



# City of Rocklin

Planning Division  
3970 Rocklin Road  
Rocklin, California 95677  
Phone (916) 625-5160 FAX (916) 625-5195

## UNIVERSAL APPLICATION FORM

NAME OF PROJECT: Whitney Ranch ARCO

LOCATION: SWC Whitney Ranch PKWY and Cheetah St, Rocklin, CA

ASSESSOR'S PARCEL NUMBERS: 017-171-039-000

DATE OF APPLICATION (STAFF): 8/28/23 RECEIVED BY (STAFF INITIALS): MC

FILE NUMBERS (STAFF): DR2023-0010; U2023-0004; ENV2023-0009 FEES: \$26,347

RECEIPT NO.: \_\_\_\_\_

### Pre-Application Meeting Requirements:

It is required that a pre-application meeting be held with a Staff Planner prior to submitting most applications for planning entitlements and permits. The purpose of the pre-application meeting is to expedite application processing by enabling staff to work with the applicant to assure that the officially submitted application materials are in the proper format and that the applicant understands the City of Rocklin's goals, policies, and ordinances that may affect the project. A copy of these and other planning provisions is available at the applicant's request.

Generally, two sets of preliminary plans and a written description of the proposed project should be brought with the applicant to the pre-application meeting. To schedule this meeting, please contact a Staff Planner at the Rocklin Community Development Department by calling (916) 625-5160.

DATE OF PRE-APPLICATION MEETING: 3/14/23

### THIS APPLICATION IS FOR THE FOLLOWING ENTITLEMENTS: (CHECK APPROPRIATE SQUARES)

<input type="checkbox"/> General Plan Amendment (GPA) Fee:	<input type="checkbox"/> Tentative Subdivision Map (SD) Fee:)	<input checked="" type="checkbox"/> Use Permit (U) <input type="checkbox"/> Minor (PC Approval – New Bldg) Fee: <input type="checkbox"/> Minor (PC Approval – Existing Bldg) Fee: <input type="checkbox"/> Major (CC Approval) Fee:
<input type="checkbox"/> BARRO Zone Application (BZ) Fee:	<input type="checkbox"/> Tentative Parcel Map (DL) Fee:	<input type="checkbox"/> Variance (V) Fee:
<input type="checkbox"/> Rezone (Reclassification) (Z) Fee:	<input checked="" type="checkbox"/> Design Review (DR) Commercial Fee: Residential Fee: Signs Fee:	<input type="checkbox"/> Oak Tree Preservation Plan Permit Planning Commission Fee: City Council Fee:
<input type="checkbox"/> General Development Plan (PDG) Fee:		
<input checked="" type="checkbox"/> Concurrent Application (2 or more entitlements) Fee:		<input type="checkbox"/> Modification to Approved Projects Fee:  _____ File Number

<b>Environmental Requirements: (STAFF)</b>	<input type="checkbox"/> Exempt - <input type="checkbox"/> Negative Declaration -	<input type="checkbox"/> Mitigated Negative Declaration - <input type="checkbox"/> EIR – See Fee Schedule
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**UNIVERSAL APPLICATION FORM (CONT.)**

<b>GENERAL PLAN DESIGNATION:</b> City of Existing: <u>Rocklin</u>  Proposed: <u>N/C</u>  <b>Zoning:</b> Existing: <u>PD-C</u>  Proposed: <u>N/A</u>	<b>PROPERTY DATA:</b>  Acres: <u>1.57</u>  Square Feet: <u>68,563</u>  Dimensions: <u>330 X 228</u>  No. of Units: <u>N/A</u>  Building Size: <u>Building: 3,349</u> <u>Canopy: 4,500</u> <u>Car Wash: 3,000</u>  Proposed Parking: <u>24</u>  Required Parking: <u>17</u>  Access: <u>Two-way</u>	<b>UTILITIES:</b>  <table border="0"> <tr> <th align="left">EXISTING</th> <th align="left">PROPOSED</th> </tr> <tr> <td><u>      </u> Pub. Sewer</td> <td><u>  X  </u> Pub. Sewer</td> </tr> <tr> <td><u>      </u> Septic Sewer</td> <td><u>      </u> Septic Sewer</td> </tr> <tr> <td><u>      </u> Pub. Water</td> <td><u>  X  </u> Pub. Water</td> </tr> <tr> <td><u>      </u> Well Water</td> <td><u>      </u> Well Water</td> </tr> <tr> <td><u>      </u> Electricity</td> <td><u>  X  </u> Electricity</td> </tr> <tr> <td><u>      </u> Gas</td> <td><u>      </u> Gas</td> </tr> <tr> <td><u>      </u> Cable</td> <td><u>  X  </u> Cable</td> </tr> </table>		EXISTING	PROPOSED	<u>      </u> Pub. Sewer	<u>  X  </u> Pub. Sewer	<u>      </u> Septic Sewer	<u>      </u> Septic Sewer	<u>      </u> Pub. Water	<u>  X  </u> Pub. Water	<u>      </u> Well Water	<u>      </u> Well Water	<u>      </u> Electricity	<u>  X  </u> Electricity	<u>      </u> Gas	<u>      </u> Gas	<u>      </u> Cable	<u>  X  </u> Cable
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<u>      </u> Gas	<u>      </u> Gas																		
<u>      </u> Cable	<u>  X  </u> Cable																		

**PROJECT REQUEST:** Please see attached project narrative

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*(Example: Request for approval of design review to construct a 10,000 square foot office building on 1.5 acres)*

NOTE: Annexations, Lot Line Adjustments, and Rocklin Ranch Industrial Park Specific Plan Use Permits require special application forms and additional submittal information available from the Planning Division.

UNIVERSAL APPLICATION FORM (CONT.)

PLEASE PRINT OR TYPE:

NAME OF PROPERTY OWNER: Oakwood Trails 7V LLC

ADDRESS: 8224 Residencia (Local)  
1031 Roscalle Parkway #148  
Roseville CA 95676

CITY: Newport Beach STATE: ca ZIP: 96 92660

PHONE NUMBER: 916.628.7778

EMAIL ADDRESS: peter@saetesinvestments.com

FAX NUMBER: \_\_\_\_\_

SIGNATURE OF OWNER 

(Signature Authorizing Application; provide owner's signature letter if signature is other than property owner.)

NAME OF APPLICANT Linda Petroleum, Inc.  
(If different than owner): \_\_\_\_\_

CONTACT: Barghausen / Leslie Burnside

ADDRESS 3300 Douglas Blvd Suite 100, Roseville, CA 95661

CITY: Roseville STATE: CA ZIP: 95661

PHONE NUMBER: 858-610-0153

EMAIL ADDRESS: lburnside@barghausen.com

FAX NUMBER: \_\_\_\_\_

SIGNATURE OF APPLICANT 

**AGENT AUTHORIZATION FORM**

Property owners desiring to authorize individuals to represent them in conjunction with any application or matter before the City shall provide written authorization using this form. A separate form shall be used for each individual or firm authorized, and shall specifically note any restrictions upon the authorized person.

Project Name: Whitney Ranch ARCO
Location: SWC Whitney Ranch PKWY and Cheetah St, Rocklin, CA
Assessors Parcel Number(s): 017-171-039-000
Entitlements for which authorization is applicable (use permit, variance, tentative map, etc.): Use permit, Design Review, all applicable permits
Name of person and / or firm authorized to represent property owner (Please print): Leslie Burnside and/or Employees of Barghausen Consulting Engineers, Inc.
Address (Including City, State, and Zip Code): 3300 Douglas Blvd Suite 100, Roseville, CA 95661
Phone Number: 858-610-0153
Fax Number:
Email Address: lburnside@barghausen.com
The above named person or firm is authorized as: Agent ( <input checked="" type="checkbox"/> ) Buyer ( <input type="checkbox"/> ) Lessee ( <input type="checkbox"/> )
The above named person or firm is authorized to (check all that are applicable): ( <input checked="" type="checkbox"/> ) File any and all papers in conjunction with the aforementioned request, including signing the application ( <input checked="" type="checkbox"/> ) Speak on behalf of and represent the owner at any Staff meeting and/or public hearing. ( <input checked="" type="checkbox"/> ) Sign any and all papers in my stead, with the exception of the application form.
The duration and validity of this authorization shall be: ( <input checked="" type="checkbox"/> ) Unrestricted ( <input type="checkbox"/> ) Valid until:
Owners Authorization Signature & Date: 
Owners Name (Please Print): Oakwood Trails 7V LLC
Owners Address (Including City, State, and Zip Code): 8224 Residencia Newport Beach CA 92660 1071 Roseville Parkway #148 Roseville CA 95678
Phone Number: 916.628.7778
Email Address: peter@saetesinvestments.com

**NOTIFICATION OF OWNERS OF MINERAL RIGHTS**

Government Code section 6509a(a)(2) states that if the Subdivision Map Act requires notice to be given pursuant to Section 65091, in addition to noticing the surrounding property owners, notice must also be given to anyone who has filed with the County recorder's office a "notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code" on the subject property.

Therefore, mailing labels must be provided with this application for any owner of a mineral right pertaining to the subject real property who has recorded a notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code (Subdivision Map Act Section 65091(a)(2)).

**See page 24 of this application for instructions on how to submit mailing labels.**

Section 65091(a)(2)

"(2) When the Subdivision Map Act (Div. d 9commencing with Section 66410)) requires notice of a public hearing to be given pursuant to this section, notice shall also be given to any owner of a mineral right pertaining to the subject property who has recorded a notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code."

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There **are / are not** (circle one) owner(s) of record of preserved mineral rights on the subject property and I, Leslie Burnside, the applicant or applicant's representative, **have / have not** (circle one) provided the name and mailing address of record for any and all owners of mineral rights pursuant to Section 883.230 of the Civil Code.

 \_\_\_\_\_  
Signature Date

**STATE OF CALIFORNIA  
DEPARTMENT OF FISH AND GAME  
FILING FEES**

In 1990, the State adopted a fee pursuant to AB 3158 for the review of environmental documentation by the State Department of Fish and Game. Subsequently, in 1991, the fees were challenged. Then, in June 1995, the Department of Fish and Game instructed the jurisdictions to stop collecting fees. Following a great deal of court action and in a memorandum dated February 26, 1996, the State Clearinghouse, Office of Planning and Research, stated that the fees must again be collected.

On September 29, 2006, Senate Bill 1535 was passed increasing the amounts of filing fees collected by the Department, and requires the Department to adjust the fees annually pursuant to Fish and Game Code Section 713.

As of January 1, 2020, State law requires all applicants who have a Notice of Determination filed for a Negative Declaration to pay a \$2,406.75 fee and those with a Notice of Determination for an Environmental Impact Report to pay a \$3,343.25 fee. Both types must pay an additional \$50.00 administrative fee making the total fees \$2,456.75 and \$3,393.25 respectively. Applicants whose projects require the filing of a Notice of Exemption will need to pay a \$50.00 administrative fee. The City will notify each applicant which of the fees must be paid.

PLEASE NOTE: Effective January 1, 2008, the fee exemption for projects determined to have a *De Minimis Impact Finding* has been eliminated. (Section 711.4 Fish and Game Code).

The Fish and Game filing fee must be paid prior to the filing of the Notice of Determination with the County Clerk. Since the CEQA law requires a Notice of Determination to be filed with the County within 5 days of an action by the City, all applicants must remit to the City the necessary fee amount *no later than* the day of the final scheduled public hearing for the proposed project.

**PLEASE MAKE ALL CHECKS PAYABLE TO PLACER COUNTY.**

If you have any questions regarding this matter, please do not hesitate to contact the Planning Department at (916) 625-5160. Upon review of the above, please sign and return this document with your application.

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I, Leslie Burnside, the applicant or applicant's representative, have read the information above and understand its meaning.



8/28/23

Signature

Date

**HAZARDOUS WASTE AND SUBSTANCES STATEMENT**

Pursuant to California Government Code Section 56962.5, I have consulted the Hazardous Waste and Substances Sites List (Cortese List), consolidated by the State of California, Environmental Protection Agency and find that;

The project, including any alternatives, \_\_\_\_\_ is,  is not (check which applies) located on a site which is included on the Hazardous Waste and Substances Sites List (Cortese List). If on the list, provide the following information:

Regulatory identification number: \_\_\_\_\_ Date of list: \_\_\_\_\_

Type of problem: \_\_\_\_\_

I declare under penalty of perjury of the laws of the State of California that the foregoing is true and correct.

Dated: 8/20/2023

Applicant: Leslie Burnside

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Applicants can verify this information by reviewing the Hazardous Waste and Substances Sites List (Cortese List), available for review at the City of Rocklin Planning Department counter, or at the California Department of Toxic Substance Control web site:  
<http://www.calepa.ca.gov/SiteCleanup/CorteseList/default.htm>

## MITIGATION FOR AIR QUALITY IMPACTS

The US Environmental Protection Agency (EPA) and the California Air Resources Board (CARB) have established air quality standards, referred to as the National Ambient Air Quality Standards (NAAQS) and the State Ambient Air Quality Standards (SAAQS) respectively. The federal Clean Air Act and State Clean Air Act both require that areas in violation of the ambient air quality standards adopt strategies to attain these standards. The Placer County Air Pollution Control District (APCD) has primary responsibility for planning and maintenance and/or attainment of air quality standards within Placer County. California is divided into 15 air basins for the purpose of monitoring air quality. Placer County is included in the Sacramento Valley Air Basin. Areas may be classified as attainment, non-attainment, or unclassified with regard to the adopted standards. The unclassified designation is assigned in cases where monitoring data is insufficient to make a definitive determination. Under the federal standards, all of Placer County, including Rocklin, is designated as non-attainment for ozone. All other pollutants are designated unclassified in Rocklin. Under the state standards, South Placer, including Rocklin, is designated as non attainment for ozone and PM10 and unclassified for hydrogen sulfide and visibility reducing particulate.

The project would have the following short-term construction impacts, if not mitigated:

- a. Construction activities, including grading, would generate a variety of pollutants, the most significant of which would be dust (PM10). This would exacerbate the existing PM10 non attainment condition if not mitigated.
- b. Construction equipment would produce short-term combustion emissions, and asphalt materials used for streets and driveways would produce pollutants during curing.

The mitigation measures listed below will reduce the short term impacts to less-than-significant. In the long-term, vehicle trips to and from the project site would generate Carbon Monoxide and ozone precursor emissions, thereby contributing to the non-attainment status of the local air basin. These incremental and cumulative adverse air quality impacts cannot be completely mitigated. However, these impacts were anticipated by the City of Rocklin General Plan, and were addressed through the 1991 Rocklin General Plan EIR and the North Rocklin Circulation and Traffic Study. Findings of overriding significance were adopted for the unmitigatable and unavoidable significant air quality impacts.

Therefore, I, as the applicant for the proposed project, agree that the mitigation measures listed below are incorporated as a part of my project description in order to mitigate for the short term impacts.

## MITIGATION FOR AIR QUALITY IMPACTS (CONT.)

### MITIGATIONS

1. The project shall conform with the requirements of the Placer County APCD.
2. Prior to commencement of grading, the applicant shall submit a dust control plan for approval by the City Engineer and the Placer County Air Pollution Control District. The plans shall specify measures to reduce dust pollution during all phases of construction.
3. Traffic speeds on all unpaved road surfaces shall be posted at 25 m.p.h. or less.
4. All grading operations shall be suspended when wind speeds exceed 25 m.p.h.
5. All trucks leaving the site shall be washed off to eliminate dust and debris.
6. All construction equipment shall be maintained in clean condition.
7. All exposed surfaces shall be revegetated as quickly as feasible.
8. If fill dirt is brought to the construction site, tarps or soil stabilizers shall be placed on the dirt piles to minimize dust problems.
9. Apply water or dust palliatives on all exposed earth surfaces as necessary to control dust. Construction contracts shall include dust control treatment as frequently as necessary to minimize dust.
10. Construction equipment shall be properly maintained and tuned.
11. Utilize low emission mobile construction equipment where possible.
12. Open burning of vegetative material is prohibited.

Leslie Burnside

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Applicant's Name (printed)



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Applicant's Signature

8/28/23

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Date



# City of Rocklin

Planning Division  
3970 Rocklin Road  
Rocklin, California 95677  
Phone (916) 625-5160 FAX (916) 625-5195

**ENVIRONMENTAL  
INFORMATION SHEET**  
(To be completed by  
applicant)

**LOCATION OF PROJECT (ADDRESS)** SWC Whitney Ranch PKWY and Cheetah St, Rocklin, CA

**ASSESSORS PARCEL #** 017-171-039-000

**NAME OF PROJECT** Whitney Ranch ARCO

**CONTACT/APPLICANT** Leslie Burnside

**ADDRESS** 3300 Douglas Blvd Suite 100, Roseville, CA 95661

**PHONE** 858-610-0153

**EMAIL** lburnside@barghausen.com

**Project Description - Describe in detail. Add separate sheet if necessary.**

Please see attached project narrative

Property size: 68,563 1.57

Land Use: Square Feet Acres  
Vacant / Commercial Commercial

Existing Proposed

**RELATED PROJECTS:** If this project is a part or portion of a larger project, describe the previous project by name, general development plan number, or other project identification. N/A

**PREVIOUS ENVIRONMENTAL DOCUMENTS:** If this project is part of a larger project for which a negative declaration or an environmental impact report has been prepared and certified, reference the document below. Include the date and SCH#, if possible: N/A

**OTHER REQUIRED PERMITS OR APPROVALS:**

Permit or Approval      Agency      Address      Contact Person/Phone  
Sewer      SPMUD

Construction permits      Building / Public Works

CUPA      Placer County

**PREVIOUS LAND USES:** Describe existing and previous land uses of the site for the last 10 years or more: Vacant Land / Commercial

Building /

**SITE CHARACTERISTICS**

- 1. What natural features (trees, rock outcroppings etc.) presently exist on the site?  
Site is covered in natural brush  
\_\_\_\_\_  
\_\_\_\_\_
  
- 2. What are the surrounding land uses?  
East Future West Future North Residential South Residential  
Commercial Commercial
- 3. Is the project proposed on land which contains fill or a slope of 10% or more? No
- 4. Are there any existing erosion problems? No
  
- 5. Is the site on expansive soils (as defined in Table 18 of the UBC) or immediately adjoining an area subject to slides, liquefaction, slope instability or other related hazards? \_\_\_\_\_  
If so, describe in detail, or refer to attached soils report.  
Unknown  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
  
- 6. Grading, excavating or filling activities - Quantity of cubic yards to be:
  - a. Moved within the site 34 CY (Cut volume used for fill)
  - b. Deposited on the site 3,836 CY (Additional fill required)
  - c. Removed from the site 0 CY (No export anticipated; assumes all cut materials are re-usable)Disposal site N/A
  
- 7. Are there any streams or permanent water courses on the site? No  
Describe \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
  
- 8. Will the proposed project change drainage patterns or the quality of groundwater?  
If so explain. If not, why not. No  
\_\_\_\_\_  
\_\_\_\_\_
  
- 9. Will the project affect any drainage channel, creek, pond or any other water body?  
Describe below: No  
\_\_\_\_\_  
\_\_\_\_\_

10. Is any portion of the property located in a flood plain? No  
If so describe \_\_\_\_\_
11. Are there any jurisdictional wetlands or vernal pools on the site? If so how will they be impacted by the project? No
12. Are there any trees or shrubs on the project site? No trees, only scrub brush  
What types? \_\_\_\_\_  
Are any to be removed or transplanted? \_\_\_\_\_  
State the location of transplant site: \_\_\_\_\_  
State the number & species to be removed: \_\_\_\_\_
13. Will the project affect the habitat of any endangered, threatened, or other special status species? No
14. Will the project result in any new noise source, or will it place new residents in an area of high traffic noise or noise from any other source? Noise typically associated with gasoline service stations and car washes
15. What type of equipment will be associated with the project during construction?  
Earth movers, construction trade service trucks, crane for USTs,  
During permanent operation? Customer and service vehicles, delivery tanker for fuel
16. Describe any air pollutants, other than vehicle exhaust, which would be generated by this project, both during and after construction. Dust particulates are considered pollutants.  
Typical construction air pollutants may occur during construction
17. Will the project produce new sources of dust, ash, smoke, fumes or objectionable odor? If yes, describe the source of the emission, methods to control emissions and means of mitigating those effects on adjacent properties: An air quality and GHG study will be provided
18. Will the project create any new light source, other than street lighting? If yes, describe below:  
Yes, light typically associated with gasoline service stations, all lighting will be shielded to limit throw to the site
19. Is this property covered by a Williamson Act contract? No
20. Has this property ever been used for agricultural purposes? Unknown If so, for what purpose and when? \_\_\_\_\_
21. Does the project involve the use of routine transport or disposal of hazardous materials?  
No
22. Are there any known mineral resources of value to the region and the residents of the state located on the site? If so, what types? Unknown
23. How close is the nearest school? 1,850 feet (Whitney High School)

24. PROPOSED BUILDING CHARACTERISTICS (BOTH RESIDENTIAL AND NON-RESIDENTIAL)

Size of new structure(s) or addition in gross square feet: AM/PM convenience store (3,400 SF), 27-by 100-foot car wash (2,700SF), and a 47- by 90-foot fuel canopy (4,230 SF)

Building height measured from ground to highest point in feet: 26

Number of floors/stories: 1

Height of other appurtenances (antennas, steeples, mechanical equipment, etc.) measured from ground: nothing exceeds 26 feet

Project site coverage: Building	<u>10,849</u>	sq.ft.	<u>15.75</u>	%
Landscaping	<u>12,254</u>	sq.ft.	<u>20.10</u>	%
Paving	<u>37,885</u>	sq.ft.	<u>55.5</u>	%

Exterior building materials: Stucco in Great Plains Gold and Brandy Cream colors, with the entry tower flanked by ACM in Rustic Walnut, pilasters and wainscot of stone veneer in Alaskan Sunset

Wall and/or fencing material: TBD

Total number of off-street parking spaces required: 17 Provided: 24

Total number of bicycle parking spaces: 4

25. Is there any exposed mechanical equipment associated with the project? Roof top air conditioning units. Screened by parapet roof

26. RESIDENTIAL PROJECTS

Total lots \_\_\_\_\_ Total dwelling units \_\_\_\_\_  
Density/acre \_\_\_\_\_ Total acreage \_\_\_\_\_

	Single Family	Two Family	Multi-Family (More than 2 units)
Number of Units			
Size of lot/unit			
Studio			
1 Bedroom			
2 Bedroom			
3 Bedroom			
4+ Bedroom			

27. RETAIL, COMMERCIAL, INDUSTRIAL, INSTITUTIONAL OR OTHER PROJECT

Type of use(s): Gas station and convenience store

Oriented to: Regional \_\_\_\_\_ City \_\_\_\_\_ Neighborhood X

Hours of operation: 24/7

Total occupancy/Building capacity: \_\_\_\_\_ M / 36 occupants

Gross floor area: 3,349 sq ft Number of fixed seats: 0

Number of employees (total): 12 -15 Employees per shift: 3 to 5 Number of Shifts 3

Number of visitors/customers on site at busiest time (best estimate): 2000 per day, traffic study will address peak periods

Other occupants (specify): \_\_\_\_\_

ALL PROJECTS

28. Approximately how many tons of solid waste will the project produce each year? Amounts typical of operating a gas station and convenience store

29. Will the proposed use involve any toxic or hazardous material? Gasoline / USTs  
 Is the project site within 2,000 feet of an identified hazardous/toxic site? No  
 Is the project site within 2,000 feet of a school or hospital? No  
 If the project involves any hazardous material, explain: Commensurate with storage of retail fuel  
 \_\_\_\_\_
30. How many new residents is the project estimated to generate? None
31. Will the project generate a demand for additional housing? No
32. What is the current and estimated number of motor vehicles to arrive at the site as a result of the project? See attached project description
33. Could the project increase traffic hazards to motor vehicles, bicyclists or pedestrians? \_\_\_\_\_  
 If yes, explain No
34. How close is the project to the nearest public park or recreation area? 1000 feet
35. What school districts will be affected by this project? Rocklin Unified School District
36. Describe energy-efficient features included in the project. \_\_\_\_\_  
Solar Panels, energy efficient lighting, EV charging stations  
 \_\_\_\_\_
37. Describe how the following services or utilities will be provided:  
 Power and Natural Gas Pacific Gas & Electric (PG&E)  
 Telephone AT&T or Frontier Communications  
 Water Placer County Water Agency  
 Sewer SOUTH PLACER MUD-2  
 Storm Drainage City of Rocklin  
 Solid Waste Recology Auburn Placer
38. Will the project block any vista or view currently enjoyed by the public? No
39. Are there any known historic or significant building features on or near the site? If so, will the project result in any impact to the building? No
40. Are there any archaeological features on the site? Unknown If so, will the project result in any impact to these features? \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

## **PROJECT DESCRIPTION AND JUSTIFICATION**

### **Proposed ARCO Facility Convenience Store, Car Wash, and Fuel Station SWC Whitney Ranch Parkway and Cheetah Street Rocklin, CA 95765**

#### **Project Description**

The subject parcel is designated as part of APN No. 017-171-039-000 and is located at the southwest corner of Whitney Ranch Parkway and Cheetah Street in Rocklin, California. The subject parcel is 68,563 square feet (1.57 Acres). The existing property owner is currently processing a final Parcel Map in order to create a separate parcel for this development.

The property is zoned Planned Development Business Professional/Commercial (PD-C). This zone is in the Northwest Rocklin General Development Plan. The site is surrounded by PD-Z zoning. Convenience stores and gasoline service stations are permitted, and car wash facilities are allowed with approval of a Conditional Use Permit. Alcohol sales and 24-hour use will be evaluated as part of the Conditional Use Permit. The application will be processed as a Conditional Use Permit, approved by the Planning Commission. All uses require a Pre-Application Meeting and Design Review.

The project calls for the construction of an ARCO facility consisting of an AM/PM convenience store (3,349 square feet), 30-by 100-foot car wash (3,000 square feet), and a 50- by 90-foot fuel canopy (4,500 square feet) with six (6) multi-product dispensers (MPDs) that results in a total of twelve (12) vehicle fueling positions (VFPs). The fueling facility will require the installation of two (2) underground storage tanks. The business will operate 24 hours a day and sell beer, wine, spirits and tobacco products.

The required setbacks are 0-feet for the front yard, 20-feet for the side street yard, 10-feet for the side interior yard and 10-feet for the rear yard.

Seventeen parking stalls are required for the ARCO. Ten parking stalls are located in front of the c-store, including an ADA accessible stall, with an additional twelve at the retail fuel island, ten vacuum stalls and four electric vehicle charging station stalls. Parking areas will utilize concrete pavement for durability.

Landscaping is provided at an overall coverage of 20.1%, or 12,254 square feet. Perimeter landscape planters are proposed in widths varying from 8 feet to 15 feet. Trees are provided to achieve a minimum of 50% shading at maturity for all parking spaces, maneuvering areas, driveways and drive aisles. Drive-through lanes must be screened from the public right-of-way to reduce glare. Berms will be incorporated into the frontage landscaping along with heavy landscaping. A minimum 15-foot wide landscape strip is provided adjacent to a public street, along with a minimum of ten feet of landscaping along the southerly project boundary adjacent to the future residential.

Additional site developments include a propane exchange and bike rack along the eastern elevation of the ARCO am/pm facility. An air/water unit is placed adjacent to the parking stall along the eastern property line. The proposed 14-foot by 18-foot trash enclosure is located in the southeast corner of the lot adjacent to the car wash entrance and will have sufficient space for regular waste receptacles and recycling receptacles. It will be enclosed with a 6-foot high CMU wall with a metal gate, in coordinating colors with the other structures.

Pedestrian-friendly amenities include a bike rack capable of storing four (4) bicycles and a new sidewalk along the project's Cheetah frontage with an accessible path from the public right-of-way to the project site.

This project will include both standalone outdoor parking lot lighting and building-attached lighting. All site and canopy lights will be designed to be shielded to confine light throw to the property.

Access to and from the site will be from a right-in/right-out only 35-foot wide shared driveway on Whitney Ranch approximately 200 feet from the intersection with Cheetah, and a full access 35-foot drive on Cheetah Street approximately 140 feet from the intersection. An easement for access rights to the shared driveway and existing driveway will be granted to the adjacent parcels. The driveway on Cheetah has been aligned to match the corresponding driveway across the street. The westerly side of Cheetah Street will need to be completed to provide, at minimum, from the center line, 21 feet of pavement, 3 feet curb and gutter, and 6 feet of sidewalk. The paved width may need to widen somewhat at Whitney Ranch Parkway and the alignment of the transition to a 42-foot right-of-way in the south will be evaluated by the Engineering Division. The project will also construct improvements to the shared drive aisle on the west side of the site, including curb, gutter, and sidewalks.

The proposed car wash is located parallel to the western property line. The circulation route for the car wash requires vehicles to enter the site and drive around the fuel canopy area or drive around the rear of the convenience store, depending on which driveway they use to enter the site. The entrance to the car wash is from a dedicated drive aisle located behind the convenience store. Vehicles will exit the car wash from the north side of the car wash.

Fuel tankers will enter the site traveling southbound on Cheetah and turning right into the site, and then right again to travel around the canopy and line up for a right-side discharge of the fuel into the underground storage tanks. The tanker will then exit by the Whitney Ranch driveway, turning right to leave eastbound on Whitney Ranch.

The convenience store would include typical elements and fixtures associated with convenience retail (ARCO AM/PM) and would operate 24 hours a day. Items being sold would include pre-packaged convenience grocery items, sundries, hot and cold drinks, tobacco products, beer, wine, and spirits, and automobile-related convenience items. Cold storage facilities and limited on-site dry storage would be provided to support both retail sales and food service. Food preparation is limited to warming (re-heating) and packaging for re-sale.

The business is expected to have 12 to 15 employees, who will work during 3 shifts of 8 hours, some full time and some part time.

The number of customers anticipated each day will be approximately 2,000. Vehicle trips are anticipated at 1,860 per day. Vendors serving the business are expected to make 2 to 4 visits per day. Fuel deliveries are anticipated to happen 5 times per week. The business has no recurring special events or activities.

The c-store would have a maximum height of 26 feet, the carwash has a maximum height of 16 feet, and the canopy would have a maximum height of 18 feet 6 inches. The materials for the c-store are stucco in Great Plains Gold and Brandy Cream colors, with the entry tower flanked by ACM in Rustic Walnut, and also including steel awnings and aluminum and ACM trim. Those materials, as applicable, are duplicated in the carwash. The materials for the canopy are pearl-colored ACM with a printed bullnose decal with blue LED light.

The convenience store, canopy and carwash tunnel will have solar panels installed in accordance with the 2022 California Building Code. Final positioning angling and energy demand will be determined by design engineering during the preparation of construction documents.

The car wash is a long tunnel, automated conveyor wash, and has a dedicated attendant and a small office for the attendant. The vacuum system operates from a centralized compressor, housed in an equipment room. Shade structures or awnings will be provided at vacuum and EV stalls, style to be determined, to provide specialized weather protection, as customers enjoy relief from heat and sun while completing the detailing or charging of their vehicle.

Noise levels are not anticipated to be in excess of the ambient noise for the c-store operation, or the intercom use at the fuel island. However, the carwash dryer may produce sound in excess of ambient noise

at the point of exit. Possible mitigation measures will be recommended in the acoustic study currently underway, including the use of new-to-industry International brand dryers which excel at sound suppression.

The grading proposed will be sufficient to provide appropriate stormwater management and sloping for utilities and fuel lines. The proposed project is designed to have several high and low points throughout the site to convey and collect stormwater drainage appropriately. The storm drain system consists of a series of inlets and pipes that ultimately convey runoff to a stormwater quality treatment device. Upon exiting this device, treated water will be detained in an underground system and then discharged onsite adjacent to the public right-of-way. The stormwater management will include full trash capture if required by the jurisdiction.

The Whitney Ranch Arco and Carwash project is located within the Whitney Ranch subsection of the Northwest Rocklin Annexation Area. Whitney Ranch was master planned for drainage prior to implementation of low-impact development (LID); therefore, the Whitney Ranch Arco and Carwash project is exempt from LID design standards. Public Services does not require a separate LID-related submittal for the project.

Water and sewer will be provided by municipal utilities. The project will require a minimum of 2-inch metered water service for the car wash. The project proposes over 5,000 square feet of landscaping, so it will need to be separately metered per state code. Water is available from the existing 12-inch main in Cheetah Street or from the future pipeline installed with the drive aisle on the west side of the project by the Wildcat West Subdivision.

The carwash will be connected to an oil/mud separator and a reclamation system to recycle approximately 80 to 90% of the water used. In this way, offsite runoff generated from car wash operations will be minimized to prevent infiltration into the curb, gutter, and storm drain, along with tracking onto Whitney Ranch Blvd driveway and roadway. Some water will be subject to evaporation and cannot be captured. The carwash manufacturer and associated reclamation system has not yet been selected so it is not possible to provide exact wastewater and water usage figures. A rough estimate of the c-store and carwash uses is a generation of approximately 3,000 gallons of wastewater going to sewer per day, and water usage of 3,800 gallons a day. Solid waste removal will take place once per day by a local waste management company under contract with the business.

The business is expected to utilize public services such as fire and police protection as a typical business of this type would. There is not expected to be a significant impact to those local services.

No hazardous materials or waste will be generated as part of this project, with the minor exception of temporary storage of materials used to clean up minor fuel spills. Those materials will be handled in accordance with the business' Hazardous Materials Business Plan approved by the local authority.

Retail developments are encouraged to include public art in the design / amenities of the project consistent with the Public Art Master Plan. The project site does not present an opportunity for a public art installation so in-lieu-of fees will be provided.

An acoustic study is included with this submittal, and determines that with appropriate mitigation of construction of an 8-foot-tall solid noise barrier along the southern project property line, all car wash operations shall occur within daytime hours only (7:00 a.m. to 10:00 p.m.) and all vacuum system operations shall occur within daytime hours only (7:00 a.m. to 10:00 p.m.), the noise impacts will be mitigated to a level of less than significant.

A Traffic study is included with this submittal and determines that with appropriate mitigation that was considered and implemented with the Wildcat West Subdivision TIS and the additional mitigation identified in this submitted report (Open the currently striped out second westbound left-turn lane on Whitney Ranch Parkway to vehicular traffic and provide a second southbound receiving lane on Cheetah Street; install a right-turn deceleration lane on eastbound Whitney Ranch Parkway at the project driveway; install a right-turn deceleration lane on eastbound Whitney Ranch Parkway at the project driveway; stripe a 50-foot southbound left-turn pocket at the mouth of the Whitney Ranch Parkway driveway; Provide a minimum of two secure bicycle parking spaces at a rack within 200 feet of entrance to the convenience store.

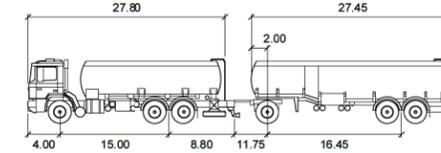
An air quality/GHG study is included with this submittal and determines that there are no impacts considered significant.



# PRELIMINARY SITE PLAN

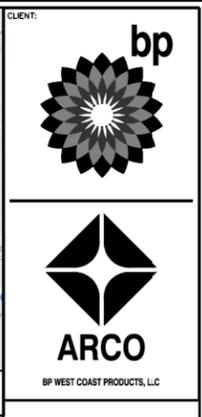
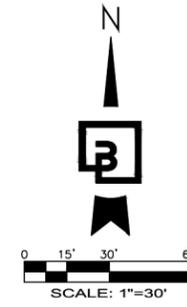
## SITE PLAN NOTES:

1. EXISTING PROPERTY LINE TO REMAIN.
2. PROPOSED C-STORE.
3. PROPOSED SOLID WASTE ENCLOSURE.
4. PROPOSED HYDRAULICALLY ISOLATED FUELING ISLAND WITH OVERHEAD CANOPY.
5. PROPOSED UNDERGROUND STORAGE TANKS.
6. PROPOSED ASPHALT PAVING.
7. PROPOSED CONCRETE PAVING.
8. PROPOSED BARRIER CURB.
9. PROPOSED CURB AND GUTTER, TYPICAL.
10. PROPOSED CONCRETE SIDEWALK, WIDTH VARIES.
11. PROPOSED ACCESSIBLE CURB RAMP, TYPICAL.
12. PROPOSED PUBLIC SIDEWALK (WIDTH PER PLAN).
13. PROPOSED LANDSCAPING AREA; REFER TO LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
14. PROPOSED ACCESSIBLE PARKING SPACE.
15. PROPOSED STANDARD PARKING STALL, TYPICAL.
16. PROPOSED LOCATION OF AIR/WATER UNIT.
17. PROPOSED CAR WASH.
18. PROPOSED OVERHEIGHT WARNING BAR.
19. PROPOSED VACUUM SPACE, TYPICAL.
20. PROPOSED DRIVEWAY.
21. PROPOSED EV STALL, TYPICAL.
22. PROPOSED ACCESSIBLE EV STALL.
23. PROPOSED VACUUM EQUIPMENT ENCLOSURE.
24. PROPOSED BOLLARD, TYPICAL.
25. PROPOSED LOT LIGHT, TYPICAL; REFER TO PHOTOMETRIC PLANS FOR ADDITIONAL INFORMATION.
26. PROPOSED VENT STACK.
27. PROPOSED EV CHARGER, TYPICAL.
28. LOCATION OF MONUMENT SIGN.
29. PROPOSED CAR WASH PAY STATION WITH ASSOCIATED PAD.
30. LOCATION OF PRICE MENU.
31. PROPOSED VALLEY GUTTER.
32. PROPOSED PAVEMENT MARKING OR STRIPING.
33. PROPOSED IRRIGATION SERVICE AND METER.
34. PROPOSED WATER MAIN.
35. PROPOSED DOMESTIC WATER METER.
36. PROPOSED DOMESTIC WATER LINE.
37. PROPOSED FIRE HYDRANT.
38. EXISTING FIRE HYDRANT.
39. PROPOSED REDUCED PRESSURE BACKFLOW PREVENTER.
40. PROPOSED STORM DRAIN STRUCTURE, TYPICAL; SEE GRADING AND DRAINAGE PLAN FOR ADDITIONAL INFORMATION.
41. PROPOSED SEWER CLEANOUT, TYPICAL.
42. PROPOSED SEWER MANHOLE.
43. PROPOSED SEWER GREASE INTERCEPTOR.
44. PROPOSED SEWER SAND/OIL INTERCEPTOR.
45. PROPOSED SEWER RECLAIM TANK.
46. PROPOSED SEWER SERVICE.
47. PROPOSED ELECTRICAL SERVICE.
48. PROPOSED COMMUNICATIONS AND DATA SERVICE.
49. PROPOSED SHADE CANOPY.
50. ACCESSIBLE PATH OF TRAVEL.
51. PROPOSED ELECTRICAL TRANSFORMER.



Arco65' feet

First Part Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.00	Steering Angle	: 35.0
First Part Track	: 7.70	Articulating Angle	: 70.0
Trailer Track	: 7.70		



## PROJECT CONTACTS:

**DEVELOPER:**  
 STRAUCH COMPANIES  
 193 BLUE RAVINE ROAD, SUITE 135  
 FOLSOM, CA 95630  
 CONTACT: MARC STRAUCH  
 EMAIL: MARC.S@STRAUCHCO.COM

**ENGINEER:**  
 BARGHAUSEN CONSULTING ENGINEERS, INC.  
 18215 72ND AVE. SOUTH  
 KENT, WA 98032  
 CONTACT: KACEY HELD P.E.  
 TEL: (425) 251-6222  
 EMAIL: KHELD@BARGHAUSEN.COM

**LANDSCAPE ARCHITECT:**  
 BARGHAUSEN CONSULTING ENGINEERS, INC.  
 18215 72ND AVE. SOUTH  
 KENT, WA 98032  
 CONTACT: JEFFREY VARLEY, R.L.A.  
 TEL: (425) 251-6222  
 EMAIL: JVARLEY@BARGHAUSEN.COM

**APPLICANT:**  
 BARGHAUSEN CONSULTING ENGINEERS, INC.  
 18215 72ND AVE. SOUTH  
 KENT, WA 98032  
 CONTACT: LESLIE BURNSIDE  
 TEL: (425) 251-6222  
 EMAIL: LBURNSIDE@BARGHAUSEN.COM

**ARCHITECT:**  
 BARGHAUSEN CONSULTING ENGINEERS, INC.  
 18215 72ND AVE. SOUTH  
 KENT, WA 98032  
 CONTACT: MARK PETERSON  
 TEL: (425) 251-6222  
 EMAIL: MPETERSON@BARGHAUSEN.COM

## PROJECT DATA

LOCATION: SWC WHITNEY RANCH PKWY AND CHEETAH ST  
 ROCKLIN, CALIFORNIA

APN: 017-171-039-000

TOTAL LOT AREA: ±68,563 S.F. (±1.57 ACRES)

ZONING: PLANNED DEVELOPMENT BUSINESS PROFESSIONAL/ COMMERCIAL (PD-C)

## BUILDING SETBACKS:

FRONT SETBACK: 0 FEET FROM STREETS OF 6 LANES OR MORE  
 STREET SIDE: 20 FEET FROM STREETS OF 4 LANES OR LESS  
 SIDE INTERIOR: 10 FEET  
 REAR SETBACK: 10 FEET

\*NO CANOPY, DISPENSER OR PARKING SETBACKS REQUIRED.  
 \*RESTAURANT BUILDINGS OR DRIVE-THROUGH SPEAKER BOXES IN THE PD-BP DISTRICT SHALL BE LOCATED NO CLOSER THAN 300 FEET TO A RESIDENTIAL PROPERTY LINE.

DRIVEWAY: MIN. 25 FEET WIDE/ MAX. 35' FEET WIDE TO SERVE TWO-WAY TRAFFIC

## LANDSCAPING:

\*MIN. OF 50% SHADING FOR ALL PARKING SPACES, MANEUVERING AREAS, DRIVEWAYS AND DRIVE AISLES.  
 \*MIN. 15 FEET WIDE LANDSCAPING STRIP IS REQUIRED ADJACENT TO A PUBLIC STREET.  
 \*MIN. 10 FEET LANDSCAPING SHALL BE PROVIDED ALONG SOUTHERLY PROJECT BOUNDARY ADJACENT TO THE FUTURE RESIDENTIAL.

STANDARD PARKING SPACE SIZE: 9'X19'  
 \*WHEEL STOPS TO BE PLACED 2 FEET FROM EDGE OF PARKING STALL.

MIN. TWO-WAY PARKING AISLE: 25 FEET WIDE

CONV. STORE: 1 SPACES PER 200 SQUARE FEET

PARKING SPACES REQUIRED: 17 SPACES  
 PARKING SPACES PROVIDED: 10 STANDARD  
 4 EV & VACUUM COMBINED SPACES  
 10 VACUUM SPACES  
 TOTAL= 24 SPACES

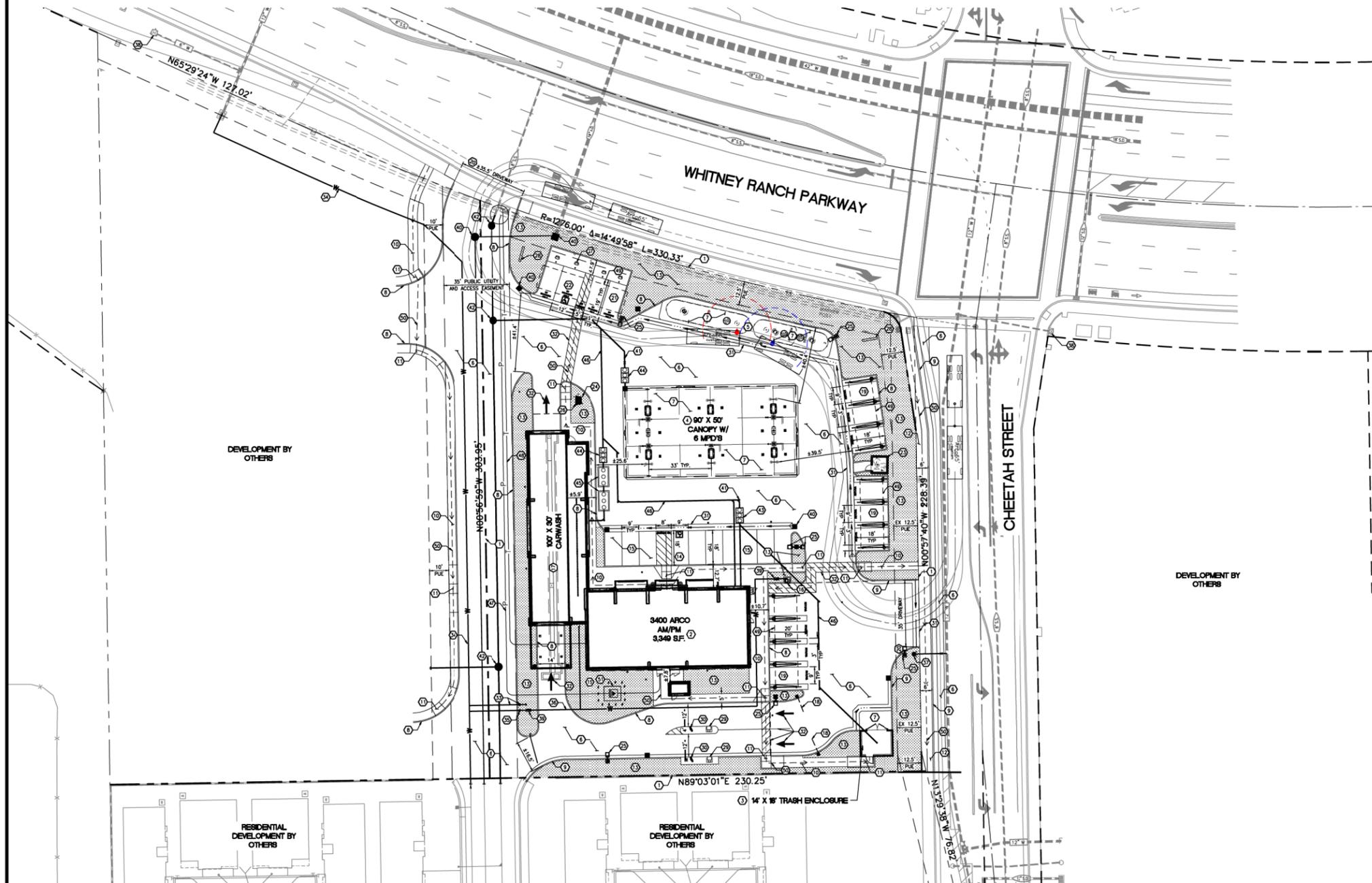
PROPOSED LOT COVERAGE:  
 LANDSCAPE AREA: 12,254 S.F. (20.1%)  
 IMPERVIOUS AREA: 48,734 S.F. (79.9%)  
 TOTAL AREA: 60,988 S.F. (100.0%)

## FLOOD ZONE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 06061C0933H, WHICH BEARS AN EFFECTIVE DATE OF NOVEMBER 2, 2018.

## UTILITY PROVIDERS:

WATER: PLACER COUNTY WATER AGENCY  
 STORM: CITY OF ROCKLIN  
 SEWER: SOUTH PLACER MUNICIPAL UTILITY DISTRICT  
 ELECTRIC/GAS: PACIFIC GAS AND ELECTRIC  
 FIRE: CITY OF ROCKLIN FIRE DEPARTMENT  
 TRASH: RECOLOGY AUBURN PLACER DISPOSAL SERVICE



**Barghausen Consulting Engineers, Inc.**  
 18215 72nd Avenue South  
 Kent, WA 98032  
 425.251.6222  
 barghausen.com

NO.	DATE	REVISION DESCRIPTION
1	1/9/23	PRE-APP SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		



DEVELOPMENT INFORMATION:  
**ARCO NTI**  
 3400 am/pm  
 FUEL CANOPY w/ 6 MPD's  
 SUPER CLEAN  
 CAR WASH

SITE ADDRESS:  
**SWC WHITNEY RANCH PKWY  
 AND CHEETAH ST  
 ROCKLIN, CALIFORNIA**

FACILITY #TBD  
 DESIGNED BY: EVS ALLIANCE ZONE:  
 CHECKED BY: KCH BP REPR:  
 DRAWN BY: NWJ ALLIANCE PM:  
 VERSION: PROJECT NO:  
 22602

DRAWING TITLE:  
**PRELIMINARY  
 SITE PLAN**

SHEET NO:  
**PSP**

# Preliminary Not For Construction

# PRELIMINARY GRADING AND DRAINAGE PLAN

## LEGEND

PROPOSED CONTOUR	---
EXISTING CONTOUR	- - -
PROPOSED RIDGE LINE	---
PROPOSED GRADING SLOPE	1.00%
SPOT ELEVATION	50.40
MATCH EXISTING ELEVATION	50.45± ME
TOP OF CONCRETE ELEVATION	50.35 TC
RIM ELEVATION	50.35 RIM
FLUSH ELEVATION	50.35 FSH
TOP OF CONCRETE/TOP OF PAVEMENT	50.85 TC 50.35 TP

## GRADING NOTES:

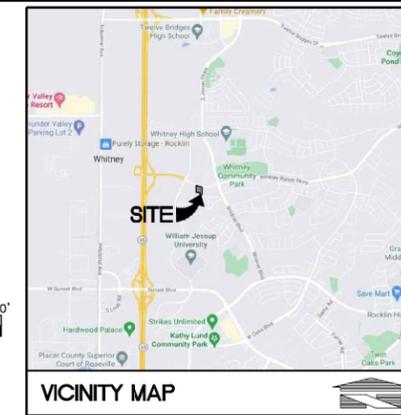
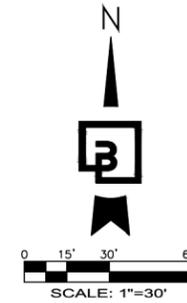
- ALL GRADING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE CURRENT COUNTY DRAINAGE AND STANDARD PLANS. THE GRADING IS SUBJECT TO THE OBSERVATION AND APPROVAL OF THE ENGINEERING DIVISION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PROPOSED GRADES IN RELATIONSHIP TO SURVEYED BASIS OF ELEVATION.
- ALL EXISTING UTILITY STRUCTURES AND ASSOCIATED LIDS THAT FALL WITHIN THE AREA OF WORK SHALL BE ADJUSTED TO FINISHED GRADE ELEVATIONS. CONTRACTOR SHALL CONFIRM THE FEASIBILITY OF ADJUSTING EXISTING UTILITY STRUCTURE LIDS TO FINISHED GRADE PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- CONTRACTOR TO PROTECT AND MAINTAIN EROSION CONTROL FACILITIES DURING GRADING OPERATIONS.
- CONTRACTOR TO OBTAIN ANY NECESSARY RIGHT-OF-WAY PERMITS IF REQUIRED FOR WORK SHOWN ON PLANS.
- CONTRACTOR SHALL MATCH EXISTING ELEVATIONS AT ALL SAWCUT LOCATIONS.

## EARTHWORK:

CUT VOLUME: 34 CUBIC YARDS  
 FILL VOLUME: 3,870 CUBIC YARDS  
 NET VOLUME: 3,836 CUBIC YARDS (FILL)

STANDARD ELEVATION: 130.64  
 TRUNCATED ELEVATION: 30.64

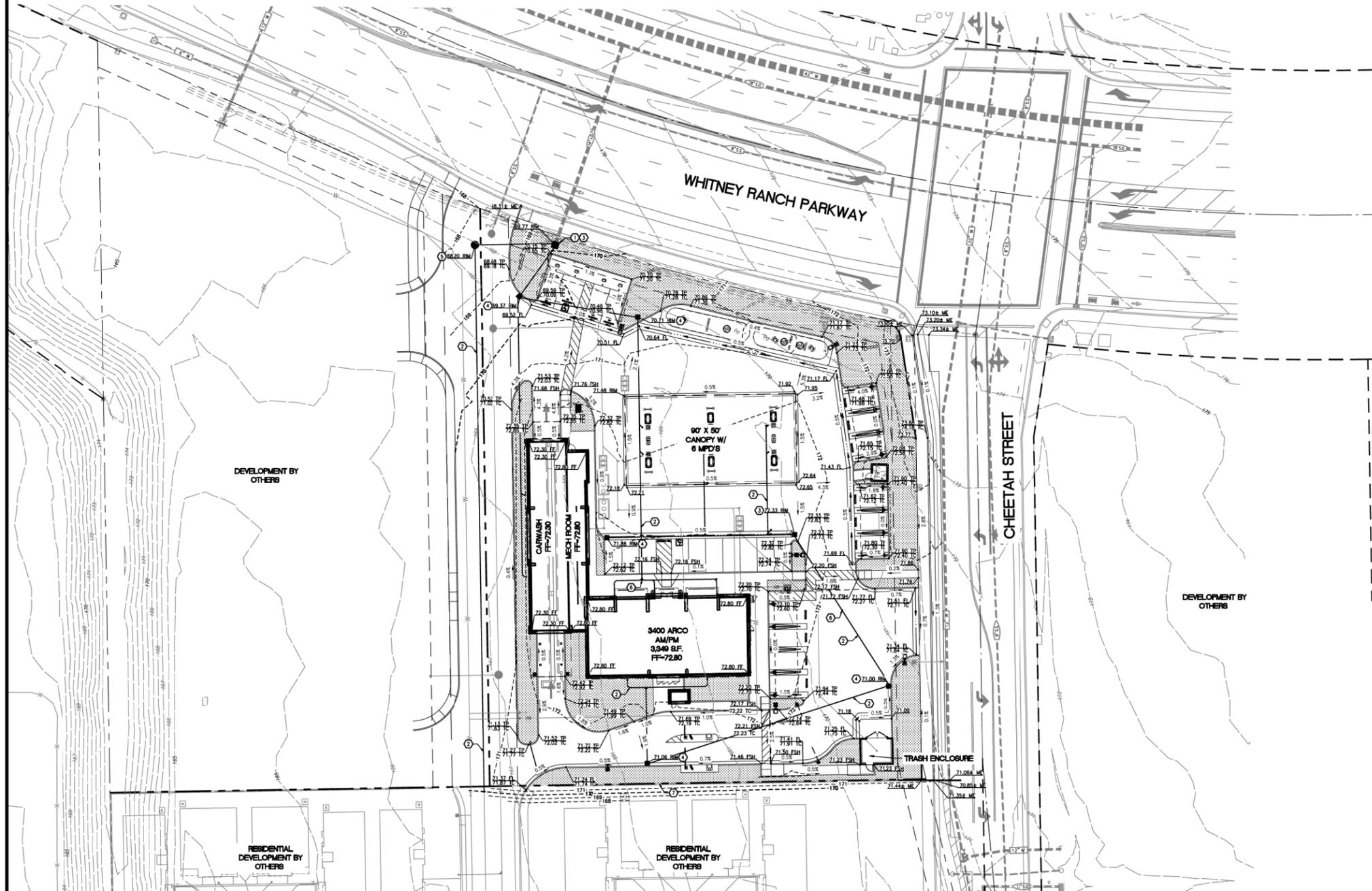
FF - FINISHED FLOOR  
 FL - FLOWLINE  
 FSH - FLUSH CURB  
 TC - TOP OF CURB/SIDEWALK  
 TP - TOP OF PAVING  
 ME - MATCH EXISTING



CLIENT:




BP WEST COAST PRODUCTS, L.C.



## GRADING AND DRAINAGE NOTES:

- PROPOSED STORM DRAIN CONNECTION TO EXISTING STUB.
- PROPOSED STORM DRAIN MAIN, TYPICAL.
- PROPOSED STORM DRAIN JUNCTION BOX.
- PROPOSED STORM DRAIN CATCH BASIN.
- PROPOSED STORM DRAIN MANHOLE.
- PROPOSED STORM DRAIN CLEANOUT, TYPICAL.
- FUTURE RETAINING WALL BY OTHERS.



**Barghausen Consulting Engineers, Inc.**  
 18215 72nd Avenue South  
 Kent, WA 98032  
 425.251.6222  
 barghausen.com

NO.	DATE	REVISION DESCRIPTION
1	1/9/23	PRE-APP SUBMITTAL
2		
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8		
9		
10		



DEVELOPMENT INFORMATION:

**ARCO NTI**  
 3400 am/pm  
 FUEL CANOPY w/ 6 MPD's  
 SUPER CLEAN  
 CAR WASH

SITE ADDRESS:  
**SWC WHITNEY RANCH PKWY  
 AND CHEETAH ST  
 ROCKLIN, CALIFORNIA**

FACILITY #TBD

DESIGNED BY: EVS	ALLIANCE ZONE:
CHECKED BY: KCH	BP REF: PM
DRAWN BY: NW	ALLIANCE PM:
VERSION:	PROJECT NO: 22602

DRAWING TITLE:  
**PRELIMINARY  
 GRADING & DRAINAGE  
 PLAN**

SHEET NO:

# Preliminary Not For Construction

**PGM**

**LEGEND**

- FOUND 3/4" IRON PIN (NO TAG OR CAP)
- FOUND 3/4" IRON PIPE WITH ALUMINUM CAP STAMPED "LS 8752"
- FOUND 2"-1/2" BRASS DISC STAMPED "LS 8752" IN MONUMENT WELL
- DRAIN MANHOLE
- DRAIN INLET
- SEWER MANHOLE
- COMMUNICATIONS BOX
- PVC UTILITY RISER
- FIRE HYDRANT
- WATER VALVE
- WATER BOX
- SIGN POST
- STREET LIGHT POLE
- STREET LIGHT BOX
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGNAL BOX
- R.P.C. OFFICIAL RECORDS OF PLACER COUNTY
- APPROXIMATE UNDERGROUND SANITARY SEWER LINE
- APPROXIMATE UNDERGROUND STORM DRAIN LINE
- APPROXIMATE UNDERGROUND WATER LINE
- APPROXIMATE UNDERGROUND COMMUNICATIONS LINE FROM MARKERS
- APPROXIMATE UNDERGROUND ELECTRICAL LINE FROM MARKERS
- APPROXIMATE UNDERGROUND GAS LINE FROM MARKERS

**NOTES:**

**ADDRESS:** WHITNEY RANCH PARKWAY, ROCKLIN, CA (VICANT SITE - NO STREET NUMBER ASSIGNED)

**FLOOD ZONES:** ZONE X AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAN PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, MAP NO. 0606109J334, DATED NOVEMBER 2, 2016.

**CERTIFICATION:** THIS IS TO CERTIFY THAT THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND REPRESENTS A TRUE AND ACCURATE SURVEY OF THE PROPERTY SHOWN HEREON.

*John E. Tseng*  
DATE OF MAP: DECEMBER 27, 2022

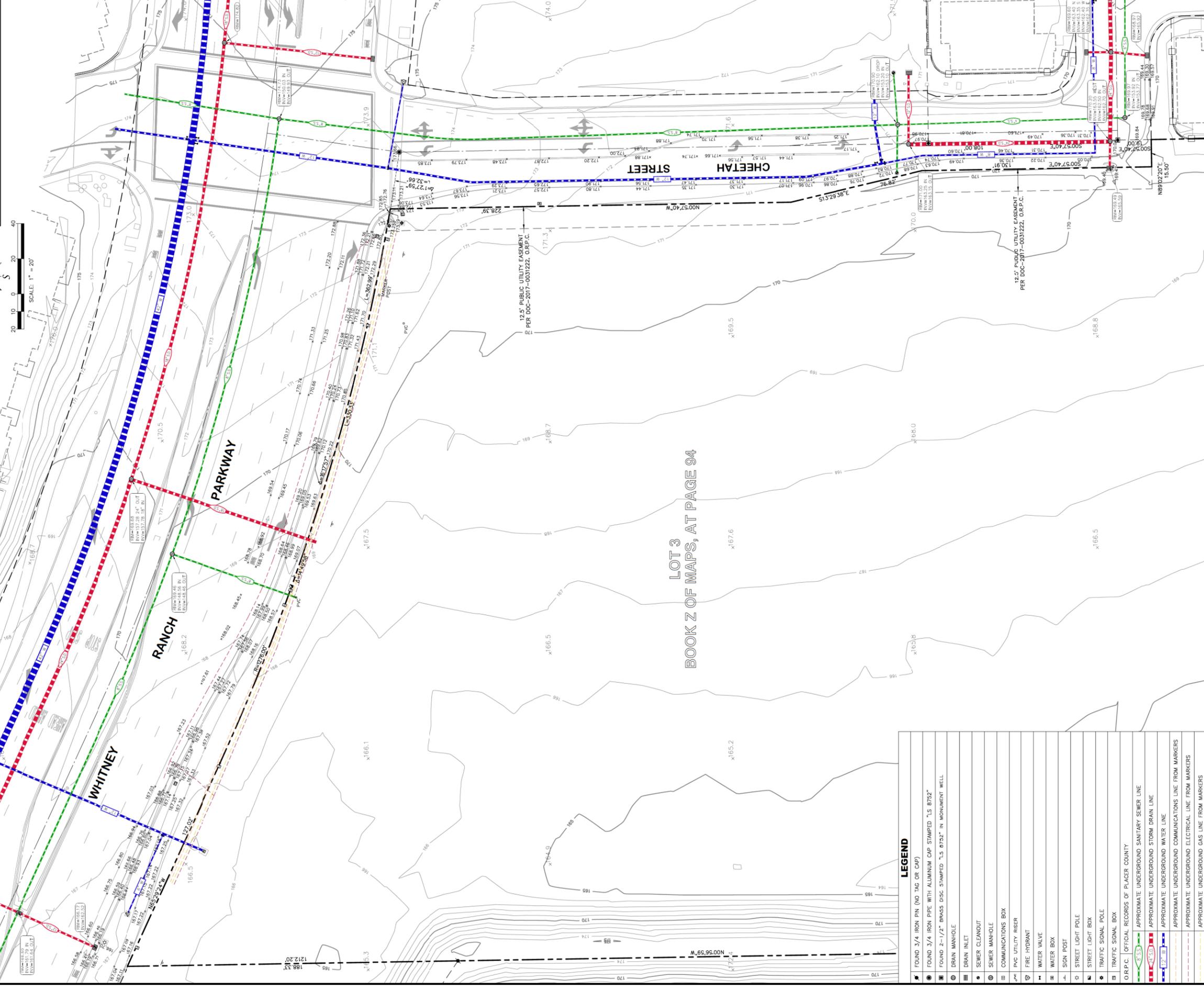
**BOUNDARY & TOPOGRAPHIC SURVEY**  
**LOT 3, "WHITNEY RANCH LARGE LOT**  
**SUBDIVISION", BOOK Z OF MAPS, AT PAGE 94**  
**CITY OF ROCKLIN, COUNTY OF PLACER,**  
**STATE OF CALIFORNIA**

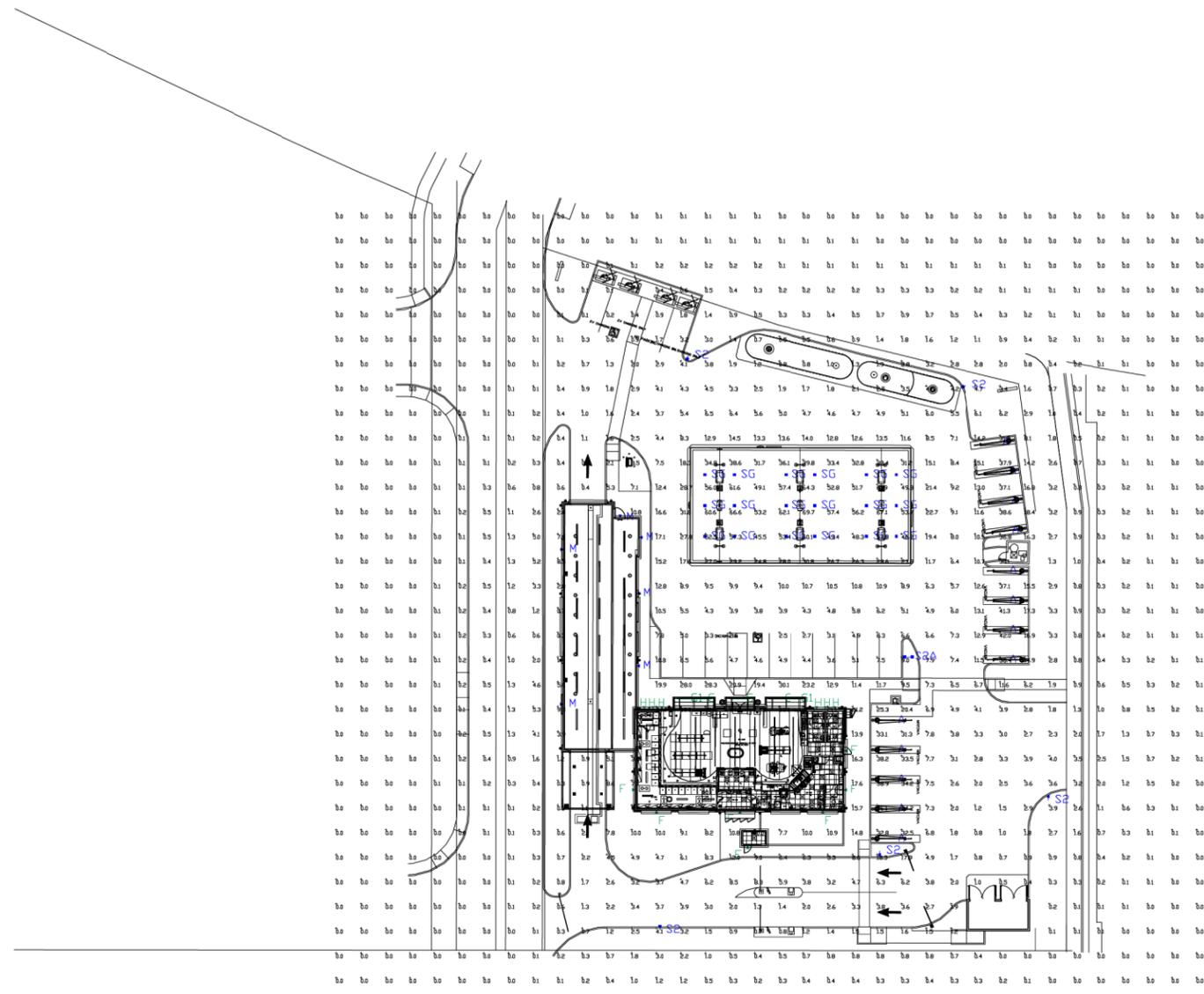
Scale: 1" = 20'  
 Date: DECEMBER 2022  
 P:\Projects\336-001\02 DWG-A - SurveyMASTER\336-001-1090.dwg, 12-27-22  
 Job #36-001

**TSD ENGINEERING, INC.**  
 expect more.  
 785 Orchard Drive, Suite 110  
 Folsom, CA 95630  
 Phone: (916) 980-0707  
 Fax: (916) 980-0707  
 Email: jkiamm@tsdeng.com

Professional Engineer  
 State of California  
 No. 51363  
 Exp. 12/31/2023

Scale: 1" = 20'  
 North Arrow





Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	Mounting Height	LLD	LLF	Arr. Lum. Lumens	Arr. Watts
	13	A	SINGLE	WPX6-HD-50K FIXTURE BY OTHER	10'	1.000	1.000	9100	0
	7	F	SINGLE	XWM-3-LED-06L-50	10'	1.000	1.000	6689	47
	3	G	SINGLE	3RWM-8-LED-13-LF-50	10'	1.000	1.000	10568	96.06
	2	G1	SINGLE	3RWM-6-LED-13-LF-50	10'	1.000	1.000	7925	72.045
	6	H	SINGLE	XWM-2-LED-03L-50	10'	1.000	1.000	3313	23
	6	M	SINGLE	XWM-FT-LED-06L-50	10'	1.000	1.000	6557	47
	5	S2	SINGLE	SLM-LED-09L-SIL-FT-50-70CRI-SINGLE	16'PJLE+2'BASE	1.000	1.000	9657	63
	1	S2A	D180	SLM-LED-09L-SIL-FT-50-70CRI-D180	16'PJLE+2'BASE	1.000	1.000	19314	126
	18	SG	SINGLE	SCV-LED-15L-SC-50	15'	1.000	1.000	14963	102

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Mir
ALL CALC PCINTS	Illuminance	Fc	5.16	69.7	0.0	N.A.	N.A.
BLDG SIDE VACUUM	Illuminance	Fc	32.54	38.9	20.4	1.60	1.91
CANOPY	Illuminance	Fc	46.33	69.7	23.8	1.95	2.93
INSIDE CURB	Illuminance	Fc	5.51	31.8	0.1	55.10	318.00
STREET SIDE VACUUM	Illuminance	Fc	29.09	42.0	14.9	1.95	2.82

PHOTOMETRIC EVALUATION  
NOT FOR CONSTRUCTION

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Total Project Watts  
Total Watts = 345827



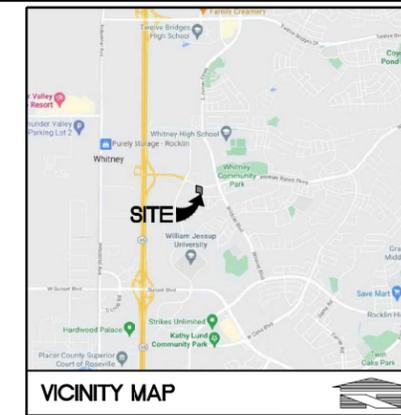
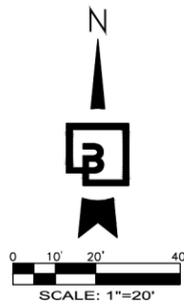
LIGHTING PROPOSAL LO-157779

ARC  
WHITNEY RANCH PKWY & CHEETAH ST  
ROCKLIN, CA

DATE: 03-20-23 REV: SHEET 1 OF 1

SCALE: 1"=30' 0 30

# PRELIMINARY LANDSCAPE PLAN



CLIENT:




BP WEST COAST PRODUCTS, LLC

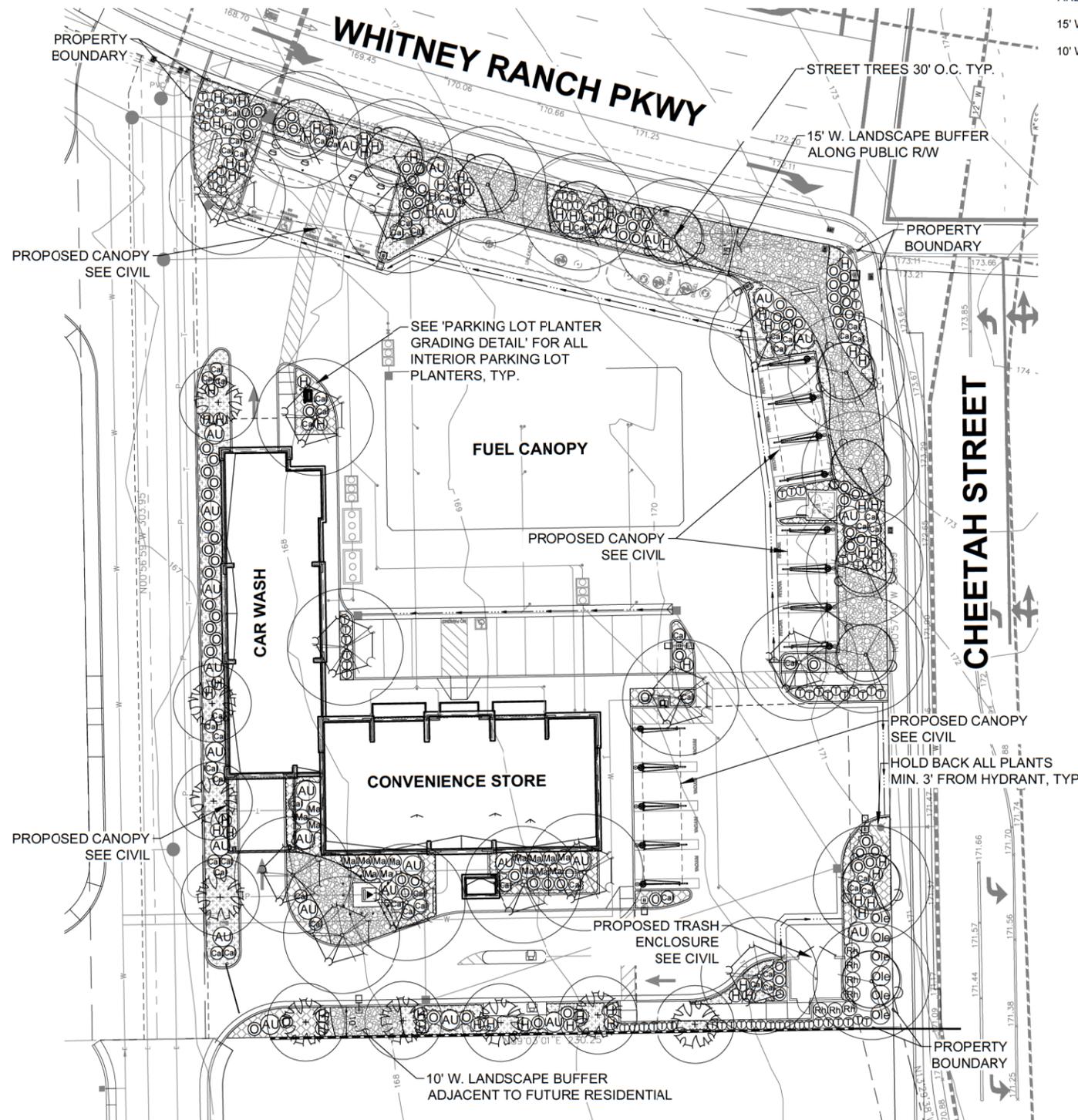
## LANDSCAPING REQUIREMENTS

MIN. 50% SHADING FOR ALL PARKING SPACES, MANEUVERING AREAS, DRIVEWAYS AND DRIVE AISLES  
 AREA OF PARKING SPACES, MANEUVERING AREAS, DRIVEWAYS AND DRIVE AISLES, MINUS CANOPY AREAS = 22,589 SF

AREA OF MATURE TREE CANOPY SHADING = 11,314 SF (50%)

15' W. LANDSCAPE BUFFER REQUIRED ALONG PUBLIC R/W

10' W. LANDSCAPE BUFFER REQUIRED ALONG SOUTH LOT LINE ADJACENT TO FUTURE RESIDENTIAL



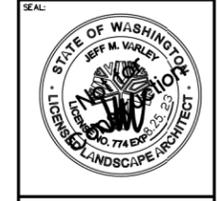
## PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT.	SIZE	WATER USE
	11	GINKGO BILOBA 'AUTUMN GOLD' / MAIDENHAIR TREE NURSERY GROWN FOR STREET TREE USE, BRANCHING AT 5'. STAKE AND GUY ONE GROWING SEASON.	B & B	24" BOX	LOW
	9	LAURUS NOBILIS / SWEET BAY NURSERY GROWN FOR STREET TREE USE, BRANCHING AT 5'. STAKE AND GUY ONE GROWING SEASON.	B & B	24" BOX	LOW
	13	PISTACIA CHINENSIS 'KEITH DAVEY' / CHINESE PISTACHE NURSERY GROWN FOR STREET TREE USE, BRANCHING AT 5'. STAKE AND GUY ONE GROWING SEASON.	B & B	24" BOX	LOW
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT.	WATER USE	
	26	ARBUTUS UNEDO 'COMPACTA' / DWARF STRAWBERRY TREE	5 GAL.	LOW	
	62	CALLISTEMON VIMINALIS 'LITTLE JOHN' / DWARF BOTTLEBRUSH	5 GAL.	LOW	
	64	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL.	LOW	
	16	MAHONIA PINNATA / CALIFORNIA HOLLY GRAPE	5 GAL.	LOW	
	83	NERIUM OLEANDER 'PETITE PINK' / PETITE PINK OLEANDER	5 GAL.	LOW	
	6	OLEA EUROPAEA 'MONTRA' / LITTLE OLLIE OLIVE	5 GAL.	VERY LOW	
	7	RHAPHIOLEPIS UMBELLATA 'RUTRHAPHI' / SOUTHERN MOON YEDDA HAWTHORN	5 GAL.	LOW	
	71	TEUCRIUM X LUCIDRYS / HEDGE GERMANDER	5 GAL.	LOW	
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT.	WATER USE	SPACING
	358	APTENIA CORDIFOLIA 'RED APPLE' / BABY SUNROSE	1 GAL.	LOW	24" o.c.
	538	DYMONDIA MARGARETAE / SILVER CARPET DYMONDIA	1 GAL.	LOW	24" o.c.
		ROCK MULCH 3"-4" DEPTH OF 3/4" SONOMA GOLD CRUSHED ROCK, OVER WEED BARRIER FABRIC, OVERLAP ENDS AND SIDES OF FABRIC MINIMUM 6". METAL STAPLES 48" ON-CENTER, OR APPROVED EQUAL STONE MULCH. INSTALL IN DESIGNATED AREAS SHOWN ON THE PLANS; PROVIDE 100% COVERAGE. (SEE LANDSCAPE NOTES FOR BOTH ROCK MULCH AND BARK MULCH SPECIFICATIONS)	2,987 SF		



**Barghausen Consulting Engineers, Inc.**  
 18215 72nd Avenue South  
 Kent, WA 98032  
 425.251.6222  
 barghausen.com

NO.	DATE	REVISION DESCRIPTION
1	3/30/23	
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DEVELOPMENT INFORMATION:  
**ARCO NTI**  
 3400 am/pm  
**FUEL CANOPY w/ 6 MPD's  
 SUPER CLEAN  
 CAR WASH**

SITE ADDRESS:  
**SWC WHITNEY RANCH PKWY  
 AND CHEETAH ST  
 ROCKLIN, CALIFORNIA**

FACILITY #TBD  
 DESIGNED BY: TCR ALLIANCE ZONA  
 CHECKED BY: JMV BP REPM  
 DRAWN BY: TCR ALLIANCE PM  
 VERSION: PROJECT NO:  
 22602

DRAWING TITLE:  
**PRELIMINARY  
 LANDSCAPE PLAN**

SHEET NO:  
**L1**

# Preliminary Not For Construction

**LANDSCAPE PLANTING NOTES AND MATERIALS**

**SCOPE OF WORK**

FURNISH ALL MATERIALS, LABOR, EQUIPMENT AND RELATED ITEMS NECESSARY TO ACCOMPLISH TOPSOIL PREPARATION AND PREPARATION OF SOIL, FINISH GRADING, PLACEMENT OF SPECIFIED PLANT MATERIALS, FERTILIZER, STAKING, MULCH, CLEAN-UP, DEBRIS REMOVAL, AND 30-DAY MAINTENANCE.

**QUALIFICATIONS:**  
LANDSCAPE CONTRACTOR TO BE SKILLED AND KNOWLEDGEABLE IN THE FIELD OF WORK AND HAVE A MINIMUM OF FIVE (5) YEAR'S EXPERIENCE INSTALLING SIMILAR WORK. CONTRACTOR TO BE LICENSED TO PERFORM THE WORK SPECIFIED WITHIN THE PRESIDING JURISDICTION.

**JOB CONDITIONS:**  
IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE SITE AND REPORT ANY DISCREPANCIES TO THE OWNER OR THE OWNER'S REPRESENTATIVES. ALL PLANT MATERIAL AND FINISH GRADES ARE SUBJECT TO APPROVAL BY THE OWNER.

**PROTECTION:**  
SAVE AND PROTECT ALL EXISTING PLANTINGS SHOWN TO REMAIN. DO NOT PLANT UNTIL OTHER CONSTRUCTION OPERATIONS WHICH CONFLICT HAVE BEEN COMPLETED. IF AN IRRIGATION SYSTEM IS TO BE INSTALLED DO NOT PLANT UNTIL THE SYSTEM HAS BEEN INSTALLED, TESTED, AND APPROVED BY THE OWNER. HANDLE PLANTS WITH CARE - DO NOT DAMAGE OR BREAK ROOT SYSTEM, BARK, OR BRANCHES. REPAIR AND/OR REPLACE ITEMS DAMAGED AS A RESULT OF WORK, OR WORK NOT IN COMPLIANCE WITH PLANS AND SPECIFICATIONS, AS DIRECTED BY OWNER AT NO ADDITIONAL COST TO THE OWNER.

**REPAIR OF EXISTING PLANTINGS:**  
DURING THE COURSE OF WORK, REPAIR ALL EXISTING PLANTING AREAS BY PRUNING DEAD GROWTH, RE-ESTABLISHING FINISH GRADE AND RE-MULCHING TO SPECIFIED DEPTH.

**GUARANTEE:**  
GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE OF THE JOB BY OWNER.

**30-DAY MAINTENANCE:**  
CONTRACTOR TO PROVIDE OWNER WITH A SCOPE OF WORK AT TIME OF INITIAL PROJECT BID TO PROVIDE LANDSCAPE AND IRRIGATION MAINTENANCE FOR 30 DAYS FOLLOWING STORE OPENING. WORK TO INCLUDE MAINTENANCE AS DESCRIBED BELOW, IN PLANTING AND IRRIGATION MAINTENANCE.

**SUBMITTALS:**  
SUBMIT THE FOLLOWING TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE START OF ANY WORK:

- A) DOCUMENTATION THAT ALL PLANT MATERIAL HAS BEEN ORDERED.
- B) TOPSOIL ANALYSIS AND RECOMMENDED AMENDMENTS.
- C) TREE STAKING AND GUYING MATERIALS.
- D) ONE (1) QUART SIZE OF TOPSOIL AND MULCH.
- E) PLANTING SCHEDULE INCLUDING DATES AND TIMES.
- F) MAINTENANCE INSTRUCTIONS FOR ONE (1) FULL YEAR.

**MATERIALS:**

**PLANT MATERIALS:**  
PLANT MATERIALS TO BE GRADE NO. 1, SIZED IN ACCORDANCE WITH (ANN) AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z601-2004). PRUNE PLANTS RECEIVED FROM THE NURSERY ONLY UPON AUTHORIZATION BY THE LANDSCAPE ARCHITECT. "B & B" INDICATES BALLED AND BURLAPPED; "CONT." INDICATES CONTAINER; "BR" INDICATES BARE ROOT; "CAL" INDICATES CALIPER AT 6" ABOVE SOIL LINE; "GAL" INDICATES GALLON.

- A) SPECIFIED PLANT CANOPY SIZE OR CALIPER IS THE MINIMUM ACCEPTABLE CONTAINER OR BALL SIZE AND ESTABLISHES MINIMUM PLANT CONDITION TO BE PROVIDED.
- B) **QUALITY:**  
PLANT MATERIAL TO COMPLY WITH STATE AND FEDERAL LAWS FOR DISEASE INSPECTION, PLANTS TO BE FULLY LIVE, VIGOROUS, WELL FORMED, WITH WELL DEVELOPED FIBROUS ROOT SYSTEMS. ROOT BALLS OF PLANTS TO BE SOLID AND FIRMLY HELD TOGETHER, SECURELY CONTAINED AND PROTECTED FROM INJURY AND DESICCATION. PLANTS DETERMINED BY LANDSCAPE ARCHITECT TO HAVE BEEN DAMAGED, HAVE DEFORMITIES OF STEM, BRANCHES, OR ROOTS; LACK SYMMETRY, HAVE MULTIPLE LEADERS OR "Y" CROTCHES LESS THAN 30 DEGREES IN TREES, OR DO NOT MEET SIZE OR ANSI STANDARDS WILL BE REJECTED. PLANT MATERIAL TO BE FROM A SINGLE NURSERY SOURCE FOR EACH SPECIFIED SPECIES/HYBRID. NURSERY SOURCES TO BE THOSE LOCATED IN THE SAME REGION AS THE JOB SITE.
- C) **SUBSTITUTION:**  
NO SUBSTITUTION OF PLANT MATERIAL, SPECIES OR VARIETY, WILL BE PERMITTED UNLESS WRITTEN EVIDENCE IS SUBMITTED TO THE OWNER FROM TWO QUALIFIED PLANT BROKERAGE OFFICES. SUBSTITUTIONS WHICH ARE PERMITTED TO BE IN WRITING FROM THE OWNER AND LANDSCAPE ARCHITECT. THE SPECIFIED SIZE, SPECIES AND NEAREST VARIETY, AS APPROVED, TO BE FURNISHED. SUBSTITUTIONS MAY REQUIRE SUBMITTAL TO REVISED LANDSCAPE PLAN TO CITY FOR APPROVAL.
- D) LABEL AT LEAST ONE (1) TREE, SHRUB, AND GROUNDCOVER OF EACH VARIETY WITH A SECURELY ATTACHED WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAMES.
- E) DELIVER PLANT MATERIAL AFTER PREPARATION OF PLANTING AREAS HAVE BEEN COMPLETED AND PLANT IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN SIX (6) HOURS AFTER DELIVERY, SET MATERIAL IN SHADE, PROTECT FOR WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOT BALLS MOIST BY COVERING WITH MULCH, BURLAP OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.

**SOIL PREPARATION:**  
TOPSOIL, AMENDMENT, AND BACKFILL, ARE GENERAL REQUIREMENTS FOR ALL LANDSCAPE AREAS, UNLESS NOTED OTHERWISE ON THE PLANS. SOIL AMENDMENTS AND FERTILIZER NOTED BELOW ARE TO BE USED FOR BID PRICE BASIS ONLY. SPECIFIC AMENDMENTS AND FERTILIZERS WILL BE MADE AFTER SOIL SAMPLES ARE LABORATORY TESTED BY THE CONTRACTOR. PROVIDE CHANGE ORDER FOR ADDITIONAL OR REDUCTION OF MATERIALS REQUIRED OR NOT REQUIRED BY THE SOILS REPORT.

**SOIL FERTILITY AND AGRICULTURAL SUITABILITY ANALYSIS:**  
AFTER ROUGH GRADING AND PRIOR TO SOIL PREPARATION, CONTRACTOR TO OBTAIN TWO REPRESENTATIVE SOIL SAMPLES, FROM LOCATIONS AS DIRECTED BY THE LANDSCAPE ARCHITECT, TO A SOIL TESTING LABORATORY. SUBMIT RESULTS TO LANDSCAPE ARCHITECT FOR REVIEW. TESTS TO INCLUDE FERTILITY AND SUITABILITY ANALYSIS WITH WRITTEN RECOMMENDATIONS FOR SOIL AMENDMENT, FERTILIZER, CONDITIONERS, APPLICATION RATES, AND POST-CONSTRUCTION MAINTENANCE PROGRAM. TESTS TO BE CONTRACTED WITH AND PAID FOR BY THE CONTRACTOR.

- A) **TOPSOIL:**  
CONTRACTOR IS RESPONSIBLE FOR SUPPLYING ALL TOPSOIL AND FOR DETERMINING THE VOLUME OF TOPSOIL REQUIRED PER THE INFORMATION ON PLANS AND NOTED HERE-IN. CONTRACTOR IS RESPONSIBLE FOR ANY NECESSARY WED CONTROL RESULTING FROM CONTAMINATED OFF SITE SOURCES.
- B) TOPSOIL TO CONSIST OF 1/3 BY VOLUME SANDY LOAM, 1/3 BY VOLUME COMPOSTED GARDEN MULCH, AND 1/3 BY VOLUME COARSE WASHED SAND OR EQUIVALENT.

- C) **TOPSOIL PREPARATION AND INSTALLATION:**
  1. VERIFY SUBGRADES TO 4 INCHES IN LANDSCAPE AREAS OR 6 INCHES IN DRIVEWAYS. THIS ACCOMMODATES TOPSOIL AMENDMENTS, AND MULCH. 6" MINIMUM TO BE FOR LANDSCAPE BEDS.
  2. ERADICATE ANY SURFACE VEGETATION ROOTED IN THE SUB-GRADE PRIOR TO SUB-GRADE PREPARATION.
  3. REMOVE SOIL LUMPS, ROCK, VEGETATION AND/OR DEBRIS LARGER THAN 2 INCHES FROM ALL SUB-GRADE PRIOR TO PLACEMENT OF SPECIFIED TOPSOIL.
  4. REMOVE ANY ASPHALT EXTENDING BEYOND 6 INCHES FROM CURBS INTO ADJACENT LANDSCAPE AREAS.

- D) **TOPSOIL PLACEMENT:**
  1. PROVIDE A TOTAL FINISH COURSE OF 4 INCHES OF TOPSOIL FOR LANDSCAPE AREAS.
  2. PLACE ADDITIONAL TOPSOIL AND SOIL MIX AS REQUIRED TO MEET FINISH ELEVATIONS.

**MULCH (TOPDRESSING):**  
ONE-HALF-INCH (1/2") SIZE, TO ONE-QUARTER (1/4"), HEMLOCK/FIR BARK. FINE TEXTURED AND DARK BROWN IN COLOR.

**STAKES:**  
2-INCH DIAMETER BY 8-FOOT MINIMUM LODGEPOLE PINE STAKES.

**GUY MATERIAL:**  
1-INCH WIDE POLYETHYLENE CHAIN LOCK TYPE TIES; OR, 3/8" DIAMETER RUBBER. NO WIRE.

**EXECUTION:**

**CONTAMINANTS:**  
VERIFY THAT ALL SOIL CONTAMINANTS (E.G., PAINT, SEALANTS, SOLVENTS, OILS, GREASES, CONCRETE/ASPHALT SPOILS, ETC.) HAVE BEEN SATISFACTORY REMOVED FROM ALL PLANTING AREAS. DO NOT BEGIN WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.

**FINISH GRADES:**  
FINE GRADE AND REMOVE ROCKS, DEBRIS, AND FOREIGN OBJECTS OVER 2 INCHES DIAMETER FROM TOP SURFACE OF PREPARED LANDSCAPE AREAS. FINISH ELEVATIONS TO BE DEFINED AS 3 INCHES BELOW CURBS, WALKS AND/OR OTHER ADJACENT HARDSCAPE FOR ALL PLANTING BED AREAS AND 1-INCH BELOW CURBS, WALKS AND/OR OTHER ADJACENT HARDSCAPE FOR ALL LAWN AREAS. FINISH GRADE REFER TO GRADES PRIOR TO INSTALLATION OF MULCH OR LAWN. ALL FINISH GRADES TO BE SMOOTH EVEN GRADES, LIGHTLY COMPACTED, AS SHOWN ON THE PLAN AND DETAILED. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES. SITE CIVIL DRAWINGS IDENTIFY FINAL ELEVATIONS. MOISTEN PREPARED AREAS BEFORE PLANTING IF SOIL IS DRY. WATER THOROUGHLY AND ALLOW SURFACE TO DRY BEFORE PLANTING. DO NOT CREATE MUDDY SOIL.

**TREES AND SHRUBS:**  
ARRANGE TREES AND SHRUBS ON SITE IN PROPOSED LOCATIONS PER DRAWINGS. EXCAVATE PIT, PLANT AND STAKE OR GUY, AS CALLED OUT AND DETAILED. ALL TREES, SHRUBS, AND SUPPORTS TO STAND VERTICAL. BACKFILL SHALL BE PIT SPOILS. SETTLE BACKFILL USING WATER ONLY. NO MECHANICAL COMPACTION.

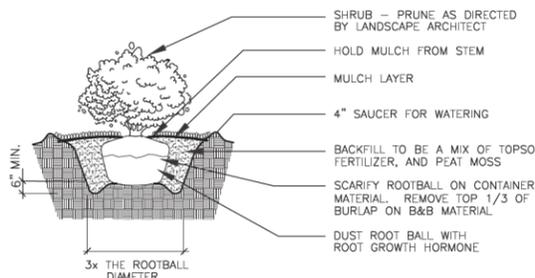
**GROUNDCOVERS:**  
EXCAVATE PITS TO A MINIMUM OF 3 INCHES BELOW, AND TWICE THE ROOT BALL DIAMETER. WATER THOROUGHLY AND TAKE CARE TO ENSURE THAT ROOT CROWN IS AT PROPER GRADE, AS DETAILED.

**MULCH:**  
MULCH ALL LANDSCAPE AREAS. MATCH DEPTH OF EXISTING MULCH. AT A MINIMUM, APPLY SUFFICIENT QUANTITY TO PROVIDE A 4-INCH DEPTH.

**UTILITY CLEARANCES:**  
FIELD ADJUST PLANT LOCATIONS FOR 8-FOOT SEPARATION OF TREES/SHRUBS AND 2-FOOT SEPARATION FOR GROUNDCOVER FROM FIRE HYDRANTS AND UTILITY VAULTS.

**CLEANUP AND PROTECTION:**  
DURING LANDSCAPE WORK, KEEP ALL PAVEMENT CLEAN AND WORK AREAS IN AN ORDERLY CONDITION. PROTECT LANDSCAPE WORK AND MATERIALS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS AND TRESPASSERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIOD. TREAT, REPAIR, OR REPLACE DAMAGE LANDSCAPE WORK AS DIRECTED BY THE OWNER.

**PLANTING MAINTENANCE:**  
PROVIDE FULL MAINTENANCE BY SKILLED EMPLOYEES OF LANDSCAPE INSTALLERS. CONTRACTOR TO MAINTAIN PLANTINGS THROUGH COMPLETED INSTALLATION, AND UNTIL ACCEPTANCE OF LANDSCAPE INSTALLATION. PLANTING MAINTENANCE TO INCLUDE WATERING, WEEDING, CULTIVATING, TIGHTENING AND REPAIRING OF TREE GUYS, RESETTling PLANTS TO PROPER GRADES OR POSITION, RE-ESTABLISHING SETTLED GRADES; AND MOWING LAWNS WEEKLY AFTER LAWN ESTABLISHMENT. HERBICIDE IS NOT RECOMMENDED FOR ONE YEAR FOLLOWING LANDSCAPE INSTALLATION. INCLUDED IS REPLACEMENT OF DEAD PLANTS AND PLANTS SHOWING LOSS OF 40 PERCENT OR MORE OF CANOPY.

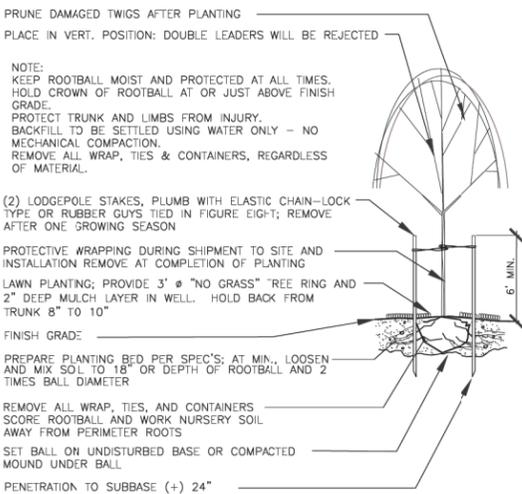


**NOTE:**  
APPLY ADDITIONAL 4 OZ. 8-32-16 FERTILIZER INTO TOP 2" OF PLANTING MIX.  
PLANT SHRUB HIGH ENOUGH TO ALLOW POSITIVE DRAINAGE AWAY FROM ROOTBALL. ROUGHEN ALL SURFACES OF PIT.  
CUT AND REMOVE BURLAP FROM ROOT BALL

**SHRUB PLANTING DETAIL**

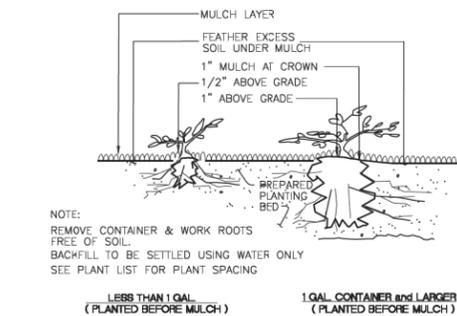
NOT TO SCALE

**LANDSCAPE NOTES AND DETAILS**



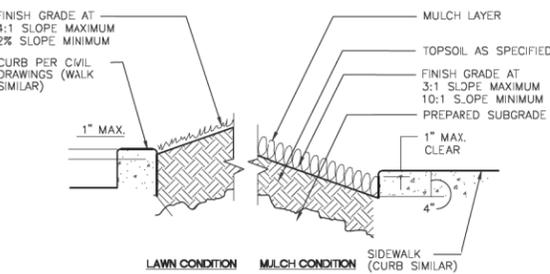
**DECIDUOUS TREE PLANTING/STAKING DETAIL**

NOT TO SCALE



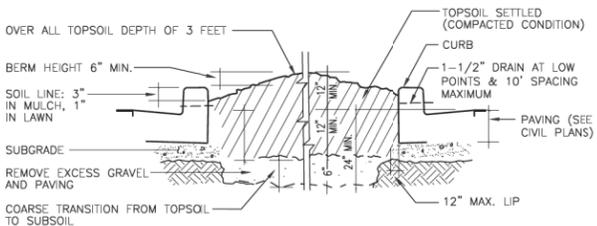
**GROUNDCOVER PLANTING DETAIL**

NOT TO SCALE



**PLANTER SECTION DETAIL**

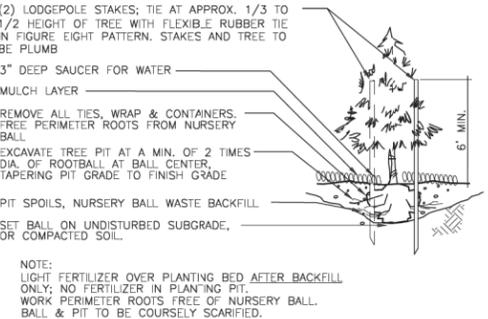
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**PARKING LOT PLANTER GRADING DETAIL**

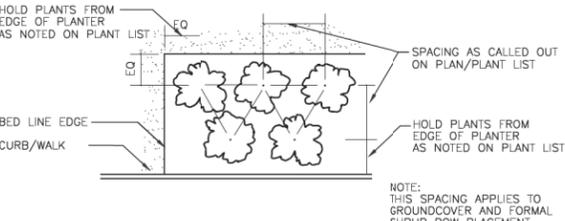
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**DEDUCT ALT #1:** IF LANDSCAPE CONTRACTOR CAN DEMONSTRATE THAT PLANTER ISLANDS ARE NOT FULL OF NON-SOIL MATERIALS (CONCRETE WASTE, LUMBER, ROAD BASE, GRAVEL), FULL EXCAVATION AND REPLACE WITH 18"-21" OF TOPSOIL CAN BE ELIMINATED AND IN ITS PLACE, 6" OF COMPOST CAN BE PLACED ON SUB-GRADE AND CULTIVATED INTO TOP 12" OF EXISTING SOIL. TOP OF FINISH GRADE AND DEPTH OF MULCH STILL APPLIES



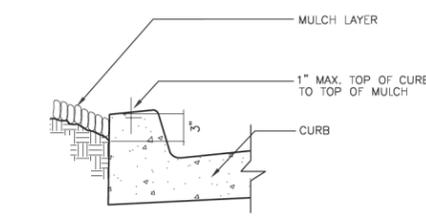
**EVERGREEN TREE PLANTING/STAKING DETAIL**

NOT TO SCALE



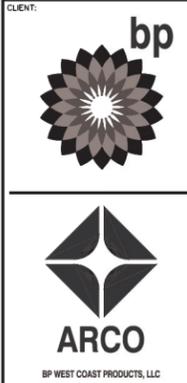
**PLANT MATERIAL SPACING DETAIL**

NOT TO SCALE



**MULCH AT CURB DETAIL**

NOT TO SCALE



**Barchausen Consulting Engineers, Inc.**  
18215 72nd Avenue South  
Kent, WA 98032  
425.251.6222  
barchausen.com

NO.	DATE	REVISION DESCRIPTION
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**DEVELOPMENT INFORMATION:**  
**ARCO NTI**  
3400 am/pm  
FUEL CANOPY w/ 6 MPD's  
SUPER CLEAN  
CAR WASH

**SITE ADDRESS:**  
SWC WHITNEY RANCH PKWY  
AND CHEETAH ST  
ROCKLIN, CALIFORNIA

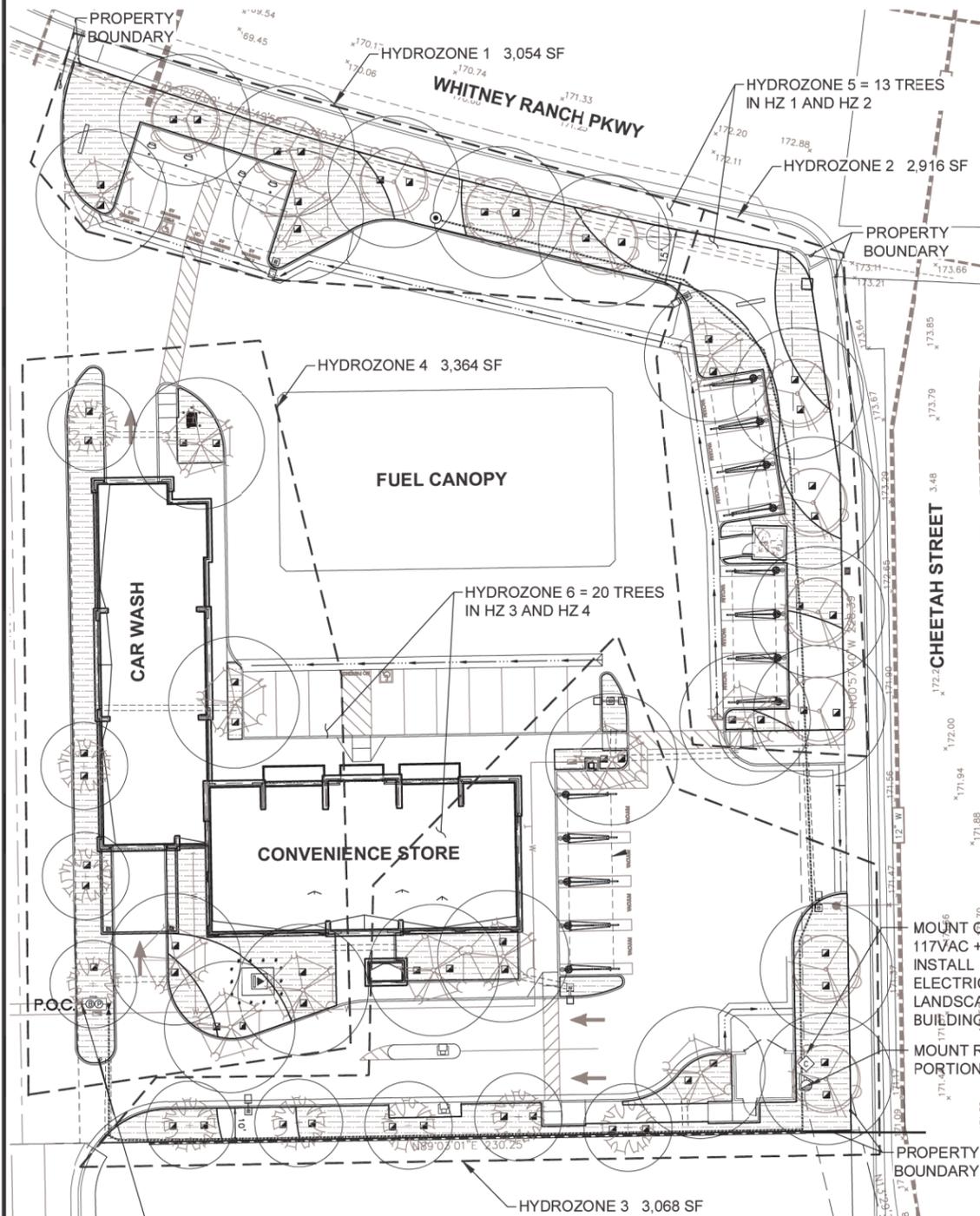
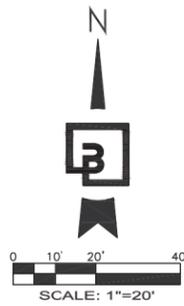
**FACILITY #TBD**

DESIGNED BY:	TCR	ALLIANCE Z&M:
CHECKED BY:	JMV	BP REPR:
DRAWN BY:	TCR	ALLIANCE PM:
VERSION:		PROJECT NO:
		22602

**DRAWING TITLE:**  
LANDSCAPE NOTES  
AND DETAILS

**SHEET NO:**

# PRELIMINARY IRRIGATION PLAN



IRRIGATED LANDSCAPE WATER EFFICIENCY TABLE							
<b>WATER BUDGET CALCULATIONS</b>							
<b>MAXIMUM APPLIED WATER ALLOWANCE</b>							
(ETo) (0.62) [(0.45 x LA) + (0.3 x SLA)]	LOCAL ETo	LA =	SLA =			MAWA TOTAL	
53.1	12,403	0				183,750 GAL.	
<b>ESTIMATED TOTAL WATER USE</b>							
(ETo) (0.62) [(PF/IE) x (LA)]	LOCAL ETo	PF =	LA =	SLA =		ETWU TOTAL =	
53.1	0.3	12,403	0			NET TOTAL 151,234 GAL.	
<b>HYDROZONE INFORMATION TABLE</b>							
HYDROZONE TAG	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF/IE)	LANDSCAPE AREA (SQ. F.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)
<b>REGULAR LANDSCAPE AREAS</b>							
HYDROZONE 1 (SHRUBS/DRIP/LOW)	0.3	IN-LINE DRIP	0.81	0.37	2,662*	985	32,428
HYDROZONE 2 (SHRUBS/DRIP/LOW)	0.3	IN-LINE DRIP	0.81	0.37	2,580*	955	31,441
HYDROZONE 3 (SHRUBS/DRIP/LOW)	0.3	IN-LINE DRIP	0.81	0.37	2,452*	907	29,860
HYDROZONE 4 (SHRUBS/DRIP/LOW)	0.3	IN-LINE DRIP	0.81	0.37	2,860*	1,058	34,831
*NOTE: SQUARE FEET FROM TREE BUBBLERS DEDUCTED						TOTAL AREA 10,154 S.F.	TOTAL GALLONS 128,560
<b>ADD'L. REGULAR LANDSCAPE AREAS</b>							
HYDROZONE 5 (TREES/RWS/LOW)	0.3	TREE BUBBLER	0.81	13 TREES 0.37	56 S.F./TREE 728 S.F.	269	8,856
HYDROZONE 6 (TREES/RWS/LOW)	0.3	TREE BUBBLER	0.81	20 TREES 0.37	1,120 S.F.	414	13,630
						TOTAL AREA 1,848 S.F.	TOTAL GALLONS 22,486

## TOTAL LANDSCAPE AREA

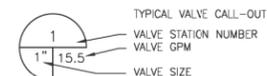
12,403 SQUARE FEET

## IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION	MIN. PSI	EMITTER SPACING	EMITTER GPM
☑	RAINBIRD RWS-B-C-1402 36" ROOT ZONE WATERING SYSTEM 2 EMITTERS PER TREE. SEE DETAIL THIS SET	20	AS SHOWN ON PLAN	.50
SYMBOL	DESCRIPTION	MIN. PSI	EMITTER SPACING	EMITTER GPH
☑	RAINBIRD XFS-CV-06-9 SUB-SURFACE DRIPLINE COMPONENTS: TO BE USED WITH RAINBIRD XF DRIPLINE INSERT FITTINGS OR TWIST LOCK FITTINGS XFS-CV SUB-SURFACE DRIP IRRIGATION FOR PLANTING AREAS WITH GROUND COVER, SHRUBS AND TREES. ABOVE NOTED DRIPLINE IS DESIGNED WITH .60 GPH EMITTERS SPACED AT 12 INCHES APART AND A ROW SPACING OF 18" INCHES NOTE: XFS-CV HAS A CHECK VALVE INTEGRATED INSTALL RAINBIRD T63-100 1/2" BLANK DISTRIBUTION TUBING. INSTALL UNDER AREAS WITH ONLY ROCK MULCH	20	12"	.60

NO SYMBOL RAINBIRD 'OPERIND' DRIP SYSTEM OPERATION/PRESSURE INDICATOR STAKES. PROVIDE FOR EACH ZONE  
NO SYMBOL RAINBIRD SOIL STAPLES, AT 5 FEET ON CENTER  
NO SYMBOL RAINBIRD DRIPLINE FLUSH VALVE: 1 PER IRRIGATION ZONE. LOCATE AT LOWEST ELEVATION WITHIN EACH ZONE, INSTALL IN 10" VALVE BOX

SYMBOL DESCRIPTION  
 ⚙ VALVE FOR TREE BUBBLER IRRIGATION, RAINBIRD XCZ-100-PRF 1" MEDIUM FLOW ELECTRIC REMOTE CONTROL VALVE. INSTALL IN CARSON TRUST BLACK COLORED FOR TREE, SHRUB, AND GROUND COVER VALVES  
 ⚙ VALVES FOR DRIP IRRIGATION:  
 RAINBIRD XCZ-150-LCS 1.5" MEDIUM FLOW ELECTRIC REMOTE CONTROL VALVE (15-62 GPM),  
 RAINBIRD XCZ-100-PRF 1" MEDIUM FLOW ELECTRIC REMOTE CONTROL VALVE (3-15 GPM)  
 INSTALL THE XCZ-100-PRF ON HYDROZONES #8 AND #14. ALL OTHERS TO BE XCZ-150-LCS  
 INSTALL IN CARSON TRUST BLACK COLORED FOR TREE, SHRUB, AND GROUND COVER VALVES

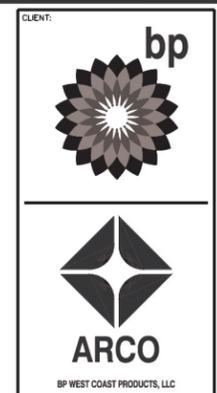


◇ HUNTER: I-CORE IRRIGATION CONTROLLER, (HARDWIRE CONNECTION TO PIGTAIL); METAL LOCKABLE CABINET MODEL MOUNT TO EXTERIOR TRASH ENCLOSURE WALL. COORDINATE LOCATION WITH OWNER, AND G.C.. HARDWIRE CONNECTION. PROVIDE GROUND AND BATTERIES PER MFR. SPECS. SEE DETAIL THIS SET  
 ▽ HUNTER RAIN SENSOR, MOUNT TO EXTERIOR OF BUILDING. WIRE DIRECTLY TO CONTROLLER. COORDINATE LOCATION WITH G.C. AND OWNER  
 ⚙ RAINBIRD EFB-CP 1" MASTER VALVE (NORMALLY CLOSED) AND FS10CB 1" FLOW SENSOR. SEE DETAIL THIS SET. (ON CONTROLLER, SET UP MASTER VALVE WATER-WINDOW DURING DAYTIME HOURS SO MAINLINE IS PRESSURIZED FOR USE OF QUICK COUPLERS)  
 ⚙ RAINBIRD 44-LRC 1" QUICK COUPLER, WITH LOCKING RUBBER COVER, 2-PIECE BODY. PROVIDE KEYS TO OWNER  
 ⚙ BALL VALVE, NIBCO T-FP-600 FULL PORT BRASS OR KBI SCH 80 OVC TRUE UNION TYPE  
 P.O.C. ⚙ IRRIGATION POINT OF CONNECTION WITH NEW 1" WATER METER AND NEW 1-1/4" REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY.

----- MAINLINE - SCH 40 PVC (18" COVER); 1-1/2" SIZE MINIMUM  
 \_\_\_\_\_ LATERAL - SCH 40 PVC (12" COVER); SIZE PER TABLE, 3/4" SIZE MINIMUM

----- IRRIGATION SLEEVE - SCH 40 PVC; 24" MINIMUM COVER AT VEHICLE CROSSINGS; 4" DIAMETER MINIMUM, 6" DIAMETER AT ALL VEHICLE CROSSINGS AND OTHER LOCATIONS WHERE MAINLINE TRAVELS THROUGH PIPE. COORDINATE WITH GENERAL AND PAVING CONTRACTORS. COORDINATE ASPHALT AND CONCRETE CUTTING WITH GENERAL CONTRACTOR

PIPE SIZING SCHEDULE						
TYPE OF PIPE	3/4"	1"	1 1/4"	1 1/2"	2"	2 1/2"
SCHEDULE 40 PVC: MAINLINE AND LATERALS	8	12	22	30	50	75
						FLOW GPM



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DEVELOPMENT INFORMATION:  
**ARCO NTI**  
 3400 am/pm  
**FUEL CANOPY w/ 6 MPD's  
 SUPER CLEAN  
 CAR WASH**

SITE ADDRESS:  
**SWC WHITNEY RANCH PKWY  
 AND CHEETAH ST  
 ROCKLIN, CALIFORNIA**

**FACILITY #TBD**

DESIGNED BY: TCR ALLIANCE Z&M  
 CHECKED BY: JMV BP REPM  
 DRAWN BY: TCR ALLIANCE PM  
 VERSION: PROJECT NO:  
 22602

DRAWING TITLE:  
**PRELIMINARY  
 IRRIGATION PLAN**

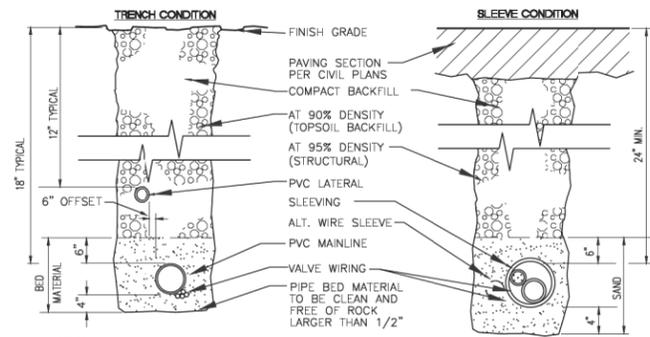
SHEET NO:  
**L3**

# Preliminary Not For Construction

**LANDSCAPE IRRIGATION NOTES**

- GENERAL CONTRACTOR AND LANDSCAPE CONTRACTOR TO COORDINATE:
  - INSTALLATION OF 110V ELECTRICAL SERVICE FROM ELECTRICAL SOURCE TO AUTOMATIC CONTROLLER, INCLUDING WIRE HOOK-UP INTO MOUNTED CONTROLLER. IRRIGATION CONTRACTOR WILL MOUNT CONTROLLER PER DESIGN AND COORDINATE WITH GENERAL CONTRACTOR.
  - INSTALLATION OF IRRIGATION/SERVICE METER AND STUB TO IRRIGATION POINT OF CONNECTION, PER UTILITY PLAN(S). PROVIDE STANDARD THREADED STUB-OUT WITH THREADED CAP ON DISCHARGE SIDE OF METER. STUB-OUT TO BE INSTALLED APPROXIMATELY 18 INCHES BELOW FINISH GRADE.
  - VERIFICATION OF STATIC WATER PRESSURE AT POINT-OF-CONNECTION (P.O.C.) CONTRACTOR SHALL NOTIFY OWNER AND BARGHAUSEN CONSULTING ENGINEERS, INC. OF ANY VARIATION IN STATIC PRESSURE OVER 5 PSI GREATER/LESS THAN DESIGN PRESSURE.
  - INSTALLATION OF SLEEVING.
- PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, AND SERVICES NECESSARY TO FURNISH AND INSTALL A COMPLETE IRRIGATION SYSTEM AS INDICATED ON THE DRAWINGS AND/OR NOTES. PROVIDE A ONE (1) YEAR WARRANTY/GUARANTEE FROM FINAL ACCEPTANCE AGAINST ALL DEFECTS IN MATERIALS, EQUIPMENT, AND WORKMANSHIP.
- COORDINATE IRRIGATION INSTALLATION WITH GENERAL CONTRACTOR, ELECTRICAL CONTRACTOR, LANDSCAPE CONTRACTOR, OWNER, ARCHITECT, AND LANDSCAPE ARCHITECT.
- LANDSCAPE CONTRACTOR TO TEST AVAILABLE WATER PRESSURE PRIOR TO BEGINNING ANY WORK. PROVIDE LANDSCAPE ARCHITECT WITH WRITTEN PSI RESULTS.
- ALL WORK PER LOCAL CODE. INSTALLATION PER MANUFACTURER'S WRITTEN SPECIFICATIONS.
- CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS, FEES, AND REQUIRED CITY INSPECTIONS.
- SUBMITTALS:
  - SUBMIT EACH ITEM LISTED BELOW FOR LANDSCAPE ARCHITECT'S REVIEW AND APPROVAL.
  - PRODUCT DATA: FOR EACH TYPE OF PRODUCT INDICATED.
  - CONTROL WIRING PATH DIAGRAM.
  - "AS-BUILT" DRAWINGS.
  - OPERATION AND MAINTENANCE MANUALS.
- PROVIDE AND KEEP UP TO DATE A COMPLETE "AS-BUILT" RECORD SET OF PRINTS WHICH ARE TO BE CORRECTED DAILY AND SHOW EVERY CHANGE FROM THE ORIGINAL DRAWINGS AND NOTES AND EXACT "AS-BUILT" LOCATIONS, SIZES AND KIND OF EQUIPMENT. THIS SET OF DRAWINGS ARE TO BE KEPT ON SITE AND ARE TO BE USED ONLY AS THE RECORD SET. ALL WORK IS TO BE NEAT AND LEGIBLE ANNOTATIONS THEREON DAILY AS THE WORK PROCEEDS, SHOWING WORK AS ACTUALLY INSTALLED.
  - PERMANENT POINTS OF REFERENCE, BUILDING CORNERS, WALKS, OR ROAD INTERSECTIONS, ETC., THE LOCATION OF THE FOLLOWING:
    - CONNECTION TO WATER LINES (P.O.C.),
    - CONNECTIONS TO ELECTRICAL POWER,
    - GATE VALVE, QUICK COUPLERS, AND REMOTE CONTROL VALVE,
    - ROUTING OF MAINLINE (DIMENSION MAXIMUM 100' ALONG ROUTING),
    - ROUTING OF CONTROL WIRING,
    - OTHER RELATED EQUIPMENT AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- PREPARE AND PROVIDE PRIOR TO COMPLETION OF CONSTRUCTION, A THREE RING BINDER CONTAINING THE FOLLOWING INFORMATION:
  - INDEX SHEET STATING CONTRACTOR'S ADDRESS, TELEPHONE NUMBER, FAX, E-MAIL AND A LIST OF EQUIPMENT WITH NAME AND ADDRESS OF LOCAL MANUFACTURER'S REPRESENTATIVES,
  - CATALOG AND PARTS SHEETS ON EVERY MATERIAL AND EQUIPMENT INSTALLED UNDER THIS CONTRACT,
  - GUARANTEE STATEMENT,
  - COMPLETE OPERATING AND MAINTENANCE INSTRUCTIONS ON ALL MAJOR EQUIPMENT.
  - CONSTRUCTION DETAILS FROM THE PROJECT,
  - COMPLETE TROUBLE-SHOOTING GUIDE TO COMMON IRRIGATION PROBLEMS,
  - WINTERIZATION AND SPRING START-UP PROCEDURES,
  - CHART OF APPROXIMATE WATERING TIMES FOR SPRING, SUMMER, AND FALL,
  - A COPY OF THE "AS-BUILT" DRAWINGS AND CONTROLLER CHART.
- ALL VALVES TO BE PLACED IN "CARSON" GRADE LEVEL BOXES WITH BOLT-LOCK LIDS (OR APPROVED EQUIVALENT). SET BOXES 2 INCHES HIGHER THAN FINISH GRADE IN MULCH AREAS AND FLUSH WITH FINISH GRADE IN LAWN AREAS. JUMBO BOX FOR CHECK VALVE, 10" ROUND BOX FOR GATE/QUICK COUPLER/WIRE SPLICES, AND 12" STANDARD FOR CONTROL VALVES. PROVIDE BOX EXTENSIONS AS REQUIRED.
- MAINLINE PIPE TO BE BURIED 18 INCHES, LATERALS 12 INCHES, AND SLEEVES 24" INCHES BELOW FINISH GRADE. NO ROCK OR DEBRIS TO BE BACKFILLED OVER PIPE.
- HEAD AND LINE POSITIONING IS DIAGRAMMATIC ON PLAN. ADJUST IN FIELD AS NECESSARY FOR 100 PERCENT COVERAGE. VALVES TO BE POSITIONED ADJACENT TO PAVEMENT/CURBS, IN SHRUB BEDS WHERE POSSIBLE.
- FAMILIARIZE OWNERS FACILITY OPERATOR WITH IRRIGATION SYSTEM FUNCTION, CONTROLLER PROGRAMMING, SYSTEM OPERATION AND MAINTENANCE REQUIREMENTS.
- SPRINKLERS ON RISERS WILL NOT BE ALLOWED UNLESS NOTED ON PLANS.
- RADIUS REDUCTION TO BE MADE BY USE OF PRESSURE ADJUSTMENT, SCREENS, AND/OR ALTERNATE NOZZLES. IN-NOZZLE ADJUSTMENT IS LIMITED TO 10 PERCENT FOR SPRAY HEADS AND PER MANUFACTURER'S LIMITS FOR OTHER SPRINKLERS. SPRINKLER SPACING NOT EXCEED 60% OF THE DIAMETER OF THE PUBLISHED DATA.
- ALL CONTROL WIRE SPLICES TO BE MADE AT VALVE BOXES WITH WATER TIGHT ELECTRICAL SPLICES, 3M, SCOTT'S LOCK SEAL TACK 3576-78, OR EQUIVALENT.
- EACH VALVE BOX TO CONTAIN A MINIMUM OF TWO (2) SPARE ORANGE CONTROL WIRES FOR JACKETED WIRE. ROUTE SPARE WIRES FROM THE CONTROLLER TO THE LAST VALVE OF EACH MAINLINE BRANCH. COMMON WIRE TO BE WHITE. SINGLE STRAND WIRE TO BE A MINIMUM OF 14 GAUGE.
- ALL ELECTRICAL EQUIPMENT TO BE U.L. TESTED AND APPROVED, AND BEAR THE U.L. LABEL.
- CROSS CONNECTION PROTECTION INSPECTION REQUIRED. THE BACKFLOW DEVICE TO BE TESTED UPON THE ORIGINAL INSTALLATION. THE TESTING TO BE PERFORMED BY A PERSON HOLDING A CURRENT CERTIFICATE AS A BACKFLOW TESTER. THE TEST REPORT TO BE SUBMITTED TO THE LOCAL WATER DISTRICT, OR PURVEYOR, AND OWNER WITH A COPY TO BARGHAUSEN CONSULTING ENGINEERS, INC. CONTRACTOR TO INCLUDE TESTING IN THE SCOPE OF WORK. OWNER IS RESPONSIBLE FOR ANNUAL INSPECTIONS AFTER THE INITIAL INSPECTION.
- CONTRACTOR TO PROVIDE SYSTEM WINTERIZATION/SPRING SERVICE WHEN INSTALLATION HAS BEEN COMPLETED WITHIN 90 DAYS OF NOVEMBER 1 FOR WINTERIZATION, OR MAY 15 FOR SPRING SERVICE. SERVICE TO BE PERFORMED AS NEAR AS PRACTICAL.

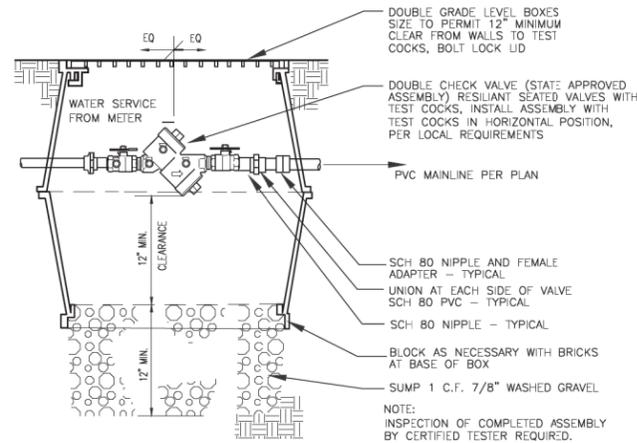
**IRRIGATION NOTES AND DETAILS**



NOTE: SLEEVING MATERIAL SHALL BE PVC SCH. 40. DIMENSIONS ARE MIN. CLEARANCES.  
 ALL IRRIGATION SLEEVING TRENCH BACKFILL MATERIAL SHALL BE CLASS "B" OR BETTER (MAX. OF 10% PASSING NO.40 SCREEN) AND BE COMPACTED TO MIN. 95% OPTIMUM DENSITY PER ASTM D-1557-70 (MODIFIED PROCTOR)

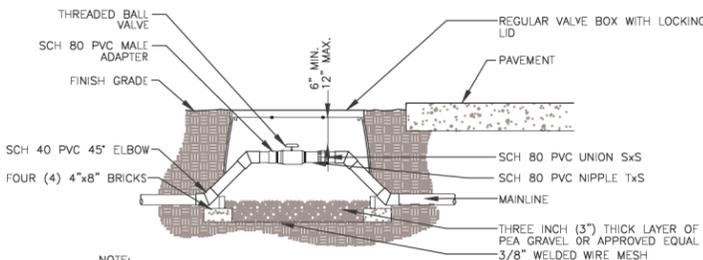
**SLEEVE/TRENCHING DETAIL**

NOT TO SCALE



**CHECK VALVE ASSEMBLY DETAIL**

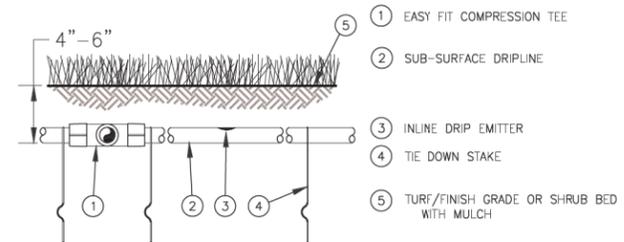
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NOTE:  
 1. LOCATE VALVE BOXES IN PLANTING AREAS.  
 2. WRAP VALVE BOX WITH A MINIMUM OF 3 MIL THICK PLASTIC AND SECURE IT USING DUCT TAPE OR ELECTRICAL TAPE.  
 3. ALL THREADED CONNECTIONS TO BE MADE USING TEFLON TAPE.  
 4. ALL CHANGES IN ELEVATION SHALL BE MADE USING SCH 40 PVC 45° ELBOWS.

**BALL VALVE DETAIL**

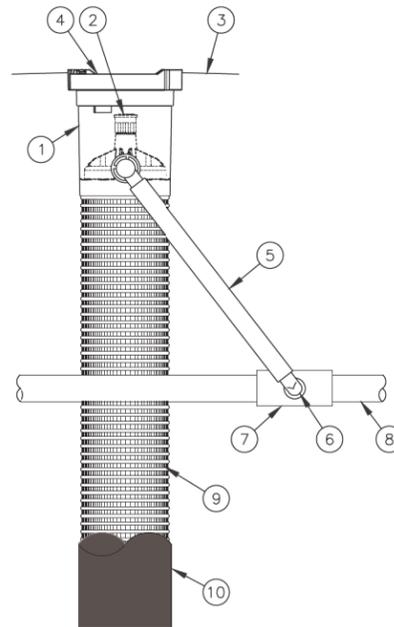
NOT TO SCALE



NOTES:  
 1. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.  
 2. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.  
 3. INSERTION FLOW AND TRENCHED INSTALLATIONS DO NOT REQUIRE TIE DOWN STAKES.

**DRIPLINE BURIAL**

NOT TO SCALE

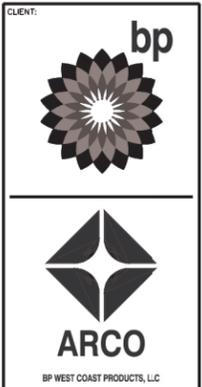


- ROOT WATERING SYSTEM:  
 RAIN BIRD RWS-B-C-1402 (INCLUDES RETAINER, 36" (91,4 CM) TUBE, 0.5 GPM (1,9 L/M) BUBBLER & INTEGRATED CHECK VALVE, 4" (10,2 CM) GRATE, VERSATILE SWING ASSEMBLY WITH 1/2" (1,3 CM) M NPT INLET)
- BUBBLER: RAIN BIRD 1402 0.5 GPM (1,9 L/M) (INCLUDED)
- FINISH GRADE/TOP OF MULCH
- 4" (10,2 CM) LOCKING GRATE (INCLUDED)
- 12" (30,5 CM) SWING ASSEMBLY (INCLUDED)
- 1/2" (1,3 CM) MALE NPT INLET (INCLUDED)
- PVC SCH 40 TEE OR EL
- PVC OR POLYETHYLENE LATERAL PIPE
- 4" (10,2 CM) WIDE X 36" (91,4 CM) LONG RIGID BASKET WEAVE CANISTER (INCLUDED)
- OPTIONAL SDOCK (RWS-SOCK) FOR SANDY SOILS

NOTES:  
 1. 4" (10,2 CM) GRATE IS ALSO AVAILABLE IN PURPLE (RWS-GRATE-P).  
 2. INSTALL PRODUCT SO THAT THE GRATE IS EVEN WITH FINISH GRADE OR TOP OF MULCH.  
 3. OPTIONAL SAND SOCK (RWS-SOCK) IS 34" (86,4 CM) IN LENGTH TO COVER MESH BASKET AREA.  
 4. WHEN INSTALLING IN EXTREMELY HARD OR CLAY SOILS, ADD 3/4" (1,9 CM) GRAVEL UNDER AND AROUND THE UNIT TO ALLOW FASTER WATER INFILTRATION AND ROOT PENETRATION.  
 5. ONCE RWS HAS BEEN INSTALLED FILL THE BASKET WITH PEA GRAVEL BEFORE LOCKING LID.

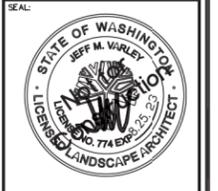
**ROOT WATER SYSTEM DETAIL**

NOT TO SCALE



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DEVELOPMENT INFORMATION:  
**ARCO NTI**  
 3400 am/pm  
 FUEL CANOPY w/ 6 MPD's  
 SUPER CLEAN  
 CAR WASH

SITE ADDRESS:  
**SWC WHITNEY RANCH PKWY AND CHEETAH ST**  
 ROCKLIN, CALIFORNIA

FACILITY #TBD

DESIGNED BY: TCR	ALLIANCE ZONE:
CHECKED BY: JMV	BP REF#:
DRAWN BY: TCR	ALLIANCE PM:
VERSION: -	PROJECT NO: 22602

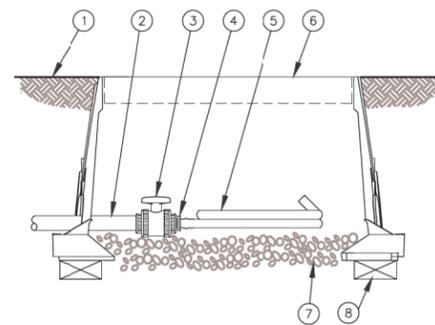
DRAWING TITLE:  
**IRRIGATION NOTES AND DETAILS**

SHEET NO:

**L4**

**Preliminary Not For Construction**

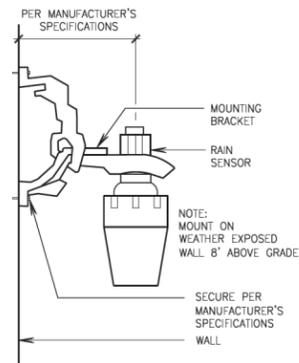
# IRRIGATION DETAILS



- 1 FINISH GRADE
- 2 PVC DRIP MANIFOLD PIPE
- 3 PVC 1" X 3/4" TRUE UNION BALL VALVE
- 4 EASY FIT MALE X BARB ADAPTER
- 5 SUB-SURFACE DRIPLINE:
- 6 12-INCH VALVE BOX WITH COVER
- 7 3-INCH MINIMUM DEPTH OF 3/4" WASHED GRAVEL BRICK (1 OF 2)
- 8 BRICK (1 OF 2)

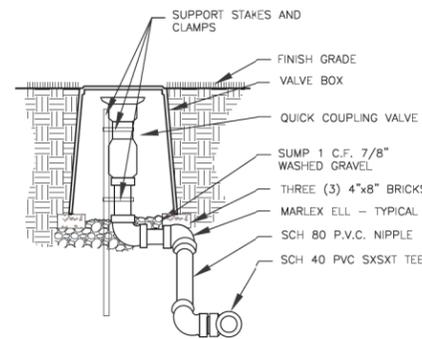
## FLUSH POINT WITH BALL VALVE

NOT TO SCALE



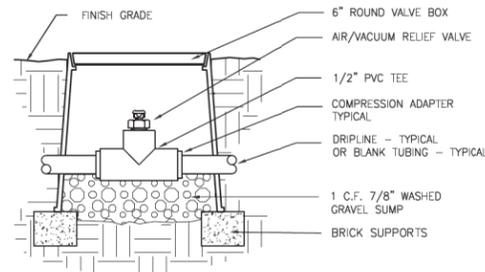
## RAIN SENSOR DETAIL

NOT TO SCALE



## QUICK COUPLING VALVE DETAIL

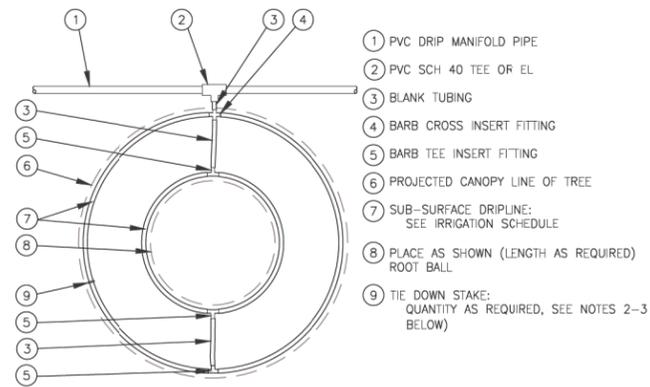
NOT TO SCALE



NOTE:  
AIR/VACUUM RELIEF VALVE CANNOT BE CONNECTED LOWER THAN DRIPLINE LATERALS.  
FOR USE ON ZONES OF 7 GPM OR LESS ONLY (PLUMBED TO TUBING).

## 1/2" AIR/VACUUM RELIEF VALVE DETAIL

NOT TO SCALE



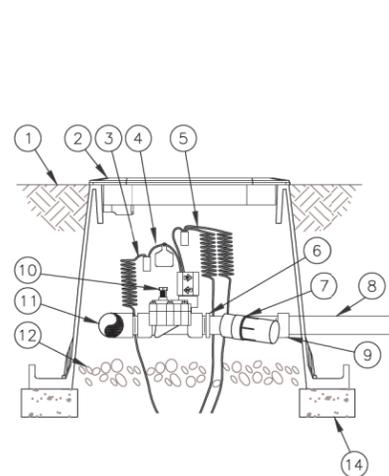
- 1 PVC DRIP MANIFOLD PIPE
- 2 PVC SCH 40 TEE OR EL
- 3 BLANK TUBING
- 4 BARB CROSS INSERT FITTING
- 5 BARB TEE INSERT FITTING
- 6 PROJECTED CANOPY LINE OF TREE
- 7 SUB-SURFACE DRIPLINE: SEE IRRIGATION SCHEDULE
- 8 PLACE AS SHOWN (LENGTH AS REQUIRED) ROOT BALL
- 9 TIE-DOWN STAKE: QUANTITY AS REQUIRED, SEE NOTES 2-3 BELOW

NOTES:

1. DISTANCE BETWEEN LATERAL RINGS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, AND TREE CANOPY. SEE MANUFACTURER DRIPLINE INSTALLATION GUIDE FOR SUGGESTED SPACINGS.
2. PLACE TIE-DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
3. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.

## DRIPLINE AROUND TREE

NOT TO SCALE

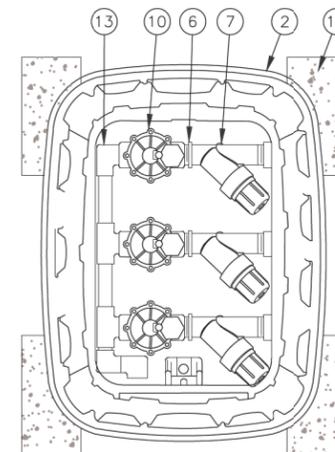


SIDE VIEW

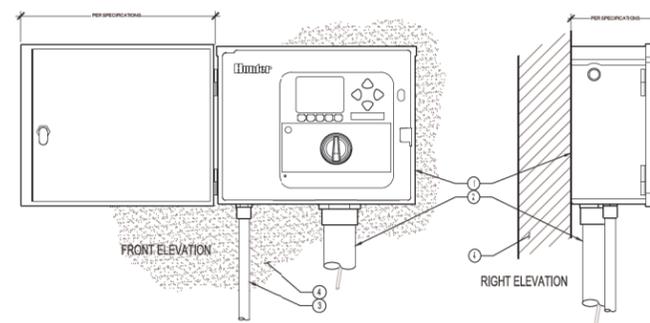
## DRIPIRIGATION VALVE

NOT TO SCALE

- 1 FINISH GRADE
- 2 STANDARD VALVE BOX WITH COVER: RAIN BIRD VB-STD
- 3 WATERPROOF CONNECTION: RAIN BIRD DB SERIES
- 4 VALVE ID TAG
- 5 30-INCH LINEAR LENGTH OF WIRE, COILED
- 6 1" X 3/4" REDUCING COUPLING (INCLUDED IN XCZ-LF-100-PRF KIT)
- 7 PRESSURE REGULATING FILTER: RAIN BIRD PRF-100-RBY (INCLUDED IN XCZ-LF-100-PRF KIT)
- 8 LATERAL PIPE
- 9 PVC SCH 40 FEMALE ADAPTOR OR REDUCER
- 10 REMOTE CONTROL VALVE: RAIN BIRD LFV-100 (INCLUDED IN XCZ-LF-100-PRF KIT)
- 11 PVC SCH 40 TEE OR ELL TO MANIFOLD
- 12 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- 13 MANIFOLD PIPE AND FITTINGS
- 14 MINIMUM FOUR (4) 4"x8" BRICKS



TOP VIEW



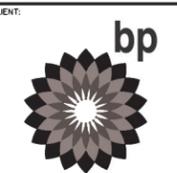
## IRRIGATION CONTROLLER, WALL MOUNT

NOT TO SCALE

LEGEND:

- 1 IRRIGATION CONTROLLER (ACC PER PLAN)
- 2 IRRIGATION CONTROL WIRE IN CONDUIT SIZE AND TYPE PER LOCAL CODES
- 3 ELECTRICAL SUPPLY CONDUIT CONNECT TO POWER SOURCE, J-BOX INSIDE CONTROLLER
- 4 ADJACENT SURFACE TO MOUNT CONTROLLER PER PLAN

NOTE:  
MOUNT CONTROLLER LCD SCREEN AT EYE LEVEL.  
CONTROLLER SHALL BE HARDWIRED TO GROUNDED 110 VAC POWER SOURCE.



**Barghausen Consulting Engineers, Inc.**

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DEVELOPMENT INFORMATION:  
**ARCO NTI**  
3400 am/pm  
FUEL CANOPY w/ 6 MPD's  
SUPER CLEAN  
CAR WASH

SITE ADDRESS:  
**SWC WHITNEY RANCH PKWY  
AND CHEETAH ST  
ROCKLIN, CALIFORNIA**

FACILITY #TBD

DESIGNED BY: TCR	ALLIANCE Z&M:
CHECKED BY: JMV	BP REPR:
DRAWN BY: TCR	ALLIANCE PM:
VERSION: -	PROJECT NO: 22602

DRAWING TITLE:  
**IRRIGATION DETAILS**

SHEET NO:

**L5**

**Preliminary Not For Construction**

# IRRIGATION DETAILS



**Barghausen Consulting Engineers, Inc.**  
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 Kent, WA 98032  
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DEVELOPMENT INFORMATION:  
**ARCO NTI**  
 3400 am/pm  
**FUEL CANOPY w/ 6 MPD's  
 SUPER CLEAN  
 CAR WASH**

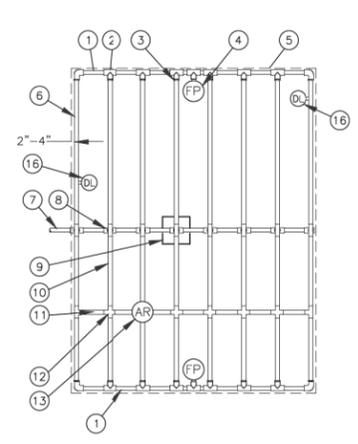
SITE ADDRESS:  
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 AND CHEETAH ST  
 ROCKLIN, CALIFORNIA**

FACILITY #TBD

DESIGNED BY: TCR ALLIANCE Z&M  
 CHECKED BY: JMV BP REPR  
 DRAWN BY: TCR ALLIANCE PM  
 VERSION: PROJECT NO:  
 - 22602

DRAWING TITLE:  
**IRRIGATION DETAILS**

SHEET NO:  
**L6**

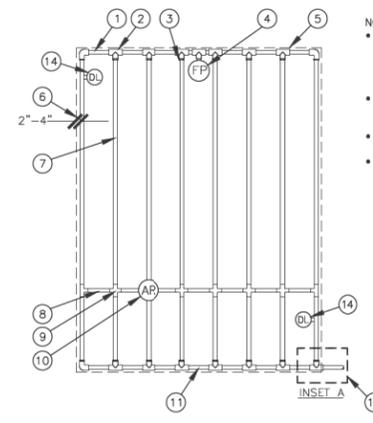


- 1 PVC EXHAUST HEADER
- 2 PVC SCH 40 TEE OR EL (TYPICAL)
- 3 BARB X MALE FITTING
- 4 FLUSH POINT (TYPICAL) SEE RAIN BIRD DETAIL "FLUSH POINT WITH BALL VALVE"
- 5 PERIMETER OF AREA
- 6 PERIMETER DRIPLINE PIPE TO BE INSTALLED 2"-4" FROM PERIMETER OF AREA
- 7 PVC SUPPLY PIPE FROM CONTROL ZONE KIT (SIZED TO MEET LATERAL FLOW DEMAND)
- 8 PVC SUPPLY MANIFOLD
- 9 CONNECTION FROM SUPPLY MANIFOLD TO DRIPLINE (TYPICAL)- SEE INSET A
- 10 SUB-SURFACE DRIPLINE
- 11 BLANK TUBING
- 12 BARB X BARB INSERT TEE OR CROSS
- 13 1/2" AIR RELIEF VALVE
- 14 BARB X FEMALE FITTING
- 15 3/4" PVC NIPPLE, LENGTH AS NECESSARY
- 16 DRIPLINE INDICATOR, SEE DETAIL FOR ADDITIONAL INFORMATION

Inlet Pressure psi	12" Spacing		18" Spacing		24" Spacing	
	Nominal Flow (gph)	Max Lateral Length (ft)	Nominal Flow (gph)	Max Lateral Length (ft)	Nominal Flow (gph)	Max Lateral Length (ft)
0.8	0.9	0.6	0.9	0.6	0.9	0.9
15	273	155	314	250	424	322
20	318	169	353	294	508	368
30	360	230	413	350	586	414
40	395	265	465	402	652	474
50	417	285	528	420	720	488
60	460	290	580	455	790	514

NOTES:  
 1. DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION. SEE IRRIGATION SCHEDULE FOR SPACING.  
 2. LENGTH OF LONGEST DRIPLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM LENGTH SHOWN IN THE ACCOMPANYING TABLE.  
 3. AIR RELIEF VALVE TO BE INSTALLED AT HIGH POINT OF AREA.  
 4. WHEN USING 17MM INSERT FITTINGS WITH DESIGN PRESSURE OVER 50PSI, IT IS RECOMMENDED THAT STAINLESS STEEL CLAMPS BE INSTALLED ON EACH FITTING.

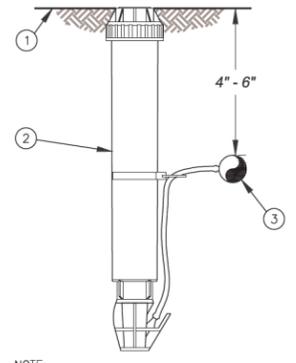
**DRIPLINE CENTER FEED LAYOUT**  
 NOT TO SCALE



- 1 PVC EXHAUST HEADER
- 2 PVC SCH 40 TEE OR EL (TYPICAL)
- 3 BARB X MALE FITTING
- 4 FLUSH POINT (TYPICAL) SEE RAIN BIRD DETAIL "FLUSH POINT WITH BALL VALVE"
- 5 PERIMETER OF AREA
- 6 PERIMETER DRIPLINE PIPE TO BE INSTALLED 2"-4" FROM PERIMETER OF AREA
- 7 SUB-SURFACE DRIPLINE
- 8 BLANK TUBING
- 9 BARB X BARB INSERT TEE OR CROSS
- 10 1/2" AIR RELIEF VALVE
- 11 PVC SUPPLY HEADER
- 12 PVC DRIP MANIFOLD FROM CONTROL ZONE VALVE KIT (SIZED TO MEET LATERAL FLOW DEMAND)
- 13 PVC SCH 40 RISER PIPE
- 14 DRIPLINE INDICATOR, SEE DETAIL FOR ADD'L INFO

Inlet Pressure psi	12" Spacing		18" Spacing		24" Spacing	
	Nominal Flow (gph)	Max Lateral Length (ft)	Nominal Flow (gph)	Max Lateral Length (ft)	Nominal Flow (gph)	Max Lateral Length (ft)
0.8	0.9	0.6	0.9	0.6	0.9	0.9
15	273	155	314	250	424	322
20	318	169	353	294	508	368
30	360	230	413	350	586	414
40	395	265	465	402	652	474
50	417	285	528	420	720	488
60	460	290	580	455	790	514

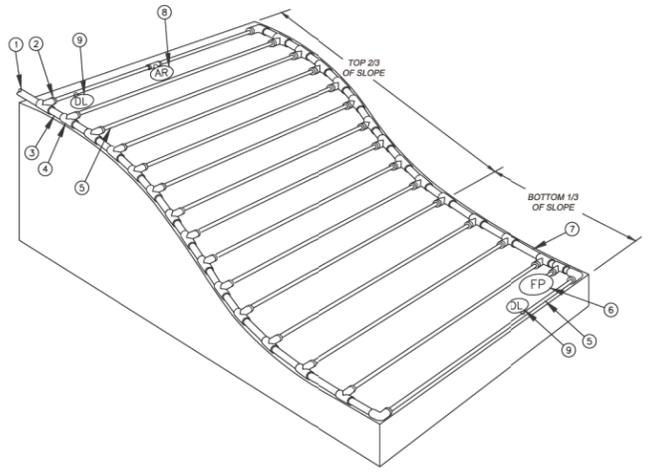
**DRIPLINE END FEED LAYOUT**  
 NOT TO SCALE



- 1 FINISH GRADE/TURF
- 2 OPERATION INDICATOR
- 3 SUB-SURFACE DRIPLINE: SEE IRRIGATION SCHEDULE

NOTE:  
 1. INSERT BARB TRANSFER FITTING DIRECTLY INTO DRIPLINE TUBING.  
 2. VAN NOZZLE MAY BE SET TO CLOSED, OR IF IT IS DESIRED TO SEE SPRAY FROM THE NOZZLE, SET THE ARC TO 1/4 PATTERN. THE FLOW FROM THE NOZZLE, 0.3 GPM, SHOULD BE ACCOUNTED FOR IN THE SYSTEM DESIGN.

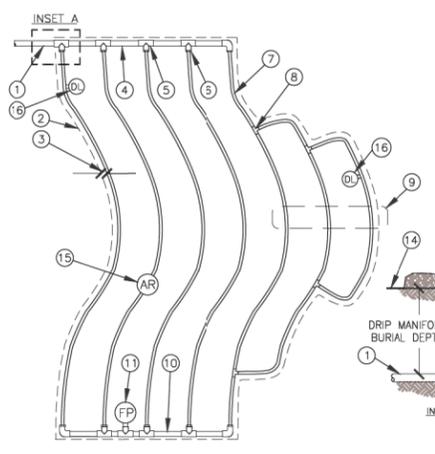
**DRIPLINE INDICATOR**  
 NOT TO SCALE



- 1 PVC EXHAUST HEADER
- 2 PVC SCH 40 TEE OR EL (TYPICAL)
- 3 BARB X MALE FITTING
- 4 FLUSH POINT (TYPICAL) SEE RAIN BIRD DETAIL "FLUSH POINT WITH BALL VALVE"
- 5 PERIMETER OF AREA
- 6 PERIMETER DRIPLINE PIPE TO BE INSTALLED 2"-4" FROM PERIMETER OF AREA
- 7 SUB-SURFACE DRIPLINE
- 8 BLANK TUBING
- 9 BARB X BARB INSERT TEE OR CROSS
- 10 1/2" AIR RELIEF VALVE
- 11 PVC SUPPLY HEADER
- 12 PVC DRIP MANIFOLD FROM CONTROL ZONE VALVE KIT (SIZED TO MEET LATERAL FLOW DEMAND)

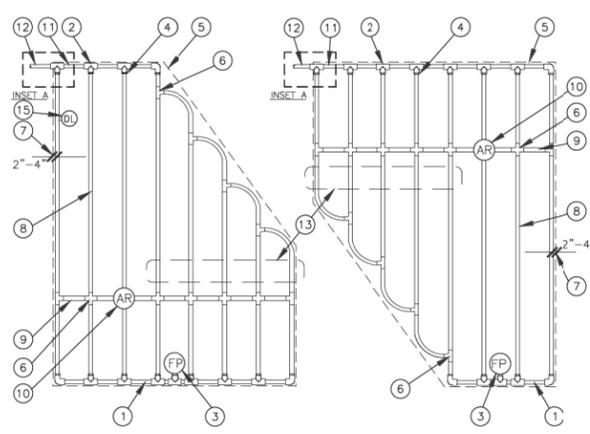
- 10 PVC RISER PIPE
- 11 TURF OR MULCH
- 12 FINISH GRADE

**DRIPLINE SLOPED LAYOUT**  
 NOT TO SCALE



- 1 PVC EXHAUST HEADER
- 2 PVC SCH 40 TEE OR EL (TYPICAL)
- 3 BARB X MALE FITTING
- 4 FLUSH POINT (TYPICAL) SEE RAIN BIRD DETAIL "FLUSH POINT WITH BALL VALVE"
- 5 PERIMETER OF AREA
- 6 PERIMETER DRIPLINE PIPE TO BE INSTALLED 2"-4" FROM PERIMETER OF AREA
- 7 SUB-SURFACE DRIPLINE
- 8 BLANK TUBING
- 9 BARB X BARB INSERT TEE OR CROSS
- 10 1/2" AIR RELIEF VALVE
- 11 PVC SUPPLY HEADER
- 12 PVC DRIP MANIFOLD FROM CONTROL ZONE VALVE KIT (SIZED TO MEET LATERAL FLOW DEMAND)
- 13 PVC SCH 40 RISER PIPE
- 14 DRIPLINE INDICATOR, SEE DETAIL FOR ADD'L INFO

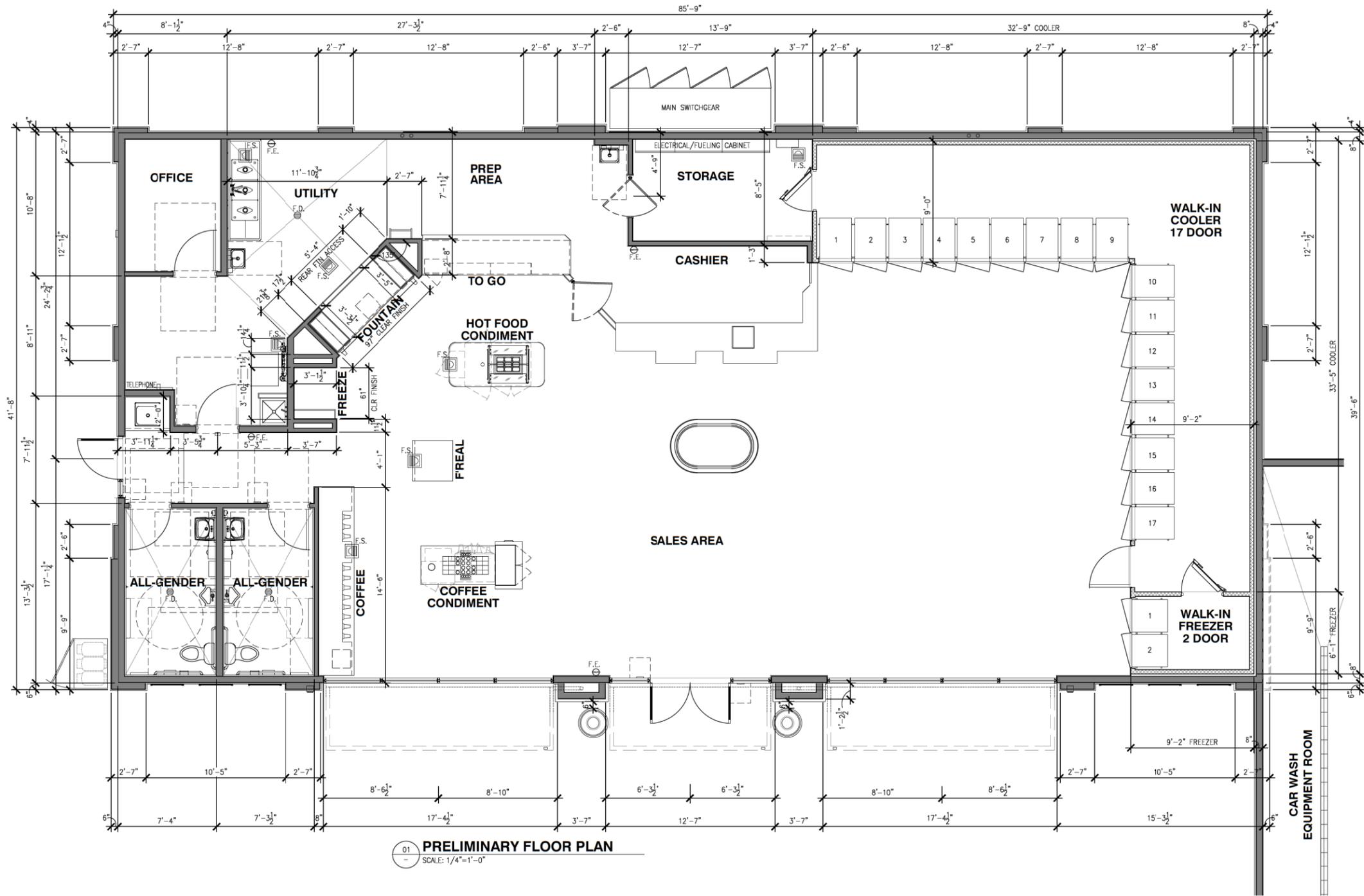
**DRIPLINE ODD CURVES LAYOUT**  
 NOT TO SCALE



- 1 PVC EXHAUST HEADER
- 2 PVC SCH 40 TEE OR EL (TYPICAL)
- 3 FLUSH POINT (TYPICAL) SEE DETAIL
- 4 BARB X MALE FITTING
- 5 PERIMETER OF AREA
- 6 BARB X BARB INSERT TEE OR CROSS
- 7 PERIMETER DRIPLINE PIPE TO BE INSTALLED 2"-4" FROM PERIMETER OF AREA
- 8 SUB-SURFACE DRIPLINE: SEE IRRIGATION SCHEDULE
- 9 BLANK TUBING
- 10 1/2" AIR RELIEF VALVE: SEE DETAIL
- 11 PVC SUPPLY MANIFOLD
- 12 PVC SUPPLY PIPE FROM CONTROL ZONE KIT (SIZED TO MEET LATERAL FLOW DEMAND)
- 13 TOTAL LENGTH OF SELECTED DRIPLINE SHOULD NOT EXCEED LENGTH SHOWN IN TABLE
- 14 PVC SCH 40 RISER PIPE
- 15 DRIPLINE INDICATOR, SEE DETAIL FOR ADD'L INFO

**DRIPLINE IRREGULAR SHAPED LAYOUT**  
 NOT TO SCALE

**Preliminary Not For Construction**



01 PRELIMINARY FLOOR PLAN  
SCALE: 1/4"=1'-0"



**Barghausen Consulting Engineers, Inc.**  
18215 72nd Avenue South  
Kent, WA 98032  
425.251.6222  
barghausen.com

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DEVELOPMENT INFORMATION:  
**ARCO NTI**  
3400 am/pm  
FUEL CANOPY w/ 6 MPD'S  
SUPER CLEAN  
CAR WASH

SITE ADDRESS:  
**SWC WHITNEY RANCH PKWY  
AND CHEETAH ST  
ROCKLIN, CALIFORNIA**

FACILITY #TBD

DESIGNED BY:	ALLIANCE Z&GM
CHECKED BY:	BP REPM
DRAWN BY:	ALLIANCE PM
VERSION:	PROJECT NO: 22602

DRAWING TITLE:  
**PRELIMINARY FLOOR PLAN**

SHEET NO:  
**A1.1**



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Consulting Engineers, Inc.  
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SEAL:

DEVELOPMENT INFORMATION:  
**ARCO NTI**  
3400 am/pm  
FUEL CANOPY w/ 6 MPD's  
SUPER CLEAN  
CAR WASH

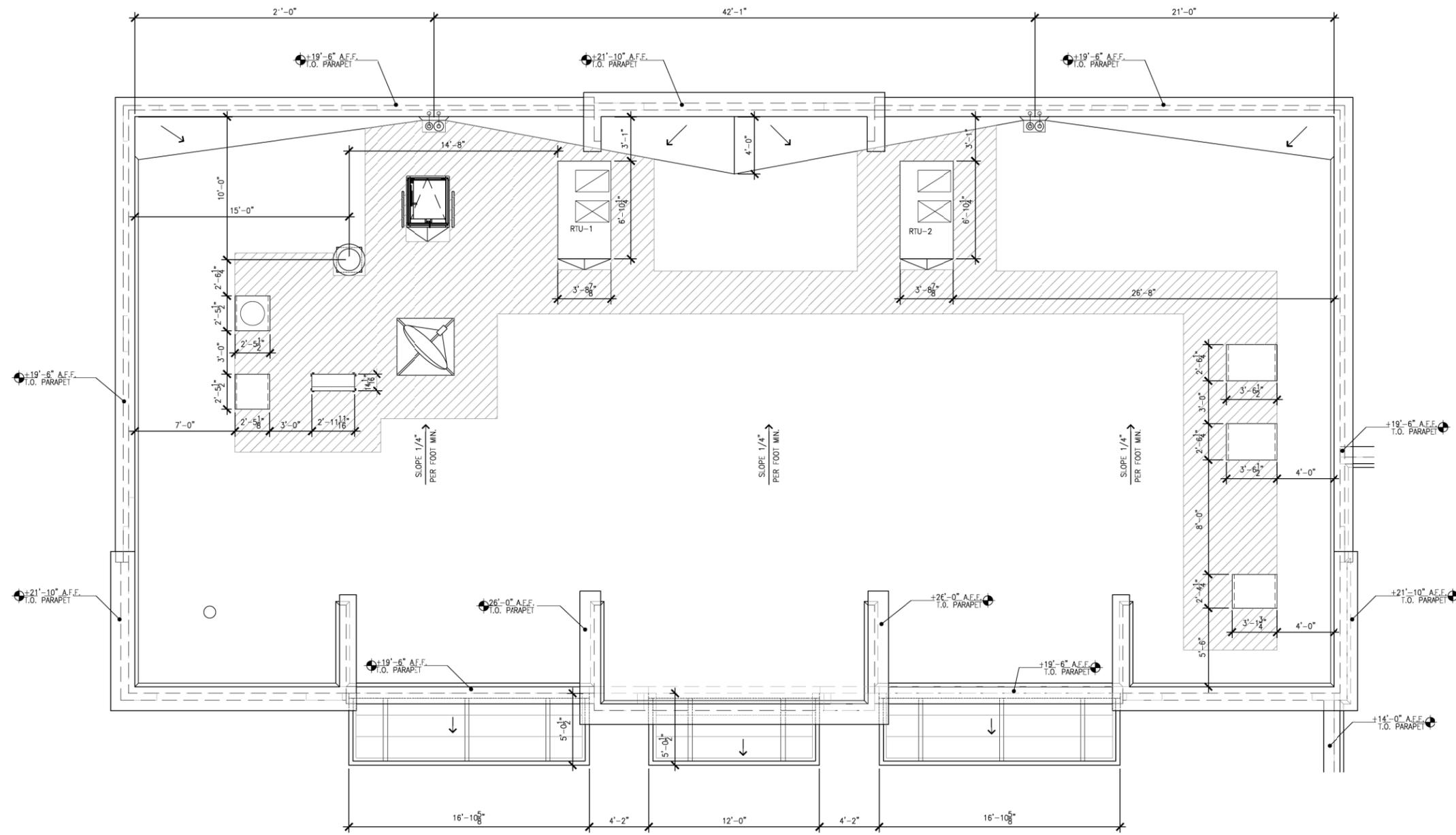
SITE ADDRESS:  
**SWC WHITNEY RANCH PKWY  
AND CHEETAH ST  
ROCKLIN, CALIFORNIA**

**FACILITY #TBD**

DESIGNED BY:	ALLIANCE Z&GM:
CHECKED BY:	BP REP:
DRAWN BY:	ALLIANCE PM:
VERSION:	PROJECT NO: 22602

DRAWING TITLE:  
**ROOF  
PLAN**

SHEET NO:  
**A1.4**



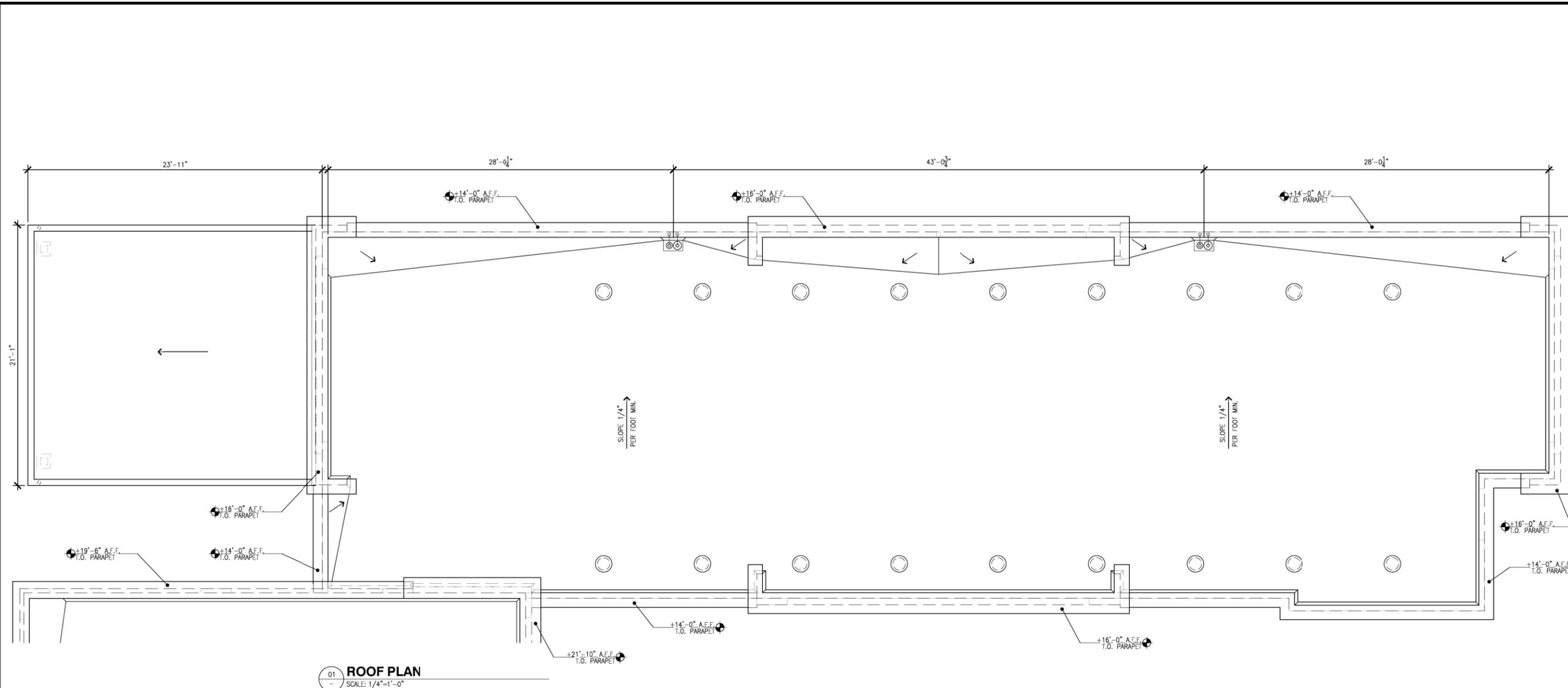
01 **ROOF PLAN**  
SCALE: 1/4"=1'-0"



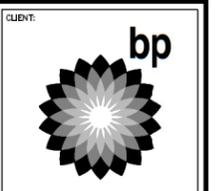








01 ROOF PLAN  
SCALE: 1/4"=1'-0"



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DEVELOPMENT INFORMATION:  
**ARCO NTI**  
3400 am/pm  
FUEL CANOPY w/ 6 MPD's  
SUPER CLEAN  
CAR WASH

SITE ADDRESS:  
**SWC WHITNEY RANCH PKWY  
AND CHEETAH ST  
ROCKLIN, CALIFORNIA**

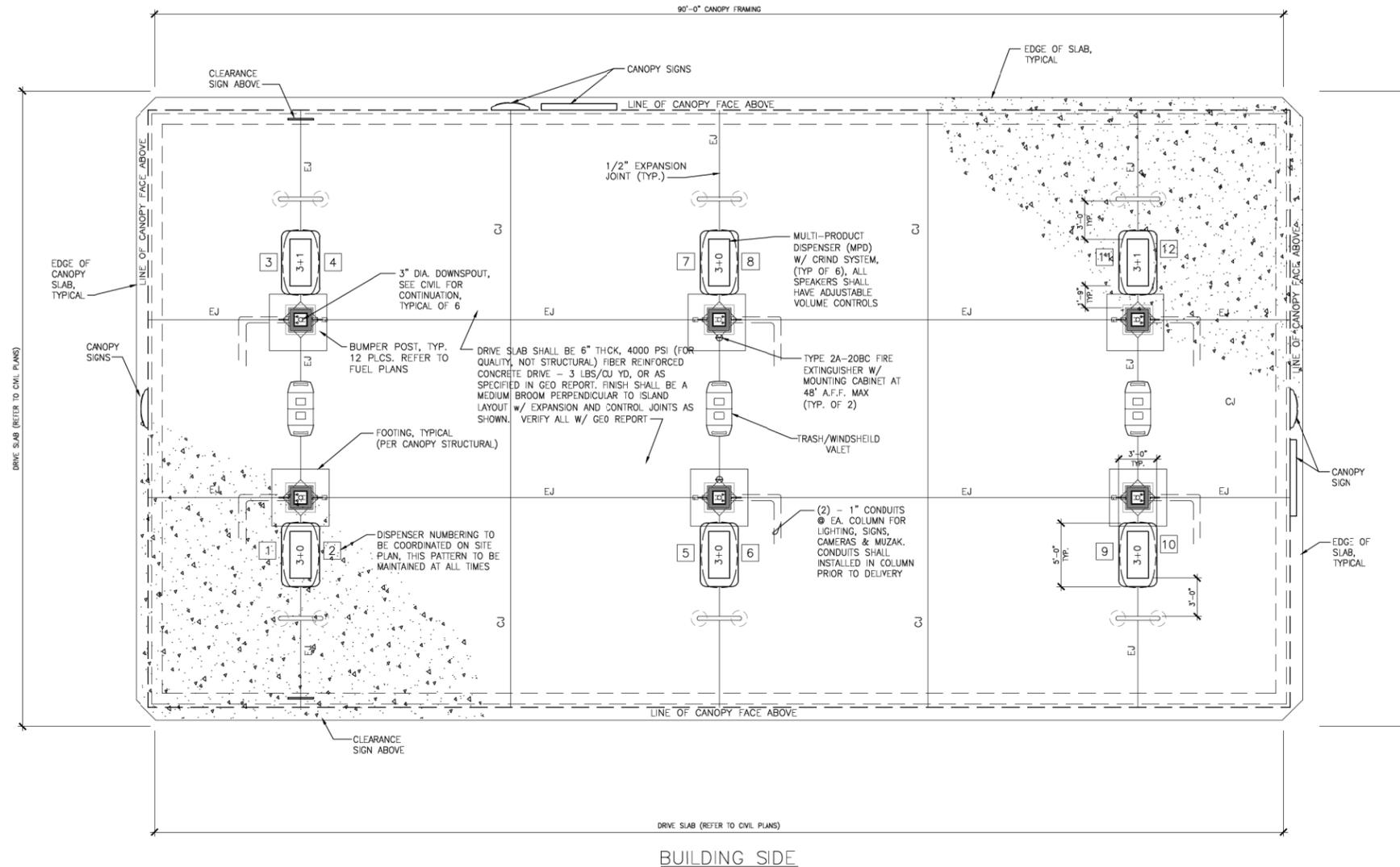
FACILITY #TBD

DESIGNED BY:	ALLIANCE Z&GM:
CHECKED BY:	BP REP:PM:
DRAWN BY:	ALLIANCE PM:
VERSION:	PROJECT NO: 22602

DRAWING TITLE:  
**ROOF PLAN**

SHEET NO:

**CWA1.3**



**1 CANOPY SLAB PLAN**

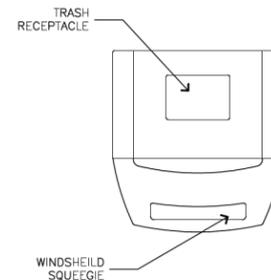
SCALE: 3/16" = 1'-0"

GROSS FLOOR AREA: 4450 S.F.

NOTE:  
ALL SPEAKERS SHALL HAVE ADJUSTABLE VOLUME CONTROLS

**Notes:**

1. DOWNSPOUTS ARE DESIGNED TO BE TIGHTLINED TO THE SITES UNDERGROUND STORM DRAINAGE SYSTEM.
2. DRIVE SLAB SHALL BE REINFORCED CONCRETE CRUSHED ROCK AS SPECIFIED IN SOILS REPORT. FINISH SHALL BE A MEDIUM BROOM PERPENDICULAR TO ISLAND LAYOUT W/ EXPANSION AND CONTROL JOINTS AS SHOWN.
3. CANOPY CONTRACTOR SHALL PROVIDE DOWNSPOUTS AND CONDUITS FOR LIGHTING, SIGN, MUSIC SYSTEM, CCTV AND SOLAR IN COLUMNS WHERE SPECIFIED. COORDINATE WITH GENERAL CONTRACTOR FOR EXACT LOCATION OF CONDUITS, AND HAND HOLES PRIOR TO FABRICATION. SEE ELECTRICAL DRAWINGS.
4. EACH PAIR OF ISLANDS HEIGHTS SHALL BE THE SAME.
5. ISLAND FORMS SHALL BE PAINTED GREY.
6. NOT USED
7. SEE SHEET CA.3, AND ELECTRICAL DRAWINGS FOR ADDITIONAL NOTES FOR IN COLUMN ELECTRICAL CONDUIT, AND LIGHTING INFORMATION.
8. GRADE BREAKS AT CONCRETE DRIVE SLAB SHALL OCCUR WITHIN DRIPLINE OF CANOPY. SEE GRADING PLAN FOR SLAB DRAINAGE ISOLATION AND OIL/WATER SEPARATOR. VERIFY W/ CIVIL DRAINAGE PLANS.



**4 Trash/Windshield Caddy**

**Preliminary Not For Construction**



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DEVELOPMENT INFORMATION:  
**ARCO NTI**  
3400 am/pm  
**FUEL CANOPY w/ 6 MPD's  
SUPER CLEAN  
CAR WASH**

SITE ADDRESS:  
**SWC WHITNEY RANCH PKWY  
AND CHEETAH ST  
ROCKLIN, CALIFORNIA**

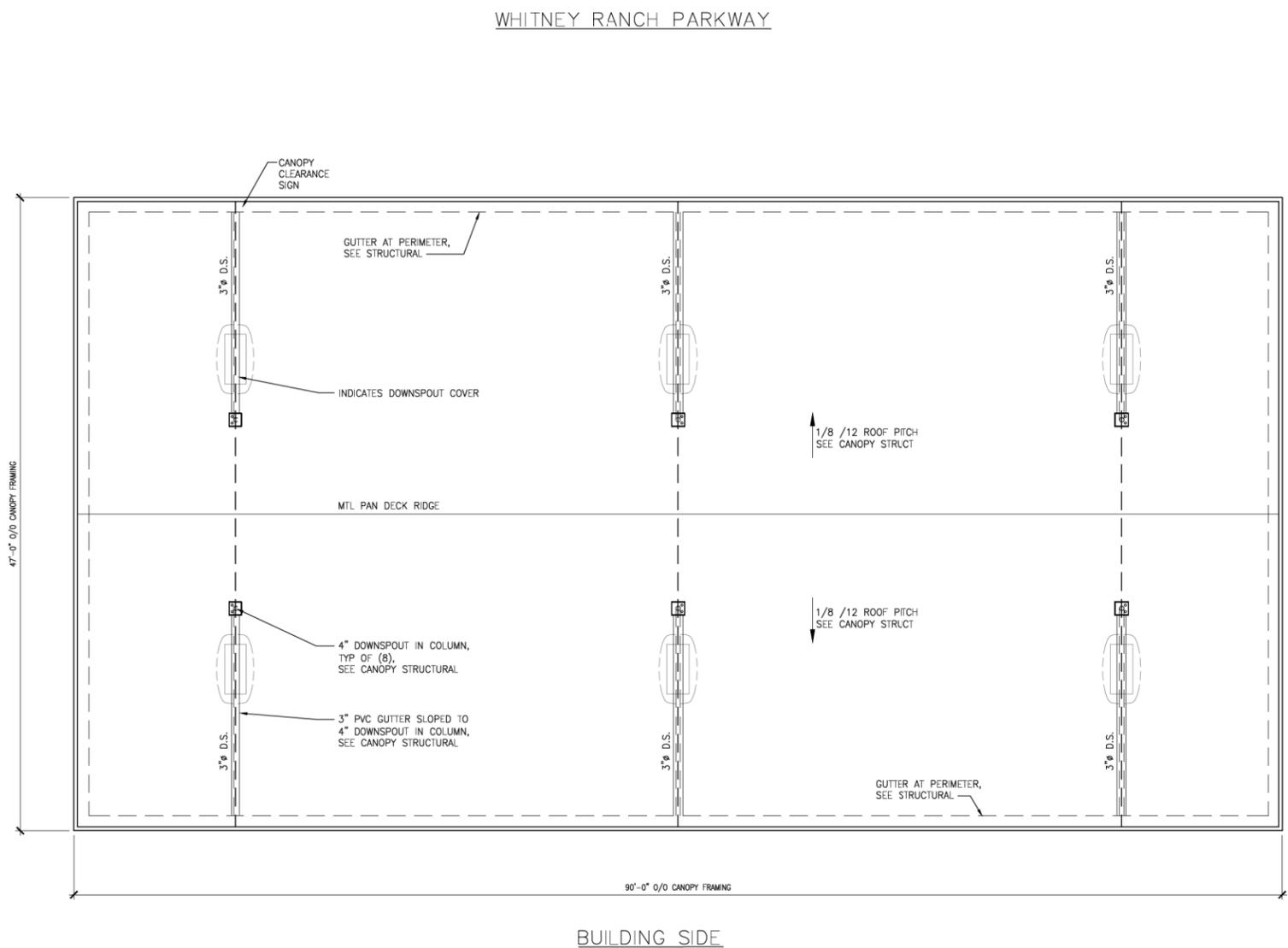
**FACILITY #TBD**

DESIGNED BY:	ALLIANCE Z&G:	-
CHECKED BY:	BP REFM:	-
DRAWN BY:	MP:	ALLIANCE PK:
VERSION:	PROJECT NO.:	22602

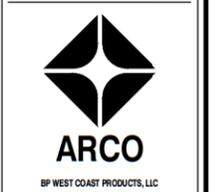
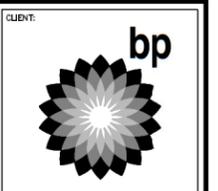
DRAWING TITLE:  
**CANOPY  
FLOOR PLAN**

SHEET NO.:

**CA1.1**



01 CANOPY ROOF PLAN  
SCALE: 3/16"=1'-0"



**B**  
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SEAL:

DEVELOPMENT INFORMATION:  
**ARCO NTI**  
 3400 am/pm  
**FUEL CANOPY w/ 6 MPD's  
 SUPER CLEAN  
 CAR WASH**

SITE ADDRESS:  
**SWC WHITNEY RANCH PKWY  
 AND CHEETAH ST  
 ROCKLIN, CALIFORNIA**

FACILITY #TBD

DESIGNED BY:	ALLIANCE Z&G:
CHECKED BY:	BP REP:
DRAWN BY:	ALLIANCE PM:
VERSION:	PROJECT NO: 22602

DRAWING TITLE:  
**CANOPY  
 ROOF PLAN**

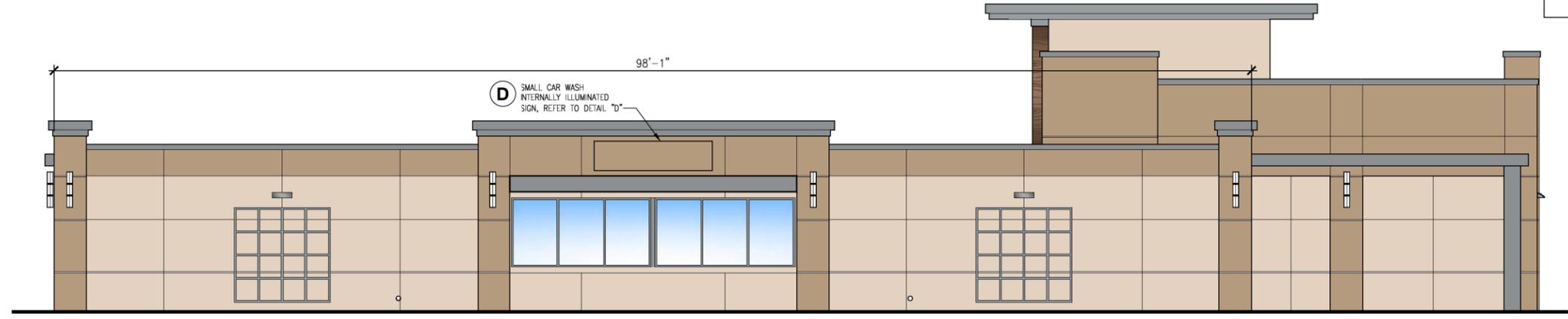
SHEET NO:  
**CA1.3**







**1 FRONT ELEVATION (NORTH)- FACING WHITNEY RANCH PKWY**  
SCALE: 3/16"=1'-0"



**2 RIGHT ELEVATION (WEST)**  
SCALE: 3/16"=1'-0"

NOT FOR CONSTRUCTION  
CONCEPTUAL ONLY  
NOT APPROVED BY CITY

SITE SIGNAGE TABLE			
KEY	SIGN	QTY.	AREA
A1	MAIN I.D. SIGN/PRICE SIGN ALLOWED: MAX. HEIGHT 6'/ MAX. 100 S.F.	1	46.0 sf
A2	MAIN I.D. SIGN/PRICE SIGN ALLOWED: MAX. HEIGHT 15'/ MAX. 100 S.F.	1	54.0 sf
B	LARGE AM/PM SIGNAGE CABINET (54.3 sf ea.)	1	54.3 sf
C	POP SIGN (8.33 sf)	6	50.0 sf
D	SMALL CAR WASH SIGNAGE CABINET (25 sf ea.)	1	25.0 sf
E	CANOPY "ARCO" CHANNEL LETTERS (10 sf ea.)	2	20.0 sf
F	CANOPY SIGN (SPARK) (7.1 sf ea.)	3	21.3 sf
TOTAL:			270.6 sf



**B LARGE AM/PM INTERNALLY ILLUMINATED SIGN** 54.3 S.F.  
SCALE: 1/2"=1'-0"



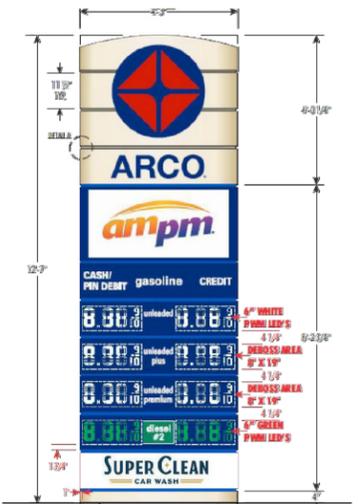
**D SMALL CAR WASH INTERNALLY ILLUMINATED SIGN** 25 S.F.  
SCALE: 1/2"=1'-0"



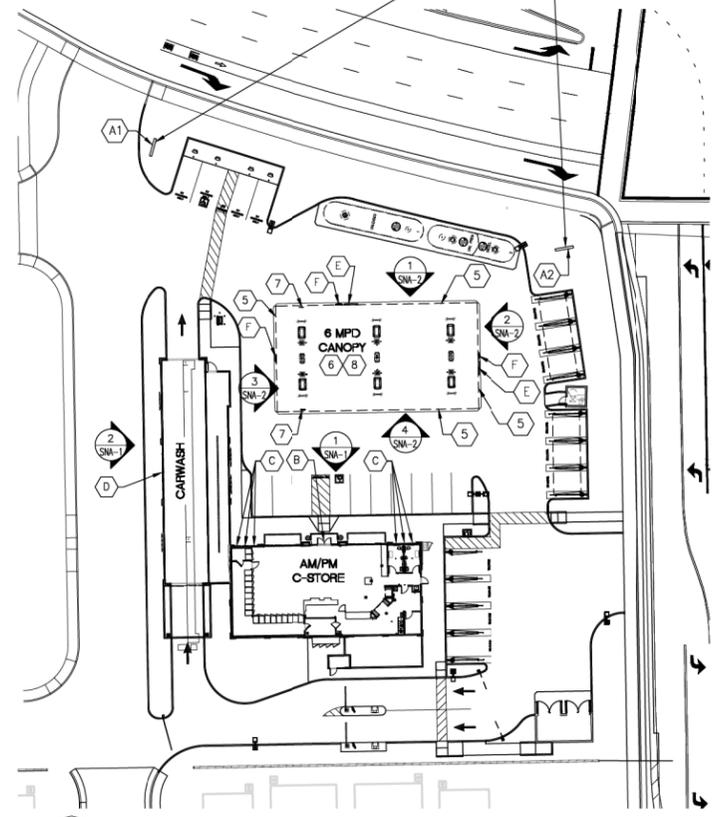
**C POP SIGN - 8.33 S.F.**  
SCALE: NTS



**A1 MAIN ID/PRICE SIGN- 46 S.F.**  
SCALE: NTS



**A2 PRICE SIGN- 54 S.F.**  
SCALE: NTS



**SIGN SITE PLAN**  
SCALE: N.T.S.

SIGN INSTALLER SHALL  
VERIFY SETBACK AND  
ORIENTATION W/ THE  
CITY AND OWNER OF  
FREESTANDING SIGN  
PRIOR TO INSTALLATION



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DEVELOPMENT INFORMATION:  
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3400 am/pm  
FUEL CANOPY w/ 6 MPD's  
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CAR WASH

SITE ADDRESS:  
**SWC WHITNEY RANCH PKWY  
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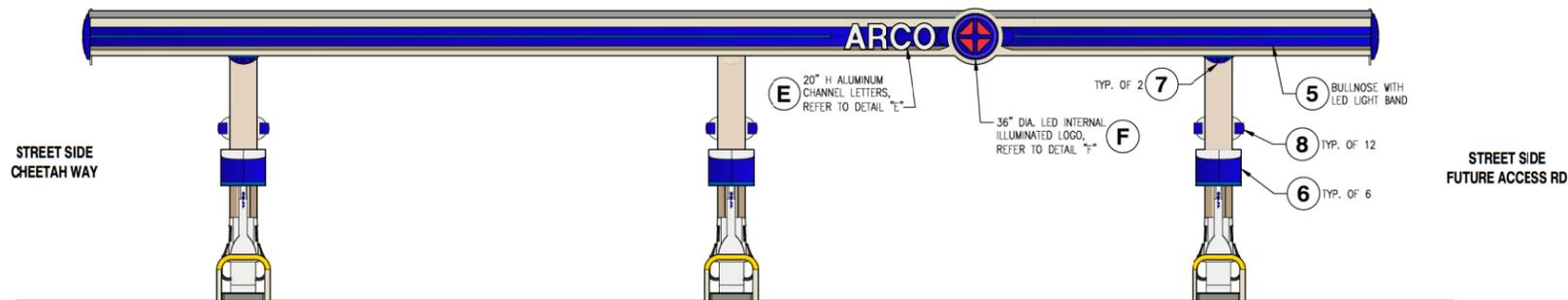
FACILITY #TBD

DESIGNED BY: ALLIANCE Z&M  
CHECKED BY: BP REPM  
DRAWN BY: ALLIANCE PM  
PERSON: PROJECT NO:  
22602

DRAWING TITLE:  
**SIGN PLAN**

SHEET NO:

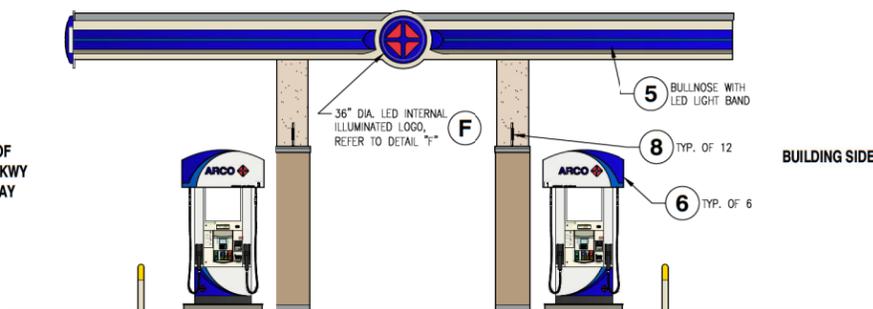
**SNA-1**



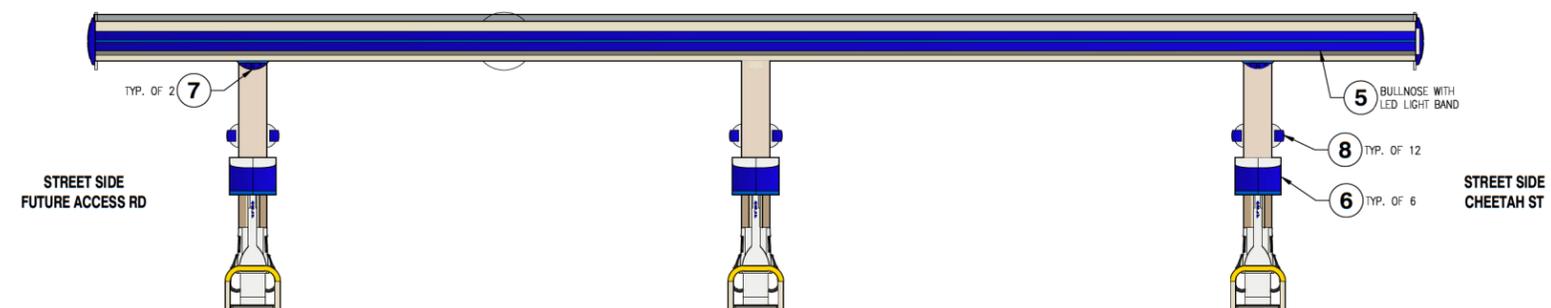
1 NORTH CANOPY ELEVATION- FACING WHITNEY RANCH PKWY  
SCALE: 3/16"=1'-0"



2 EAST CANOPY ELEVATION- FACING CHEETAH ST  
SCALE: 3/16"=1'-0"

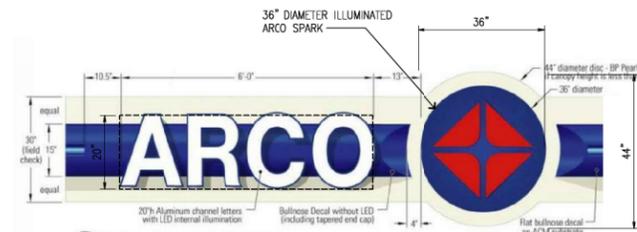


3 WEST CANOPY ELEVATION  
SCALE: 3/16"=1'-0"



4 SOUTH CANOPY ELEVATION- FACING C-STORE BUILDING  
SCALE: 3/16"=1'-0"

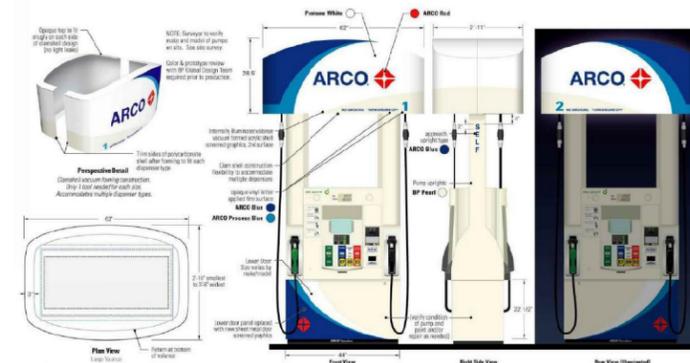
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NOT APPROVED BY CITY



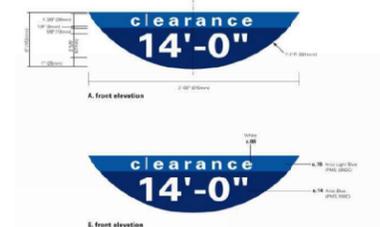
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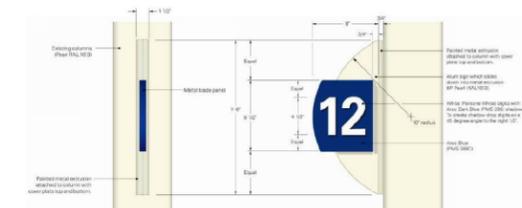
5 CANOPY DECAL ON ACM FASCIA W/ LED LIGHT BAND  
SCALE: N.T.S.



6 FUEL DISPENSER GRAPHICS  
SCALE: 3/8"=1'-0"



7 CANOPY CLEARANCE SIGN  
SCALE: N.T.S. NON-ILLUMINATED



8 CANOPY PUMP NUMBER SIGN  
SCALE: N.T.S. NON-ILLUMINATED



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DEVELOPMENT INFORMATION:  
ARCO NTI  
3400 am/pm  
FUEL CANOPY w/ 6 MPD's  
SUPER CLEAN  
CAR WASH

SITE ADDRESS:  
SWC WHITNEY RANCH PKWY  
AND CHEETAH ST  
ROCKLIN, CALIFORNIA

FACILITY #TBD

DESIGNED BY: ALLIANCE Z&G  
CHECKED BY: BP REP  
DRAWN BY: ALLIANCE PM  
VERSION: PROJECT NO:  
22602

DRAWING TITLE:  
SIGN PLAN

SHEET NO:

SNA-2





ampm

ARCO

ampm

CASH  
PIN DEBIT

0.00

0.00

0.00

0.00

car wash

