STOCKPILE
 - EROSION CONTROL MEASURE 5: PORT-A-POTY

- EROSION & SEDIMENT CONTROL REQUIREMENTS: (SEE ADDITIONAL NOTES ON SHEET C2)**
- AGGREGATE BASE:**
- ROAD AND DRIVEWAYS SHALL BE SURFACED WITH AT LEAST 2 INCHES OF CLASS 2 AGGREGATE BASE.
- FIBER ROLLS:**
- USE MINIMUM 8 IN. DIAMETER ROLLS.
 - LOCATE FIBER ROLLS ON LEVEL CONTOURS SPACED AS FOLLOWS:
 - SLOPE INCLINATION OF 4:1 (H:V) OR FLATTER: FIBER ROLLS SHALL BE PLACED AT A MAXIMUM INTERVAL OF 20 FT.
 - SLOPE INCLINATION OF BETWEEN 4:1 AND 2:1 (H:V): FIBER ROLLS SHALL BE PLACED AT A MAXIMUM INTERVAL OF 15 FT.
 - SLOPE INCLINATION OF 2:1 (H:V) OR GREATER: FIBER ROLLS SHALL BE PLACED AT A MAXIMUM INTERVAL OF 10 FT.
 - STAKE FIBER ROLLS INTO A 2 TO 4 IN. DEEP TRENCH WITH A WIDTH EQUAL TO THE DIAMETER OF THE FIBER ROLL. DRIVE STAKES AT THE END OF EACH FIBER ROLL AND SPACED 4 FT MAXIMUM ON CENTER. USE WOOD STAKES WITH A NOMINAL CLASSIFICATION OF 0.75 BY 0.75 IN. AND MINIMUM LENGTH OF 24 IN.
 - IF MORE THAN ONE FIBER ROLL IS PLACED IN A ROW, THE ROLLS SHALL BE ABUTTED SECURELY TO ONE ANOTHER TO PROVIDE A TIGHT JOINT.
 - FIBER ROLLS ARE TYPICALLY LEFT IN PLACE. IF FIBER ROLLS ARE REMOVED, COLLECT AND DISPOSE OF SEDIMENT ACCUMULATION AND FILL AND COMPACT HOLES, TRENCHES, DEPRESSIONS OR ANY OTHER GROUND DISTURBANCE TO BLEND WITH ADJACENT GROUND.
 - REFER TO INSTALLATION DETAIL ON NEXT SHEET.
- INSPECTION AND MAINTENANCE REQUIREMENTS:**
- INSPECT EROSION CONTROL APPLICATIONS PRIOR TO FORECAST RAIN, DAILY DURING EXTENDED RAIN EVENTS, AFTER RAIN EVENTS, WEEKLY DURING THE RAINY SEASON, AND AT TWO-WEEK INTERVALS DURING THE NON-RAINY SEASON.
 - AREAS WHERE EROSION IS EVIDENT SHALL BE REPAIRED. STRAW MULCH AND HYDROSEED SHALL BE RE-APPLIED AS SOON AS POSSIBLE. CARE SHALL BE EXERCISED TO MINIMIZE THE DAMAGE TO PROTECTED AREAS WHILE MAKING REPAIRS, AS ANY AREA DAMAGED WILL REQUIRE RE-APPLICATION OF STRAW MULCH AND HYDROSEED. REPAIR OF REPLACED SPLIT, TORN, UNRAVELING, OR SLUMPING FIBER ROLLS.
 - REAPPLICATION OF STRAW MULCH AND TACKIFIER MAY BE REQUIRED TO MAINTAIN EFFECTIVE SOIL STABILIZATION OVER DISTURBED AREAS AND SLOPES.
 - WHERE SEEDS FAIL TO GERMINATE, OR THEY GERMINATE AND DIE, THE AREA MUST BE RE-SEEDED, FERTILIZED, AND MULCHED WITHIN THE PLANTING SEASON, USING NOT LESS THAN HALF THE ORIGINAL APPLICATION RATES.
 - IRRIGATION SYSTEMS, IF APPLICABLE SHALL BE INSPECTED DAILY WHILE IN USE TO IDENTIFY SYSTEM MALFUNCTIONS AND LINE BREAKS. WHEN LINE BREAKS ARE DETECTED, THE SYSTEM MUST BE SHUT DOWN IMMEDIATELY AND BREAKS REPAIRED BEFORE THE SYSTEM IS PUT BACK INTO OPERATION. IRRIGATION SYSTEM SHALL BE INSPECTED FOR COMPLETE COVERAGE AND ADJUSTED AS NEEDED TO MAINTAIN COMPLETE COVERAGE.
 - SEDIMENT SHALL BE REMOVED FROM FIBER ROLLS WHEN SEDIMENT ACCUMULATION REACHES ONE-HALF THE DESIGNED SEDIMENT STORAGE DEPTH, USUALLY ONE-HALF THE DISTANCE BETWEEN THE TOP OF THE FIBER ROLL AND THE ADJACENT GROUND SURFACE. SEDIMENT REMOVED DURING MAINTENANCE MAY BE INCORPORATED INTO EARTHWORK ON THE SITE OR DISPOSED AT AN APPROPRIATE LOCATION.



EROSION CONTROL PLAN
SCALE: 1"=20'
APPROXIMATE AREA OF DISTURBANCE= 0.85 ACRES

RANCHO ENGINEERING DOES NOT REPRESENT THAT THESE PLANS OR ANY SPECIFICATIONS IN CONNECTION THEREWITH ARE MODIFIED FOR ANY OTHER SITE THAN THE ONE FOR WHICH THEY WERE SPECIFICALLY PREPARED. RANCHO ENGINEERING DISCLAIMS RESPONSIBILITY FOR THESE PLANS AND SPECIFICATIONS IF THEY ARE USED WHILE OR IN CONNECTION WITH ANY OTHER PLANS THAT ARE NOT VALID UNTIL REVIEWED AND APPROVED BY APPROPRIATE GOVERNMENTAL AGENCIES.

EROSION CONTROL PLAN

DUTCH BROS COFFEE
WILDCAT BLVD.
ROCKLIN CA

RANCHO Engineering, Inc.
CIVIL - STRUCTURAL - BUILDING DESIGN
5550 SKYWAY, STE C, PARADISE, CA 95969
Phone: (530) 871-3700
Fax: (530) 871-5700



RANCHO ENG. JOB: 13-235

DRAWN BY: NJM
CKD BY: JFH
DATE: 02/02/16
REVISION: 4
DRAWING NUMBER
C.I.I.

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GRADING PLAN

DUTCH BROS
COFFEE
WILDCAT BLVD.
ROCKLIN CA

RANCHO
Engineering, Inc.
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5550 SKYWAY, STE C, PARADISE, CA 95969
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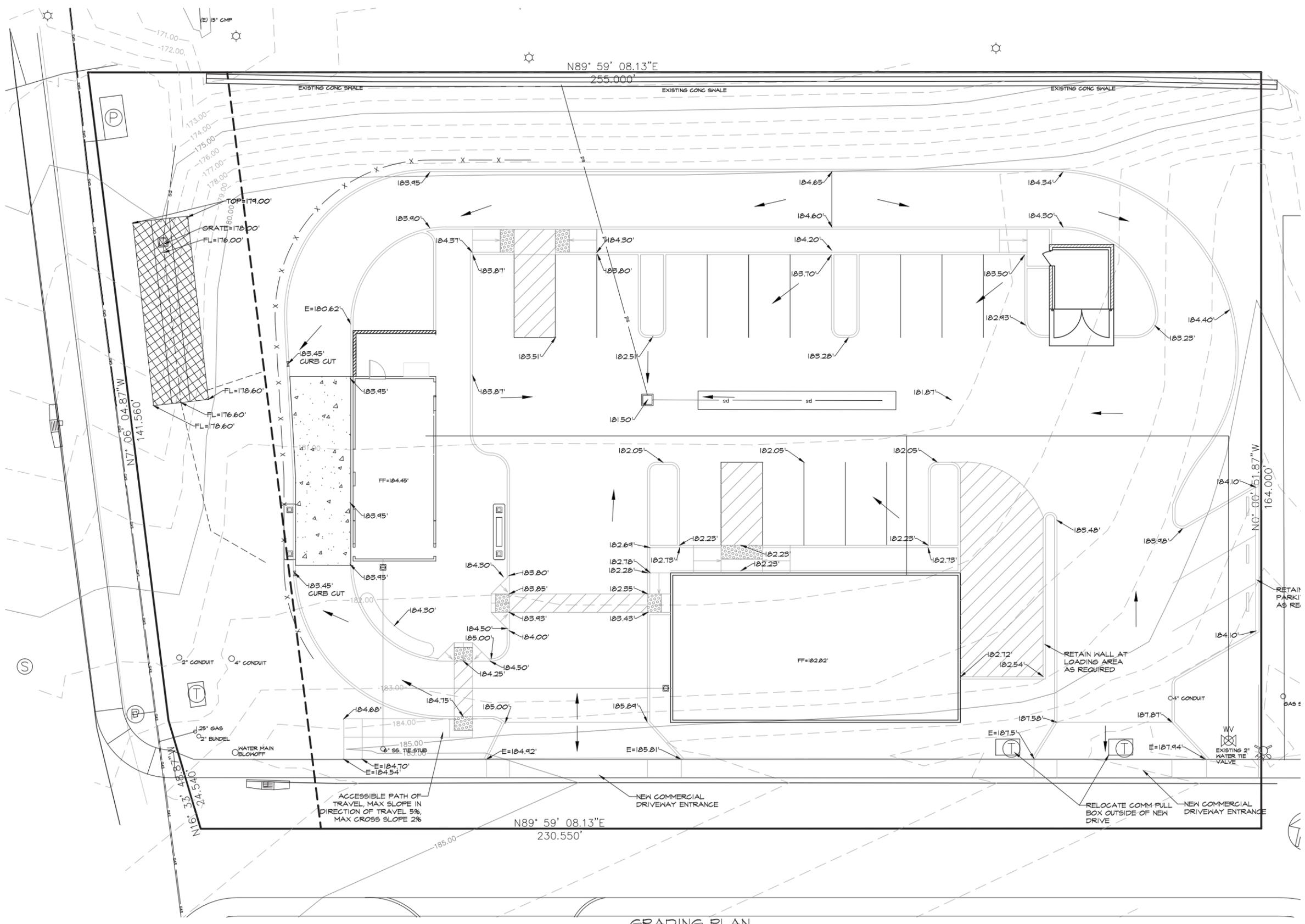
CKD BY: JFH

DATE: 02/02/16

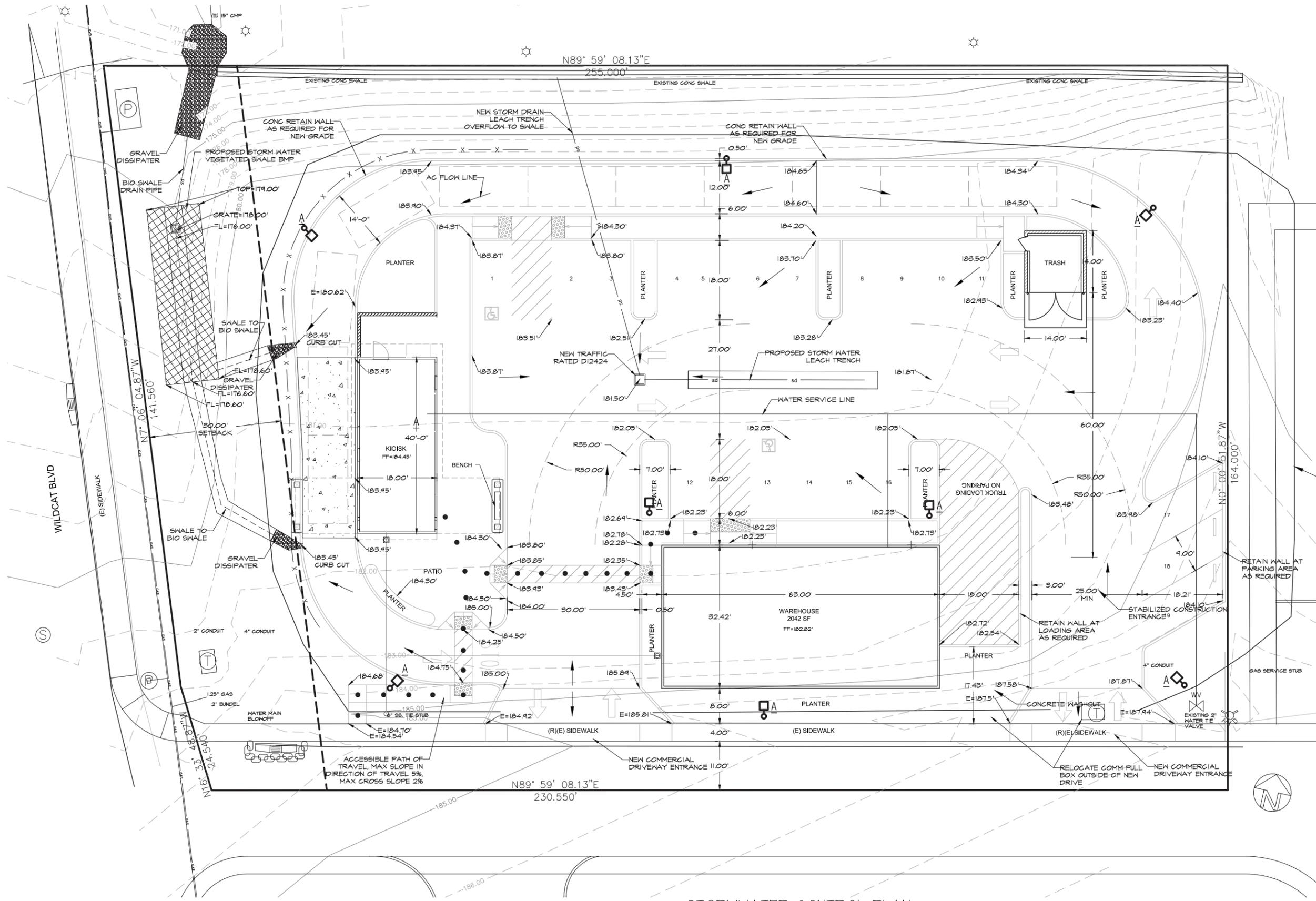
REVISION: 4

DRAWING NUMBER

C2



GRADING PLAN
SCALE: 1"=10'
APPROXIMATE AREA OF DISTURBANCE= 0.85 ACRES
APPROXIMATE CU. YDS. CUT: 185
APPROXIMATE CU. YDS. FILL: 960



STORMWATER CONTROL PLAN
SCALE: 1"=10'

RANCHO ENGINEERING DOES NOT REPRESENT THAT THESE PLANS OR ANY SPECIFICATIONS IN CONNECTION THEREWITH ARE MODIFIED FOR ANY OTHER SITE THAN THE ONE FOR WHICH THEY WERE SPECIFICALLY PREPARED. RANCHO ENGINEERING DISCLAIMS RESPONSIBILITY FOR THESE PLANS AND SPECIFICATIONS IF THEY ARE USED WHOLE OR IN PART FOR ANY OTHER SITE. PLANS ARE NOT VALID UNTIL REVIEWED AND APPROVED BY APPROPRIATE GOVERNMENTAL AGENCIES.

STORM WATER CONTROL PLAN

DUTCH BROS COFFEE
WILDCAT BLVD.
ROCKLIN CA

RANCHO Engineering, Inc.
CIVIL - STRUCTURAL - BUILDING DESIGN
5550 SKYWAY, STE C, PARADISE, CA 95969
Phone: (530) 871-9700
Fax: (530) 871-5700



RANCHO ENG. JOB: 13-235

DRAWN BY: NJM
CKD BY: JFH
DATE: 02/02/16
REVISION: 4
DRAWING NUMBER

C4

C:\Users\Korn\Desktop\Jobs\1604-DB_Rocklin#\1604-DB_Rocklin #2\CAD\1604-DB_Rocklin2-DR.dwg

THIRD SHOE, INC.
 349 Silver Lake Drive
 Chico, CA 95973
 530-898-0123

ALAN CHAMBERS
 Architect



DUTCH BROS COFFEE
 WILDCAT BLVD.
 ROCKLIN, CA 95765

No.	Description	Date

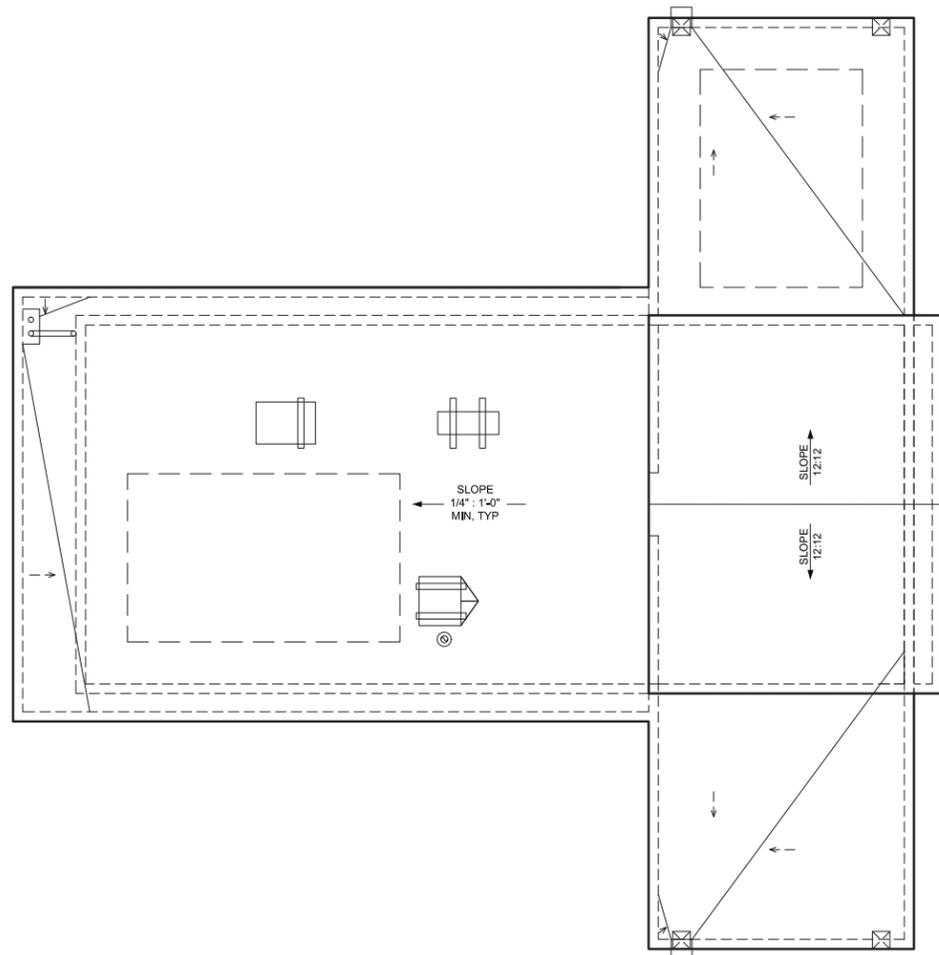
DUTCH BROS COFFEE

KIOSK FLOOR PLAN,
 KIOSK ROOF PLAN

Project number	1604
Date	05/03/16
Drawn by	KC
Checked by	AC

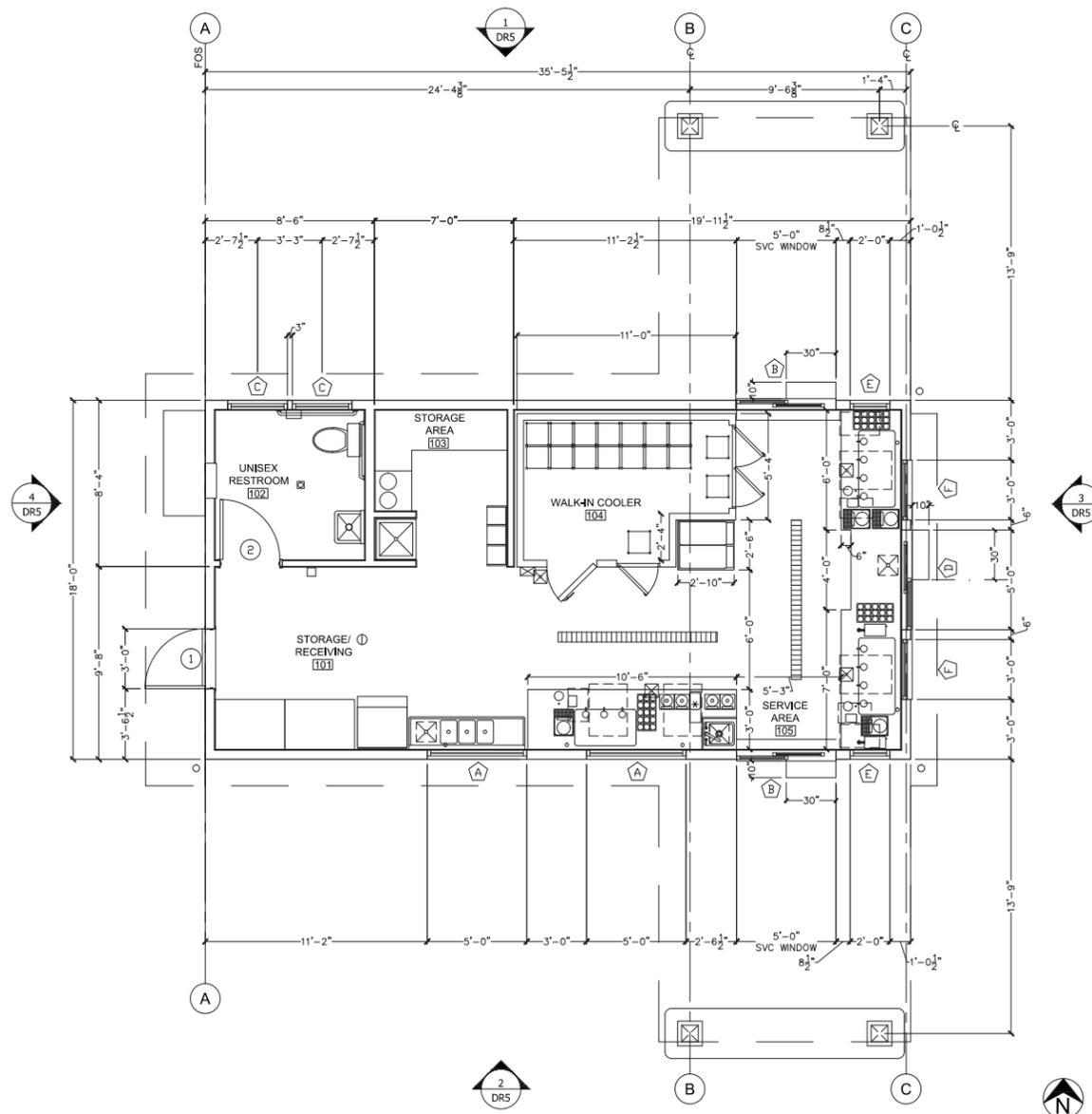
DR-3

Scale AS NOTED



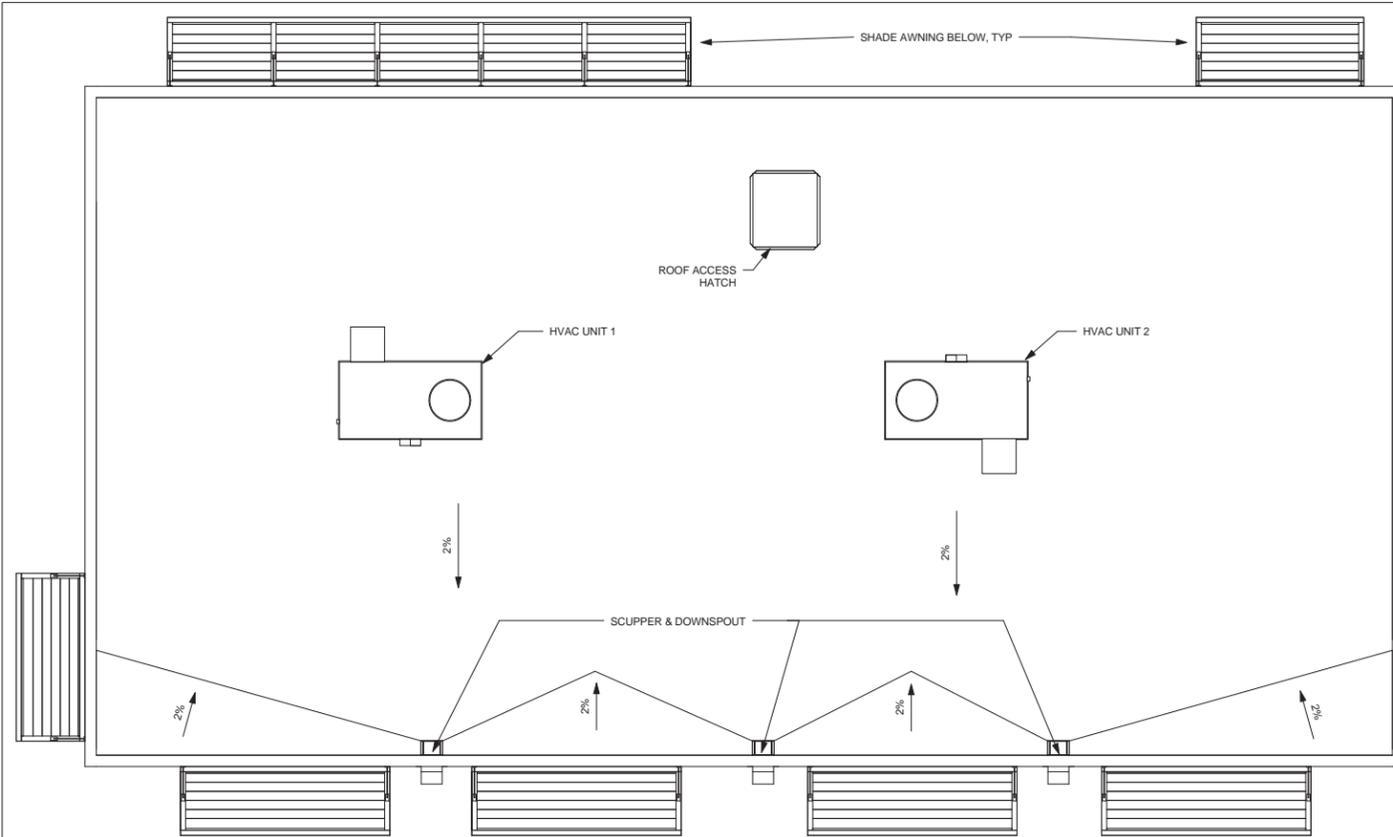
3 KIOSK ROOF PLAN

Scale: 1/4"=1'

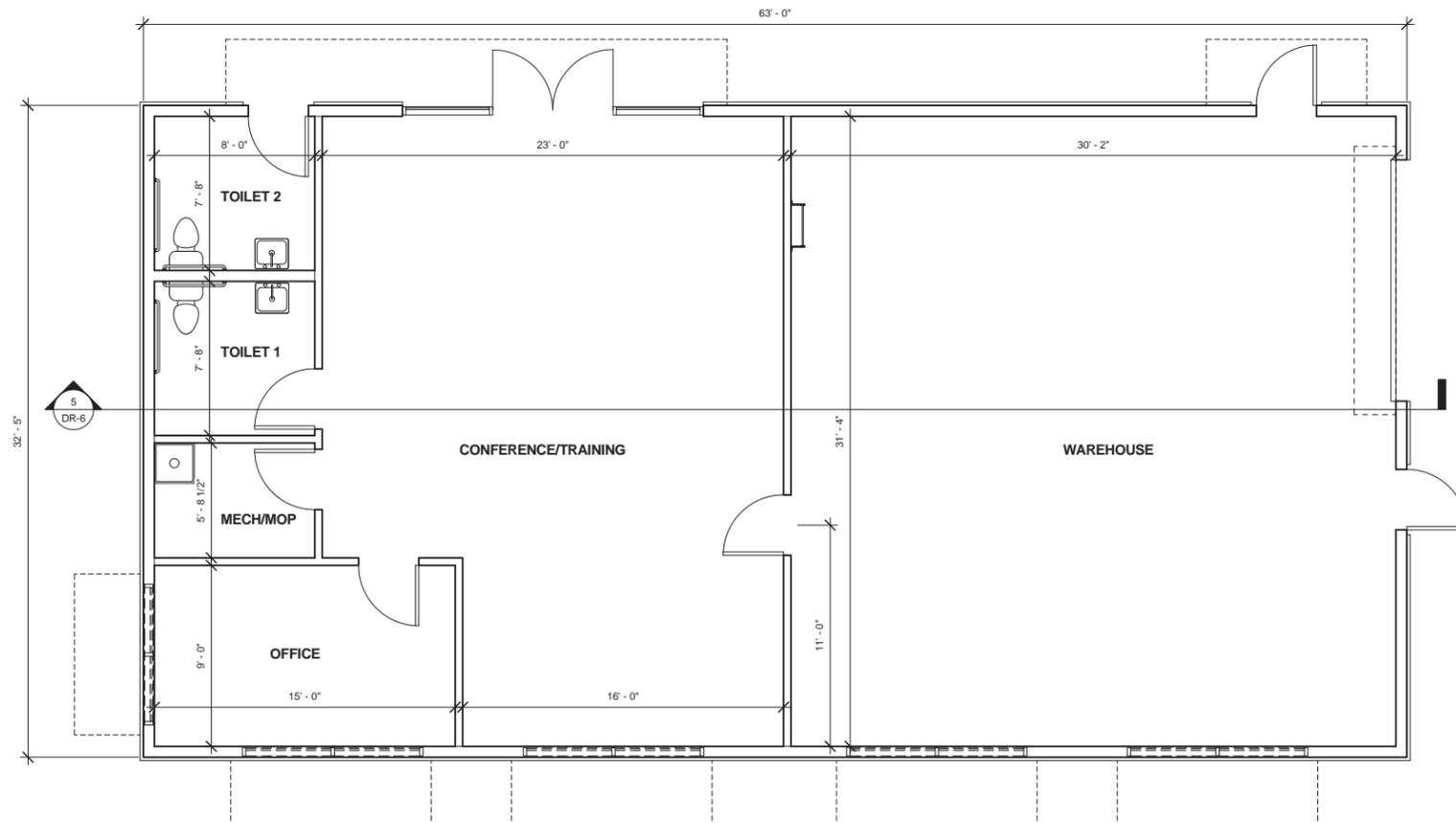


1 KIOSK FLOOR PLAN

Scale: 1/4"=1'



1 ROOF PLAN
1/4" = 1'-0"



3 FLOOR PLAN
1/4" = 1'-0"

THIRD SHOE, INC.
349 Silver Lake Drive
Chico, CA 95973
530-898-0123

ALAN CHAMBERS
Architect



DUTCH BROS. COFFEE
Wildcat Blvd.
Rocklin, CA 95765

No.	Description	Date

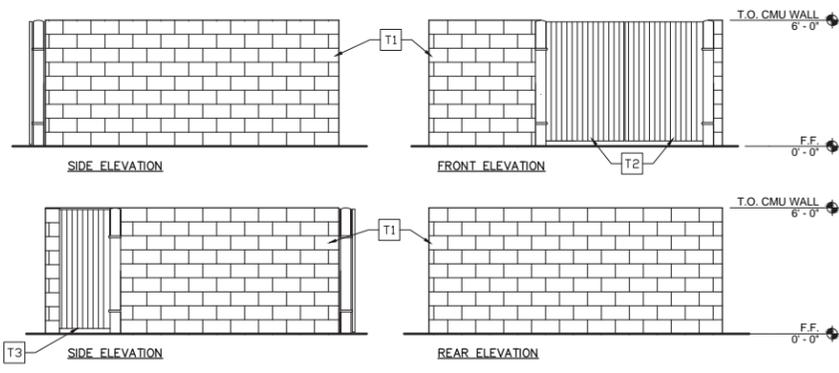
Dutch Bros. Coffee

Office/Warehouse
Floor Plan, Roof Plan

Project number 1604
Date 05/03/16
Drawn by KC
Checked by AC

DR-4

Scale 1/4" = 1'-0"



TRASH ENCLOSURE ELEVATION KEYNOTES	
KEY	DESCRIPTION
T1	8" SPLIT FACE CMU WALL, CMU COLOR #225 NATURAL GRAY
T2	CORRUGATED METAL PANEL TRASH ENCLOSURE DOORS, PAINT COLOR #2 GRAY
T3	CORRUGATED METAL PANEL MAN DOORS, PAINT COLOR #2 GRAY

KIOSK ELEVATION KEYNOTES			
KEY	DESCRIPTION	KEY	DESCRIPTION
01	10" X 10" STEEL TUBE COLUMN ON CONCRETE PIER, TYP. PAINT COLOR #1, BLUE	16	6" HIGH ADDRESS NUMBERS, COLOR: WHITE, NUMBERS SHALL CONTRAST WITH BACKGROUND COLOR & READILY VISIBLE FROM STREET
02	1x4 STUCCO TRIM, PAINT COLOR #3, WHITE	17	LIGHTED DUTCH BROS. COFFEE SIGN 22" x 129" AND 26.25" x 36.75" (26.41 SF)
03	BUILDING WALL STUCCO, PAINT COLOR #2, GRAY	18	NOT USED
04	PARAPET STUCCO, PAINT COLOR #2, GRAY	19	LIGHTED WINDMILL SIGN, 43" x 60" (17.9 SF)
05	PARAPET STUCCO, PAINT COLOR #1, BLUE	20	LIGHTED WINDMILL SIGN 35.3" x 48" (11.83 SF)
06	WALK-UP HORIZONTAL SLIDING WINDOW, WHITE	21	3" TALL CLEARANCE SIGN, COLOR #1, BLUE W/ WHITE LETTERS
07	DRIVE-THRU HORIZONTAL SLIDING WINDOW, WHITE	22	DUTCH BROS. FLAG & POE SUPPLIED BY OWNER AND INSTALLED BY G.C.
08	FIXED WINDOW, WHITE	23	ICE MACHINE ROOF MOUNTED CONDENSER
09	STAINLESS STEEL SERVICE COUNTER	24	STEEL BOLLARDS, PAINT COLOR #1, BLUE
10	METAL CAP FLASHING, PAINT COLOR #1, BLUE	25	BORAL STONE - PRO-FIT ALPINE LEDGESTONE WAINSCOT - COLOR: BLACK MOUNTAIN
11	STANDING SEAM METAL ROOF, BLUE	26	STAINLESS STEEL SERVICE COUNTER NOT TO EXCEED 34" AFF, PER SECTION 11B-226.3
12	WALK-IN COOLER ROOF MOUNTED CONDENSER	27	NOT USED
13	HOLLOW METAL DOOR W/ GLAZING, PAINT COLOR #2, GRAY	28	8" SPLIT FACE CMU WALL-BASALITE NATURAL FINISH #225
14	HOLLOW METAL DOOR FRAMES, PAINT COLOR #2, GRAY	29	SHT METAL SCUPPER & DOWNSPOUT, PAINT COLOR TO MATCH ADJACENT SURFACE
15	ELECTRICAL SWITCHBOARD, MFR GRAY COLOR		

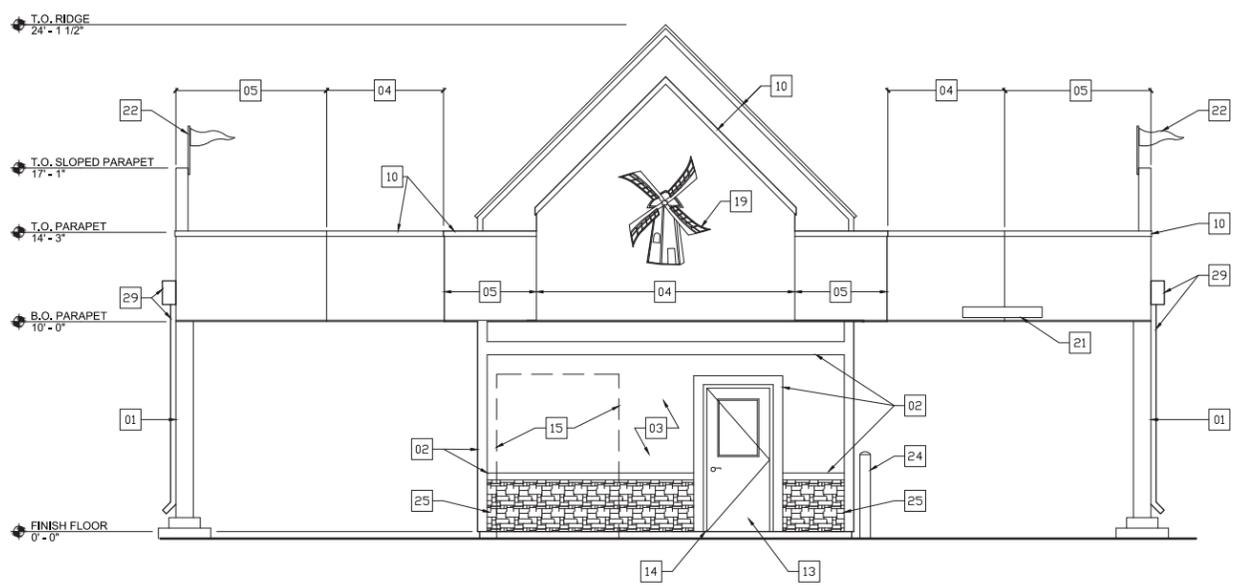
THIRD SHOE, INC.
349 Silver Lake Drive
Chico, CA 95973
530-898-0123

ALAN CHAMBERS
Architect



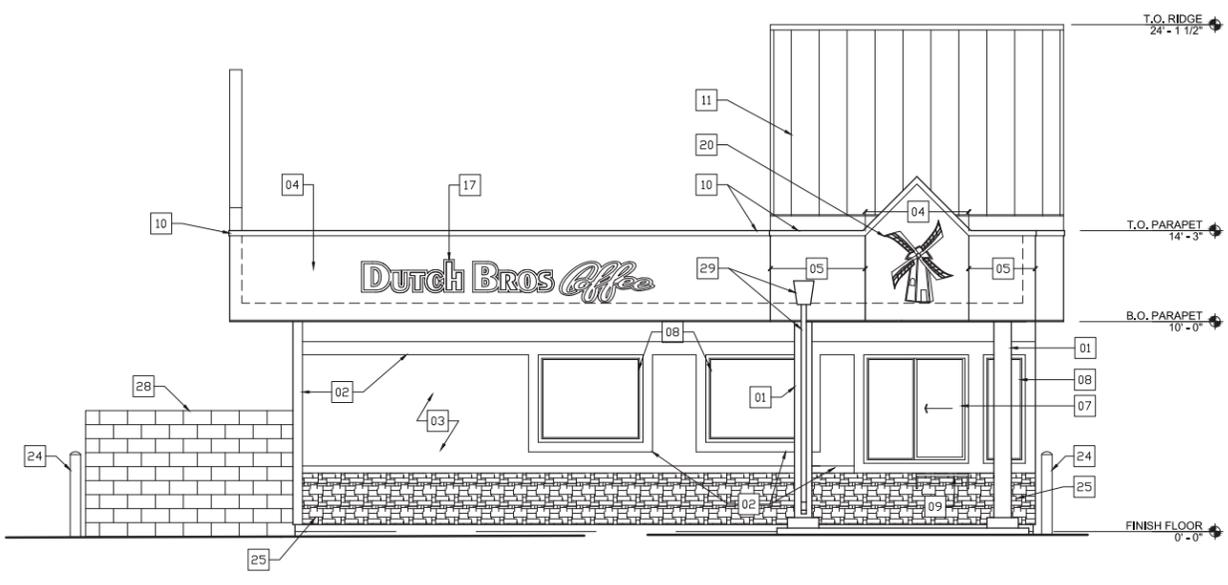
5 TRASH ENCLOSURE ELEVATIONS

Scale: 1/4"=1'



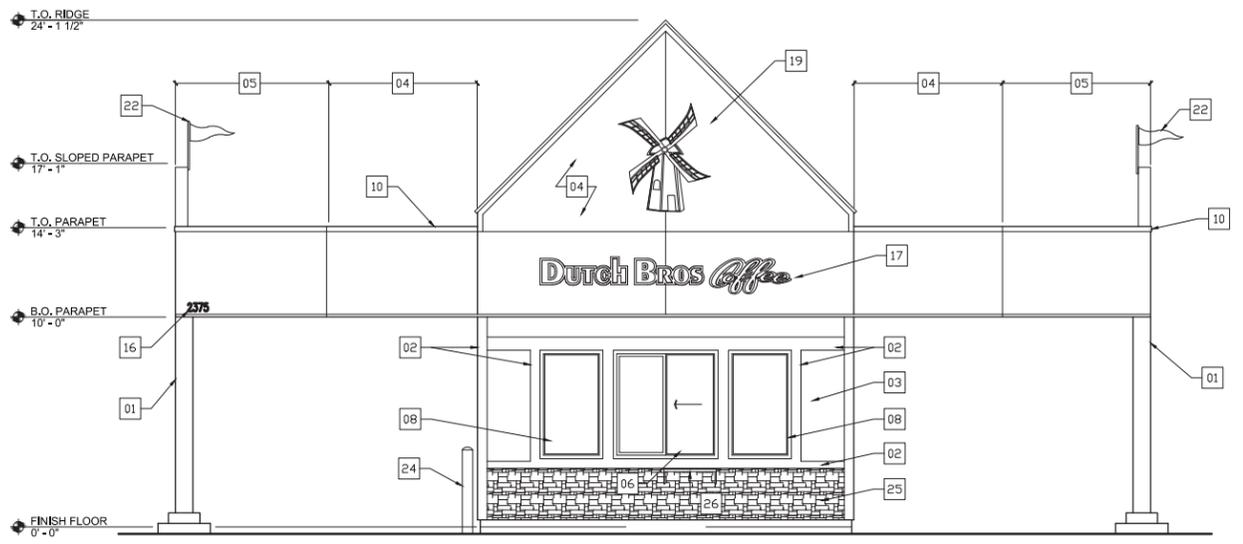
4 NORTH ELEVATION

Scale: 1/4"=1'



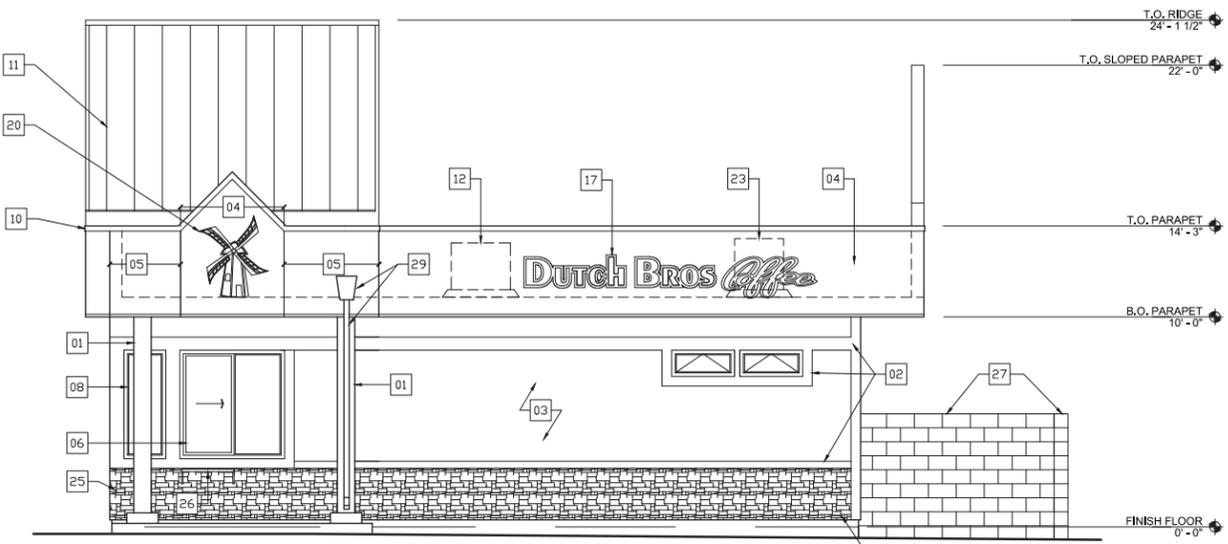
2 WEST/STREET ELEVATION

Scale: 1/4"=1'



3 SOUTH ELEVATION

Scale: 1/4"=1'



1 EAST ELEVATION

Scale: 1/4"=1'

DUTCH BROS COFFEE
WILDCAT BLVD.
ROCKLIN, CA 95765

No.	Description	Date

DUTCH BROS COFFEE

EXTERIOR ELEVATIONS

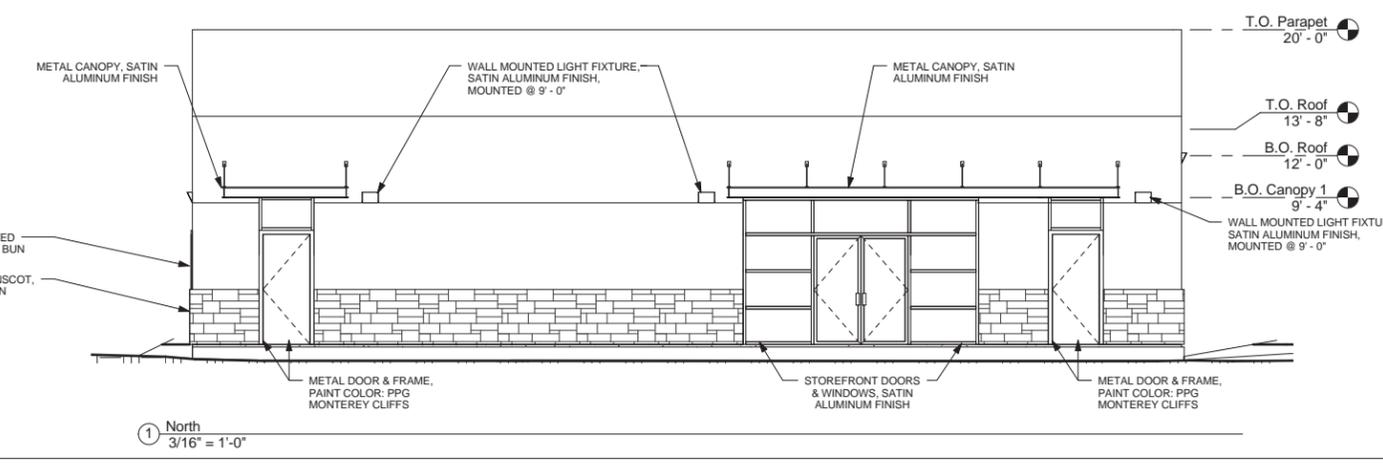
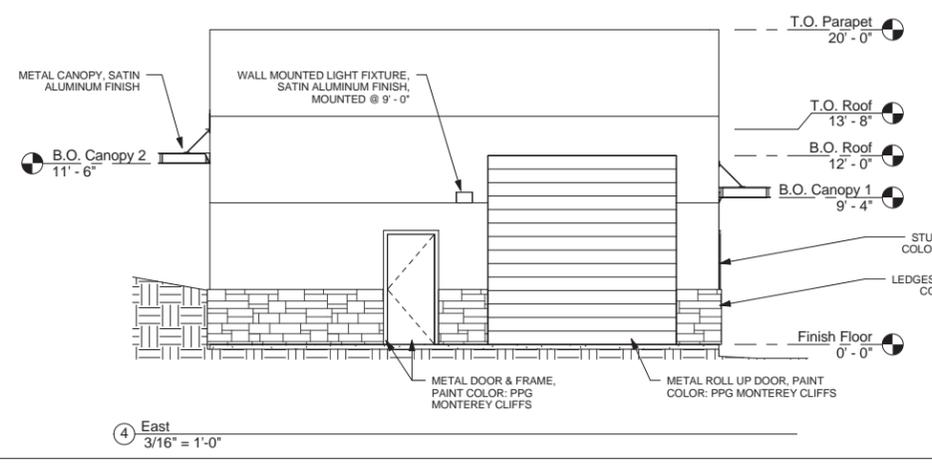
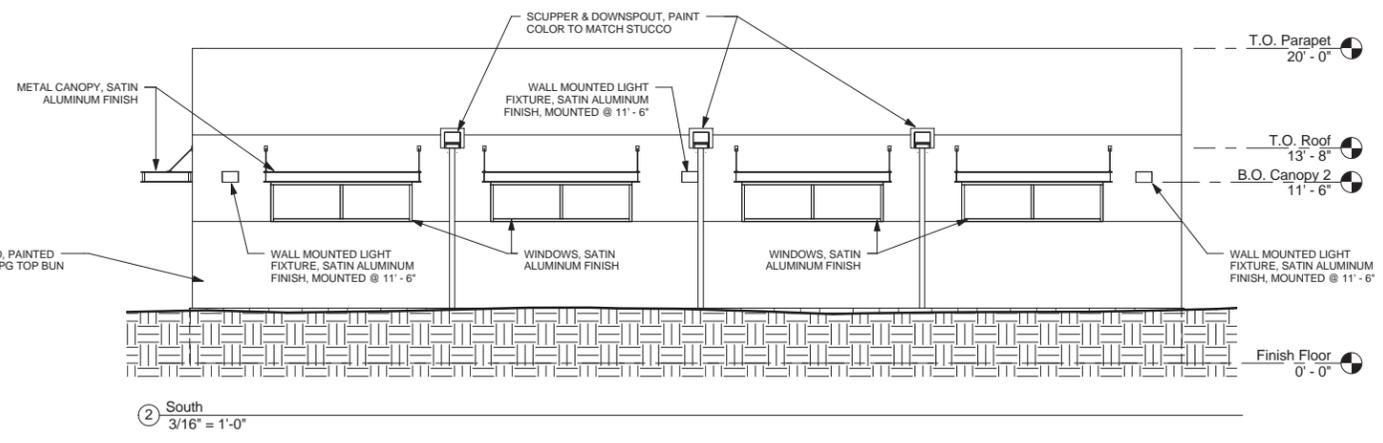
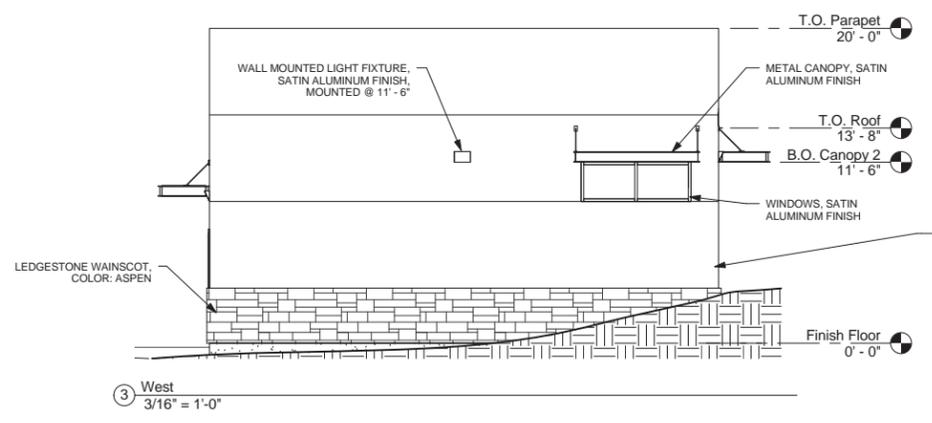
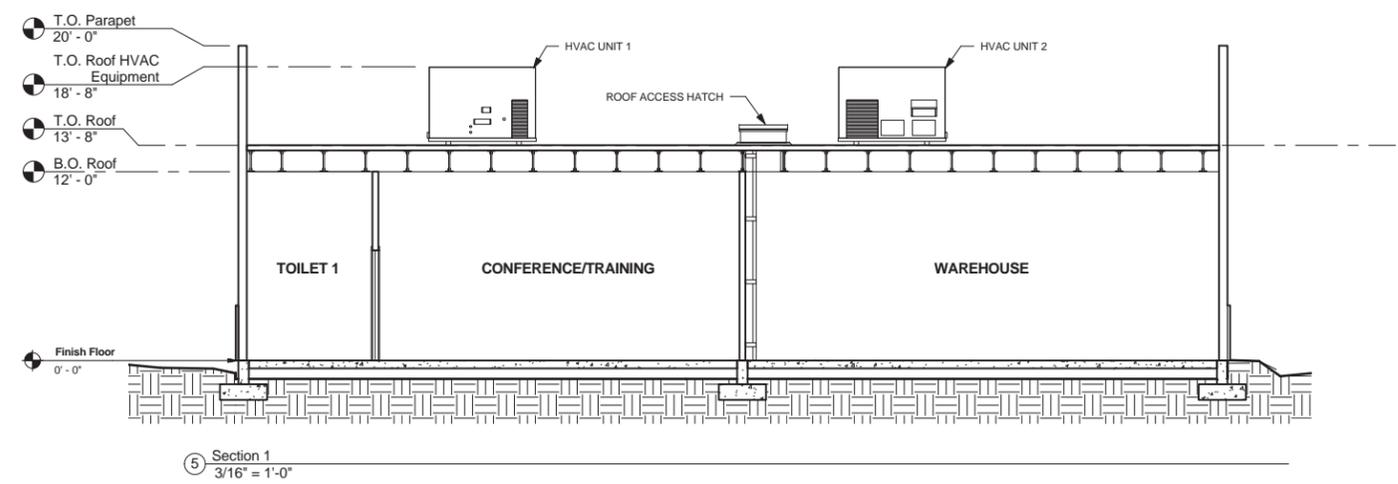
Project number 1604
Date 05/03/16
Drawn by KC
Checked by AC

DR-5
Scale 1/4"=1'

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THIRD SHOE, INC.
 349 Silver Lake Drive
 Chico, CA 95973
 530-898-0123

ALAN CHAMBERS
 Architect



DUTCH BROS. COFFEE
 Wildcat Blvd.
 Rocklin, CA 95765

No.	Description	Date

Dutch Bros. Coffee

Office/Warehouse
 Elevations, Section

Project number	1604
Date	05/03/16
Drawn by	KC
Checked by	AC

DR-6

Scale	3/16" = 1'-0"
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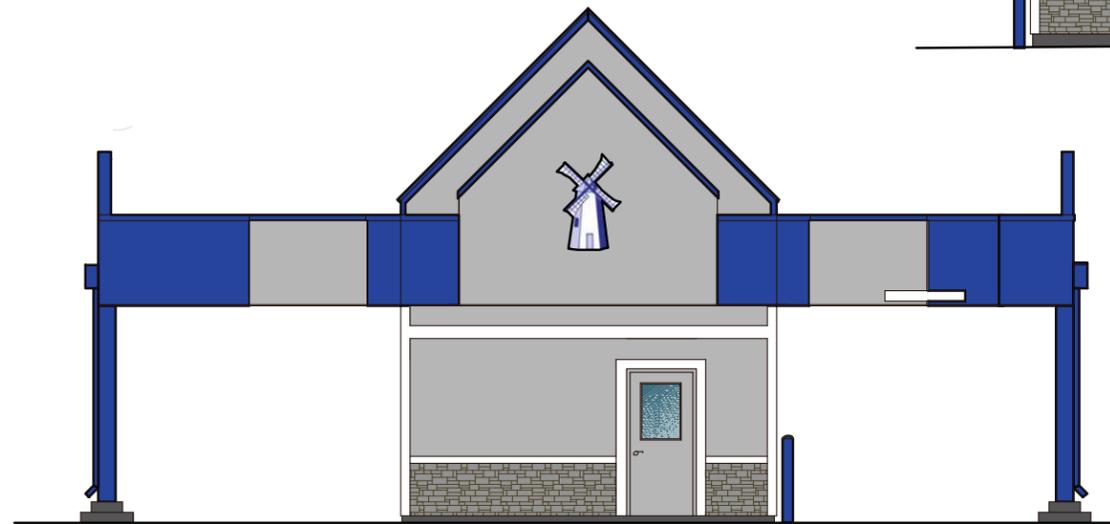
5/20/16 4:00:47 PM

EXTERIOR MATERIALS

-  BLUE METAL ROOFING, ROOFS
-  BLUE PAINT: PARAPET STUCCO, METAL CAP FLASHING
-  GRAY PAINT: ALL DOORS, ROOF TRIM, PARAPET STUCCO, STUCCO SOFFITS, TRASH ENCLOSURE DOOR
-  WHITE PAINT: WINDOW, 1X4 STUCCO
-  WAINSCOTT: BLACK MOUNTAIN PRO FIT ALPINE LEDGESTONE



WEST/STREET ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

THIRD SHOE, INC.

349 Silver Lake Drive
Chico, CA 95973
530-898-0123

ALAN CHAMBERS
Architect



DUTCH BROS COFFEE
WILDCAT BLVD.
RICKLIN, CA

No.	Description	Date

Dutch Bros.
Coffee

Color
Elevations

Project number 1409
Date 25 April, 2016
Drawn by JLL
Checked by

DR-7

Scale 1/4" = 1'-0"

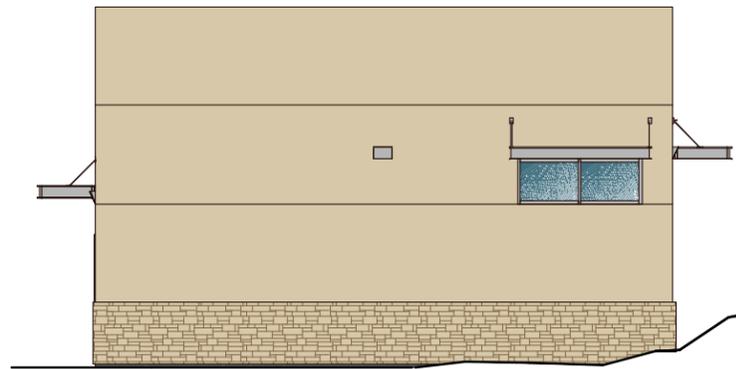
EXTERIOR MATERIALS

-  Wainscot- Country Ledgestone Color "Aspen"
-  Stucco Color: PPG Color "Top Bun"
-  Exterior Metal Doors including roll up door- PPG Color "Monterrey Cliffs"
-  Metal Canopy "Alum Color" Storefront and window frame colors "Satin aluminum" Wall sconce lights "Natural aluminum"

THIRD SHOE, INC.

349 Silver Lake Drive
Chico, CA 95973
530-898-0123

ALAN CHAMBERS
Architect



WEST ELEVATION
SCALE: N.T.S.



SOUTH ELEVATION
SCALE: N.T.S.



EAST ELEVATION
SCALE: N.T.S.



NORTH ELEVATION
SCALE: N.T.S.

**WAREHOUSE
WILDCAT BLVD.
RICKLIN, CA**

NO.	Description	Date

Office/
Warehouse

**Color
Elevations**

Project number 1409
Date 25 April, 2016
Drawn by JJJ
Checked by

DR-8

Scale 1/4" = 1'-0"

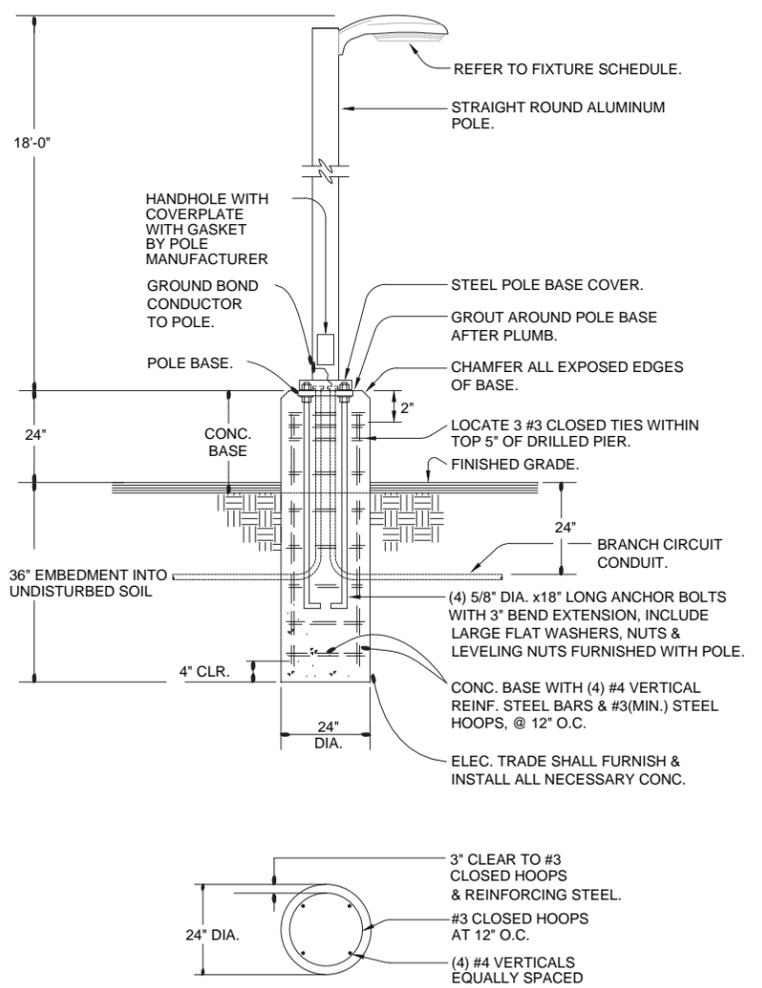
THIRD SHOE, INC.
 349 Silver Lake Drive
 Chico, CA 95973
 530-898-0123

ALAN CHAMBERS
 Architect

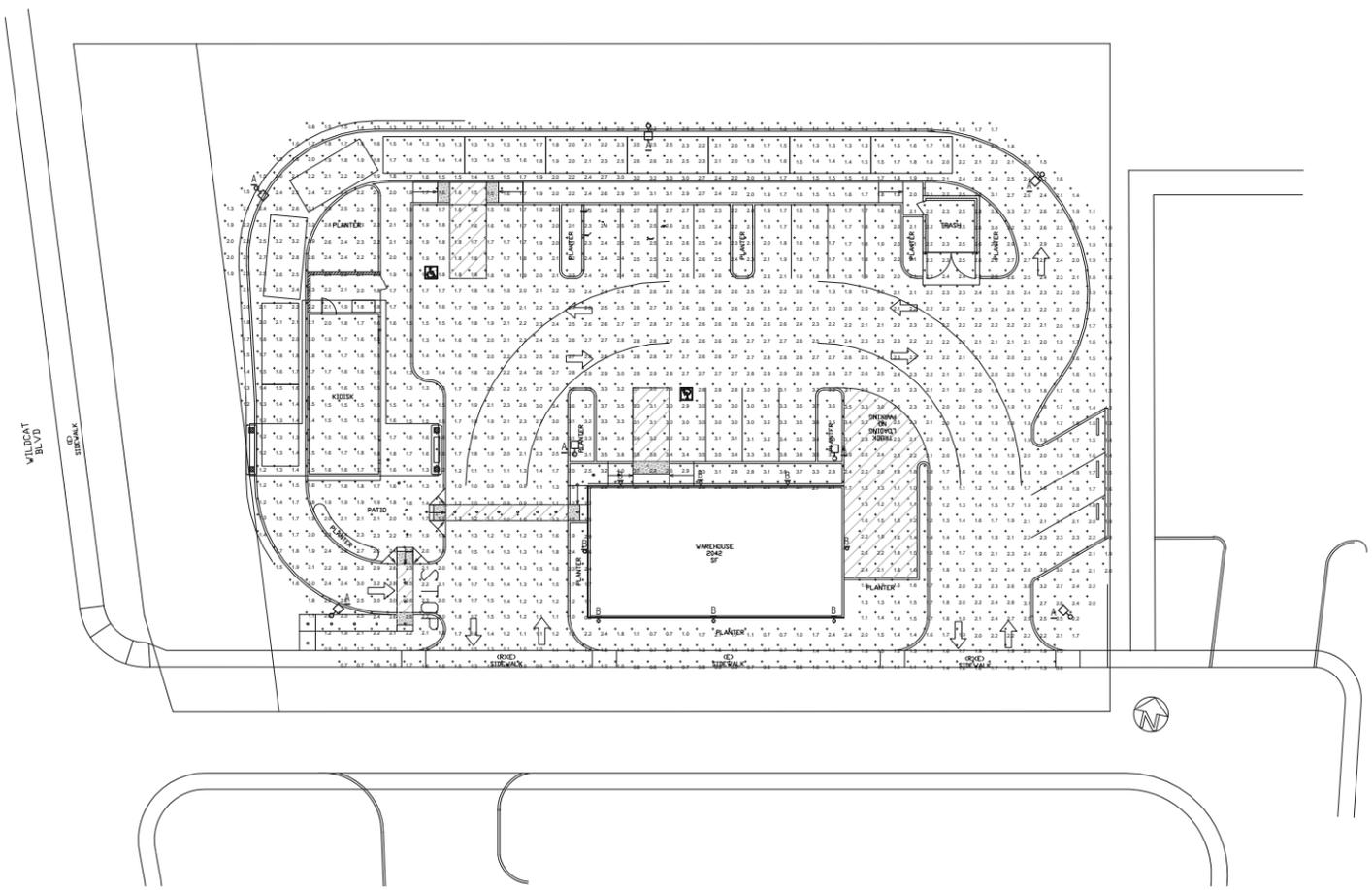


LUMINAIRE SCHEDULE							
TYPE	MANUFACTURER/CATALOG	DESCRIPTION	MOUNTING				REMARKS
				TYPE	VOLTS	WATTS	
A	LITHONIA LIGHTING DSX0 LED 40C 1000 40K T4M MVOLT HS	OUTDOOR LED POLE	POLE	LED	277	137.17	
B	LITHONIA LIGHTING WSTM LED 1A 40K 120 DDBTXD	LED MINI WALL SCONCE	WALL	LED	120	9	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	2.0 fc	4.1 fc	0.6 fc	6.8:1	3.3:1



2 POLE LIGHT DETAIL - RAISED BASE
 NO SCALE



1 ELECTRICAL SITE PLAN - PHOTOMETRICS
 SCALE: 1" = 20'-0"

EDGE
 ELECTRICAL CONSULTING

431 30th Street
 Sacramento, CA 95816
 916.256.2460

300 27th Street #201
 Oakland, CA 94612
 510.775.3836

Project Number D053 Contact Dean

Project Location:

No.	Description	Date

PHOTOMETRIC

Project number
 Date
 Drawn by
 Checked by

E1.2

Scale AS_NOTED



ROBERT LITTLEPAGE, RLA
LANDSCAPE ARCHITECTURE
PO BOX 648
APPLEGATE, CALIF. 95703
530.320.0390

CLIENT
DUTCH BROS. COFFEE
WILDCAT BLVD.
ROCKLIN, CALIF. 95765

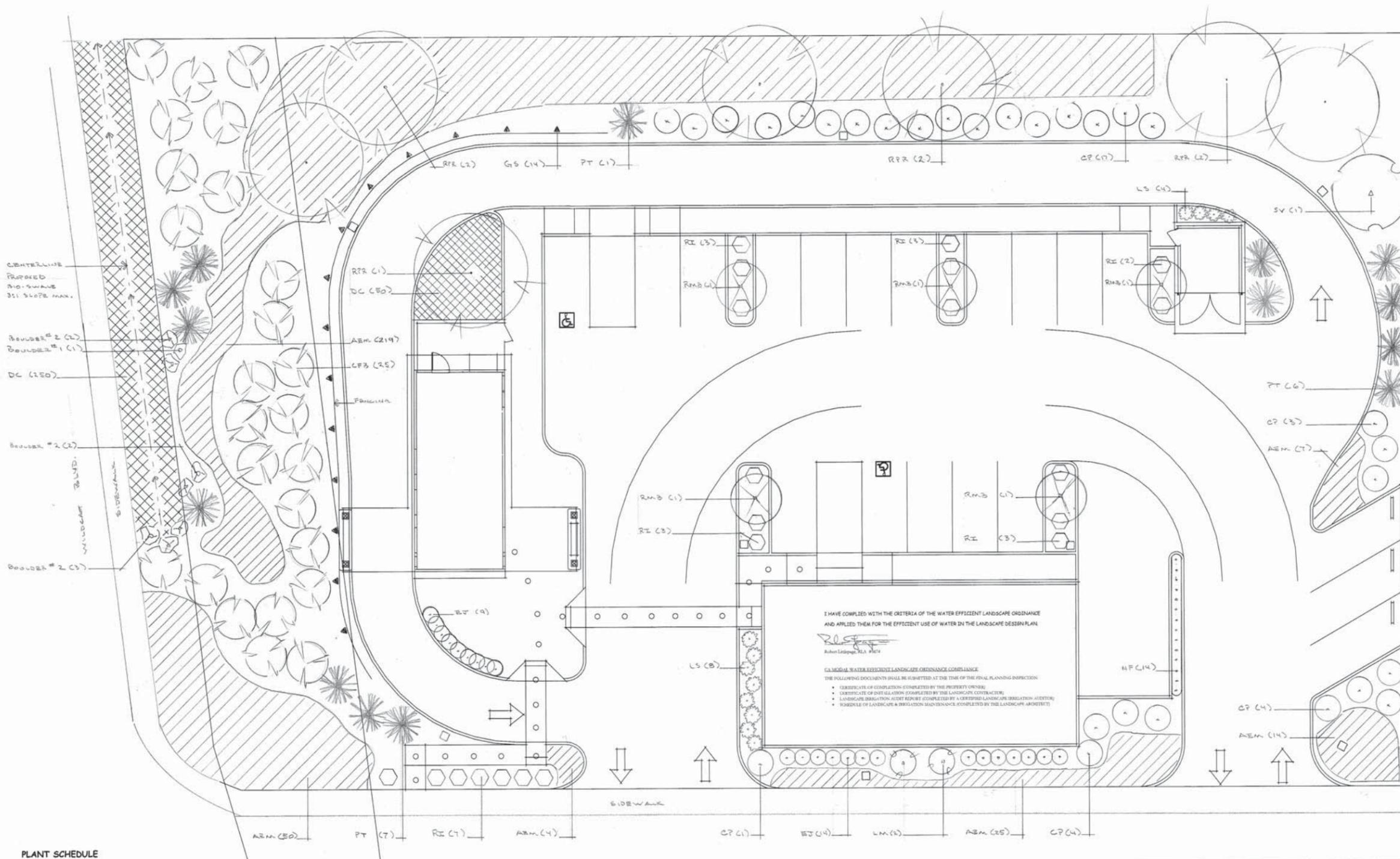
SCALE
1" = 10'

DATE
04.01.2016
DRAWN BY
Littlepage

L 01

LANDSCAPE NOTES

1. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND SERVICES PRIOR TO ANY DIGGING. CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR ALL DAMAGE CAUSED BY FAILURE TO DO SO.
2. ACCEPTANCE OF PLANTING SHALL BE BY LANDSCAPE ARCHITECT AND/OR OWNER.
3. THE ENTIRE PROJECT SHALL BE MAINTAINED FOR A PLANT ESTABLISHMENT PERIOD CONSISTING OF 90 CALENDAR DAYS, COMMENCING FROM THE TIME ALL ITEMS OF WORK HAVE BEEN COMPLETED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT/OWNER.
4. UPON FINAL ACCEPTANCE, FOLLOWING THE 90 DAYS ESTABLISHMENT & MAINTENANCE PERIOD, OWNER SHALL ASSUME ALL MAINTENANCE RESPONSIBILITIES. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, AND OTHER OPERATIONS NECESSARY TO KEEP ALL PLANTING AREAS IN A THRIVING CONDITION.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR DISEASE AND PEST CONTROL DURING THE MAINTENANCE PERIOD.
6. ALL PLANTING BEDS SHALL RECEIVE 3" MIN. DEPTH ORGANIC CEDAR BARK MULCH, CONSISTING OF MEDIUM FINE SHRED.
7. PRIOR TO COMMENCING WITH CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL OBTAIN SOIL ANALYSIS OF SOIL AT SITE, ADJUST BACKFILL MIXES WITH AMENDMENTS RECOMMENDED IN ANALYSIS, FORWARD COPIES OF SOILS ANALYSIS TO LANDSCAPE ARCHITECT & OWNER FOR THEIR REVIEW.
8. CONTRACTOR SHALL FURNISH AND INSTALL ROOT BARRIERS ALONG ALL CONCRETE EDGES WITHIN 10' OF A TREE TRUNK.



PLANT SCHEDULE

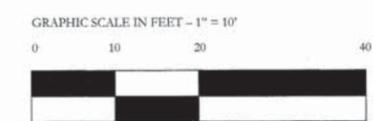
SYMBOL	CODE	QTY	CONT. SIZE	BOTANICAL/Common NAMES	WUCOLS	HEIGHT
	RMB	5	15	Rhaphiolepis 'Majestic Beauty' std./Indian Hawthorne Tree	LOW	8'-10'
	RPR	7	15	Robinia 'Purple Robe' /Purple Robe Locust	LOW	8'-10'

BOULDER #	SIZE	TYPE/COLOR
1	2' x 3' x 3'	MOSS ROCK BOULDERS AVAILABLE THROUGH: VALLEY ROCK, LOOMIS, CALIF. 916-652-7209 (OR APPROVED EQUAL)
2	3' x 3' x 4'	

SYMBOL	CODE	QTY	CONT.	BOTANICAL/Common NAME	HEIGHT/SPREAD	WUCOLS
	CFB	25	5	Ceanothus 'Frosty Blue' /Wild Lilac	7' / 8'	LOW
	CP	29	5	Cistus purpureus /Orchid Rock Rose	48" / 48"	LOW
	EJ	23	5	Euonymus japonicus 'Microphyllus' /Boxleaf Euonymus	24" / 24"	LOW
	GS	14	5	Gelsemium sempervirens /Carolina Jessamine	20"	LOW
	LM	2	5	Lagerstroemia indica 'Muskogee' /Lavender-pink Crepe Myrtle	60" / 60"	LOW
	LS	12	5	Lavandula stoechas /Spanish Lavender	30" / 24"	LOW
	NF	14	5	Nandina 'Firepower' /Firepower Nandina	24" / 24"	LOW
	PT	13	5	Phormium tenax 'Rubrum' /New Zealand Flax	60" / 60"	LOW
	RI	21	5	Rhaphiolepis indica 'Ballerina' /Dwarf Indian Hawthorne	24" / 48"	LOW
	SV	1	5	Syringa vulgaris /Common Lilac	15' / 15'	LOW

SYMBOL	CODE	QTY	CONT.	BOTANICAL/Common NAME	SPACING	WUCOLS
	AEM	319	1	Arctostaphylos 'Emerald Carpet' /Ground cover manzanita	48"	LOW
	DC	300	1	Deschampsia cespitosa /Tufted Hair Grass	24"	LOW

LANDSCAPE SF CALCULATIONS:
 TOTAL SF OF PROJECT Approx. 39,750 SQUARE FEET
 TOTAL SF OF LANDSCAPING APPROX. 15,025 SQUARE FEET
 PERCENTAGE OF PROJECT IN LANDSCAPING = 38%





DUTCH BROS COFFEE WILDCAT BLVD.

DUTCH BROS. *Coffee*

Alan S. Chambers
Third Shoe, Inc.
349 Silver Lake Dr.
Chico, CA 95973
(530) 898-0123

Coffee Kiosk Building, Wildcat Blvd., Rocklin, CA



Blue Paint: parapet stucco,
metal cap flashing, metal posts



Gray Paint: All doors, parapet
stucco, trash enclosure doors



White Paint: window, door
and metal trim



Stone Pro-Fit Alpine Ledgerstone
Color: Black Mountain, Wainscot



Bayview Color 225 Split Face
CMU wall, rear entrance enclosure



Blue Metal Roofing
Building Roofs

DUTCH BROS. *Coffee*

Alan S. Chambers
Third Shoe, Inc.
349 Silver Lake Dr.
Chico, CA 95973
(530) 898-0123

Office Building, Wildcat Blvd., Rocklin, CA



Stucco Paint
PPG color: Top-Bun



Exterior Metal Doors & Frames, Rollup Door
PPG Color: Monterey Cliffs



Boral Stone Country Ledgerstone
Color: Aspen
Wainscot



Metal Canopy
Storefront Windows & Doors
Color: Natural Satin Aluminum



WSTM LED

LED Mini Wall Sconce



Catalog
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

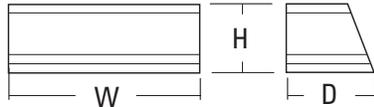
The Architectural WSTM Mini-Wall Sconce is now available with the latest in LED technology. The result is a long-life, maintenance-free product with typical energy savings of 87% over metal halide versions. The diffuse lens eliminates harsh glare while producing comfortable illumination.

The WSTM LED is ideal for replacing existing 50-100W metal halide or 26-42W compact fluorescent wall-mounted products and can be mounted in either lens up or lens down orientation. The expected service life is over 10 years of nighttime use.

Specifications

Luminaire

- Height:** 5-3/4"
(14.6 cm)
- Width:** 12-1/2"
(31.8 cm)
- Depth:** 7-1/2"
(19.1 cm)
- Weight:** 6 lbs.
(2.7 kg)



Ordering Information

EXAMPLE: WSTM LED 2A 40K 120 DDBTXD

WSTM LED	Series	LEDs	Color temperature	Voltage	Mounting	Control options	Other options	Finish <i>(required)</i>
WSTM LED	1A	One engine	30K 3000K	120	Shipped included (blank) Surface mount	Shipped installed PE Photoelectric cell, button type	Shipped installed (blank) Diffusing glass lens CGL Clear glass lens	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White
	2A	Two engines	40K 4000K	277 ¹	Shipped separately ² UT5 Uptilt 5 degrees		Shipped separately ² WG Wire guard ³	DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white DSSTXD Textured sandstone

Stock configurations are offered for shorter lead times:

Stock Part Number

WSTM LED 1A 40K 120 DDBTXD

WSTM LED 2A 40K 120 DDBTXD

Accessories

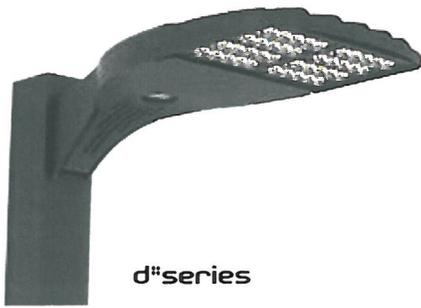
Ordered and shipped separately.

- WSTMUT5 DDBXD U 5 degree uptilt accessory (specify finish)
- WSTMWG U Wire guard accessory

NOTES

1. Includes step-down transformer; see page 2 for more information.
2. Also available as a separate accessory; see Accessories information at left.
3. Not for inverted mounting.





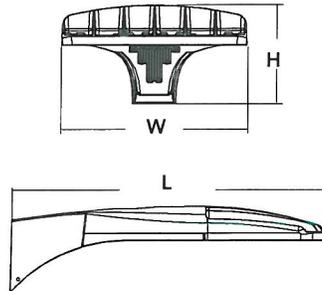
D-Series Size 0 LED Area Luminaire



d^{series}

Specifications

EPA:	0.95 ft ² (.09 m ²)
Length:	26" (66.0 cm)
Width:	13" (33.0 cm)
Height:	7" (17.8 cm)
Weight (max):	16 lbs (7.25 kg)



Catalog Number
Notes
Type

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX0 LED 40C 1000 40K T3M MVOLT SPA DDBXD

DSX0 LED

Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Mounting	
DSX0 LED	Forward optics	530 530 mA	30K 3000 K	T1S Type I short	T5S Type V short	MVOLT ⁴	Shipped included
	20C 20 LEDs (one engine)	700 700 mA	40K 4000 K	T2S Type II short	T5M Type V medium	120 ⁴	SPA Square pole mounting
	40C 40 LEDs (two engines)	1000 1000 mA (1 A) ²	50K 5000 K	T2M Type II medium	T5W Type V wide	208 ⁴	RPA Round pole mounting
	Rotated optics ¹		AMBPC Amber phosphor converted ³	T3S Type III short	BLC Backlight control ²	240 ⁴	WBA Wall bracket
	30C 30 LEDs (one engine)			T3M Type III medium	LCCO Left corner cutoff	277 ⁴	SPUMBA Square pole universal mounting adaptor ⁶
			T4M Type IV medium	RCCO Right corner cutoff	347 ⁵	RPUMBA Round pole universal mounting adaptor ⁶	
			TFTM Forward throw medium		480 ⁵	Shipped separately ⁷	
			T5VS Type V very short			KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish)	

Control options	Other options	Finish (required)
Shipped installed	Shipped installed	DDBXD Dark bronze
PER NEMA twist-lock receptacle only (no controls) ⁸	HS House-side shield ¹⁶	DBLXD Black
PER5 Five-wire receptacle only (no controls) ^{8,9}	SF Single fuse (120, 277, 347V) ¹⁷	DNAXD Natural aluminum
PER7 Seven-wire receptacle only (no controls) ^{8,9}	DF Double fuse (208, 240, 480V) ¹⁷	DWHXD White
DMG 0-10V dimming driver (no controls) ¹⁰	L90 Left rotated optics ¹	DDBTXD Textured dark bronze
DCR Dimmable and controllable via ROAM [®] (no controls) ¹¹	R90 Right rotated optics ¹	DBLXD Textured black
PIR Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc ¹²	DDL Diffused drop lens ¹⁶	DNATXD Textured natural aluminum
PIRH Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc ¹²		DWHGXD Textured white
PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ¹²		
PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ¹²		
BL30 Bi-level switched dimming, 30% ^{13, 14}		
BL50 Bi-level switched dimming, 50% ^{13, 14}		
PNMTDD3 Part night, dim till dawn ¹⁵		
PNMT5D3 Part night, dim 5 hrs ¹⁵		
PNMT6D3 Part night, dim 6 hrs ¹⁵		
PNMT7D3 Part night, dim 7 hrs ¹⁵		

Controls & Shields

Accessories <small>Ordered and shipped separately.</small>	DL127F 1.5 JU Photocell - SSL twist-lock (120-277V) ¹⁸
	DL1347F 1.5 CUL JU Photocell - SSL twist-lock (347V) ¹⁸
	DL1480F 1.5 CUL JU Photocell - SSL twist-lock (480V) ¹⁸
	SC U Shorting cap ¹⁸
	DSX0HS 20C U House-side shield for 20 LED unit ¹⁶
	DSX0HS 30C U House-side shield for 30 LED unit ¹⁶
	DSX0HS 40C U House-side shield for 40 LED unit ¹⁶
	DSX0DDL U Diffused drop lens (polycarbonate) ¹⁶
	PUMBA DDBXD U ⁶ Square and round pole universal mounting bracket adaptor (specify finish)
	KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ⁷

For more control options, visit [DL](#) and [ROAM](#) online.

NOTES

- 30 LEDs (30C option) and rotated options (L90 or R90) only available together.
- Not available with AMBPC.
- AMBPC only available with 530mA or 700mA.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120V, 208V, 240V or 277V options only when ordering with fusing (SF, DF options).
- Not available with single board, 530mA product (20C 530 or 30C 530). Not available with BL30, BL50 or PNMT options.
- Available as a separate combination accessory: PUMBA (finish) U; 1.5 G vibration load rating per ANCI C136.31.
- Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" mast arm (not included).
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories.
- If ROAM[®] node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Not available with DCR.
- DMG option for 347V or 480V requires 1000mA.

- Specifies a ROAM[®] enabled luminaire with 0-10V dimming capability; PER option required. Additional hardware and services required for ROAM[®] deployment; must be purchased separately. Call 1-800-442-6745 or email: sales@roam-services.net. N/A with PIR options PER5, PER7, BL30, BL50 or PNMT options.
- PIR and PIR1FC3V specify the *SensorSwitch SBGR-10-ODP* control; PIRH and PIRH1FC3V specify the *SensorSwitch SBGR-6-ODP* control; see *Motion Sensor Guide* for details. Dimming driver standard. Not available with PER5 or PER7. Ambient sensor disabled when ordered with DCR. Separate on/off required.
- Requires an additional switched circuit.
- Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, PER5, PER7 or PNMT options.
- Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, PER5, PER7, BL30 or BL50.
- Also available as a separate accessory; see Accessories information.
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item from Acuity Brands Controls.



FEATURES & SPECIFICATIONS

INTENDED USE — Square straight steel pole for up to 39-foot mounting height.

CONSTRUCTION — Weldable-grade, hot-rolled, commercial-quality carbon steel tubing with a minimum yield of 55,000 psi (11-gauge), or 50,000 psi (7-gauge). Uniform wall thickness of .1196" or .1793". Shaft is one-piece with a full-length longitudinal high-frequency electric resistance weld. Uniformly square in cross-section with flat sides, small corner radii and excellent torsional qualities. Available shaft widths are 4, 5 and 6 inches.

Anchor base is fabricated from hot-rolled carbon steel plate conforming to ASTM A36, that meets or exceeds a minimum-yield strength of 36,000 psi. Base plate and shaft are circumferentially welded top and bottom. Base cover is finished to match pole.

A handhole having nominal dimensions of 3" x 5" for all shafts. Included is a cover with attachment screws.

Top cap provided with all drill-mount and open top "PT" poles.

Fasteners are high-strength galvanized, zinc-plated or stainless steel.

Finish: Must specify finish.

Grounding: Provision located immediately inside handhole rim. Grounding hardware is not included (provided by others).

Anchor bolts: Top portion of anchor bolt is galvanized per ASTM A-153. Made of steel rod having a minimum yield strength of 55,000 psi.

Note: Specifications subject to change without notice.

Actual performance may differ as a result of end-user environment and application.

Catalog Number
Notes
Type



Anchor Base Poles

SSS

SQUARE STRAIGHT STEEL

ORDERING INFORMATION Lead times will vary depending on options selected. Consult with your sales representative.

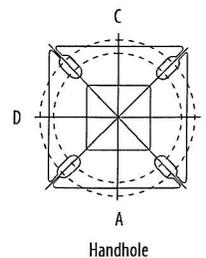
Example: SSS 20 5C DM19 DDB

Series	Nominal fixture mounting height	Nominal shaft base size/wall thickness	Mounting ¹	Options	Finish ¹⁰	
SSS	10 – 39 feet (See back page.)	(See back page.)	<p>Tenon mounting</p> <p>PT Open top (includes top cap)</p> <p>T20 2-3/8" O.D. (2" NPS)</p> <p>T25 2-7/8" O.D. (2-1/2" NPS)</p> <p>T30 3-1/2" O.D. (3" NPS)</p> <p>T35 4" O.D. (3-1/2" NPS)</p> <p>Drill mounting²</p> <p>DM19 1 at 90°</p> <p>DM28 2 at 180°</p> <p>DM28 PL 2 at 180° with one side plugged</p> <p>DM29 2 at 90°</p> <p>DM39 3 at 90°</p> <p>DM49 4 at 90°</p> <p>CSX/DSX/AERIS™/OMERO™ Drill mounting²</p> <p>DM19AS 1 at 90°</p> <p>DM28AS 2 at 180°</p> <p>DM29AS 2 at 90°</p> <p>DM39AS 3 at 90°</p> <p>DM49AS 4 at 90°</p>	<p>AERIS™ Suspend drill mounting^{2,3}</p> <p>DM19AST_ 1 at 90°</p> <p>DM28AST_ 2 at 180°</p> <p>DM29AST_ 2 at 90°</p> <p>DM39AST_ 3 at 90°</p> <p>DM49AST_ 4 at 90°</p> <p>OMERO™ Suspend drill mounting^{2,3}</p> <p>DM19MRT_ 1 at 90°</p> <p>DM28MRT_ 2 at 180°</p> <p>DM29MRT_ 2 at 90°</p> <p>DM39MRT_ 3 at 90°</p> <p>DM49MRT_ 4 at 90°</p>	<p>Shipped installed</p> <p>L/AB Less anchor bolts</p> <p>VD Vibration damper</p> <p>TP Tamper proof</p> <p>H1-18Sxx Horizontal arm bracket (1 fixture)^{4,5}</p> <p>FDLxx Festoon outlet less electrical⁴</p> <p>CPL12xx 1/2" coupling⁴</p> <p>CPL34xx 3/4" coupling⁴</p> <p>CPL1xx 1" coupling⁴</p> <p>NPL12xx 1/2" threaded nipple⁴</p> <p>NPL34xx 3/4" threaded nipple⁴</p> <p>NPL1xx 1" threaded nipple⁴</p> <p>EHHxx Extra handhole^{6,6}</p> <p>MAEX Match existing⁷</p> <p>USPOM United States point of manufacture⁸</p> <p>IC Interior coating⁹</p>	<p>Standard colors</p> <p>DDB Dark bronze</p> <p>DWH White</p> <p>DBL Black</p> <p>DMB Medium bronze</p> <p>DNA Natural aluminum</p> <p>Classic colors</p> <p>DSS Sandstone</p> <p>DGC Charcoal gray</p> <p>DTG Tennis green</p> <p>DBR Bright red</p> <p>DSB Steel blue</p> <p>Architectural colors (powder finish)¹⁰</p>

NOTES:

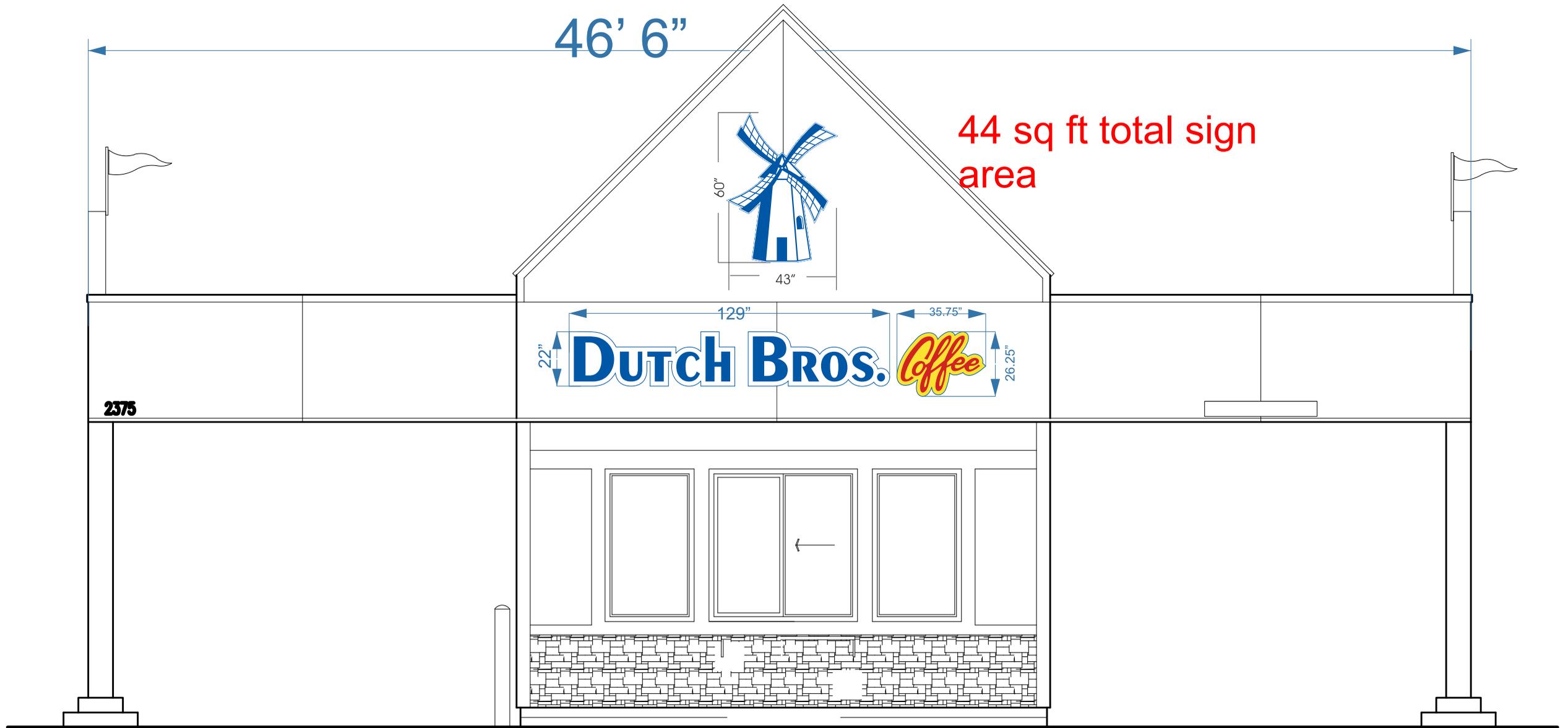
- PT open top poles include top cap. When ordering tenon mounting and drill mounting for the same pole, follow this example: DM28/T20. The combination includes a required extra handhole.
- The drilling template to be used for a particular luminaire depends on the luminaire that is used. Refer to the Technical Data Section of the Outdoor Binder for Drilling Templates.
- Insert "1" or "2" to designate fixture size; e.g. DM19AST2.
- Specify location and orientation when ordering option.
For 1st "x": Specify the height in feet above base of pole.
Example: 5ft = 5 and 20ft = 20
For 2nd "x": Specify orientation from handhole (A,B,C,D)
Refer to the Handhole Orientation diagram above.
- Horizontal arm is 18" x 2-3/8" O.D. tenon standard.
- Combination of tenon-top and drill mount includes extra handhole.
- Must add original order number
- Use when mill certifications are required.
- Provides enhanced corrosion resistance.
- Additional colors available; see www.lithonia.com/archcolors or Architectural Colors brochure (Form No. 794.3). Powder finish standard.

HANDHOLE ORIENTATION



IMPORTANT INSTALLATION NOTES:

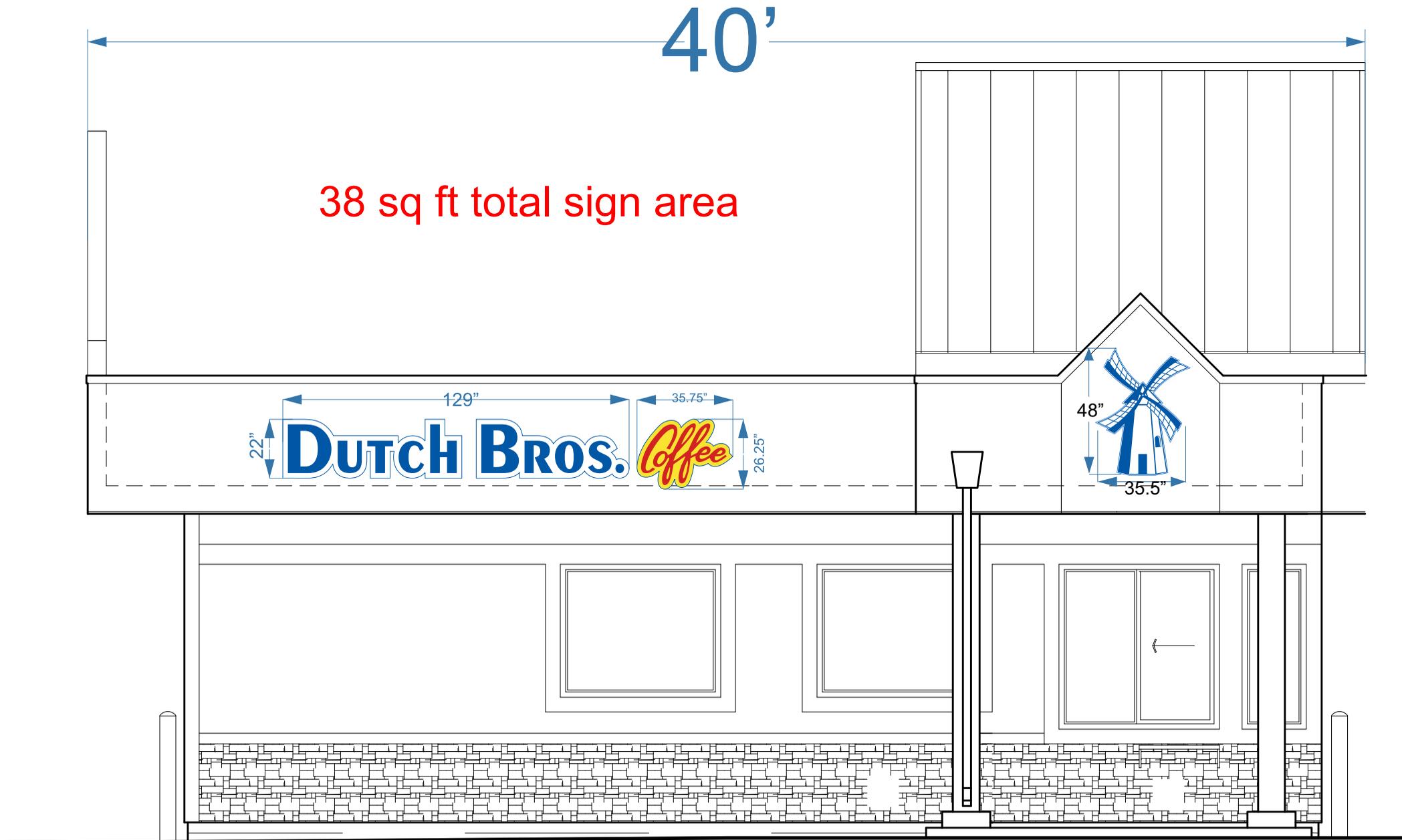
- Do not erect poles without having fixtures installed.
- Factory-supplied templates must be used when setting anchor bolts. Lithonia Lighting will not accept claim for incorrect anchorage placement due to failure to use Lithonia Lighting factory templates.
- If poles are stored outside, all protective wrapping must be removed immediately upon delivery to prevent finish damage.
- Lithonia Lighting is not responsible for the foundation design.



3 SOUTH ELEVATION

Scale: 1/4"=1'

Wildcat Blvd, Rocklin

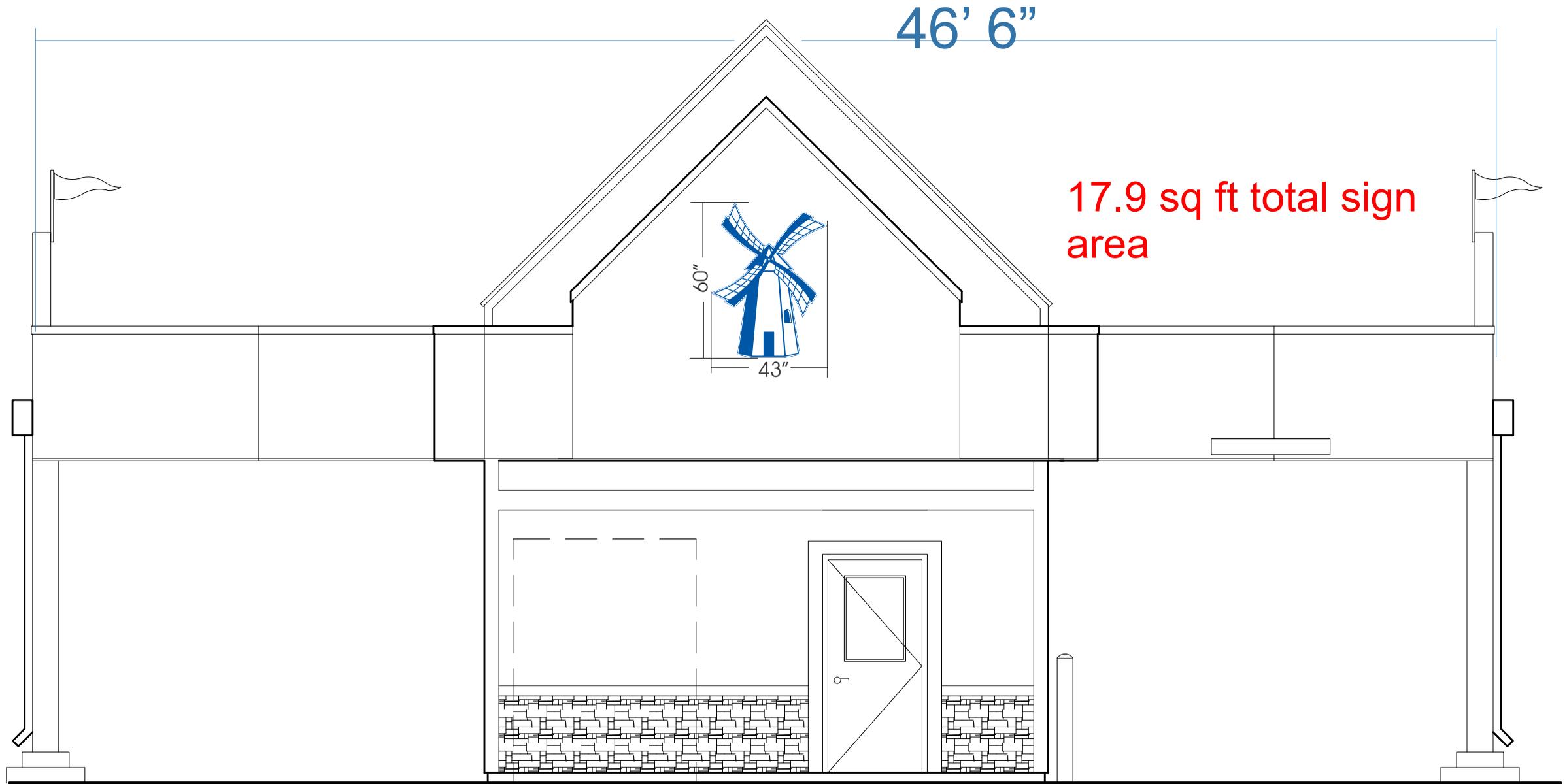


2

WEST/STREET ELEVATION

Scale: 1/4"=1'

Wildcat Blvd, Rocklin

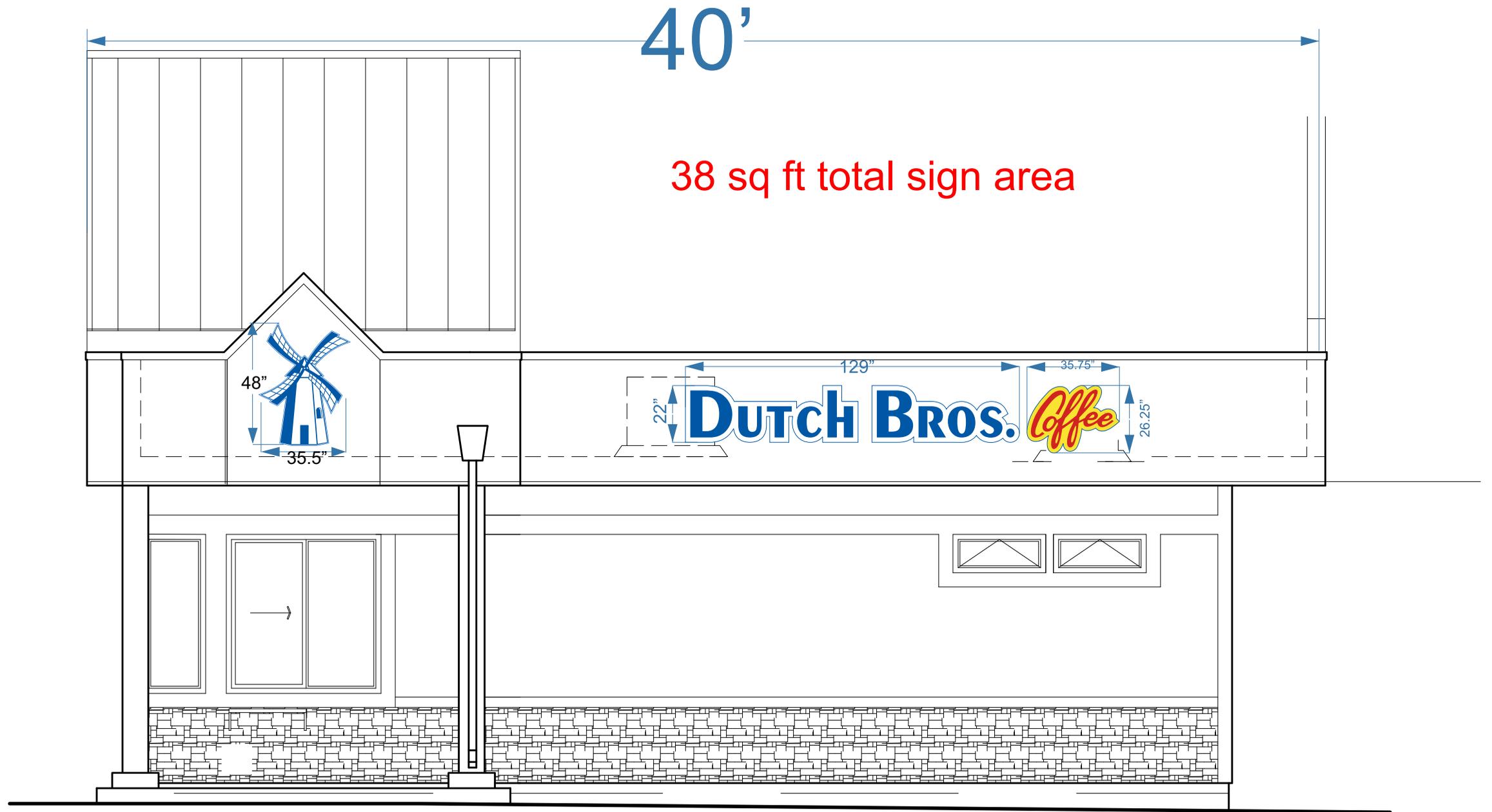


4

NORTH ELEVATION

Wildcat Blvd, Rocklin

Scale: 1/4"=1'



1

EAST ELEVATION

Scale: 1/4"=1'

Wildcat Blvd, Rocklin

Structural Drawing

(Typical LED)

DUTCH BROS. *Coffee*

PROPOSED SIGNAGE

INTERNALLY ILLUMINATED PAN CHANNEL
SIGNS MOUNTED DIRECTLY TO FACIA
WITH SELF CONTAINED POWER SUPPLY

3M VINYL COLORS



Tomato Red



Yellow



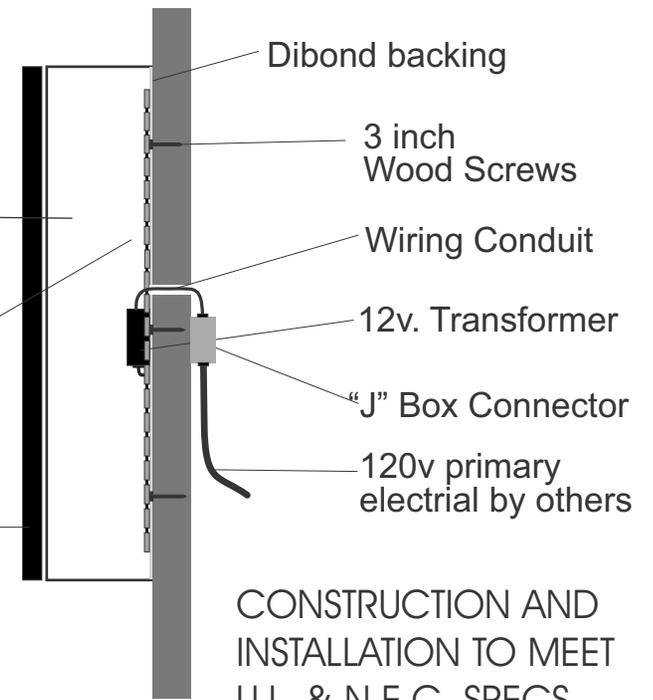
Bright blue



.040 Aluminum
return Baked
Enamel Finish

12 volt LED
modules.

3/16 PLEX FACE
attached with
3/4" trim cap.



Signs will be mounted to
directly to the wall frame with 3"
exterior grade wood screws

Structural Drawing

(Typical LED)

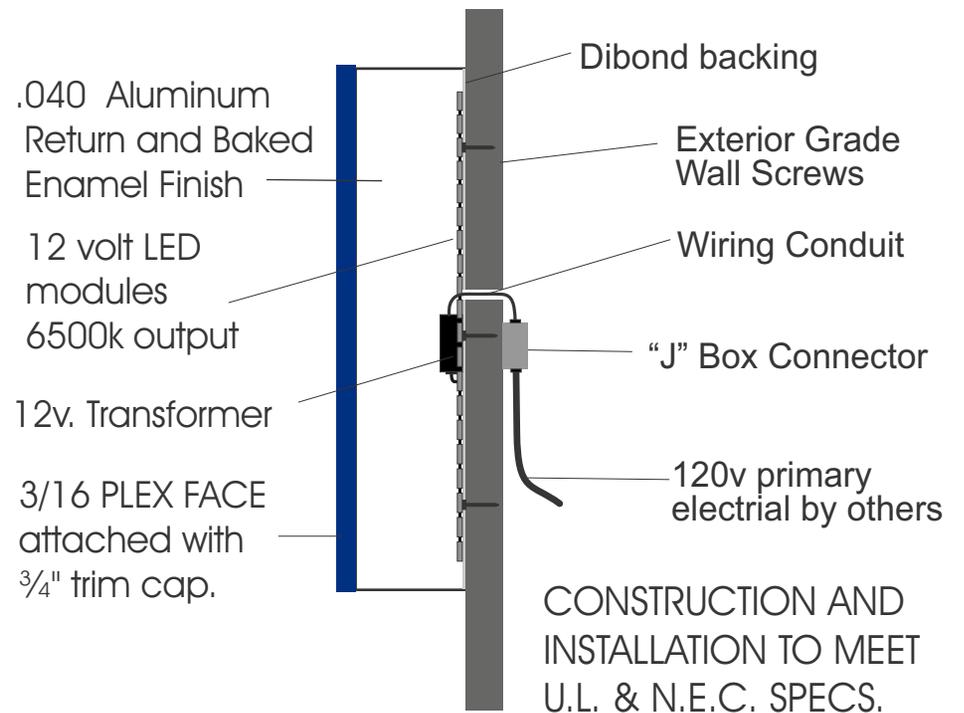


VINYL COLORS ON WHITE ACRYLIC

 Bright blue

PROPOSED SIGNAGE

INTERNALLY ILLUMINATED PAN CHANNEL SIGN
INDIVIDUALLY MOUNTED DIRECTLY TO FACIA
WITH SELF CONTAINED POWER SUPPLY



Signs will be mounted to directly to the wall with exterior grade 3 1/2" wood screws

