



New Project Information

The City of Rocklin is processing the below referenced application(s) for project approval. The request is now being reviewed for compliance with the requirements and regulations of relevant City, State, and Federal agencies, and Utility providers. Once any issues have been resolved a hearing date will be set and public notice provided to alert neighbors and interested parties of the hearing date, availability of project information, the opportunity to comment on the project.

Application Received: January 13, 2023 (Incomplete Submittal; Not Referred)
April 25, 2023 (Modified Application Received)

Project Name and Requested Approvals:

Whitney Ranch Retail

- Design Review (DR2023-0001)
- Conditional Use Permit (U2023-0003)

Staff Description of Project:

Request for approval of a Design Review (DR2023-0001) for a retail center containing ten (10) commercial buildings totaling approximately 94,500 square feet, which would be anchored by a grocery store (Nugget Market). As designed, the eastern portion of the retail center would feature the Nugget Market and retail shop spaces within a series of five (5) buildings. The western portion of the center has been designed as a more highway-commercial oriented area, with anticipated tenants to include a gas station and fast food/quick serve restaurants.

The project includes a request for approval of a Conditional Use Permit (U2023-003) to allow for outdoor merchandise display, as well as to allow the height of the buildings to deviate from the 30-foot maximum building height within the Planned Development Commercial zoning district.

The project applicant is requesting to mass grade the entire site (approximately 52 acres), which includes Assessor Parcel Numbers (APNs) 017-087-001 and -002 (retail center) and 017-087-003, -004, and -007 (south of the retail center). According to the applicant, this would provide an overall earthwork balance for the project and would also prepare the area for future projects located to the south and southwest, which have not yet been proposed.

Location:

The project site is located at the southwestern corner of Whitney Ranch Parkway and University Avenue. The Assessor's Parcel Numbers (APNs) are 017-087-001, -002, -003, -004, and -007 (see discussion above).

Land Use Designation(s)/Zoning:

The property is designated Retail Commercial (RC) in the Rocklin General Plan is zoned Planned Development Commercial (PD-C) in the Northwest Rocklin General Development Plan.

This project does / XX does not require modification or change of the land use designations and regulations currently applicable to the project site.

Compliance with the California Environmental Quality Act:

A preliminary review of this project pursuant to the California Environmental Quality Act (CEQA) has tentatively identified that the project will be analyzed through an Addendum to the Northwest Rocklin Annexation Area Environmental Impact Report.

Applicant & Property Owner:

The property owner is UKI Rocklin LLC and El Macero Partners, LLC. The applicant is RSC Engineering, Inc. c/o Tiffany Wilson.

Attached Information:

For additional detail, please visit the following link:

<https://www.rocklin.ca.us/post/>



City of Rocklin

Planning Division
3970 Rocklin Road
Rocklin, California 95677
Phone (916) 625-5160 FAX (916) 625-5195

UNIVERSAL APPLICATION FORM

NAME OF PROJECT: Whitney Ranch Retail

LOCATION: SWC Whitney Ranch Parkway and University Avenue

ASSESSOR'S PARCEL NUMBERS: 017-087-001, 002 for retail portion and 003, 004 & 007 for overall

DATE OF APPLICATION (STAFF): 1/13/2023 **RECEIVED BY (STAFF INITIALS):** MC

FILE NUMBERS (STAFF): DR 2023 - 0001 ; U2023-0003 **FEES:** \$26,347

RECEIPT No.: R51933, R51934, R51935

Pre-Application Meeting Requirements:

It is required that a pre-application meeting be held with a Staff Planner prior to submitting most applications for planning entitlements and permits. The purpose of the pre-application meeting is to expedite application processing by enabling staff to work with the applicant to assure that the officially submitted application materials are in the proper format and that the applicant understands the City of Rocklin's goals, policies, and ordinances that may affect the project. A copy of these and other planning provisions is available at the applicant's request.

Generally, two sets of preliminary plans and a written description of the proposed project should be brought with the applicant to the pre-application meeting. To schedule this meeting, please contact a Staff Planner at the Rocklin Community Development Department by calling (916) 625-5160.

6/10/2022

DATE OF PRE-APPLICATION MEETING: _____

THIS APPLICATION IS FOR THE FOLLOWING ENTITLEMENTS: (CHECK APPROPRIATE SQUARES)

- | | | |
|---|--|--|
| <input type="checkbox"/> General Plan Amendment (GPA)
Fee: | <input type="checkbox"/> Tentative Subdivision Map (SD)
Fee:) | <input checked="" type="checkbox"/> Use Permit (U)
<input type="checkbox"/> Minor (PC Approval – New Bldg) Fee:
<input type="checkbox"/> Minor (PC Approval – Existing Bldg) Fee:
<input type="checkbox"/> Major (CC Approval) Fee: |
| <input type="checkbox"/> BARRO Zone Application (BZ)
Fee: | <input type="checkbox"/> Tentative Parcel Map (DL)
Fee: | <input type="checkbox"/> Variance (V)
Fee: |
| <input type="checkbox"/> Rezone (Reclassification) (Z)
Fee: | <input type="checkbox"/> Design Review (DR)
Commercial Fee:
Residential Fee:
Signs Fee: | <input type="checkbox"/> Oak Tree Preservation Plan Permit
Planning Commission Fee:
City Council Fee: |
| <input checked="" type="checkbox"/> General Development Plan (PDG)
Fee:
NOTE: Not Required; Withdrawn | | <input type="checkbox"/> Modification to Approved Projects
Fee: |
| <input checked="" type="checkbox"/> Concurrent Application (2 or more entitlements)
Fee: | | |

File Number _____

- | | | |
|--|--|--|
| Environmental Requirements:
(STAFF) | <input type="checkbox"/> Exempt -
<input type="checkbox"/> Negative Declaration - | <input type="checkbox"/> Mitigated Negative Declaration -
<input type="checkbox"/> EIR – See Fee Schedule |
|--|--|--|

UNIVERSAL APPLICATION FORM (CONT.)

GENERAL PLAN DESIGNATION: Existing: <u>PD-Comm</u> Proposed: <u>PD-Comm</u>	PROPERTY DATA: For retail portion only Acres: <u>18.17 +/-</u> Square Feet: <u>791,485 +/-</u> Zoning: Existing: <u>PD-C</u> Proposed: <u>PD-C</u>	UTILITIES: <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%; text-align: left; padding-bottom: 5px;">EXISTING</th> <th style="width: 50%; text-align: left; padding-bottom: 5px;">PROPOSED</th> </tr> </thead> <tbody> <tr> <td><input checked="" type="checkbox"/> Pub. Sewer</td> <td><input checked="" type="checkbox"/> Pub. Sewer</td> </tr> <tr> <td><input type="checkbox"/> Septic Sewer</td> <td><input type="checkbox"/> Septic Sewer</td> </tr> <tr> <td><input checked="" type="checkbox"/> Pub. Water</td> <td><input checked="" type="checkbox"/> Pub. Water</td> </tr> <tr> <td><input type="checkbox"/> Well Water</td> <td><input type="checkbox"/> Well Water</td> </tr> <tr> <td><input checked="" type="checkbox"/> Electricity</td> <td><input checked="" type="checkbox"/> Electricity</td> </tr> <tr> <td><input checked="" type="checkbox"/> Gas</td> <td><input checked="" type="checkbox"/> Gas</td> </tr> <tr> <td><input checked="" type="checkbox"/> Cable</td> <td><input checked="" type="checkbox"/> Cable</td> </tr> </tbody> </table>	EXISTING	PROPOSED	<input checked="" type="checkbox"/> Pub. Sewer	<input checked="" type="checkbox"/> Pub. Sewer	<input type="checkbox"/> Septic Sewer	<input type="checkbox"/> Septic Sewer	<input checked="" type="checkbox"/> Pub. Water	<input checked="" type="checkbox"/> Pub. Water	<input type="checkbox"/> Well Water	<input type="checkbox"/> Well Water	<input checked="" type="checkbox"/> Electricity	<input checked="" type="checkbox"/> Electricity	<input checked="" type="checkbox"/> Gas	<input checked="" type="checkbox"/> Gas	<input checked="" type="checkbox"/> Cable	<input checked="" type="checkbox"/> Cable
EXISTING	PROPOSED																	
<input checked="" type="checkbox"/> Pub. Sewer	<input checked="" type="checkbox"/> Pub. Sewer																	
<input type="checkbox"/> Septic Sewer	<input type="checkbox"/> Septic Sewer																	
<input checked="" type="checkbox"/> Pub. Water	<input checked="" type="checkbox"/> Pub. Water																	
<input type="checkbox"/> Well Water	<input type="checkbox"/> Well Water																	
<input checked="" type="checkbox"/> Electricity	<input checked="" type="checkbox"/> Electricity																	
<input checked="" type="checkbox"/> Gas	<input checked="" type="checkbox"/> Gas																	
<input checked="" type="checkbox"/> Cable	<input checked="" type="checkbox"/> Cable																	
Dimensions: <u>irregular</u> No. of Units: <u>11 bldgs</u> Building Size: <u>94,500 sf total</u> Proposed Parking: <u>659</u> Required Parking: <u>544</u> Access: <u>public streets-Whitney Ranch Parkway and University Avenue</u>																		

PROJECT REQUEST: Application requests a planned general development and design review. See separate project description for details.

(Example: Request for approval of design review to construct a 10,000 square foot office building on 1.5 acres)

NOTE: Annexations, Lot Line Adjustments, and Rocklin Ranch Industrial Park Specific Plan Use Permits require special application forms and additional submittal information available from the Planning Division.

UNIVERSAL APPLICATION FORM (CONT.)

PLEASE PRINT OR TYPE:

UKI Rocklin LLC

NAME OF PROPERTY OWNER: _____

ADDRESS: _____
2484 Natomas Park Drive Suite 101

CITY: _____ Sacramento STATE: _____ CA ZIP: _____ 95833

PHONE NUMBER: _____ (916) 273-4020

EMAIL ADDRESS: _____ rcole@colepartners.com

FAX NUMBER: _____



SIGNATURE OF OWNER

(Signature Authorizing Application; provide owner's signature letter if signature is other than property owner.)

NAME OF APPLICANT _____ RSC Engineering, Inc.
(If different than owner): _____

CONTACT: _____ Tiffany Wilson

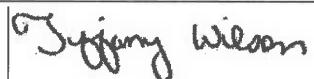
ADDRESS _____ 1420 Rocky Ridge Drive, Suite 150

CITY: _____ Roseville STATE: _____ CA ZIP: _____ 95661

PHONE NUMBER: _____ (916) 788-2884

EMAIL ADDRESS: _____ t.wilson@rsc-engr.com

FAX NUMBER: _____



SIGNATURE OF APPLICANT

AGENT AUTHORIZATION FORM

Property owners desiring to authorize individuals to represent them in conjunction with any application or matter before the City shall provide written authorization using this form. A separate form shall be used for each individual or firm authorized, and shall specifically note any restrictions upon the authorized person.

Project Name:	Whitney Ranch Retail
Location:	SWC Whitney Ranch Parkway and University Avenue
Assessors Parcel Number(s): 017-087-001, 002 for retail portion and 003, 004 & 007 for overall	
Entitlements for which authorization is applicable (use permit, variance, tentative map, etc.): General Development Plan and Design Review	
Name of person and / or firm authorized to represent property owner (Please print): RSC Engineering, Inc. c/o Tiffany Wilson	
Address (Including City, State, and Zip Code): 1420 Rocky Ridge Drive, Suite 150 Roseville, CA 95661	
Phone Number: (916) 788-2884	
Fax Number:	
Email Address: t.wilson@rsc-engr.com	
The above named person or firm is authorized as: <input checked="" type="checkbox"/> Agent (<input checked="" type="checkbox"/>) Buyer (<input type="checkbox"/>) Lessee (<input type="checkbox"/>)	
The above named person or firm is authorized to (check all that are applicable): <input checked="" type="checkbox"/> File any and all papers in conjunction with the aforementioned request, including signing the application <input type="checkbox"/> Speak on behalf of and represent the owner at any Staff meeting and/or public hearing. <input type="checkbox"/> Sign any and all papers in my stead, with the exception of the application form.	
The duration and validity of this authorization shall be: <input type="checkbox"/> Unrestricted <input checked="" type="checkbox"/> Valid until: entitlement approval	
Owners Authorization Signature & Date:  January 10, 2023	
Owners Name (Please Print): UKI Rocklin LLC	
Owners Address (Including City, State, and Zip Code): 2484 Natomas Park Drive Suite 101 Sacramento, CA 95833	
Phone Number: (916) 273-4020	
Email Address: rcole@colepartners.com	

AGENT AUTHORIZATION FORM

Property owners desiring to authorize individuals to represent them in conjunction with any application or matter before the City shall provide written authorization using this form. A separate form shall be used for each individual or firm authorized, and shall specifically note any restrictions upon the authorized person.

Project Name:	Whitney Ranch Retail	
Location:	SWC Whitney Ranch Parkway and University Avenue	
Assessors Parcel Number(s):	017-087-002	
Entitlements for which authorization is applicable (use permit, variance, tentative map, etc.): Design Review, conditional use permit		
Name of person and / or firm authorized to represent property owner (Please print): RSC Engineering, Inc. c/o Tiffany Wilson Cole Partners c/o Rob Cole		
Address (Including City, State, and Zip Code): 1420 Rocky Ridge Drive, Suite 150 2484 Natomas Park Drive Suite 101 Roseville, CA 95661 Sacramento, CA 95833		
Phone Number:	(916) 788-2884	(916) 273-4020
Fax Number:		
Email Address:	t.wilson@rsc-engr.com	rcole@colepartners.com
The above named person or firm is authorized as: Agent (<input checked="" type="checkbox"/>) Buyer (<small>DocuSigned by: <i>Mark Engstrom</i></small>) Lessee (<input type="checkbox"/>)		
The above named person or firm is authorized to (check all that are applicable): (<input checked="" type="checkbox"/>) File any and all papers in conjunction with the aforementioned request, including signing the application (<input type="checkbox"/>) Speak on behalf of and represent the owner at any Staff meeting and/or public hearing. (<input type="checkbox"/>) Sign any and all papers in my stead, with the exception of the application form.		
The duration and validity of this authorization shall be: (<input type="checkbox"/>) Unrestricted (<input checked="" type="checkbox"/>) Valid until: entitlement approval		
Owners Authorization Signature & Date: <small>DocuSigned by:</small> <i>Mark Engstrom</i> 4/19/2023		
Owners Name (Please Print): El Macero Partners, LLC		
Owners Address (Including City, State, and Zip Code): 837 Jefferson Blvd West Sacramento, CA 95691		
Phone Number: 415-987-9044		
Email Address: callie@epropcinc.com		

NOTIFICATION OF OWNERS OF MINERAL RIGHTS

Government Code section 6509a(a)(2) states that if the Subdivision Map Act requires notice to be given pursuant to Section 65091, in addition to noticing the surrounding property owners, notice must also be given to anyone who has filed with the County recorder's office a "notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code" on the subject property.

Therefore, mailing labels must be provided with this application for any owner of a mineral right pertaining to the subject real property who has recorded a notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code (Subdivision Map Act Section 65091(a)(2)).

See page 24 of this application for instructions on how to submit mailing labels.

Section 65091(a)(2)

"(2) When the Subdivision Map Act (Div. d 9commencing with Section 66410)) requires notice of a public hearing to be given pursuant to this section, notice shall also be given to any owner of a mineral right pertaining to the subject property who has recorded a notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code."

There **are / are not** (circle one) owner(s) of record of preserved mineral rights on the subject property and I, UKI Rocklin LLC, the applicant or applicant's representative, **have / have not** (circle one) provided the name and mailing address of record for any and all owners of mineral rights pursuant to Section 883.230 of the Civil Code.


Signature

January 10, 2023
Date

**STATE OF CALIFORNIA
DEPARTMENT OF FISH AND GAME
FILING FEES**

In 1990, the State adopted a fee pursuant to AB 3158 for the review of environmental documentation by the State Department of Fish and Game. Subsequently, in 1991, the fees were challenged. Then, in June 1995, the Department of Fish and Game instructed the jurisdictions to stop collecting fees. Following a great deal of court action and in a memorandum dated February 26, 1996, the State Clearinghouse, Office of Planning and Research, stated that the fees must again be collected.

On September 29, 2006, Senate Bill 1535 was passed increasing the amounts of filing fees collected by the Department, and requires the Department to adjust the fees annually pursuant to Fish and Game Code Section 713.

As of January 1, 2020, State law requires all applicants who have a Notice of Determination filed for a Negative Declaration to pay a \$2,406.75 fee and those with a Notice of Determination for an Environmental Impact Report to pay a \$3,343.25 fee. Both types must pay an additional \$50.00 administrative fee making the total fees \$2,456.75 and \$3,393.25 respectively. Applicants whose projects require the filing of a Notice of Exemption will need to pay a \$50.00 administrative fee. The City will notify each applicant which of the fees must be paid.

PLEASE NOTE: Effective January 1, 2008, the fee exemption for projects determined to have a *De Minimis Impact Finding* has been eliminated. (Section 711.4 Fish and Game Code).

The Fish and Game filing fee must be paid prior to the filing of the Notice of Determination with the County Clerk. Since the CEQA law requires a Notice of Determination to be filed with the County within 5 days of an action by the City, all applicants must remit to the City the necessary fee amount *no later than* the day of the final scheduled public hearing for the proposed project.

PLEASE MAKE ALL CHECKS PAYABLE TO PLACER COUNTY.

If you have any questions regarding this matter, please do not hesitate to contact the Planning Department at (916) 625-5160. Upon review of the above, please sign and return this document with your application.

I, UKI Rocklin, LLC, the applicant or applicant's representative, have read the information above and understand its meaning.

Bowdole

January 10, 2023

Signature

Date

HAZARDOUS WASTE AND SUBSTANCES STATEMENT

Pursuant to California Government Code Section 56962.5, I have consulted the Hazardous Waste and Substances Sites List (Cortese List), consolidated by the State of California, Environmental Protection Agency and find that;

The project, including any alternatives, _____ is, is not (check which applies) located on a site which is included on the Hazardous Waste and Substances Sites List (Cortese List). If on the list, provide the following information:

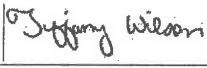
Regulatory identification number: _____ Date of list: _____

Type of problem: _____

I declare under penalty of perjury of the laws of the State of California that the foregoing is true and correct.

01/10/2023

Dated: _____

Applicant:  _____

RSC Engineering, Inc.

Applicants can verify this information by reviewing the Hazardous Waste and Substances Sites List (Cortese List), available for review at the City of Rocklin Planning Department counter, or at the California Department of Toxic Substance Control web site:
<http://www.calepa.ca.gov/SiteCleanup/CorteseList/default.htm>

MITIGATION FOR AIR QUALITY IMPACTS

The US Environmental Protection Agency (EPA) and the California Air Resources Board (CARB) have established air quality standards, referred to as the National Ambient Air Quality Standards (NAAQS) and the State Ambient Air Quality Standards (SAAQS) respectively. The federal Clean Air Act and State Clean Air Act both require that areas in violation of the ambient air quality standards adopt strategies to attain these standards. The Placer County Air Pollution Control District (APCD) has primary responsibility for planning and maintenance and/or attainment of air quality standards within Placer County. California is divided into 15 air basins for the purpose of monitoring air quality. Placer County is included in the Sacramento Valley Air Basin. Areas may be classified as attainment, non-attainment, or unclassified with regard to the adopted standards. The unclassified designation is assigned in cases where monitoring data is insufficient to make a definitive determination. Under the federal standards, all of Placer County, including Rocklin, is designated as non-attainment for ozone. All other pollutants are designated unclassified in Rocklin. Under the state standards, South Placer, including Rocklin, is designated as non attainment for ozone and PM10 and unclassified for hydrogen sulfide and visibility reducing particulate.

The project would have the following short-term construction impacts, if not mitigated:

- a. Construction activities, including grading, would generate a variety of pollutants, the most significant of which would be dust (PM10). This would exacerbate the existing PM10 non attainment condition if not mitigated.
- b. Construction equipment would produce short-term combustion emissions, and asphalt materials used for streets and driveways would produce pollutants during curing.

The mitigation measures listed below will reduce the short term impacts to less-than-significant. In the long-term, vehicle trips to and from the project site would generate Carbon Monoxide and ozone precursor emissions, thereby contributing to the non-attainment status of the local air basin. These incremental and cumulative adverse air quality impacts cannot be completely mitigated. However, these impacts were anticipated by the City of Rocklin General Plan, and were addressed through the 1991 Rocklin General Plan EIR and the North Rocklin Circulation and Traffic Study. Findings of overriding significance were adopted for the unmitigatable and unavoidable significant air quality impacts.

Therefore, I, as the applicant for the proposed project, agree that the mitigation measures listed below are incorporated as a part of my project description in order to mitigate for the short term impacts.

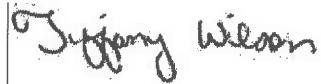
MITIGATION FOR AIR QUALITY IMPACTS (CONT.)

MITIGATIONS

1. The project shall conform with the requirements of the Placer County APCD.
2. Prior to commencement of grading, the applicant shall submit a dust control plan for approval by the City Engineer and the Placer County Air Pollution Control District. The plans shall specify measures to reduce dust pollution during all phases of construction.
3. Traffic speeds on all unpaved road surfaces shall be posted at 25 m.p.h. or less.
4. All grading operations shall be suspended when wind speeds exceed 25 m.p.h.
5. All trucks leaving the site shall be washed off to eliminate dust and debris.
6. All construction equipment shall be maintained in clean condition.
7. All exposed surfaces shall be revegetated as quickly as feasible.
8. If fill dirt is brought to the construction site, tarps or soil stabilizers shall be placed on the dirt piles to minimize dust problems.
9. Apply water or dust palliatives on all exposed earth surfaces as necessary to control dust. Construction contracts shall include dust control treatment as frequently as necessary to minimize dust.
10. Construction equipment shall be properly maintained and tuned.
11. Utilize low emission mobile construction equipment where possible.
12. Open burning of vegetative material is prohibited.

RSC Engineering, Inc.

Applicant's Name (printed)



01/10/2023

Applicant's Signature

Date



City of Rocklin

Planning Division

3970 Rocklin Road

Rocklin, California 95677

Phone (916) 625-5160 FAX (916) 625-5195

ENVIRONMENTAL INFORMATION SHEET

(To be completed by applicant)

SWC Whitney Ranch Parkway and University Avenue

LOCATION OF PROJECT (ADDRESS)

ASSESSORS PARCEL # 017-087-001, 002 for retail portion and 003, 004 & 007 for overall

Whitney Ranch Retail

NAME OF PROJECT

RSC Engineering, Inc.

CONTACT/APPLICANT

ADDRESS 1420 Rocky Ridge Drive, Suite 150
Roseville, CA 95661

PHONE (916) 788-2884

EMAIL t.wilson@rsc-engr.com

Project Description - Describe in detail. Add separate sheet if necessary.
see separate project description.

Property size: 2,281,161 +/- overall
791,485 +/- retail only

52.368 +/- ac overall 18.17 +/- ac. for retail portion

Land Use: Square Feet
RC & BP
Existing

Acres
RC & BP overall; RC for retail portion
Proposed

RELATED PROJECTS: If this project is a part or portion of a larger project, describe the previous project by name, general development plan number, or other project identification.
Placer Creek Corporate Center Parcel Map; University Avenue widening

PREVIOUS ENVIRONMENTAL DOCUMENTS: If this project is part of a larger project for which a negative declaration or an environmental impact report has been prepared and certified, reference the document below. Include the date and SCH#, if possible:

OTHER REQUIRED PERMITS OR APPROVALS:

Permit or Approval	Agency	Address	Contact Person/Phone
Building, Sitework, Fire	City of Rocklin		
NPDES-State of CA	Sewer-SPMUD	Water-PCWA	

PREVIOUS LAND USES: Describe existing and previous land uses of the site for the last 10 years or more:
vacant

SITE CHARACTERISTICS

1. What natural features (trees, rock outcroppings etc.) presently exist on the site?
void of vegetation

2. What are the surrounding land uses?
future
East apartments West Highway 65 Whitney Ranch Parkway vacant future BP/Comm

North _____ South _____

3. Is the project proposed on land which contains fill or a slope of 10% or more? Yes

4. Are there any existing erosion problems? No

5. Is the site on expansive soils (as defined in Table 18 of the UBC) or immediately adjoining an area subject to slides, liquefaction, slope instability or other related hazards? No
If so, describe in detail, or refer to attached soils report.

6. Grading, excavating or filling activities - Quantity of cubic yards to be:

a. Moved within the site 154,000 +/- CY from property to the south to retail portion of the property

b. Deposited on the site _____

c. Removed from the site _____

Disposal site _____

7. Are there any streams or permanent water courses on the site? No
Describe _____

8. Will the proposed project change drainage patterns or the quality of groundwater?
If so explain. If not, why not. No

9. Will the project affect any drainage channel, creek, pond or any other water body?
Describe below: No

10. Is any portion of the property located in a flood plain? No
If so describe _____

11. Are there any jurisdictional wetlands or vernal pools on the site? If so how will they be impacted by the project? None onsite. Wetland preserves are protected adjacent to the site
12. Are there any trees or shrubs on the project site? No
What types? _____
Are any to be removed or transplanted? _____
State the location of transplant site: _____
State the number & species to be removed: _____
13. Will the project affect the habitat of any endangered, threatened, or other special status species? No

14. Will the project result in any new noise source, or will it place new residents in an area of high traffic noise or noise from any other source? No
15. What type of equipment will be associated with the project during construction?
typical construction equipment

During permanent operation? HVAC

16. Describe any air pollutants, other than vehicle exhaust, which would be generated by this project, both during and after construction. Dust particulates are considered pollutants.
HVAC

17. Will the project produce new sources of dust, ash, smoke, fumes or objectionable odor? If yes, describe the source of the emission, methods to control emissions and means of mitigating those effects on adjacent properties: typical construction emissions to be mitigated through City ordinance
18. Will the project create any new light source, other than street lighting? If yes, describe below:
parking lot and pedestrian lights

19. Is this property covered by a Williamson Act contract? No
20. Has this property ever been used for agricultural purposes? Yes If so, for what purpose and when?

21. Does the project involve the use of routine transport or disposal of hazardous materials?
fuel trucks to deliver fuel to gas station

22. Are there any known mineral resources of value to the region and the residents of the state located on the site? If so, what types? No
Whitney High School approx 2,350' northeast
23. How close is the nearest school? _____

based on 18.17 acre retail portion only

24. PROPOSED BUILDING CHARACTERISTICS (BOTH RESIDENTIAL AND NON-RESIDENTIAL)

Size of new structure(s) or addition in gross square feet: 94,500 sf

Building height measured from ground to highest point in feet: 20' - 40' max

Number of floors/stories: one

Height of other appurtenances (antennas, steeples, mechanical equipment, etc.) measured from ground: n/a - all mechanical is screened behind parapets or mechanical screens

Project site coverage: Building 94,500 +/- sq.ft. 12% %

Landscaping 182,000 +/- sq.ft. 23% %

Paving 515,000 +/- sq.ft. 65% %

Exterior building materials: Cement plaster, metal, resysta lap siding, glass

Exterior building colors: use of neutral base colors with bold accents

Wall and/or fencing material: CMU

Total number of off-street parking spaces required: 544 Provided: 659

Total number of bicycle parking spaces: 33 bicycle racks & 33 bicycle lockers

25. Is there any exposed mechanical equipment associated with the project? Yes

Location and screening method Parapet for roof mounted equipment or landscaping
for ground mounted equipment

26. RESIDENTIAL PROJECTS

Total lots _____ Total dwelling units _____

Density/acre _____ Total acreage _____

	Single Family	Two Family	Multi-Family (More than 2 units)
Number of Units			
Size of lot/unit			
Studio			
1 Bedroom			
2 Bedroom			
3 Bedroom			
4+ Bedroom			

27. RETAIL, COMMERCIAL, INDUSTRIAL, INSTITUTIONAL OR OTHER PROJECT

Type of use(s): retail, restaurant, drive thru, gas station, supermarket

Oriented to: Regional _____ City Neighborhood _____

Hours of operation: tbd

Total occupancy/Building capacity: tbd

Gross floor area: 94,500 sf Number of fixed seats: tbd

Number of employees (total): tbd Employees per shift: tbd Number of Shifts tbd

Number of visitors/customers on site at busiest time (best estimate): tbd

Other occupants (specify): tbd

ALL PROJECTS

28. Approximately how many tons of solid waste will the project produce each year? tbd

29. Will the proposed use involve any toxic or hazardous material? No
Is the project site within 2,000 feet of an identified hazardous/toxic site? No
Is the project site within 2,000 feet of a school or hospital? No
If the project involves any hazardous material, explain: _____

30. How many new residents is the project estimated to generate? N/A
31. Will the project generate a demand for additional housing? No
32. What is the current and estimated number of motor vehicles to arrive at the site as a result of the project? a traffic study is being prepared
33. Could the project increase traffic hazards to motor vehicles, bicyclists or pedestrians? No
If yes, explain _____

34. How close is the project to the nearest public park or recreation area? 1,850' east
none, not residential
35. What school districts will be affected by this project? _____
36. Describe energy-efficient features included in the project. will meet Title 24 requirements

37. Describe how the following services or utilities will be provided:
Power and Natural Gas PG&E
Telephone AT&T
Water PCWA
Sewer SPMUD
Storm Drainage City of Rocklin
Solid Waste Auburn Recology
38. Will the project block any vista or view currently enjoyed by the public? No
39. Are there any known historic or significant building features on or near the site? If so, will the project result in any impact to the building? No
40. Are there any archaeological features on the site? No If so, will the project result in any impact to these features? _____

- _____
- _____
- _____
- _____

Rocklin – Whitney Ranch Shopping Center

Project Description

Updated April 24, 2023

Introduction

Whitney Ranch Shopping Center (“Whitney Ranch” or “Ranch”) is designed to provide a high-quality, Nugget Markets grocery-anchored commercial project in the Northwest Rocklin Area and University District of the City of Rocklin.

The initial phase of this commercial project contains 10 buildings totaling an approximately 94,500 square feet, and occupies an approximately 18-acre area on the southwest corner of Whitney Ranch Parkway and University Avenue in the University District area of Rocklin, CA. This location is ideal for commercial-retail uses due to its easy access to/from the Highway 65 freeway and proximity to nearby residential, to include the fast-growing community of Whitney Ranch. As designed, the eastern portion of the retail center will feature Nugget Markets and retail shop spaces within a series of five buildings. The western portion of the center will be more highway-commercial oriented, with anticipated single tenant uses such as a possible gas station, fast food or quick serve restaurants, and others.

Background

Whitney Ranch is part of the larger, 120-acre Placer Creek Community Development site. It was acquired by the current ownership group in 2008 and originally envisioned as a large-scale retail and office park/corporate campus located at the gateway of the historic Whitney Ranch area and University District. Previously completed projects at Placer Creek include Ansel Park Senior Living and Woodside Home’s Spring Valley subdivision. Also, the planned 10-acre Placer Creek Apartments project located on the southeast corner of Whitney Ranch Parkway and University Avenue was approved in December 2022.

Architecture

The architectural theme at Ranch is “modern agrarian.” Building architecture very intentionally blends a modern look as directed within University District guidelines, which is inspired by the Frank Ghery-designed building formerly part of the Herman Miller factory, now the central building of the William Jessup University campus; while also taking agrarian visual cues intended to reflect the historic Whitney Ranch area (Spring Valley Ranch), a small portion on which the retail center is being constructed.

In an effort to create a sense of place that fits within the University District and connects to the rich history of Whitney Ranch, forms reminiscent of agrarian architecture are used to shape the Ranch’s anchor building for Nugget Market and the surrounding retail pad buildings. Though portions of the building architecture take cues from traditional forms such as gables and low slopes, an emphasis is placed on simplicity and minimal ornamentation. Visual interest is created in each of the buildings through varying massing and parapet profiles, use of metal

accent panels, strategically located pops of bold color and expressed structural elements. These types of exterior architectural features not only accentuate each building's form but helps distinguish interior functional space. Many corners of the buildings are also articulated with towers to highlight entries and provide visual wayfinding to points of interest.

The building architecture also responds to views to and from the site. With Nugget Market at the center of the site and retail pads defining the street edge, each building is designed for 4-sided articulation, sharing common architectural features and materials. Each building is accompanied by adjacent flatwork providing typical access needs to plazas with gathering spaces. Expressed steel structures are used in plazas, walkways and drive-throughs as space definers, wayfinding cues and arbors. These site structures relate to expressed steel elements also incorporated into many of the building designs to further unify the overall Whitney Ranch retail center.

In conjunction with the grocery store operation, Nugget requests a Conditional Use Permit for approximately 300 s.f. of outdoor merchandise display under the roof of their main entry canopy, as depicted on sheet A2.1. In addition, Nugget proposes seasonal outdoor barbequing on the north sidewalk labeled "Outdoor Display". Also, Nugget proposes to utilize moveable chairs and tables outdoors on the adjacent concrete for on-site food consumption: the areas are approximately 685 s.f. along the east elevation and 200 s.f. at the north elevation. These proposed locations as likewise depicted on sheet A2.1.

The conditional use permit request will also propose a deviation from the 30' maximum building height in the PD-C zone. The Nugget tower is 40 feet and other ridge line heights on Nugget are approximately 36 feet above finish floor. Also Pad 2C has a corner tower with a ridge line height of 36 feet above finish floor. Due to the scale of the buildings, the proposed tower and ridge heights are necessary to promote visual hierarchy and relate to the overall scale of the building.

Landscape

The overall landscape concept of the shopping center is to create a consistent treatment of all landscaped areas with high quality outdoor environments and amenity areas.

The Landscape design shall reinforce the distinct character of the shopping center, using uniform palette of accent, shade, subordinate and screen trees, each with a distinct function and contrasting form with a deliberate use of limited long-lived plant species. Landscape treatment of all areas shall emphasize the planting of tree-shaded open space. Landscape improvements shall require minimal maintenance and irrigation, and the use of low water use plant materials shall be maximized.

A key landscape design element we have integrated into the center is the use of date palm trees at three of the five vehicular entrances, as well as at a Highway 65-oriented art/signage node located at the west side of the center. The use of date palms is a historical reference to their use at the Whitney family's Spring Valley Ranch and other ranches in Placer County in the late

1800s and early twentieth century. These trees were used as wayfinding tools so that travelers could identify roads and intersections from a distance. There are a number of palms located throughout Placer County that are registered as historic for this reason.

The overall landscape coverage is 23%. The parking lot shading coverage is 50.6%. Details regarding project landscaping can be found on the Preliminary Landscape Plans.

Enhanced corner feature

The southwest corner of Whitney Ranch Parkway and University Avenue will be a primary focal point of the center. Enhanced landscaping and palms will flank an 8 to 10-foot tall, oversized replica of a branding iron with the letters “W-R” for Whitney Ranch. From the corner, pedestrians can enter the center via an access ramp that would run alongside a terraced amphitheater-style seating area that leads to a lower patio that would also serve as outdoor seating for select tenant spaces located within the adjacent 14,000 square foot building.

Art

A variety of art will be located throughout the center. A number of the pieces will be practical/functional. Proposed art includes:

- “W-R” Brand – 8 to 10 feet tall. One located at the SWC of Whitney Ranch Parkway at University Ave, the other on the west side of the center, facing Highway 65 and the northbound Whitney Ranch Parkway offramp.
- L-Shaped Steel Arbor Beams – 8 to 9 feet tall and located along certain pedestrian walkways. Reflective of modern takes on the agrarian theme, these will also provide shade and visual relief.
- Fruit Bearers – The Nugget fruit-bearers, which are only located at select Nugget locations, will flank either side of the store’s entry.
- Murals – Murals designed in reference to Whitney Ranch and Spring Valley, to include an image of Mrs. Helen Beryl Whitney when she was featured on the 1906 cover of Sunset Magazine as a promotion of the Placer Citrus Colony.
- Tractor – A metalwork tractor is contemplated adjacent to the Nugget’s primary entry.

Access, Drive Aisles and Parking

The project will provide approx. 657 parking spaces including accessible, compact, and electric vehicle spaces. The electric vehicle spaces and bicycle racks will meet the current CalGreen/Title 24 code. Drive isles in the parking areas are landscaped with regularly spaced planters that contain shade trees.

A traffic signal is proposed at the southern access point that will be shared with the remainder of the property to the south. Two additional right-in and -out driveways are proposed along University Avenue further north. A right-in and -out is proposed on Whitney Ranch Parkway past the Caltrans property/right of way.

Pedestrian connections are proposed to Whitney Ranch Parkway and University Avenue at each driveway. Internal connections are proposed to all buildings with enhancements at the main driveway in front of Nugget Market. Pedestrian access is also proposed two locations from the existing SPMUD easement that parallels a portion of Whitney Ranch Parkway, Highway 65 and continues south to around Ansel Park Senior Living and connects to University Avenue, at the south end of larger Placer Creek site.

Grading and Utilities

The existing topography necessitates the requirement for using retaining walls to provide the vertical relief needed to support the proposed project site. Retaining walls are currently proposed along the eastern boundary, behind the buildings fronting University Avenue as well as on the western boundary.

The grading for the project will extend south of the proposed site improvements limits to provide an overall earthwork balance for this project and future projects located to the south and southwest.

Connections will be made to the existing water lines on University Ave to provide an onsite public water system to serve the project. An existing stub is located at the northern half of the site, and a new connection will be made to the existing system at the south end of the site.

The proposed onsite sanitary sewer system serving the new buildings will connect to the existing trunk sewer line at the north end of the project site by way of a new manhole at the connection point. The point of connection is located within the access drive from Whitney Ranch Parkway and has been coordinated with SPMUD in advance of the submittal and as part of our process to prepare the preliminary Utility Plan. The existing stub located along the western boundary of the site is intended to be used by the future building(s) adjacent to and in close proximity of the existing stub.

A majority of the project storm runoff will be conveyed through a pipe system that connects to the existing storm drain system on University Avenue. A portion of the site storm drainage will be routed westerly to discharge overland towards the existing open space. The site stormwater quality will be achieved by way of stormwater planters and proprietary filtration devices.

Phasing

In order to achieve site balance, it will be necessary to mass grade the overall site (approximately 52 acres) ahead of the first project phase. We request the ability for the City to plan check the mass grading plans as well as the construction documents ahead of planning approvals in order to expedite the process. It is anticipated that the first phase of the project site will be constructing Building 2A (Nugget), the Whitney Ranch and University Avenue driveways and the associated parking, access aisles to/from the Nugget parking and building area. The sewer, storm, water

and other utilities under the main access drives, roadways as well as within the Nugget area will be necessary during the initial phase with allowances for pipe extensions to future phases of the overall project as it is developed. The remaining development may be construction concurrent with Phase 1 or as a future phase as tenants come in.

Signage

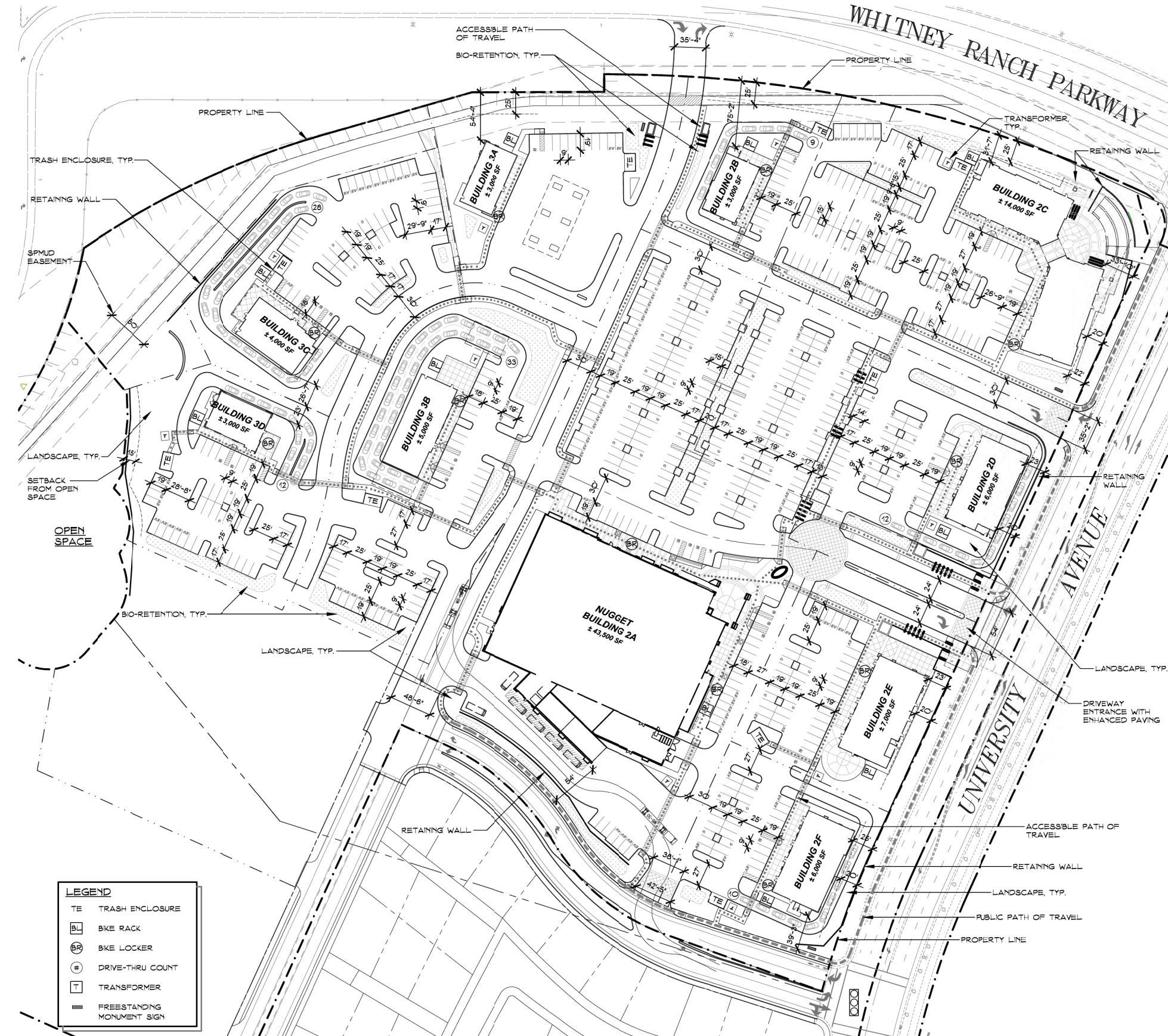
A master sign program is included with this project. Freestanding Signage designs including size, colors and materials and illumination are included in the Master Sign Program included with this re-submittal. The proposed Pylon sign is requested to be 70 feet maximum above grade to help provide equal visibility of all of the tenant signage panels from Highway 65.

Lot Line Adjustment and Parcel Map

A lot line adjustment and/or tentative parcel map will be submitted as a separate entitlement at a later date to create the parcels for the shopping center and is not a part of this project.

PROJECT INFO	
PROPERTY:	
ADDRESS:	WHITNEY RANCH PARKWAY & UNIVERSITY AVENUE
APN:	017-087-001 & 002
TOTAL SITE AREA:	±16.17 AC (±79,485 SF)
GROSS BUILDING AREA:	± 94,500 SF
TOTAL BUILDING LOT COVERAGE:	11.9%
CITY:	ROCKLIN, CALIFORNIA
JURISDICTION:	PLACER COUNTY
EXISTING GENERAL PLAN:	RC / BP
EXISTING ZONING:	PD-C
OCCUPANCY:	M / B / A-2
STORIES:	ONE
SITE FIRE PROTECTION:	WET SYSTEM HYDRANTS
FIRE PROTECTION:	CENTRALLY MONITORED
FULLY SPRINKLERED BUILDINGS AS REQUIRED BY CODE	

BICYCLE PARKING	
MAJOR 2A: MAJOR - RETAIL / GROCERY	
GROSS FLOOR AREA:	±43,500 SF
PARKING PROVIDED:	246
BIKE RACKS REQUIRED:	12
BIKE RACKS PROVIDED:	12
BIKE LOCKERS REQUIRED:	12
BIKE LOCKERS PROVIDED:	12
BUILDING 2B: RETAIL / FOOD-USE	
GROSS FLOOR AREA:	±3,000 SF
PARKING PROVIDED:	36
BIKE RACKS REQUIRED:	2
BIKE RACKS PROVIDED:	2
BIKE LOCKERS REQUIRED:	2
BIKE LOCKERS PROVIDED:	2
BUILDING 2C: RETAIL	
GROSS FLOOR AREA:	±14,000 SF
PARKING PROVIDED:	86
BIKE RACKS REQUIRED:	4
BIKE RACKS PROVIDED:	4
BIKE LOCKERS REQUIRED:	4
BIKE LOCKERS PROVIDED:	4
BUILDING 2D: RETAIL	
GROSS FLOOR AREA:	±6,000 SF
PARKING PROVIDED:	44
BIKE RACKS REQUIRED:	2
BIKE RACKS PROVIDED:	2
BIKE LOCKERS REQUIRED:	2
BIKE LOCKERS PROVIDED:	2
BUILDING 2E: RETAIL	
GROSS FLOOR AREA:	±7,000 SF
PARKING PROVIDED:	45
BIKE RACKS REQUIRED:	2
BIKE RACKS PROVIDED:	2
BIKE LOCKERS REQUIRED:	2
BIKE LOCKERS PROVIDED:	2
BUILDING 2F: RETAIL	
GROSS FLOOR AREA:	±6,000 SF
PARKING PROVIDED:	32
BIKE RACKS REQUIRED:	2
BIKE RACKS PROVIDED:	2
BIKE LOCKERS REQUIRED:	2
BIKE LOCKERS PROVIDED:	2
BUILDING 3A: CONVENIENCE STORE	
GROSS FLOOR AREA:	±3,000 SF
PARKING PROVIDED:	11
BIKE RACKS REQUIRED:	1
BIKE RACKS PROVIDED:	2
BIKE LOCKERS REQUIRED:	1
BIKE LOCKERS PROVIDED:	2
BUILDING 3B: QSR	
GROSS FLOOR AREA:	±5,000 SF
PARKING PROVIDED:	58
BIKE RACKS REQUIRED:	3
BIKE RACKS PROVIDED:	4
BIKE LOCKERS REQUIRED:	3
BIKE LOCKERS PROVIDED:	4
BUILDING 3C: QSR	
GROSS FLOOR AREA:	±4,000 SF
PARKING PROVIDED:	55
BIKE RACKS REQUIRED:	3
BIKE RACKS PROVIDED:	4
BIKE LOCKERS REQUIRED:	3
BIKE LOCKERS PROVIDED:	4
BUILDING 3D: QSR	
GROSS FLOOR AREA:	±3,000 SF
PARKING PROVIDED:	46
BIKE RACKS REQUIRED:	2
BIKE RACKS PROVIDED:	2
BIKE LOCKERS REQUIRED:	2
BIKE LOCKERS PROVIDED:	2
TOTAL GROSS BUILDING AREA: OVERALL: ±94,500 SF	



Site Plan

SCALE = 1" = 60'

PRELIMINARY SITE PLAN

Scale: 1" - 60'

0 30' 60' 120' 240'

A1.0



PERKINS, WILLIAMS & COTTERILL, INC.

ARCHITECTS

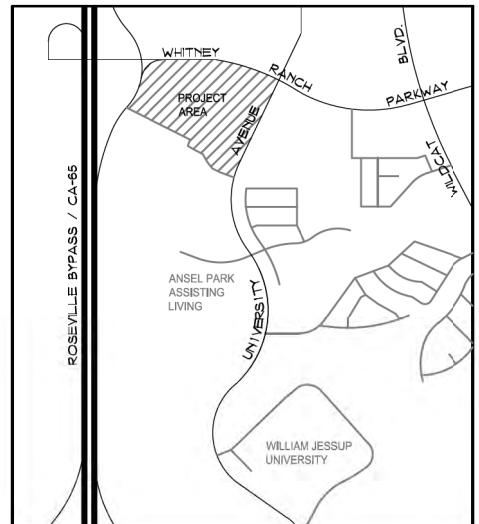
3320 Data Drive, Suite 200 • Rancho Cordova, California 95670

(916) 851-1408 F (916) 851-1408 E pwvarch@pwvarchitects.com

DATE: 04.12.23

PROJECT: 21-314

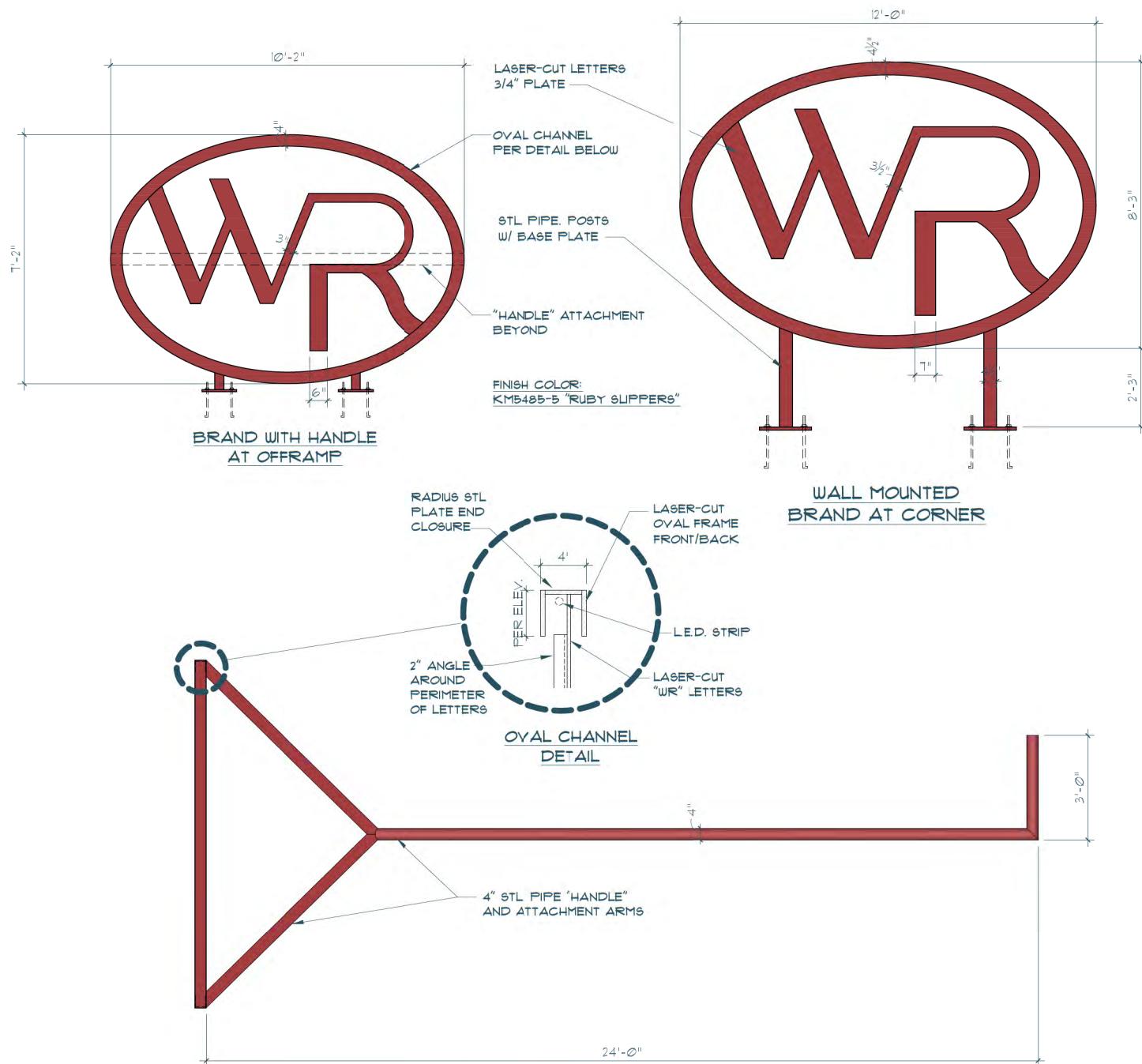
SHEET INDEX	
A1.0	SITE PLAN
A1.1	ART & PLACEMAKING
A1.2	STREET VIEWS
A1.3	SITE DETAILS
A2.1	PAD 2A - FLOOR & MEZZANINE PLAN
A2.2	PAD 2A - ROOF PLAN & SECTION
A2.3	PAD 2A - EXTERIOR ELEVATIONS
A2.4	PAD 2A - PERSPECTIVE VIEWS
A3.1	PAD 2B - PRELIMINARY FLOOR PLAN & SECTION A-A
A3.2	PAD 2B - PRELIMINARY ROOF PLAN & SECTION A-A
A3.3	PAD 2B - PRELIMINARY ELEVATIONS
A3.4	PAD 2B - PERSPECTIVE VIEWS
A4.1	PAD 2C - PRELIMINARY FLOOR PLAN
A4.2	PAD 2C - PRELIMINARY ROOF PLAN
A4.3	PAD 2C - PRELIMINARY ELEVATIONS
A4.4	PAD 2C - PRELIMINARY SECTION A-A
A4.5	PAD 2C - PERSPECTIVE VIEWS
A5.1	PAD 2D - PRELIMINARY FLOOR PLAN
A5.2	PAD 2D - PRELIMINARY ROOF PLAN & SECTION A-A
A5.3	PAD 2D - PRELIMINARY ELEVATIONS
A5.4	PAD 2D - PERSPECTIVE VIEWS
A6.1	PAD 2E - PRELIMINARY FLOOR PLAN
A6.2	PAD 2E - PRELIMINARY ROOF PLAN & SECTION A-A
A6.3	PAD 2E - PRELIMINARY ELEVATIONS
A6.4	PAD 2E - PERSPECTIVE VIEWS
A7.1	PAD 2F - PRELIMINARY FLOOR PLAN
A7.2	PAD 2F - PRELIMINARY ROOF PLAN & SECTION A-A
A7.3	PAD 2F - PRELIMINARY ELEVATIONS
A7.4	PAD 2F - PERSPECTIVE VIEWS
A8.1	PAD 3A - PRELIMINARY FLOOR PLAN
A8.2	PAD 3A - PRELIMINARY ROOF PLAN & SECTION A-A
A8.3	PAD 3A - PRELIMINARY ELEVATIONS
A8.4	PAD 3A - PERSPECTIVE VIEWS
A9.1	PAD 3B - PRELIMINARY FLOOR PLAN
A9.2	PAD 3B - PRELIMINARY ROOF PLAN & SECTION A-A
A9.3	PAD 3B - PRELIMINARY ELEVATIONS
A9.4	PAD 3B - PERSPECTIVE VIEWS
A10.1	PAD 3C - PRELIMINARY FLOOR PLAN
A10.2	PAD 3C - PRELIMINARY ROOF PLAN & SECTION A-A
A10.3	PAD 3C - PRELIMINARY ELEVATIONS
A10.4	PAD 3C - PERSPECTIVE VIEWS
A11.1	PAD 3D - PRELIMINARY FLOOR PLAN
A11.2	PAD 3D - PRELIMINARY ROOF PLAN & SECTION A-A
A11.3	PAD 3D - PRELIMINARY ELEVATIONS
A11.4	PAD 3D - PERSPECTIVE VIEWS
A12.1	COLORS AND MATERIALS - RETAILS PADS
A12.2	COLORS AND MATERIALS - NUGGET
A13.1	FREESTANDING SIGNAGE



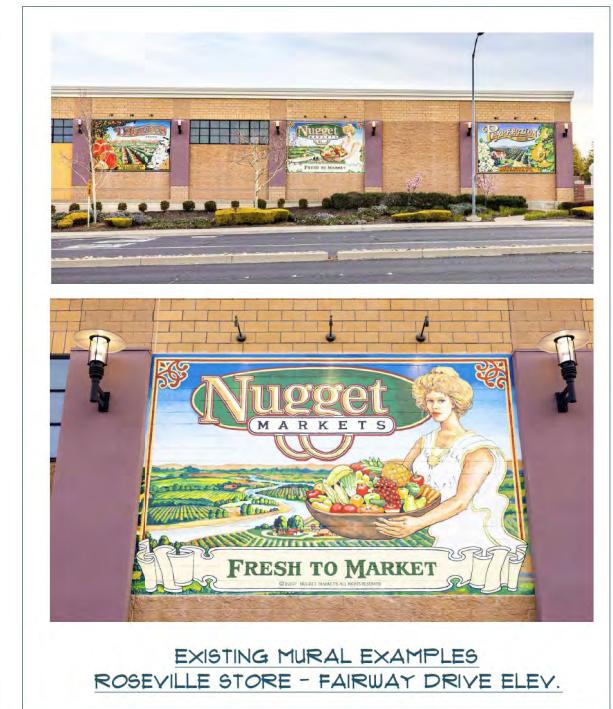
Vicinity Plan

SCALE = NTS

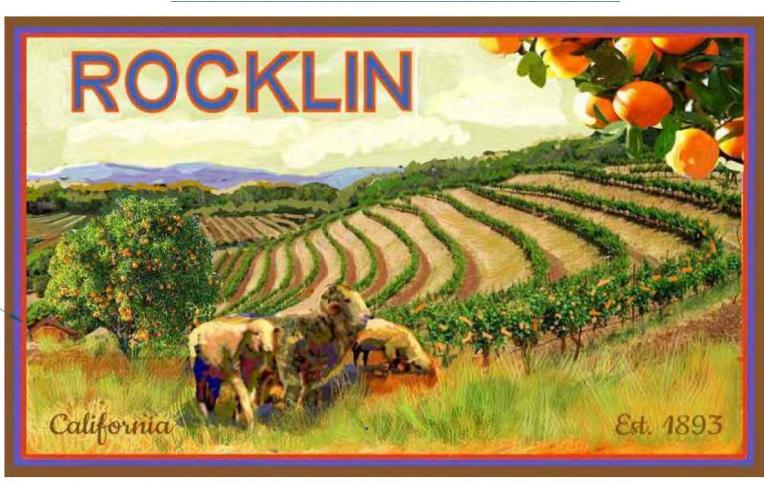




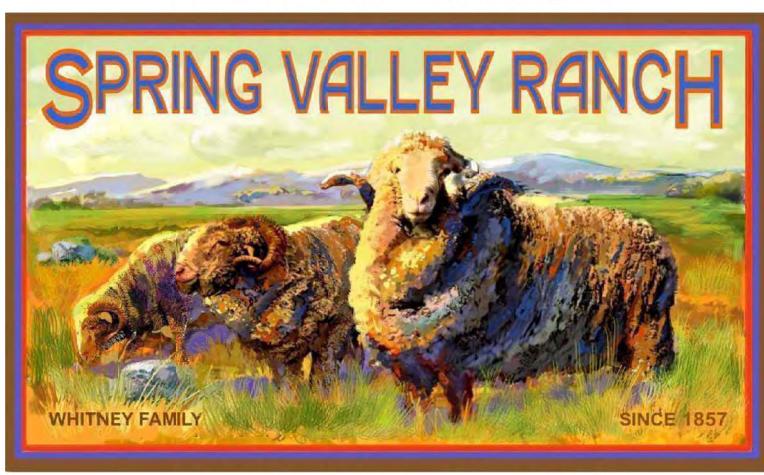
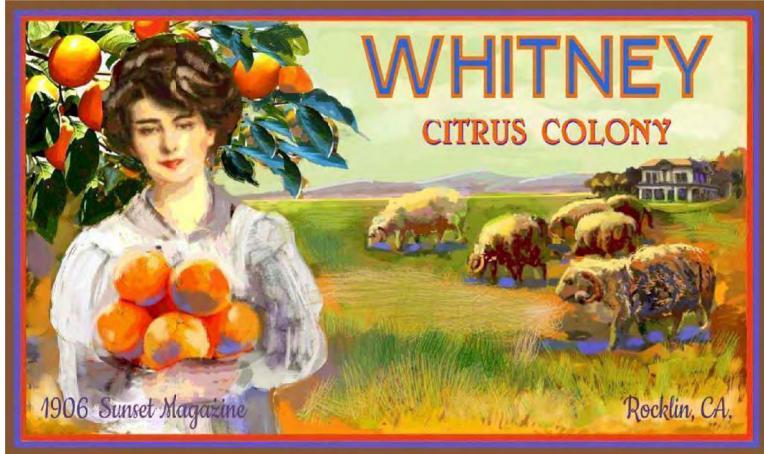
"BRAND" LOGOS

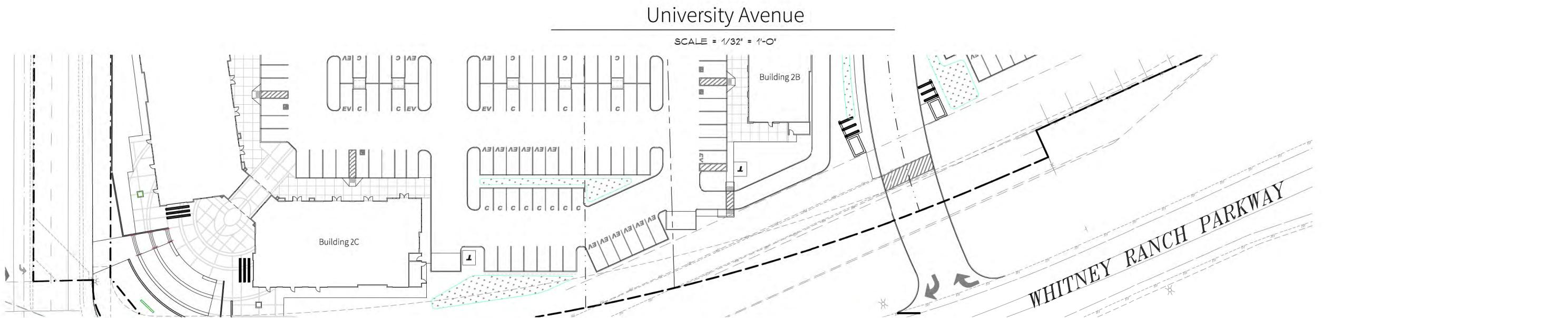
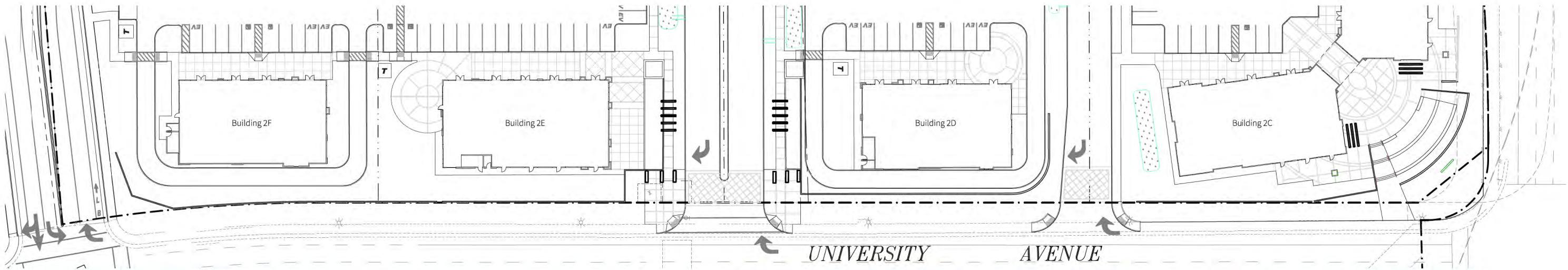


PROPOSED MURALS TO
BE PERMANENT, PAINTED
DIRECTLY ON PLASTER
BY LOCAL ARTIST



NUGGET ELEVATION MURALS





WHITNEY RANCH RETAIL
Rocklin, CA

STREET VIEWS

SHEET
A1.2

Scale: 1/32" - 1'-0"

COLE PARTNERS
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT
PERKINS, WILLIAMS & COTTERILL, INC.
ARCHITECTS
3320 Data Drive, Suite 200 • Rancho Cordova, California 95670
T (916) 851-1400 F (916) 851-1408 E pwarch@pwarchitects.com
DATE: 12.22.22
PROJECT: 21-314

INFO:
RAB LIGHTING
MODEL: VBR100DGB

EXTERIOR BUILDING
ACCENT LIGHT
Fixture



Nugget Light Fixture - Accent

NOT TO SCALE

INFO:
COOWEB
MODEL: OLDAGE 16'
VINTAGE BARN LIGHT
W/ CAGE

EXTERIOR BUILDING
ACCENT LIGHT
Fixture



Nugget Light Fixture - Exterior

NOT TO SCALE

INFO:
LANTERRA
MODEL: 9004

EXTERIOR BUILDING
ACCENT LIGHT
Fixture



Building Light Fixture - Accent

NOT TO SCALE

INFO:
INUIUE
MODEL: ECM/EMM

EXTERIOR BUILDING
WALL LIGHT FIXTURE
AND PEDESTRIAN
ACCENT POLE LIGHT



Accent Fixture - Site/Building

NOT TO SCALE

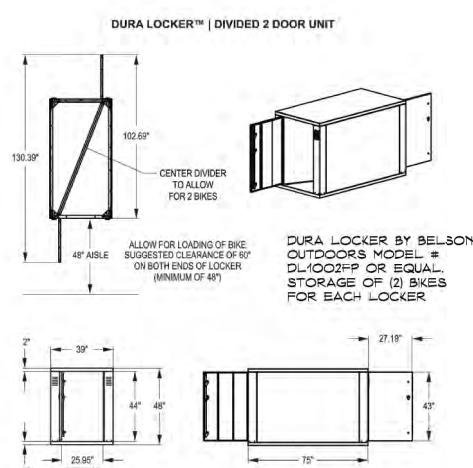
INFO:
ACUTY BRANDS
MODEL: LEGACY
D-SERIES AREA SIZE 1

SITE LIGHTING FIXTURE



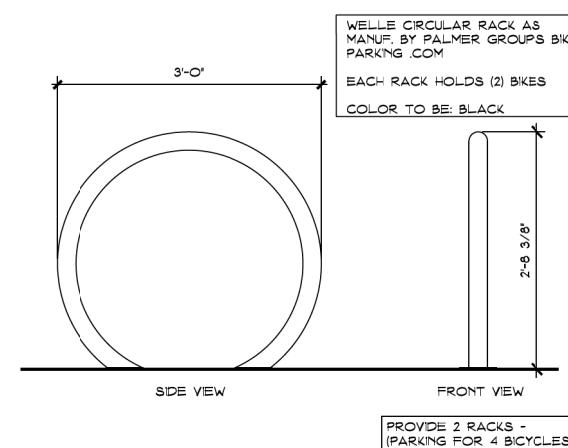
Parking Light Fixture - Site

NOT TO SCALE



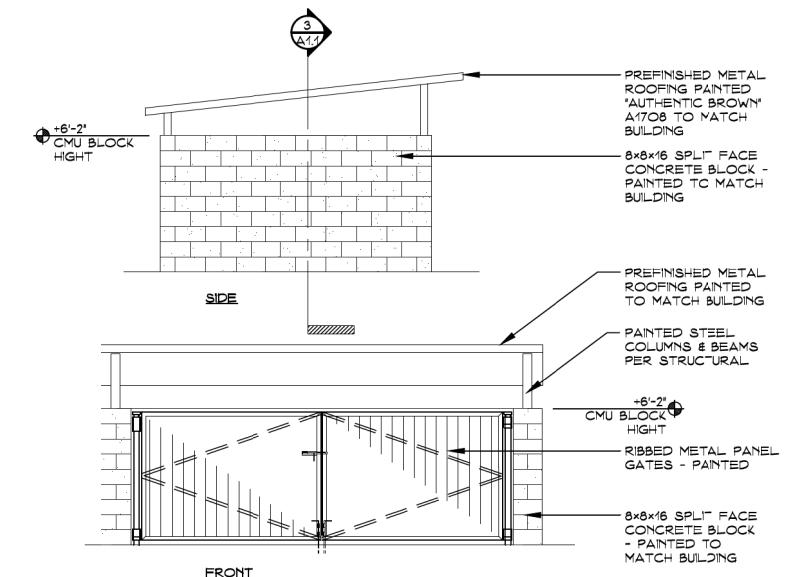
Bike Locker

NOT TO SCALE



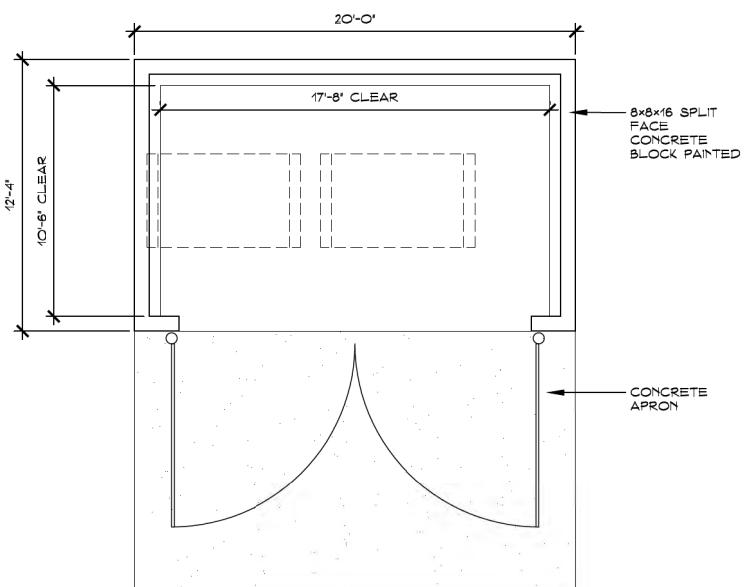
Bicycle Parking

SCALE: 1" = 1'-0"



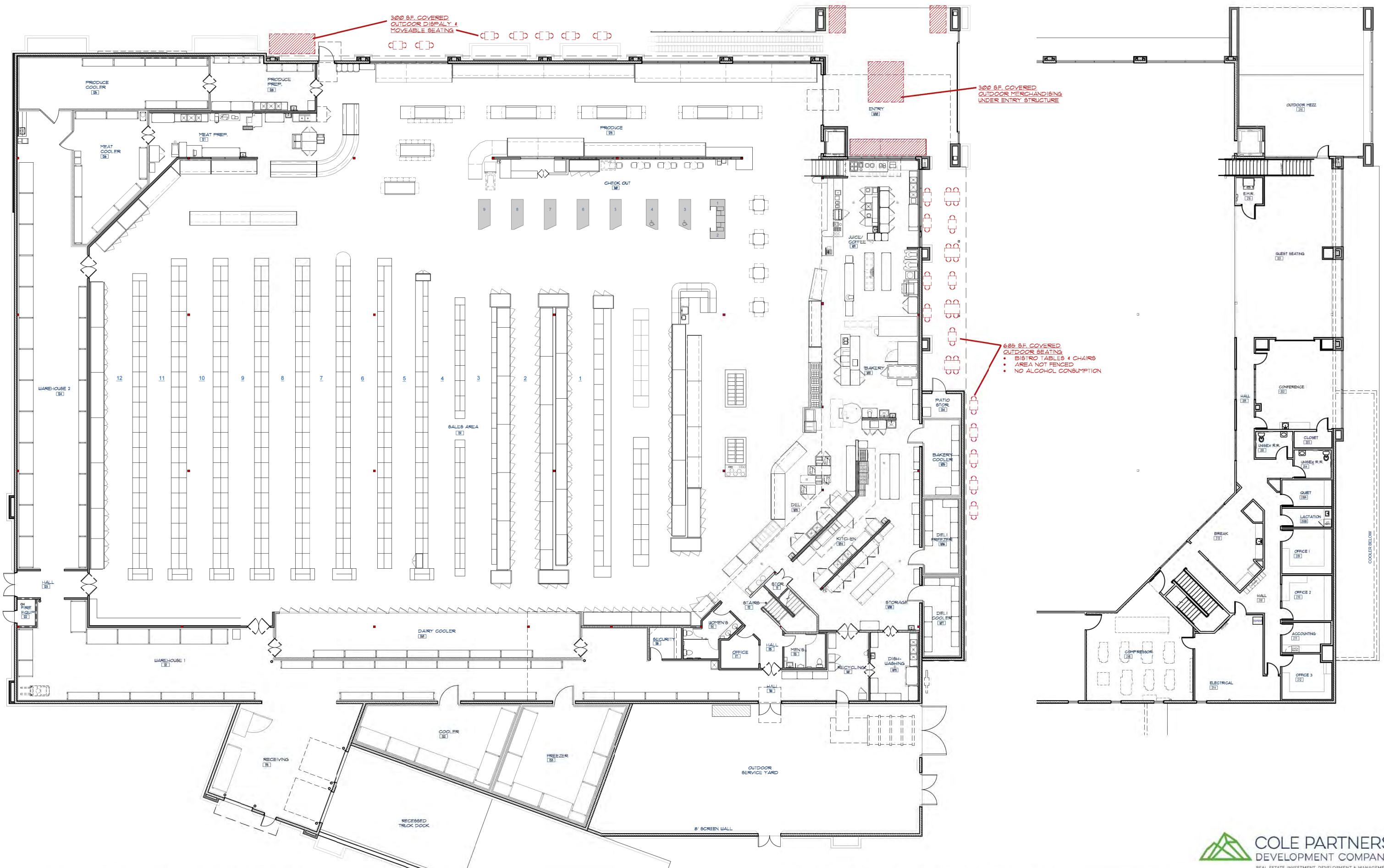
Trash Enclosure - Elevations

SCALE: 1/4" = 1'-0"



Trash Enclosure - Plan

SCALE: 1/4" = 1'-0"



WHITNEY RANCH RETAIL
Rocklin, CA

FLOOR & MEZZANINE PLANS

Scale: 3/32" = 1'-0"

0 8' 16' 32'

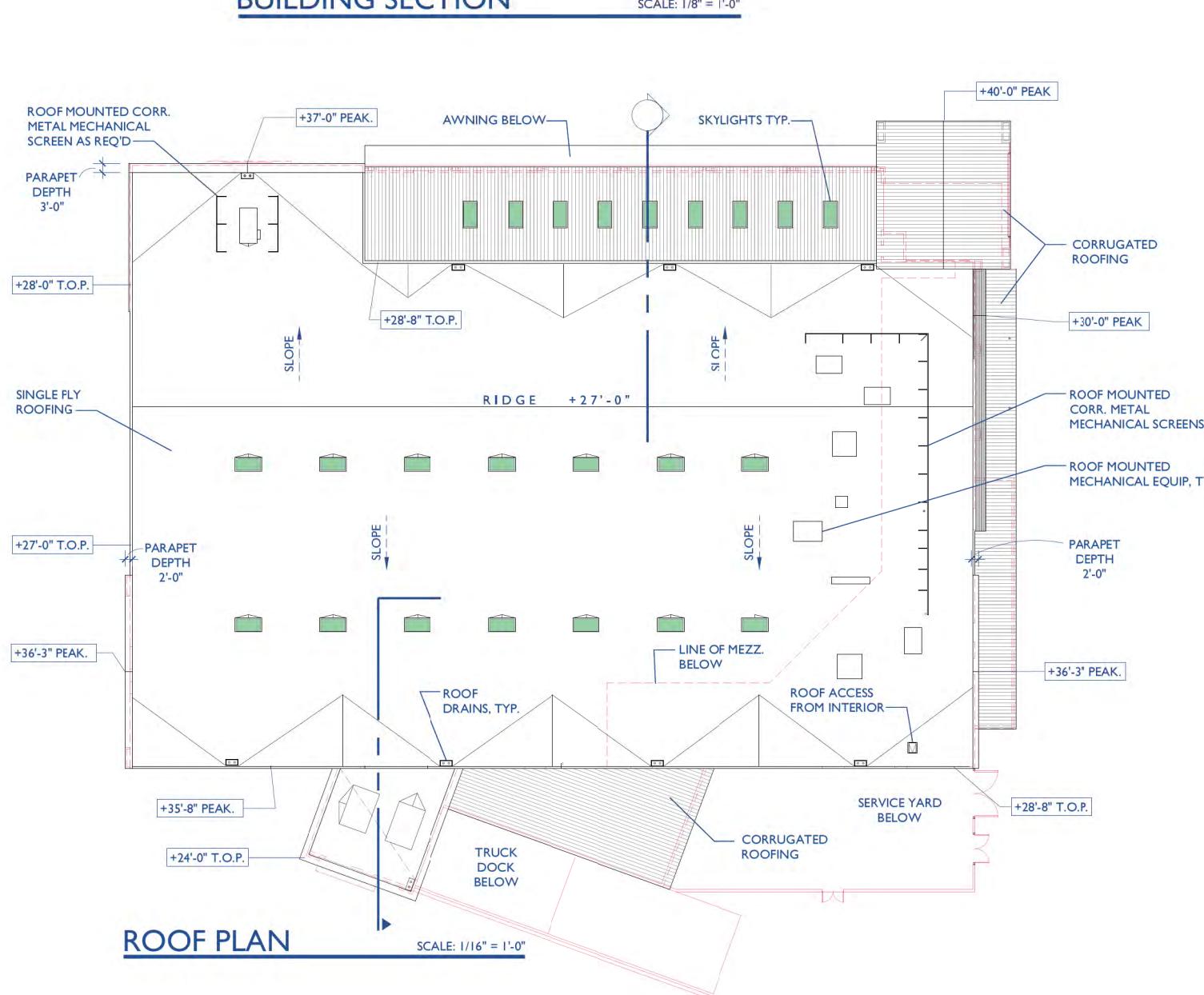
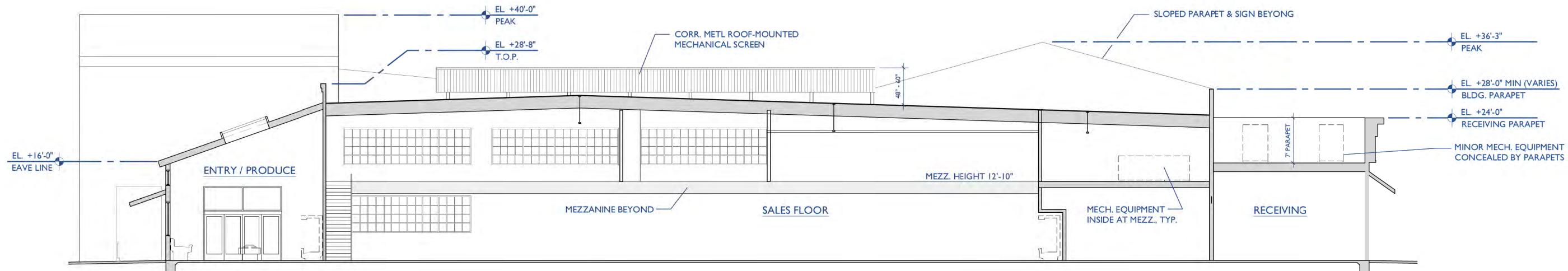
SHEET
A2.1

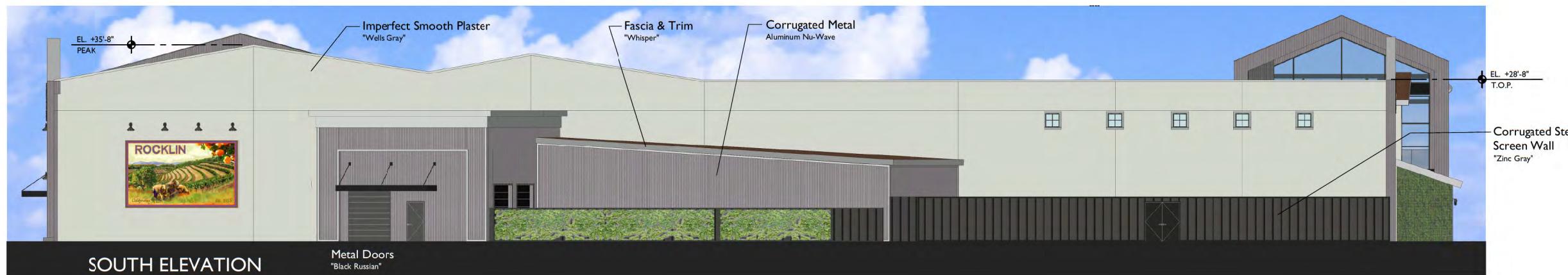
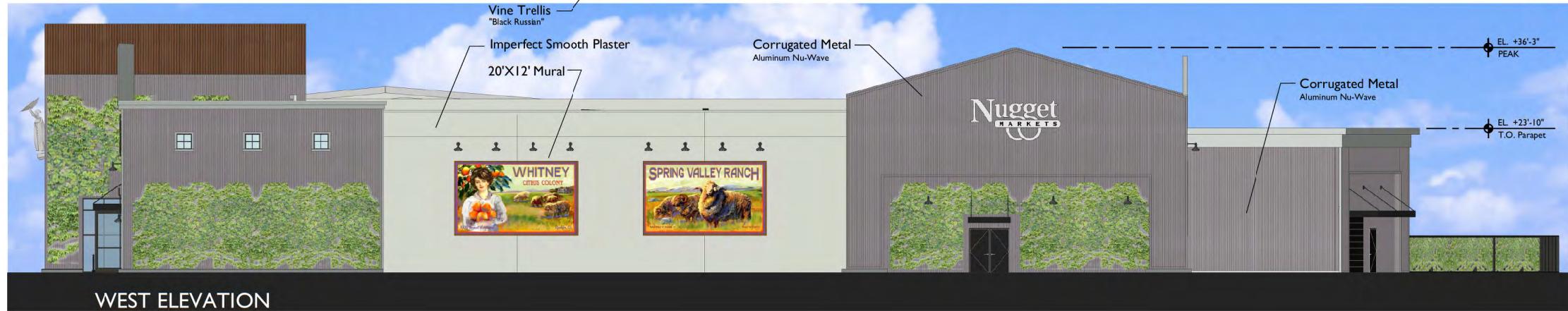
Nugget
MARKETS

DATE:
PROJECT:
03.07.23
21-314

↑

03.07.23





PRELIMINARY ELEVATIONS

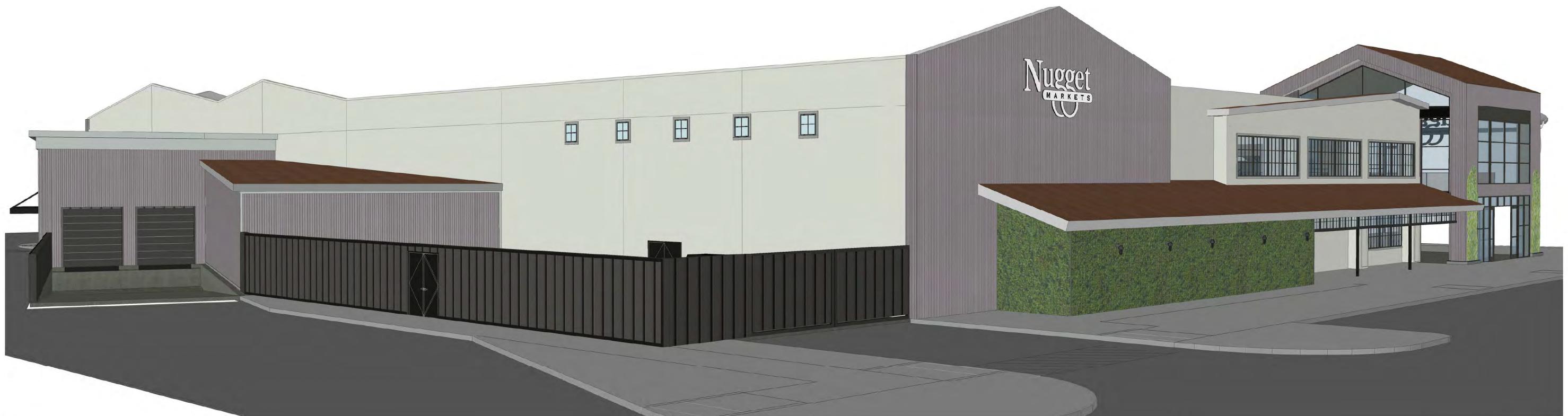
Scale: 3/32" = 1'-0"



A2.3



VIEW FROM NORTHEAST



VIEW FROM SOUTHEAST

WHITNEY RANCH RETAIL
Rocklin, CA

PERSPECTIVE VIEWS



Scale: 3/32" = 1'-0"



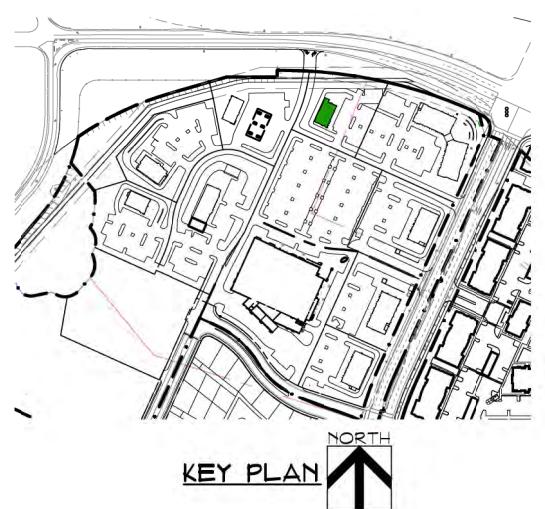
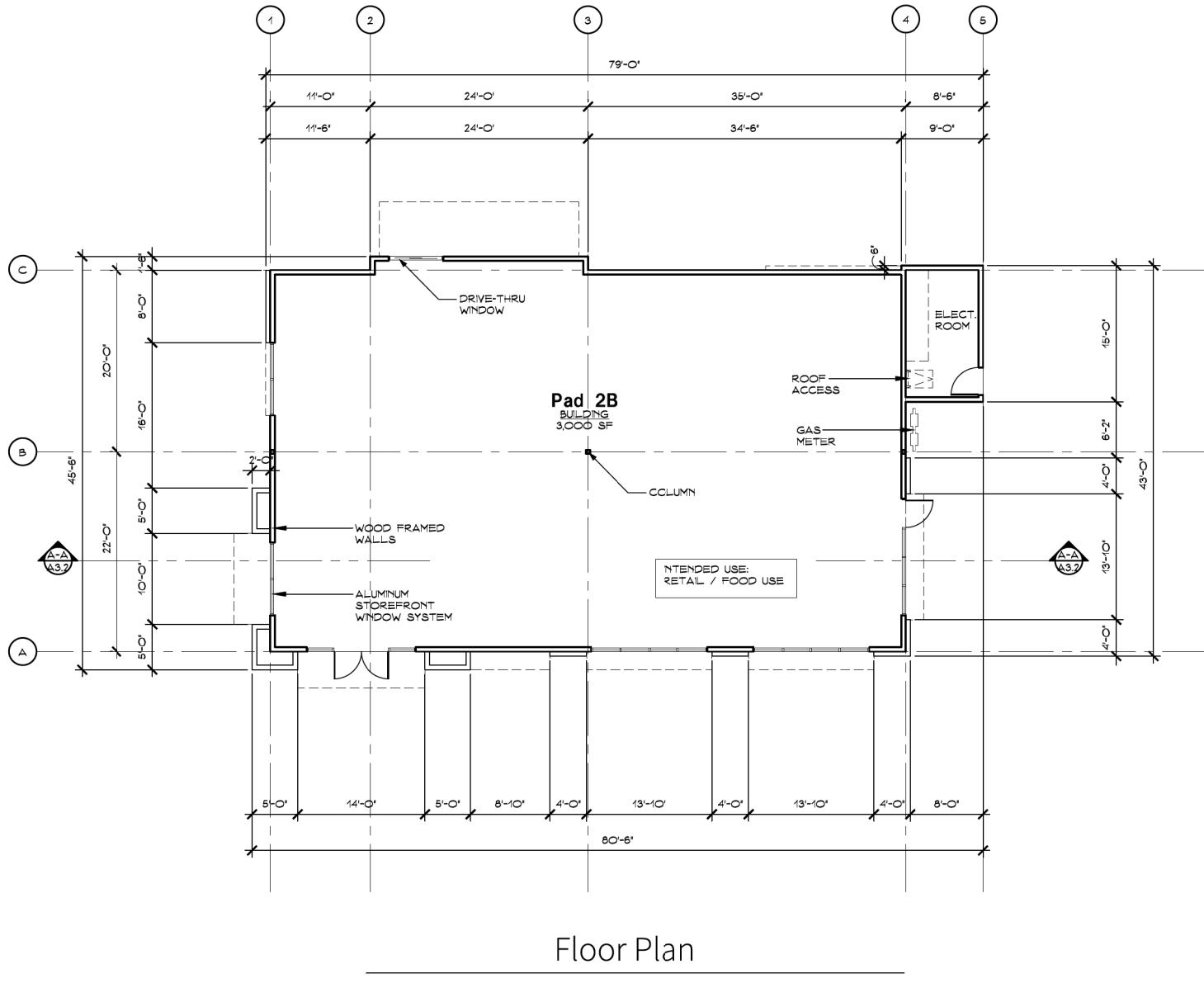
SHEET
A2.4

COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

Nugget
MARKETS

DATE:
PROJECT:

03.07.23
21-314



WHITNEY RANCH RETAIL
Rocklin, CA

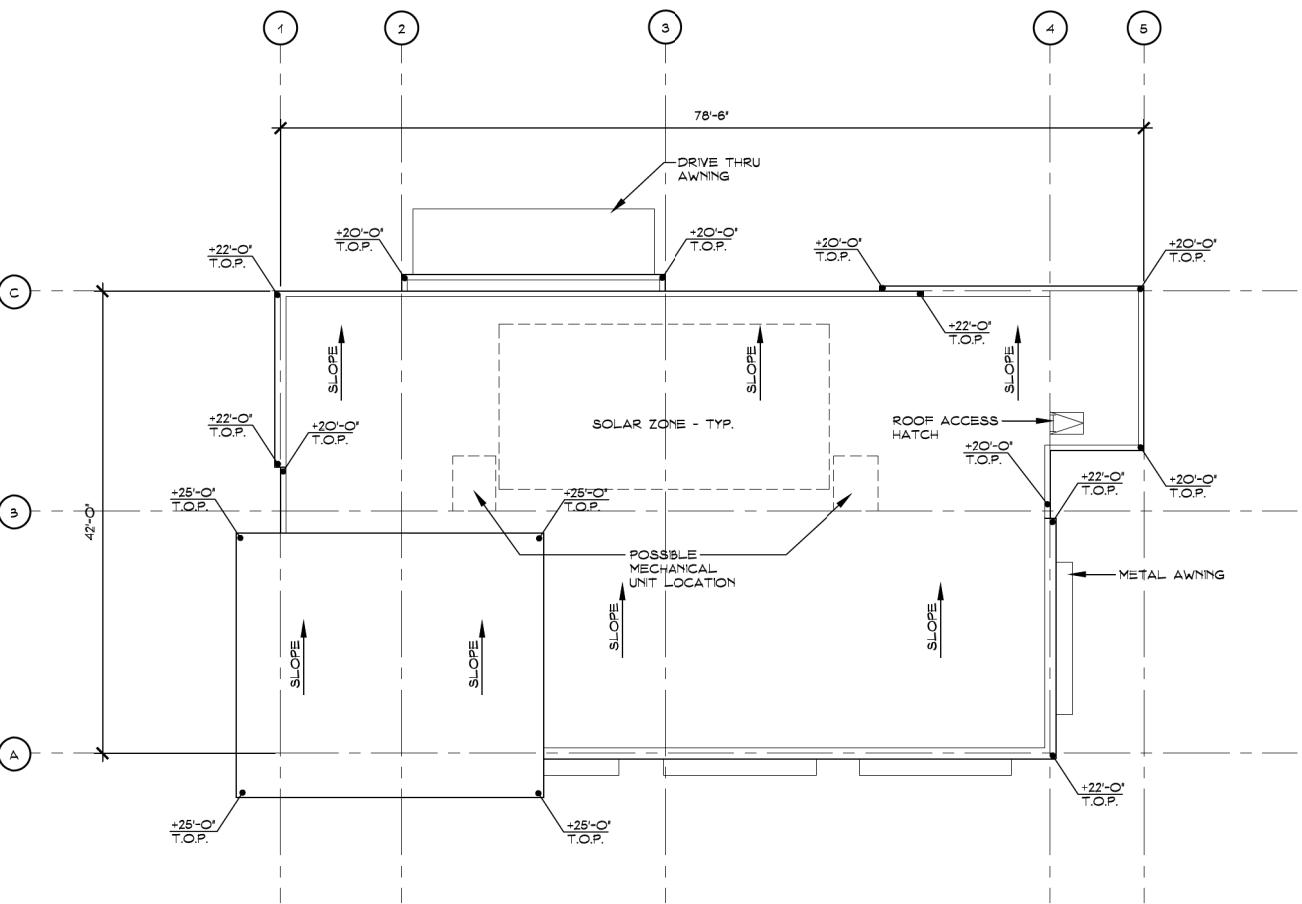
PAD 2B - PRELIMINARY FLOOR PLAN

Scale: 1/8" - 1'-0"

SHEET
A3.1

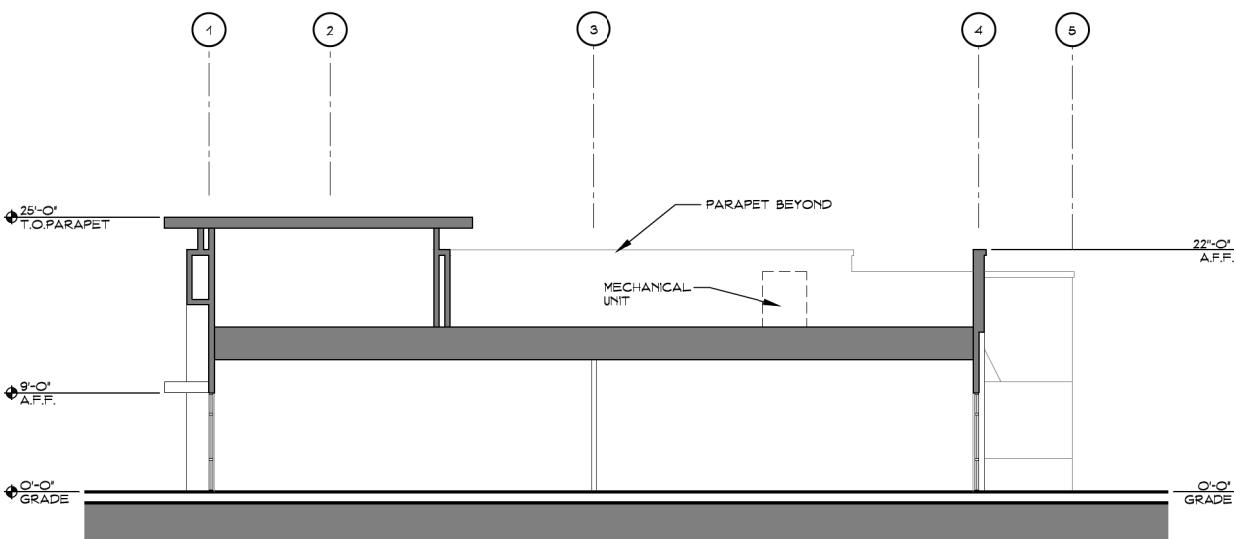
NORTH
PERKINS, WILLIAMS & COTTERILL, INC.
ARCHITECTS
3320 Data Drive, Suite 200 • Rancho Cordova, California 95670
T (916) 851-1400 F (916) 851-1408 E pwarch@pwarchitects.com
DATE: 12.22.22
PROJECT: 21-314

NORTH
COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT



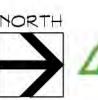
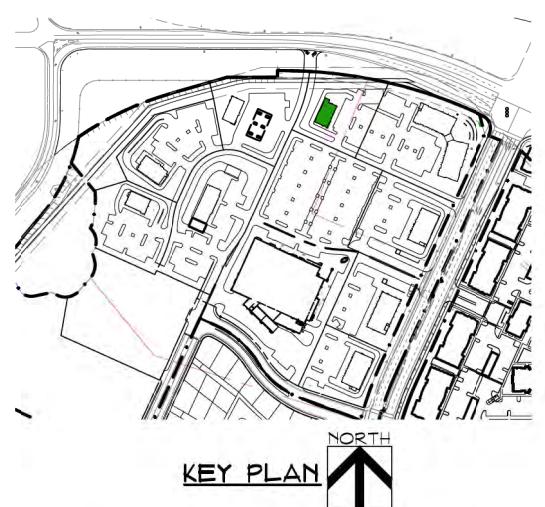
Roof Plan

SCALE = 1/8" = 1'-0"



A-A Building Section

SCALE = 3/16" = 1'-0"



COLE PARTNERS
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

PERKINS, WILLIAMS & COTTERILL, INC.
ARCHITECTS
3320 Data Drive, Suite 200 • Rancho Cordova, California 95670
T (916) 851-1400 F (916) 851-1408 E pwarch@pwarchitects.com
DATE: 12.22.22
PROJECT: 21-314



West Elevation

SCALE = 1/8" = 1'-0"



North Elevation

SCALE = 1/8" = 1'-0"



South Elevation

SCALE = 1/8" = 1'-0"



EAST ELEVATION

SCALE = 1/8" = 1'-0"

KEYNOTES	
1	IMPERFECT SMOOTH FINISH CEMENT PLASTER SYSTEM
2	ARCHITECTURAL FOAM CORNICE
3	HORIZONTAL LAP SIDING
4	METAL SIDING
5	ALUMINUM STOREFRONT WINDOW SYSTEM
6	METAL AWNING
7	GAS METER
8	HOLLOW METAL DOOR IN HM FRAME - PAINTED TO MATCH WALL COLOR
9	POSSIBLE ATM
10	POSSIBLE DROP BOX
11	FUTURE TENANT SIGNAGE
12	ACCENT LIGHT FIXTURE

PAINT

P-1	'GREENBLACK' SW 6994 - SHERWIN WILLIAMS
P-2	'PURE WHITE' SW 7005 - SHERWIN WILLIAMS
P-3	'INTELLECTUAL GRAY' SW 7045 - SHERWIN WILLIAMS
P-4	'TATAMI TAN' SW 6116 - SHERWIN WILLIAMS
P-5	'GARDEN GROVE' SW 6445 - SHERWIN WILLIAMS
P-6	'DIGNITY BLUE' SW 6804 - SHERWIN WILLIAMS

MATERIALS

W-1	HORIZONTAL LAP SIDING: 'C71 PALISANDER' - RESYSTA
M-1	METAL SIDING: 'NATURAL RUST' NU-WAVE CORRUGATED - AEP SPAN
M-2	METAL SIDING: 'SAGE GREEN' NU-WAVE CORRUGATED - AEP SPAN
M-3	METAL SIDING: 'SAGE GREEN' FLEX SERIES 12FX20-12 - AEP SPAN



KEY PLAN
NORTH

COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

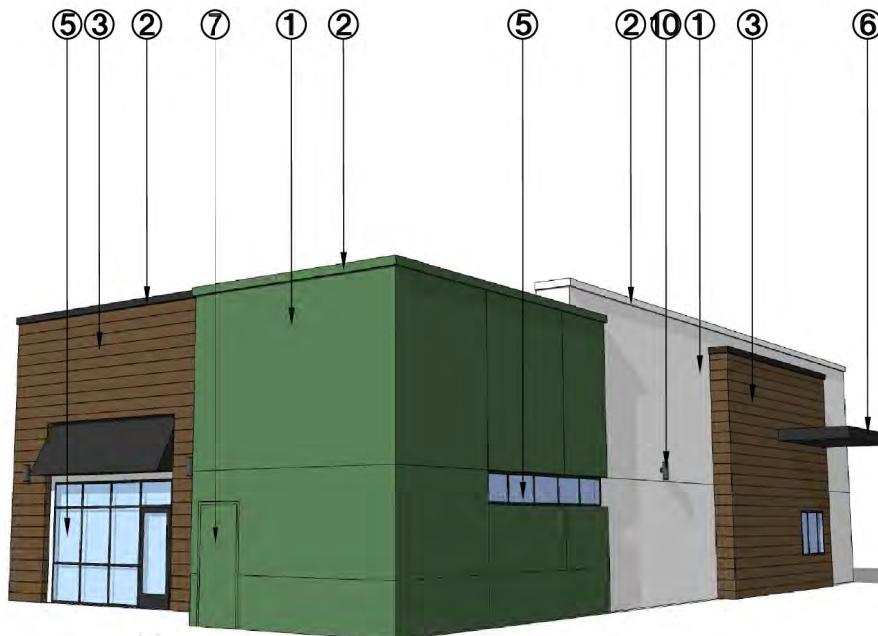
PERKINS, WILLIAMS & COTTERILL, INC.
ARCHITECTS
3320 Data Drive, Suite 200 • Rancho Cordova, California 95670
T (916) 851-1400 F (916) 851-1408 E pwarch@pwarchitects.com
DATE: 12.22.22
PROJECT: 21-314



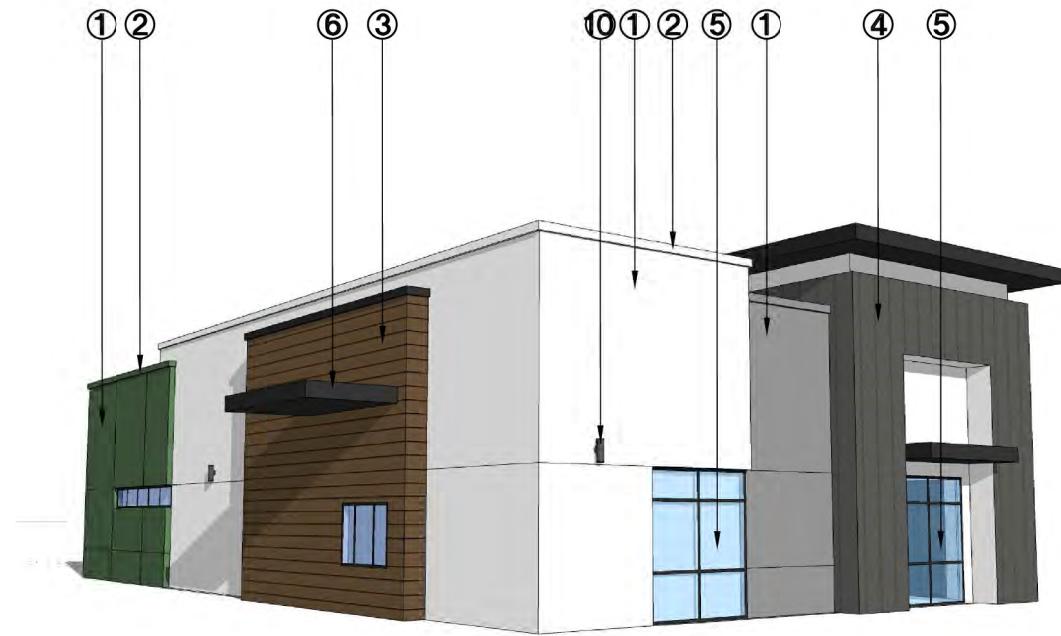
VIEW FROM SOUTHEAST



VIEW FROM NORTHEAST



VIEW FROM NORTHWEST

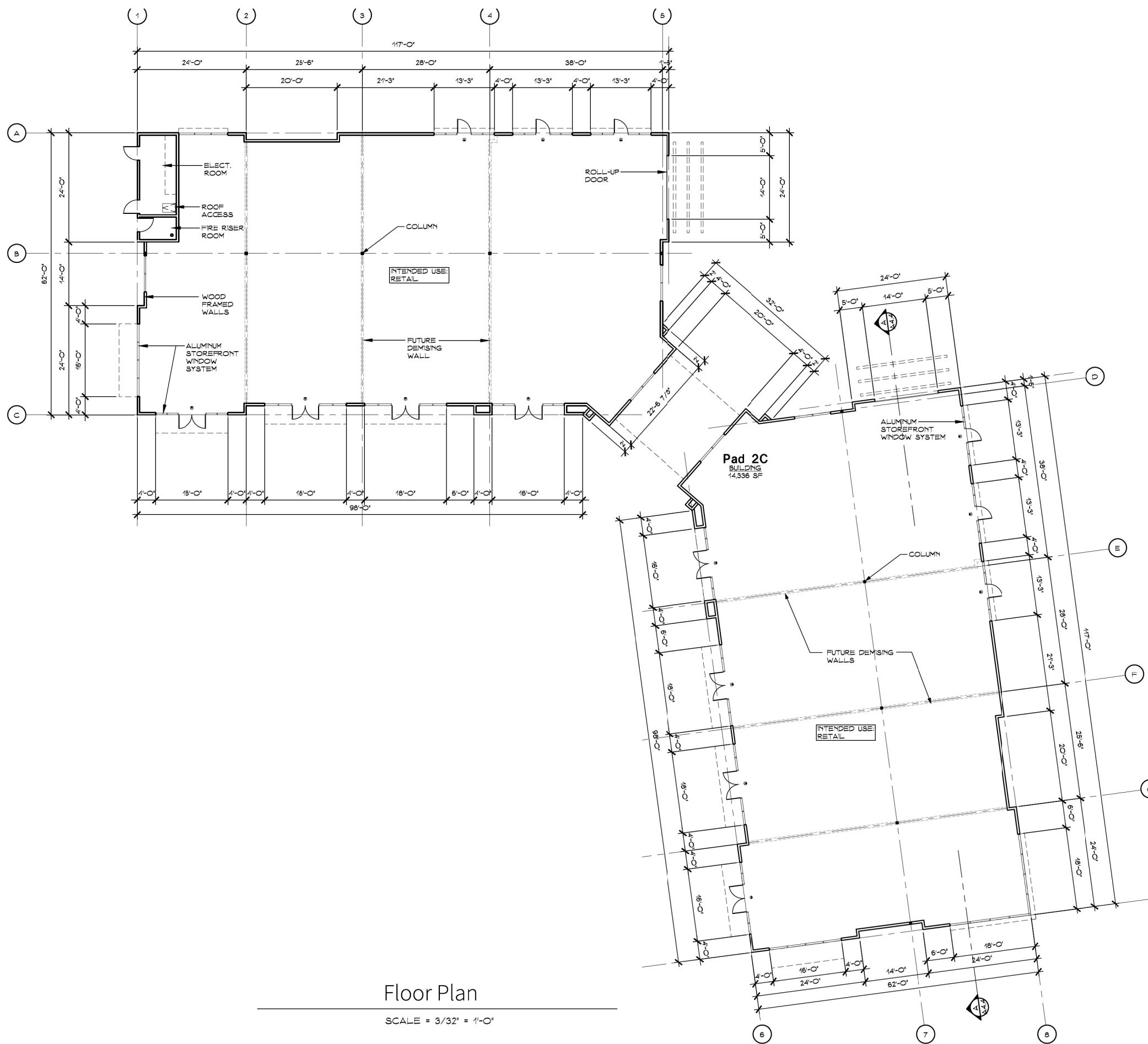


VIEW FROM SOUTHWEST

- ① IMPERFECT SMOOTH FINISH
CEMENT PLASTER SYSTEM
- ② ARCHITECTURAL FOAM CORNICE
- ③ HORIZONTAL LAP SIDING

- ④ METAL SIDING
- ⑤ ALUMINUM STOREFRONT
WINDOW SYSTEM
- ⑥ METAL AWNING

- ⑦ HOLLOW METAL DOOR
- ⑧ POSSIBLE ATM
- ⑨ POSSIBLE DROP BOX
- ⑩ ACCENT LIGHT FIXTURE



Floor Plan

SCALE = 3/32" = 1'-0"

WHITNEY RANCH RETAIL

Rocklin, CA

PAD 2C - PRELIMINARY FLOOR PLAN

Scale: 1/8" - 1'-0"

A4.1



 COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

PERKINS, WILLIAMS & COTTERILL, INC.

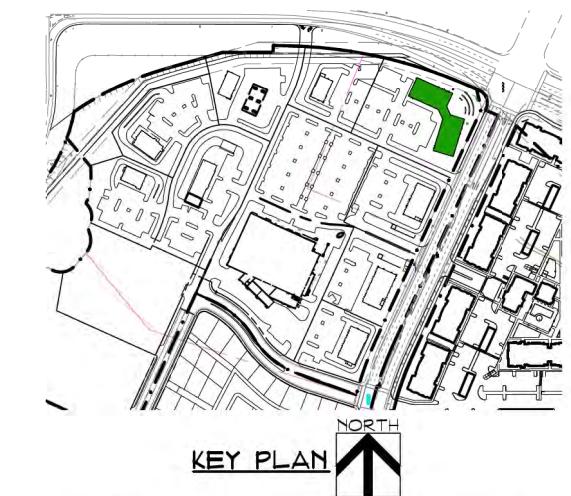
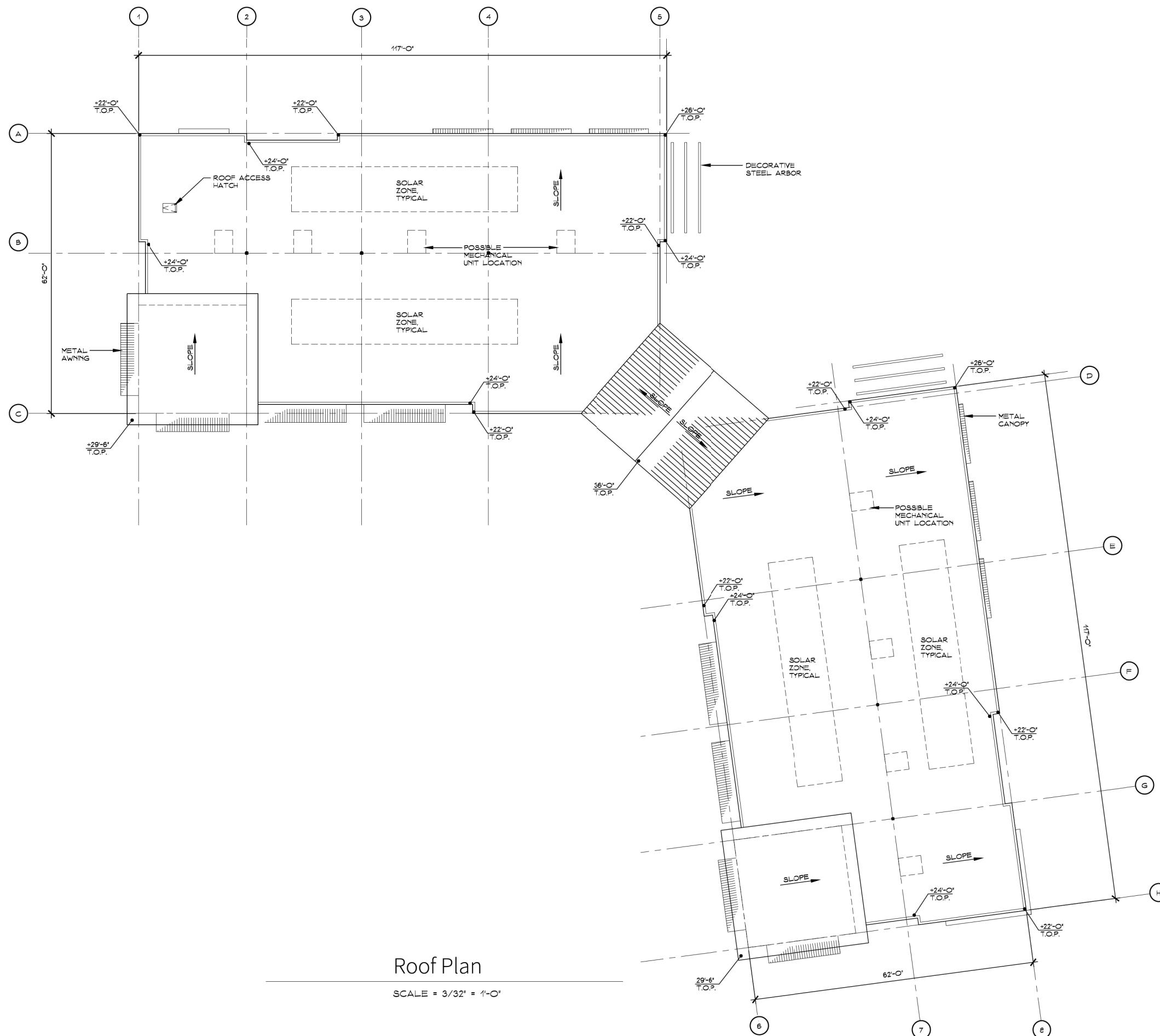
■ ARCHITECTS

STRUCTURE

3320 Data Drive, Suite 200 • Rancho Cordova, California 95670

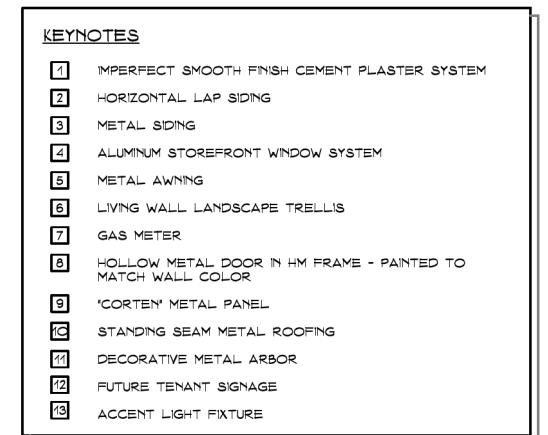
T (916) 851-1400 F (916) 851-1408 E pwcarch@pwcaarchitects.com

DATE: 12.22.22



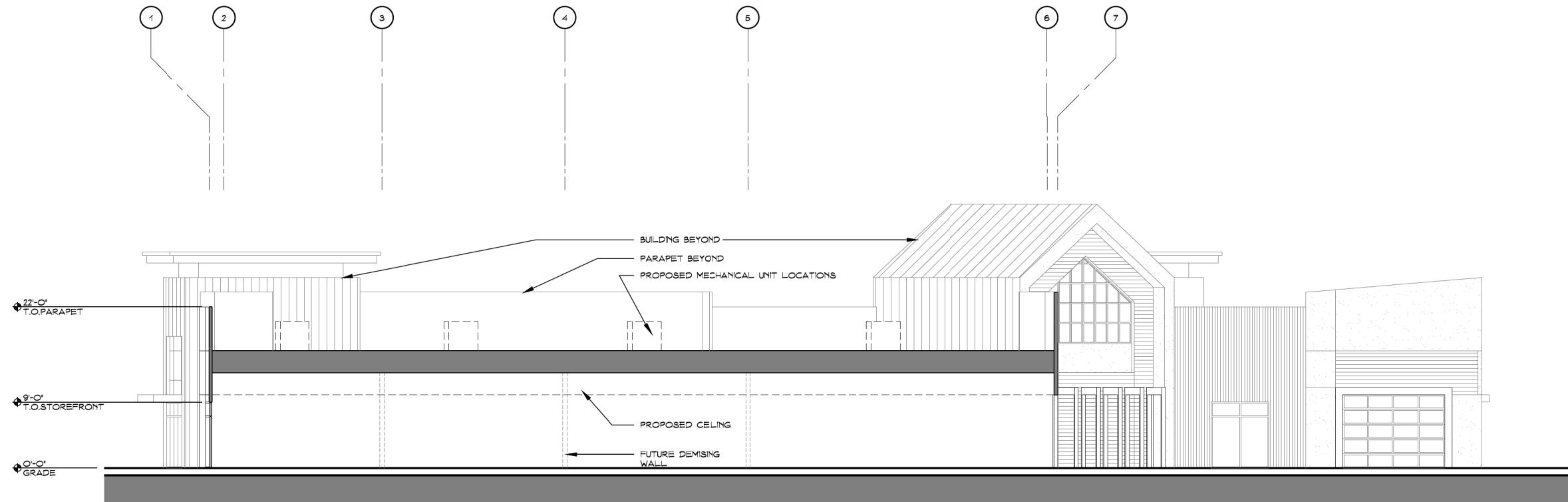
COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

PERKINS, WILLIAMS & COTTERILL, INC.
ARCHITECTS
3320 Data Drive, Suite 200 • Rancho Cordova, California 95670
T (916) 851-1400 F (916) 851-1408 E pwarch@pwarchitects.com
DATE: 12.22.22
PROJECT: 21-314



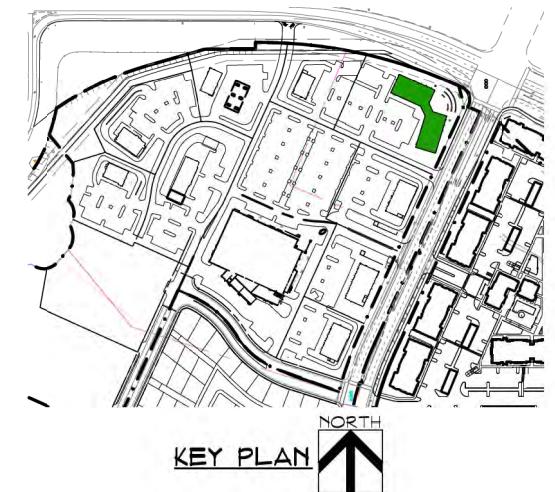
 COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

PERKINS, WILLIAMS & COTTERILL, INC.
ARCHITECTS
3320 Data Drive, Suite 200 • Rancho Cordova, California 95670
T (916) 851-1400 F (916) 851-1408 E pwarch@pwarchitects.com
DATE: 12.22.22
PROJECT: 21-314



A-A Building Section

SCALE = 1/8" = 1'-0"



COLE PARTNERS
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT



VIEW FROM NORTHEAST

- ① IMPERFECT SMOOTH FINISH CEMENT PLASTER SYSTEM
- ② HORIZONTAL LAP SIDING
- ③ RIBBED METAL SIDING
- ④ CORRUGATED METAL SIDING
- ⑤ STANDING SEAM METAL ROOFING
- ⑥ METAL AWNING
- ⑦ ALUMINUM STOREFRONT WINDOW SYSTEM
- ⑧ HOLLOW METAL DOOR
- ⑨ DECORATIVE METAL ARBOR
- ⑩ LIVING WALL LANDSCAPE TRELLIS
- ⑪ ACCENT LIGHT FIXTURE



VIEW FROM SOUTHEAST



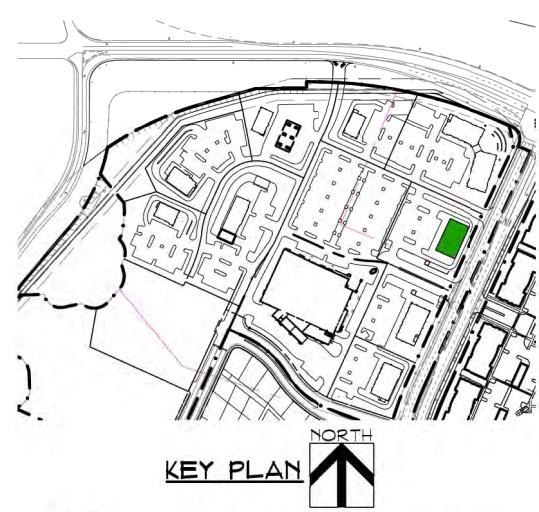
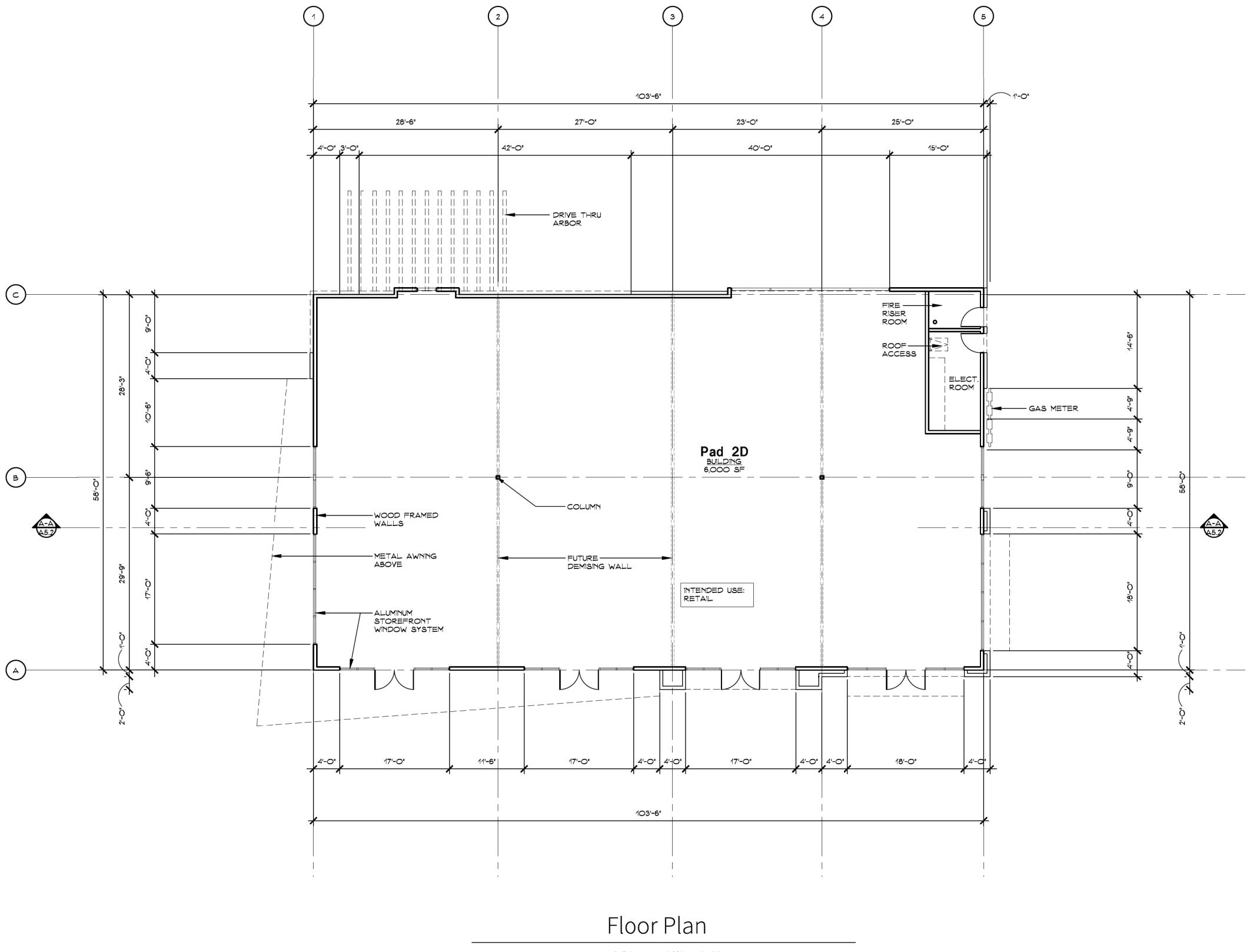
VIEW FROM NORTHWEST



VIEW FROM SOUTHWEST

 COLE PARTNERS
DEVELOPMENT COMPANY

REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT



WHITNEY RANCH RETAIL
Rocklin, CA

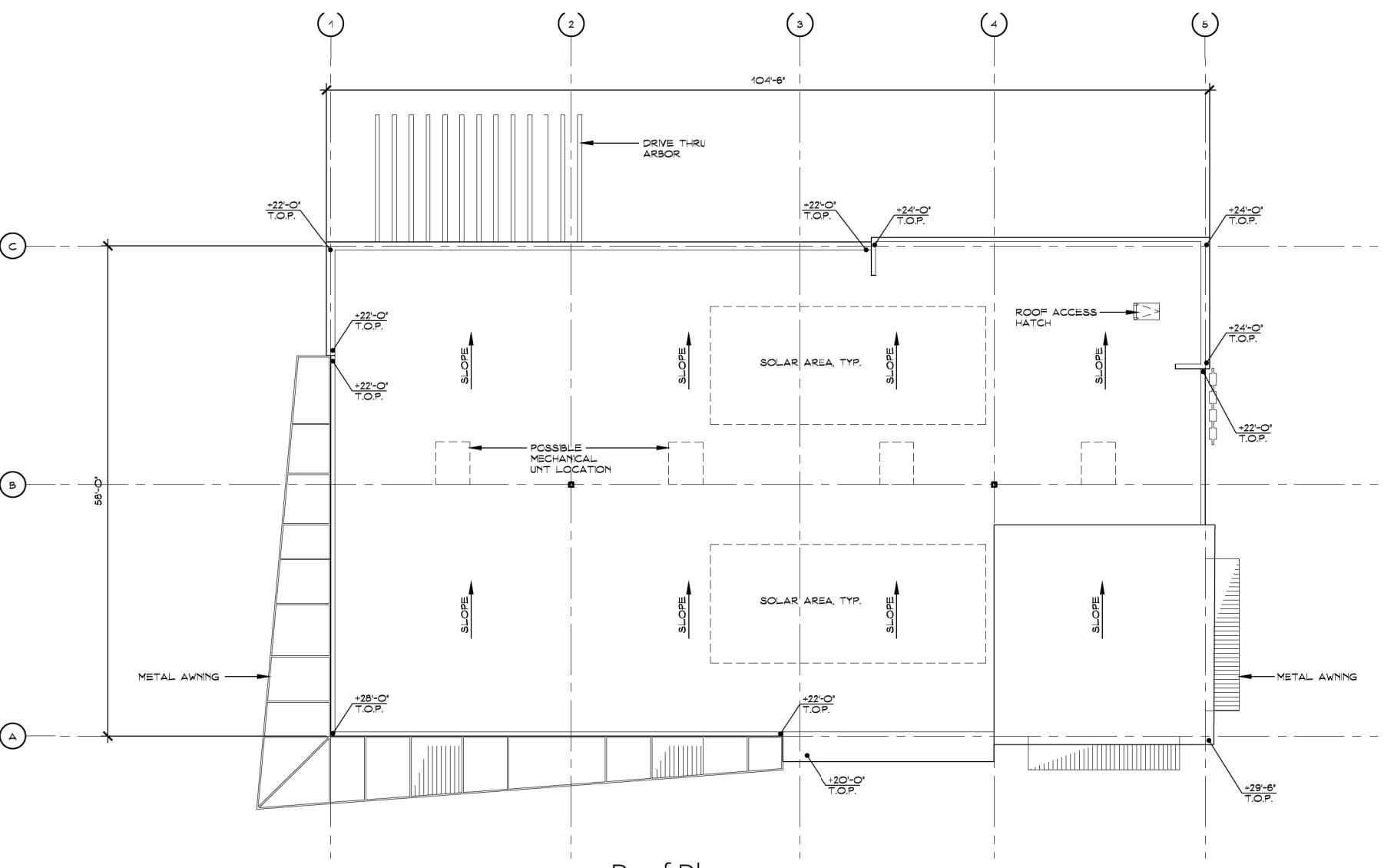
PAD 2D - PRELIMINARY FLOOR PLAN

Scale: 1/8" - 1'-0"
0 4' 8' 16' 32'

A5.1

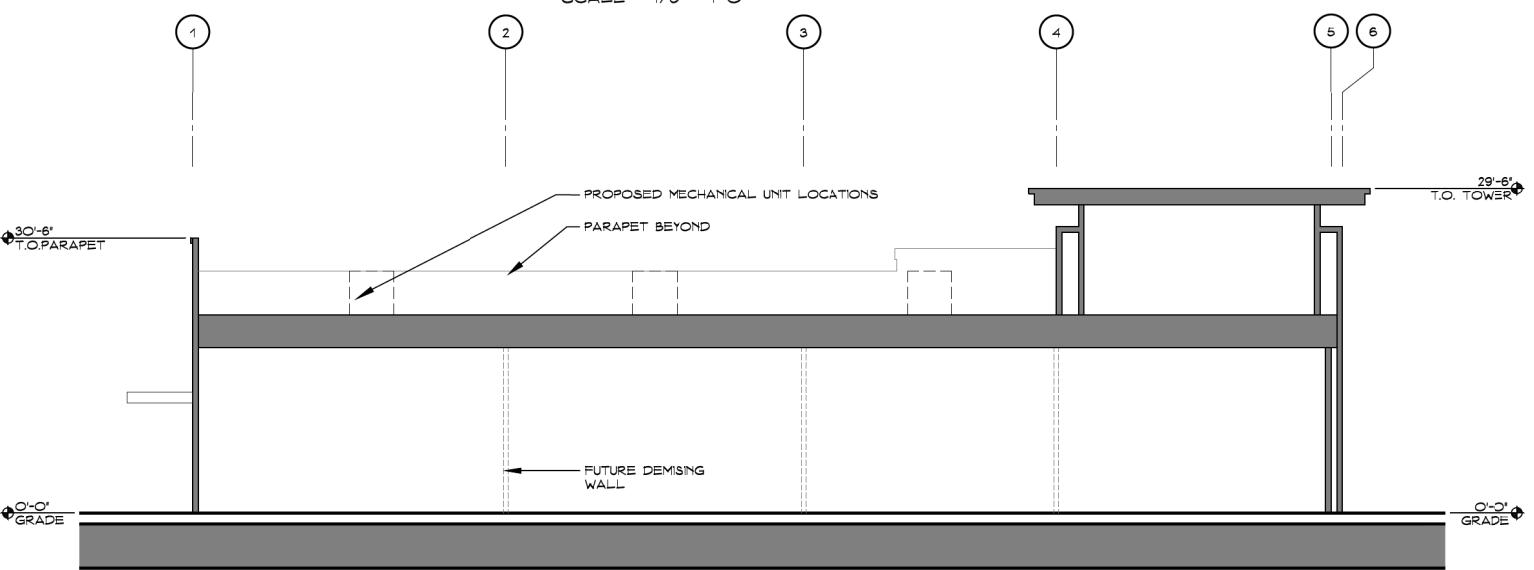
NORTH
PERKINS, WILLIAMS & COTTERILL, INC.
ARCHITECTS
3320 Data Drive, Suite 200 • Rancho Cordova, California 95670
T (916) 851-1400 F (916) 851-1408 E pwarch@pwarchitects.com
DATE: 12.22.22
PROJECT: 21-314

NORTH
COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT



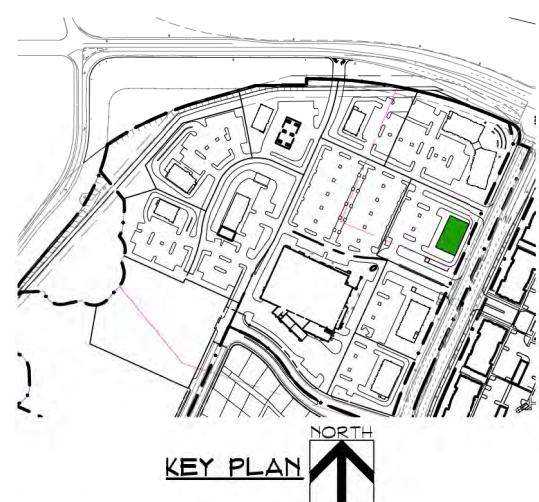
Roof Plan

SCALE = 1/8" = 1'-0"



A-A Building Section

SCALE = 1/8" = 1'-0"



NORTH



COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

WHITNEY RANCH RETAIL AD 2D - PRELIMINARY ROOF PLAN & SECTION A-A

Rocklin, CA

Scale: 1/8" - 1'-0"
0 4' 8' 16' 32'

A5.2

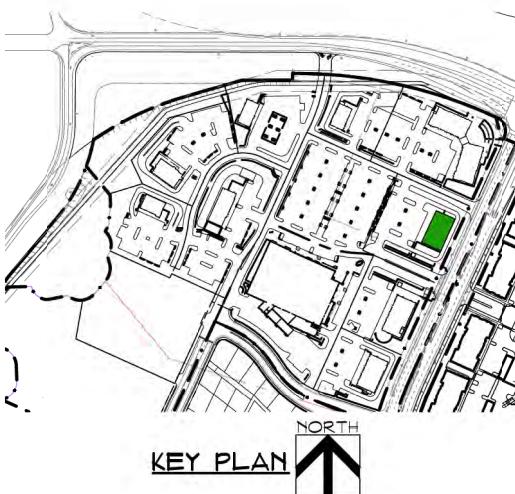
NORTH
PERKINS, WILLIAMS & COTTERILL, INC.
ARCHITECTS
3320 Data Drive, Suite 200 - Rancho Cordova, California 95670
T (916) 851-1400 F (916) 851-1408 E pwarch@pwarchitects.com
DATE: 12.22.22
PROJECT: 21-314

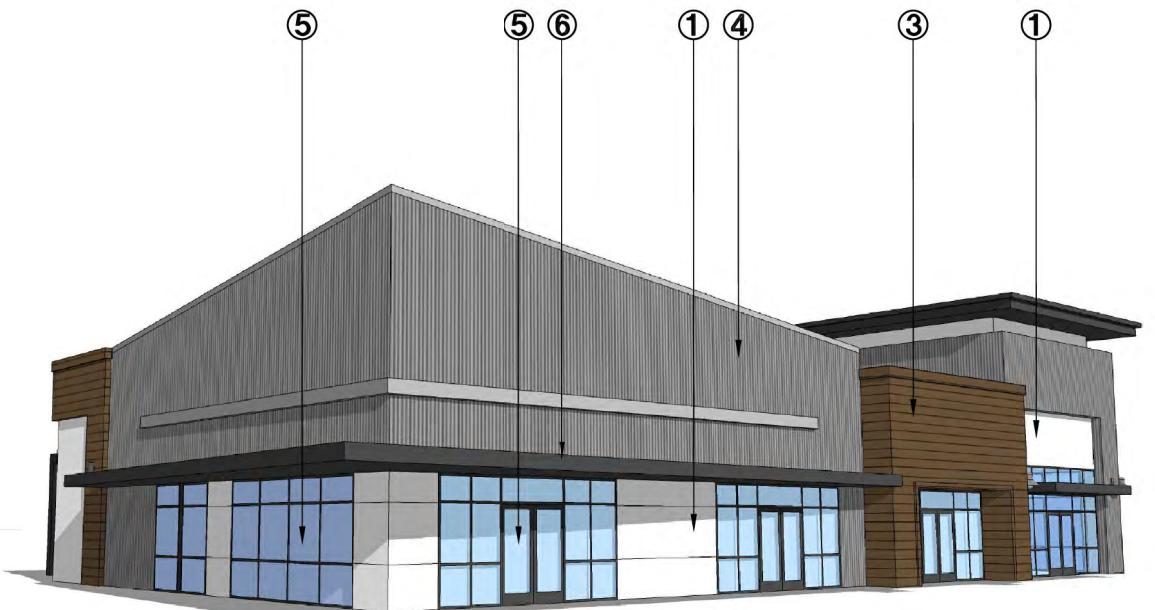


KEYNOTES	
1	IMPERFECT SMOOTH FINISH CEMENT PLASTER SYSTEM
2	ARCHITECTURAL FOAM CORNICE
3	HORIZONTAL LAP SIDING
4	METAL SIDING
5	ALUMINUM STOREFRONT WINDOW SYSTEM
6	METAL AWNING
7	ARBOR SCREEN AT DRIVE-THRU
8	GAS METER
9	HOLLOW METAL DOOR IN HM FRAME - PAINTED TO MATCH WALL COLOR
10	FUTURE TENANT SIGNAGE
11	ACCENT LIGHT FIXTURE

PAINT	
P-1	'GREENBLACK' SW 6994 - SHERWIN WILLIAMS
P-2	'PURE WHITE' SW 7005 - SHERWIN WILLIAMS
P-3	'INTELLECTUAL GRAY' SW 7045 - SHERWIN WILLIAMS
P-4	'TATAMI TAN' SW 6116 - SHERWIN WILLIAMS
P-5	'GARDEN GROVE' SW 6445 - SHERWIN WILLIAMS
P-6	'DIGNITY BLUE' SW 6804 - SHERWIN WILLIAMS

MATERIALS	
W-1	HORIZONTAL LAP SIDING: 'C71 PALISANDER' - RESYSTA
M-1	METAL SIDING: 'NATURAL RUST' NU-WAVE CORRUGATED - AEP SPAN
M-2	METAL SIDING: 'SAGE GREEN' NU-WAVE CORRUGATED - AEP SPAN
M-3	METAL SIDING: 'SAGE GREEN' FLEX SERIES 1.2FX20-12 - AEP SPAN





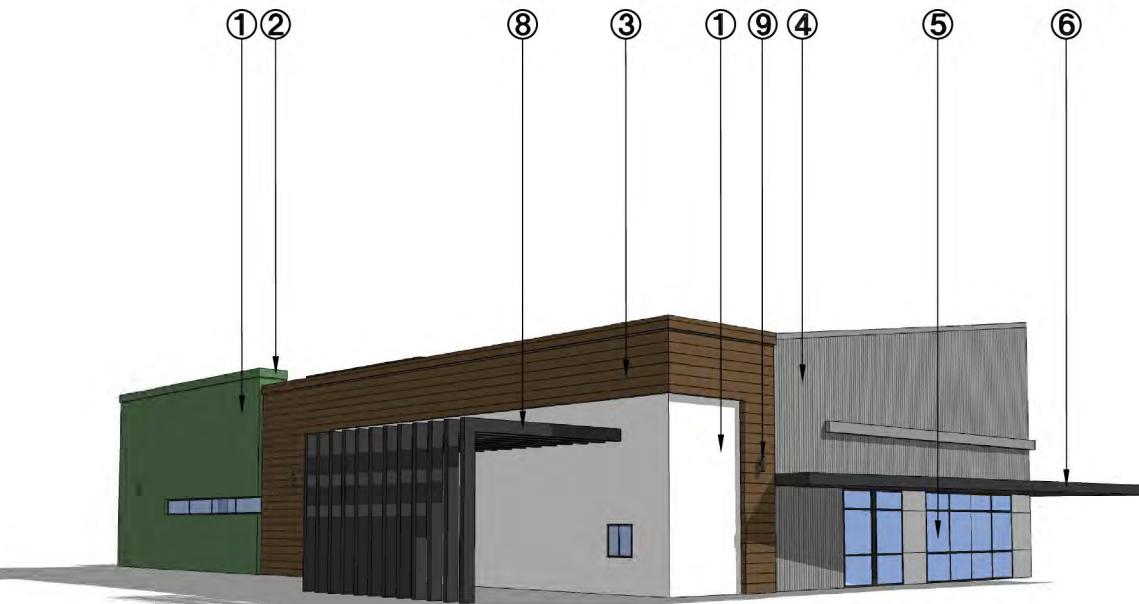
VIEW FROM NORTHWEST



VIEW FROM SOUTHWEST



VIEW FROM SOUTHEAST

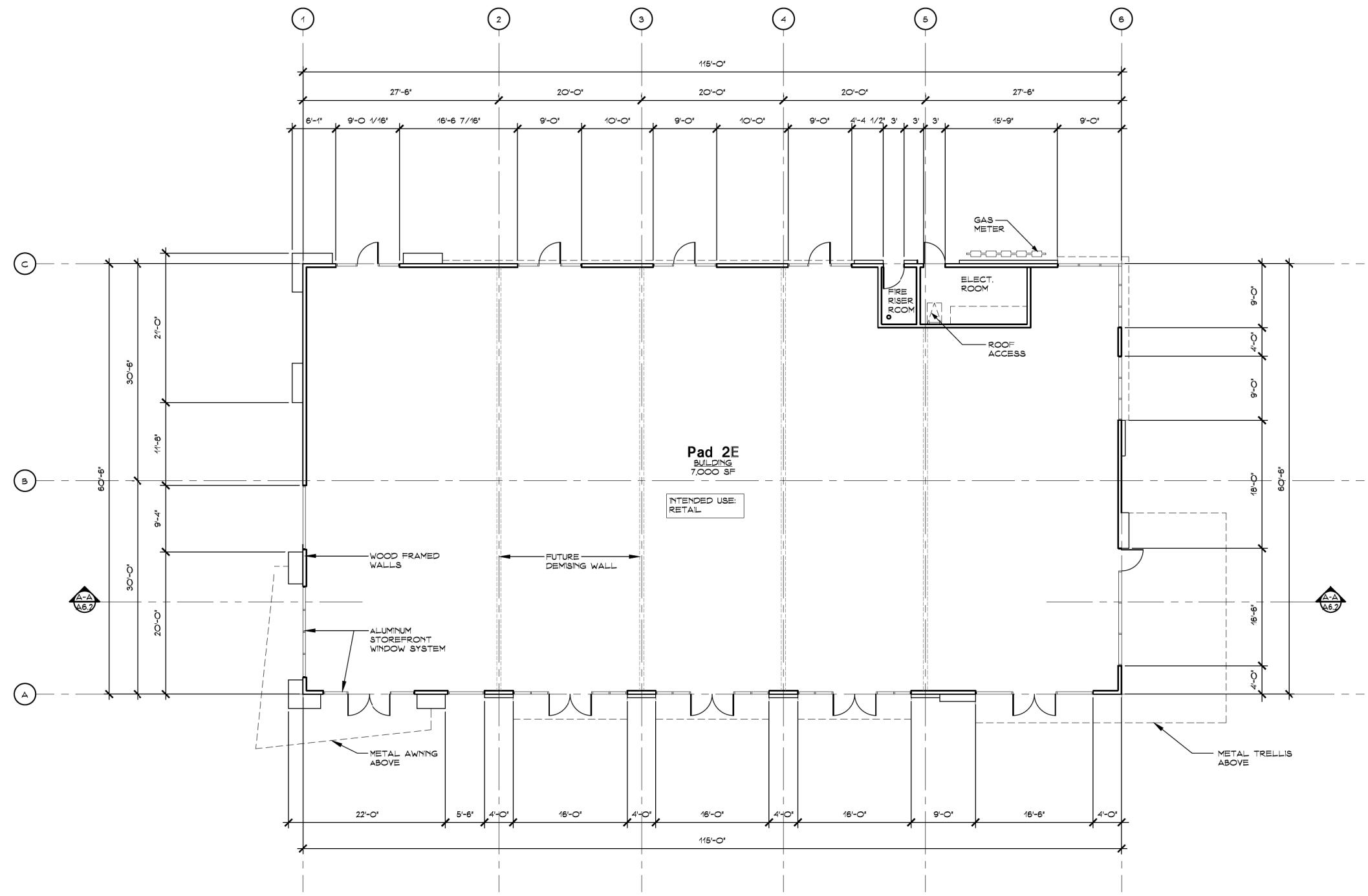


VIEW FROM NORTHEAST

- ① IMPERFECT SMOOTH FINISH
CEMENT PLASTER SYSTEM
- ② ARCHITECTURAL FOAM CORNICE
- ③ HORIZONTAL LAP SIDING

- ④ METAL SIDING
- ⑤ ALUMINUM STOREFRONT
WINDOW SYSTEM
- ⑥ METAL AWNING

- ⑦ HOLLOW METAL DOOR
- ⑧ ARBOR SCREEN AT
DRIVE-THRU
- ⑨ ACCENT LIGHT FIXTURE



Floor Plan

SCALE = 1/8" = 1'-0"

0 4' 8' 16' 32'

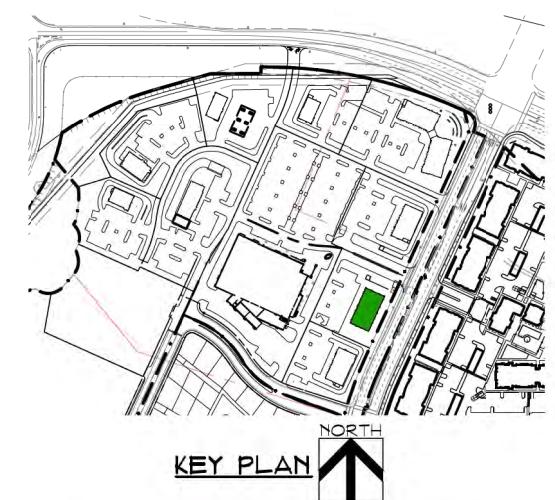
WHITNEY RANCH RETAIL
Rocklin, CA

PAD 2E - PRELIMINARY FLOOR PLAN

NORTH
 COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

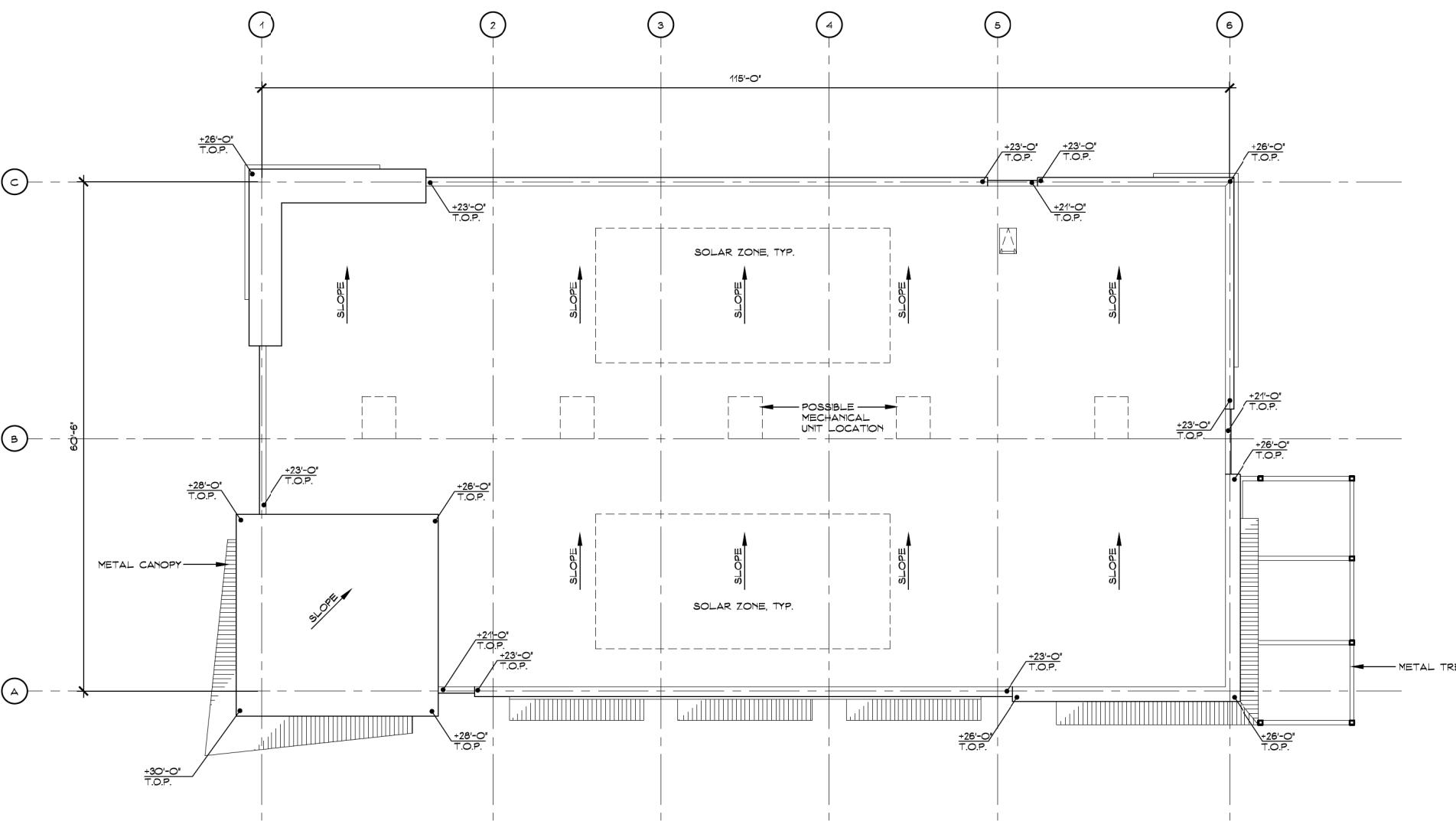
NORTH
 PERKINS, WILLIAMS & COTTERILL, INC.
ARCHITECTS
3320 Data Drive, Suite 200 • Rancho Cordova, California 95670
T (916) 851-1400 F (916) 851-1408 E pwarch@pwarchitects.com

DATE: 12.22.22
PROJECT: 21-314



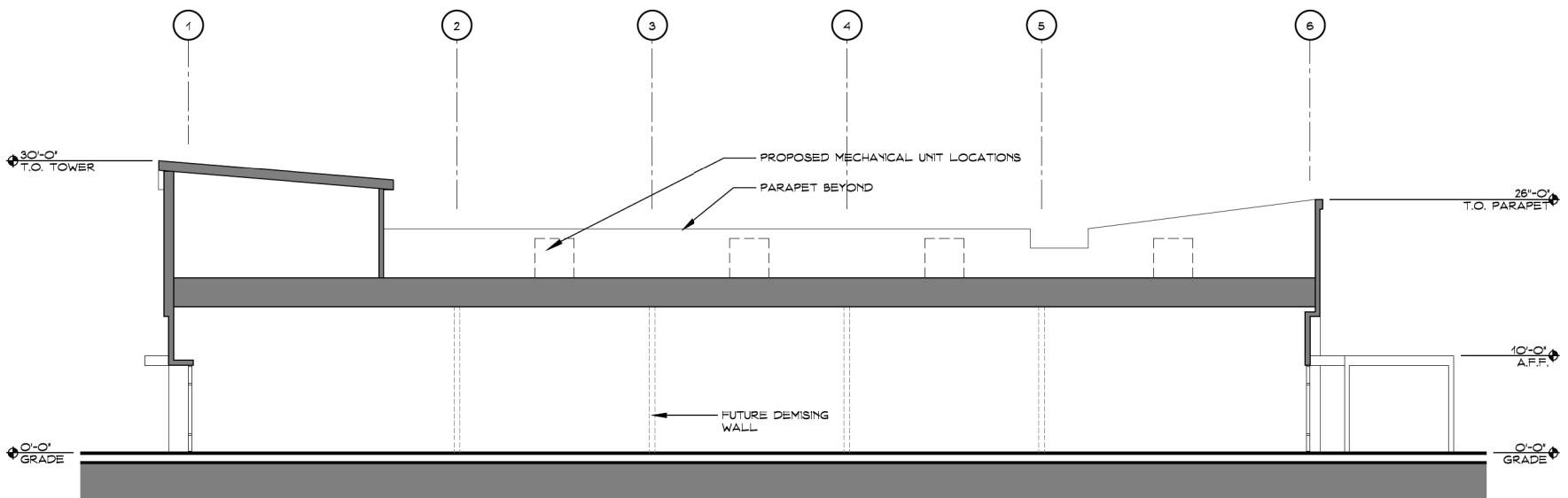
SHEET
A6.1

Scale: 1/8" - 1'-0"



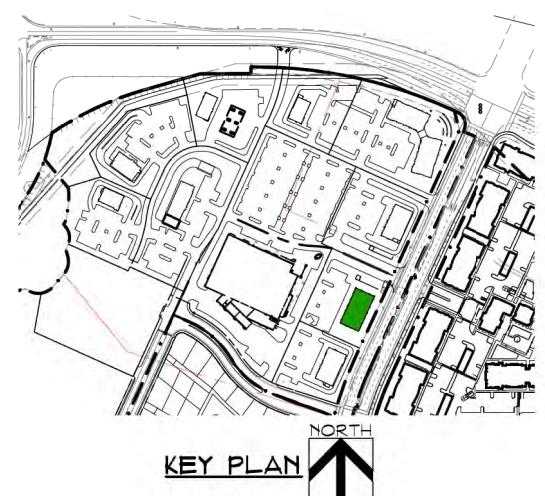
Roof Plan

SCALE = 1/8" = 1'-0"



A-A Building Section

SCALE = 1/8" = 1'-0"





West Elevation

SCALE = 1/8" = 1'-0"



North Elevation

SCALE = 1/8" = 1'-0"



South Elevation

SCALE = 1/8" = 1'-0"



East Elevation

SCALE = 1/8" = 1'-0"

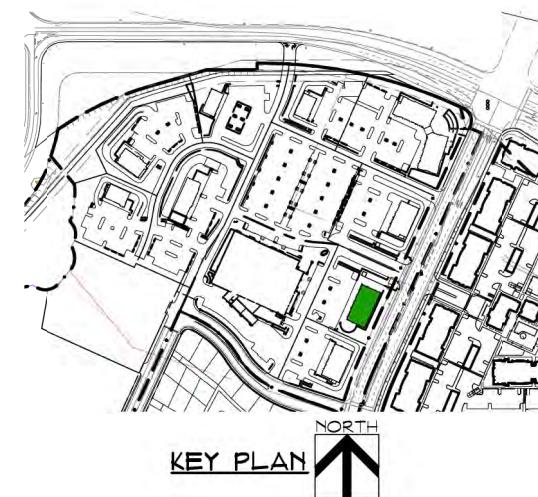
KEYNOTES	
1	IMPERFECT SMOOTH FINISH CEMENT PLASTER SYSTEM
2	ARCHITECTURAL FOAM CORNICE
3	HORIZONTAL LAP SIDING
4	METAL SIDING
5	ALUMINUM STOREFRONT WINDOW SYSTEM
6	METAL AWNING
7	LIVING WALL LANDSCAPE TRELLIS
8	GAS METER
9	HOLLOW METAL DOOR IN HM FRAME - PAINTED TO MATCH WALL COLOR
10	FUTURE TENANT SIGNAGE
11	ACCENT LIGHT FIXTURE

PAINT

- P-1 'GREENBLACK' SW 6994 - SHERWIN WILLIAMS
- P-2 'PURE WHITE' SW 7005 - SHERWIN WILLIAMS
- P-3 'INTELLECTUAL GRAY' SW 7045 - SHERWIN WILLIAMS
- P-4 'TATAMI TAN' SW 6116 - SHERWIN WILLIAMS
- P-5 'GARDEN GROVE' SW 6445 - SHERWIN WILLIAMS
- P-6 'DIGNITY BLUE' SW 6804 - SHERWIN WILLIAMS

MATERIALS

- W-1 HORIZONTAL LAP SIDING: 'C71 PALISANDER' - RESYSTA
- M-1 METAL SIDING: 'NATURAL RUST' NU-WAVE CORRUGATED - AEP SPAN
- M-2 METAL SIDING: 'SAGE GREEN' NU-WAVE CORRUGATED - AEP SPAN
- M-3 METAL SIDING: 'SAGE GREEN' FLEX SERIES 1.2FX20-12 - AEP SPAN



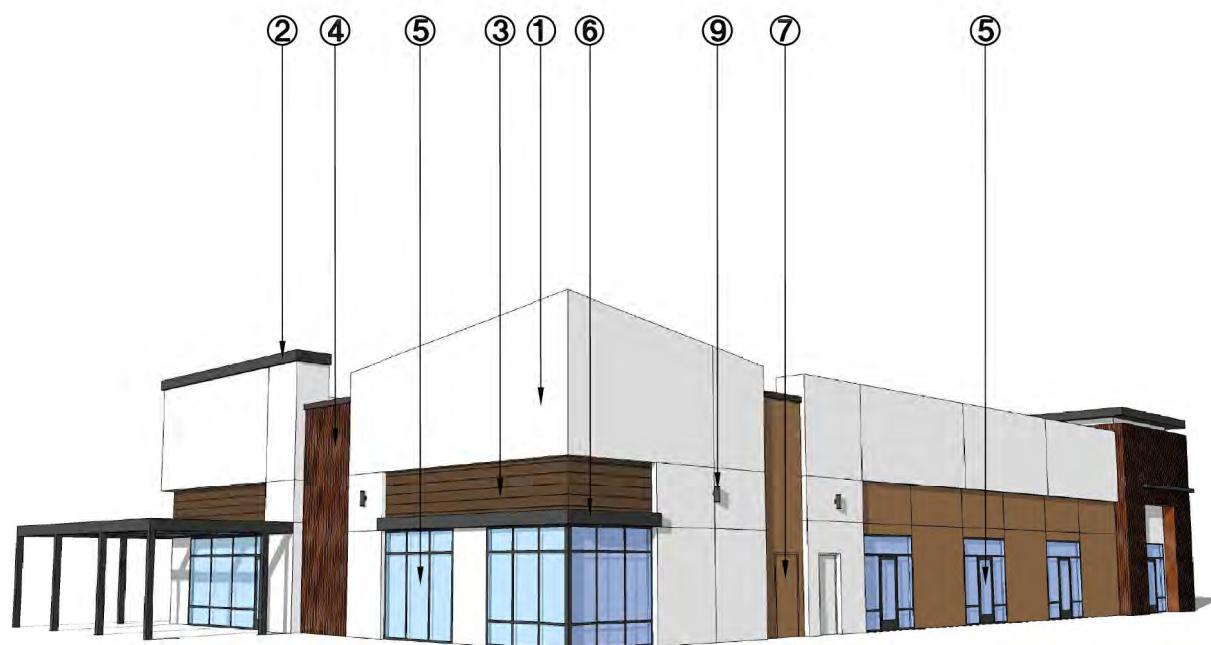
COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT



VIEW FROM NORTHWEST



VIEW FROM SOUTHWEST



VIEW FROM SOUTHEAST

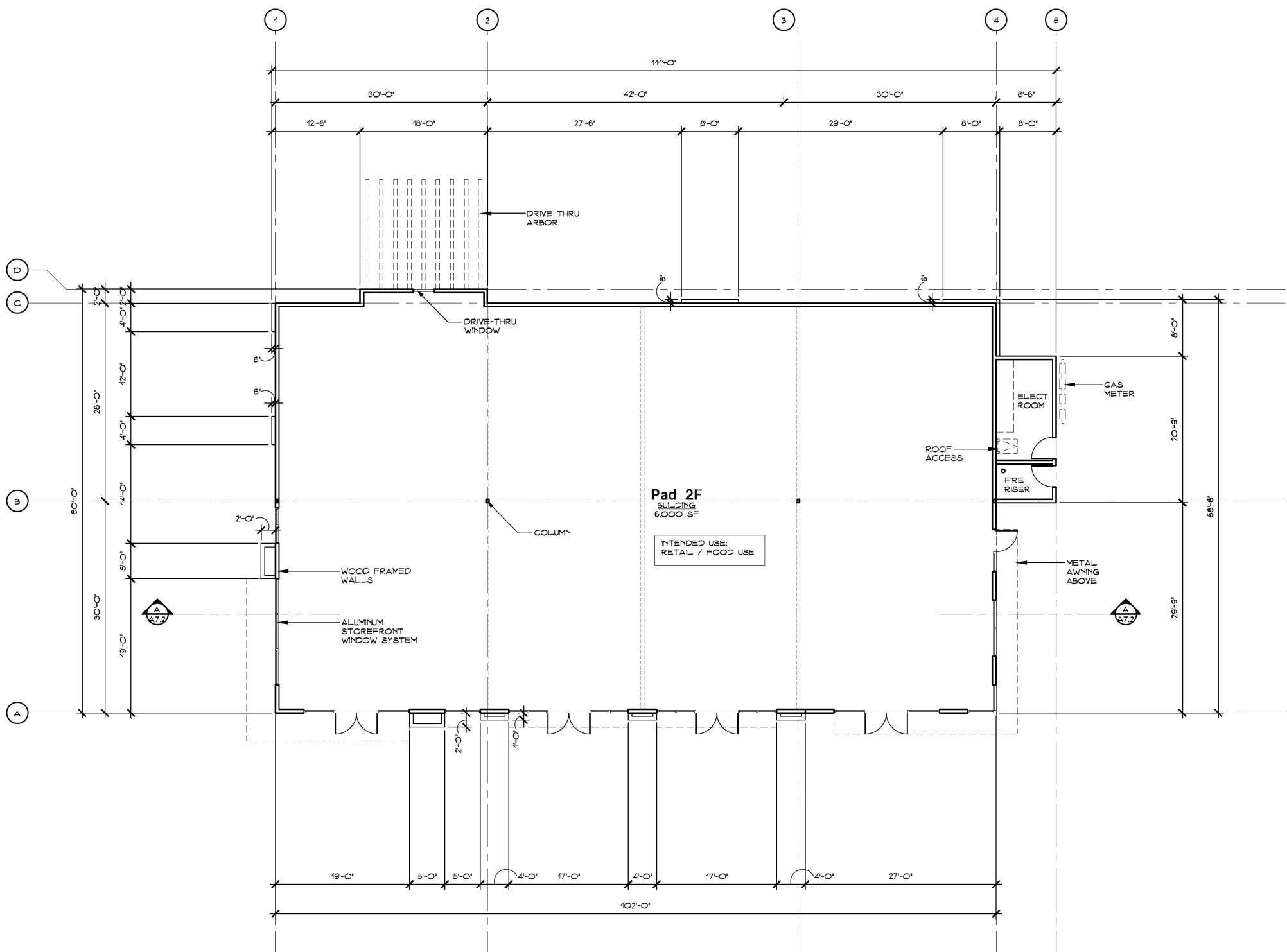


VIEW FROM NORTHEAST

- ① IMPERFECT SMOOTH FINISH
CEMENT PLASTER SYSTEM
- ② ARCHITECTURAL FOAM CORNICE
- ③ HORIZONTAL LAP SIDING

- ④ METAL SIDING
- ⑤ ALUMINUM STOREFRONT
WINDOW SYSTEM
- ⑥ METAL AWNING

- ⑦ HOLLOW METAL DOOR
- ⑧ LIVING WALL LANDSCAPE
TRELLIS
- ⑨ ACCENT LIGHT FIXTURE



Floor Plan

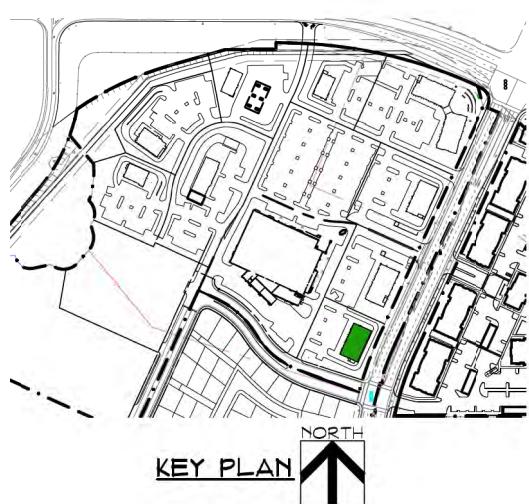
WHITNEY RANCH RETAIL
Rocklin, CA

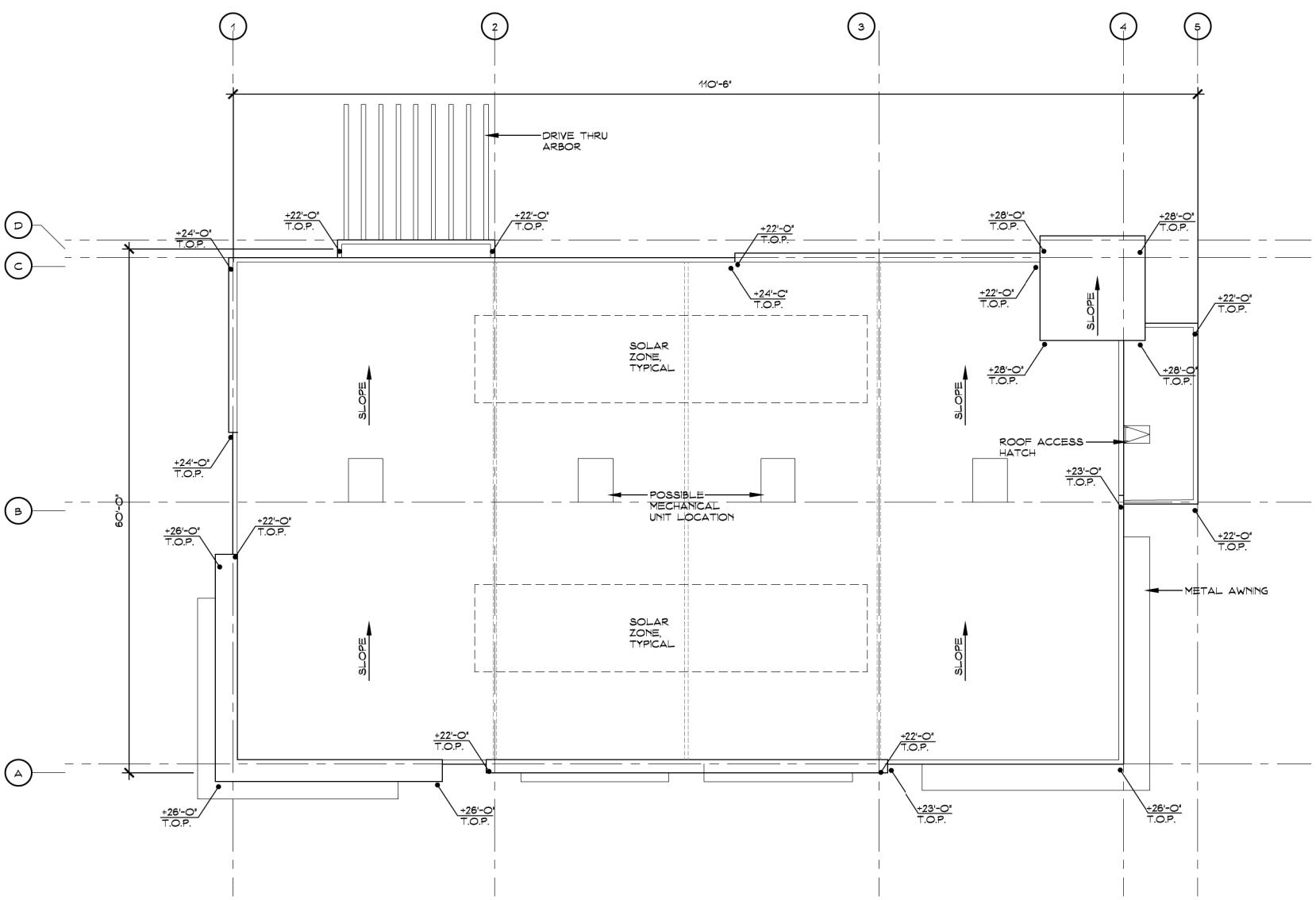
PAD 2F - PRELIMINARY FLOOR PLAN

0 4' 8' 16' 32'
Scale: 1/8" - 1'-0"

A7.1
SHEET

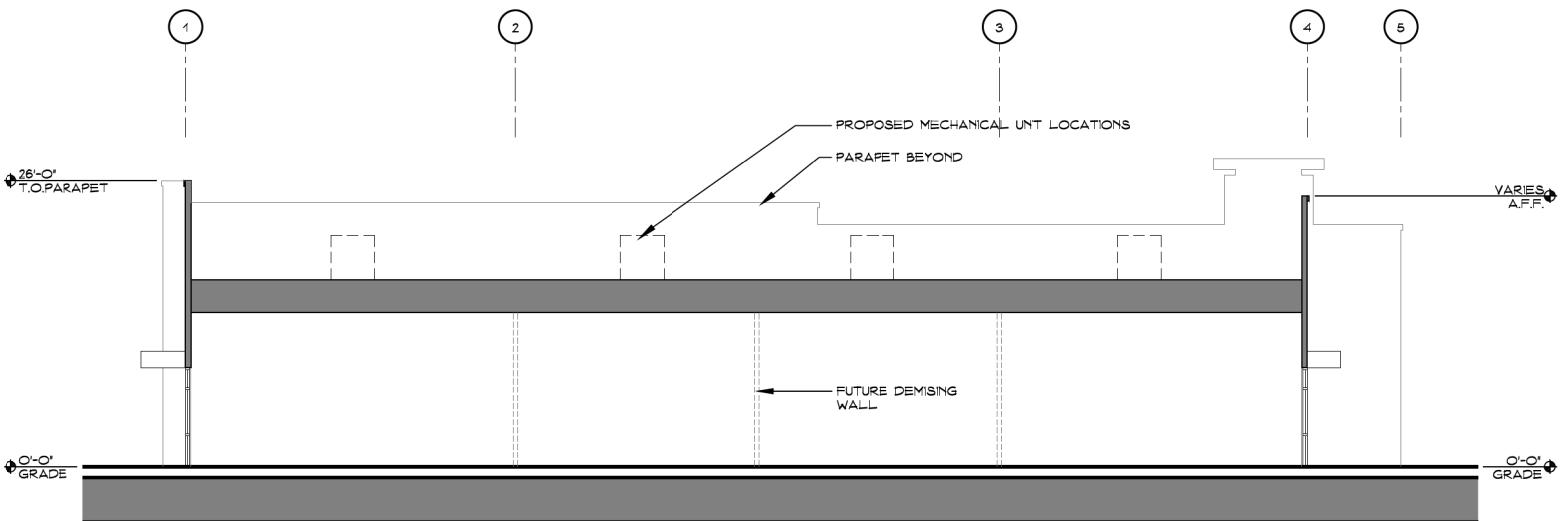
PERKINS, WILLIAMS & COTTERILL, INC.
ARCHITECTS
3320 Data Drive, Suite 200 • Rancho Cordova, California 95670
T (916) 851-1400 F (916) 851-1408 E pwarch@pwarchitects.com
DATE: 12.22.22
PROJECT: 21-314





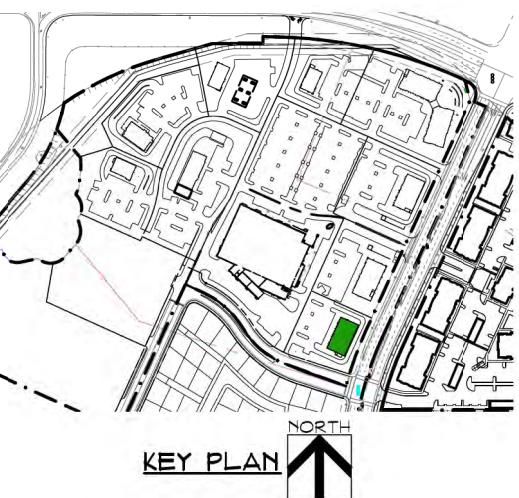
Roof Plan

SCALE = 1/8" = 1'-0"



A-A Building Section

SCALE = 1/8" = 1'-0"



 COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

The logo for Perkins, Williams & Cotterill, Inc. Architects. It features a red square icon with a white stylized 'P' shape inside. To the right of the icon, the company name 'PERKINS, WILLIAMS & COTTERILL, INC.' is written in a black serif font. Below the company name, the word 'ARCHITECTS' is written in a large, bold, black sans-serif font.

WHITNEY RANCH RETAIL PAD 2F-PRELIMINARY ROOF PLAN & SECTION A-A

Rocklin, CA

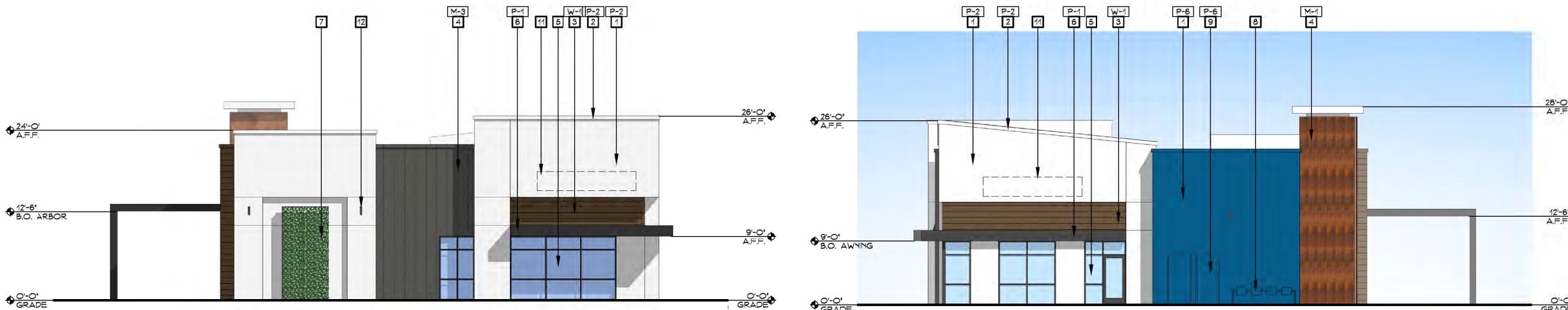
0 4' 8' 16' 32' Scale: 1/8" - 1'-0"

A7.2



West Elevation

SCALE = 1/8" = 1'-0"



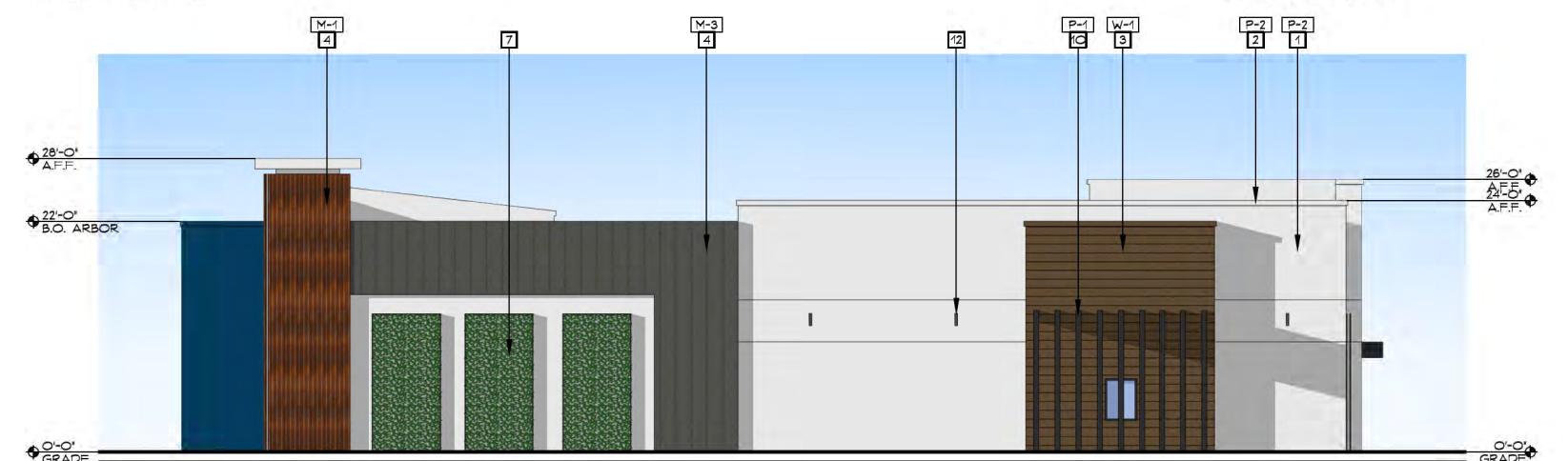
North Elevation

SCALE = 1/8" = 1'-0"



South Elevation

SCALE = 1/8" = 1'-0"



East Elevation

SCALE = 1/8" = 1'-0"

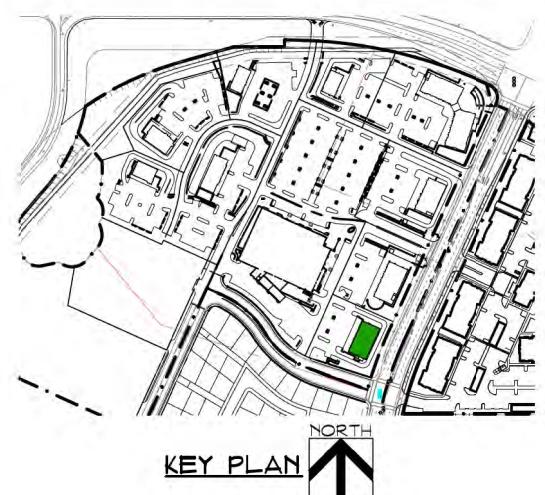
KEYNOTES	
1	IMPERFECT SMOOTH FINISH CEMENT PLASTER SYSTEM
2	ARCHITECTURAL FOAM CORNICE
3	HORIZONTAL LAP SIDING
4	METAL SIDING
5	ALUMINUM STOREFRONT WINDOW SYSTEM
6	METAL AWNING
7	WALL TRELLIS
8	GAS METER
9	HOLLOW METAL DOOR IN HM FRAME - PAINTED TO MATCH WALL COLOR
10	DRIVE-THRU ARBOR
11	FUTURE TENANT SIGNAGE
12	ACCENT LIGHT FIXTURE

PAINt

- [P-1] 'GREENBLACK' SW 6994 - SHERWIN WILLIAMS
- [P-2] 'PURE WHITE' SW 7005 - SHERWIN WILLIAMS
- [P-3] 'INTELLECTUAL GRAY' SW 7045 - SHERWIN WILLIAMS
- [P-4] 'TATAMI TAN' SW 6116 - SHERWIN WILLIAMS
- [P-5] 'GARDEN GROVE' SW 6445 - SHERWIN WILLIAMS
- [P-6] 'DIGNITY BLUE' SW 6804 - SHERWIN WILLIAMS

MATERIALS

- [W-1] HORIZONTAL LAP SIDING: 'C71 PALISANDER' - RESYSTA
- [M-1] METAL SIDING: 'NATURAL RUST' NU-WAVE CORRUGATED - AEP SPAN
- [M-2] METAL SIDING: 'SAGE GREEN' NU-WAVE CORRUGATED - AEP SPAN
- [M-3] METAL SIDING: 'SAGE GREEN' FLEX SERIES 12FX20-12 - AEP SPAN



KEY PLAN

COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

WHITNEY RANCH RETAIL
Rocklin, CA

PAD 2F - PRELIMINARY ELEVATIONS

Scale: 1/8" - 1'-0"
0 4' 8' 16' 32'

A7.3

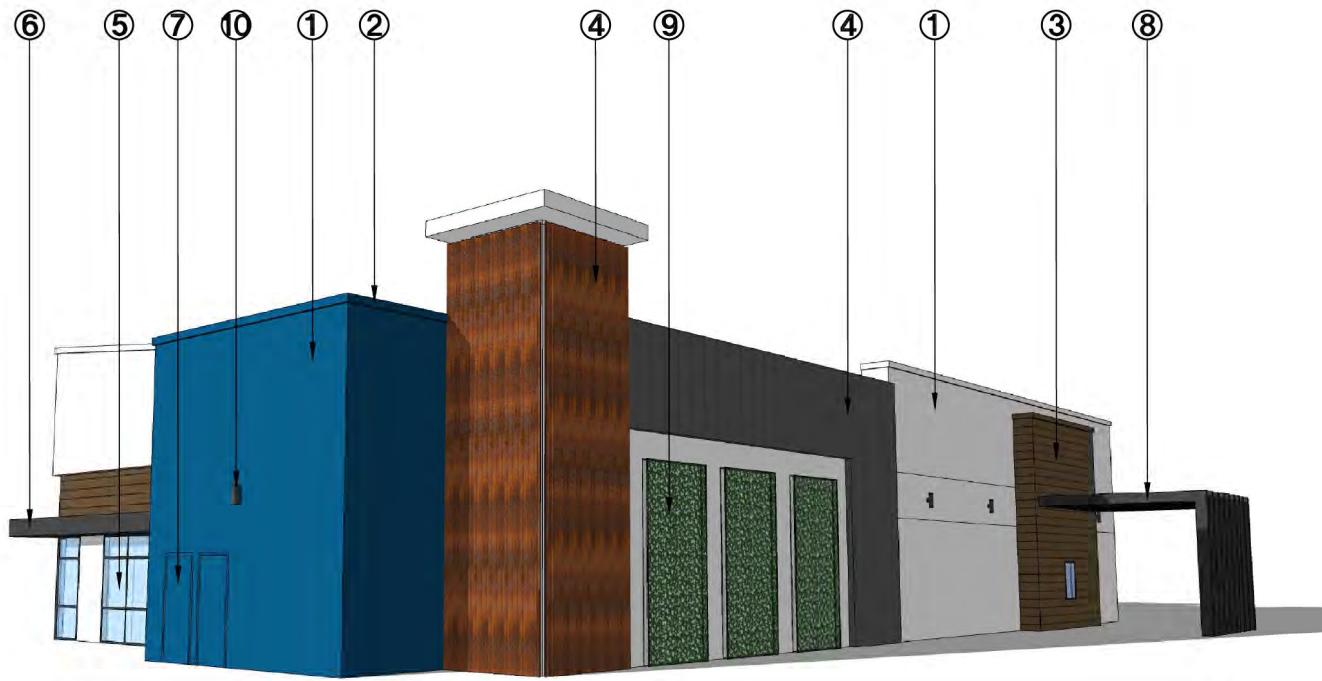
PERKINS, WILLIAMS & COTTERILL, INC.
ARCHITECTS
3320 Data Drive, Suite 200 • Rancho Cordova, California 95670
T (916) 851-1400 F (916) 851-1408 E pwarch@pwarchitects.com
DATE: 12.22.22
PROJECT: 21-314



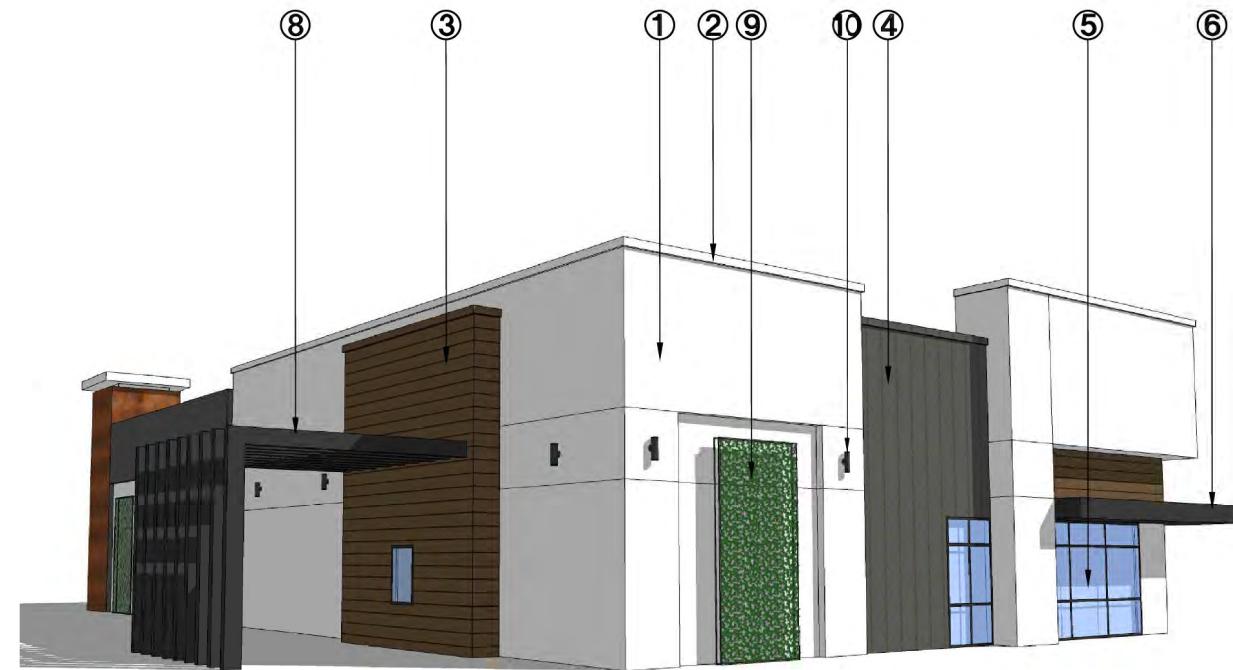
VIEW FROM NORTHWEST



VIEW FROM SOUTHWEST



VIEW FROM SOUTHEAST

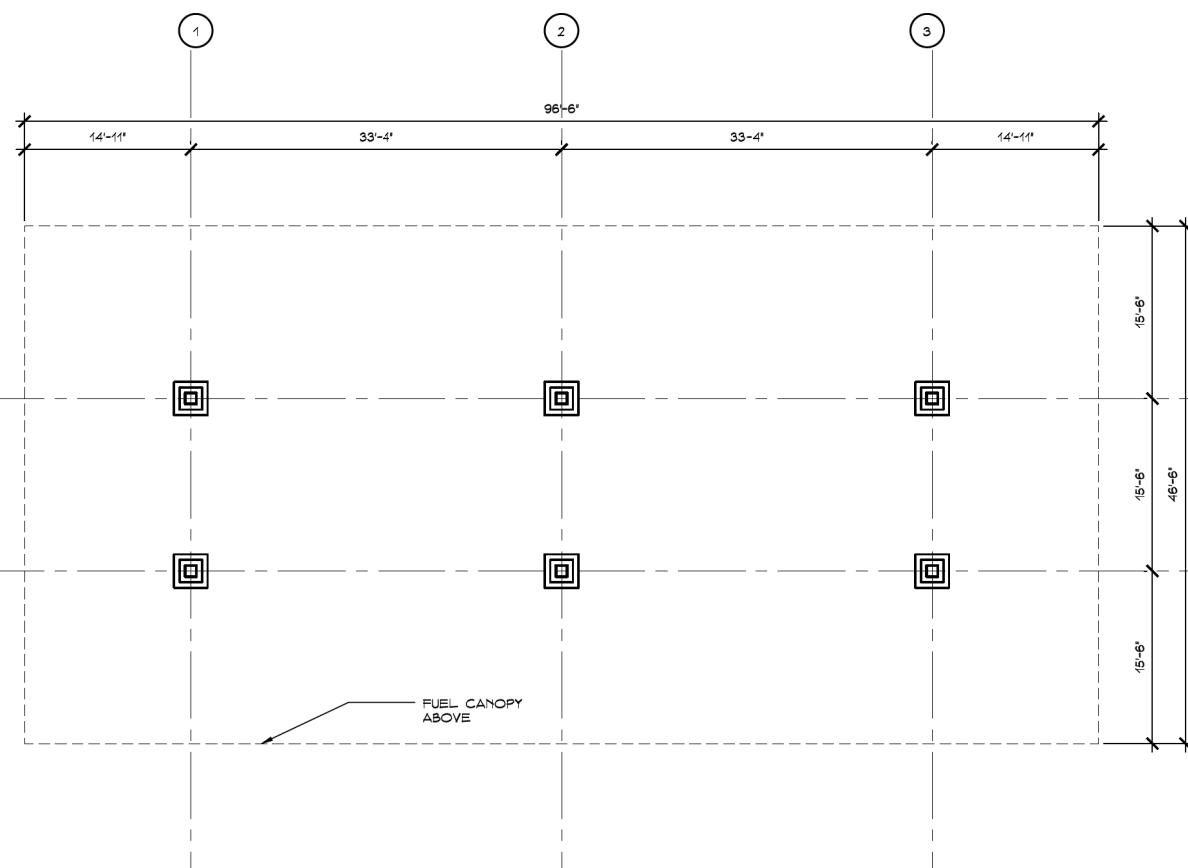


VIEW FROM NORTHEAST

- ① IMPERFECT SMOOTH FINISH
CEMENT PLASTER SYSTEM
- ② ARCHITECTURAL FOAM CORNICE
- ③ HORIZONTAL LAP SIDING

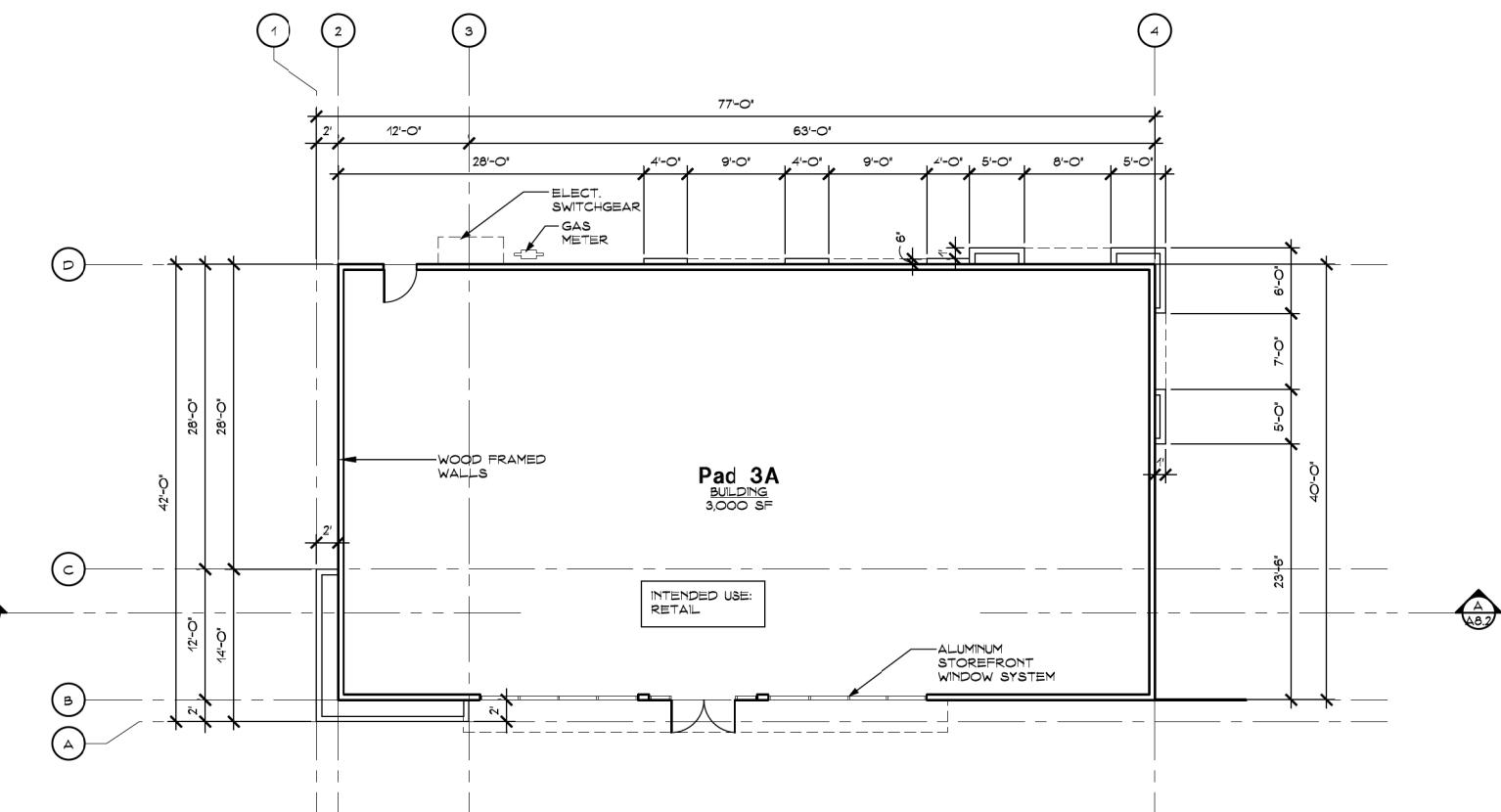
- ④ METAL SIDING
- ⑤ ALUMINUM STOREFRONT
WINDOW SYSTEM
- ⑥ METAL AWNING

- ⑦ HOLLOW METAL DOOR
- ⑧ DRIVE-THRU ARBOR
- ⑨ WALL TRELLIS
- ⑩ ACCENT LIGHT FIXTURE



Fuel Canopy - Floor Plan

SCALE = 1/8" = 1'-0"



Floor Plan

SCALE = 1/8" = 1'-0"



NORTH
KEY PLAN



COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

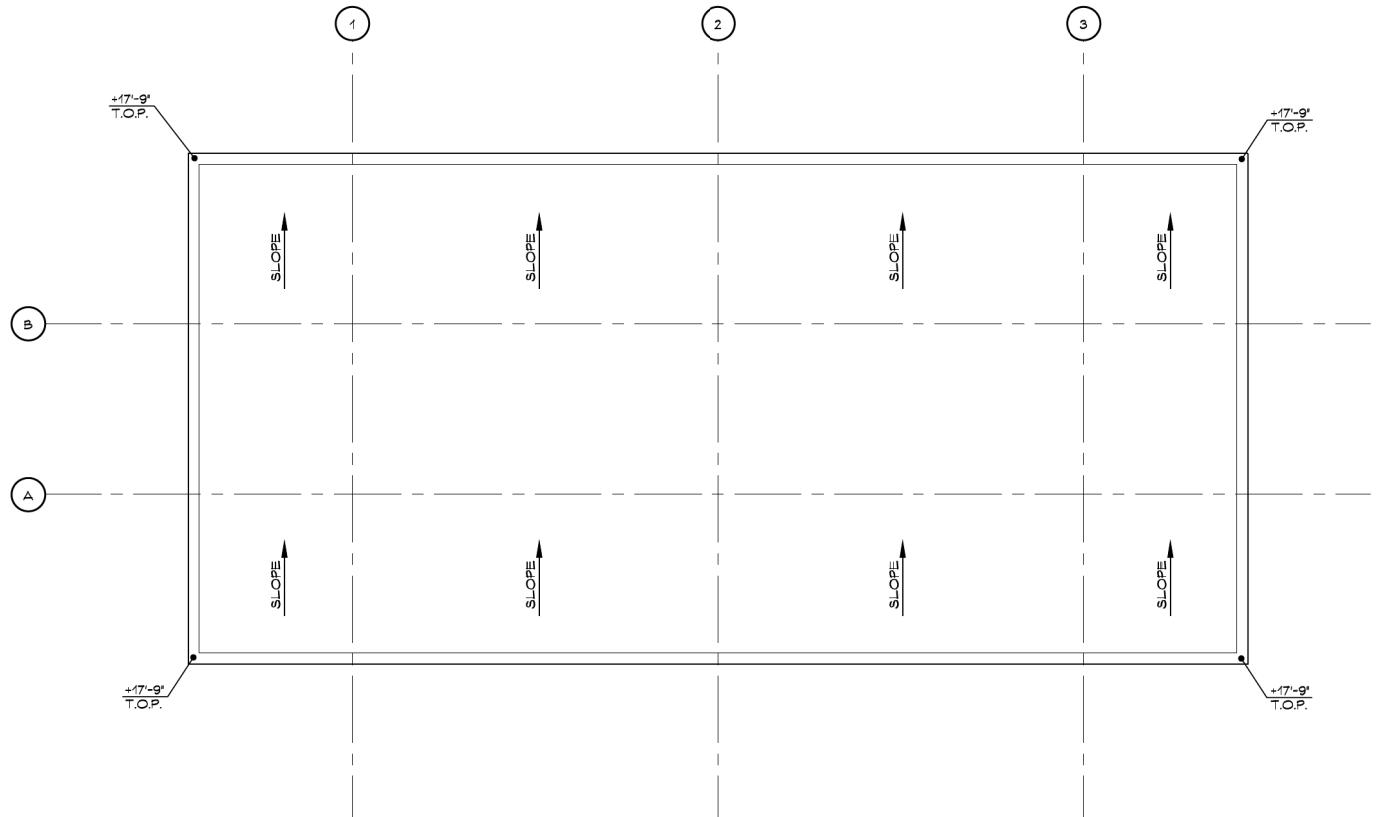
WHITNEY RANCH RETAIL
Rocklin, CA

PAD 3A - PRELIMINARY FLOOR PLANS

Scale: 1/8" - 1'-0"
0 4' 8' 16' 32'

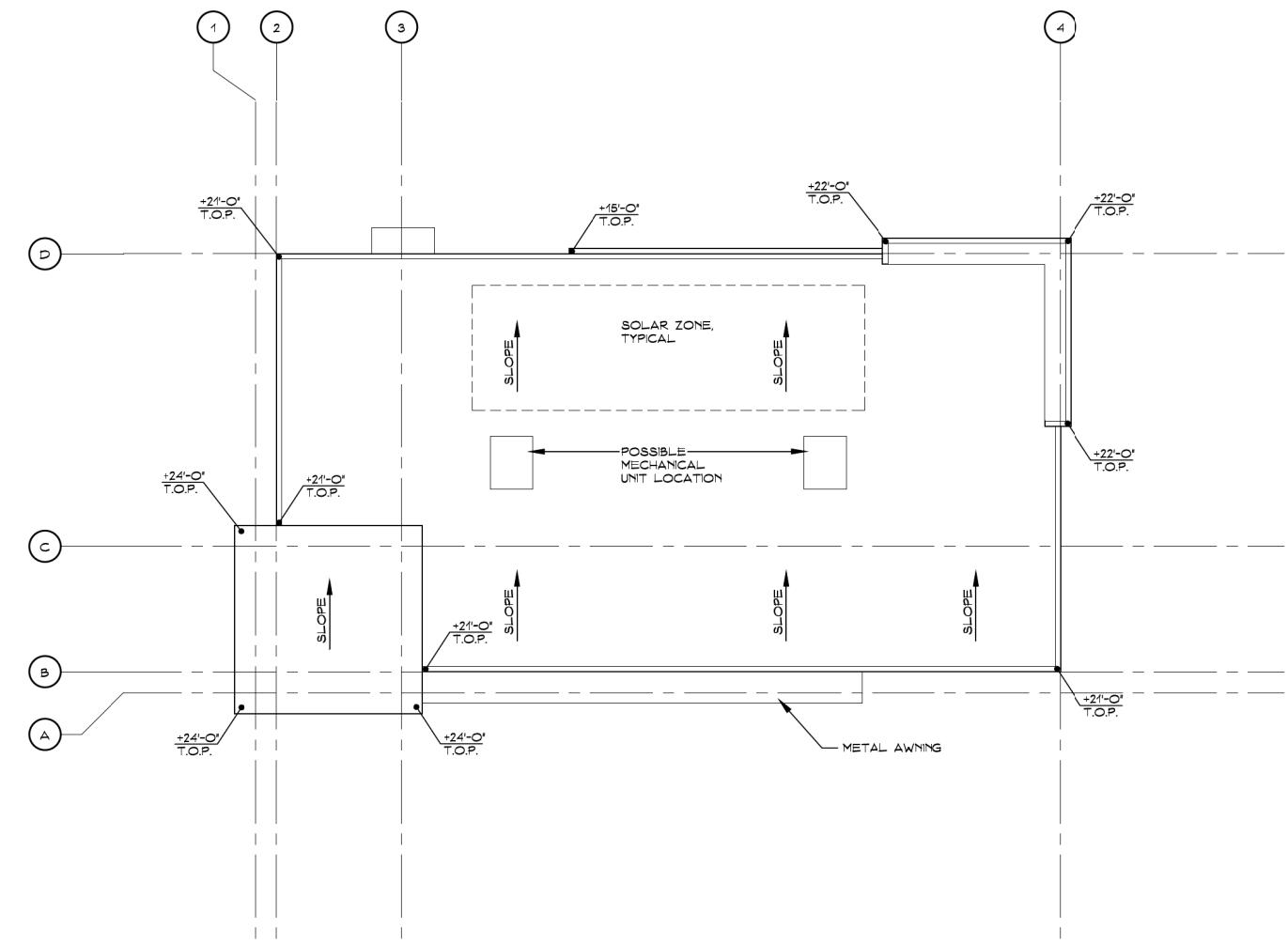
SHEET
A8.1

PERKINS, WILLIAMS & COTTERILL, INC.
ARCHITECTS
3320 Data Drive, Suite 200 • Rancho Cordova, California 95670
T (916) 851-1400 F (916) 851-1408 E pwarch@pwarchitects.com
DATE: 12.22.22
PROJECT: 21-314



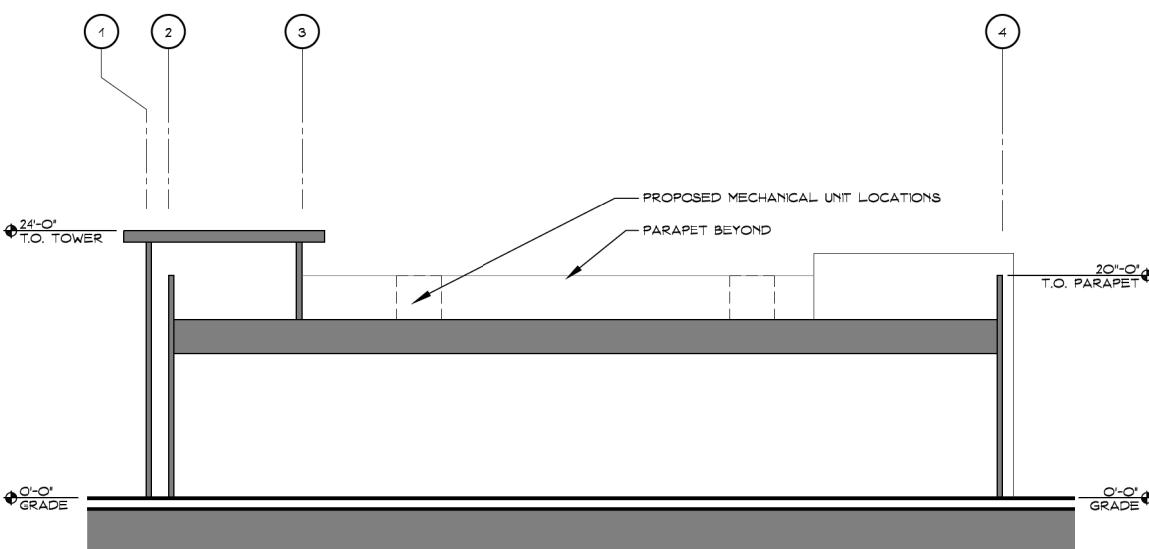
Roof Plan

SCALE = 1/8" = 1'-0"



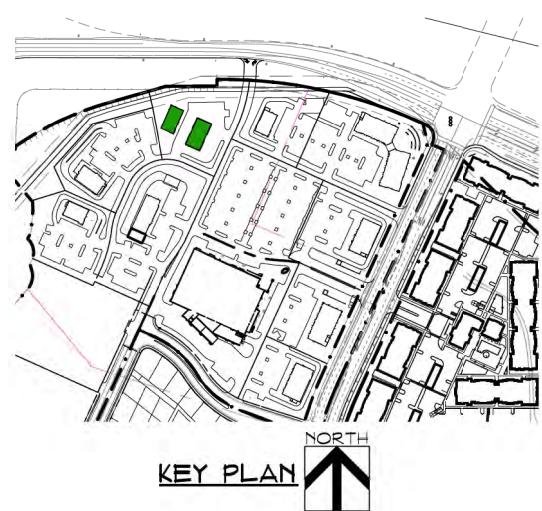
Roof Plan

SCALE = 1/8" = 1'-0"



Building Section A-A

SCALE = 1/8" = 1'-0"



COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

WHITNEY RANCH RETAIL 3A - PRELIMINARY ROOF PLAN & SECTION A-A

Rocklin, CA

Scale: 1/8" - 1'-0"
0 4' 8' 16' 32'

A8.2
SHEET

PERKINS, WILLIAMS & COTTERILL, INC.
PW ARCHITECTS
3320 Data Drive, Suite 200 • Rancho Cordova, California 95670
T (916) 851-1400 F (916) 851-1408 E pwarch@pwarchitects.com
DATE: 12.22.22
PROJECT: 21-314



EAST ELEVATION

SCALE = 1/8" = 1'-0"



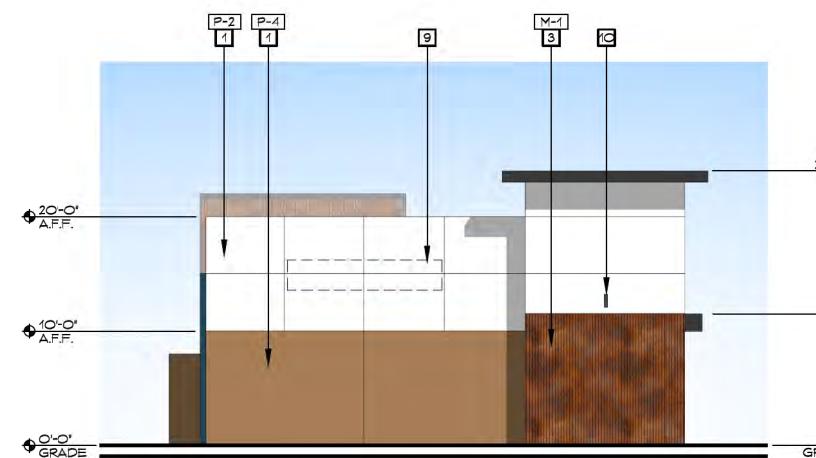
NORTH ELEVATION

SCALE = 1/8" = 1'-0"



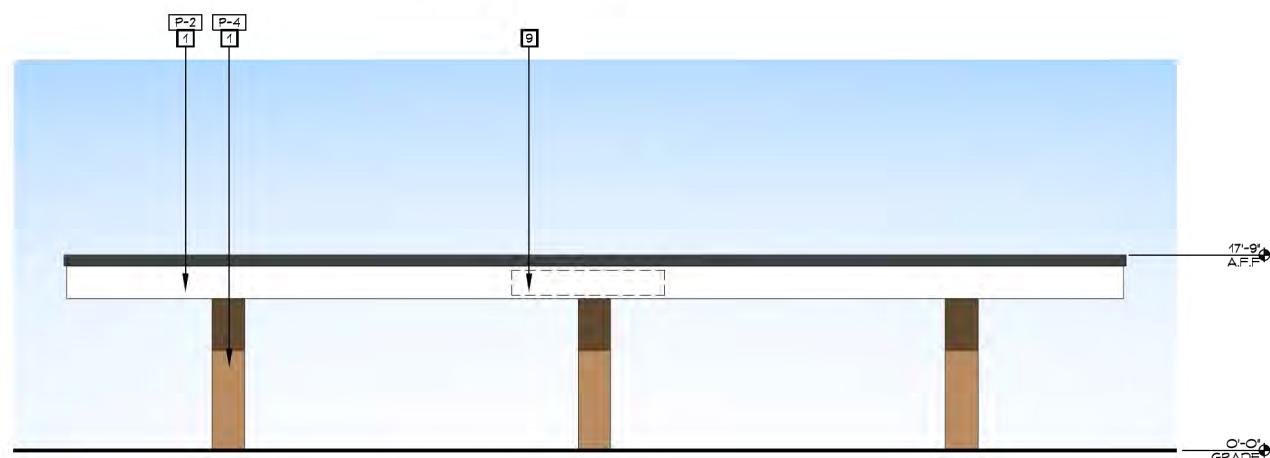
WEST ELEVATION

SCALE = 1/8" = 1'-0"



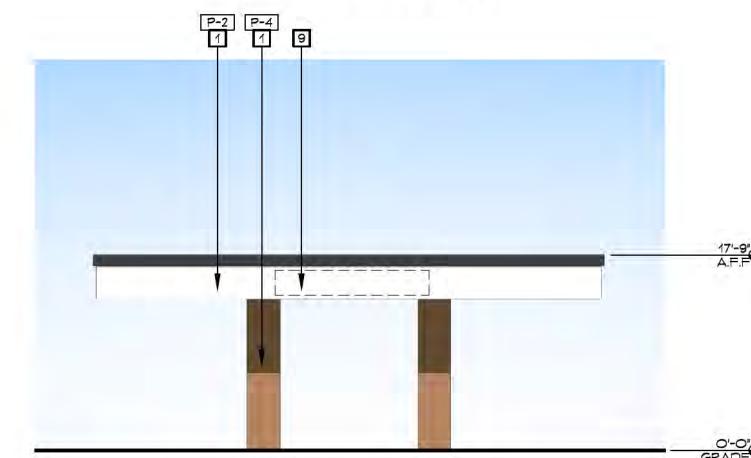
SOUTH ELEVATION

SCALE = 1/8" = 1'-0"



EAST ELEVATION

SCALE = 1/8" = 1'-0"



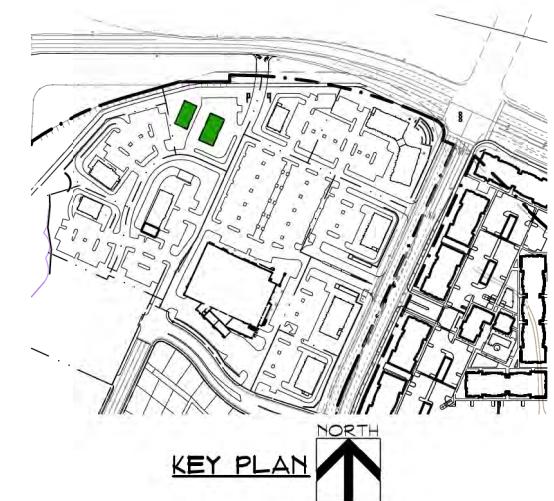
SOUTH ELEVATION

SCALE = 1/8" = 1'-0"

KEYNOTES	
1	IMPERFECT SMOOTH FINISH CEMENT PLASTER SYSTEM
2	ARCHITECTURAL FOAM CORNICE
3	METAL SIDING
4	ALUMINUM STOREFRONT WINDOW SYSTEM
5	METAL AWNING
6	LIVING WALL LANDSCAPE TRELLIS
7	GAS METER
8	HOLLOW METAL DOOR IN HM FRAME - PAINTED TO MATCH WALL COLOR
9	FUTURE TENANT SIGNAGE
10	ACCENT LIGHT FIXTURE

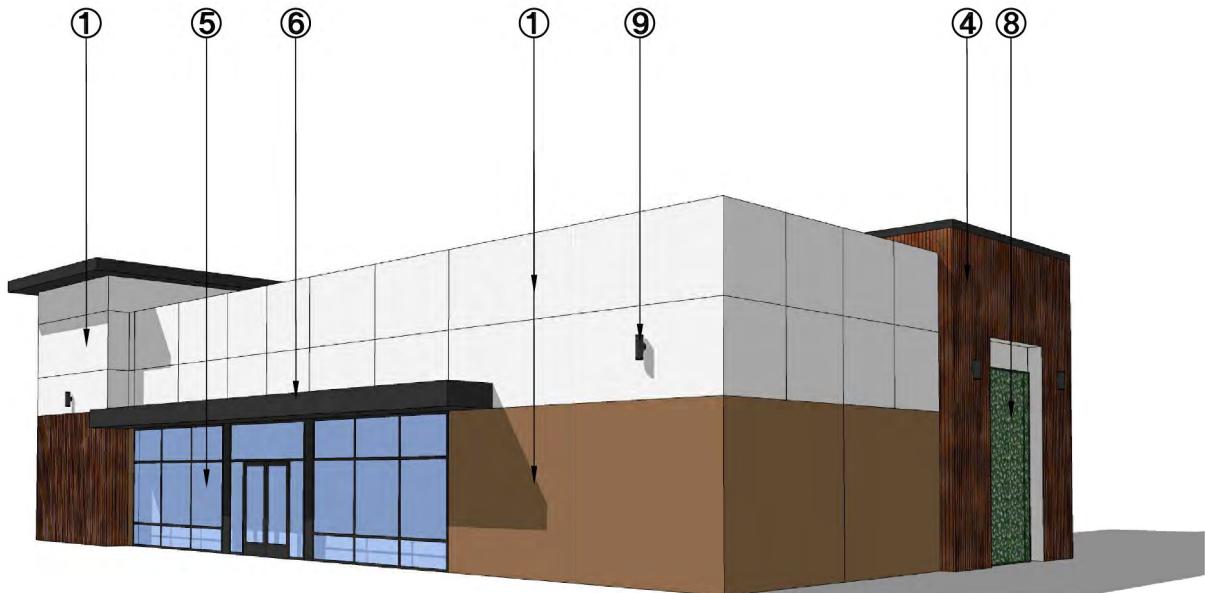
PAINT	
P-1	'GREENBLACK' SW 6994 - SHERWIN WILLIAMS
P-2	'PURE WHITE' SW 7005 - SHERWIN WILLIAMS
P-3	'INTELLECTUAL GRAY' SW 7045 - SHERWIN WILLIAMS
P-4	'TATAMI TAN' SW 6116 - SHERWIN WILLIAMS
P-5	'GARDEN GROVE' SW 6445 - SHERWIN WILLIAMS
P-6	'DIGNITY BLUE' SW 6804 - SHERWIN WILLIAMS

MATERIALS	
W-1	HORIZONTAL LAP SIDING: 'C71 PALISANDER' - RESYSTA
M-1	METAL SIDING: 'NATURAL RUST' NU-WAVE CORRUGATED - AEP SPAN
M-2	METAL SIDING: 'SAGE GREEN' NU-WAVE CORRUGATED - AEP SPAN
M-3	METAL SIDING: 'SAGE GREEN': FLEX SERIES 12FX20-12 - AEP SPAN

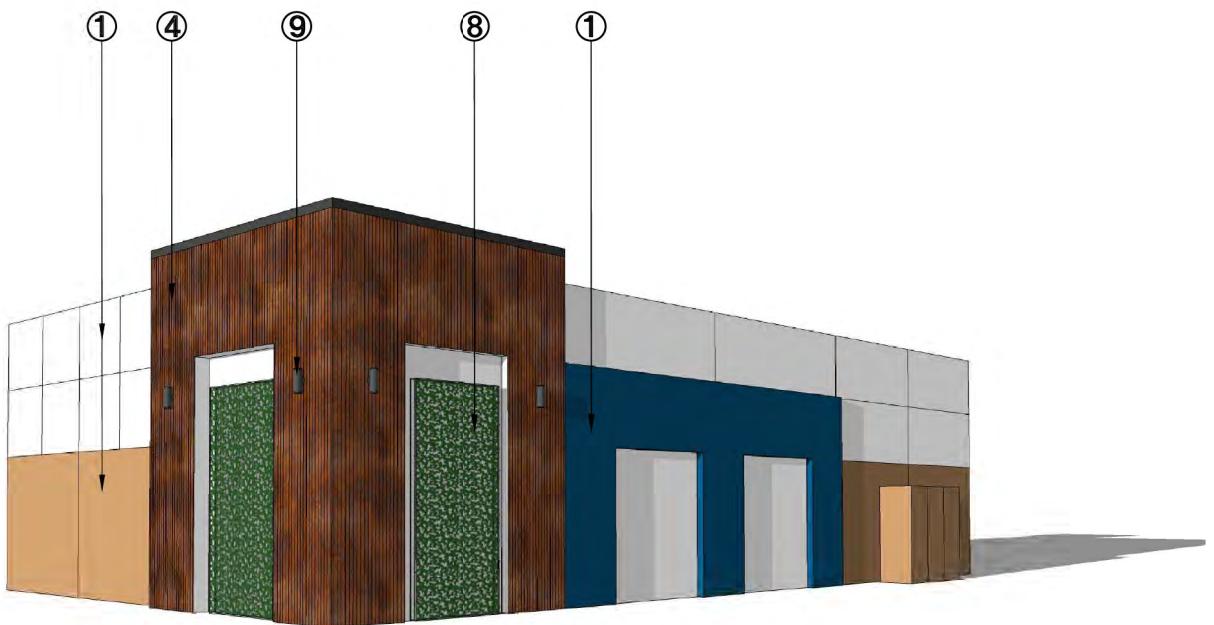




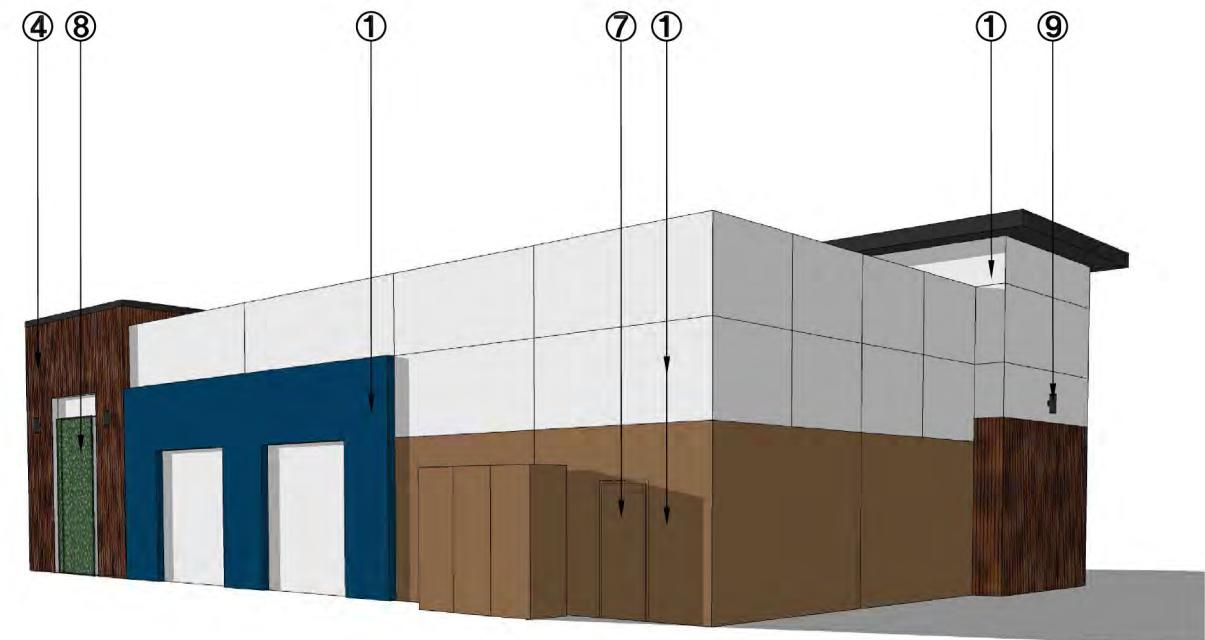
VIEW FROM SOUTHEAST



VIEW FROM NORTHEAST



VIEW FROM NORTHWEST

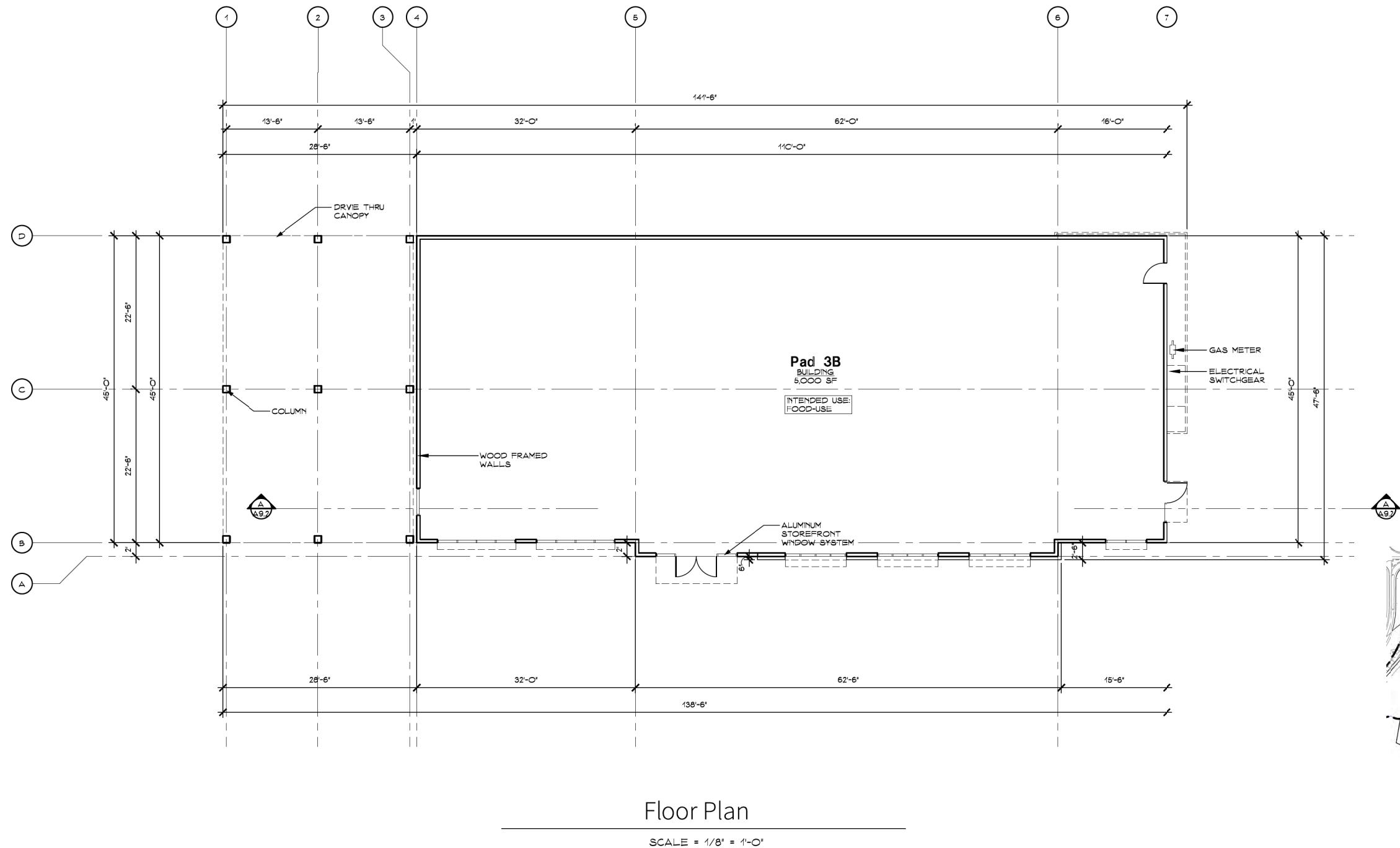


VIEW FROM SOUTHWEST

- ① IMPERFECT SMOOTH FINISH
CEMENT PLASTER SYSTEM
- ② NOT USED
- ③ NOT USED

- ④ METAL SIDING
- ⑤ ALUMINUM STOREFRONT
WINDOW SYSTEM
- ⑥ METAL AWNING

- ⑦ HOLLOW METAL DOOR
- ⑧ LIVING WALL LANDSCAPE
TRELLIS
- ⑨ ACCENT LIGHT FIXTURE



WHITNEY RANCH RETAIL
Rocklin, CA

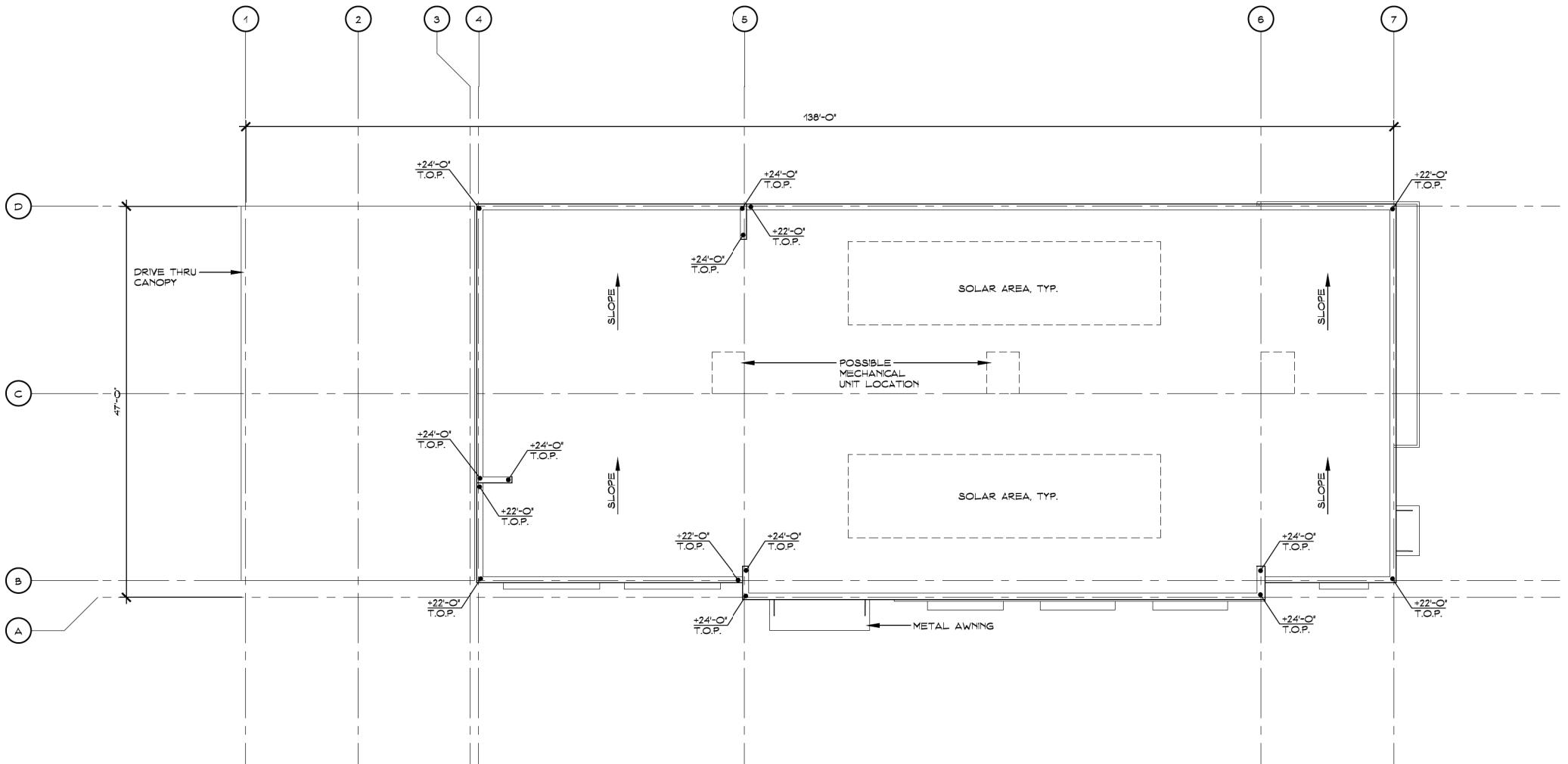
PAD 3B - PRELIMINARY FLOOR PLAN

0 4' 8' 16' 32'
Scale: 1/8" - 1'-0"

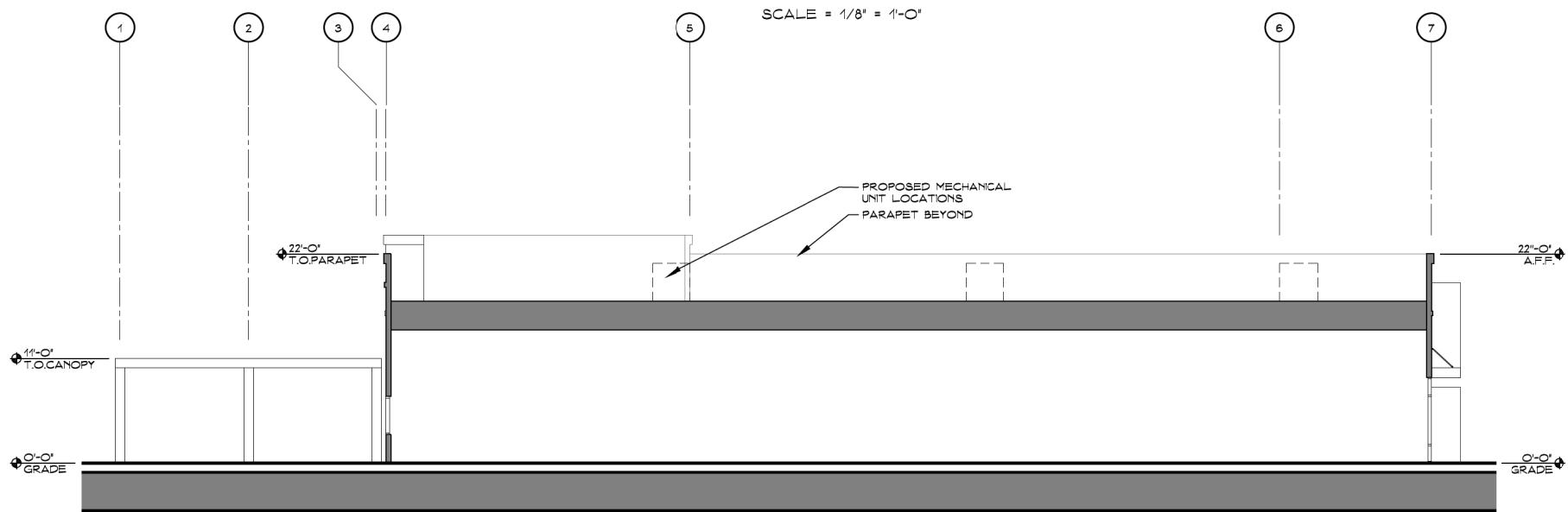
A9.1
SHEET

NORTH
PERKINS, WILLIAMS & COTTERILL, INC.
ARCHITECTS
3320 Data Drive, Suite 200 • Rancho Cordova, California 95670
T (916) 851-1400 F (916) 851-1408 E pwarch@pwarchitects.com
DATE: 12.22.22
PROJECT: 21-314

NORTH
COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT



Roof Plan



Building Section A-A

SCALE = 1/8" = 1'-0"



WHITNEY RANCH RETAIL

Rocklin, CA

PAD 3B - PRELIMINARY ROOF PLAN & SECTION A-A

Scale: 1/8" - 1'-0"

A9.2



East Elevation

SCALE = 1/8" = 1'-0"



North Elevation



South Elevation

SCALE = 1/8" = 1'-0"



West Elevation

SCALE = 1/8" = 1'-0"

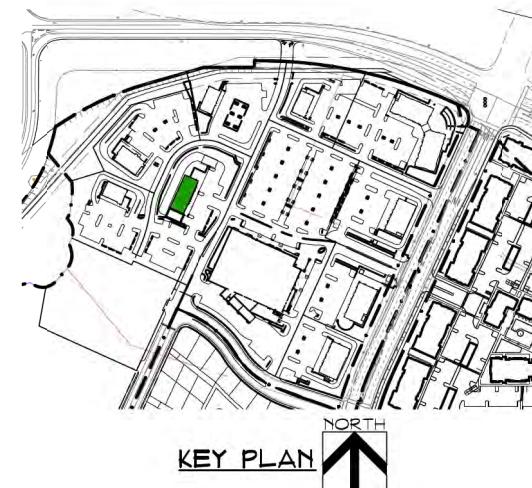
KEYNOTES	
P-1	IMPERFECT SMOOTH FINISH CEMENT PLASTER SYSTEM
P-2	ARCHITECTURAL FOAM CORNICE
P-3	HORIZONTAL LAP SIDING
P-4	LIVING WALL LANDSCAPE TRELLIS
P-5	ALUMINUM STOREFRONT WINDOW SYSTEM
P-6	METAL AWNING
P-7	DRIVE-THRU CANOPY
P-8	GAS METER
P-9	HOLLOW METAL DOOR IN HM FRAME - PAINTED TO MATCH WALL COLOR
P-10	FUTURE TENANT SIGNAGE
P-11	ACCENT LIGHT FIXTURE

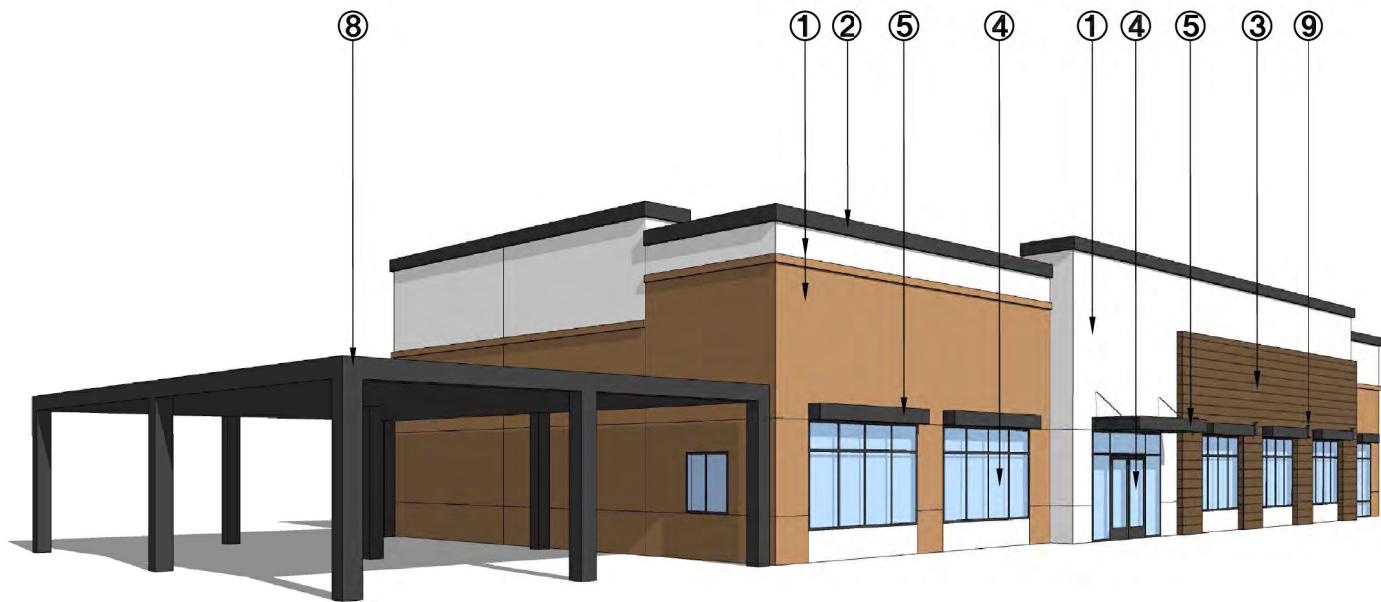
PAINT

P-1	'GREENBLACK' SW 6994 - SHERWIN WILLIAMS
P-2	'PURE WHITE' SW 7005 - SHERWIN WILLIAMS
P-3	'INTELLECTUAL GRAY' SW 7045 - SHERWIN WILLIAMS
P-4	'TATAMI TAN' SW 6116 - SHERWIN WILLIAMS
P-5	'GARDEN GROVE' SW 6445 - SHERWIN WILLIAMS
P-6	'DIGNITY BLUE' SW 6804 - SHERWIN WILLIAMS

MATERIALS

W-1	HORIZONTAL LAP SIDING: 'C71 PALISANDER' - RESYSTA
M-1	METAL SIDING: 'NATURAL RUST' NU-WAVE CORRUGATED - AEP SPAN
M-2	METAL SIDING: 'SAGE GREEN' NU-WAVE CORRUGATED - AEP SPAN
M-3	METAL SIDING: 'SAGE GREEN' FLEX SERIES 12FX20-12 - AEP SPAN

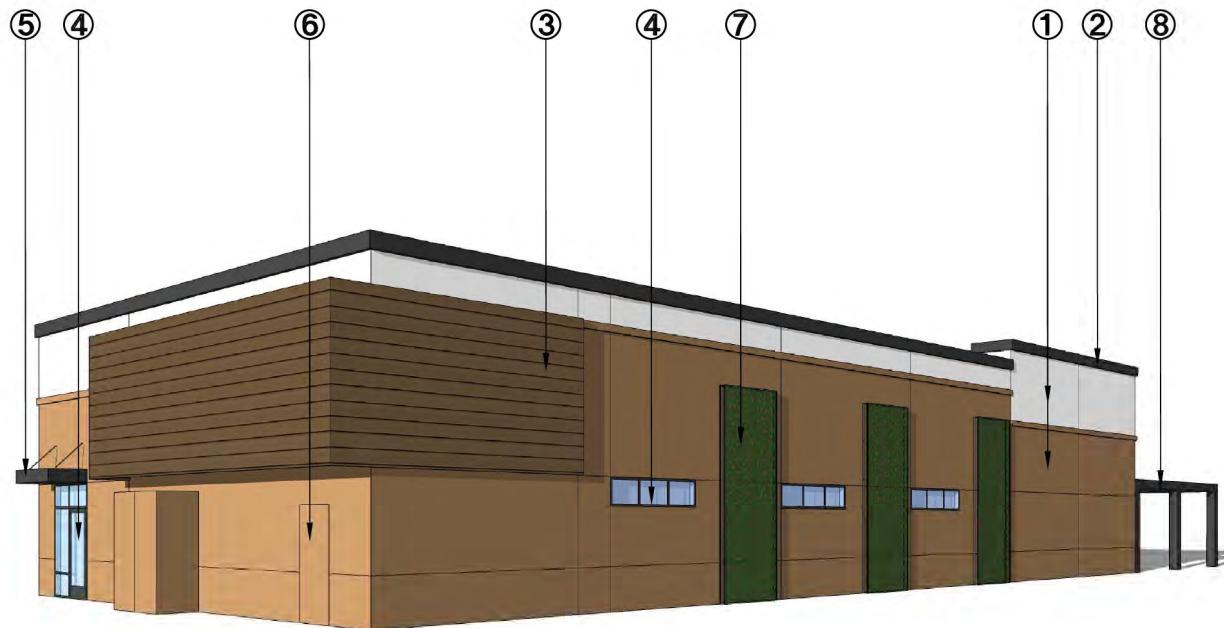




VIEW FROM SOUTHEAST



VIEW FROM NORTHEAST

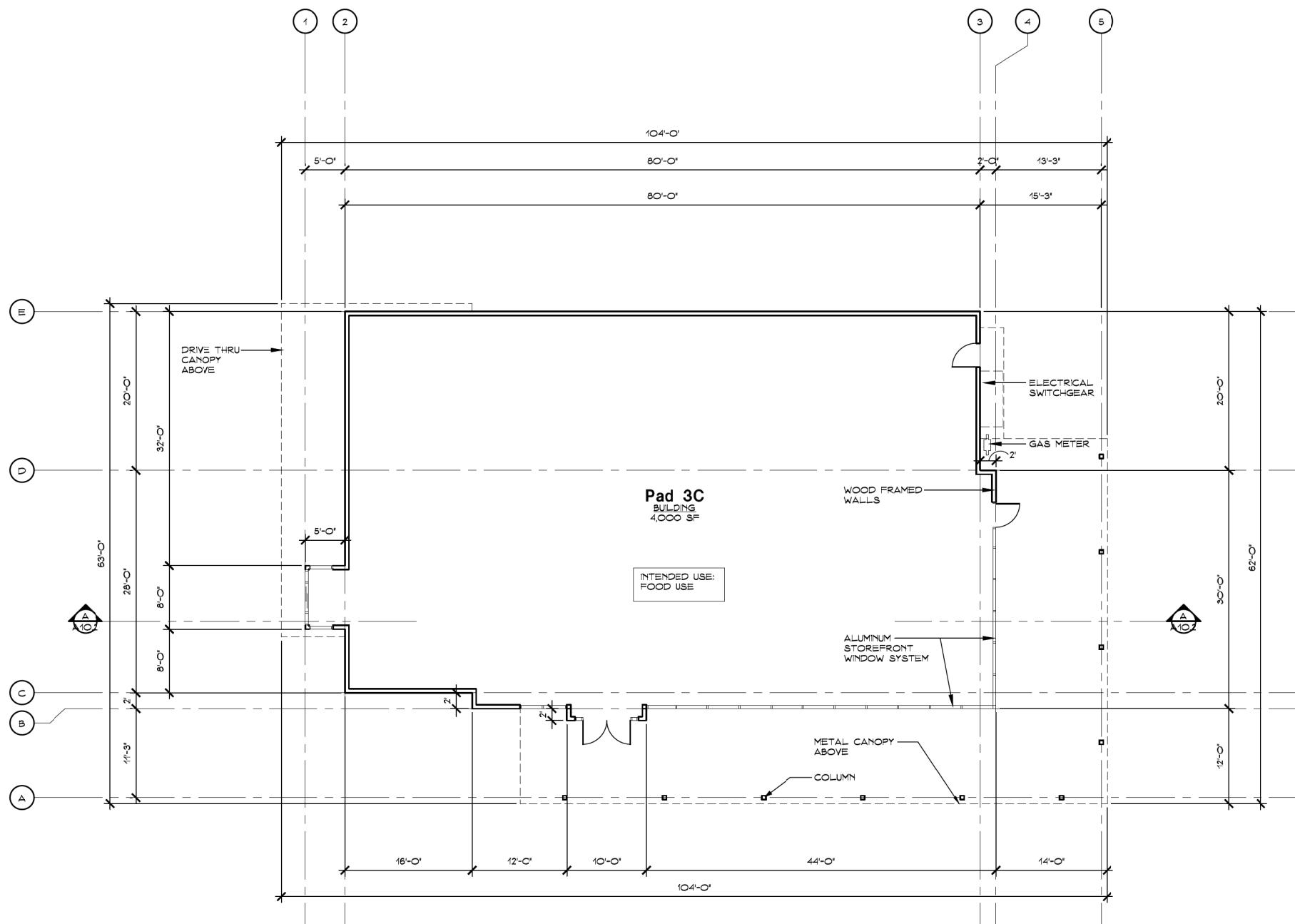


VIEW FROM NORTHWEST



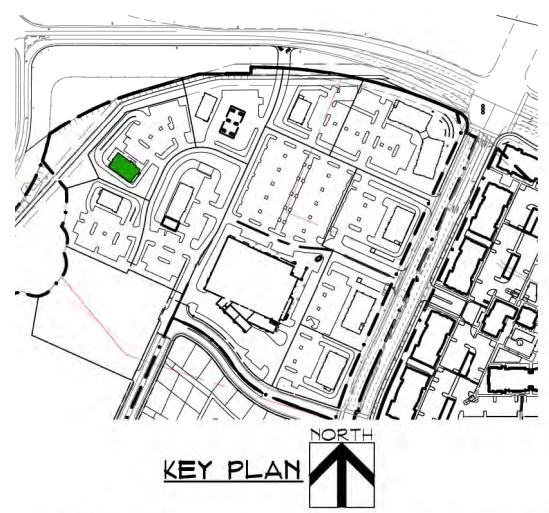
VIEW FROM SOUTHWEST

- | | | |
|--|--|------------------------------------|
| ① IMPERFECT SMOOTH FINISH
CEMENT PLASTER SYSTEM | ④ ALUMINUM STOREFRONT
WINDOW SYSTEM | ⑦ LIVING WALL LANDSCAPE
TRELLIS |
| ② ARCHITECTURAL FOAM CORNICE | ⑤ METAL AWNING | ⑧ DRIVE-THRU CANOPY |
| ③ HORIZONTAL LAP SIDING | ⑥ HOLLOW METAL DOOR | ⑨ ACCENT LIGHT FIXTURE |



Floor Plan

SCALE = 1/8" = 1'-0"



 COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

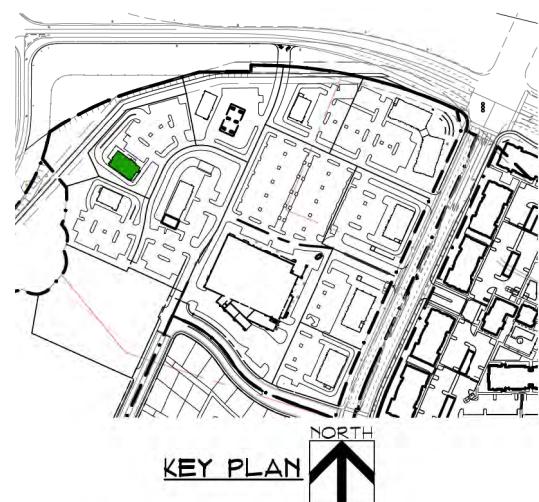
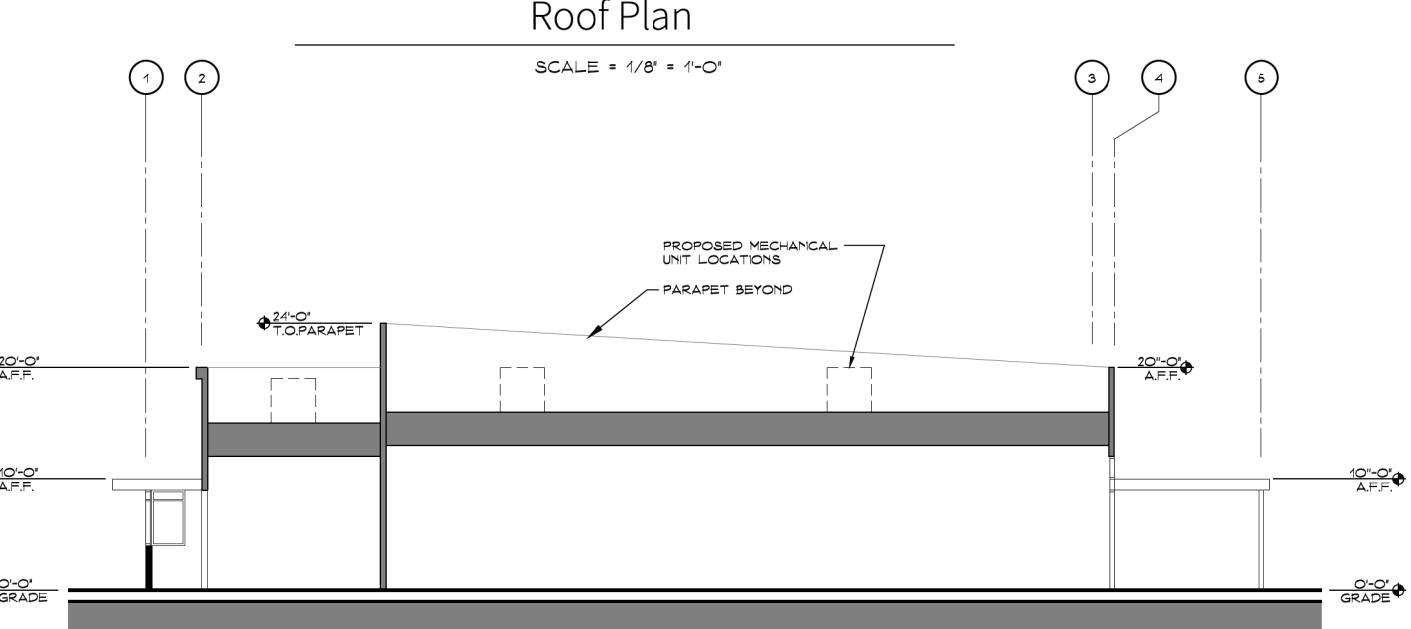
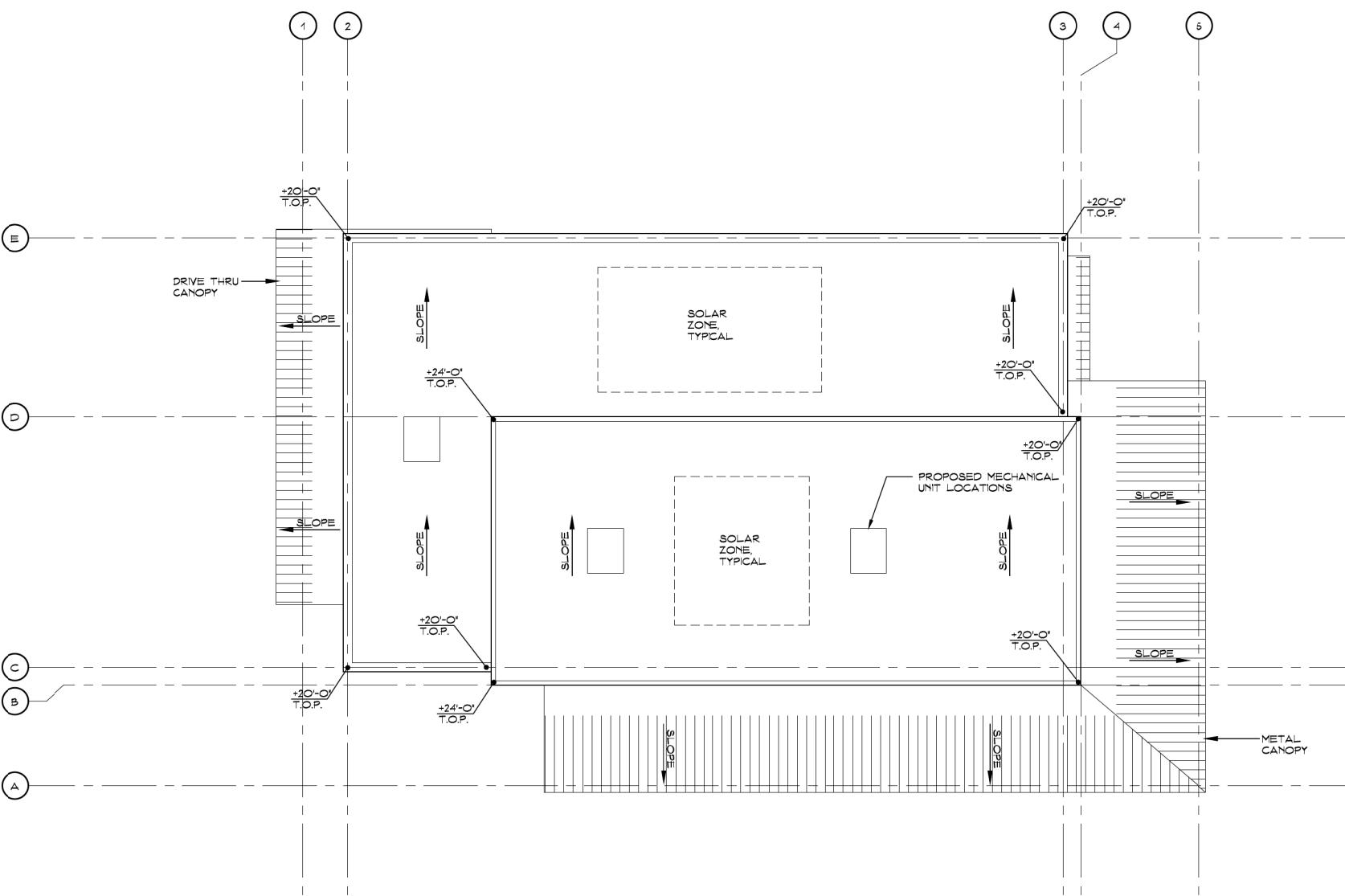
PERKINS, WILLIAMS & COTTERILL, INC.
ARCHITECTS
3320 Data Drive, Suite 200 • Rancho Cordova, California 95670
(916) 851-1400 F (916) 851-1408 E pwarch@pwarchitects.com
DATE: 12.22.22
PROJECT: 21-314

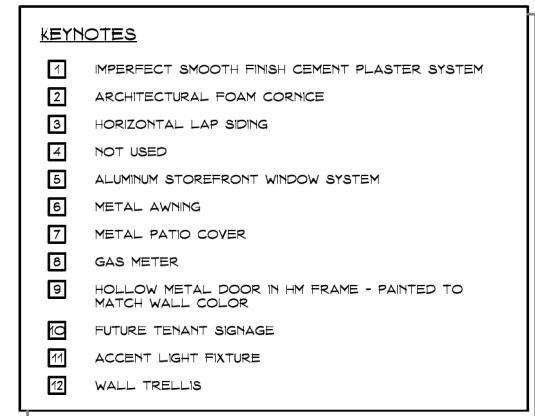
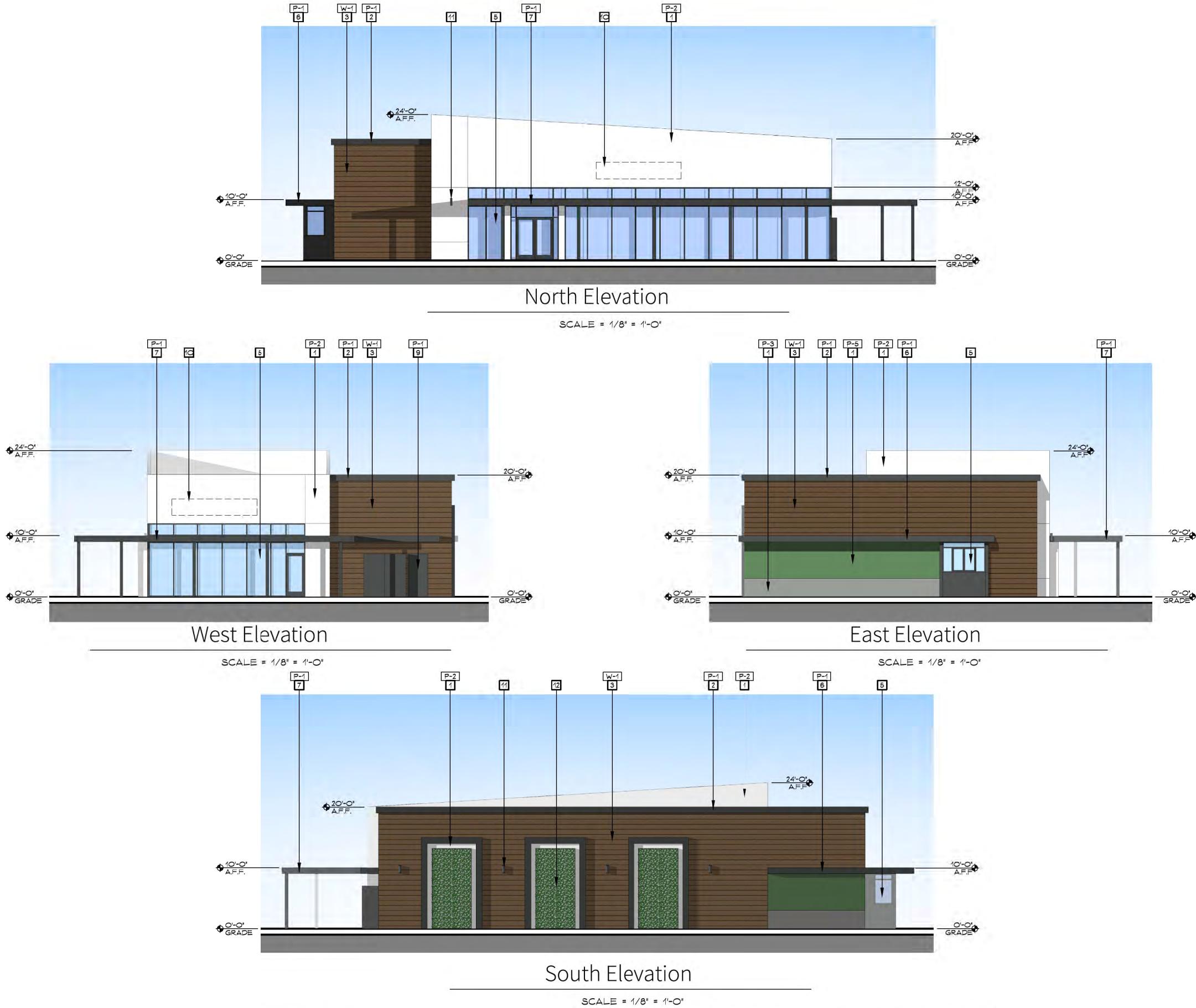
WHITNEY RANCH RETAIL

Rocklin, CA

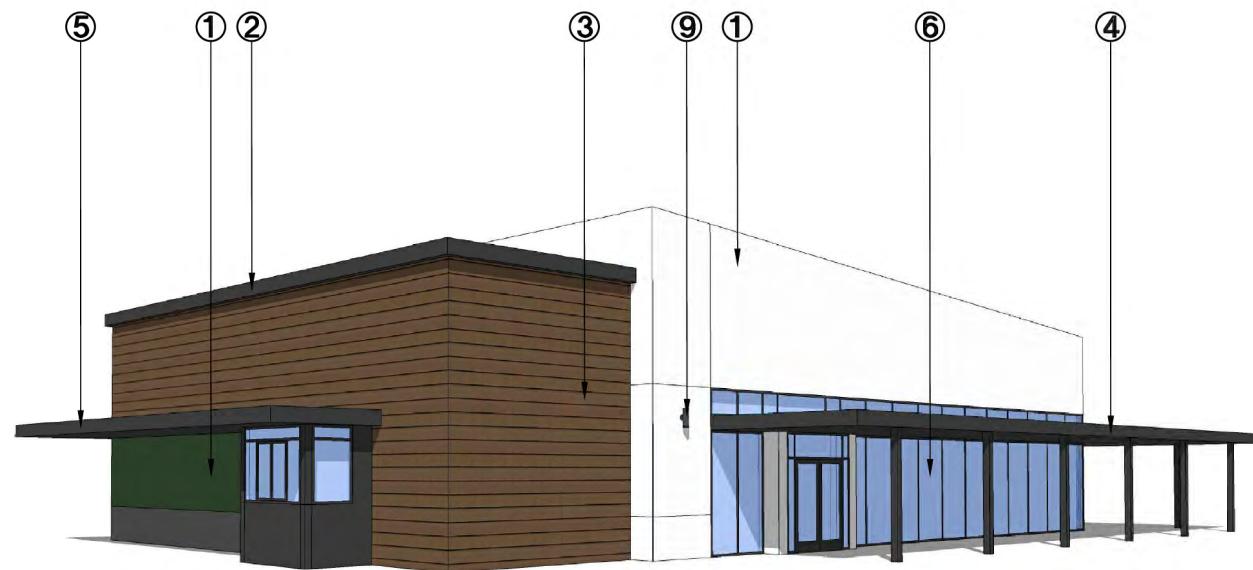
PAD 3C - PRELIMINARY FLOOR PLAN

A10.1

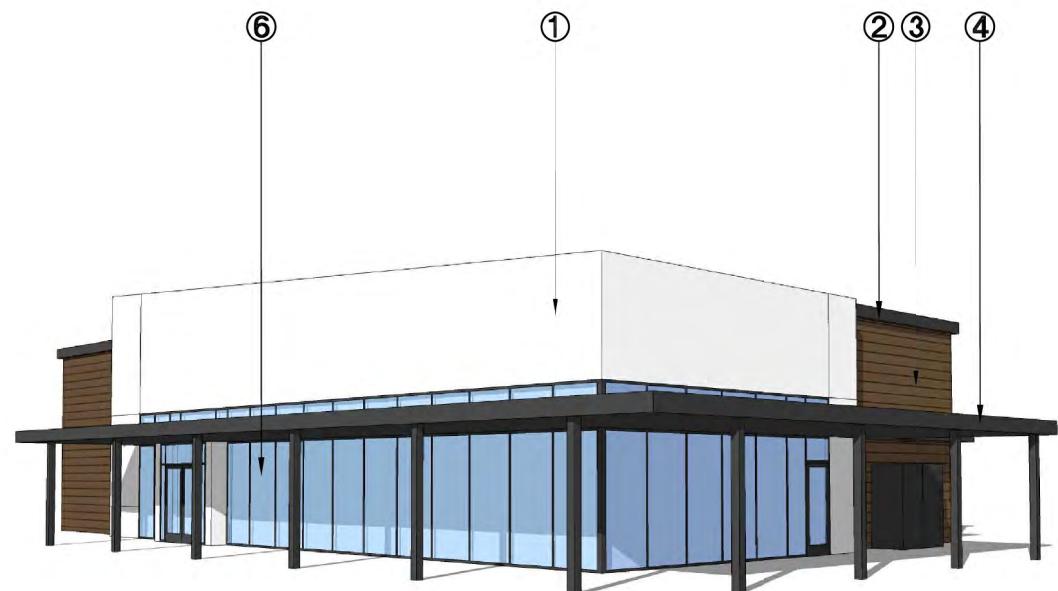




 COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT



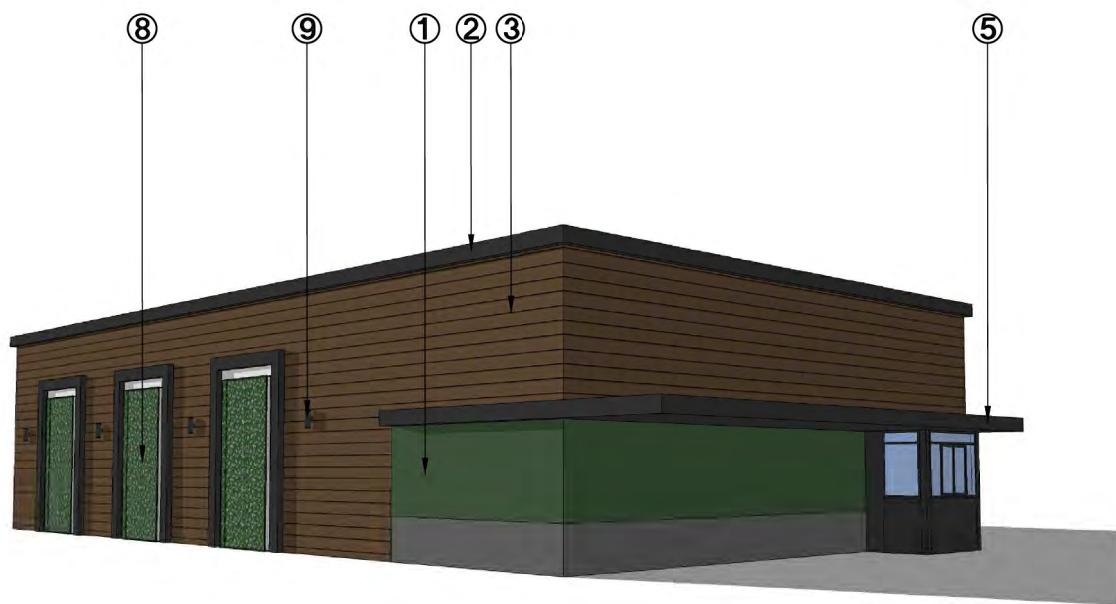
VIEW FROM SOUTHEAST



VIEW FROM NORTHEAST



VIEW FROM NORTHWEST



VIEW FROM SOUTHWEST

① IMPERFECT SMOOTH FINISH
CEMENT PLASTER SYSTEM

② ARCHITECTURAL FOAM CORNICE
③ HORIZONTAL LAP SIDING

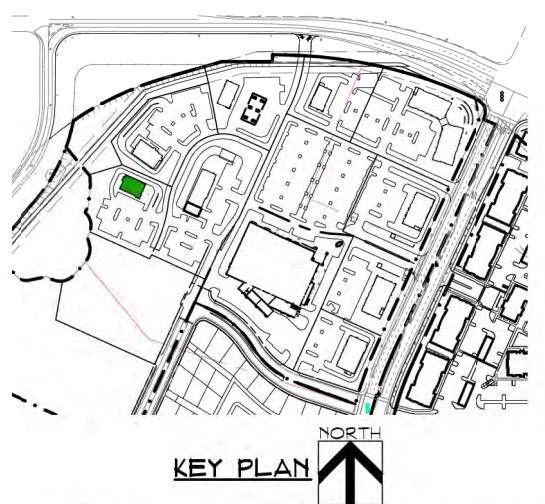
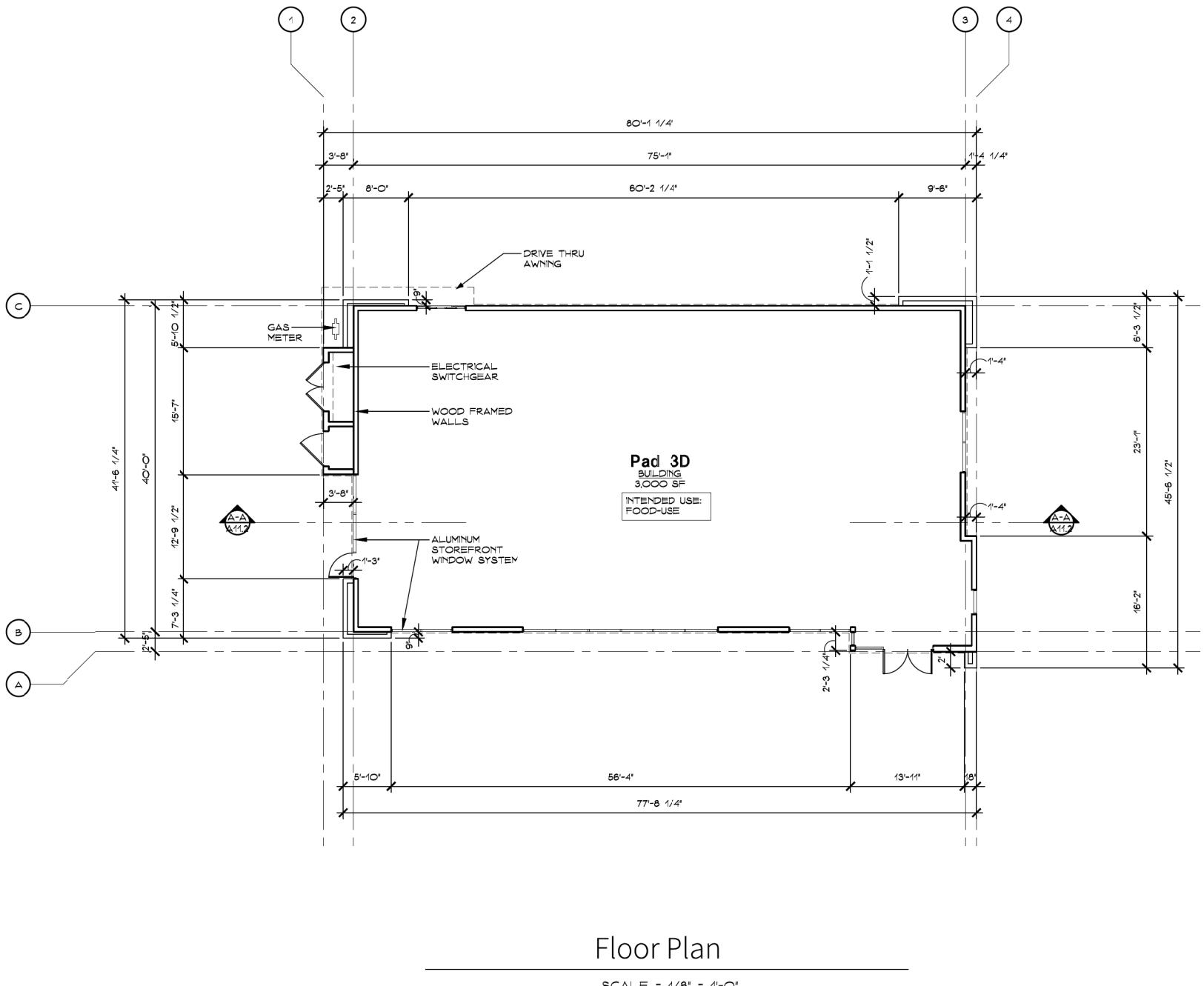
④ METAL PATIO COVER
⑤ METAL AWNING

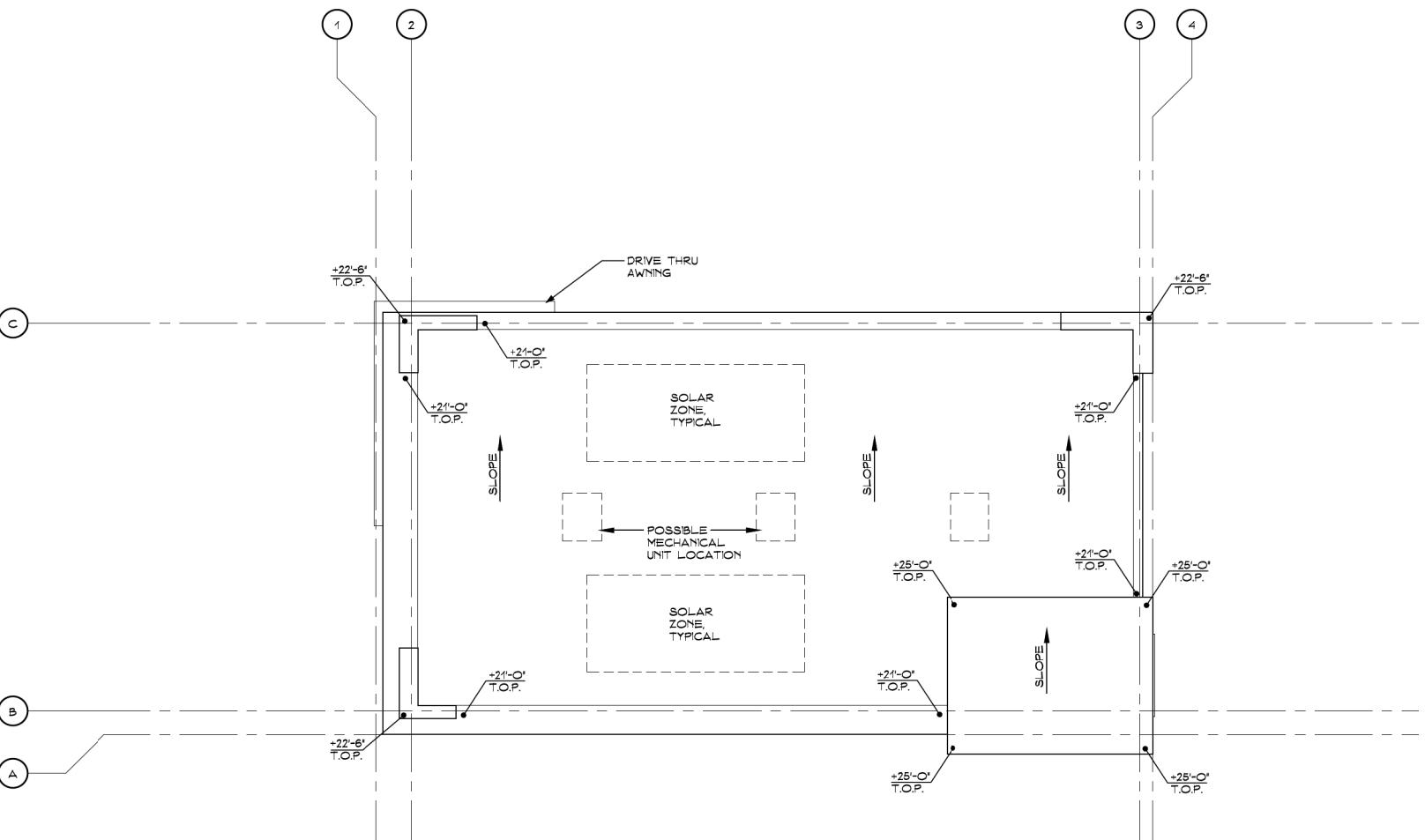
⑥ ALUMINUM STOREFRONT
WINDOW SYSTEM

⑦ HOLLOW METAL DOOR
⑧ LIVING WALL LANDSCAPE
TRELLIS

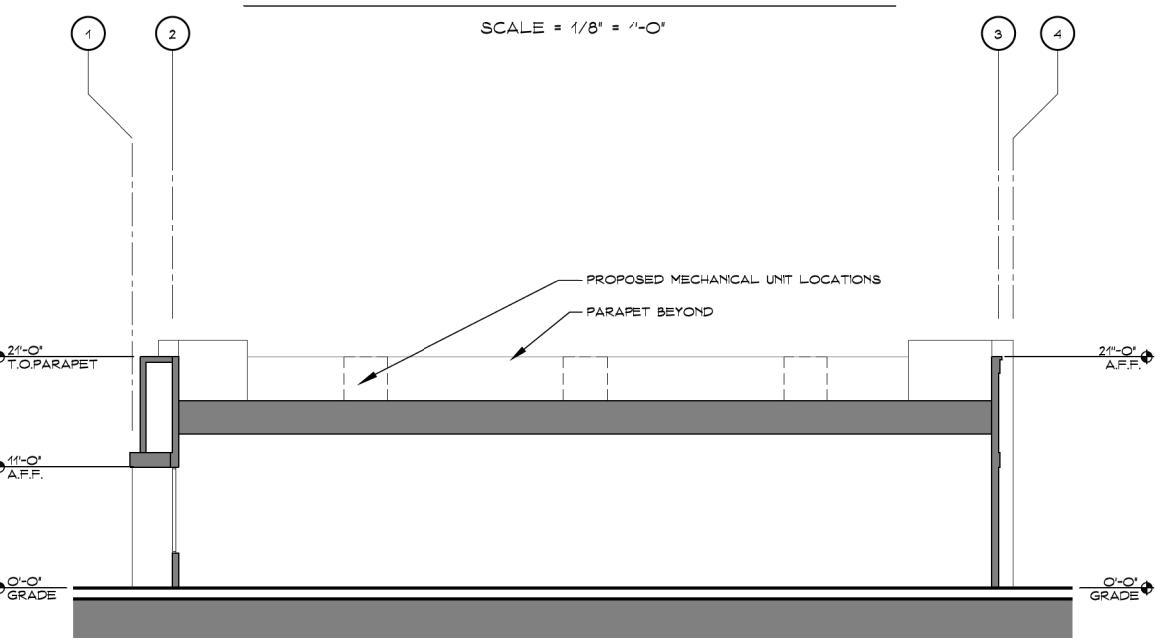
⑨ ACCENT LIGHT FIXTURE

 COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT



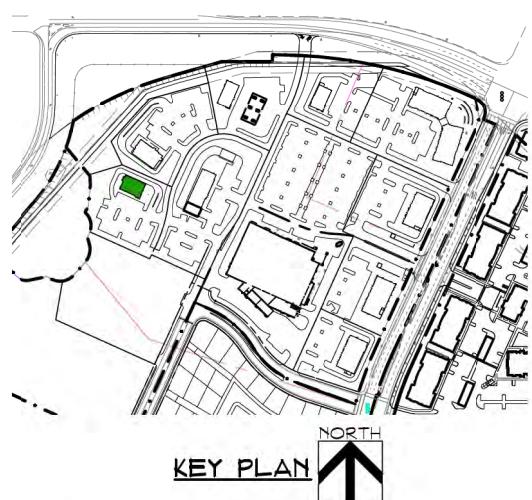


Roof Plan



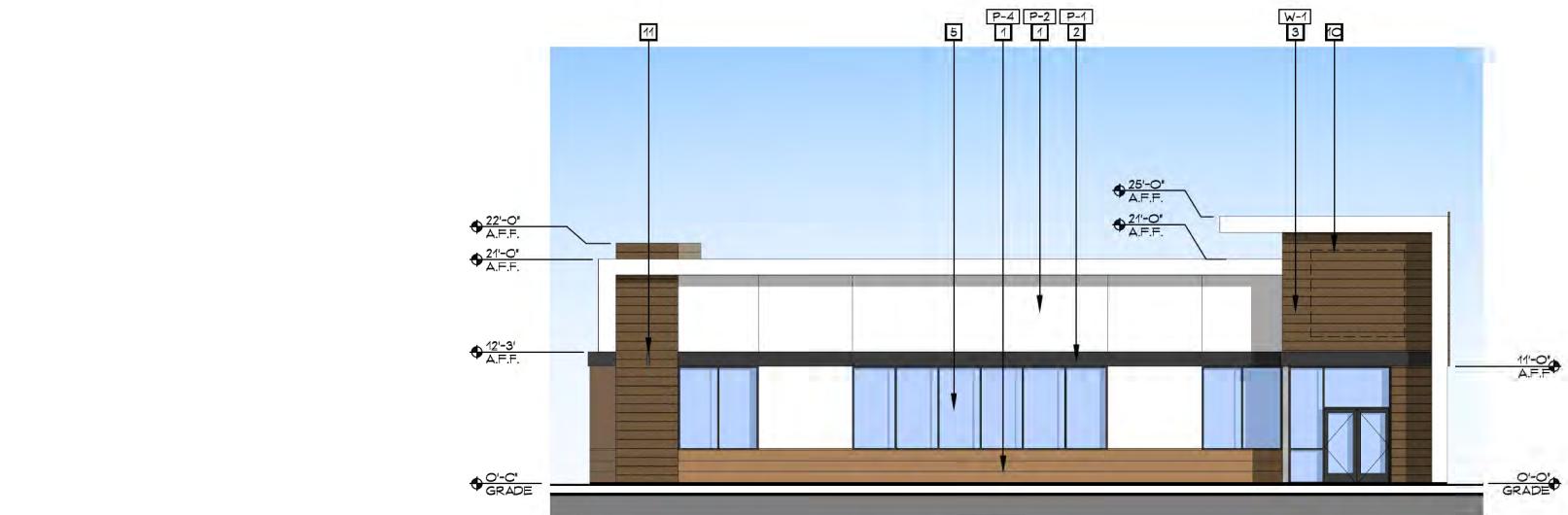
A-A Building Section

SCALE = 1/8" = 1'-0"



COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

PERKINS, WILLIAMS & COTTERILL, INC.
3320 Data Drive, Suite 200 • Rancho Cordova, California 95670
T (916) 851-1400 F (916) 851-1408 E pwcarc@pwcarchitects.com
DATE: 12.22.22
PROJECT: 21-314



South Elevation

SCALE = 1/8" = 1'-0"



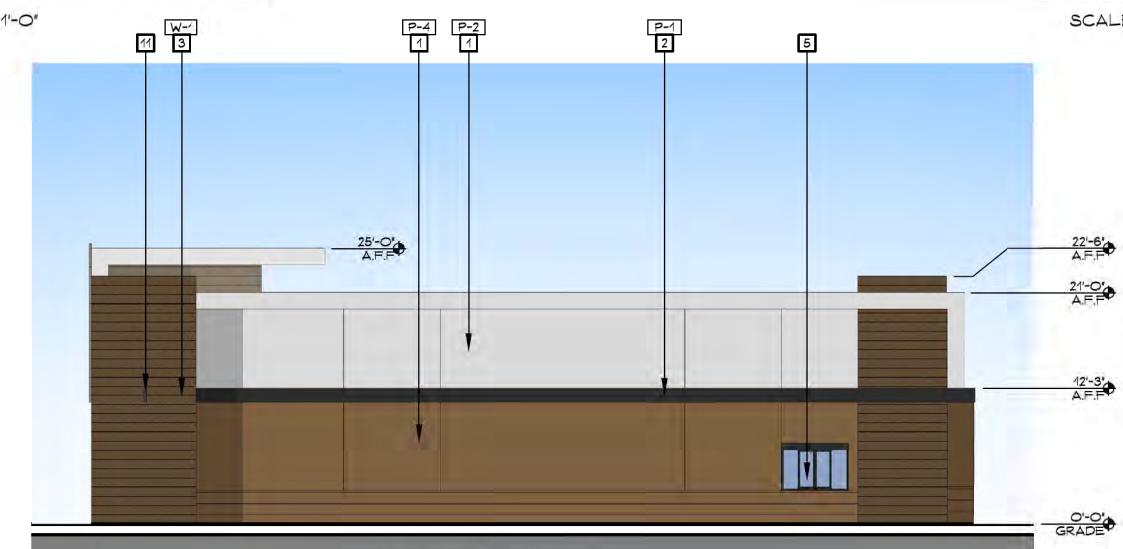
East Elevation

SCALE = 1/8" = 1'-0"



West Elevation

SCALE = 1/8" = 1'-0"



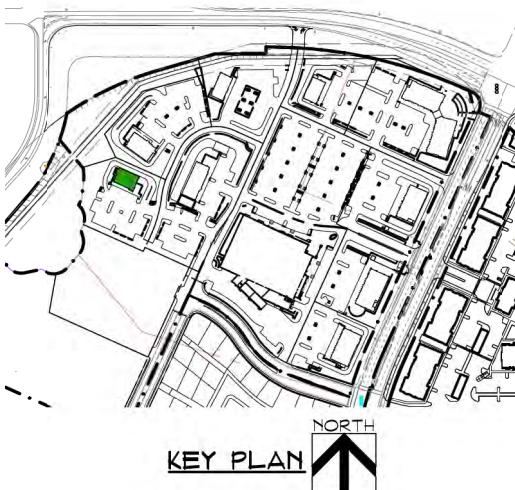
North Elevation

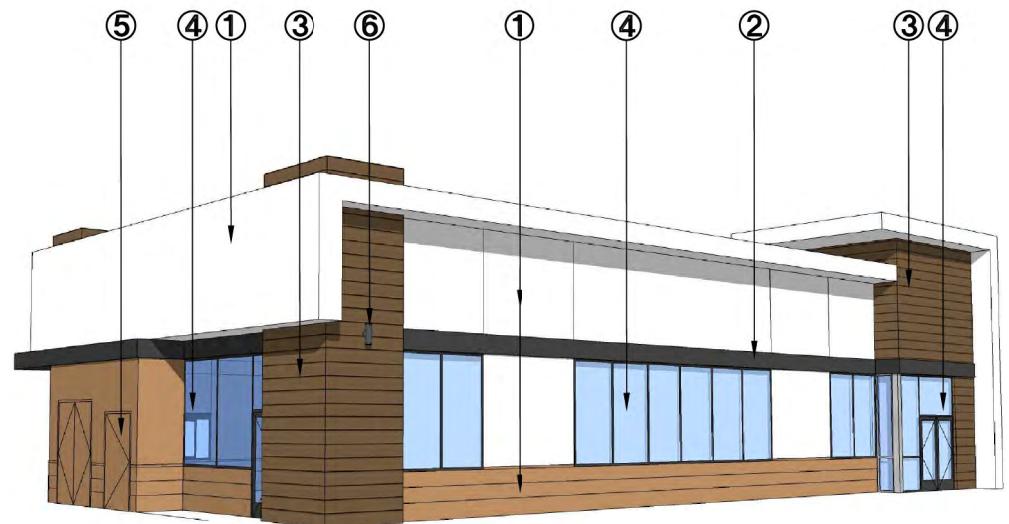
SCALE = 1/8" = 1'-0"

KEYNOTES	
1	IMPERFECT SMOOTH FINISH CEMENT PLASTER SYSTEM
2	ARCHITECTURAL FOAM CORNICE
3	HORIZONTAL LAP SIDING
4	NOT USED
5	ALUMINUM STOREFRONT WINDOW SYSTEM
6	NOT USED
7	NOT USED
8	GAS METER
9	HOLLOW METAL DOOR IN HM FRAME - PAINTED TO MATCH WALL COLOR
10	FUTURE TENANT SIGNAGE
11	ACCENT LIGHT FIXTURE

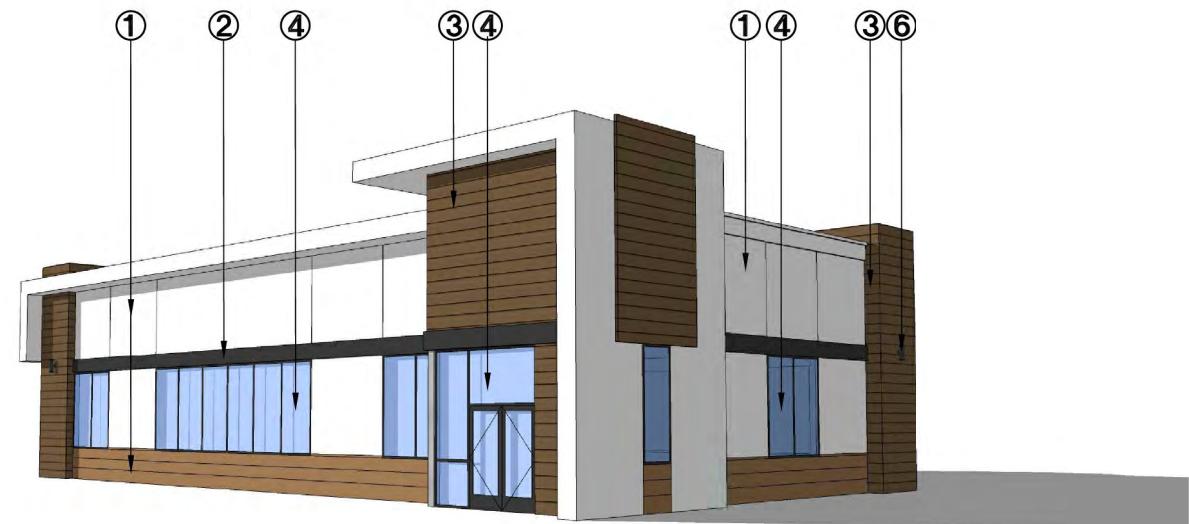
PAINT	
P-1	'GREENBLACK' SW 6994 - SHERWIN WILLIAMS
P-2	'PURE WHITE' SW 7005 - SHERWIN WILLIAMS
P-3	'INTELLECTUAL GRAY' SW 7045 - SHERWIN WILLIAMS
P-4	'TATAMI TAN' SW 6116 - SHERWIN WILLIAMS
P-5	'GARDEN GROVE' SW 6446 - SHERWIN WILLIAMS
P-6	'DIGNITY BLUE' SW 6804 - SHERWIN WILLIAMS

MATERIALS	
W-1	HORIZONTAL LAP SIDING: 'CTY PALISANDER' - RESYSTA
M-1	METAL SIDING: 'NATURAL RUST' NU-WAVE CORRUGATED - AEP SPAN
M-2	METAL SIDING: 'SAGE GREEN' NU-WAVE CORRUGATED - AEP SPAN
M-3	METAL SIDING: 'SAGE GREEN' FLEX SERIES 12FX20-12 - AEP SPAN

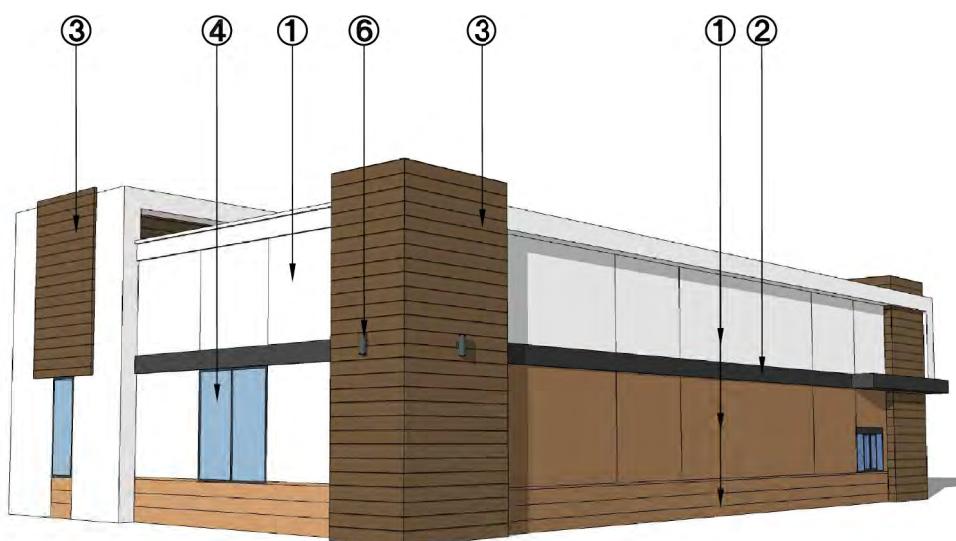




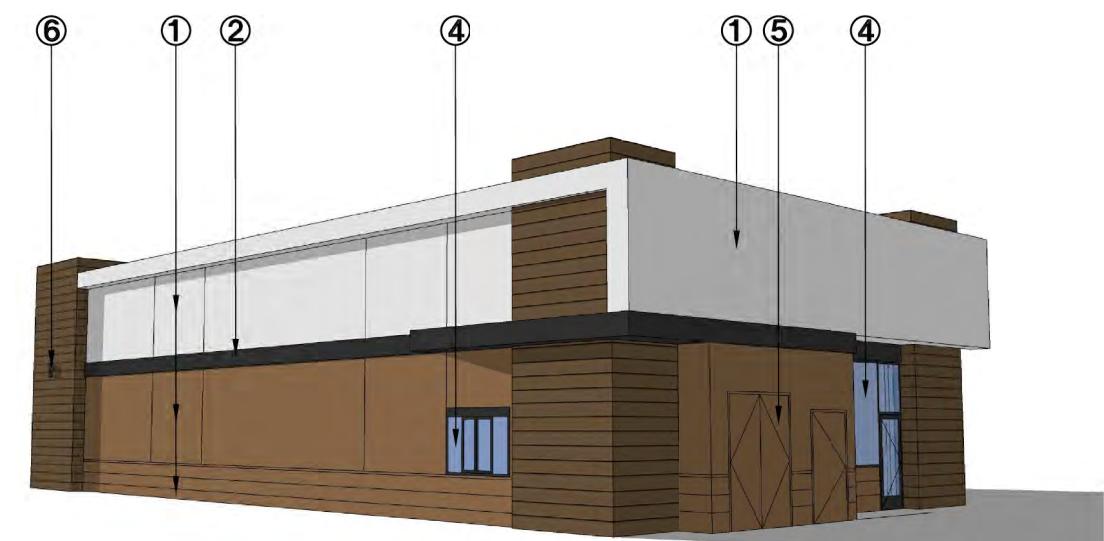
VIEW FROM SOUTHWEST



VIEW FROM SOUTHEAST



VIEW FROM NORTHEAST

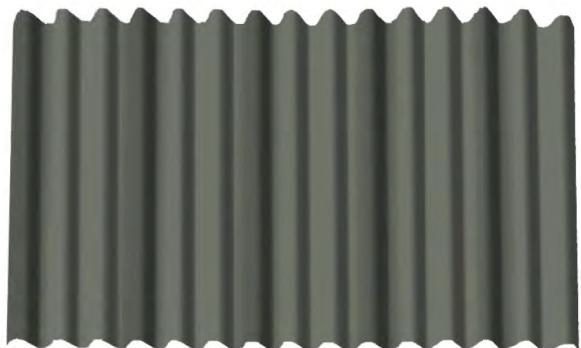


VIEW FROM NORTHWEST

- ① IMPERFECT SMOOTH FINISH CEMENT PLASTER SYSTEM
- ② ARCHITECTURAL FOAM CORNICE
- ③ HORIZONTAL LAP SIDING
- ④ ALUMINUM STOREFRONT WINDOW SYSTEM
- ⑤ HOLLOW METAL DOOR
- ⑥ ACCENT LIGHT FIXTURE



Metal Siding



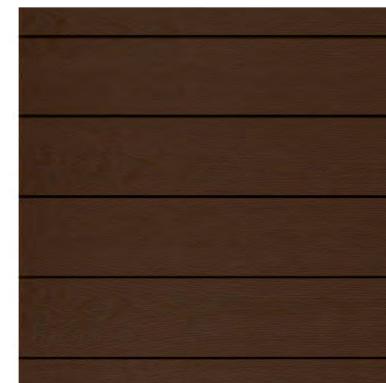
Metal Siding



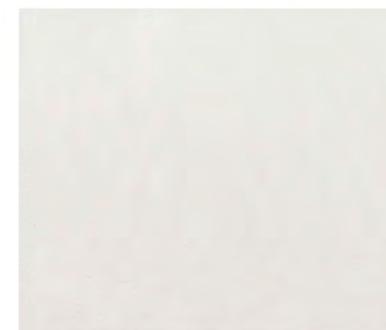
Metal Siding



Aluminum Storefront System



Horizontal Lap Siding



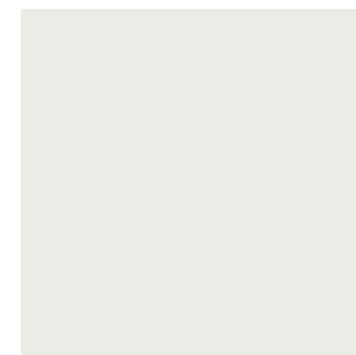
Cement Plaster System



SHERWIN WILLIAMS PAINT
'GREENBLACK' SW 6994



SHERWIN WILLIAMS PAINT
'TATAMI TAN' SW 6116



SHERWIN WILLIAMS PAINT
'PURE WHITE' SW 7005



SHERWIN WILLIAMS PAINT
'GARDEN GROVE' SW 6446



SHERWIN WILLIAMS PAINT
'INTELLECTUAL GRAY' SW 7045



SHERWIN WILLIAMS PAINT
'DIGNITY BLUE' SW 6804

Exterior Paint Colors

 COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT



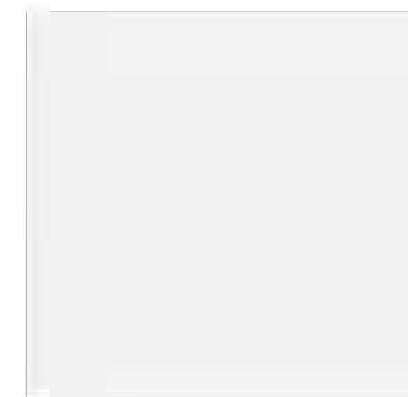
A IMPERFECT SMOOTH PLASTER
Paint Finish



D CORRUGATED ROOFING
Corten AZP Raw



1 Plaster Color
DE6242 "Wells Gray"



2 Fascia & Trim Color
DEW340 "Whisper"



C CORRUGATED SIDING
AEP SPAN "Zinc Grey"



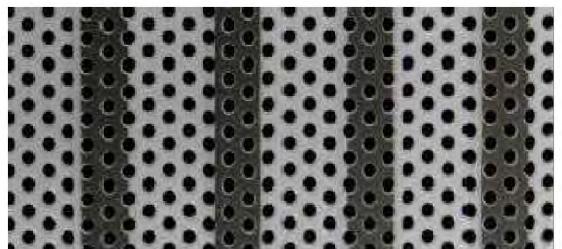
E WOOD CLADDING
Clear Sealed Cedar



5 Metal Doors & Gates
DE6391 "Black Russian"



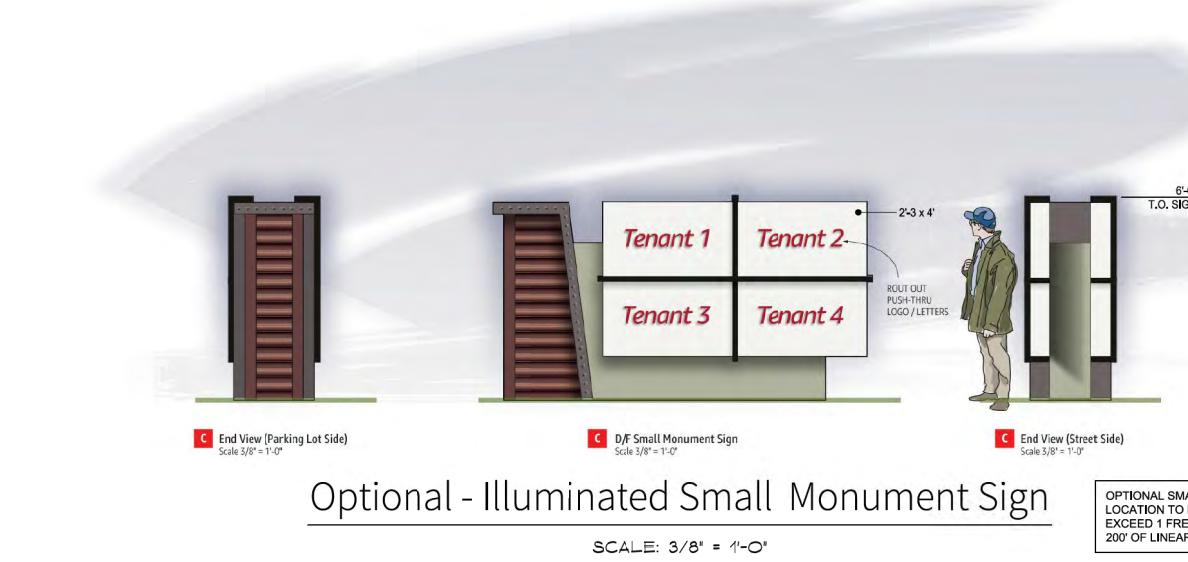
4 Corrugated Screen Walls
AEP Span "Zinc Grey"



C PERFORATED METAL PANELS
HENDRICK "Charcoal Grey"



F ALUMINUM WINDOWS
Black Anod. w/ Clear Glazing



Optional - Illuminated Small Monument Sign

DESIGN CUES | Lettering

WHITNEY RANCH

CLASSIC / CLEAN CHARLOTTE SANS FONT
COMPLIMENTING SIMPLE CLEAN ARCHITECTURAL AESTHETIC

DESIGN CUES | Logo



BRANDING IRON STYLE LOGO WITH HALO ILLUMINATION

DESIGN CUES | Sign Aesthetic

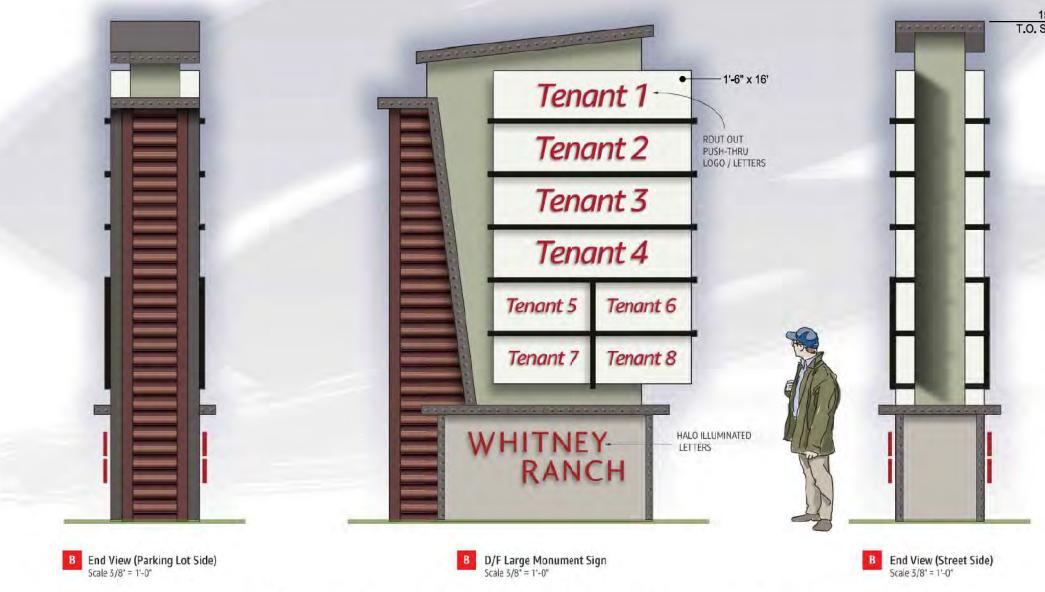
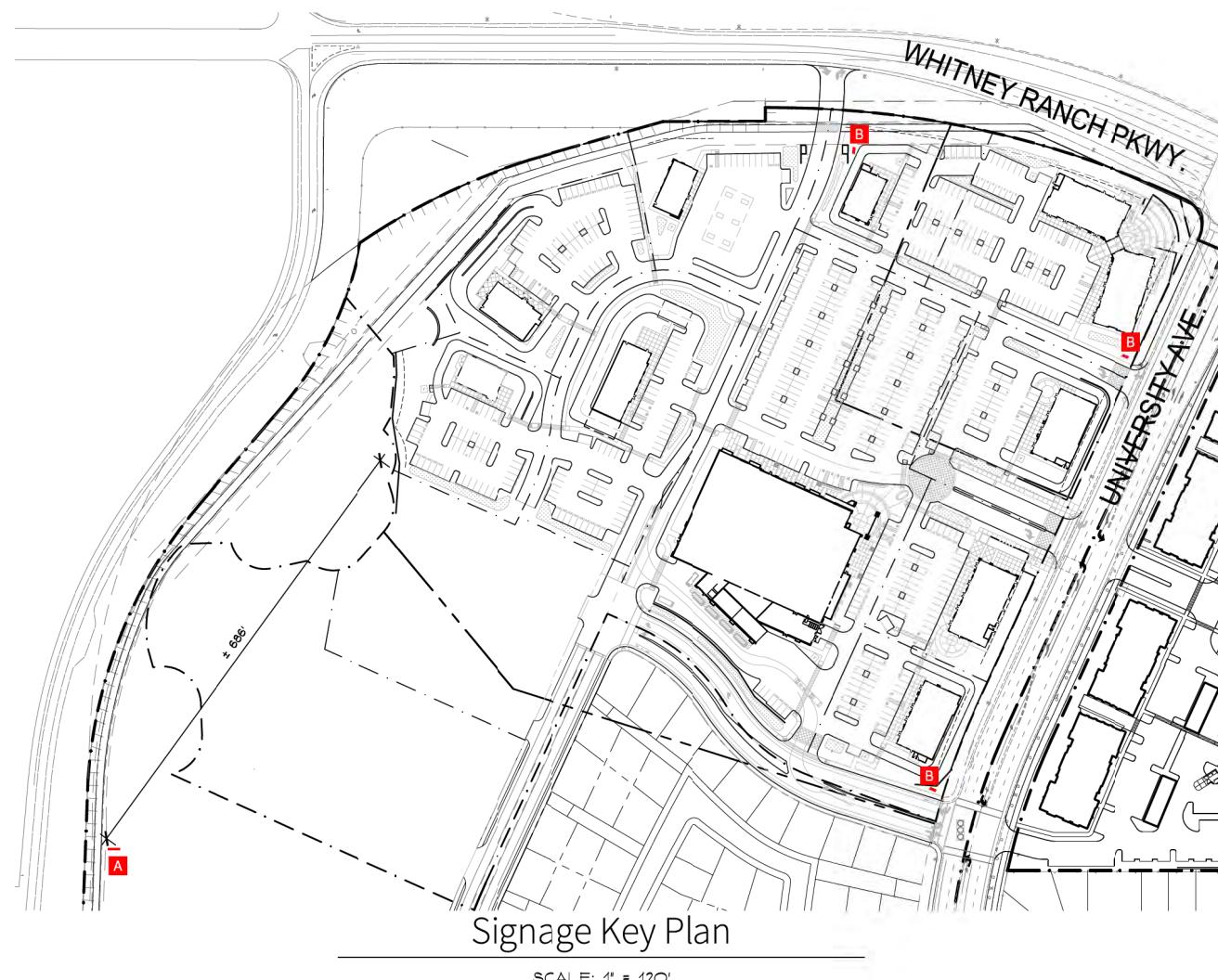
MIMIC CONTEMPORARY RURAL / INDUSTRIAL LOOK WITH CLEAN, BOLD LINES TO COMPLEMENT ARCHITECTURAL STYLE OF BUILDINGS.

INCORPORATE COLOR PALETTE OF ARCHITECTURE AND MATERIALS, I.E. CORRUGATED SPONGE AND MITED NATURAL COLORS AS SPECIFIED IN ARCHITECTURAL MATERIAL SPECIFICATIONS.



Illuminated Pylon Sign

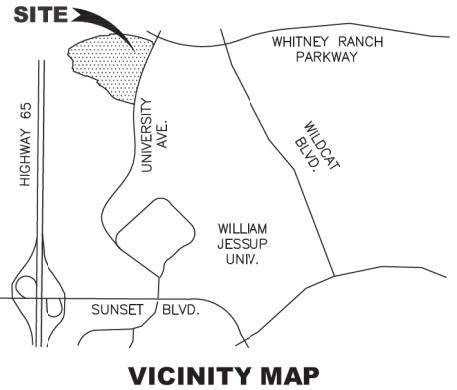
SCALE: 1/8" = 1'-0"



Illuminated Large Monument Sign

SCALE: 3/8" = 1'-0"

**PRELIMINARY PLANS FOR
WHITNEY RANCH RETAIL
SEC WHITNEY RANCH PARKWAY & UNIVERSITY AVENUE
ROCKLIN, CALIFORNIA 95666**



PROJECT TEAM

OWNER

EVERGREEN/ROCKLIN LAND JOINT VENTURE
C/O COLE PARTNERS DEVELOPMENT COMPANY
2484 NATOMAS PARK DRIVE, SUITE 101
SACRAMENTO, CA 95833
(916) 273-4020
CONTACT: ROB COLE
RCOLE@COLEPARTNERS.COM

APPLICANT/ENGINEER

RSC ENGINEERING, INC.
1420 ROCKY RIDGE DR., SUITE 150
ROSEVILLE, CA 95661
(916) 788-2884
CONTACT: TIFFANY WILSON
T.WILSON@RSC-ENGR.COM

ARCHITECT

PERKINS, WILLIAMS & COTTERILL ARCHITECTS
332C DATA DRIVE, SUITE 200
RANCHO CORDOVA, CA 95670
(916) 851-1400
CONTACT: BRIAN WILLIAMS
BRIANW@PWCAHTECTS.COM

LANDSCAPE ARCHITECT

FUHRMAN LEAMY LAND GROUP
214C PROFESSIONAL DRIVE, SUITE 115
ROSEVILLE, CA 95661
(916) 783-5263
CONTACT: STEVE FUHRMAN
STEVEF@FLLANDGROUP.COM

PROJECT INFORMATION

APN

017-087-001, 002, 003, 004 & 007

EXISTING GENERAL PLAN

RC AND BP

EXISTING ZONING

PD-C AND PD-BP/C

PROPOSED ZONING

RETAIL PORTION: PD-C

LAND AREA

OVERALL SITE: 52.368± AC (2,281,161± SF)
RETAIL PORTION: 18.17± AC (791,485±)

SERVICE PROVIDERS

SEWER - SPMUD
WATER - PCWA
DRAINAGE - CITY OF ROCKLIN
FIRE - CITY OF ROCKLIN
PHONE - AT&T
GAS - PG&E
ELECTRIC - PG&E
CABLE - WAVE BROADBAND
SCHOOL - ROCKLIN UNIFIED SCHOOL DISTRICT

PROJECT DATA

WEST BUILDING AND REQUIRED PARKING SUMMARY:

BUILDING	USE	BUILDING SIZE (SF)	REQUIRED RATIO	REQUIRED STALLS
3A	C-STORE	3,000	5.0/1,000 SF	15
3B	DRIVE-THRU	5,000	1/3 SEATS	50
3C	DRIVE-THRU	4,000	1/3 SEATS	40
3D	DRIVE-THRU	3,000	1/3 SEATS	30
TOTAL		15,000		135

WEST BUILDING AND PARKING SUMMARY:

BUILDING	USE	BUILDING SIZE (SF)	ACCESSIBLE STALLS	COMPACT STALLS	EV STALLS	STANDARD STALLS	TOTAL STALLS
3A	C-STORE	3,000	1	0	2	8	11
3B	DRIVE-THRU	5,000	3	0	12	43	58
3C	DRIVE-THRU	4,000	3	4	11	37	55
3D	DRIVE-THRU	3,000	2	2	10	32	46
TOTAL		15,000	9	6	35	120	170

NOTE: CROSS ACCESS AND PARKING WILL BE REQUIRED FOR THE CENTER.

EAST BUILDING AND REQUIRED PARKING SUMMARY:

BUILDING	USE	BUILDING SIZE (SF)	REQUIRED RATIO	REQUIRED STALLS
2A	RETAIL	43,500	5.0/1,000 SF	218
2B	DRIVE-THRU	3,000	1/3 SEATS	30
2C	RETAIL	14,000	5.0/1,000 SF	70
2D	RETAIL	6,000	5.0/1,000 SF	30
2E	RETAIL	7,000	5.0/1,000 SF	35
2F	RETAIL	6,000	5.0/1,000 SF	30
TOTAL		79,500		413

EAST BUILDING AND PARKING SUMMARY:

BUILDING	USE	BUILDING SIZE (SF)	ACCESSIBLE STALLS	COMPACT STALLS	EV STALLS	STANDARD STALLS	TOTAL STALLS
2A	RETAIL	43,500	7	39	49	151	246
2B	DRIVE-THRU	3,000	2	3	7	24	36
2C	RETAIL	14,000	2	17	17	48	84
2D	RETAIL	6,000	2	6	9	27	44
2E	RETAIL	7,000	2	4	9	30	45
2F	RETAIL	6,000	2	4	7	19	32
TOTAL		79,500	17	73	98	299	487

NOTE: CROSS ACCESS AND PARKING WILL BE REQUIRED FOR THE CENTER.

SHEET INDEX

CIVIL

1. CV COVER SHEET
2. EX OVERALL EXISTING CONDITIONS
3. EX1 EXISTING CONDITIONS (NORTH)
4. EX2 EXISTING CONDITIONS (SOUTH)
5. SP OVERALL PRELIMINARY SITE PLAN
6. SP1 PRELIMINARY SITE PLAN (WEST)
7. SP2 PRELIMINARY SITE PLAN (EAST)
8. SP3 PRELIMINARY SITE PLAN (EAST)
9. DA ACCESSIBLE ROUTE PLAN
10. FA FIRE ACCESS PLAN
11. PH1 PHASING PLAN
12. PH2 PHASING PLAN
13. GR OVERALL PRELIMINARY GRADING PLAN
14. GR1 PRELIMINARY MASS GRADING PLAN
15. GR2 PRELIMINARY GRADING PLAN
16. GR3 PRELIMINARY GRADING PLAN
17. GR4 PRELIMINARY GRADING PLAN
18. SEC1 PRELIMINARY GRADING SECTIONS
19. SEC2 PRELIMINARY GRADING SECTIONS
20. SD OVERALL PRELIMINARY STORM DRAIN PLAN
21. SD1 PRELIMINARY STORM DRAIN PLAN
22. SD2 PRELIMINARY STORM DRAIN PLAN
23. SD3 PRELIMINARY STORM DRAIN PLAN
24. UT OVERALL PRELIMINARY UTILITY PLAN
25. UT1 PRELIMINARY UTILITY PLAN
26. UT2 PRELIMINARY UTILITY PLAN
27. UT3 PRELIMINARY UTILITY PLAN
28. SWQ PRELIMINARY STORM WATER QUALITY PLAN
29. PL1 PRELIMINARY LANDSCAPE SITE PLAN
30. PL2 PRELIMINARY LANDSCAPE PLANTING PLAN
31. PL3 ENLARGEMENTS - LANDSCAPE PLAN
32. PL4 ENLARGEMENTS - LANDSCAPE PLAN



WHITNEY RANCH RETAIL ROCKLIN, CA

OVERALL EXISTING CONDITIONS

The map illustrates the proximity of the SITE to major roads: Highway 65, UNIVERSITY AVE., SUNSET BLVD., and WHITNEY RANCH PARKWAY. It also indicates the location of WILLIAM JESSUP UNIV.

APN

017-087-001, 002, 003, 004 & 007

EXISTING GENERAL PLAN

RC AND RP

EXISTING ZONING

PD-C AND PD-BP/C

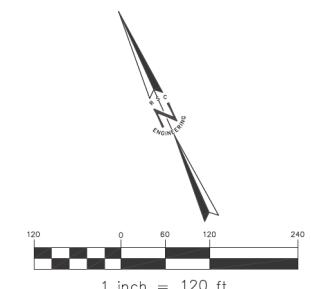
LAND AREA

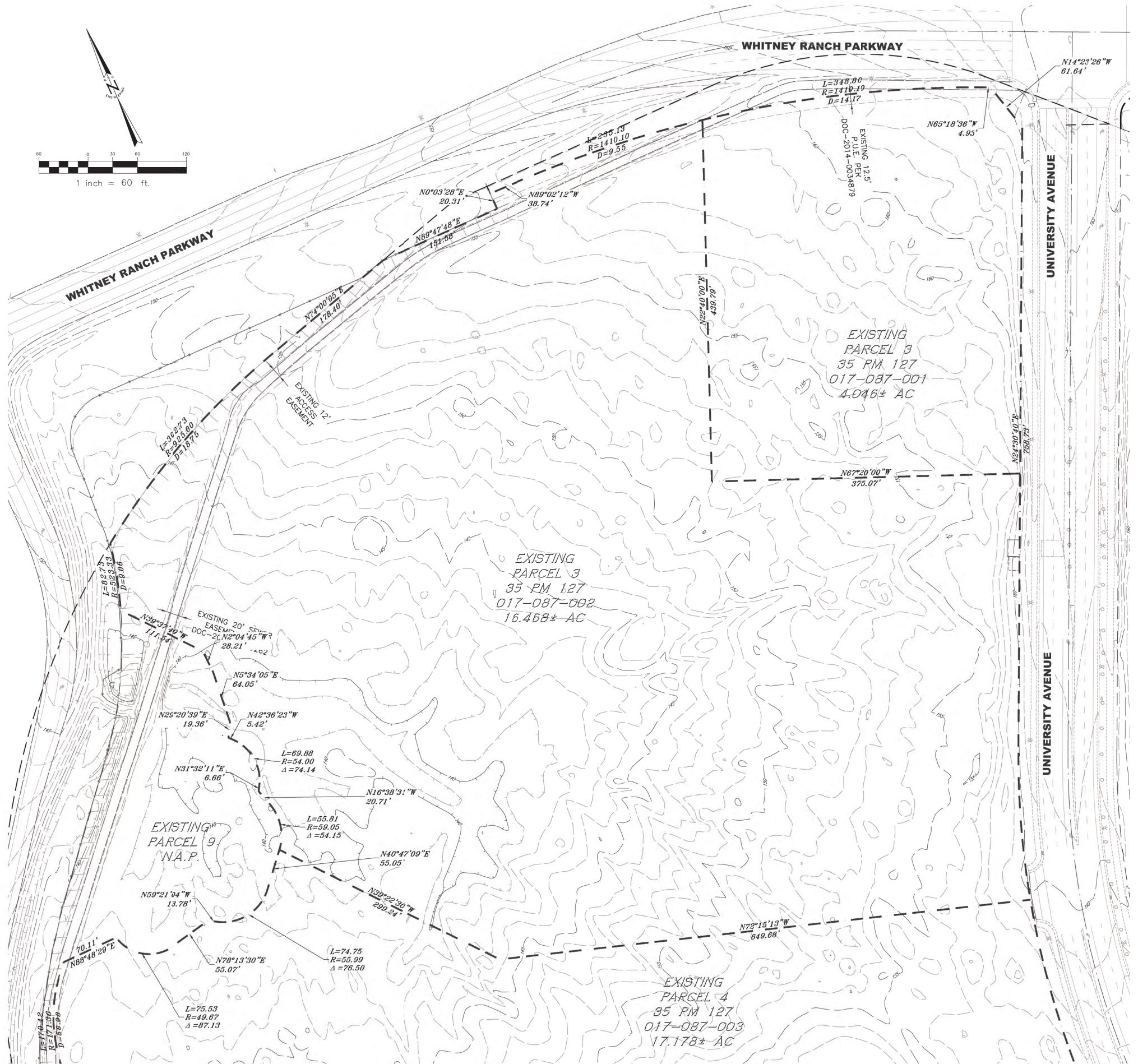
52,368+ ACRES (2,381,161+ SF)

SERVICE PROVIDERS

SERVICE PROVIDERS

SEWER — SPMUD
WATER — PCWA
DRAINAGE — CITY OF ROCKLIN
FIRE — CITY OF ROCKLIN
PHONE — AT&T
GAS — PG&E
ELECTRIC — PG&E
CABLE — WAVE BROADBAND
SCHOOL — ROCKLIN UNIFIED SCHOOL DISTRICT





WHITNEY RANCH RETAIL

ROCKLIN, CA

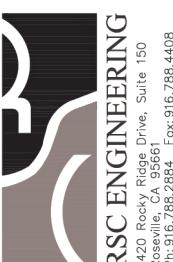
EXISTING CONDITIONS (NORTH)

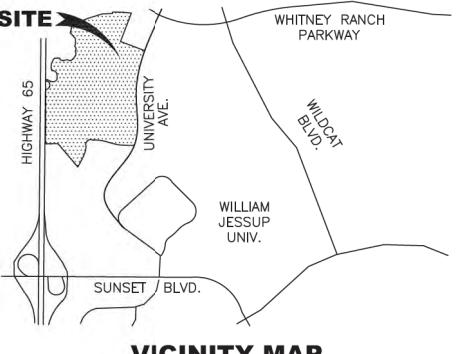
 COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

MANAGEMENT

x2





1 inch = 60 ft.

 COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

SHEET

EX3

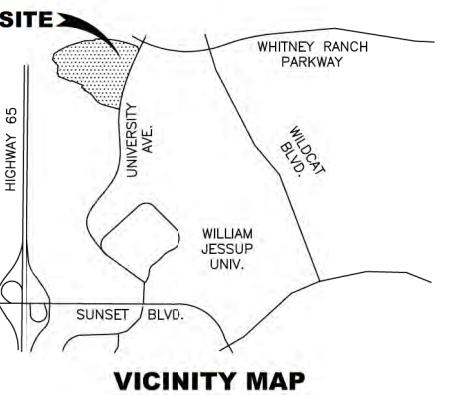
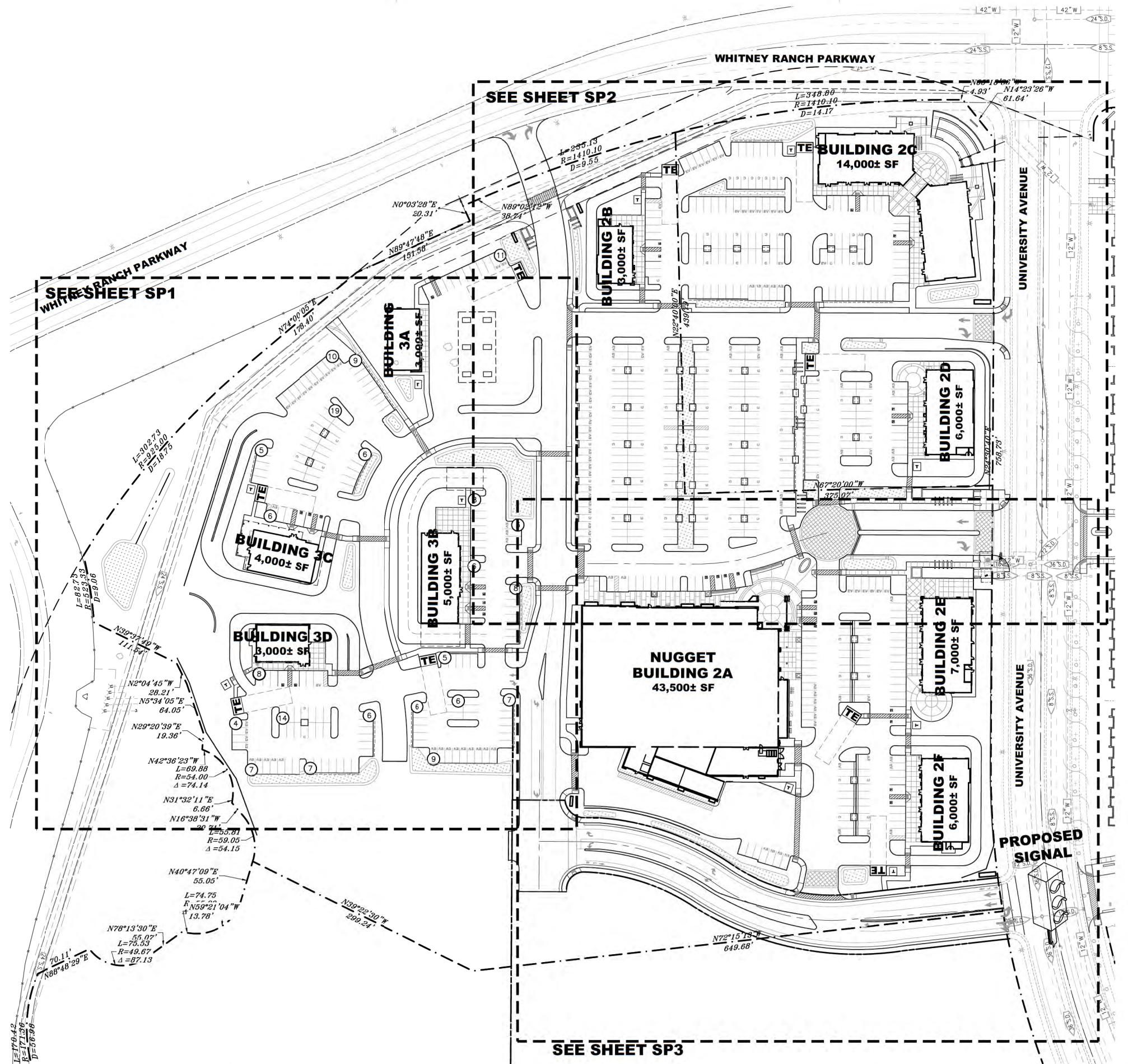


DATE:
PROJECT:

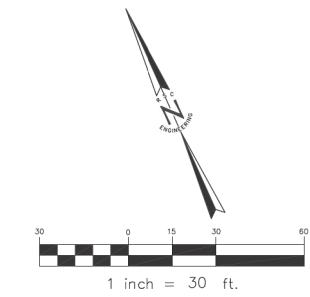
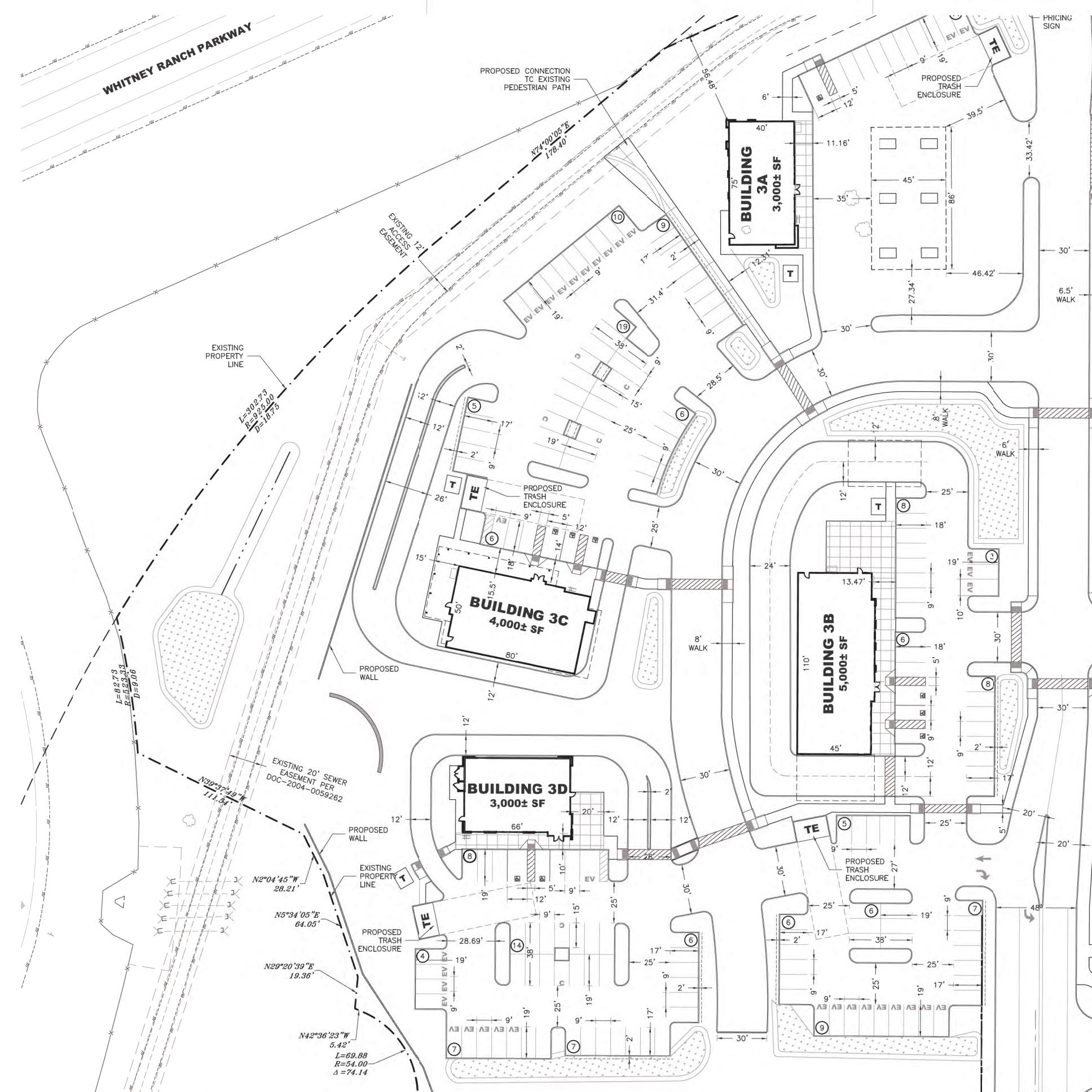
04.12.2023
247-005

WHITNEY RANCH RETAIL
ROCKLIN, CA

EXISTING CONDITIONS (SOUTH)



 COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT



LEGEND:

	EXISTING PARCEL LINE
	EXISTING RIGHT-OF-WAY
	EXISTING EASEMENT
	PROPOSED TRASH ENCLOSURE PER AUBURN PLACER RECOLOGY STANDARDS (11'X14' MIN. WITH 60' ACCESSIBLE CLEARANCE)
	PROPOSED ENHANCED PAVEMENT
	PROPOSED MASONRY WALL
	PROPOSED COMPACT PARKING STALL
	PROPOSED ELECTRIC VEHICLE PARKING STALL
	PROPOSED BIKE RACKS
	PROPOSED BIKE LOCKERS
	PROPOSED BIORETENTION AREA

WEST BUILDING AND REQUIRED PARKING SUMMARY:

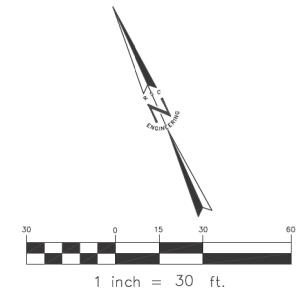
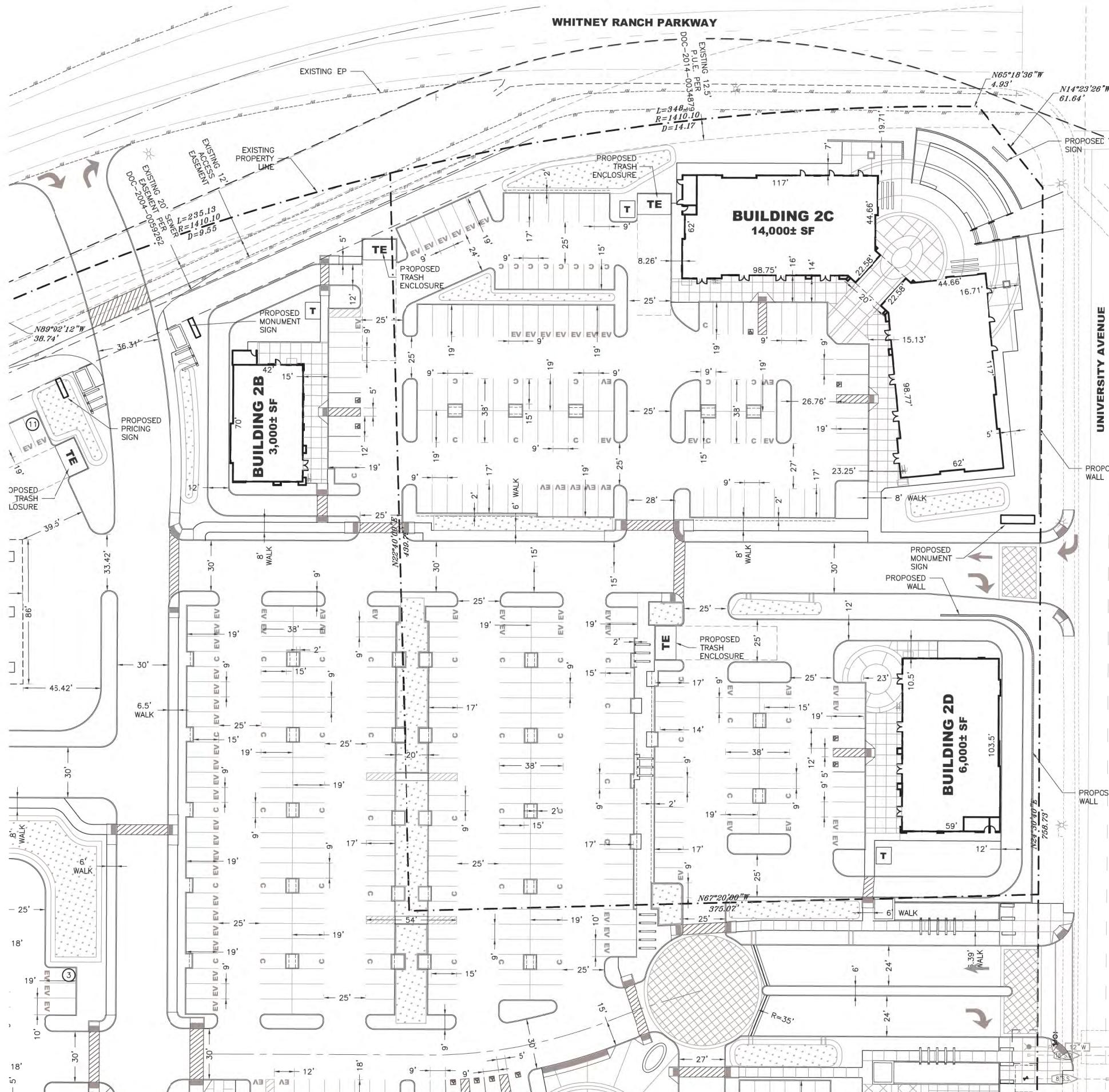
BUILDING	USE	BUILDING SIZE (SF)	REQUIRED RATIO	REQUIRED STALLS
3A	C-STORE	3,000	5.0/1,000 SF	15
3B	DRIVE-THRU	5,000	1/3 SEATS	50
3C	DRIVE-THRU	4,000	1/3 SEATS	40
3D	DRIVE-THRU	3,000	1/3 SEATS	30
TOTAL		15,000		135

WEST BUILDING AND PARKING SUMMARY:

BUILDING	USE	BUILDING SIZE (SF)	ACCESSIBLE STALLS	COMPACT STALLS	EV STALLS	STANDARD STALLS	TOTAL STALLS
3A	C-STORE	3,000	1	0	2	8	11
3B	DRIVE-THRU	5,000	3	0	12	43	58
3C	DRIVE-THRU	4,000	3	4	11	37	55
3D	DRIVE-THRU	3,000	2	2	10	32	46
TOTAL		15,000	9	6	35	120	170

NOTE: CROSS ACCESS AND PARKING WILL BE REQUIRED FOR THE CENTER.





LEGEND

- EXISTING PARCEL LINE

— — EXISTING RIGHT-OF-WAY

— — — EXISTING EASEMENT

TE PROPOSED TRASH ENCLOSURE PER AUBURN PLACER RECOLOGY STANDARDS (11'X14' MIN. WITH 60' ACCESSIBLE CLEARANCE)

 PROPOSED ENHANCED PAVEMENT

— PROPOSED MASONRY WALL

C PROPOSED COMPACT PARKING STALL

EV PROPOSED ELECTRIC VEHICLE PARKING STALL

BR PROPOSED BIKE RACKS

 PROPOSED BIKE LOCKERS

 PROPOSED BIORETENTION AREA

EAST BUILDING AND REQUIRED PARKING SUMMARY:

BUILDING	USE	BUILDING SIZE (SF)	REQUIRED RATIO	REQUIRED STALLS
2A	RETAIL	43,500	5.0/1,000 SF	218
2B	DRIVE-THRU	3,000	1/3 SEATS	30
2C	RETAIL	14,000	5.0/1,000 SF	70
2D	RETAIL	6,000	5.0/1,000 SF	30
2E	RETAIL	7,000	5.0/1,000 SF	35
2F	RETAIL	6,000	5.0/1,000 SF	30
TOTAL		79,500		413

EAST BUILDING AND PARKING SUMMARY:

BUILDING	USE	BUILDING SIZE (SF)	ACCESSIBLE STALLS	COMPACT STALLS	EV STALLS	STANDARD STALLS	TOTAL STALLS
2A	RETAIL	43,500	7	39	49	151	246
2B	DRIVE-THRU	3,000	2	3	7	24	36
2C	RETAIL	14,000	2	17	17	48	84
2D	RETAIL	6,000	2	6	9	27	44
2E	RETAIL	7,000	2	4	9	30	45
2F	RETAIL	6,000	2	4	7	19	32
TOTAL		79,500	17	72	98	299	487

NOTE: CROSS ACCESS AND PARKING WILL BE REQUIRED FOR THE CENTER



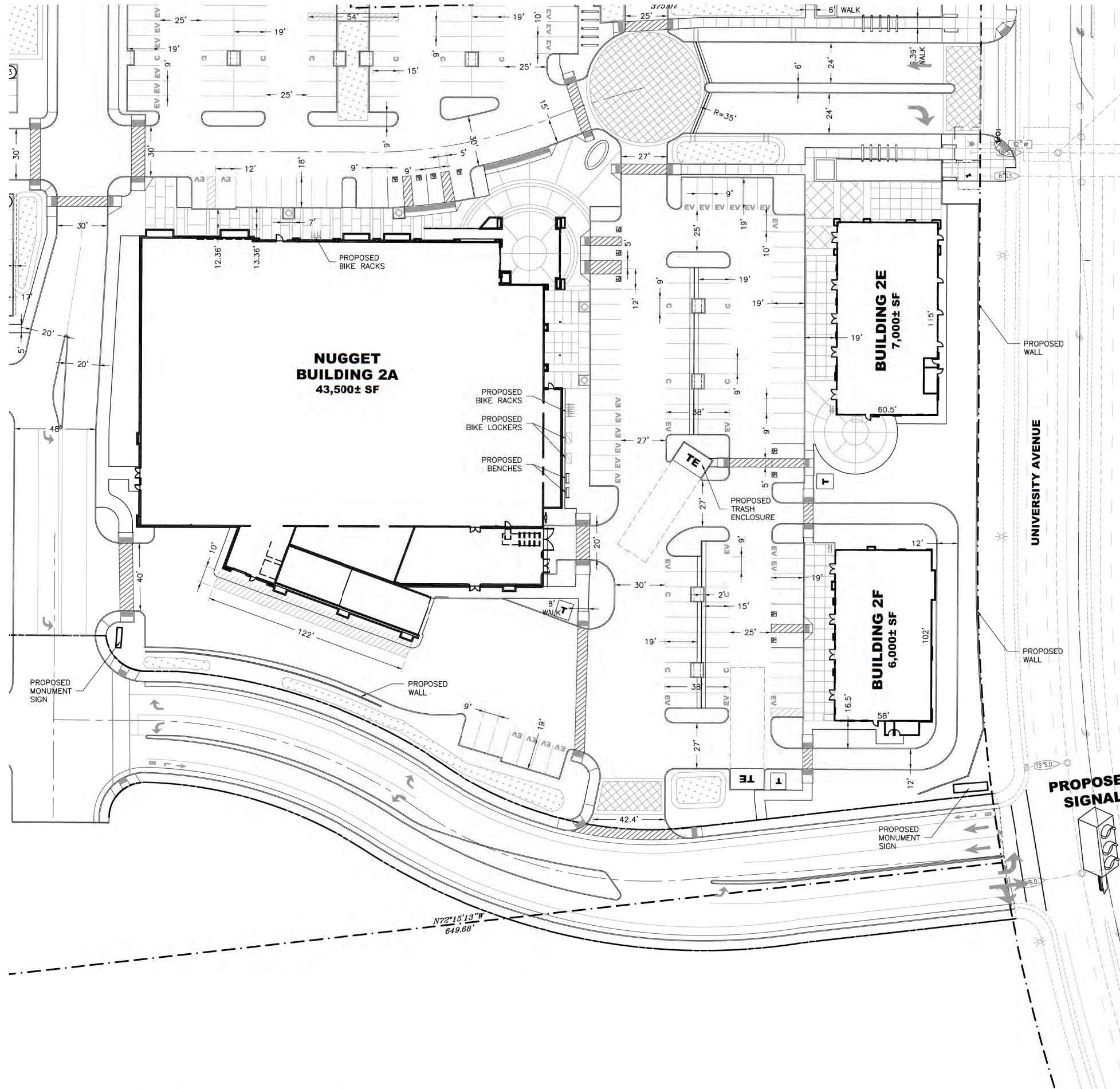
WHITNEY RANCH RETAIL

ROCKLIN, CA

PRELIMINARY SITE PLAN (EAST)

MANAGEMENT

SP2



LEGEND:

—	EXISTING PARCEL LINE
- - -	EXISTING RIGHT-OF-WAY
- - - -	EXISTING EASEMENT
TE	PROPOSED TRASH ENCLOSURE PER AUBURN PLACER RECYCLING STANDARDS (11'X14' MIN. WITH 60' ACCESSIBLE CLEARANCE)
	PROPOSED ENHANCED PAVEMENT
	PROPOSED MASONRY WALL
C	PROPOSED COMPACT PARKING STALL
EV	PROPOSED ELECTRIC VEHICLE PARKING STALL
#	PROPOSED BIKE RACKS
□	PROPOSED BIKE LOCKERS
Dotted Area	PROPOSED BIORETENTION AREA

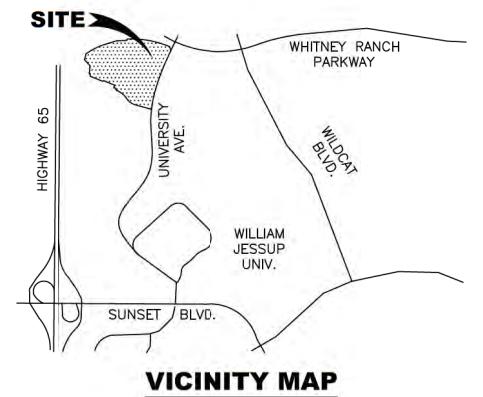
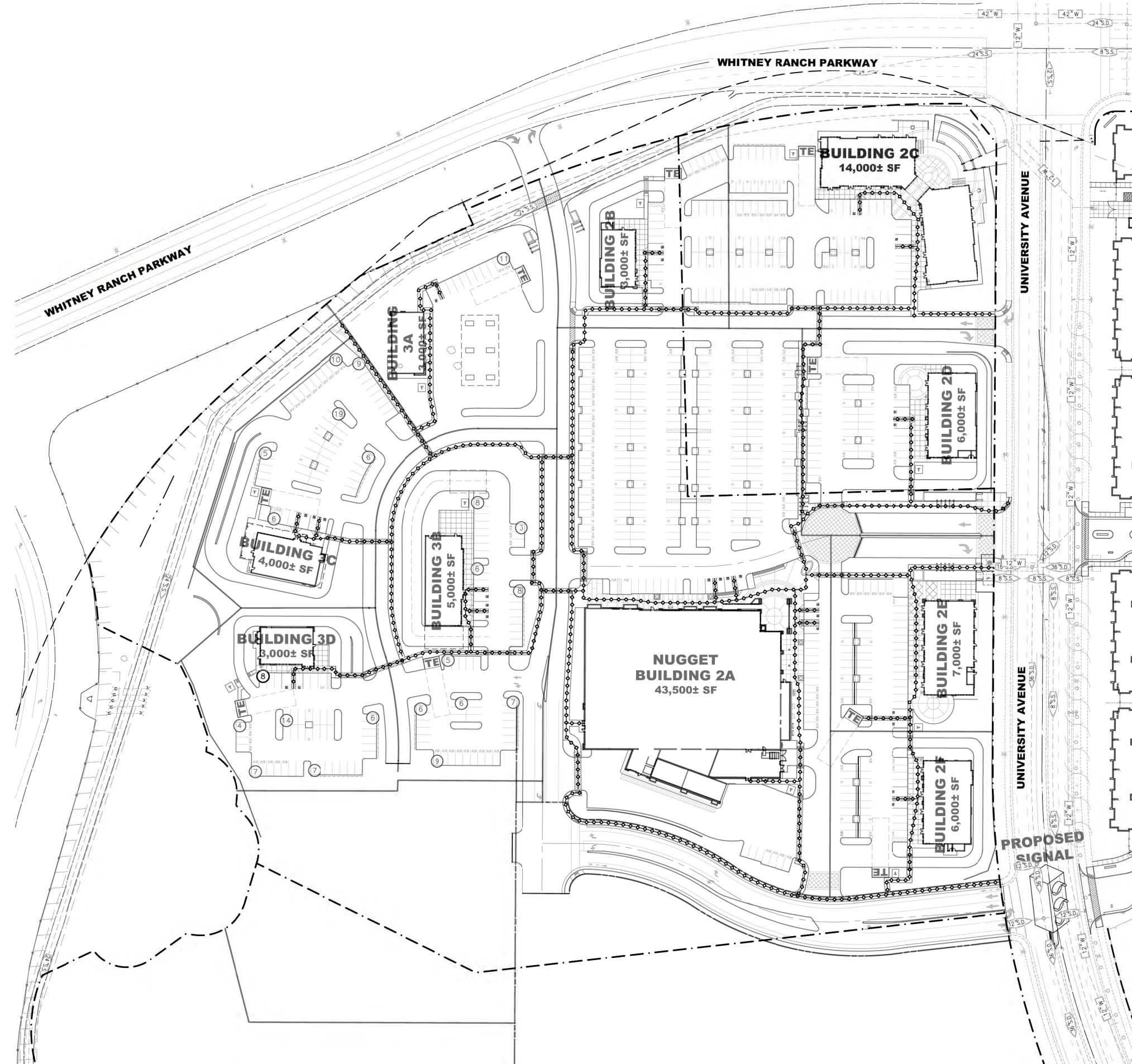
EAST BUILDING AND REQUIRED PARKING SUMMARY:

BUILDING	USE	BUILDING SIZE (SF)	REQUIRED RATIO	REQUIRED STALLS
2A	RETAIL	43,500	5.0/1,000 SF	218
2B	DRIVE-THRU	3,000	1/3 SEATS	30
2C	RETAIL	14,000	5.0/1,000 SF	70
2D	RETAIL	6,000	5.0/1,000 SF	30
2E	RETAIL	7,000	5.0/1,000 SF	35
2F	RETAIL	6,000	5.0/1,000 SF	30
TOTAL		79,500		413

EAST BUILDING AND PARKING SUMMARY:

BUILDING	USE	BUILDING SIZE (SF)	ACCESSIBLE STALLS	COMPACT STALLS	EV STALLS	STANDARD STALLS	TOTAL STALLS
2A	RETAIL	43,500	7	39	49	151	246
2B	DRIVE-THRU	3,000	2	3	7	24	36
2C	RETAIL	14,000	2	17	17	48	84
2D	RETAIL	6,000	2	6	9	27	44
2E	RETAIL	7,000	2	4	9	30	45
2F	RETAIL	6,000	2	4	7	19	32
TOTAL		79,500	17	73	98	299	487

NOTE: CROSS ACCESS AND PARKING WILL BE REQUIRED FOR THE CENTER.



WHITNEY RANCH RETAIL

ROCKLIN, CA

REAL ESTATE INVESTMENT

 COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

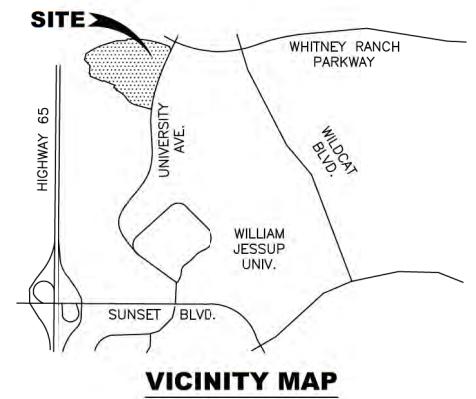
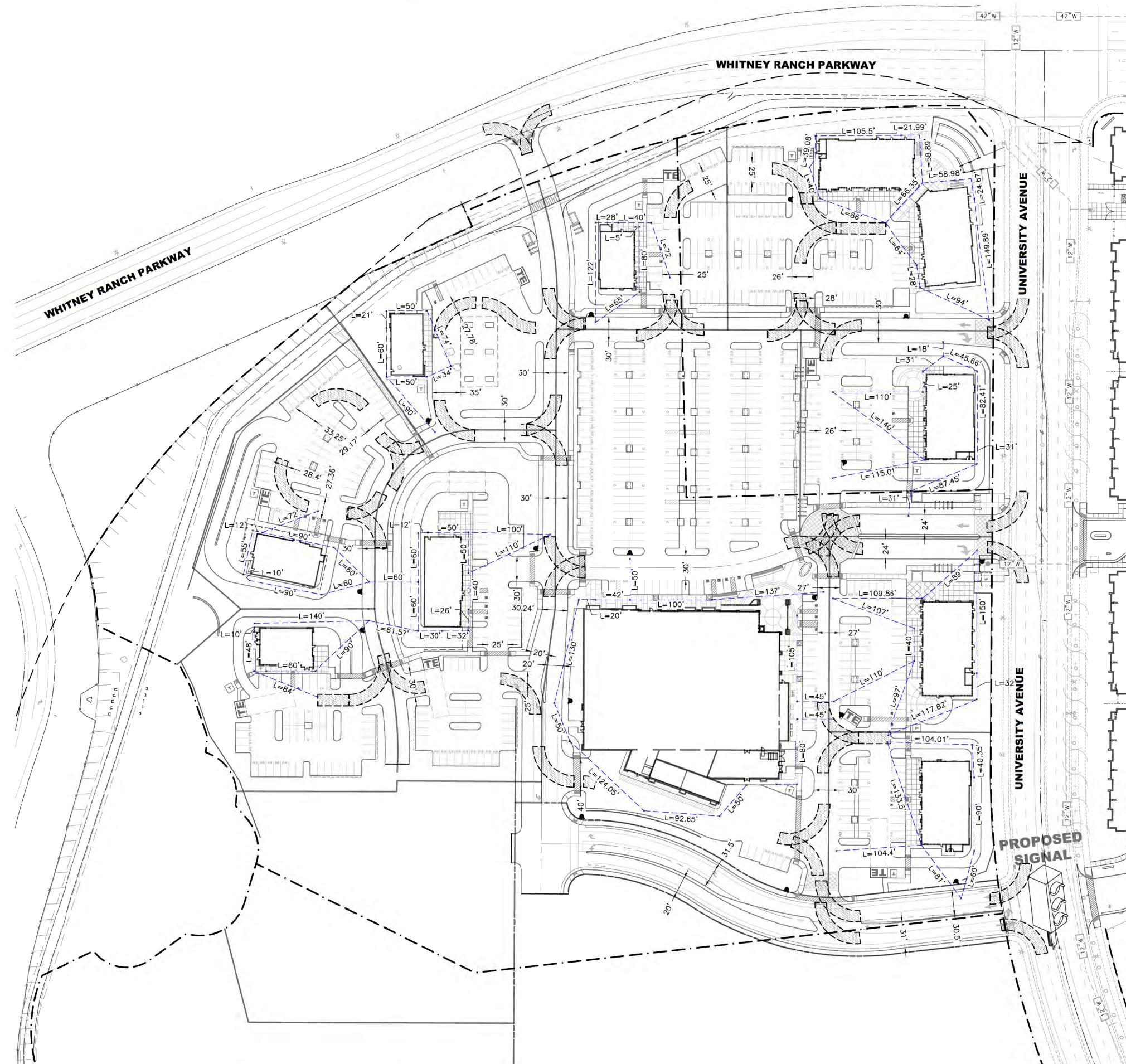
HEFT

A

DATE:
PROJECT:

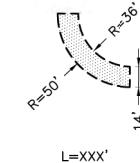
DATE:
PROJECT:

RSC ENGINEERING
120 Rocky Ridge Drive, Suite 150
Pleasantville, CA 95661



LEGEND

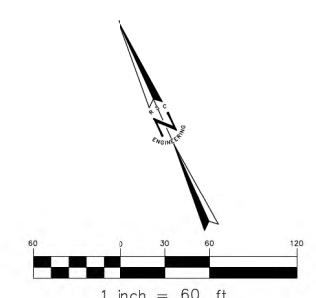
PROPOSED FIRE HYDRANT LOCATION



FIRE TRUCK TURNING RADIUS PER CITY OF ROCKLIN FIRE DEPARTMENT



FIRE HOSE PULL

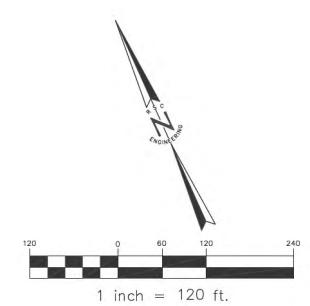
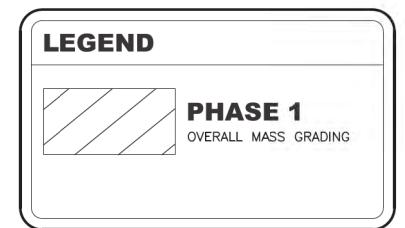
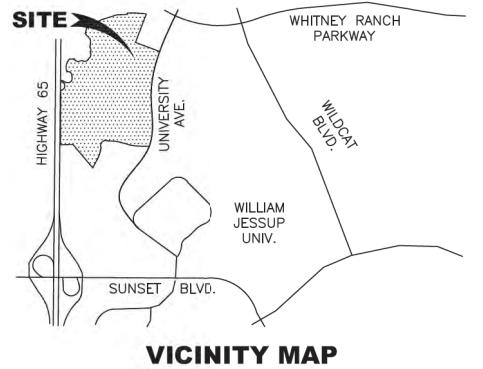
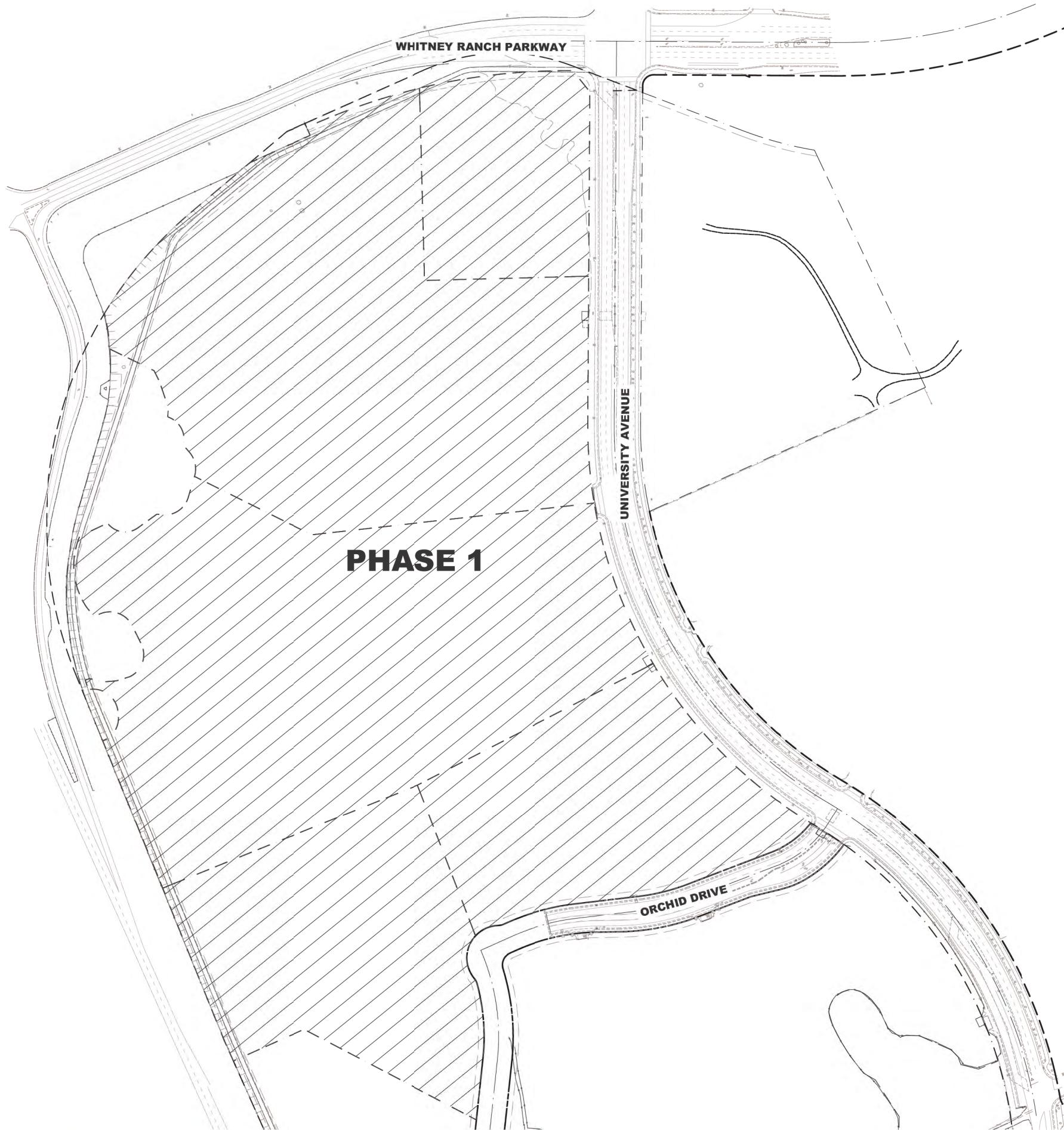


 COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

FIRE ACCESS PLAN

SHEET
FA

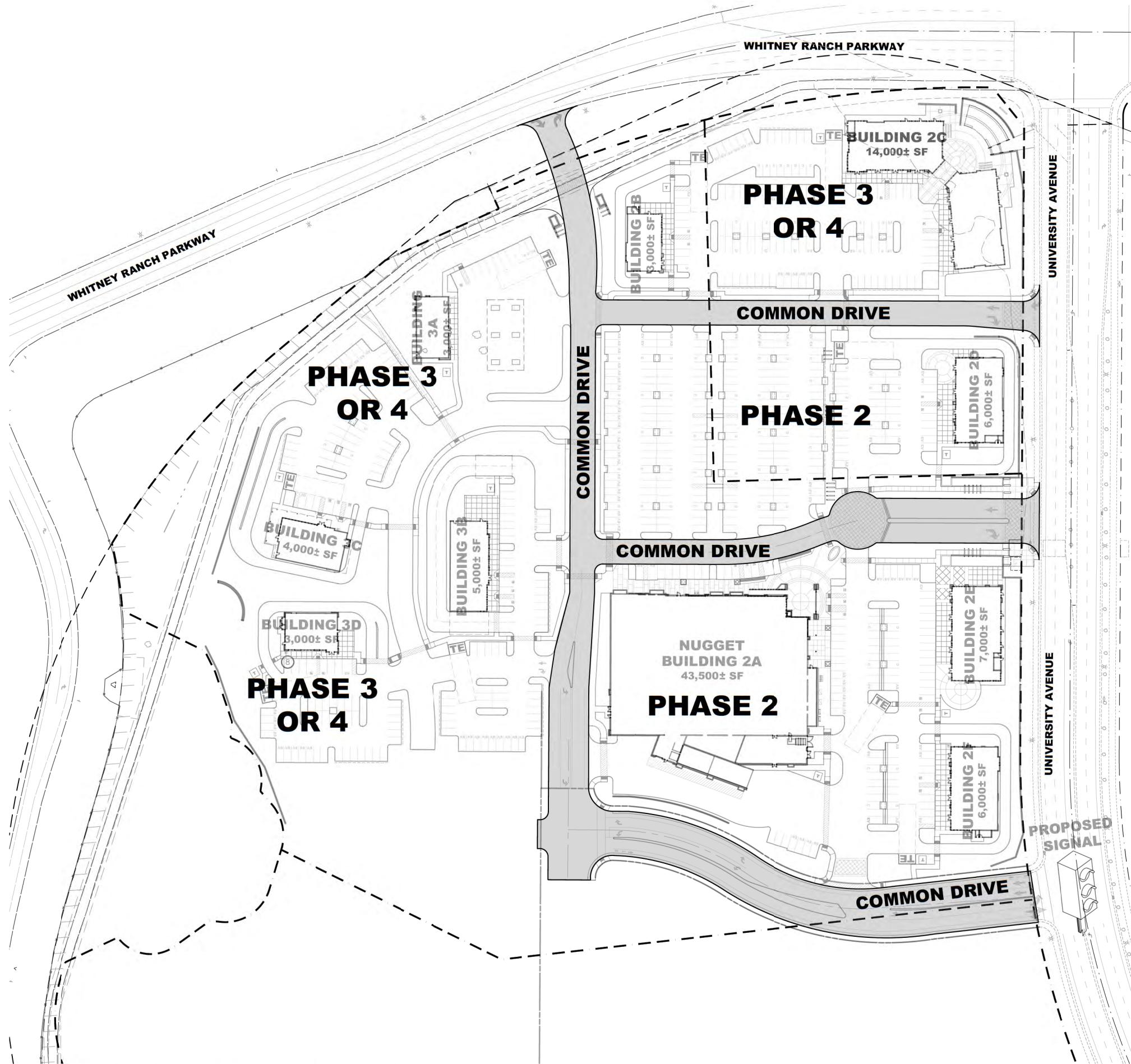
DATE:
PROJECT:
247-005



 **COLE PARTNERS
DEVELOPMENT COMPANY**
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

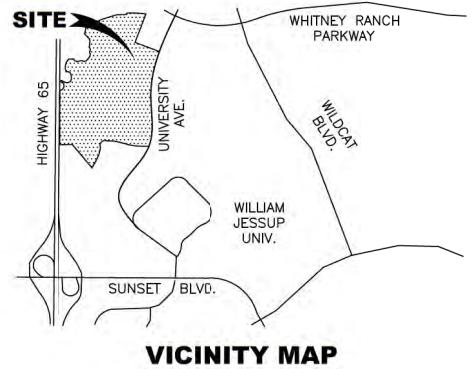
PHASING PLAN
SHEET PH1





WHITNEY RANCH RETAIL
ROCKLIN, CA

PHASING PLAN
SHEET
PH2



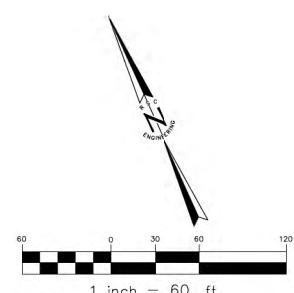
LEGEND

COMMON DRIVE AREA
INCLUDED AS A PART OF PHASE 2
INCLUDES SURFACE IMPROVEMENTS AND
BACKBONE UTILITY INFRASTRUCTURE

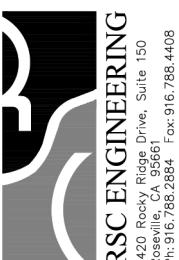
NOTES

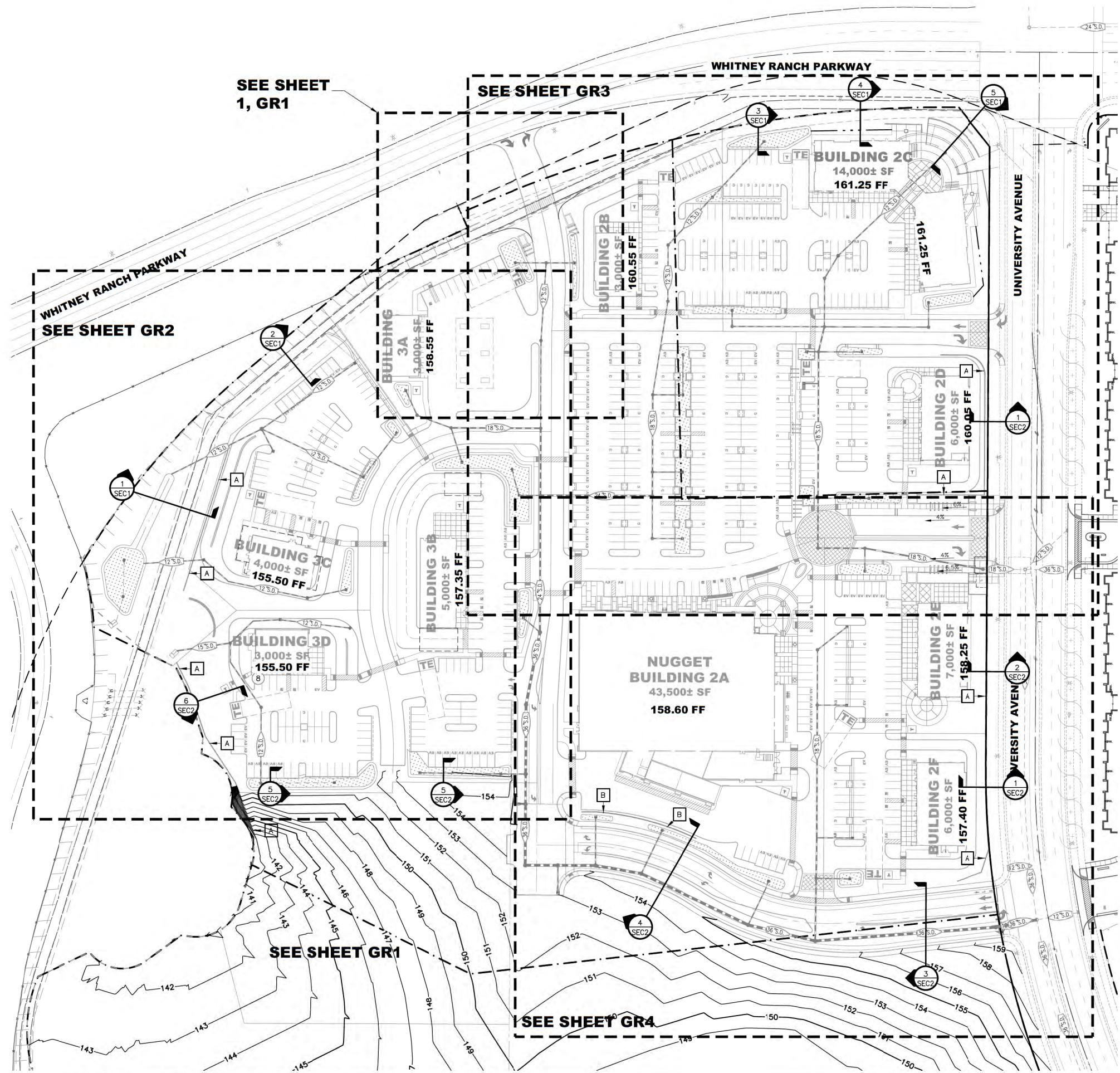
PHASE 2
INCLUDES NUGGET, BUILDING 2D, BUILDING 2E,
BUILDING 2F, COMMON DRIVES, AND UTILITY
INFRASTRUCTURE WITHIN COMMON DRIVES

PHASE 3 OR 4
MAY OCCUR IN ANY ORDER



 COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT
1420 Rocky Ridge Drive, Suite 150
Roseville, CA 95741 Fax: 916.788.4408





WHITNEY RANCH RETAIL

ROCKLIN, CA

OVERALL PRELIMINARY GRADING PLAN

SHEET
GR



RSC ENGINEERING
1420 Rocky Ridge Drive, Suite 150
Roseville, CA 95661
Ph: 916.788.2884 Fax: 916.788.4408

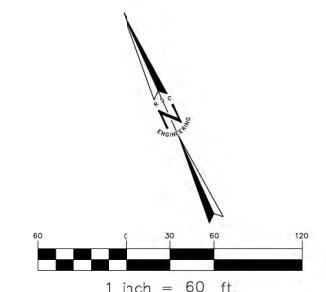
DATE:
PROJECT:

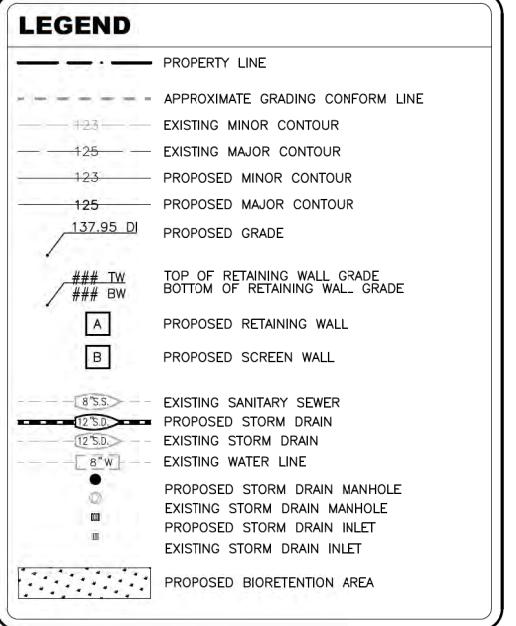
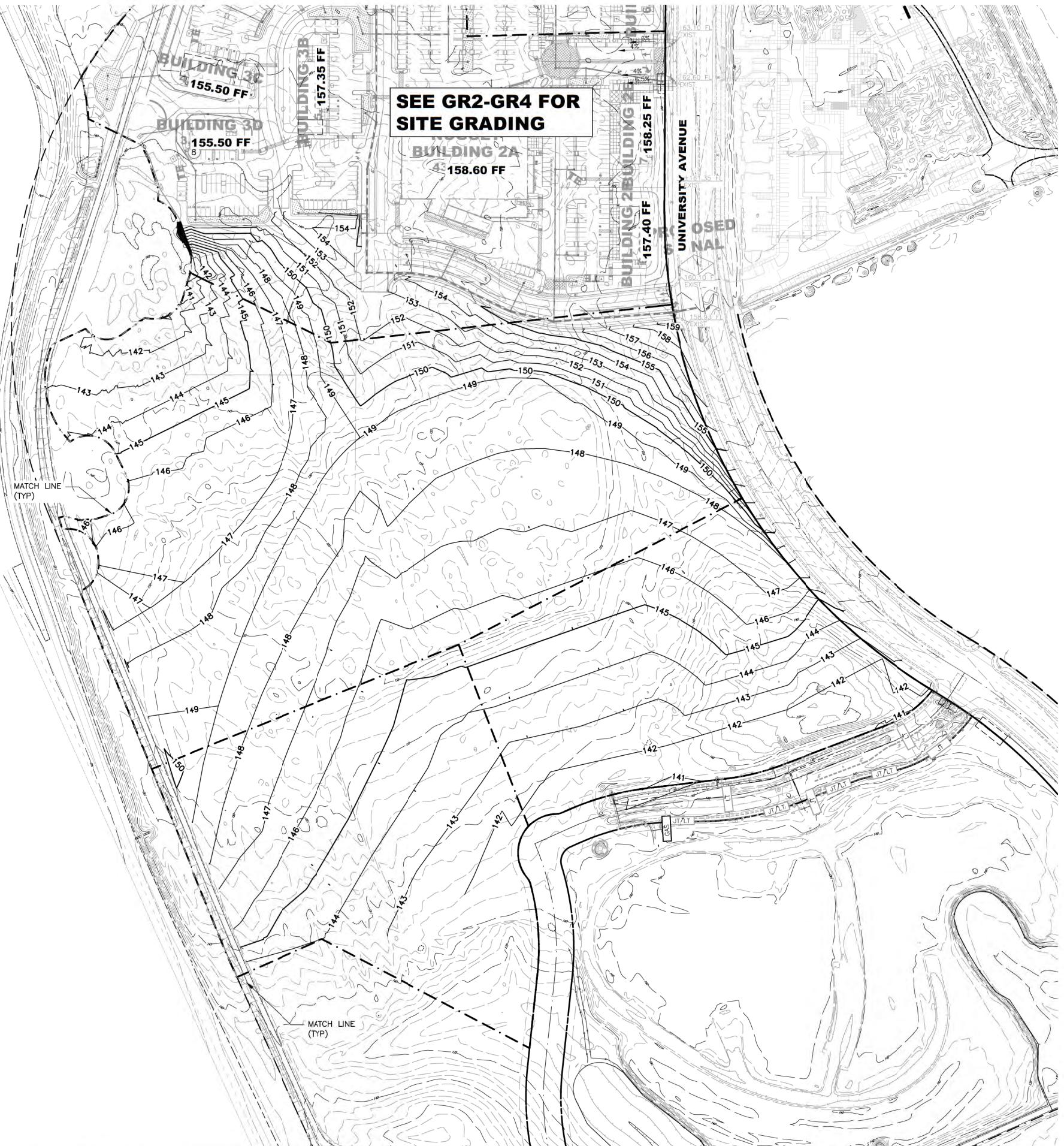
04.12.2023
247/005

LEGEND

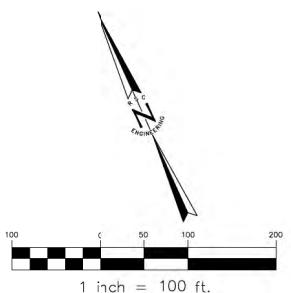
- PROPERTY LINE**: Represented by a solid black line.
- APPROXIMATE GRADING CONFORM LINE**: Represented by a dashed black line.
- PROPOSED GRADE**: Indicated by a horizontal line with a vertical drop-off at one end, labeled **137.95 DI**.
- TOP OF RETAINING WALL GRADE**: Indicated by a horizontal line with a vertical drop-off at one end, labeled **### TW**.
- BOTTOM OF RETAINING WALL GRADE**: Indicated by a horizontal line with a vertical drop-off at one end, labeled **### BW**.
- PROPOSED RETAINING WALL**: Indicated by a square box containing the letter **A**.
- PROPOSED SCREEN WALL**: Indicated by a square box containing the letter **B**.
- EXISTING SANITARY SEWER**: Indicated by a line with an arrowhead containing the text **8 S.S.**.
- PROPOSED STORM DRAIN**: Indicated by a line with an arrowhead containing the text **12 S.D.**.
- EXISTING STORM DRAIN**: Indicated by a line with an arrowhead containing the text **12 S.D.**.
- EXISTING WATER LINE**: Indicated by a line with an arrowhead containing the text **8 W.**.
- PROPOSED STORM DRAIN MANHOLE**: Indicated by a circle with a dot.
- EXISTING STORM DRAIN MANHOLE**: Indicated by a circle with a cross.
- PROPOSED STORM DRAIN INLET**: Indicated by a square with a cross.
- EXISTING STORM DRAIN INLET**: Indicated by a square with a dot.
- PROPOSED BIORETENTION AREA**: Indicated by a rectangle filled with small dots.

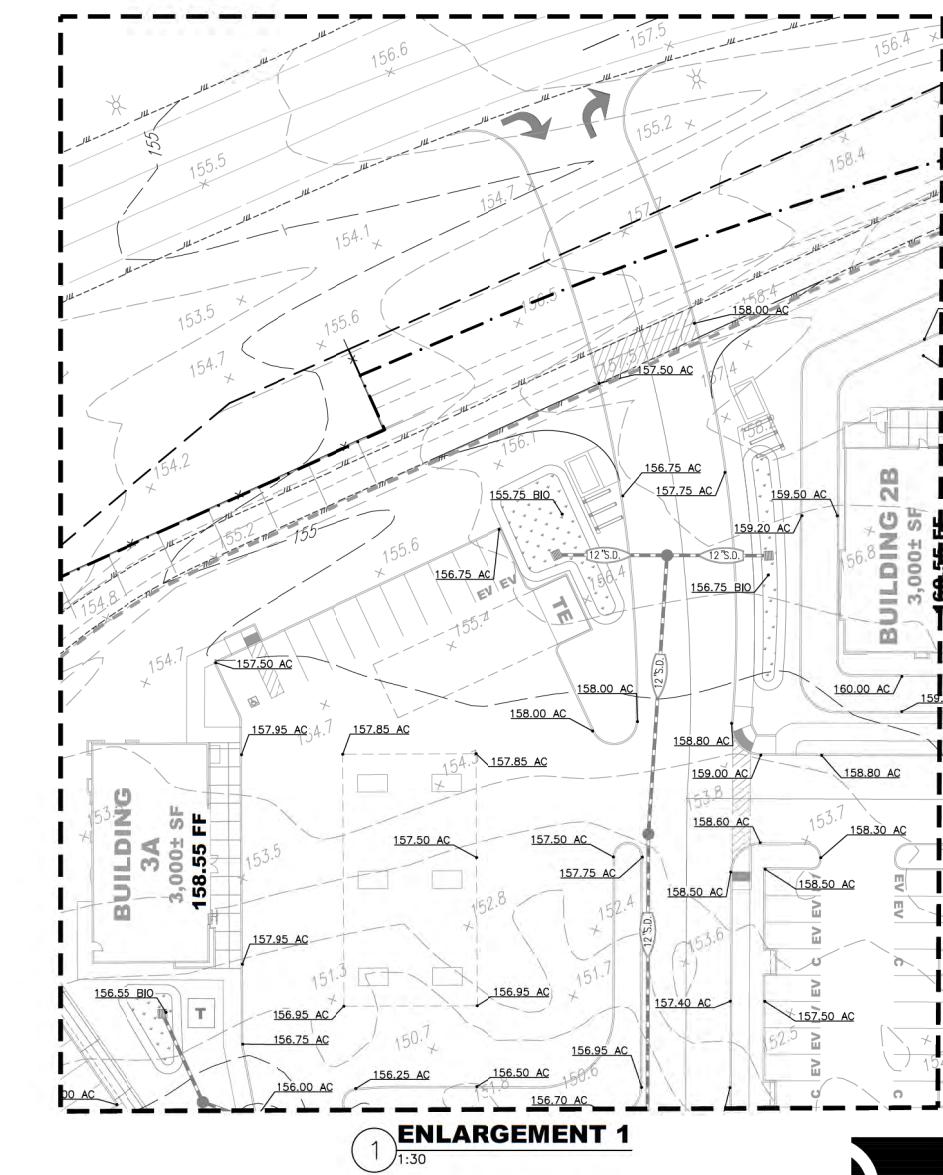
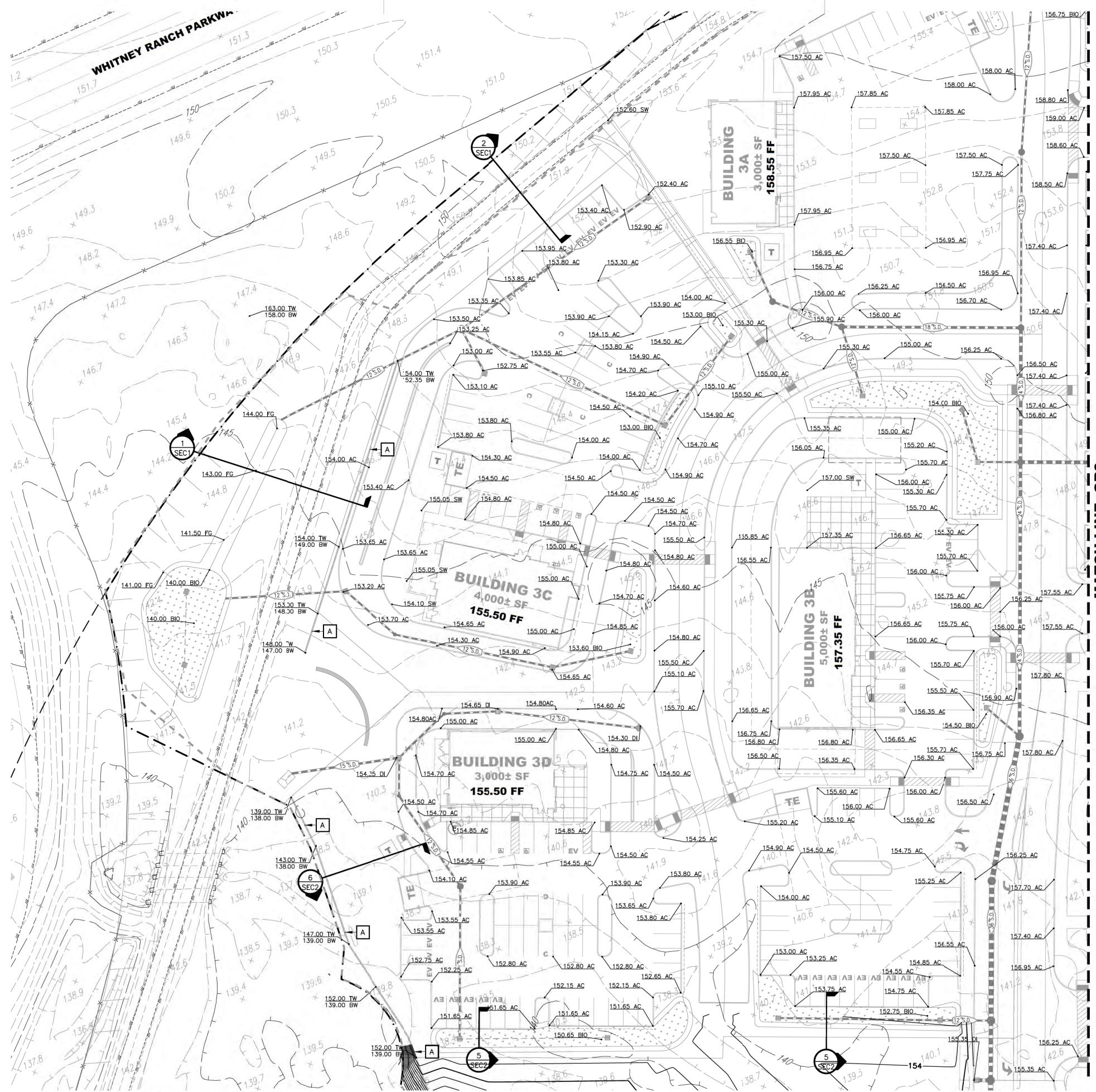
CUT AND FILL QUANTITY ESTIMATE
154,000± CY MOVED AROUND THE SITE
NO EXPORT IS ANTICIPATED



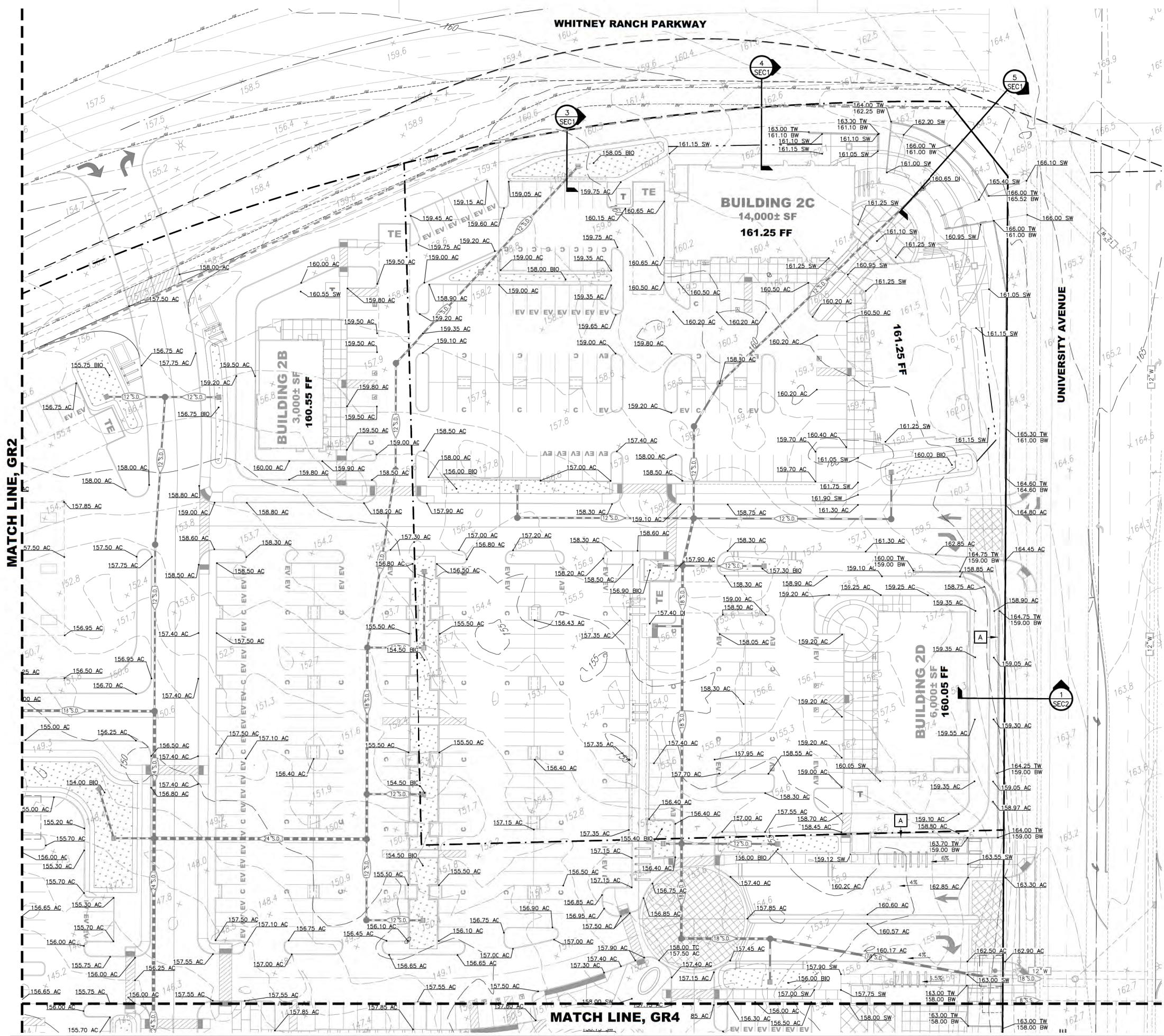


CUT AND FILL QUANTITY ESTIMATE
154,000± CY MOVED AROUND THE SITE
NO EXPORT IS ANTICIPATED

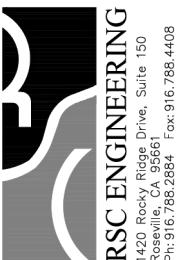


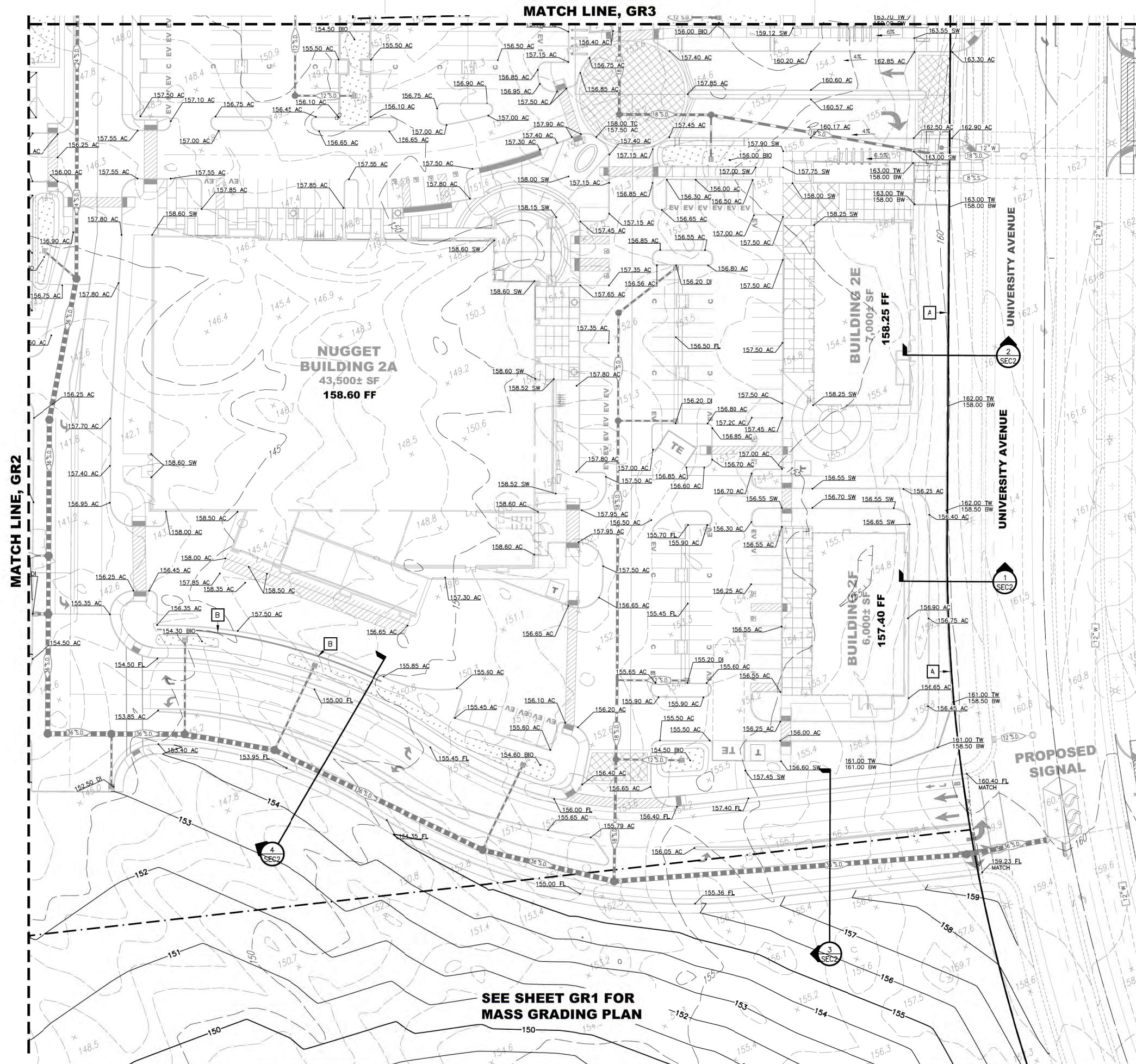


COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT



COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT





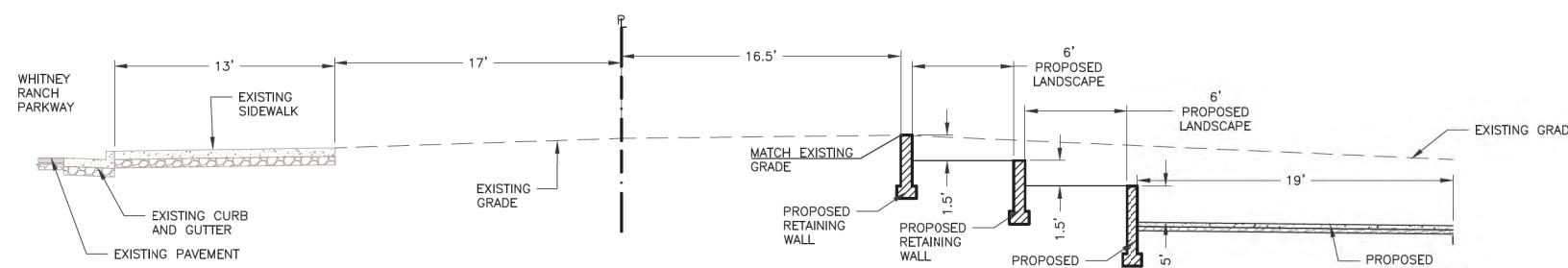
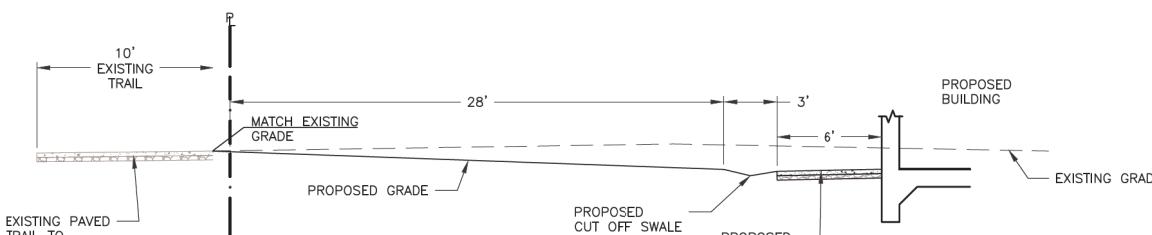
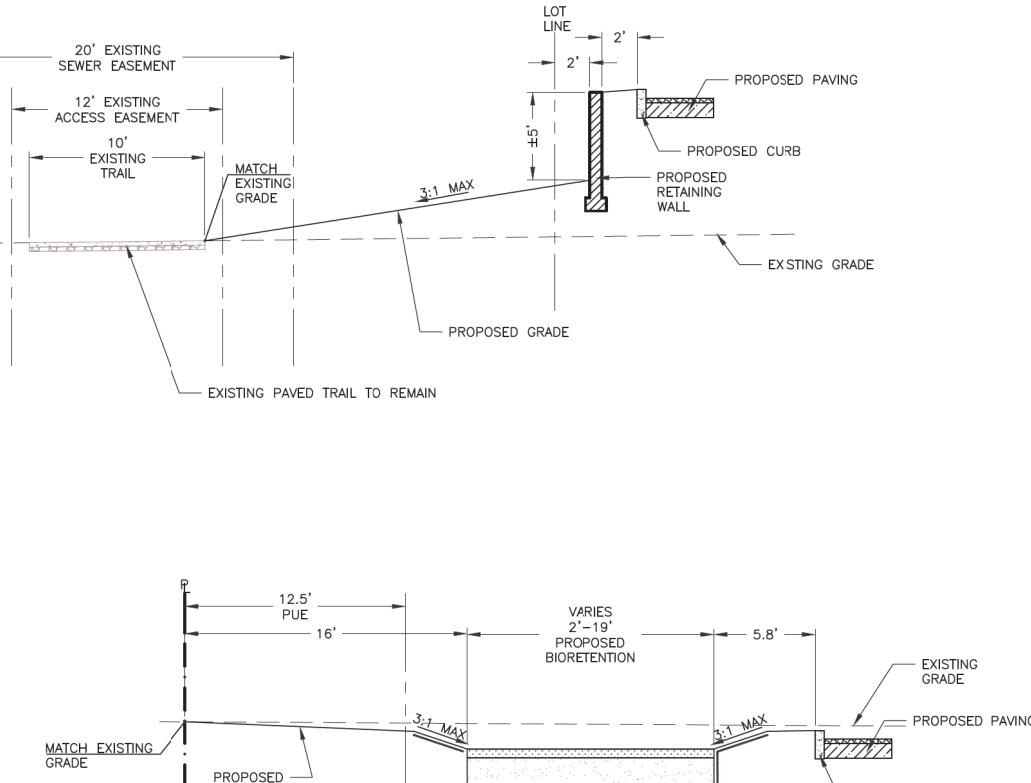
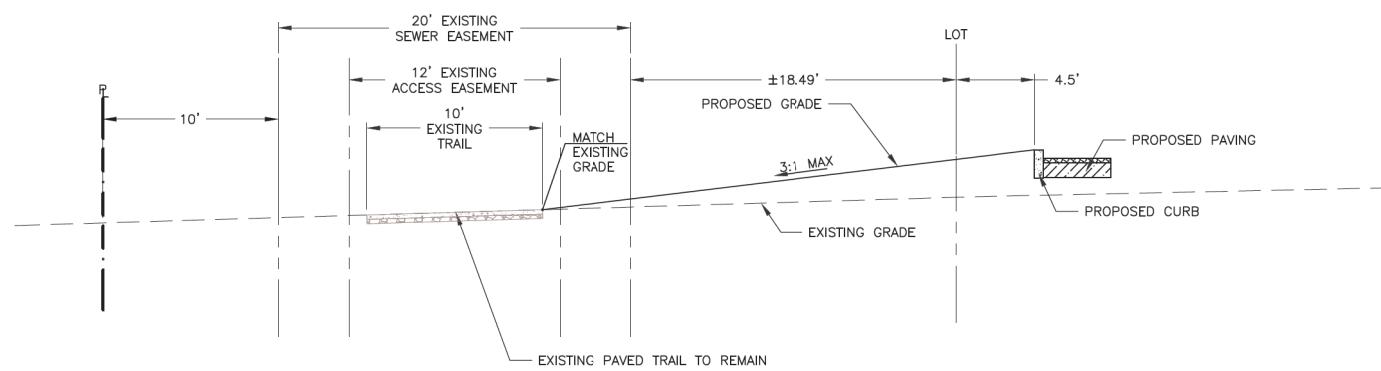
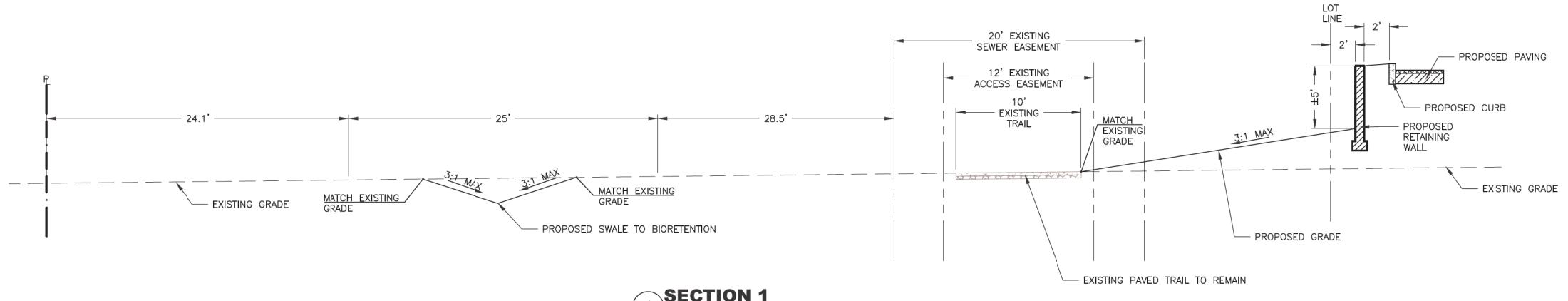
WHITNEY RANCH RETAIL
ROCKLIN, CA

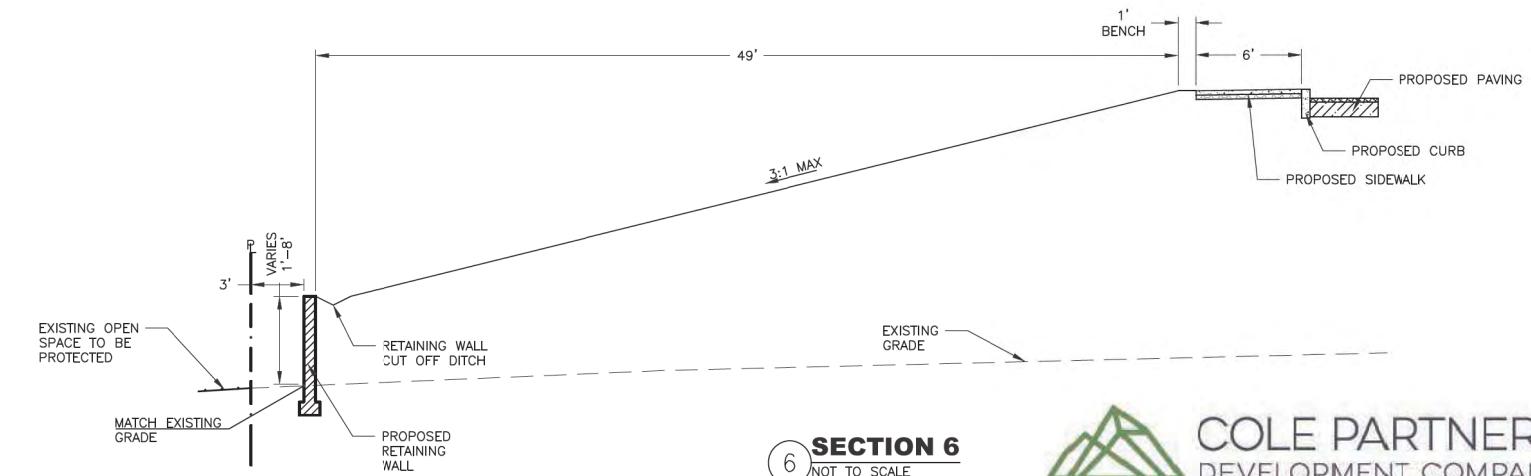
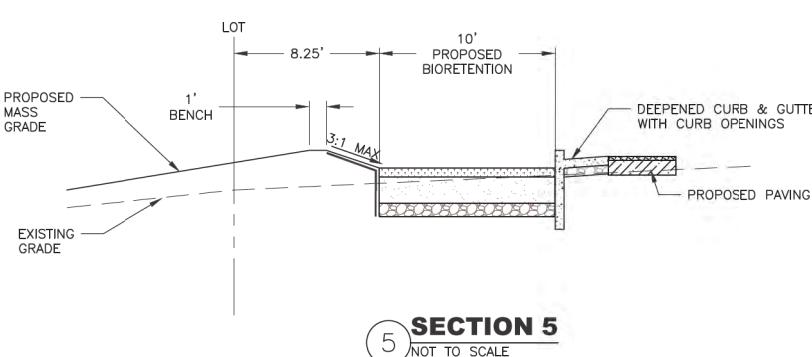
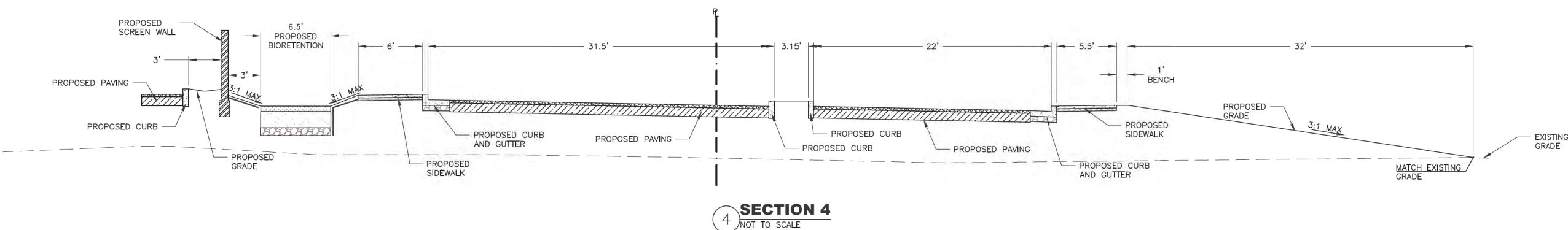
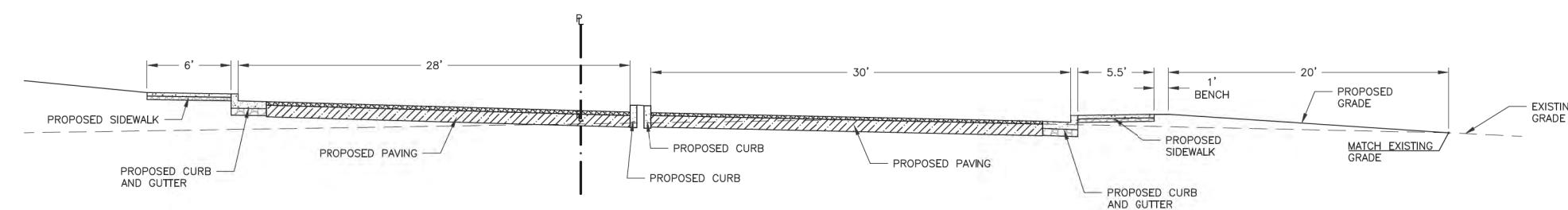
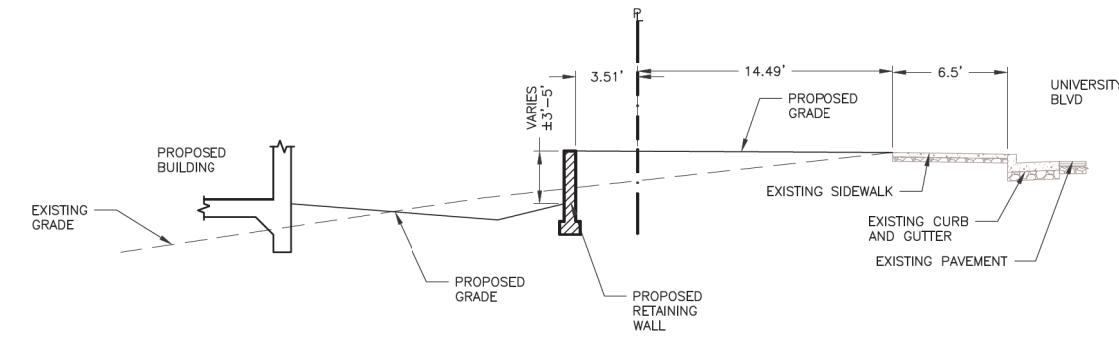
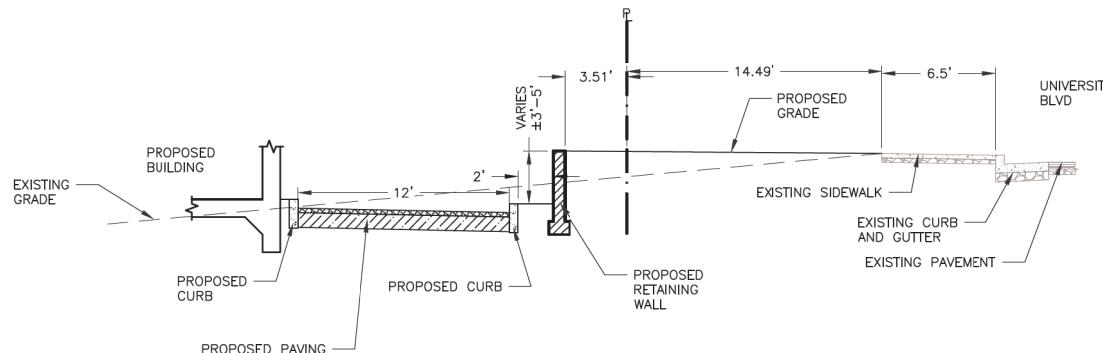
PRELIMINARY GRADING PLAN

SHEET
GR4

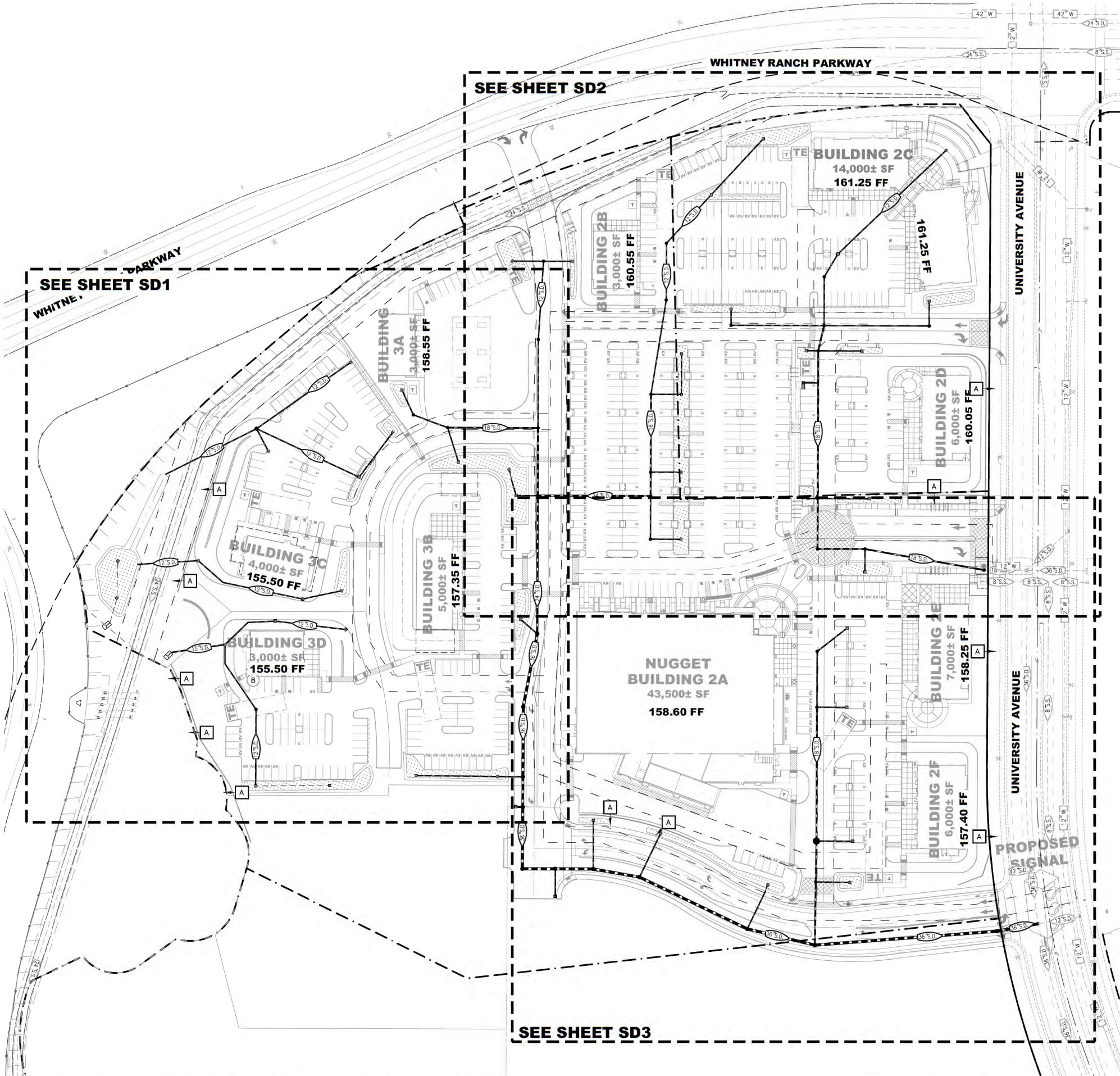
 **COLE PARTNERS**
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

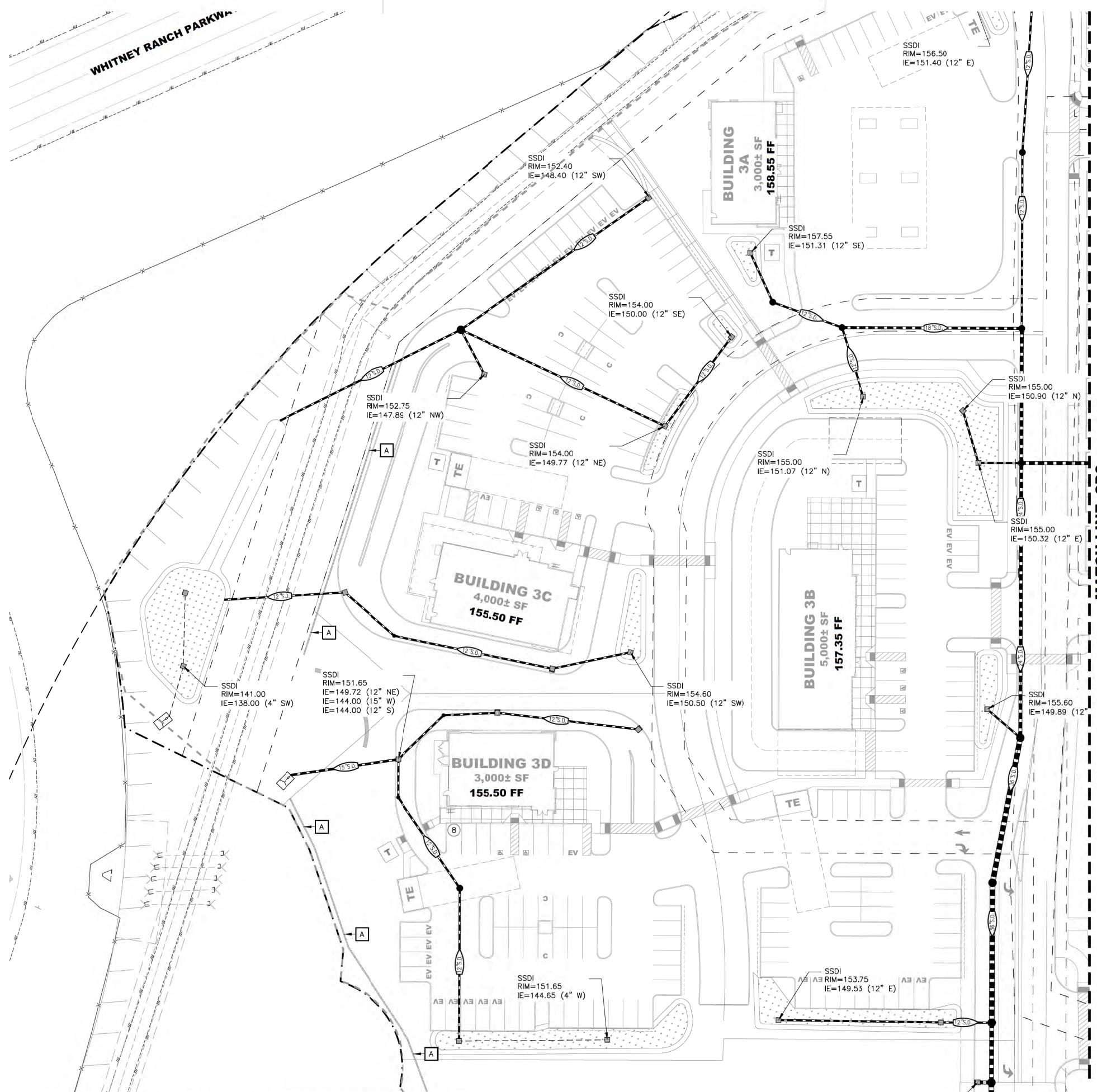




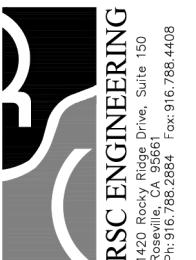


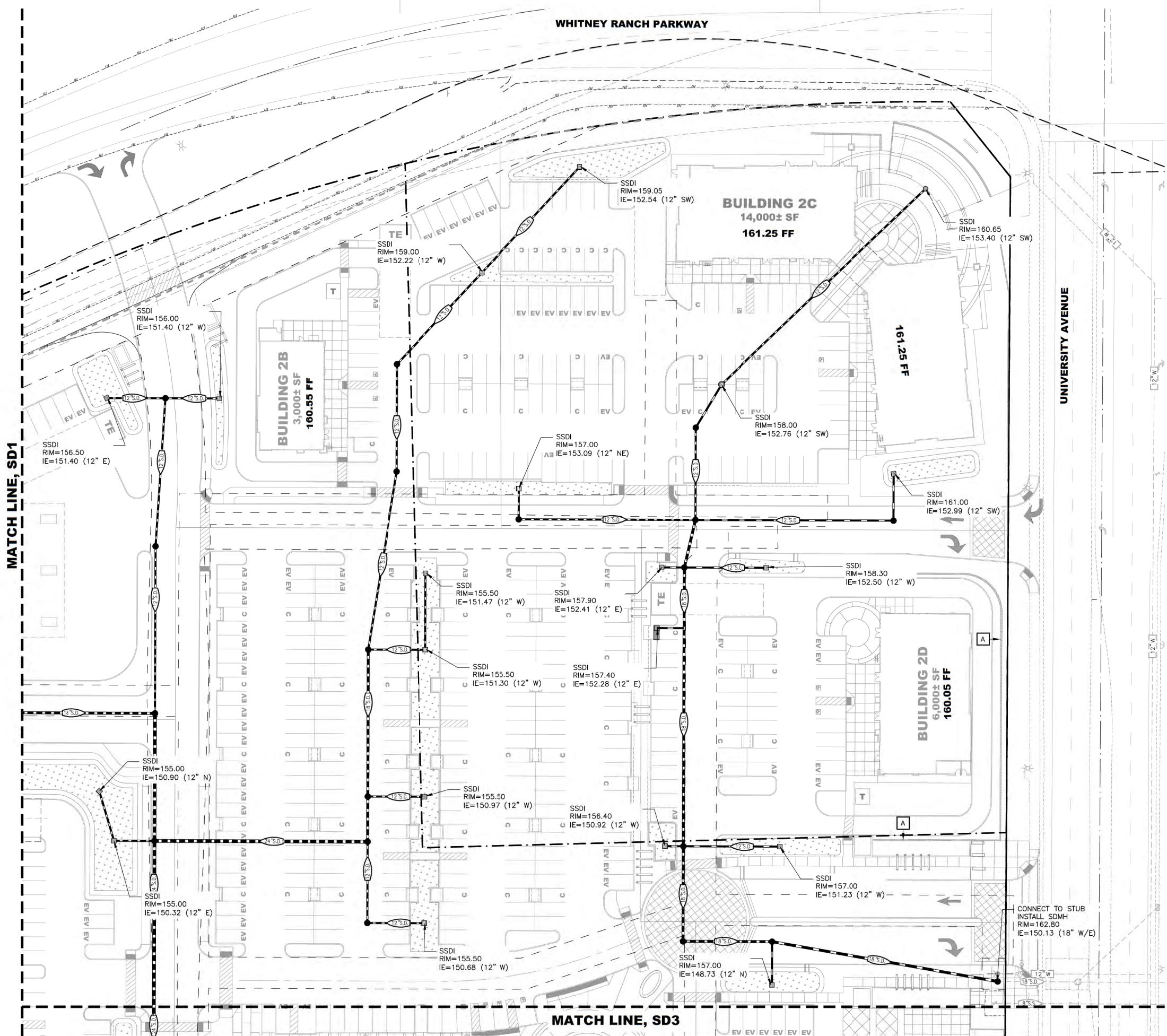
 COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT





 COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

 RSC ENGINEERING
1420 Rocky Ridge Drive, Suite 150
Roseville, CA 95747
Ph: 916.788.2884 Fax: 916.788.4408



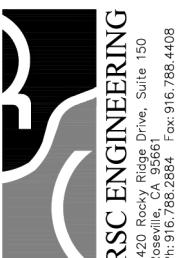
WHITNEY RANCH RETAIL

ROCKLIN, CA

PRELIMINARY STORM DRAIN PLAN

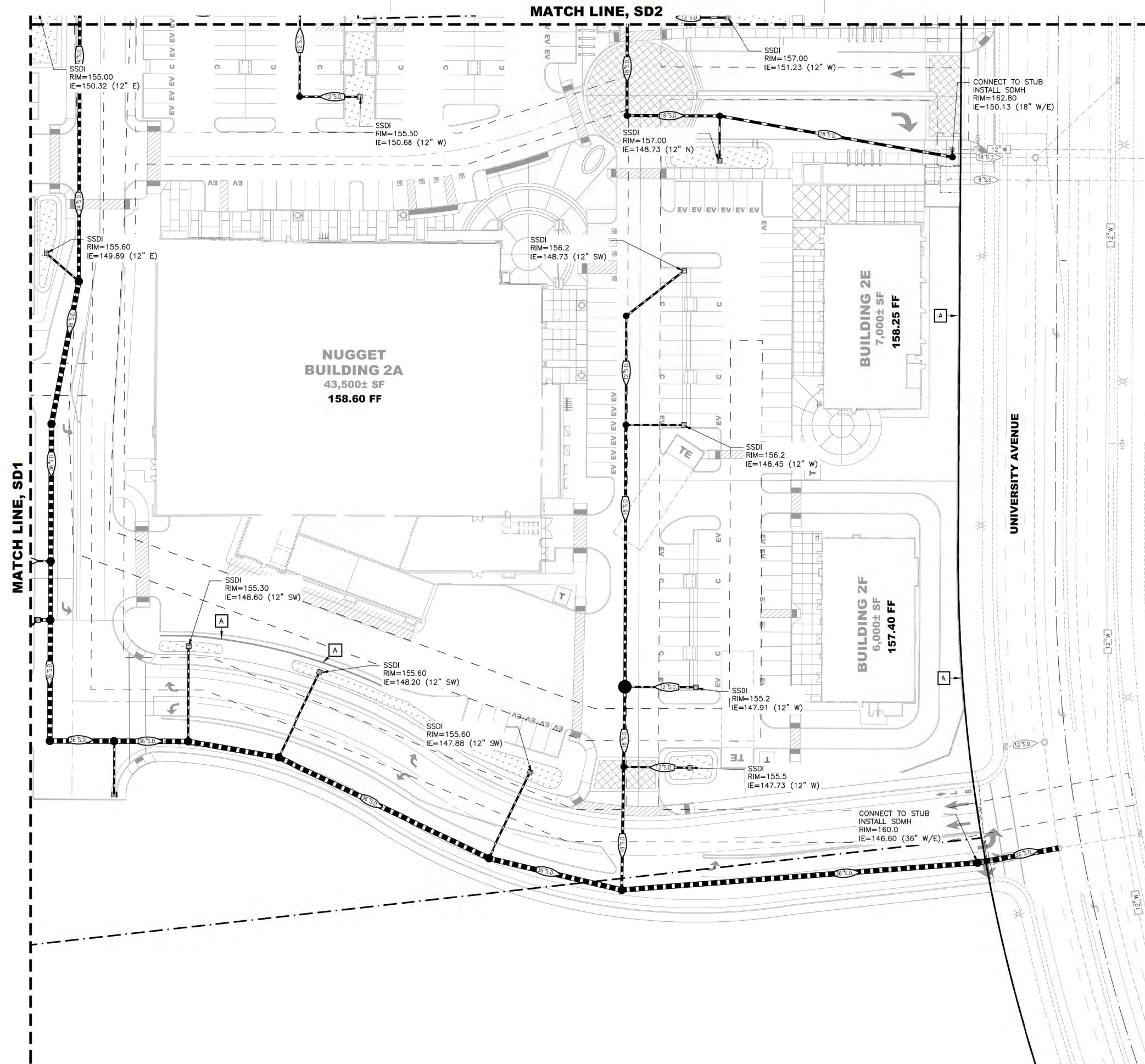
SHEET
SD2

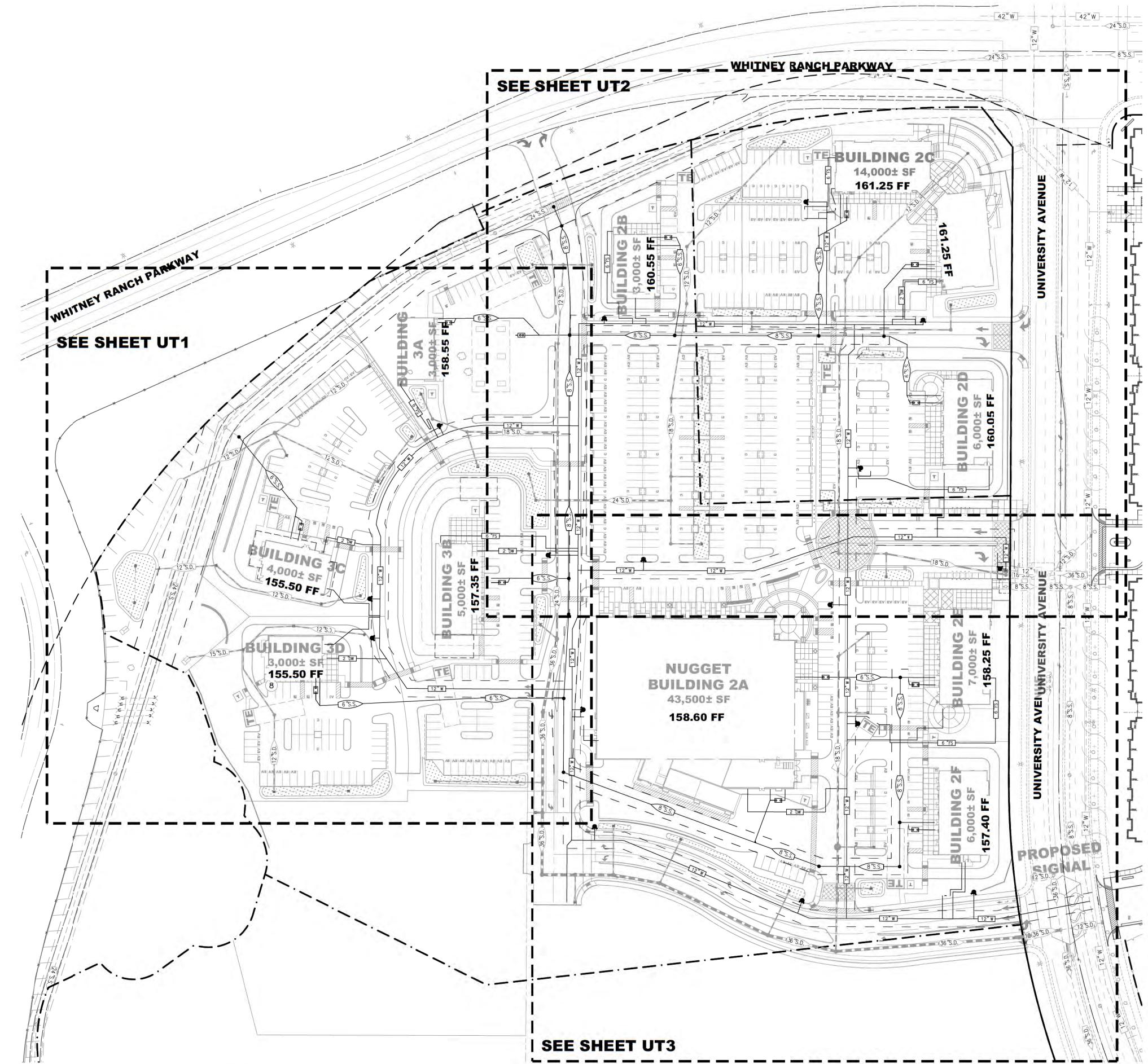
COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT



DATE:
PROJECT:
247-005

04.12.2023





WHITNEY RANCH RETAIL

ROCKLIN, CA

OVERALL PRELIMINARY UTILITY PLAN

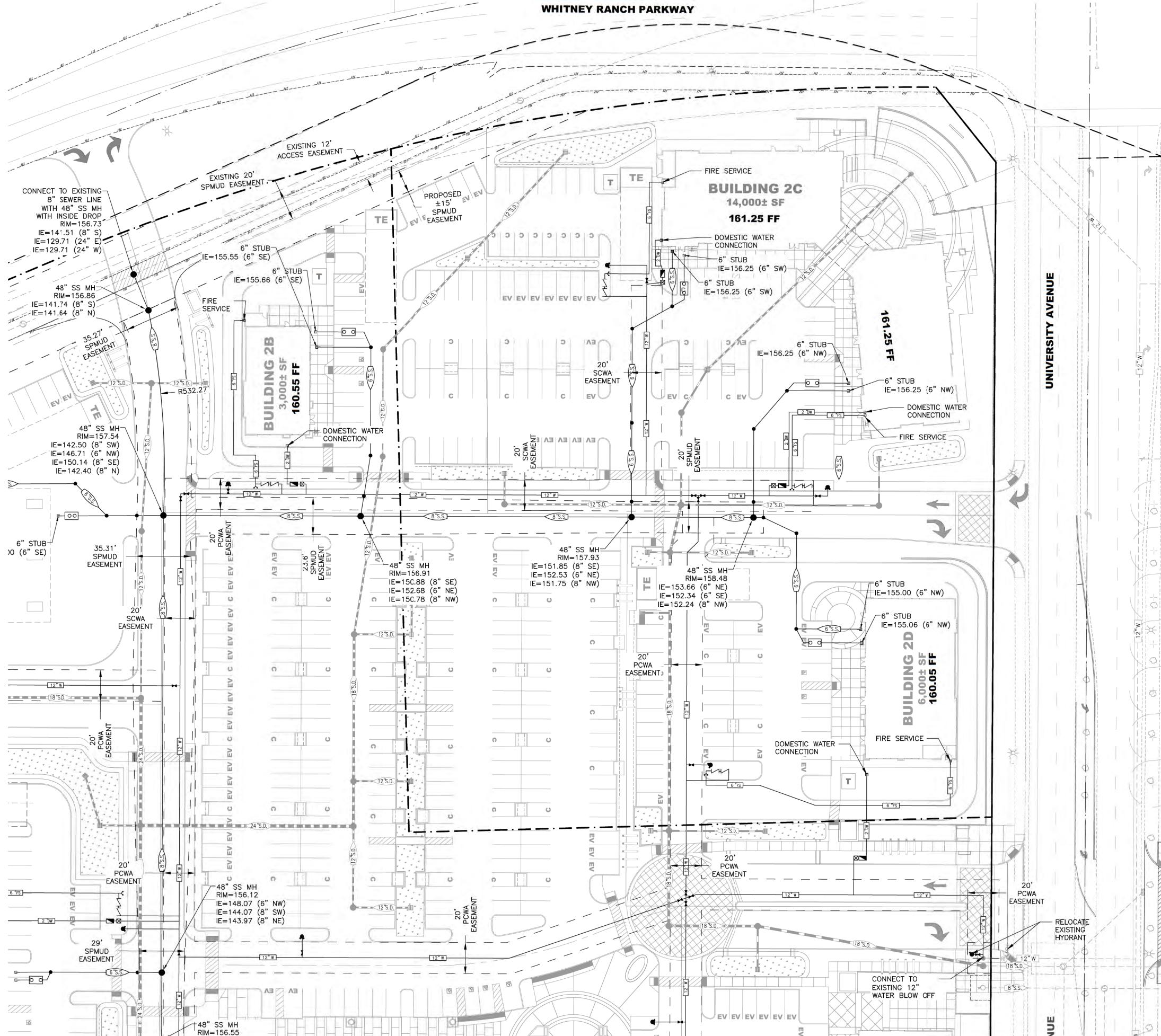
DOCUMENT SHEET

DATE:
PROJECT:

RSC ENGINEERING
 1420 Rocky Ridge Drive, Suite 150
 Roseville, CA 95661
 Ph: 916.788.2884 Fax: 916.788.4408

4.12.2023
247.005

WHITNEY RANCH PARKWAY



WHITNEY RANCH RETAIL
ROCKLIN, CA

PRELIMINARY UTILITY PLAN

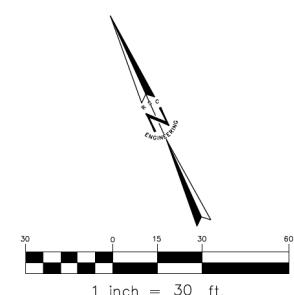
UT2

DATE:
PROJECT:
247-005



RSC ENGINEERING
1420 Rocky Ridge Drive, Suite 150
Roseville, CA 95747-2884 Fax: 916.788.4408

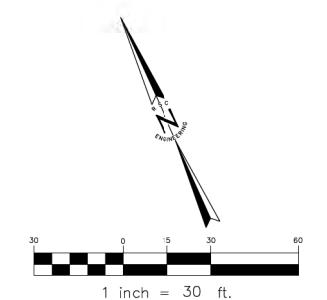
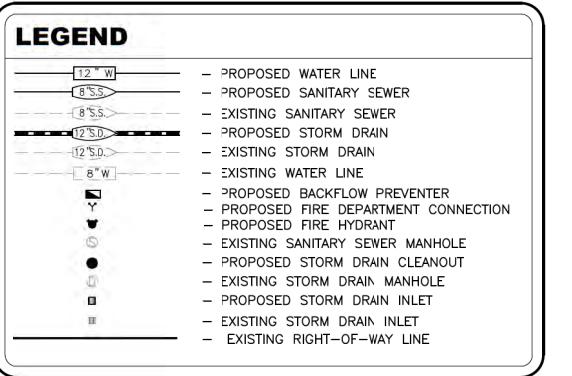
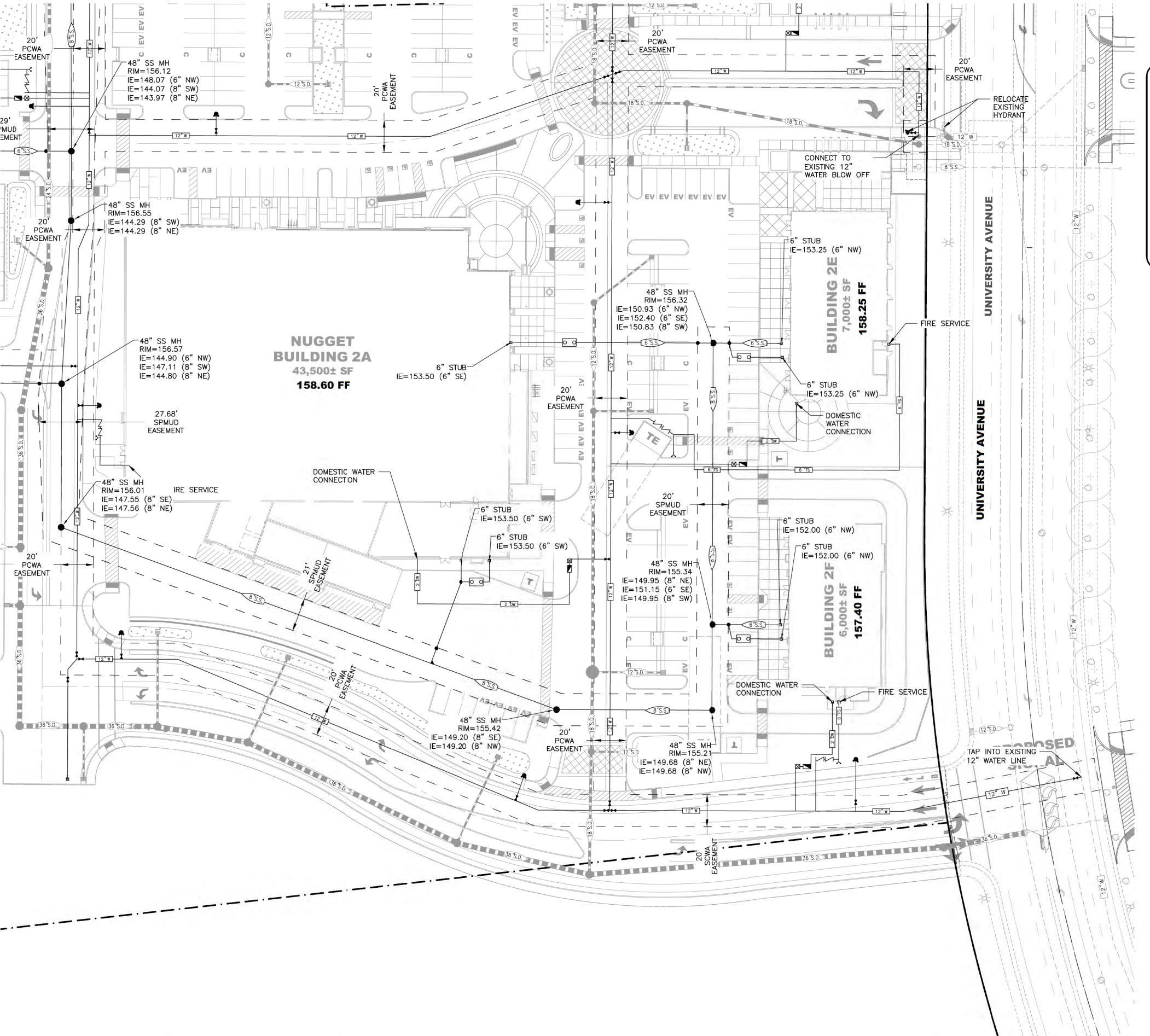
LEGEND	
12" W	PROPOSED WATER LINE
8" SS	PROPOSED SANITARY SEWER
8" S.S.	EXISTING SANITARY SEWER
12" SD	PROPOSED STORM DRAIN
12" S.D.	EXISTING STORM DRAIN
8" W	EXISTING WATER LINE
Y	PROPOSED BACKFLOW PREVENTER
□	PROPOSED FIRE DEPARTMENT CONNECTION
●	PROPOSED FIRE HYDRANT
○	EXISTING SANITARY SEWER MANHOLE
■	PROPOSED STORM DRAIN CLEANOUT
□	EXISTING STORM DRAIN MANHOLE
□	PROPOSED STORM DRAIN INLET
□	EXISTING STORM DRAIN INLET
—	EXISTING RIGHT-OF-WAY LINE

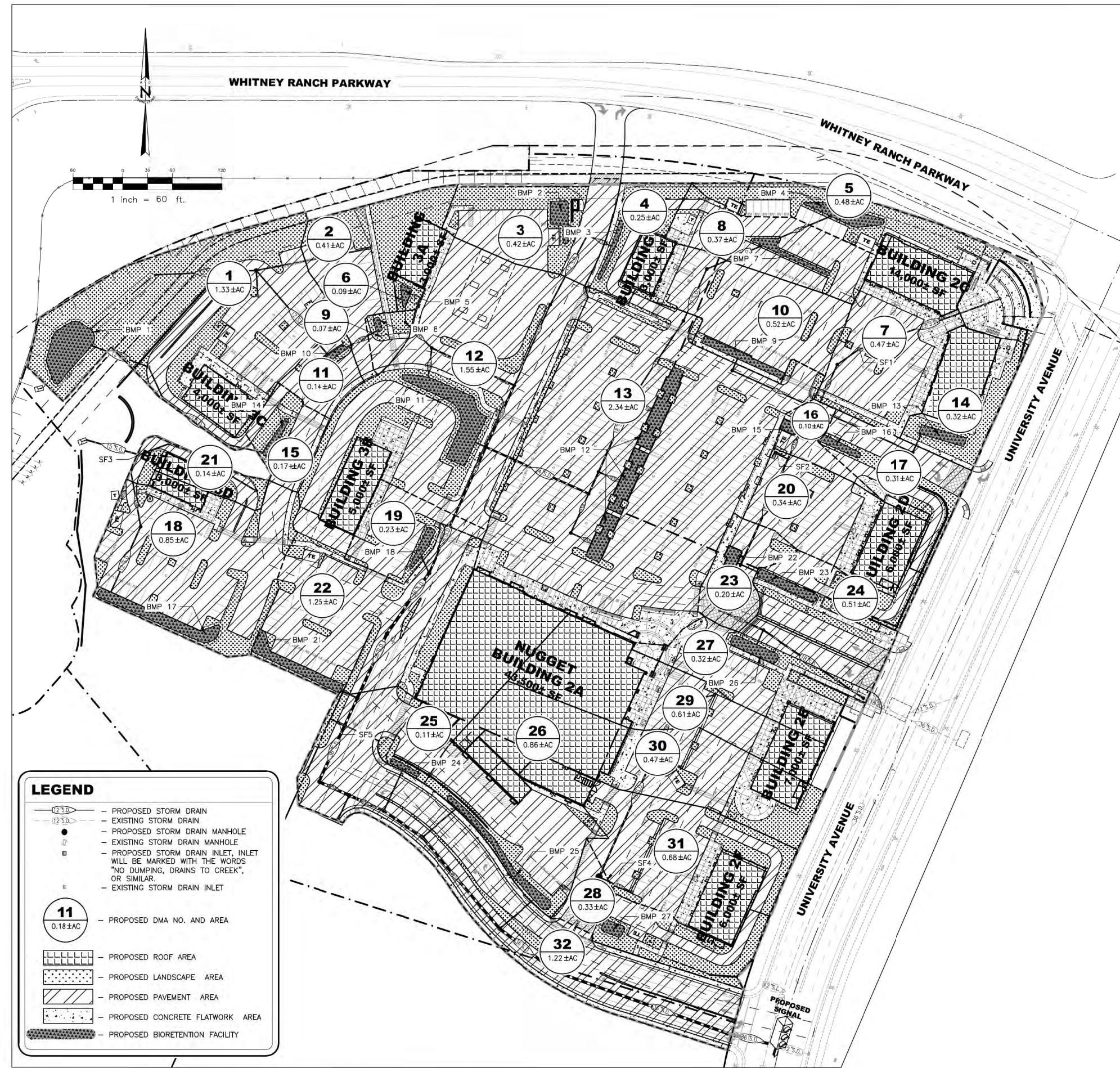


COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

SHEET

04.12.2023
247-005





DRAINAGE MANAGEMENT AREAS DRAINING CONTECH STORMFILTER UNITS

DMA NUMBER	BMP NUMBER	TOTAL DMA AREA (SF)	WOF REQUIRED (CFS)	WQF PER CARTRIDGE (18" CARTRIDGE)	NUMBER OF CARTRIDGES REQUIRED	NUMBER OF CARTRIDGES PROVIDED	WQF PROVIDED (C.F.)	UNIT NUMBER
7	SF1	20,411	0.080	0.033	2,428	3	0.099	SFMH48
20	SF2	14,810	0.058	0.033	1,762	2	0.066	SFCB2
21	SF3	6298	0.025	0.033	0.749	2	0.066	SFCB2
EQ2	SF4	77,361	0.304	0.033	9,203	10	0.330	SFMH96
32	SF5	52940	0.208	0.033	6,298	7	0.231	SFMH72
		118,880						

WQF=CIA, WHERE:
C=RUNOFF COEFFICIENT = .75
I=INTENSITY=.2 FOR SACRAMENTO COUNTY
A=AREA DMA (ACRES)

EQ2=DMA 29, DMA 30 AND DMA 31 COMBINED TREATMENT

DMA'S DRAINING TO BIO-RETENTION AREAS

DMA Name	Area (sf)	Surface Type	Run-Off Factor	Area x Run-Off Factor	BMP
1A	26,050	Landscape or Turf	0.3	7,815.00	512.80
1B	1,694	Sidewalk (Concrete)	0.1	169.40	1,664.00
1C	1,022	Driveway/Parking Lot (AC)	0.1	102.20	1,000.00
1D	4,000	Building (Roof)	0.04	160.00	1,040.00
Total	61,855			37,863.00	1,534.14
DMA Name	Area (sf)	Surface Type	Run-Off Factor	Area x Run-Off Factor	BMP
2A	8,932	Landscape or Turf	0.3	893.20	517.80
2B	1,022	Sidewalk (Concrete)	0.1	102.20	1,000.00
2C	841	Driveway/Parking Lot (AC)	0.1	84.10	800.00
2D	3,000	Building (Roof)	0.04	120.00	1,040.00
Total	17,853			1,093.30	567.63
DMA Name	Area (sf)	Surface Type	Run-Off Factor	Area x Run-Off Factor	BMP
3A	6,492	Landscape or Turf	0.3	1,947.60	1,226.70
3B	482	Sidewalk (Concrete)	0.1	48.20	38.90
3C	11,321	Driveway/Parking Lot (AC)	0.1	1,132.10	700.00
3D	3,000	Building (Roof)	0.04	120.00	1,040.00
Total	18,795			3,255.80	1,620.63
DMA Name	Area (sf)	Surface Type	Run-Off Factor	Area x Run-Off Factor	BMP
4A	4,737	Landscape or Turf	0.3	1,421.10	889.20
4B	1,123	Sidewalk (Concrete)	0.1	112.30	800.00
4C	2,346	Driveway/Parking Lot (AC)	0.1	234.60	1,542.00
4D	3,000	Building (Roof)	0.04	120.00	1,040.00
Total	10,106			1,875.70	1,040.00
DMA Name	Area (sf)	Surface Type	Run-Off Factor	Area x Run-Off Factor	BMP
5A	10,022	Landscape or Turf	0.3	3,006.60	1,924.00
5B	1,123	Sidewalk (Concrete)	0.1	112.30	800.00
5C	16,757	Driveway/Parking Lot (AC)	0.1	1,675.70	1,000.00
5D	7,000	Building (Roof)	0.04	280.00	1,040.00
Total	20,909			5,359.10	2,941.00
DMA Name	Area (sf)	Surface Type	Run-Off Factor	Area x Run-Off Factor	BMP
6A	1,134	Landscape or Turf	0.3	340.20	213.10
6B	1,123	Sidewalk (Concrete)	0.1	112.30	800.00
6C	1,246	Driveway/Parking Lot (AC)	0.1	124.60	750.00
6D	3,000	Building (Roof)	0.04	120.00	1,040.00
Total	4,711			515.10	320.00
DMA Name	Area (sf)	Surface Type	Run-Off Factor	Area x Run-Off Factor	BMP
7A	2,403	Landscape or Turf	0.3	721.00	454.20
7B	1,123	Sidewalk (Concrete)	0.1	112.30	800.00
7C	12,558	Driveway/Parking Lot (AC)	0.1	1,255.80	750.00
7D	3,000	Building (Roof)	0.04	120.00	1,040.00
Total	16,137			1,986.30	1,040.00
DMA Name	Area (sf)	Surface Type	Run-Off Factor	Area x Run-Off Factor	BMP
8A	1,134	Landscape or Turf	0.3	340.20	213.10
8B	1,123	Sidewalk (Concrete)	0.1	112.30	800.00
8C	1,246	Driveway/Parking Lot (AC)	0.1	124.60	750.00
8D	3,000	Building (Roof)	0.04	120.00	1,040.00
Total	4,711			515.10	320.00
DMA Name	Area (sf)	Surface Type	Run-Off Factor	Area x Run-Off Factor	BMP
9A	2,403	Landscape or Turf	0.3	721.00	454.20
9B	1,123	Sidewalk (Concrete)	0.1	112.30	800.00
9C	12,558	Driveway/Parking Lot (AC)	0.1	1,255.80	750.00
9D	3,000	Building (Roof)	0.04	120.00	1,040.00
Total	16,137			1,986.30	1,040.00
DMA Name	Area (sf)	Surface Type	Run-Off Factor	Area x Run-Off Factor	BMP
10A	2,756	Landscape or Turf	0.3	826.80	517.80
10B	1,123	Sidewalk (Concrete)	0.1	112.30	800.00
10C	16,575	Driveway/Parking Lot (AC)	0.1	1,657.50	1,000.00
10D	3,000	Building (Roof)	0.04	120.00	1,040.00
Total	22,451			2,080.60	1,040.00
DMA Name	Area (sf)	Surface Type	Run-Off Factor	Area x Run-Off Factor	BMP
11A	1,214	Landscape or Turf	0.3	364.20	236.10
11B	1,123	Sidewalk (Concrete)	0.1	112.30	800.00
11C	4,498	Driveway/Parking Lot (AC)	0.1	449.80	279.80
11D	3,000	Building (Roof)	0.04	120.00	1,040.00
Total	6,098			590.50	320.00
DMA Name	Area (sf)	Surface Type	Run-Off Factor	Area x Run-Off Factor	BMP
12A	14,107	Landscape or Turf	0.3	4,232.10	2,754.70
12B	6,348	Sidewalk (Concrete)	0.1	634.80	416.50
12C	42,055	Driveway/Parking Lot (AC)	0.1	4,205.50	2,500.00
12D	4,000	Building (Roof)	0.04	160.00	1,040.00
Total	67,518			5,891.70	3,214.20
DMA Name	Area (sf)	Surface Type	Run-Off Factor	Area x Run-Off Factor	BMP
13A	9,644	Landscape or Turf	0.3	2,893.20	1,865.40
13B	5,076	Sidewalk (Concrete)	0.1	507.60	335.00
13C	16,937	Driveway/Parking Lot (AC)	0.1	1,693.70	1,000.00
13D	3,000	Building (Roof)	0.04	120.00	1,040.00
Total	30,193			5,997.10	3,740.40
DMA Name	Area (sf)	Surface Type	Run-Off Factor	Area x Run-Off Factor	BMP
14A	12,558	Landscape or Turf	0.3	3,767.40	2,444.80
14B	1,123	Sidewalk (Concrete)	0.1	112.30	800.00
14C	16,575	Driveway/Parking Lot (AC)	0.1	1,657.50	1,000.00
14D	3,000	Building (Roof)	0.04	120.00	1,040.00
Total	32,218			5,524.70	3,464.80
DMA Name	Area (sf)	Surface Type	Run-Off Factor	Area x Run-Off Factor	BMP
15A	4,111	Landscape or Turf	0.1	411.10	269.00
15B	5,929	Sidewalk (Concrete)	0.1	592.90	388.70
15C	16,575	Driveway/Parking Lot (AC)	0.1	1,657.50	1,000.00
15D	3,000	Building (Roof)	0.04	120.00	1,040.00
Total	24,635			2,143.50	1,419.70
DMA Name	Area (sf)	Surface Type	Run-Off Factor	Area x Run-Off Factor	BMP
16A	4,111	Landscape or Turf	0.1	411.10	269.00
16B	7,813	Sidewalk (Concrete)	0.1	781.30	500.00
16C	16,575	Driveway/Parking Lot (AC)	0.1	1,657.50	1,000.00
16D	3,000	Building (Roof)	0.04	120.00	1,040.00
Total	24,635			1,007.50	645.37

COLE PARTNERS DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

SWQ
DATE: 04.12.2023
PROJECT: 247-005



 COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

WHITNEY RANCH RETAIL
Rocklin, Ca

PRELIMINARY LANDSCAPE SITE PLAN

SCALE: 1" = 80'-0" 0' 80' 320'
40' 160'

SHEET

PL1

 FUHRMAN LEAMY
LAND GROUP
2140 Professional Dr., Ste.115,Roseville, CA 95761 916.78.5263
www.flongroup.com

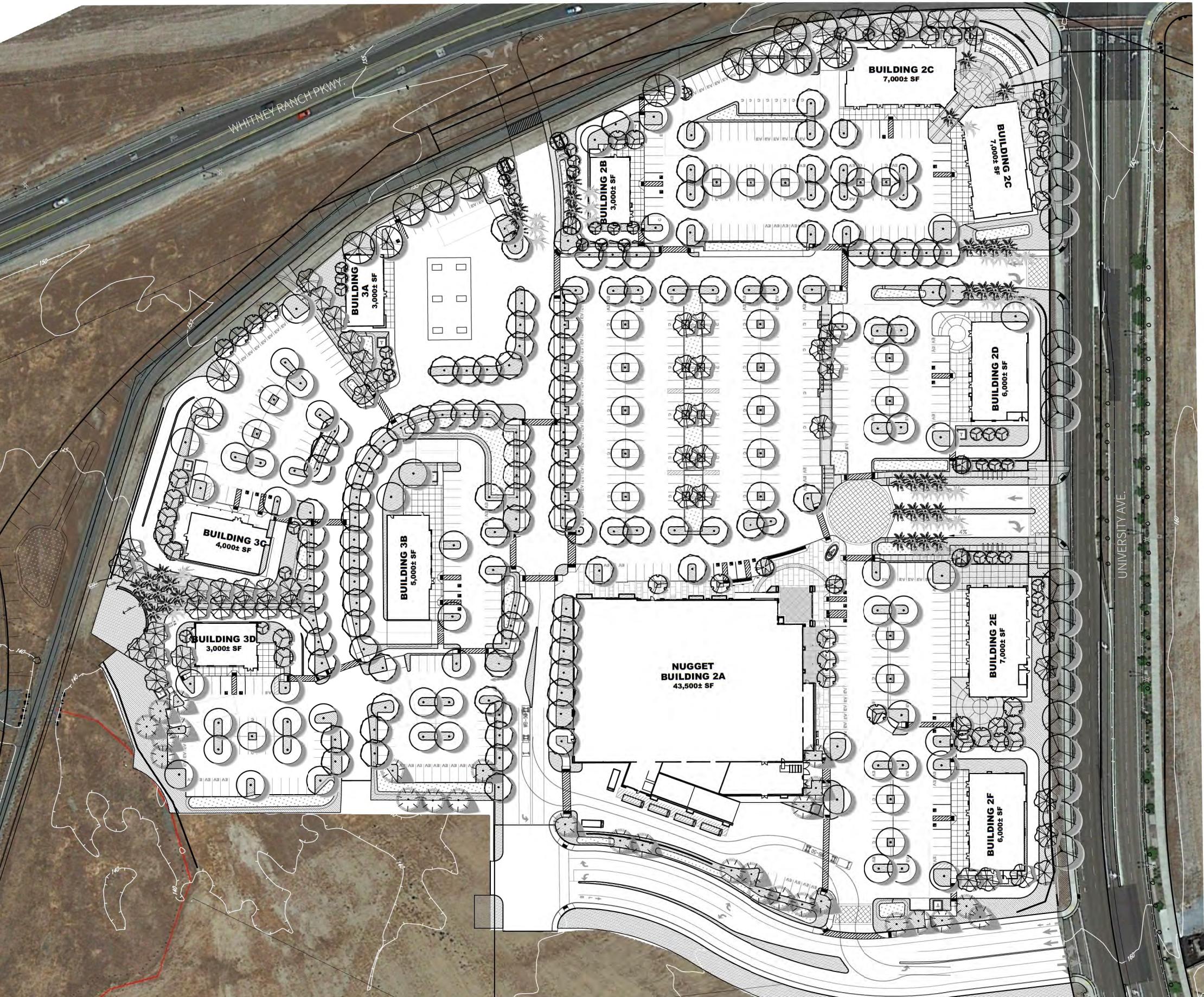
DATE:
PROJECT:
03.06.2023
CDC:21058

CONCEPT PLANT SCHEDULE

	STREET TREE-UNIVERSITY AVE. ZELKOVA SERRATA / JAPANESE ZELKOVA AVERAGE HEIGHT: 40-65FT. AVERAGE WIDTH: 40-65FT.	15	15 GAL., MEDIUM
	SPECIMEN ACCENT TREE PHOENIX DACTYLIFERA / DATE PALM AVERAGE HEIGHT: 25-40FT. AVERAGE WIDTH: 25-40FT.	38	20 BTF, LOW
	PARKING LOT TREE PISTACIA CHINENSIS / CHINESE PISTACHE AVERAGE HEIGHT: 40-65FT. AVERAGE WIDTH: 25-40FT.	74	15 GAL., LOW
	INTERNAL STREET TREE TILIA CORDATA 'GREENSPIRE' / GREENSPIRE LITTLELEAF LINDEN AVERAGE HEIGHT: 40-65FT. AVERAGE WIDTH: 25-40FT.	122	24" BOX, MEDIUM
	VERTICAL ACCENT TREE ACER RUBRUM 'BOWHALL' / BOWHALL RED MAPLE AVERAGE HEIGHT: 40-65FT. AVERAGE WIDTH: 10-15FT.	54	24" BOX, MEDIUM
	STREET TREE-WHITNEY RANCH PKWY. ULMUS PARVIFOLIA 'TRUE GREEN' / TRUE GREEN LACEBARK ELM AVERAGE HEIGHT: 40-65FT. AVERAGE WIDTH: 25-40FT.	17	24" BOX, MEDIUM
	PLANTER SPECIMEN TREE OLEA EUROPAEA 'SWAN HILL' / SWAN HILL OLIVE AVERAGE HEIGHT: 15-25FT. AVERAGE WIDTH: 15-25FT.	7	36" BOX, LOW
	EVERGREEN SCREEN PINUS ELARICA / AFGHAN PINE AVERAGE HEIGHT: 40-65FT. AVERAGE WIDTH: 15-25FT.	29	24" BOX, LOW
	FLOWERING ACCENT TREE LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ' / NATCHEZ CRAPÉ MYRTLE AVERAGE HEIGHT: 15-25FT. AVERAGE WIDTH: 15-25FT. LAGERSTROEMIA INDICA X FAURIEI 'PELOS' / PELOS CRAPÉ MYRTLE MULTI-TRUNK AVERAGE HEIGHT: 10-15FT. AVERAGE WIDTH: 3-6FT.	70	24" BOX, MEDIUM 24" BOX, LOW
	FUNDATION SHRUBS CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS COTINUS COGGYGRIA 'ROYAL PURPLE' / MULTI TRUNK ROYAL PURPLE SMOKE TREE CUPRESSUS SEMPERVIRENS 'TOTEM' / TOTEM ITALIAN CYPRESS ELAEOCARPUS DECIPiens 'LITTLE EMPEROR' / DWARF JAPANESE BLUEBERRY TREE JUNIPERUS VIRGINIANA 'SKYROCKET' / SKYROCKET JUNIPER RHAPHIOLEPIS UMBELLATA 'MINOR' / YEDDA HAWTHORN	21,493 SF	1 GAL., LOW 5 GAL., LOW 15 GAL., LOW 5 GAL., LOW 5 GAL., LOW 5 GAL., LOW
	ACCENT SHRUBS AGAVE X 'BLUE GLOW' / BLUE GLOW AGAVE ELOMYS JAPONICUS 'MICROPHYLLA VARIEGATA' / VARIEGATED BOXLEAF EUONYMUS KNIPHOFIA UVARIA 'ECHO MANGO' / REBLOOMING TORCHLILY MUHLENBERGIA CAPILLARIS / PINK MUHLY MYRTUS COMMUNIS 'COMPACTA' / DWARF MYRTLE ROSAX 'RED' / RED CARPET ROSE	17,093 SF	3 GAL., LOW 2 GAL., LOW 1 GAL., LOW 1 GAL., LOW 5 GAL., LOW 2 GAL., MEDIUM
	FILLER SHRUBS CALLISTEMON VIMINALIS 'LITTLE JOHN' / DWARF WEEPING BOTTLEBRUSH DIABELLA TASMANICA 'VARIEGATA' / VARIEGATED FLAX LILY DIETES BICOLOR / FORTNIGHT LILY GREVILLEA 'NOELII' / GREVILLEA LIGUSTRUM SINENSE 'SUNSHINE' / SUNSHINE LIGUSTRUM LOMANDRA LONGIFOLIA PLATINUM BEAUTY / PLATINUM BEAUTY LOMANDRA NANDINA DOMESTICA 'FIREPOWER' / FIREPOWER HEAVENLY BAMBOO RHAMNUS CALIFORNICA 'MOUND SAN BRUNO' / CALIFORNIA COFFEEBERRY SALVIA GREGGII 'HOT LIPS' / AUTUMN SAGE	54,017 SF	5 GAL., LOW 1 GAL., LOW 1 GAL., LOW 1 GAL., LOW 5 GAL., LOW 1 GAL., LOW 5 GAL., LOW 5 GAL., LOW 1 GAL., LOW
	GROUNDCOVERS COPROSMA KIRKII 'VERDE VISTA' / VERDE VISTA CREEPING MIRROR PLANT COTONEASTER DAMMERI 'LOWFAST' / LOWFAST BEARBERRY COTONEASTER DIANELLA REVOLUTA 'LITTLE REV' / LITTLE REV FLAX LILY TEUCRIUM CHAMAEDRYS 'PROSTRATUM' / PROSTRATE GERMANDER	52,063 SF	1 GAL., LOW 1 GAL., LOW 1 GAL., LOW 1 GAL., LOW
	BIOFILTRATION TURF SOD BIOFILTRATION SOD / DELTA BLUEGRASS BIOFILTRATION SOD	24,819 SF	SOD, M
TOTAL LANDSCAPED AREA		169,485 SF	

LANDSCAPE CALCULATIONS

CITY REQUIREMENT FOR LANDSCAPE
 TOTAL SITE AREA = 732,360 S.F.
 TOTAL LANDSCAPE REQUIRED (20%) = 146,472 S.F.
 TOTAL LANDSCAPE PROVIDED (23%) = 169,485 S.F.



COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

WHITNEY RANCH RETAIL
Rocklin, Ca

PRELIMINARY LANDSCAPE PLAN

SCALE: 1" = 50'-0" 0' 50' 200'
25' 100'

SHEET
PL2

FUHRMAN LEAMY
LAND GROUP
DESIGN • SERVICE • SOLUTIONS
2140 Professional Dr, Ste.115, Roseville, CA 95661 916.78.5263
www.flongroup.com

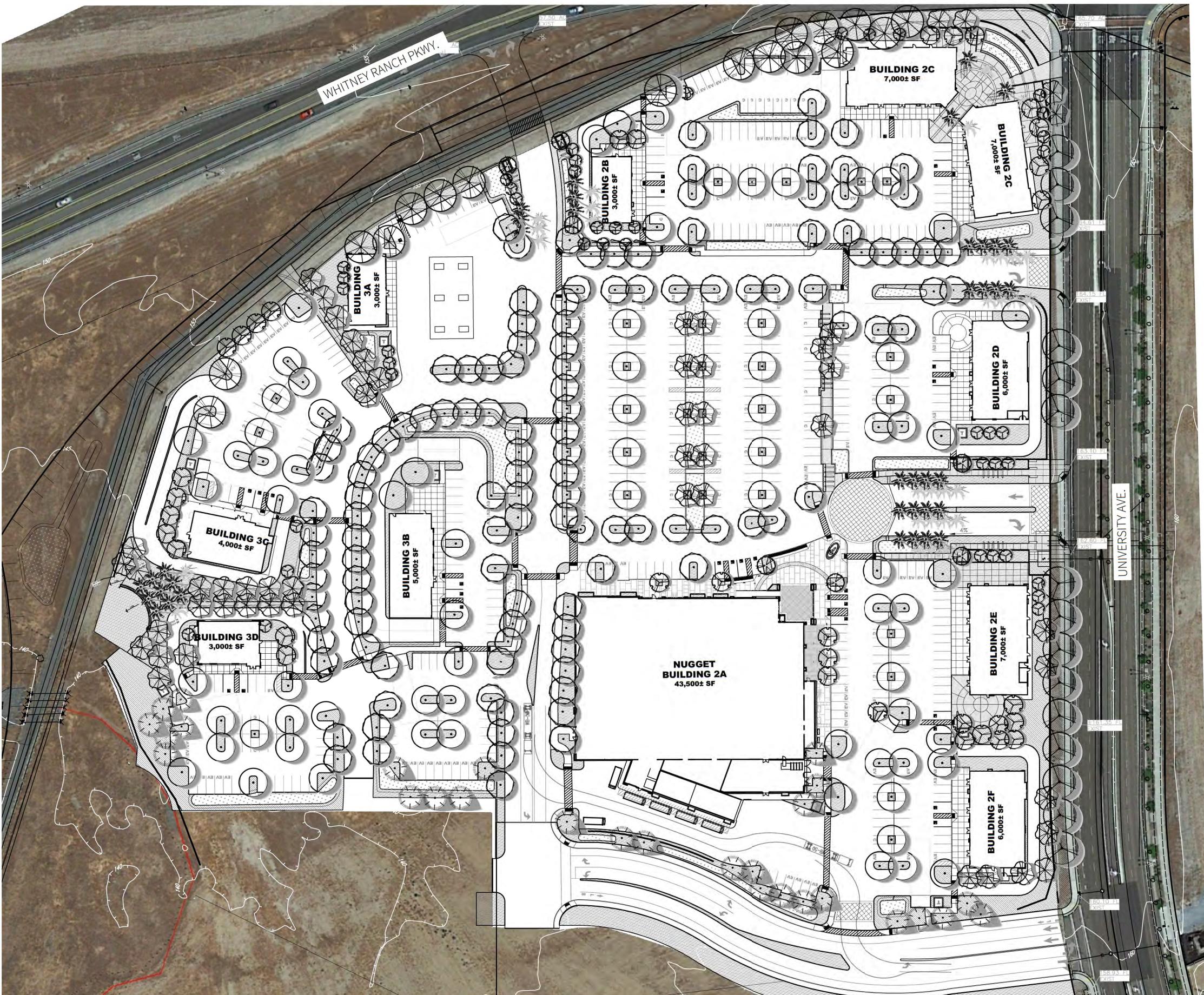
DATE: 03.06.2023
PROJECT: CDC:21058

CONCEPT PLANT SCHEDULE

STREET TREE-UNIVERSITY AVE. ZELKOVA SERRATA / JAPANESE ZELKOVA AVERAGE HEIGHT: 40-65FT. AVERAGE WIDTH: 40-65FT.	15 GAL., MEDIUM
SPECIMEN ACCENT TREE PHOENIX DACTYLIFERA / DATE PALM AVERAGE HEIGHT: 25-40FT. AVERAGE WIDTH: 25-40FT.	20 BTF., LOW
PARKING LOT TREE PISTACIA CHINENSIS / CHINESE PISTACHE AVERAGE HEIGHT: 40-65FT. AVERAGE WIDTH: 25-40FT.	15 GAL., LOW
INTERNAL STREET TREE TILIA CORDATA 'GREENSPIRE' / GREENSPIRE LITTLELEAF LINDEN AVERAGE HEIGHT: 40-65FT. AVERAGE WIDTH: 25-40FT.	24" BOX, MEDIUM
VERTICAL ACCENT TREE ACER RUBRUM 'BOWHALL' / BOWHALL RED MAPLE AVERAGE HEIGHT: 40-65FT. AVERAGE WIDTH: 10-15FT.	24" BOX, MEDIUM
STREET TREE-WHITNEY RANCH PKWY. ULMUS PARVIFOLIA 'TRUE GREEN' / TRUE GREEN LACEBARK ELM AVERAGE HEIGHT: 40-65FT. AVERAGE WIDTH: 25-40FT.	24" BOX, MEDIUM
PLANTER SPECIMEN TREE OLEA EUROPAEA 'SWAN HILL' / SWAN HILL OLIVE AVERAGE HEIGHT: 15-25FT. AVERAGE WIDTH: 15-25FT.	36" BOX, LOW
EVERGREEN SCREEN PINUS ELDERICA / AFGHAN PINE AVERAGE HEIGHT: 40-65FT. AVERAGE WIDTH: 15-25FT.	24" BOX, LOW
FLOWERING ACCENT TREE LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ' / NATCHEZ CRAPÉ MYRTLE AVERAGE HEIGHT: 15-25FT. AVERAGE WIDTH: 15-25FT. LAGERSTROEMIA INDICA X FAURIEI 'PECOS' / PECOS CRAPÉ MYRTLE MULTI-TRUNK AVERAGE HEIGHT: 10-15FT. AVERAGE WIDTH: 3-6FT.	24" BOX, MEDIUM 24" BOX, LOW

SHADE STUDY CALCULATIONS

PROJECT:	WHITNEY RANCH RETAIL	03.06.2023			
OVERALL SITE					
STANDARD STALLS	422	113,940			
EV STALLS	133	35,910			
COMPACT STALLS	78	19,656			
HANDICAP STALLS	26	6,552			
TOTAL PAVED PARKING AREA:		176,058			
TOTAL SHADE REQUIRED:	50%	88,029			
TOTAL SHADE PROVIDED:		89,025			
TOTAL SHADE PERCENTAGE		50.6%			
UNIT					
SYMBOL	DIA.	QTY.			
35' TREES					
Zelkova Green, Pistacia Chinensis,	100%	25	X	962	24,050
Tilia Green, Ulmus T.G.,	75%	6	X	722	4,332
	50%	103	X	481	49,543
	25%	16	X	240	3,840
25' TREES					
Olea S.H., Pinus Eldarica,	100%	0	X	491	0
Lagerstroemia Natchez	75%	2	X	369	738
	50%	15	X	246	3,690
	25%	4	X	123	492
20' TREES					
Acer Bowhall, Lagerstroemia Pecos	100%	0	X	314	0
	75%	0	X	236	0
	50%	5	X	157	785
	25%	1	X	79	79
TOTAL					89,025



 COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

WHITNEY RANCH RETAIL
Rocklin, Ca

PARKING LOT SHADING PLAN

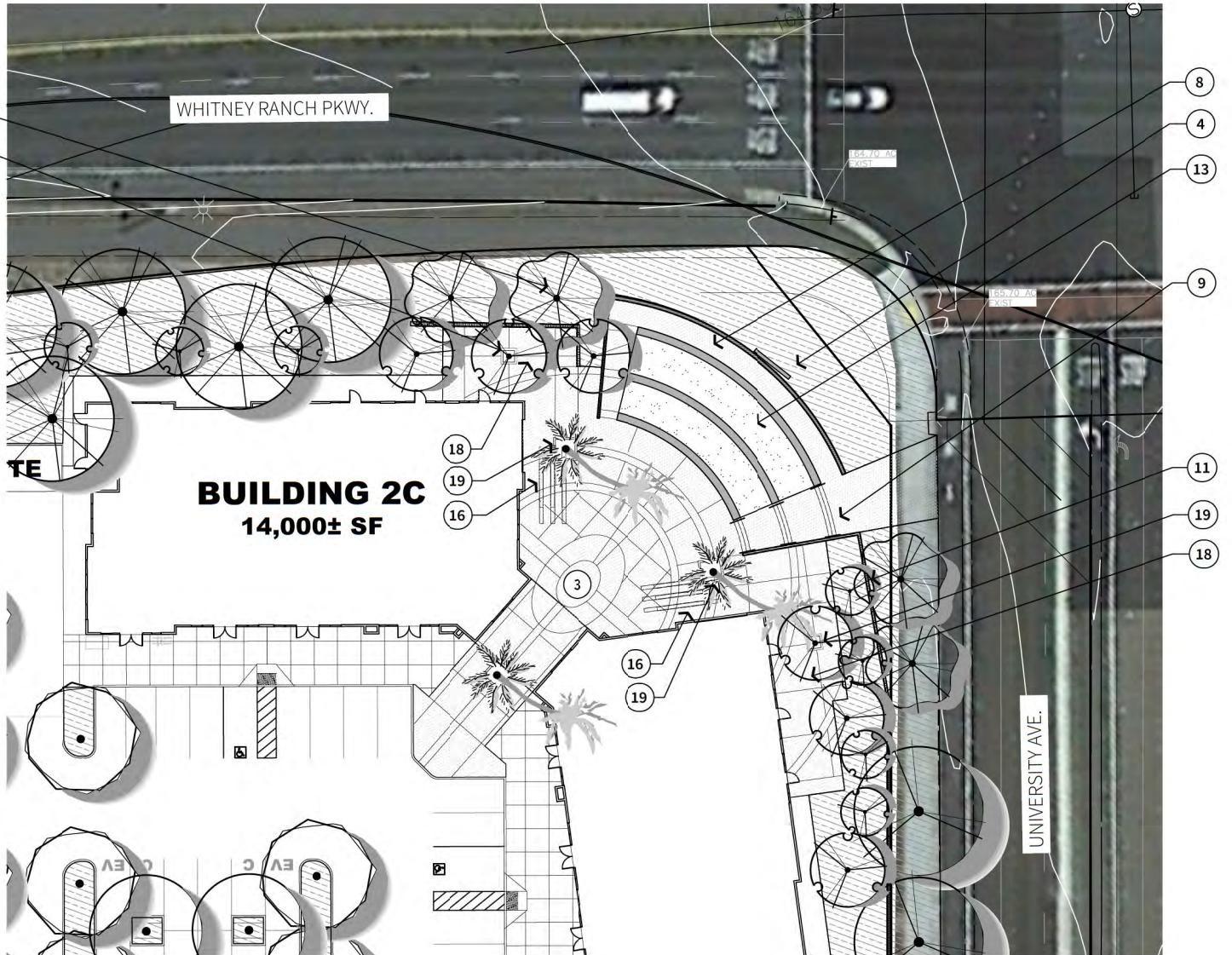
SCALE: 1" = 50'-0" 0' 50' 200'
25' 100'

SHEET

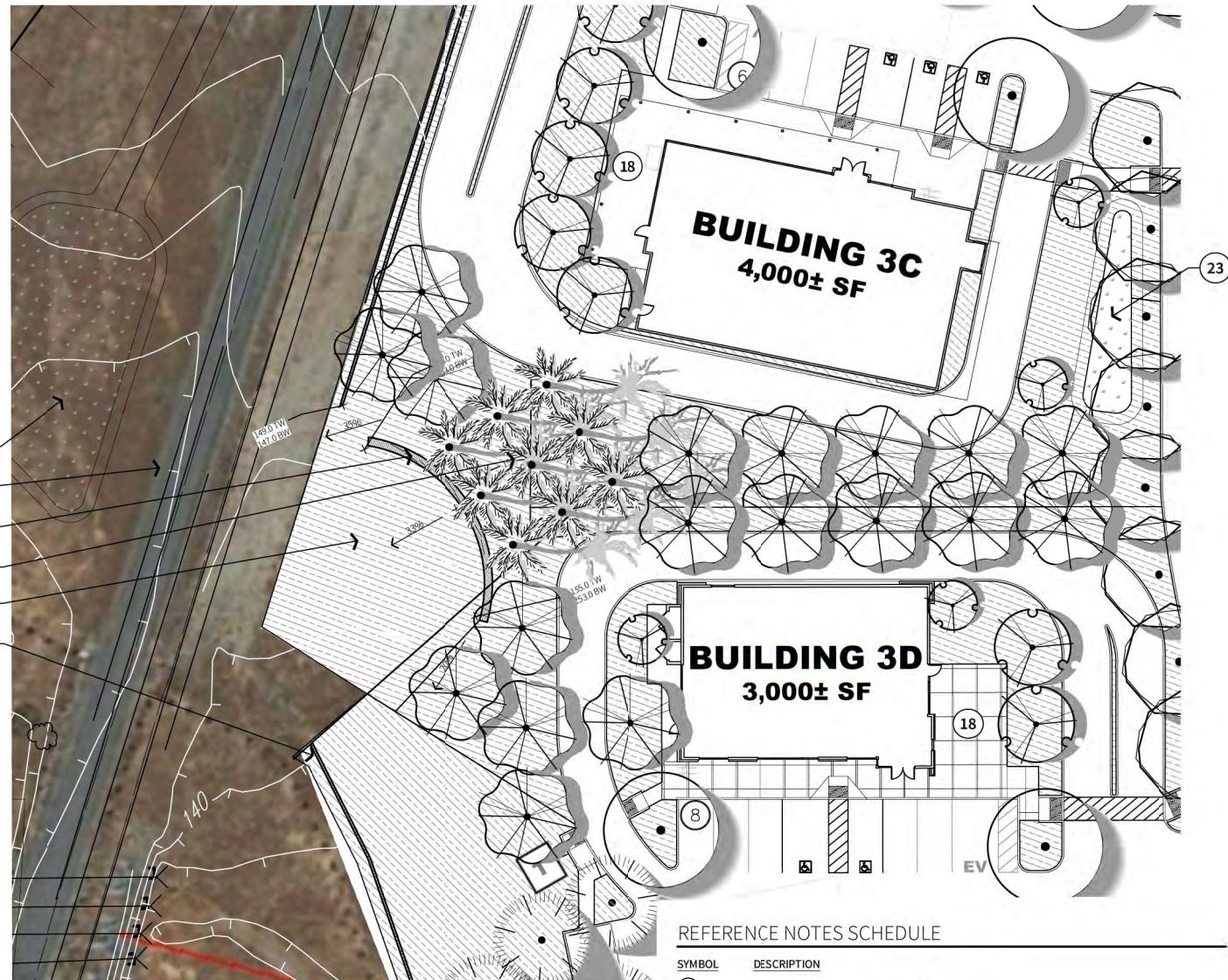
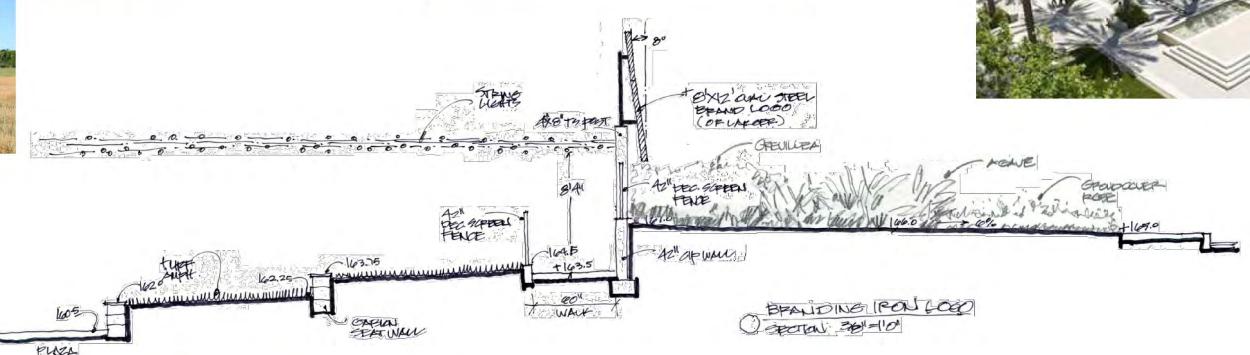
PL3

DATE:
PROJECT:
03.06.2023
CDC:21058

 FUHRMAN LEAMY
LAND GROUP
DESIGN • SERVICE • SOLUTIONS
2140 Professional Dr., Ste.115,Roseville, CA 95661 916.78.5263
www.flongroup.com



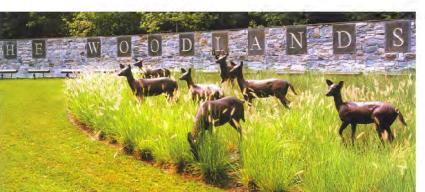
A NORTHEAST PLAZA



B SOUTHWEST EDGE SIGNAGE

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	EXISTING GRAVEL ACCESS ROAD TO REMAIN.
2	PROPOSED NUGGET PLAZA WITH RAISED PLANTER, SCULPTURE, SPHERICAL BOLLARDS, PLANTERS, AND ART MURAL ON BUILDING BAN - SEE ENLARGEMENT PL3.
3	PROPOSED CONCRETE PLAZA - SEE ENLARGEMENT PL2.
4	PROPOSED PROJECT WAYFINDING SIGNAGE (BRAND LOGO).
5	PROPOSED PROJECT WAYFINDING SIGNAGE ON LOW STEM WALL - SEE ENLARGEMENT PL2.
6	PROPOSED WAYFINDING SIGNAGE.
7	PROPOSED ENHANCED PAVING.
8	PROPOSED PEDESTRIAN ACCESS RAMP.
9	PROPOSED CONCRETE STEPS.
10	PROPOSED SAFETY BOLLARDS.
11	PROPOSED RETAINING WALLS. HEIGHT VARIES. 5' 0" MAXIMUM WHERE NOTED.
12	PROPOSED RETAINING WALL, SEE CIVIL PLAN.
13	PROPOSED TERRACED AMPHITHEATER WITH ARTIFICIAL TURF SEATING - SEE ENLARGEMENT PL2.
14	PROPOSED 72" MASONRY SCREEN WALL
15	PROPOSED MAIN ENTRY STEEL ARBOR ART, AND PALMS - SEE PL3.
16	PROPOSED STEEL ARBOR BEAMS WITH VINE - SEE ENLARGEMENT PL3.
17	PROPOSED TRACTOR SCULPTURE.
18	PROPOSED OUTDOOR DINING PATIO.
19	PROPOSED RAISED PLANTER WITH SPECIMEN ACCENT TREE.
20	PROPOSED RAISED PLANTER WITH ACCENT COLOR.
21	PROPOSED LANDSCAPED AREAS, TYPICAL.
22	PROPOSED PALM PLANTING BEHIND PROJECT SIGNAGE.
23	PROPOSED STORM WATER FEATURE BASINS, TYPICAL.
24	PROPOSED FREEWAY PYLON SIGN



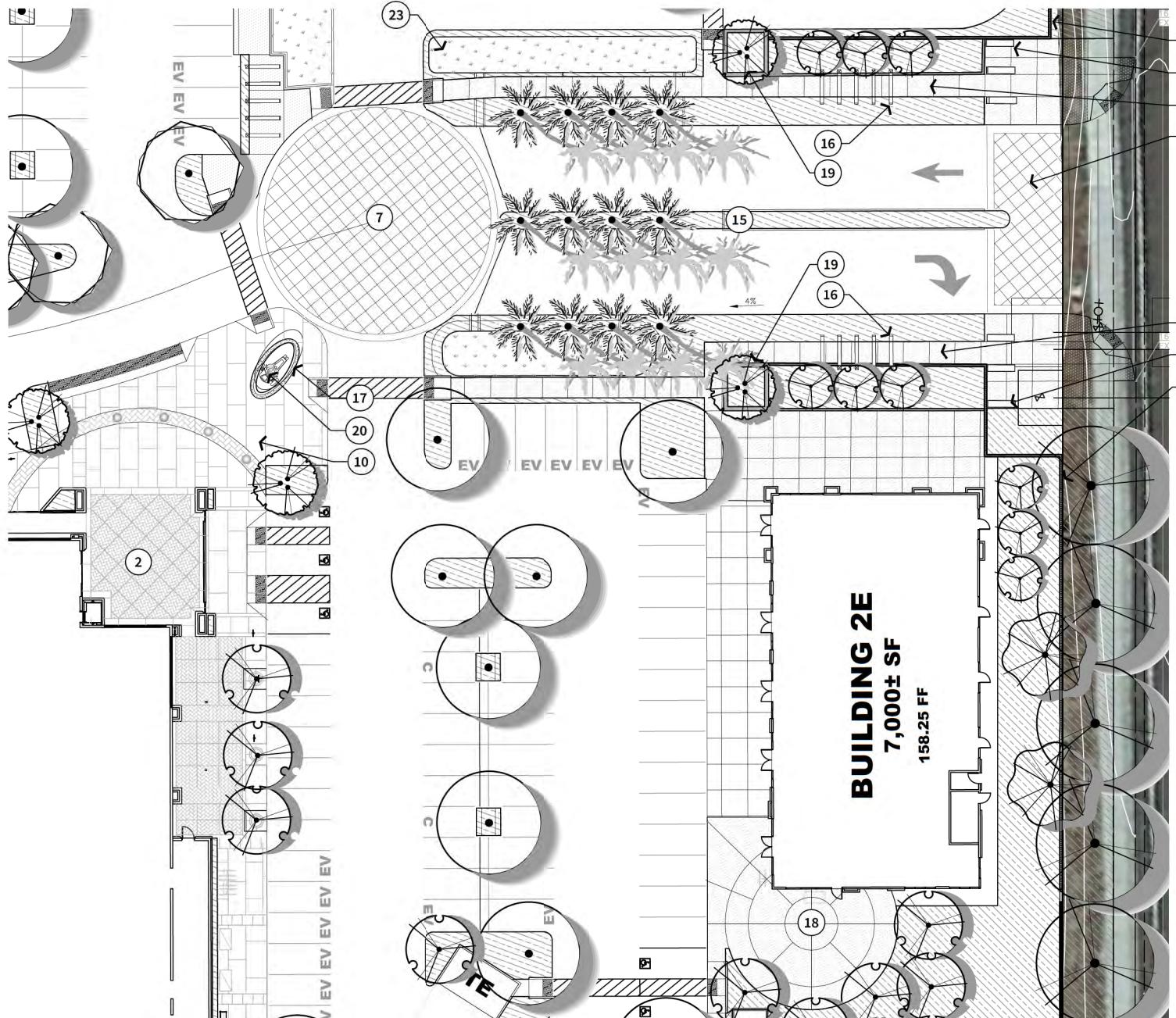
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

WHITNEY RANCH RETAIL

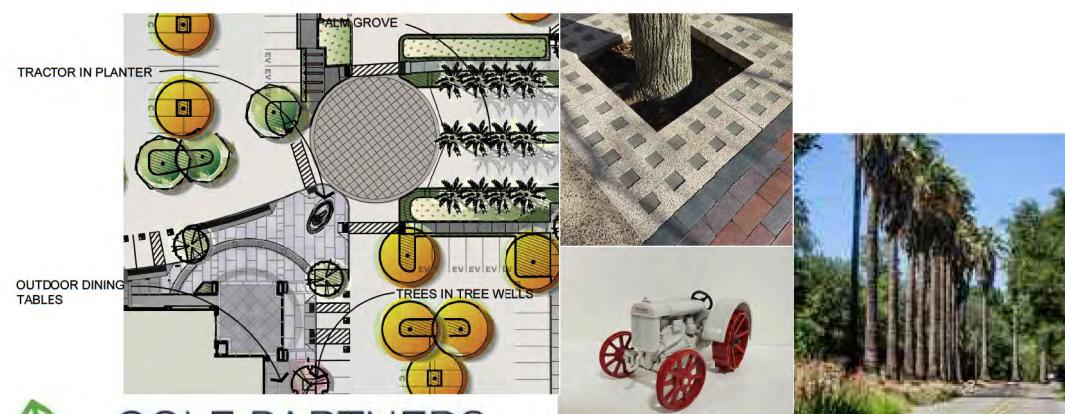
Rocklin, Ca

ENLARGEMENTS-PRELIMINARY LANDSCAPE PLAN

SHEET
PL4



EAST MAIN ENTRY AND NUGGET PLAZA



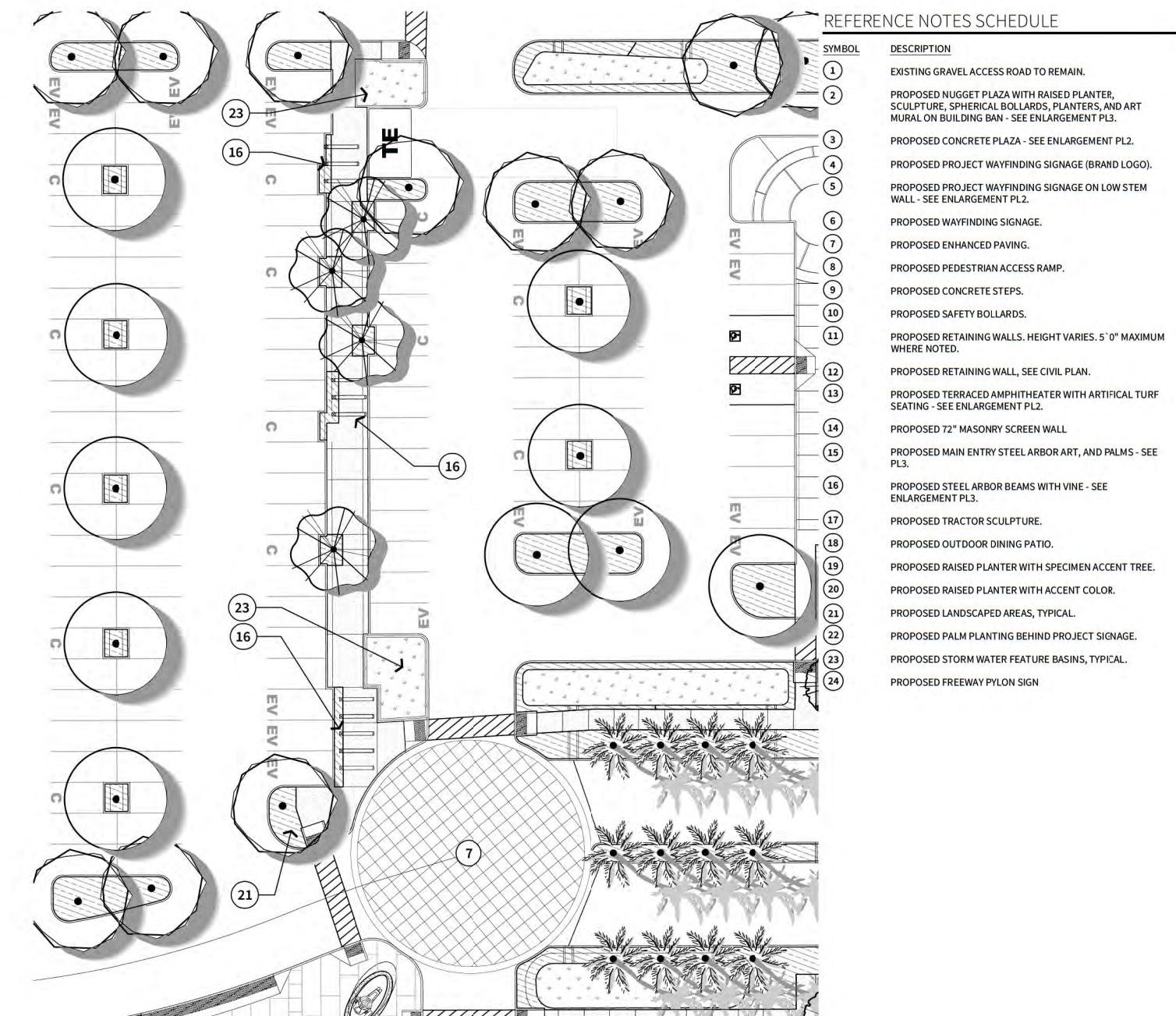


COLE PARTNERS
DEVELOPMENT COMPANY
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

WHITNEY RANCH RETAIL

Rocklin, Ca



D NORTH / SOUTH PEDESTRIAN CONNECTION



ENLARGEMENTS-PRELIMINARY LANDSCAPE PLAN

SCALE: 1" = 20'-0" 0' 20' 80'

10' 40'

SHEET
PL5

DATE:
PROJECT:

03.06.2023
CRS 81050

Index

Sign Vendor / Designer

Pacific Neon Co.
2939 Accademy Way
Sacramento, CA 95815
916.927.0527
Contact: Ralph Cundiff
www.pacificneon.com

Property Address

State Hwy. 65 @
Whitney Ranch Pkwy Rocklin, CA

Whitney Ranch | Tenant/Occupant Sign Criteria

Whitney Ranch

State Hwy. 65 at Whitney Ranch Parkway
Rocklin, CA

GRAPHICS AND BUILDING SIGNAGE CRITERIA

Spring 2023

PROJECT DIRECTORY

Sign Company

Pacific Neon Co.

Attn: Ralph Cundiff
2939 Academy Way
Sacramento, CA 95815
Phone (916) 927-0527
Email: ralph.cundiff@pacificneon.com

Owner/Developer

UKI Rocklin, LLC

c/o Cole Partners Development Company
2484 Natomas Park Dr. Suite 101
Sacramento, CA 95833

Contact:

Pat Coppin, Rob Cole
Ph.: 916.273.4019
pcoppin@colepartners.com, rcole@colepartners.com

Introduction:

Their document establishes guidelines and criteria for the design, implementation and regulation of Tenant/Occupant signage for Whitney Ranch in Rocklin California. The objectives are to encourage high quality and unique signage, which is an integral part of the architecture of the building using a consistent and uniform sign standard, and to maintain the aesthetic quality of the property along with the community standards of Rocklin, California. The intent of these criteria is to insure that Tenant/Occupant signage is designed and executed in a manner consistent with the property's architectural aesthetic while providing appropriate identification of Tenant/Occupant's businesses. Tenant signage will be carefully considered in relation to the site architecture, design, construction and content.

Their document is to provide guidance to design, fabrication, installation and maintenance of all signs, including but not limited to style and placement of lettering, size, color, materials and methods of illumination.

Accordingly, the Landlord will retain full rights of approval for any sign located within the property at the Landlord's sole discretion. No sign shall be installed without written Landlord approval or required City permits. Violation of these conditions will result with the removal of nonconforming signs and repairs of property as a result of their removal at Tenant's own expense.

SECTION A: SUBMITTAL & APPROVAL PROCESSES

1. Submittal to Landlord.

Prior to sign fabrication and application for City approval of permits, each Tenant/Occupant shall submit to the Landlord for approval (1) set of detailed design and shop drawings via email including the following:

- Elevation of storefront illustrating the proposed sign design and all dimensions as they relate to the storefront elevation of Tenant/Occupant's premises including fully dimensioned Tenant frontages and dimensioned site plan with Tenant and building frontages; Fully dimensioned and scaled sign shop drawings. Sign elevation must be rendered in color and must specify exact dimensions (including line spacing), copy, layout, materials, colors, method of attachment, illumination, electrical and all other details pertinent to the sign construction, as well as all sign area square footage calculation(s) in compliance with their criteria.
- Approval or disapproval of sign submittals shall remain the sole right of the Landlord or their chosen representative. If submittals are disapproved, then Tenant/Occupants must submit revised plans until Landlord's approval is obtained.

2. City Submittal

A full set of final plans must be approved and signed by the Landlord prior to permit application or sign fabrication. Following

Landlord's approval of the proposed signage, Tenant/Occupant or their agent must submit an application to the City of Rocklin for all permits for fabrication and installation.

- All City coordination with respect to approvals and permits for signs and their installation shall be obtained by the Tenant/Occupant or their Representative, at their sole expense.
- Any changes requested by the City of Rocklin regarding design or intent must be also cleared by Landlord before resubmittal to City.
- The Landlord reserves the right to revise the Criteria in accordance with the City of Rocklin Sign Code Ordinance.

3. Approval and Commencement

Tenant/Occupant and their sign contractor shall not be permitted to commence installation of the exterior sign unless all of the following conditions have been met:

- A stamped set of final drawings reflecting the Landlord's and the City's approval shall be obtained from each party.
- The Landlord must receive the sign installer's and/or sign manufacturer's Certificate of Insurance and Business License.
- The Landlord must receive and approve the sign installer's and/or sign company's schedule for installation of signage.

4. Modifications

In the event Tenant/Occupant wishes to change its exterior sign anytime during the term of its lease, then Tenant/Occupant must comply with the requirements set forth herein and obtain written Landlord approval of drawings and all necessary permits before commencement of any existing sign modifications.

SECTION B: GENERAL SPECIFICATIONS & REQUIREMENTS

- All signs shall be reviewed for conformance with these guidelines and overall design quality. Approval or disapproval of sign submittals shall remain the right of the Landlord and/or the City of Rocklin.

- All electrical signs will be fabricated by a U.L. approved sign vendor, according to U.L. specifications and shall bear the U.L. label to be visible at street level. All signs and their installation shall comply with local building and electrical codes. Per City of Rocklin, a sign permit issued by the city shall be obtained prior to sign installation.

- All sign fabrication work shall be of excellent quality. All logo images and type-styles shall be accurately reproduced. Painted surfaces to be smooth and free of visible flaws and imperfections. Landlord reserves the right to reject any fabrication work deemed to be below standard.

- Internal illumination to be specified as to type and installed and

PACIFIC NEON

2939 Academy Way
Sacramento, California 95815
Tel 916.927.0527
Fax 916.927.2414
www.pacificneon.com

Project No: **22-0854-03**

Account Executive: **Ralph Cundiff**

Project:
Whitney Ranch
Master Sign Program

Address:
State Hwy. 65 @
Whitney Ranch Pkwy Rocklin, CA

Drawn By: **William Dickson**
Date: **3.5.23**
Revision:

Customer Approval:

U.L. Listed
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Electrical Circuits
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D. Electronics** to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

Copyright ©2022
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No. **2**

Whitney Ranch | Tenant/Occupant Sign Criteria

labeled in accordance with UL specifications. All lighting must meet title 24 specifications. No exposed conduit will be allowed.

5. No cabinet signs shall be permitted except for logos and graphics.
6. Temporary banners eg.: "Grand Opening" may be allowed, but are subject to Landlord and City approval prior to installation. Temporary banners are to be removed no later than 30 days or sooner. Any time extensions will require Landlord and City approval.
7. Power for the Tenant/Occupant signage shall be provided by the House electrical panel to a junction box at all sign locations. Power hookup shall be the responsibility of the Tenant/Occupant.
8. Tenant/Occupant signs will be no larger than the specifications outlined in their criteria.
9. All signs are to comply with the square footage limitations. They should also be centered at the appropriate location on the elevation and to be balanced with the buildings as a whole. The appropriate location for all signage shall be coordinated with the Landlord.
10. No signs shall extend above the roofline.
11. Fasteners, anchors or other securing elements shall not be visible. All fasteners shall be resistant to corrosion.
12. Installation shall be weather-tight with appropriate use of flashings, sealants and other building materials, as may be required.
13. Tenant/Occupant shall perform installation and other work required herein at Tenant/Occupant's sole cost and expense.
14. No other signage except that described herein is permitted.
15. Tenant/Occupant will be responsible for patching and repairing (depending on inspection of damage by Landlord) of canopy to original condition upon removal of any signage installed by Tenant/Occupant.

SECTION C: SIGNAGE

SIGN AREA MEASUREMENT

Total Tenant/Occupant sign area to be calculated by creating rectangles to encapsulate similar sign graphic elements such as word groupings and logos, calculating the areas of those rectangular elements and adding those areas together. Please refer to section "**Tenant/Occupant Sign Area Calculation Method**" for additional specifications and example. Any exceptions or deviations to the standard method of calculation shall be subject to the review by the Landlord and the City of Rocklin.

SIGN AREA ALLOTMENT

Total allowed signage for each Tenant/Occupant is based upon the lineal building frontages facing parking lot or street of each Tenant/Occupant's longest elevation at business entry(s).

Building Sign Allowances

Pad Buildings will be allowed 2 sq.ft. per 1' of building frontage up to a maximum of 100 sq.ft. per building for signage. Tenant buildings which exceed 100 lineal feet will be allowed an additional 1 sq.ft. sign area for each lineal foot of frontage exceeding 100 ft. Regardless of tenant building frontage, tenants will be allowed a minimum of no less than 16 sq.ft. for building signage. Overall size of tenant signs must not exceed 75% of the Tenant's building fascia height nor 75% of the Tenant's building fascia width or Tenant's leased space width

Fuel Tenant Kiosk Building & Fuel Canopy

Tenant fuel kiosk building will be allowed 2 sq.ft. per 1' of building frontage up to a maximum of 100 sq.ft. of signage. Additionally, a fuel canopy will be allowed 1 sq.ft. per 1' of building frontage up to a maximum of 100 sq.ft. of signage. Overall size of tenant signs must not exceed 75% of the Tenant's building fascia height (exception for fuel canopy signage) nor 75% of the Tenant's building fascia width or Tenant's leased space width. Fuel tenant will also be allowed (1) freestanding price-point sign (see below).

Freestanding Sign Allowances

Whitney Ranch retail property will provide:

(1) freestanding multi-tenant pylon sign not to exceed 70 ft. in height nor exceed 500 sq.ft. for tenant panel / project I.D. signage. Panels may be subdivided, depending on Tenant occupancy and lease agreements.

(3) freestanding multi-tenant medium monument signs not to exceed 15 ft. in height nor exceed 70 sq.ft. for tenant panel(s) / project I.D. signage. Panels may be subdivided, depending on Tenant occupancy and lease agreements.

Freestanding multi-tenant low profile monument signs not to exceed 6 ft. in height nor exceed 40 sq.ft. for tenant panel(s) signage. Panels may be subdivided, depending on Tenant occupancy and lease agreements (quantity T.B.D.).

(1) freestanding price point sign for Fuel Tenant not to exceed 8 ft. in height, nor exceed 60 sq. ft. for tenant panel sign area. Sign may contain electronic price-point panel elements and any other associated fuel branding or services.

Landlord reserves the right for tenant panel placement and leasing privileges associated with all freestanding signs.

BUILDING SIGNS

All Tenant building signs must be illuminated letters/logos and may include non-illuminated secondary copy. Additionally, signs may be face and halo illuminated per construction and design guidelines listed below. Illuminated signs must conform to City of Rocklin building and electrical codes. Construction and installation of signs must be executed by licensed U.L. certified and bonded sign contractors only.

Tenant Sign Construction & Design Guidelines:

1. Pan channel letters and logos must be fabricated aluminum pan channel construction with interior illumination provided by LEDs. Faces can be translucent, decorated to Tenant's logo color specifications.
2. Returns to have painted or architectural brushed metal finishes. Painted finishes to have professional application with automotive quality paints.
3. LEDs to be sufficiently spaced to prevent uneven or light source segmentation of modules when viewed at night.
4. Logos and secondary capsule shaped cabinet may be face and/or halo illuminated. No exposed LED modules through face will be allowed.
5. All housing structures and electrical connections to be weatherproof and compliant with State, City and U.L. electrical standards and manufacturing / installation methodology.
6. If signs require raceways mounted to the face of the building structure, those raceways will be painted to match building fascia color and obscured as much as possible by pan channel letters.
NOTE: This construction method will require Landlord's permission as well as design approval prior to manufacturing or installation.

Non-Illuminated Letters

Tenants may be allowed non-illuminated secondary letters if size restricts the letter characters from internal illumination. Non-illuminated copy must be dimensional with a depth no less than 1/2".

TENANT PANELS ON FREESTANDING SIGNS

Landlord reserves the right for tenant sign placement on shared tenant freestanding signs according to tenant lease agreements, which includes location of sign(s), design, content and size. Tenant panels will be assigned to Tenants by Landlord who has final right as to tenant reconfiguration and tenant panel assignment.

**PACIFIC
NEON**

2939 Academy Way
Sacramento, California 95815
Tel 916.927.0527
Fax 916.927.2414
www.pacificneon.com

Project No: **22-0854-03**
Account Executive: Ralph Cundiff

Project:
Whitney Ranch
Master Sign Program

Address:
State Hwy. 65 @
Whitney Ranch Pkwy Rocklin, CA

Drawn By: William Dickson
Date: 3.5.23
Revision:

Customer Approval:

U.L. Listed
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Electrical Circuits
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D. Electronics** to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

Copyright ©2022
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No.

3

Whitney Ranch | Tenant/Occupant Sign Criteria

WINDOW SIGNS/GRAFICS

1. Window graphics are permitted for sidelights, side windows and doors if they pertain to business name (on door), business hours or address numerals.
2. All other window graphics and signs require written approval of the Landlord. These graphics shall not exceed 10% of the window area unless a special written request is submitted and approved in writing from the Landlord.
3. Graphics should contain imagery or copy pertaining to business. Hand-painted, permanent signs may be acceptable, but design must be authorized and contractor's qualification may be subject to review by Landlord prior to execution.
4. Graphics that are perceived as abusive, inflammatory, or obscene by community standards are strictly prohibited, and are subject to immediate removal at Tenant/Occupant's expense.
5. All window graphics are subject to review and approval at Landlord's discretion. Violation of guidelines will require removal of window graphics at Tenant/Occupant's own expense.
6. Electric (neon) or L.E.D. "OPEN" signs are allowed but limited area of 2 Sqft. Sign area total.
7. Upon termination of lease, all window signs must be removed at Tenant/Occupant's expense and returned to original condition or will charged at Tenant/Occupant's own expense to restore.

DOOR GRAPHICS/HOURS/ADDRESS

1. All Tenant/Occupants should have business name/logo located on single door or right side of double doors (or both doors). Graphics are preferred to be White vinyl film applied first surface to glazing. Graphics must not exceed 20% of total door glazing area.
2. All Tenant/Occupants should have hours of operation clearly displayed either on door or sidelight glazing. Lettering should be White vinyl film applied first surface to glazing.
3. Graphics should contain imagery or copy pertaining to business and are subject to design review by Landlord.

SECTION D: GENERAL CONDITIONS

1. The sign contractor shall be responsible for the fulfillment of all the requirements and specifications, completing the installation in a workman-like manner, and cleaning up, patching and painting any surfaces damaged by the installation to original building specifications.
2. All sign fabrication work shall be of excellent quality. All logo images and type styles shall be accurately reproduced. Lettering

that approximates typestyles shall not be acceptable. Landlord reserves the right to reject any fabrication work deemed to be below standard.

3. Signs must be made of durable rust-inhibited materials that are appropriate and complimentary to the building.
4. Finished surfaces of metal shall be free from oil canning and warping. All sign finishes shall be free of dust, ripples, weld marks, orange peel, drips and runs, and shall have uniform surfaces conforming to the highest standards of the industry.
5. All signage with light leaks will not be permitted and is subject to immediate repair or removal at Tenant's expense.

SECTION E: PROHIBITED SIGNS & RESTRICTIONS

The following instances are provided as examples of prohibited signage applications and may not exhibit all possible conditions. Signs prohibited by Landlord that do not conform to the Master Sign Program are not limited to those set forth below.

1. Signs which move, swing, rotate, flash, blink, scintillate, fluctuate or have animated light areas.
2. Off-Premises signage.
3. "A" frame signs are not permitted under any conditions.
4. Signs using exposed fastenings.
5. Paper, cardboard, cloth, form core, gatorboard, inflatable or styrofoam signs, stickers or decals, painted lettering or decals hung on or behind storefronts.
6. Flying signs such as blimps or kites designed to be kept aloft by mechanical, chemical or hot air means.
7. No Tenant shall exhibit, post or display anything obscene, indecent or immoral nature or unlawful, as determined in the sole discretion of Landlord.
8. No sign shall be installed, or located so as to prevent free ingress to or egress from any door.
9. Signs displaying pricing of any kind.
10. Temporary signs of any nature used or installed without Landlord's approval in writing, and in accordance with City regulations.
11. Unprofessional hand-lettered sign in public view from the storefront are prohibited.

12. Any sign type that is not in conformance with their criteria.
13. No simulated materials (i.e., wood grained plastic laminates) or wall coverings.
14. Excessively bright or garish signs

SECTION F: MAINTENANCE

1. Tenant/Occupant shall maintain their sign in good working order to include replacement of damaged or burned out LED lighting at Tenant/Occupant's sole cost and expense. In the event Landlord notifies Tenant/Occupant of an existing defect and Tenant/Occupant fails to repair defect within thirty (30) days after notification, Landlord reserves the right to execute repairs at Tenant's expense. Tenant/Occupant hereby agrees to reimburse Landlord for the cost of any such repairs within thirty (30) days after the receipt of an invoice setting forth those costs incurred by Landlord, plus an overhead charge of 10% minimum plus any damages if incurred.

2. Upon termination or expiration of the lease, Tenant/Occupant hereby agrees to remove their sign and repair any holes or damage to the fascia and restore the fascia to its original condition at Tenant/Occupant's cost and expense to Landlord's sole satisfaction within fourteen (14) days of expiration of term or early termination of Tenant/Occupant's lease. If Tenant/Occupant does not repair the wall surface to Landlord's sole satisfaction, then Landlord reserves the right to perform the repairs at Tenant/Occupant's expense.

3. Landlord reserves the right to periodically hire an independent electrical engineer at Tenant/Occupant's sole expense, to inspect the installation of all Tenant/Occupant's signs. Tenant/Occupant will be required to have any discrepancies and/or code violations corrected at Tenant/Occupant's expense. Landlord may correct any code violations, requests for sign removals, or discrepancies not corrected within fourteen (14) days of notice, at Tenant/Occupant's sole expense, including an overhead charge of 10%.

4. Contractors installing signs are to be U.L. certified, insured and licensed by the State of California and are to have a current City business license.

**PACIFIC
NEON**

2939 Academy Way
Sacramento, California 95815
Tel 916.927.0527
Fax 916.927.2414
www.pacificneon.com

Project No: **22-0854-03**

Account Executive: **Ralph Cundiff**

Project:
Whitney Ranch
Master Sign Program

Address:
State Hwy. 65 @
Whitney Ranch Pkwy Rocklin, CA

Drawn By: **William Dickson**
Date: **3.5.23**
Revision:

Customer Approval:

U.L. Listed
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Electrical Circuits
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D.**
Electronics to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

Copyright ©2022
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No.

4



2939 Academy Way
Sacramento, California 95815

Tel 916.927.0527
Fax 916.927.2414
www.pacificneon.com

Project No: **22-0854-03**

Account Executive: Ralph Cundiff

Project:
Whitney Ranch
Master Sign Program

Address:
State Hwy. 65 @
Whitney Ranch Pkwy Rocklin, CA

Drawn By: William Dickson
Date: 3.5.23
Revision:

Customer Approval:

U.L. Listed
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Electrical Circuits
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D.** Electronics to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

Copyright ©2022
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No.

5



Sign Area Calculation Method

Sign Configurations

All signs to be pan channel construction. Rectangular cabinet signs will not be allowed unless it is part of a logo design, but still must conform to pan channel construction.

Sign may consist of logo or letters or a combination of both. A secondary line of copy may be permitted only if copy is describing services provided by tenant or description of business. Secondary copy can be no larger than 75% of vertical height of main copy. Secondary copy may be contained within a shaped, capsule pan channel cabinet, with the condition it is part of the Tenant logo design. Secondary letters may be non-illuminated, but should be dimensional.

Height & Sign Area Calculations / Limitations

Maximum sign height for signs not to exceed 75% of fascia height and not to exceed 75% of tenant's horizontal open fascia area. Tenant name may be stacked if necessary, however secondary descriptive copy (if applicable) shall not exceed 75% height of main copy.

Sign area is determined by boxing individual copy lines and logo elements, then calculating those boxed areas in square feet (see illustration). The sum of those areas will then be added together to determine total sign area.



Logo & Letters Sign Exhibit

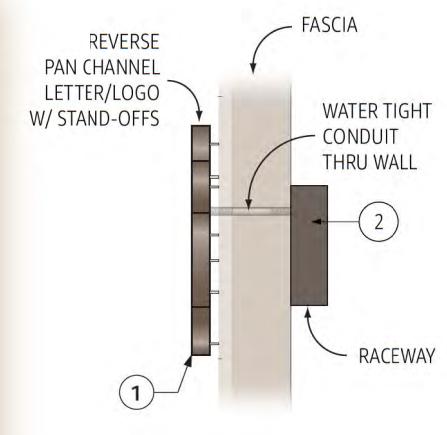
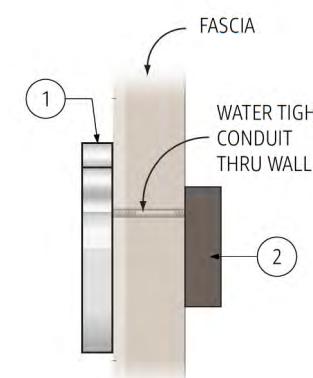
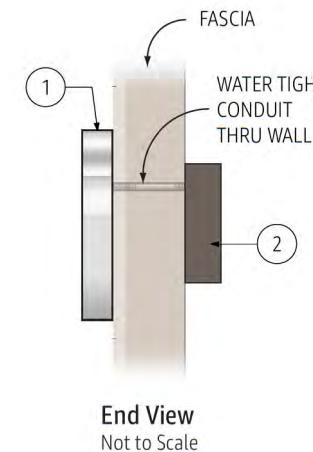
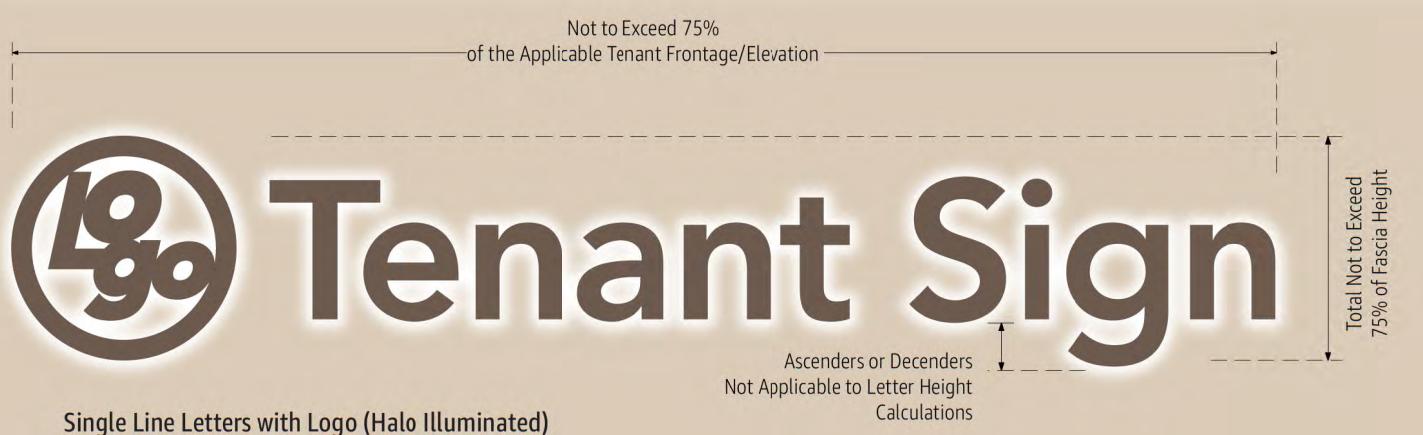
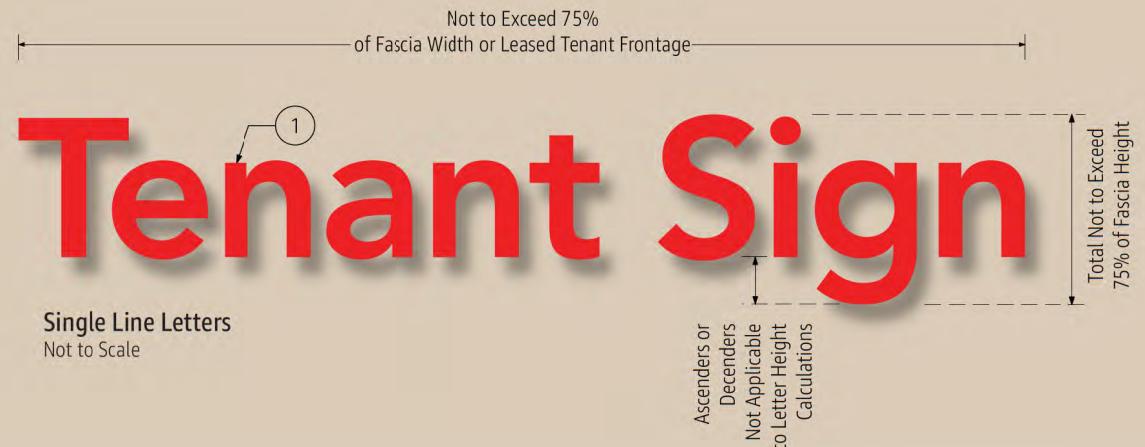


Stacked Copy Letters Sign Exhibit



Stacked Copy Letters & Capsule Cabinet Sign Exhibit

Whitney Ranch | Accepted Tenant Sign Configurations



Material Schedule

1 Letters / Logo

FACE LIT: Letters to be fabricated aluminum pan channel construction method only. Faces to be acrylic with or without vinyl film overlays. Trimcap to be painted to match letter return color. Letters to be internally illuminated with LEDs.

Power supplies to be located inside hidden raceway. Letter construction methods to comply with U.L. Electrical and local/state code standards.

2 Raceway (Hidden)

Fabricated aluminum construction with painted finish. Raceway to house all electrical jumps and transformer / low power supply units. Construction methods to comply with U.L. electrical standards.

NOTE:

All sign content, design and color scheme are subject to written approval from landlord. Tenants must submit color renderings with complete construction details and material specifications to landlord prior to securing permits from city for approval. Any sign manufactured and installed without landlord approval is subject to removal at tenants' expense.

PACIFIC NEON

2939 Academy Way
Sacramento, California 95815
Tel 916.927.0527
Fax 916.927.2414
www.pacificneon.com

Project No: **22-0854-03**

Account Executive: Ralph Cundiff

Project:
Whitney Ranch
Master Sign Program

Address:
State Hwy. 65 @
Whitney Ranch Pkwy Rocklin, CA

Drawn By: William Dickson
Date: 3.5.23
Revision:

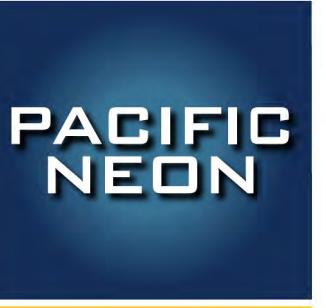
Customer Approval:

U.L. Listed
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Electrical Circuits
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D. Electronics** to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

Copyright ©2022
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No. **6.1**



2939 Academy Way
Sacramento, California 95815

Tel 916.927.0527
Fax 916.927.2414
www.pacificneon.com

Project No: **22-0854-03**

Account Executive: Ralph Cundiff

Project:
Whitney Ranch
Master Sign Program

Address:
State Hwy. 65 @
Whitney Ranch Pkwy Rocklin, CA

Drawn By: William Dickson

Date: 3.5.23

Revision:

Customer Approval:

U.L. Listed
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Electrical Circuits
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D.** Electronics to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

Copyright ©2022
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No.

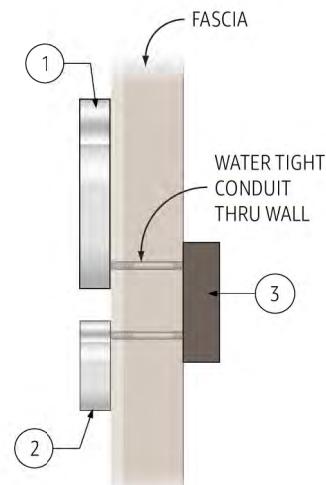
6.2



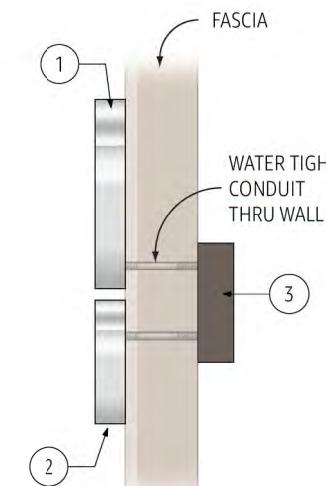
Single Line Letters with Shaped Cabinet Sign for Secondary Copy
Not to Scale



Single Line Letters With Secondary Copy
Not to Scale



End View
Not to Scale



End View
Not to Scale

Material Schedule

1 Letters / Logo

FACE LIT: Letters to be fabricated aluminum pan channel construction method only. Faces to be acrylic with or without vinyl film overlays. Trimcap to be painted to match letter return color. Letters to be internally illuminated with LEDs.

Power supplies to be located inside hidden raceway. Letter construction methods to comply with U.L. Electrical and local/state code standards.

2 Secondary Copy / Shaped Logo Cabinet

Letters/cabinet can either be illuminated pan channel construction (see above for specifications) or non-illuminated dimensional. If non-illuminated, copy must be no less than 1/2" deep with finished and painted returns. Secondary copy may be contained within a shaped logo cabinet and may be either illuminated or non-illuminated dimensional).

3 Raceway (Hidden)

Fabricated aluminum construction with painted finish. Raceway to house all electrical jumps and transformer / low power supply units. Construction methods to comply with U.L. electrical standards.

NOTE:
All sign content, design and color scheme are subject to written approval from landlord. Tenants must submit color renderings with complete construction details and material specifications to landlord prior to securing permits from city for approval. Any sign manufactured and installed without landlord approval is subject to removal at tenants' expense.

2939 Academy Way
Sacramento, California 95815

Tel 916.927.0527
Fax 916.927.2414
www.pacificneon.com

Project No: **22-0854-03**

Account Executive: Ralph Cundiff

Project:
Whitney Ranch
Master Sign Program

Address:
State Hwy. 65 @
Whitney Ranch Pkwy Rocklin, CA

Drawn By: William Dickson
Date: 3.5.23
Revision:

Customer Approval:

U.L. Listed
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Electrical Circuits
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D.** Electronics to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

Copyright ©2022
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No.

6.3

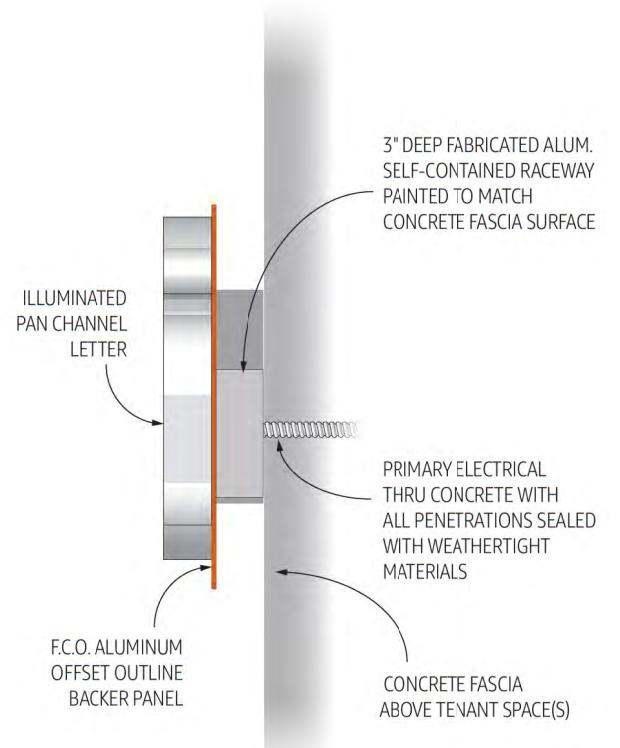


Illuminated Pan Channel Letters/Logo with F.C.O. Offset Outline Backer Panel



Illustration of Raceway Locations Behind Letters / Logo (Ghosted for Clarity of Position)

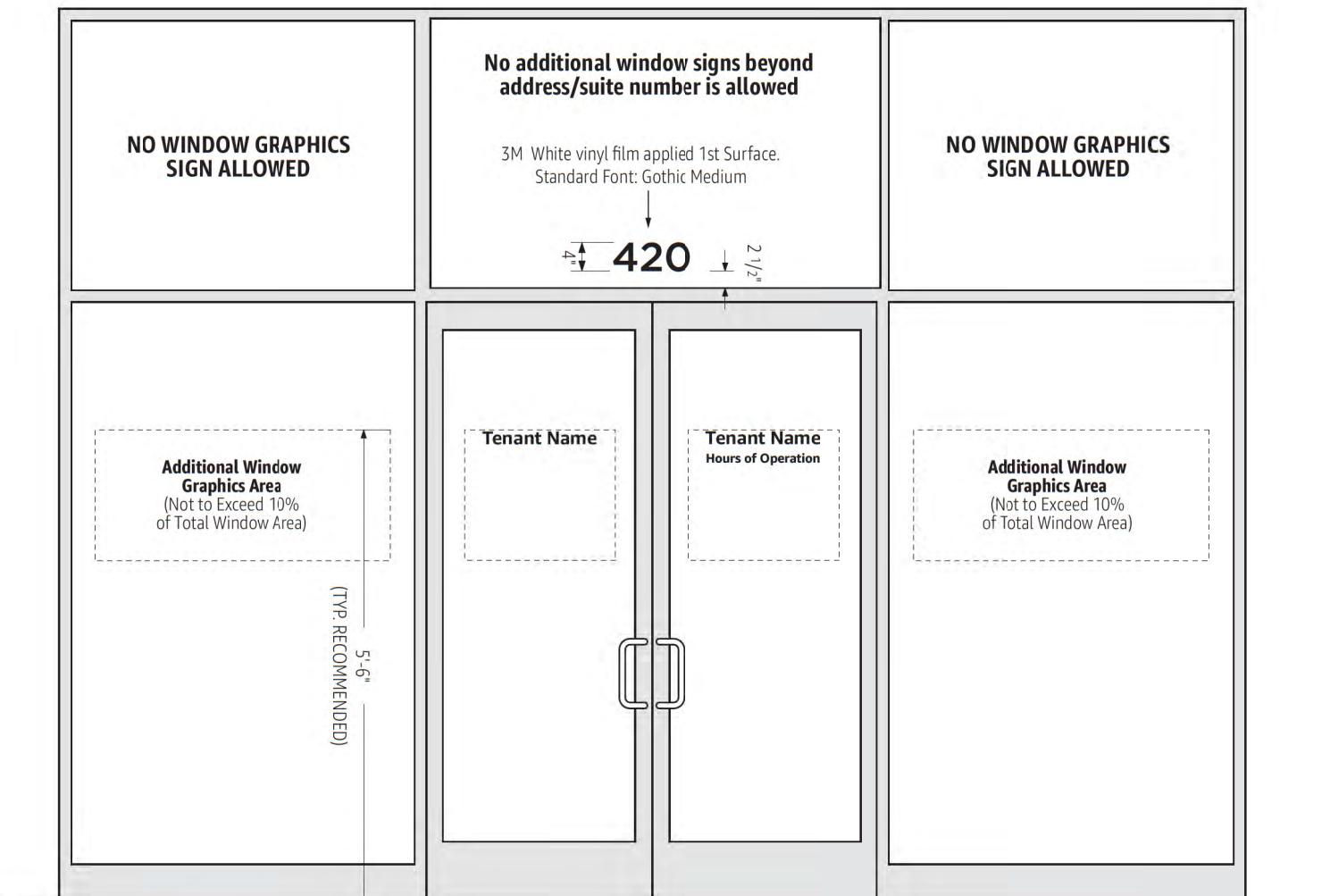
NOTE:
NO ELECTRICAL BRIDGING BETWEEN RACEWAYS ARE ALLOWED ON CONCRETE FAÇADES. EACH RACEWAY TO HAVE SEPARATE ELECTRICAL FEEDS THRU CONCRETE STRUCTURE. ELECTRICAL FEEDS TO BE LOCATED ABOVE ROOF LINE. ALL FEEDS BEHIND PARAPET WALL & INTO ROOF MEMBRANE TO BE WEATHER SEALED.



End View

NOTE:
SIGNS TO BE CONSTRUCTED & INSTALLED BY LICENCED/BONDED SIGN CONTRACTOR ONLY. ALL SIGNS TO BE CERTIFIED U.L. COMPLIANT & BEAR VISIBLE APPROPRIATE LABELING AS SUCH.

Whitney Ranch | Typical Door & Window Graphics Guidelines



Door & Window Graphics Guidelines

Scale 1/2"=1'-0"

TENANT DOOR & WINDOW GRAPHICS

1. Door graphics are limited to tenant name, logo, hours of operation or graphics related to business identity.
2. Window graphics must not exceed 10% of the glazed area of the individual window panes.
3. All tenants are required to have address numerals applied in transom area, over entrance doors as shown. Address numerals shall be 4" copy, centered over entrance door(s).
4. All tenants are required to have hours of operation as part of their window graphics package and should be located either on entrance door or adjacent sidelight window. Hours should be displayed at an appropriate height and visibility.
5. Graphics/copy on doors, address numerals and hours of operation shall be white vinyl film.
6. No limitation on design or color for secondary graphics located on sidelight window(s) provided that window graphics relate to tenant business or services.
7. Paper, hand painted holiday signs or temporary signs are strictly prohibited.
8. No graphics of any kind are allowed on the upper windows and door transom (except address numerals).
9. Graphics that are perceived as abusive, inflammatory or obscene by community standards are strictly prohibited and are subject to immediate removal at tenant's expense.
10. No block-out film to obscure or hide occupying tenant space will be allowed.
11. All window graphics are subject to review and approval at Landlord's discretion. Violation of guidelines will require removal of window graphics at tenant's own expense.
12. Upon termination of lease, all window signs must be removed at tenant's expense. Glazing must be returned to original condition. If glazing cannot be returned to original condition, tenant is required to provide replacement at tenant's own expense.



2939 Academy Way
Sacramento, California 95815

Tel 916.927.0527
Fax 916.927.2414
www.pacificneon.com

Project No: **22-0854-03**

Account Executive: Ralph Cundiff

Project:
Whitney Ranch
Master Sign Program

Address:
State Hwy. 65 @
Whitney Ranch Pkwy Rocklin, CA

Drawn By: William Dickson
Date: 3.5.23
Revision:

Customer Approval:

U.L. Listed
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Electrical Circuits
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D. Electronics** to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

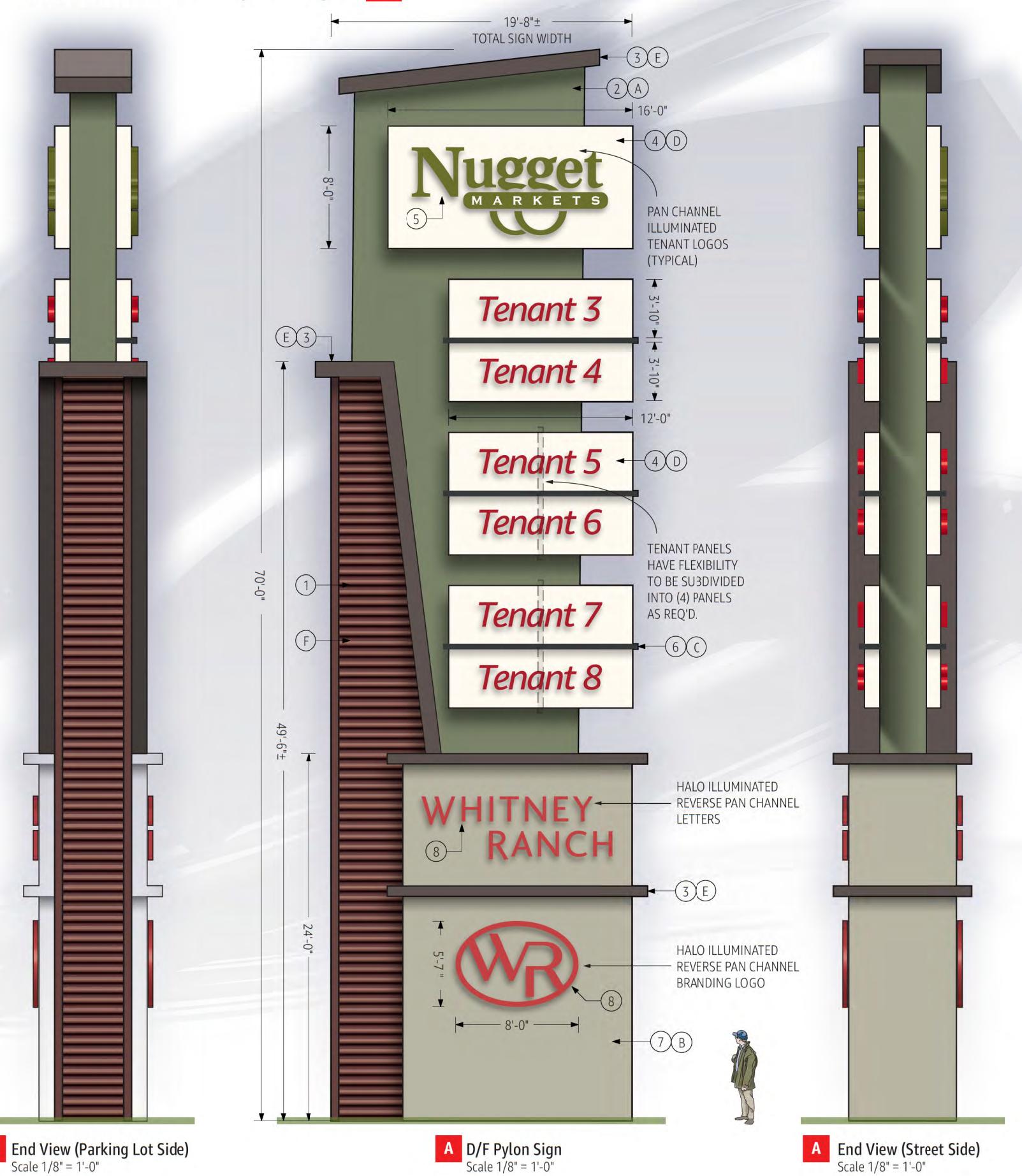
Copyright ©2022
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No.

7

Whitney Ranch | D/F Illuminated Pylon Sign

A



PACIFIC NEON

2939 Academy Way
Sacramento, California 95815
Tel 916.927.0527
Fax 916.927.2414
www.pacificneon.com

Project No: **22-0854-03**

Account Executive: Ralph Cundiff

Project:
Whitney Ranch
Master Sign Program

Address:
State Hwy. 65 @
Whitney Ranch Pkwy Rocklin, CA

Drawn By: William Dickson

Date: 3.5.23

Revision:

Customer Approval:

Material Schedule

- ① **Architectural Spine**
AEP span "Natural Rust" corrugated siding with matching corner caps.
- ② **Main Vertical Cabinet**
Fabricated aluminum, with texcoted and painted finish (see color schedule) on all exposed surfaces.
- ③ **Cornice & Roof Elements**
Fabricated aluminum, with light (sand) texcoted and painted finish (see color schedule) on all exposed surfaces.
- ④ **Tenant Panel Cabinets**
Fabricated aluminum, with light (sand) texcoted and painted finish (see color schedule) on all exposed surfaces.
- ⑤ **Tenant Graphics**
All tenant graphics to be fabricated aluminum, pan channel cabinet construction. Faces to be acrylic, either colored or with 3M color vinyl film overlays. Returns and trimcap to be painted or prepainted. All graphic cabinets to be internally illuminated with low voltage LED modules with power supplies located within tenant panel cabinet structure.
- ⑥ **Tenant Panel Divider Bars**
4" sq. tube aluminum plant-ons to be painted with flat finish (see color schedule).
- ⑦ **Base**
Fabricated aluminum, with texcoted and painted finish (see color schedule) on all exposed surfaces.
- ⑧ **Identity Copy & Logo**
Fabricated aluminum, reverse pan channel construction. Cabinets to be pegged off of base background with 1 1/2" tube spacers. Backs to be clear acrylic. Cabinets to be halo illuminated with internal low voltage White LED modules. Power supplies to be located within base cabinet structure. Faces and returns to be painted Red (color TBD), with flat finish.

Color Schedule

AEP Span Sage Green (match)	DE6242 Wells Gray	SW 6994 Greenblack
DEW340 Whisper	DE6391 Black Russian	AEP Span Natural Rust

U.L. Listed
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Electrical Circuits
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D. Electronics** to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

Copyright ©2022
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No. **8.1**

Whitney Ranch | D/F Illuminated Large Monument Sign **B**

PACIFIC
NEON

2939 Academy Way
Sacramento, California 95815

Tel 916.927.0527
Fax 916.927.2414
www.pacificneon.com

Project No: **22-0854-03**

Account Executive: Ralph Cundiff

Project:
Whitney Ranch
Master Sign Program

Address:
State Hwy. 65 @
Whitney Ranch Pkwy Rocklin, CA

Drawn By: William Dickson
Date: 3.5.23
Revision:

Customer Approval:

Material Schedule

- ① **Architectural Spine**
AEP span "Natural Rust" corrugated siding with matching corner caps.
- ② **Main Vertical Cabinet**
Fabricated aluminum, with texcoted and painted finish (see color schedule) on all exposed surfaces.
- ③ **Cornice & Roof Elements**
Fabricated aluminum, with light (sand) texcoted and painted finish (see color schedule) on all exposed surfaces.
- ④ **Tenant Panel Cabinets**
Fabricated aluminum, with light (sand) texcoted and painted finish (see color schedule) on all exposed surfaces. Tenant graphics to be routed out of face. Cabinets to be internally illuminated with White LED modules and low voltage power supplies.
- ⑤ **Tenant Graphics**
All tenant graphics to be routed out, push-thru clear acrylic with 3M Translucent White vinyl film applied to face and 3M Translucent color vinyl film overlays per Tenant logo specifications.
- ⑥ **Tenant Panel Divider Bars**
2" sq. tube aluminum plant-ons to be painted with flat finish (see color schedule).
- ⑦ **Base**
Fabricated aluminum, with texcoted and painted finish (see color schedule) on all exposed surfaces.
- ⑧ **Identity Copy**
Fabricated aluminum, reverse pan channel construction. Cabinets to be pegged off of base background with 1½" tube spacers. Backs to be clear acrylic. Cabinets to be halo illuminated with internal low voltage White LED modules. Power supplies to be located within base cabinet structure. Faces and returns to be painted Red (color TBD), with flat finish.

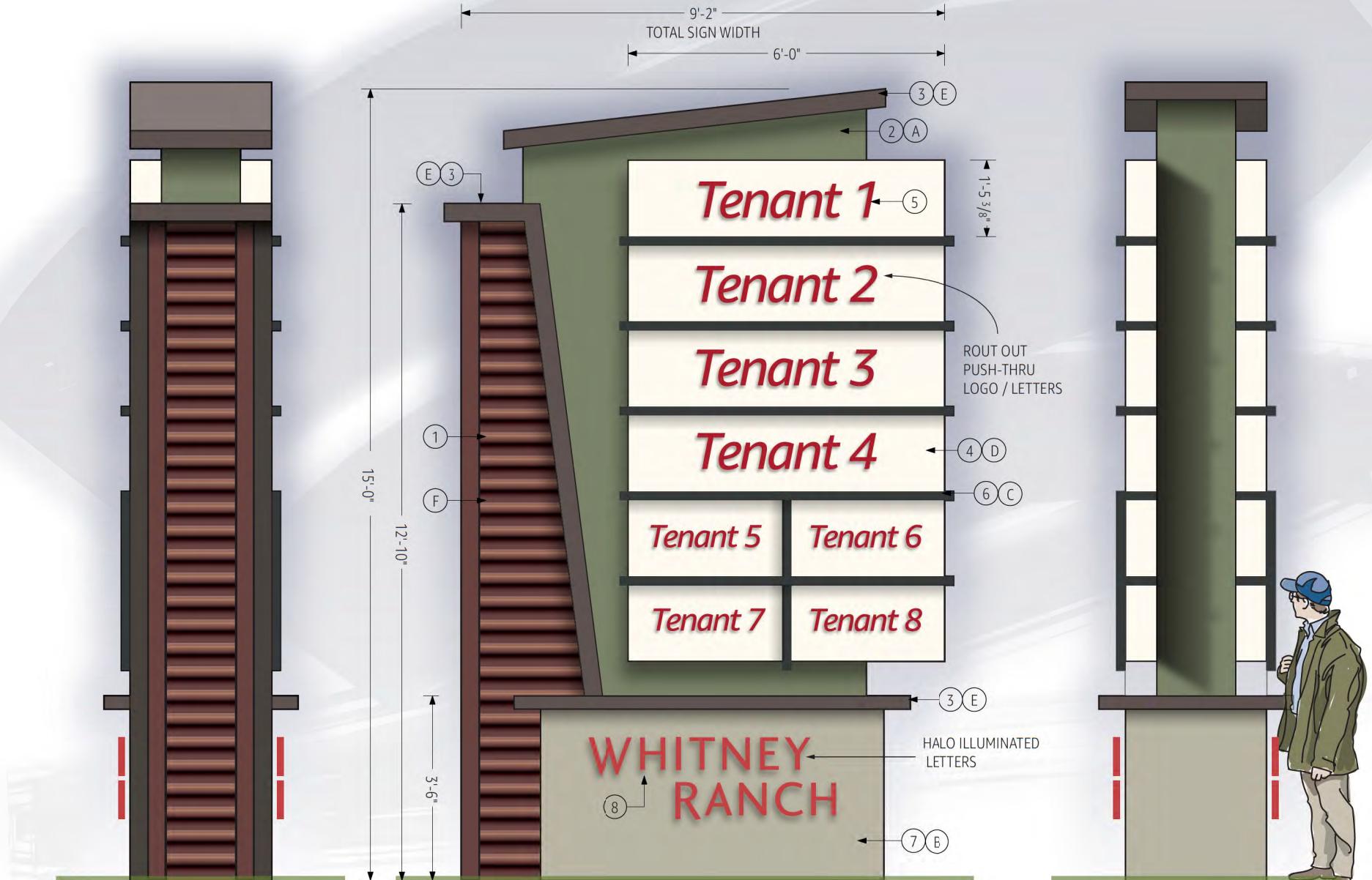
Color Schedule

AEP Span Sage Green (match)	DE6242 Wells Gray	SW 6994 Greenblack
DEW340 Whisper	DE6391 Black Russian	AEP Span Natural Rust

U.L. Listed
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Electrical Circuits
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D.** Electronics to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

Copyright ©2022
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.



B End View (Parking Lot Side)
Scale 3/8" = 1'-0"

B D/F Large Monument Sign
Scale 3/8" = 1'-0"

B End View (Street Side)
Scale 3/8" = 1'-0"

Sheet No.
8.2



2939 Academy Way
Sacramento, California 95815

Tel 916.927.0527
Fax 916.927.2414
www.pacificneon.com

Project No: **22-0854-03**

Account Executive: Ralph Cundiff

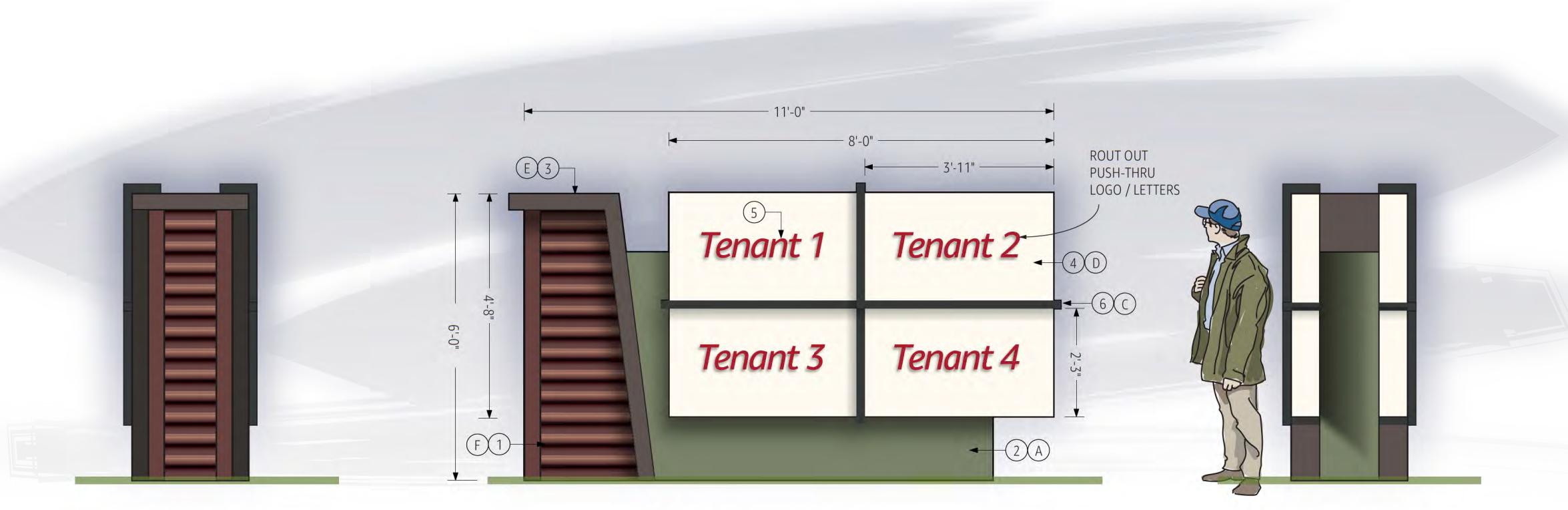
Project:
Whitney Ranch
Master Sign Program

Address:
State Hwy. 65 @
Whitney Ranch Pkwy Rocklin, CA

Drawn By: William Dickson

Date: 3.5.23

Revision:



C End View (Parking Lot Side)
Scale 3/8" = 1'-0"

C D/F Small Monument Sign
Scale 3/8" = 1'-0"

C End View (Street Side)
Scale 3/8" = 1'-0"

Material Schedule

- ① **Architectural Spine**
AEP span "Natural Rust" corrugated siding with matching corner caps.
- ② **Main Vertical Cabinet**
Fabricated aluminum, with texcoted and painted finish (see color schedule) on all exposed surfaces.
- ③ **Cornice**
Fabricated aluminum, with light (sand) texcoted and painted finish (see color schedule) on all exposed surfaces.
- ④ **Tenant Panel Cabinets**
Fabricated aluminum, with light (sand) texcoted and painted finish (see color schedule) on all exposed surfaces. Tenant graphics to be routed out of face.

- ⑤ **Tenant Graphics**
Cabinets to be internally illuminated with White LED modules and low voltage power supplies.
- ⑥ **Tenant Panel Divider Bars**
All tenant graphics to be routed out, push-thru clear acrylic with 3M Translucent White vinyl film applied to face and 3M Translucent color vinyl film overlays per Tenant logo specifications.
- ⑦ **2" sq. tube aluminum plant-ons** to be painted with flat finish (see color schedule).

Color Schedule

A	B	C
AEP Span Sage Green (match)	DE6242 Wells Gray	SW 6994 Greenblack
D	E	F
DEW340 Whisper	DE6391 Black Russian	AEP Span Natural Rust

Customer Approval:

U.L. Listed
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Electrical Circuits
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D.** Electronics to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

Copyright ©2022
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.



2939 Academy Way
Sacramento, California 95815

Tel 916.927.0527
Fax 916.927.2414
www.pacificneon.com

Project No: **22-0854-03**

Account Executive: Ralph Cundiff

Project:
Whitney Ranch
Master Sign Program

Address:
State Hwy. 65 @
Whitney Ranch Pkwy Rocklin, CA

Drawn By: William Dickson
Date: 3.5.23
Revision:

Customer Approval:

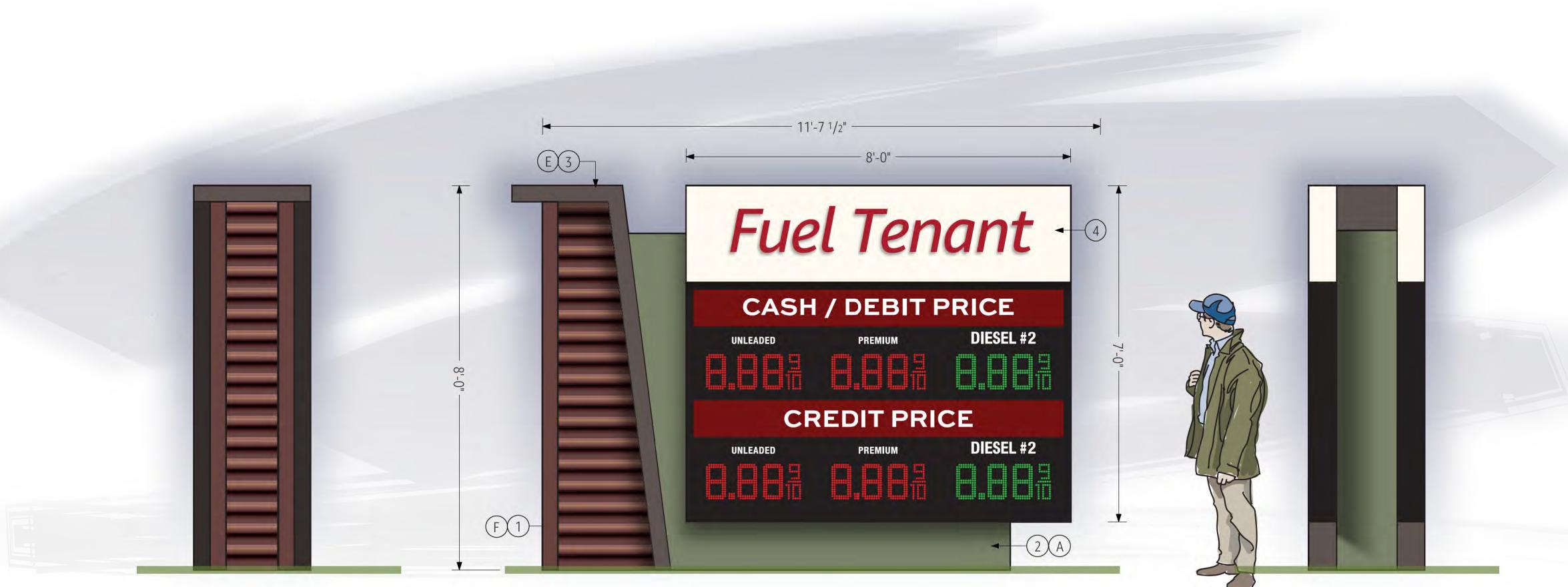
U.L. Listed
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Electrical Circuits
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D.** Electronics to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

Copyright ©2022
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No.

8.4



D End View (Parking Lot Side)
Scale 3/8" = 1'-0"

D D/F Price Point Fuel Monument Sign
Scale 3/8" = 1'-0"

D End View (Street Side)
Scale 3/8" = 1'-0"

NOTE:
ILLUSTRATION AS SHOWN IS FOR GENERAL DESIGN DIRECTION & REPRESENTATION OF CONFORMING ARCHITECTURAL THEME ONLY.
ACTUAL FINAL DESIGN AND LAYOUT PER TENANT CORPORATE SIGN STANDARDS & DESIGN.

Material Schedule

- (1) **Architectural Spine**
AEP span "Natural Rus:" corrugated siding with matching corner caps.
- (2) **Main Vertical Cabinet**
Fabricated aluminum, with texcoted and painted finish (see color schedule) on all exposed surfaces.
- (3) **Cornice**
Fabricated aluminum, with light (sand) texcoted and painted finish (see color schedule) on all exposed surfaces.
- (4) **Tenant Price Point Cabinets**
Fabricated aluminum construction. All exposed aluminum surfaces to have painted finishes. Cabinet to be internally illuminated with LED modules and low voltage power supplies. All pricing graphics to be programmable LEDs only. All graphics and construction details must be approved by Landlord and City before construction / installation.

Color Schedule

AEP Span Sage Green (match)	DE6242 Wells Gray	SW 6994 Greenblack
DEW340 Whisper	DE6391 Black Russian	AEP Span Natural Rust

Sheet No.

8.4

Whitney Ranch | Typical Building Elevations | Pad 2A Example

NOTE:
ALL SIGNAGE SHOWN IS FOR DEMONSTRATION PURPOSES.
FINAL SIZING AND LOCATIONS TO BE DETERMINED.



2939 Academy Way
Sacramento, California 95815

Tel 916.927.0527
Fax 916.927.2414
www.pacificneon.com

Project No: **22-0854-03**

Account Executive: Ralph Cundiff

Project:
Whitney Ranch
Master Sign Program

Address:
State Hwy. 65 @
Whitney Ranch Pkwy Rocklin, CA

Drawn By: William Dickson
Date: 3.5.23
Revision:

Customer Approval:

U.L. Listed
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Electrical Circuits
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D.** Electronics to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

Copyright ©2022
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No.

9.1



Pad 2A | North Elevation - Scale: 1" = 30'-0"



Pad 2A | West Elevation - Scale: 1" = 30'-0"



Pad 2A | South Elevation - Scale: 1" = 30'-0"



Pad 2A | East Elevation - Scale: 1" = 30'-0"

Whitney Ranch | Typical Building Elevations | Pad 2B Example

NOTE:
ALL SIGNAGE SHOWN IS FOR DEMONSTRATION PURPOSES.
FINAL SIZING AND LOCATIONS TO BE DETERMINED.



2939 Academy Way
Sacramento, California 95815

Tel 916.927.0527
Fax 916.927.2414
www.pacificneon.com

Project No: **22-0854-03**

Account Executive: Ralph Cundiff

Project:
Whitney Ranch
Master Sign Program

Address:
State Hwy. 65 @
Whitney Ranch Pkwy Rocklin, CA

Drawn By: William Dickson
Date: 3.5.23
Revision:

Customer Approval:

U.L. Listed
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Electrical Circuits
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D.**
Electronics to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

Copyright ©2022
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No.

9.2



Pad 2B | East Elevation - Scale: 1/16" = 1'-0"



Pad 2B | North Elevation - Scale: 1/16" = 1'-0"



Pad 2B | South Elevation - Scale: 1/16" = 1'-0"



Pad 2B | West Elevation - Scale: 1/16" = 1'-0"

Whitney Ranch | Typical Building Elevations | Pad 2C Example

NOTE:
ALL SIGNAGE SHOWN IS FOR DEMONSTRATION PURPOSES.
FINAL SIZING AND LOCATIONS TO BE DETERMINED.



Pad 2C | West Elevation - Scale: 1" = 20'-0"



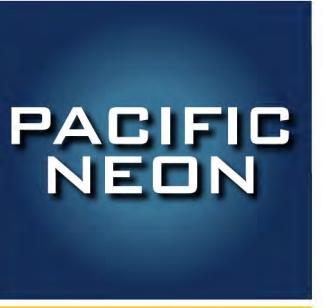
Pad 2C | North Elevation - Scale: 1" = 20'-0"



Pad 2C | South Elevation - Scale: 1" = 20'-0"



Pad 2C | East Elevation - Scale: 1" = 20'-0"



2939 Academy Way
Sacramento, California 95815
Tel 916.927.0527
Fax 916.927.2414
www.pacificneon.com

Project No: **22-0854-03**

Account Executive: Ralph Cundiff

Project:
Whitney Ranch
Master Sign Program

Address:
State Hwy. 65 @
Whitney Ranch Pkwy Rocklin, CA

Drawn By: William Dickson
Date: 3.5.23
Revision:

Customer Approval:

U.L. Listed
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Electrical Circuits
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D.** Electronics to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

Copyright ©2022
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No.

9.3

Whitney Ranch | Typical Building Elevations | Pad 2D Example

NOTE:
ALL SIGNAGE SHOWN IS FOR DEMONSTRATION PURPOSES.
FINAL SIZING AND LOCATIONS TO BE DETERMINED.



2939 Academy Way
Sacramento, California 95815

Tel 916.927.0527
Fax 916.927.2414
www.pacificneon.com

Project No: **22-0854-03**

Account Executive: Ralph Cundiff

Project:
Whitney Ranch
Master Sign Program

Address:
State Hwy. 65 @
Whitney Ranch Pkwy Rocklin, CA

Drawn By: William Dickson
Date: 3.5.23
Revision:

Customer Approval:

U.L. Listed
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Electrical Circuits
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D.** Electronics to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

Copyright ©2022
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No. **9.4**



Pad 2D | West Elevation - Scale: 1/16" = 1'-0"



Pad 2D | North Elevation - Scale: 1/16" = 1'-0"



Pad 2D | South Elevation - Scale: 1/16" = 1'-0"



Pad 2D | East Elevation - Scale: 1/16" = 1'-0"

Whitney Ranch | Typical Building Elevations | Pad 2E Example

NOTE:
ALL SIGNAGE SHOWN IS FOR DEMONSTRATION PURPOSES.
FINAL SIZING AND LOCATIONS TO BE DETERMINED.



Pad 2E | East Elevation - Scale: 1/16" = 1'-0"



Pad 2E | South Elevation - Scale: 1/16" = 1'-0"



Pad 2E | North Elevation - Scale: 1/16" = 1'-0"



Pad 2E | Wests Elevation - Scale: 1/16" = 1'-0"



2939 Academy Way
Sacramento, California 95815
Tel 916.927.0527
Fax 916.927.2414
www.pacificneon.com

Project No: **22-0854-03**

Account Executive: Ralph Cundiff

Project:
Whitney Ranch
Master Sign Program

Address:
State Hwy. 65 @
Whitney Ranch Pkwy Rocklin, CA

Drawn By: William Dickson

Date: 3.5.23

Revision:

Customer Approval:

U.L. Listed
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Electrical Circuits
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D.** Electronics to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

Copyright ©2022
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No. **9.5**

Whitney Ranch | Typical Building Elevations | Pad 2F Example

NOTE:
ALL SIGNAGE SHOWN IS FOR DEMONSTRATION PURPOSES.
FINAL SIZING AND LOCATIONS TO BE DETERMINED.



Pad 2F | West Elevation - Scale: 1/16" = 1'-0"



Pad 2F | North Elevation - Scale: 1/16" = 1'-0"



Pad 2F | South Elevation - Scale: 1/16" = 1'-0"



Pad 2F | East Elevation - Scale: 1/16" = 1'-0"



2939 Academy Way
Sacramento, California 95815
Tel 916.927.0527
Fax 916.927.2414
www.pacificneon.com

Project No: **22-0854-03**

Account Executive: Ralph Cundiff

Project:
Whitney Ranch
Master Sign Program

Address:
State Hwy. 65 @
Whitney Ranch Pkwy Rocklin, CA

Drawn By: William Dickson

Date: 3.5.23

Revision:

Customer Approval:

U.L. Listed
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Electrical Circuits
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D.** Electronics to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

Copyright ©2022
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No.

9.6

Whitney Ranch | Typical Building Elevations | Pad 3A | Fuel Tenant | Building & Pump Canopy Example

NOTE:
ALL SIGNAGE SHOWN IS FOR DEMONSTRATION PURPOSES.
FINAL SIZING AND LOCATIONS TO BE DETERMINED.



Pad 3A | East Elevation - Scale: 1/16" = 1'-0"



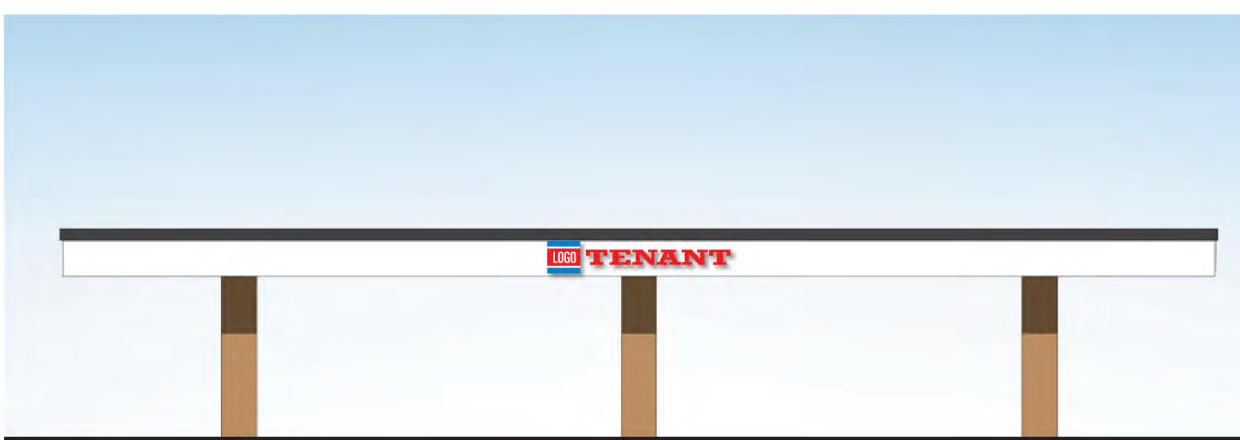
Pad 3A | North Elevation - Scale: 1/16" = 1'-0"



Pad 3A | West Elevation - Scale: 1/16" = 1'-0"



Pad 3A | South Elevation - Scale: 1/16" = 1'-0"



Pad 3A | Canopy | East Elevation - Scale: 1/16" = 1'-0'



Pad 3A | Canopy | South Elevation - Scale: 1/16" = 1'-0"



2939 Academy Way
Sacramento, California 95815
Tel 916.927.0527
Fax 916.927.2414
www.pacificneon.com

Project No: **22-0854-03**

Account Executive: Ralph Cundiff

Project:
Whitney Ranch
Master Sign Program

Address:
State Hwy. 65 @
Whitney Ranch Pkwy Rocklin, CA

Drawn By: William Dickson

Date: 3.5.23

Revision:

Customer Approval:

U.L. Listed
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Electrical Circuits
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D.** Electronics to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

Copyright ©2022
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No. **9.7**

Whitney Ranch | Typical Building Elevations | Pad 3B Example

NOTE:
ALL SIGNAGE SHOWN IS FOR DEMONSTRATION PURPOSES.
FINAL SIZING AND LOCATIONS TO BE DETERMINED.



Pad 3B | East Elevation - Scale: 1/16" = 1'-0"



Pad 3B | North Elevation - Scale: 1/16" = 1'-0"



Pad 3B | South Elevation - Scale: 1/16" = 1'-0"



Pad 3B | West Elevation - Scale: 1/16" = 1'-0"



2939 Academy Way
Sacramento, California 95815

Tel 916.927.0527
Fax 916.927.2414
www.pacificneon.com

Project No: **22-0854-03**

Account Executive: Ralph Cundiff

Project:
Whitney Ranch
Master Sign Program

Address:
State Hwy. 65 @
Whitney Ranch Pkwy Rocklin, CA

Drawn By: William Dickson
Date: 3.5.23
Revision:

Customer Approval:

U.L. Listed
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Electrical Circuits
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D.** Electronics to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

Copyright ©2022
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No. **9.8**

Whitney Ranch | Typical Building Elevations | Pad 3C Example

NOTE:
ALL SIGNAGE SHOWN IS FOR DEMONSTRATION PURPOSES.
FINAL SIZING AND LOCATIONS TO BE DETERMINED.



Pad 3C | North Elevation - Scale: 1/16" = 1'-0"



Pad 3C | West Elevation - Scale: 1/16" = 1'-0"



Pad 3C | East Elevation - Scale: 1/16" = 1'-0"



Pad 3C | South Elevation - Scale: 1/16" = 1'-0"



2939 Academy Way
Sacramento, California 95815

Tel 916.927.0527
Fax 916.927.2414
www.pacificneon.com

Project No: **22-0854-03**

Account Executive: Ralph Cundiff

Project:
Whitney Ranch
Master Sign Program

Address:
State Hwy. 65 @
Whitney Ranch Pkwy Rocklin, CA

Drawn By: William Dickson

Date: 3.5.23

Revision:

Customer Approval:

U.L. Listed
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Electrical Circuits
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D.** Electronics to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

Copyright ©2022
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No.

9.9

Whitney Ranch | Typical Building Elevations | Pad 3D Example

NOTE:
ALL SIGNAGE SHOWN IS FOR DEMONSTRATION PURPOSES.
FINAL SIZING AND LOCATIONS TO BE DETERMINED.



Pad 3D | South Elevation - Scale: 1/16" = 1'-0"



Pad 3D | East Elevation - Scale: 1/16" = 1'-0"



Pad 3D | West Elevation - Scale: 1/16" = 1'-0"



Pad 3D | North Elevation - Scale: 1/16" = 1'-0"



2939 Academy Way
Sacramento, California 95815

Tel 916.927.0527
Fax 916.927.2414
www.pacificneon.com

Project No: **22-0854-03**

Account Executive: Ralph Cundiff

Project:
Whitney Ranch
Master Sign Program

Address:
State Hwy. 65 @
Whitney Ranch Pkwy Rocklin, CA

Drawn By: William Dickson
Date: 3.5.23
Revision:

Customer Approval:

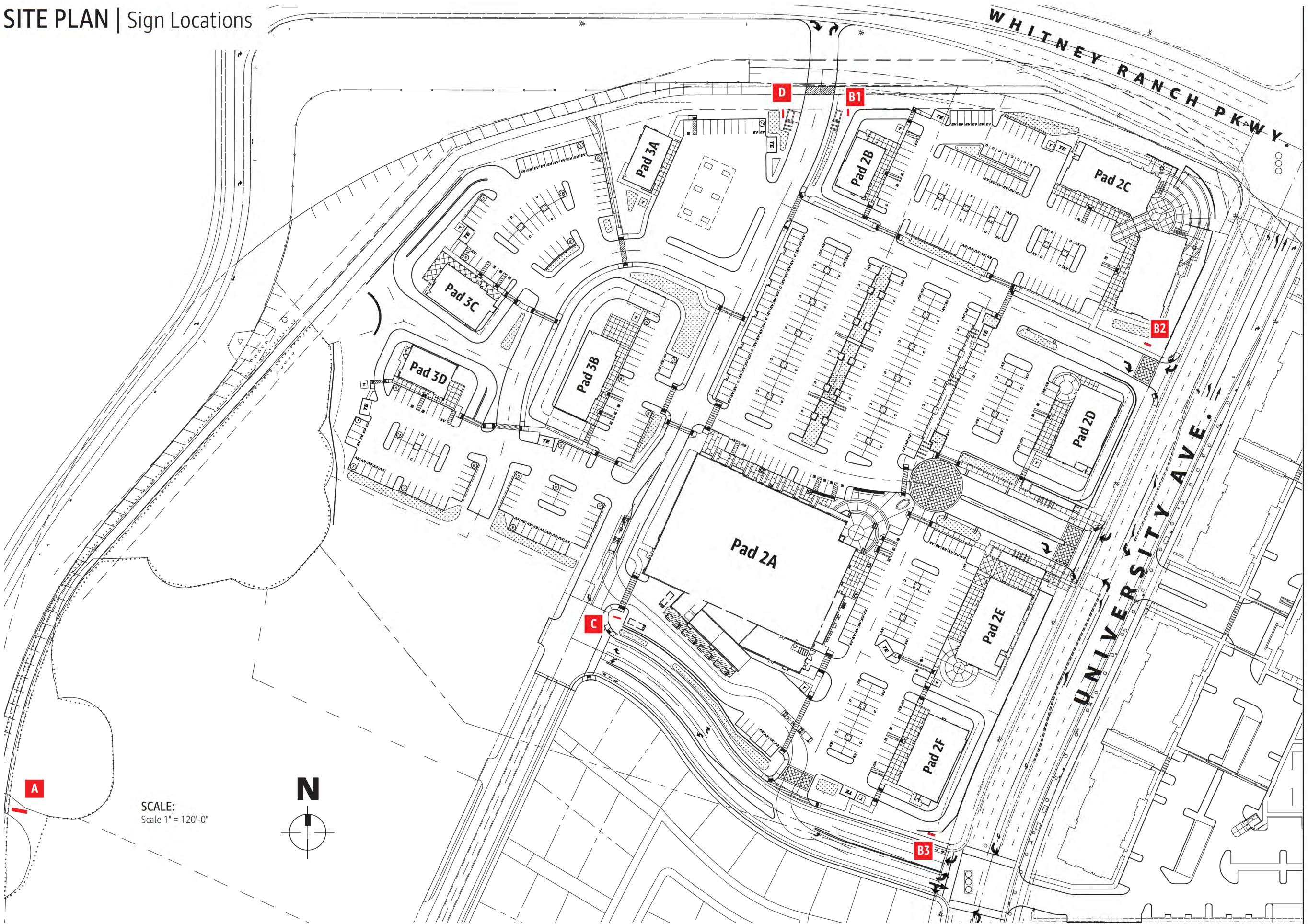
U.L. Listed
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Electrical Circuits
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D.** Electronics to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

Copyright ©2022
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No. **9.10**

SITE PLAN | Sign Locations



**PACIFIC
NEON**

2939 Academy Way
Sacramento, California 95815

Tel 916.927.0527
Fax 916.927.2414
www.pacificneon.com

Project No: **22-0854-03**

Account Executive: Ralph Cundiff

Project:
Whitney Ranch
Master Sign Program

Address:
State Hwy. 65 @
Whitney Ranch Pkwy Rocklin, CA

Drawn By: William Dickson

Date: 3.5.23

Revision: 4.24.23

Customer Approval:

U.L. Listed
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Electrical Circuits
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D.** Electronics to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

Copyright ©2022
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No.

11